



506 WEST BERCKMAN STREET  
FRUITLAND PARK, FL 34731

PHONE: 352 360-6727  
FAX: 352 360-6652

<b>Board Members:</b> Al Goldberg, Chairman Daniel Dicus, Vice Chair Carlisle Burch Roger Sines Walter Birriel	<b>Others:</b> Michael Rankin, LPG Anita Geraci-Carver, City Attorney Emily Church, Office Assistant Sharon Williams, Administrative Manager
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**AGENDA**  
**PLANNING & ZONING BOARD**  
**September 14, 2023**  
**6:00 PM**

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- I. **INVOCATION AND PLEDGE OF ALLEGIANCE:**
- II. **ROLL CALL:**
- III. **MEETING NOTES FROM PREVIOUS MEETING:** Meeting notes from August 17, 2023 included for review/comment.
- IV. **OLD BUSINESS:** NONE

**NEW BUSINESS:**

- A. **Recommend and elect Chair and Vice Chair of P&Z to serve 2023/2024**
- B. **Lakeside Storage II – Variance/Major Site Plan/Unity of Title (Alternate Keys: 2919469, 2919507, 2919523, 2919531)**

**Variance**

The applicant is requesting the following two (2) variances for development of the proposed project: (1) requesting the city to waive parking lot landscaping requirements for the RV/boat parking spaces and (2) requesting the city to allow installation of an 8” water main as the city does not have a 10” water main in this area.

Variance #1 - Staff recommends approval of the variance and approval of the condition that the front building perimeter be planted with 3 understory trees, 28 shrubs, and groundcover for every 350

square feet of planting area. The planting area would be a 3' strip. This would be considered comparable. Variance #2 - planning staff defers to the City Engineer and Lake County Fire Department. The city engineer does not object to a variance for a fire hydrant 10" main. The city does not have a 10" main within the area.

### **Major Site Plan**

The subject property is 7.07 acres and consists of four parcels, a northern parcel (Alt Key 2919531), a southern parcel (Alt Key 2919469), and two parcels in between (Alt Key 2919523 and Alt Key 2919507). A single story 781 square foot manufactured office exists on the southern parcel (Alt Key 2919469). The proposed major site plan is to construct a 93,205 SF storage facility including an office for a total of 93,986 square feet on the northern portion of the site, along with associated loading, parking, and stormwater management areas. The building sizes proposed to be built are 76,795 square feet, 6,150 square feet, 6,160 square feet, and 4,100 square feet, along with an office and forty-one (41) RV/boat storage spaces.

### **Unity of Title**

The subject properties proposed for unification are alternate keys 2919531, 2919523, and 2919507. Alternate key 2919469 will remain separate for potential future development. There will be shared maintenance for a retention pond between the parcels.

### **BOARD MEMBERS' COMMENTS:**

### **PUBLIC COMMENTS:**

This section is reserved for members of the public to bring up matters of concern or opportunities for praise. Note: Pursuant to F.S. 286.0114 and the City of Fruitland Park's Public Participation Policy adopted by Resolution 2013-023, members of the public shall be given a reasonable opportunity to be heard on propositions before the Planning and Zoning Board. Pursuant to Resolution 2013-023, public comments are limited to three minutes.

### **ADJOURNMENT:**



**506 WEST BERCKMAN STREET  
FRUITLAND PARK, FL 34731**

**PHONE: 352 360-6727  
FAX: 352 360-6652**

<b>Board Members:</b> Al Goldberg, Chairman Daniel Dicus, Vice Chair Carlisle Burch Roger Sines Walter Birriel	<b>Others:</b> Michael Rankin, LPG Anita Geraci-Carver, City Attorney Emily Church, Office Assistant Sharon Williams, Administrative Manager
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**AGENDA**  
**PLANNING & ZONING BOARD**  
**August 17, 2023**  
**6:00 PM**

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- I. **INVOCATION AND PLEDGE OF ALLEGIANCE:** Invocation led by Sharon Williams, Fruitland Park Staff.
- II. **ROLL CALL:** All members present except Roger Sines & Walter Birriel.
- III. **MEETING NOTES FROM PREVIOUS MEETING:** Meeting notes from July 20, 2023 included for review/comment. Minutes were unanimously approved.
- IV. **OLD BUSINESS:** NONE

**NEW BUSINESS:**

- A. **The Village at Lake Geneva – Planned Unit Development (PUD) Amendment/Preliminary Plat (Alternate Keys: 1284490, 1284503, 1284511, 1284805, 1284821, 1771617, 1771625, 3883988)**

**PUD Amendment**

The applicant for the proposed project, Richard Wohlfarth, submitted a PUD amendment and Preliminary Plan applications on behalf of the owner, Lake Saunders Groves PUD. The applicant would like to amend Ordinance 2022-012 (first amended and restated Master Development) to include the following: (1) remove reference to a 12.82 acre lake, (2) reduce density from 3.11 to 2.96, (3) reduce units from 420 to 397, (4) increased phasing from two (2) to six (6); (5) add criteria for 40' lots X 120' lots to replace 50' X 120' lots, (6) delete reference to condominiums, (7) add sidewalks on both sides, deleting the 15' pedestrian path and (8) allow natural landscape buffers to be used in lieu of planted buffers.

### **Preliminary Plan**

The applicant is requesting preliminary plat approval for The Village at Lake Geneva (FKA Lake Saunders Grove) for 397 units consisting of single family detached and single family attached (townhomes). The applicant is also seeking an amendment to the PUD, Ordinance 2022-12. New preliminary plan should reference the most recent plan vice the old Master Development Agreement still lists the old master plan.

Clarification may be required on which alternate key the applicant states should not be included as a part of the plat/plan. Per the applicant, approximately 14 acres will be excluded. City Attorney will need to review if there any implications for this situation and provide a review for the PUD Amendment.

Applicant states that the proposed development will have a master meter for water usage and set alternating days for lawn watering. If well water is used, the development does not plan to charge the residents; otherwise, the HOA will receive a bill for city water and residents would pay an equitable share.

Vice Chair Dicus inquired about the change in lot size. Richard Wohlfarth responded that they were planning for less townhomes and more single-family homes and it required a change in lot width with the townhomes being closer to US HWY 27/441. There will be 314 single-family units and 82 townhome units which reduced the density by 24 units overall.

Richard Wohlfarth further explained their project will be upsizing the water main from 8" to 12" and bringing up the 16" main from the south. The development will have dry lines installed for future reuse water from Lady Lake when an agreement is made between the municipalities.

The motion to approve was made by Vice Chair Dicus and seconded by Board Member Burch. Passed unanimously.

### **B. Spring Lake Road – Planned Unit Development (Alternate Key: 1284368)**

The applicant, Alex Stringfellow of Stringfellow Planning, on behalf of the owner, Southwinds Commercial, LTD. The proposed development, located at 2307 Spring Lake Road, consists of 14.10 + acres. A total of 2.10 +/- acres [of undevelopable] wetlands and the remaining 12 +/- acres to the south of the wetlands will be developed for multi-family residential uses. Current future land use allows up to 4 single family dwelling units per acre in the northern 1/3 of the property, and 15 dwelling units per acre in the southern 2/3 of the property.

There are 36 one-story villas and 56 dwellings in two-story apartments for a total of 92 units and an overall gross density of 7.67 units/acre. The proposed density within the MFHD land use is 10.08 units/acre. It should be noted that no structures are proposed within the SFMD land use as it will be utilized for stormwater and buffers. Access for the development would occur from Spring Lake Road via a proposed dual boulevard.

There are five (5) unit types being proposed. **Unit type 1** consists of 2-bedroom apartments, with a net living area of 1,031 square feet. Forty (40) of these units are proposed. **Unit type 2** consists of 2-bedroom



apartments with a net living area of 1,117 square feet, and eight (8) units of this type are proposed. **Unit type 3** consists of 3-bedroom apartments with a net living area of 1,209 square feet, and eight (8) units of this type are proposed. **Unit type 4** consists of 1-bedroom villas with a net living area of 777 square feet, of which twenty-four (24) units are proposed. **Unit type 5** consists of 2-bedroom villas with a net living area of 1,117 square feet, of which twelve (12) units are proposed. The maximum building height is 35'. No garages are proposed for the villa units. Parking is proposed in the adjacent parking lot or on street parking.

Alex Stringfellow stated that there will be a fence on the eastern and western perimeter of the property and that the project was exempt from Lake County for a traffic study because the estimated trips per hour during peak time was below the threshold required for a Traffic Impact Analysis.

Marc Gauthier stated the stairwells for the second floor will be enclosed and not visible from the street.

Ryan (Citizen of Fruitland Park) expressed concern over preserving the history of Spring Lake Road. Michael Rank of LPG responded that the City is in the process of updating the Comprehensive Plan with the goal of a roadmap to promote growth with preservation in mind.

Vice Chair Dicus asked about the purpose of the one bedroom/one bathroom models and Marc Gauthier responded that the market indicated there was a need for more of this type of housing.

Vice Chair Dicus asked about the plausibility of upgrading Spring Lake Road leading to their project and inquired whether the road was a city or county road. Michael Rankin responded that it is a county road and Lake County Public Works has reviewed this project and the applicant will be required to pay road impact fees.

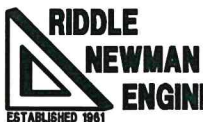
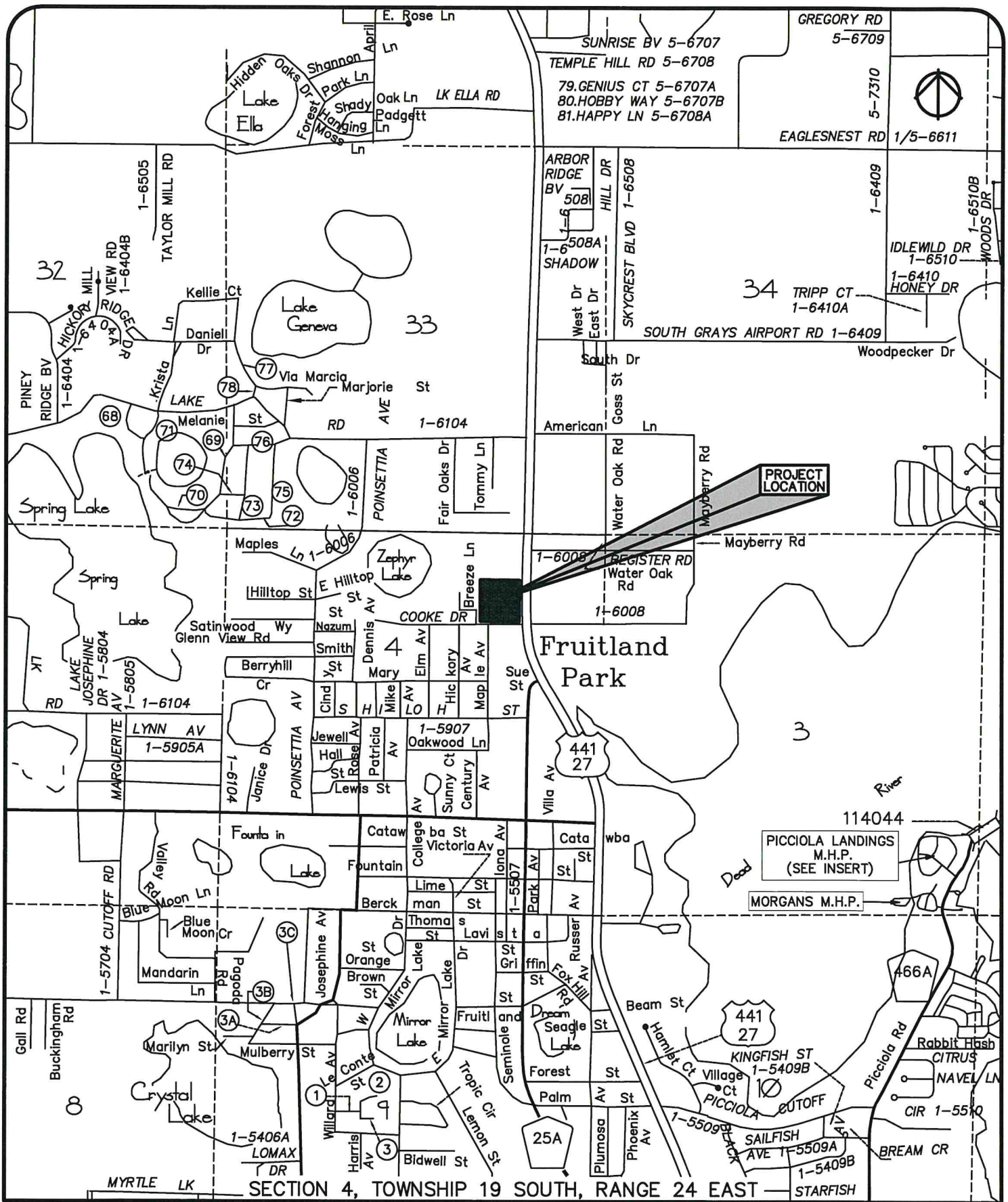
The motion to approve was made by Board Member Burch and seconded by Vice Chair Dicus. Passed unanimously.

### **BOARD MEMBERS' COMMENTS:**

### **PUBLIC COMMENTS:**

This section is reserved for members of the public to bring up matters of concern or opportunities for praise. Note: Pursuant to F.S. 286.0114 and the City of Fruitland Park's Public Participation Policy adopted by Resolution 2013-023, members of the public shall be given a reasonable opportunity to be heard on propositions before the Planning and Zoning Board. Pursuant to Resolution 2013-023, public comments are limited to three minutes.

**ADJOURNMENT:** 6:44 PM



RIDDLE - NEWMAN ENGINEERING, INC.  
115 NORTH CANAL STREET  
LEESBURG, FLORIDA 34748  
PHONE (352) 787-7482  
FAX (352) 787-7412

## LAKESSIDE STORAGE II LOCATION MAP

DATE: 1/11/23  
SCALE: N.T.S.  
FILE: 22.13  
SHEET: 1 of 1

**RESOLUTION 2023-045**

**A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, GRANTING A VARIANCE TO THE LAND DEVELOPMENT REGULATION (LDR) REQUIREMENTS PERTAINING TO LANDSCAPE AREA AT THE END OF PARKING ROW, AND PERTAINING TO WATER MAIN SIZE OF 10" TO 8" ON THE SUBJECT PROPERTY LOCATED AT 2600 US HWY. 441/27 AND OWNED BY DNA REALTY TRUST, LLC, PROVIDING FOR AN EXPIRATION DATE; PROVIDING FOR SCRIVENER'S ERRORS; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, DNA Realty Trust, LLC, owner has petitioned for variances for property located at 2600 US Hwy. 441/27, in the City of Fruitland Park, Florida; and

**WHEREAS**, the owner requests a variance to the following LDR requirement which requires commercial loading spaces at a minimum of 12' x 25':

- Chapter 162, Section 162.050(b) The minimum size of a loading space is 12' x 25'.

**WHEREAS**, the proposed loading spaces are 10' x 25' are of sufficient width to provide for loading/unloading of vehicles typically associated with mini-warehousing.

**WHEREAS**, the owner requests a variance to the following LDR requirement which requires a 200 square foot planting area at the end of the parking row:

- Chapter 164, Section 164.030(a)(2) Vehicle Use Area provides a landscape area shall be provided at the end of all parking rows and will be a minimum of 200 square feet and shall contain a minimum of one approved canopy tree, five shrubs and ground cover or grass.

**WHEREAS**, the proposed vehicle use area within the rear of the building consisting of five (5) parking spaces will be entirely screened from public view; and

**WHEREAS**, the owner requests a variance to the following LDR requirement which requires a fire hydrant to be installed on a 10" water main:

- Chapter 159, Section 159.020(e)(7) Design Standards. All system designs shall conform to recommended standards and accepted engineering practices. Table 159-1 requires a fire hydrant to be installed on a 10" water main for warehouse/industrial buildings.

**WHEREAS**, the city does not have a 10" water main available to the subject site and the existing water main is 8". Table 159-1 includes a note which states "In those portions of the city where the existing water mains cannot meet the above requirements, other building specific measures can be used to reduce fire flow. Section 159.020(e) Fire Hydrants states "Fire hydrants shall not be installed on any water main of less than six inches (6") inside diameter. Number of hydrants and placement shall also be in compliance with NFPA1; and

**WHEREAS**, this request has met the public notice requirements set forth in Chapter 168 of the City of Fruitland Park Land Development Regulations; and

**WHEREAS**, the City Commission has considered the petition in accordance with standards for the granting of variances contained in Chapter 168, City of Fruitland Park Land Development Regulations and

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA**, as follows:

1. The City Commission has determined that a loading space size of 10' x 25' is not detrimental to the character of the area or inconsistent with the trends of development in the area.
2. The City Commission has determined that providing 10' x 25' loading spaces does not and will not have an unduly adverse effect on surrounding property.
3. Special conditions and circumstances exist which are peculiar to the Property which are not applicable to other land and structures.
4. A variance from the existing code for the provision of a loading spaces is the minimum variance to accommodate the Owner's request.
5. The City Commission has further determined that the variance is consistent with the Comprehensive Plan for the City of Fruitland Park and Code, and will not adversely affect the public interest.
6. The variance will not adversely affect the public health, safety and general welfare of the citizens of the City of Fruitland Park.
7. The City Commission has determined that providing no landscape island at the end of the vehicle use area is not detrimental to the character of the area or inconsistent with the trends of development in the area.
8. The City Commission has determined that providing no landscape island at the end of the vehicle use area in the rear of the building and adjacent to the boat/RV storage area which is completely screened from public view does not and will not have an unduly adverse effect on surrounding property.
9. Special conditions and circumstances exist which are peculiar to the Property which are not applicable to other land and structures.
10. A variance from the existing code for the provision of a landscape island at the end of the vehicle use area is the minimum variance to accommodate the Owner's request.
11. The City Commission has further determined that the variance is consistent with the Comprehensive Plan for the City of Fruitland Park and Code, and will not adversely affect the public interest.
12. The variance will not adversely affect the public health, safety and general welfare of the citizens of the City of Fruitland Park.
13. The City Commission has determined that connection of the fire hydrant to the existing 8" water main is not detrimental to the character of the area.
14. The City Commission has determined that connection of the fire hydrant to the existing 8" water main does not and will not have an unduly adverse effect on surrounding property.

15. Special conditions and circumstances exist which are peculiar to the Property which are not applicable to other land and structures.

16. A variance from the existing code for the provision of fire hydrants on a 10" water main to an 8" water main is the minimum variance to accommodate the Owner's request.

17. The City Commission has further determined that the variance is consistent with the Comprehensive Plan for the City of Fruitland Park and Code, and will not adversely affect the public interest.

18. The variance will not adversely affect the public health, safety and general welfare of the citizens of the City of Fruitland Park.

19. The petition for variance filed by DNR Realty Trust, LLC for property located at 2600 US Hwy. 441/27, in the City of Fruitland Park, Florida, more particularly described as:

**LEGAL DESCRIPTION:** LOTS 1, 2, 3, 4, 5 AND THE SOUTH 70 FEET OF LOT 6, BLOCK B, ZEPHYR LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 78, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

TOGETHER WITH A 40 FOOT WIDE STRIP OF LAND BEING THE ABANDONED FORMER ATLANTIC COASTLINE RAILROAD, LYING WEST OF THE FOLLOWING DESCRIBED PROPERTY:

LOTS 1, 2, 4, 5, THE WEST 1/2 OF LOT 3 AND THE SOUTH 70 FEET OF LOT 6, BLOCK B, ZEPHYR LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 78, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

is GRANTED as follows:

1. Variance to Chapter 162, Section 162.050(b) Loading Space Size from 12' x 25' to 10' x 25'
2. Variance to Chapter 164, Section 164.030(a)(2) Vehicle Use Area. No 200 square feet landscaped area shall be required in the rear of the building. In lieu of the vehicle landscaped area the Owner shall install a front building perimeter landscaping area a minimum of three feet (3') wide with an average of five feet (5') wide to be planted which would be 3 understory trees, 28 shrubs and groundcover for every 350 square feet of planting area. Plantings shall comply with the landscaping code.
3. Variance to Chapter 159, Section 159.020(e)(7) Design Standards. Allow a fire hydrant to be installed on an 8" water main instead of the required 10" water main for warehouse/industrial buildings.
4. Scrivener's errors in the legal description may be corrected without a public hearing or at public meeting, by re-recording the original resolution or a certified copy of the resolution and attaching the correct legal description.
5. This variance shall become effective immediately on its approval and adoption by the City Commission of the City of Fruitland Park, Florida.

**PASSED AND ORDAINED** in regular session of the City Commission of the City of Fruitland Park, Lake County, Florida, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
Chris Cheshire, Mayor  
City of Fruitland Park, Florida

ATTEST:  
Approved as to Form:

\_\_\_\_\_  
Esther Coulson, CMC, City Clerk

\_\_\_\_\_  
Anita Geraci-Carver, City Attorney

Vice-Mayor Gunter	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner DeGrave	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner Mobilian	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner Bell	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Mayor Cheshire	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)

Passed First Reading \_\_\_\_\_

(SEAL)

**NOTICE OF PUBLIC  
HEARING  
RESOLUTION 2023-045**

**A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, GRANTING A VARIANCE TO THE LAND DEVELOPMENT REGULATION (LDR) REQUIREMENTS PERTAINING TO LANDSCAPE AREA AT THE END OF PARKING ROW, AND PERTAINING TO WATER MAIN SIZE OF 10" TO 8" ON THE SUBJECT PROPERTY LOCATED AT 2600 US HWY. 441/27 AND OWNED BY DNA REALTY TRUST, LLC, PROVIDING FOR AN EXPIRATION DATE, PROVIDING FOR SCRIVENER'S ERRORS; AND PROVIDING FOR AN EFFECTIVE DATE.**

**RESOLUTION 2023-052**

**A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, GRANTING MAJOR SITE PLAN APPROVAL WITH CONDITIONS TO ALLOW FOR CONSTRUCTION OF A STORAGE FACILITY INCLUDING AN OFFICE FOR A TOTAL OF 93,986 SQUARE FEET CONSISTING OF APPROXIMATELY MULTIPLE BUILDINGS AND RV/BOAT STORAGE SPACES; PROVIDING FOR CONDITIONS; AUTHORIZING THE CITY MANAGER TO ISSUE A NOTICE OF SITE PLAN APPROVAL UPON COMPLETION OF ALL CONDITIONS; AND PROVIDING FOR AN EFFECTIVE DATE.**

The proposed Resolutions will be considered at the following public meetings:

Planning & Zoning Board  
Thursday, September 21, 2023  
@ 6:00 p.m.

City Commission Reading  
Thursday, October 12, 2023 @  
6:00 p.m.

The public meetings will be held in the Commission Chambers located at City Hall, 506 West Berckman Street, Fruitland Park FL 34731. These meetings are open to the public and hearings may be continued as determined by the commission from time to time to a time/date certain. The proposed Resolutions and metes and bounds legal description of property may be inspected by the public during normal working hours at City Hall. For further information call 352-360-6727. Interested parties may appear at the meetings and will be heard with respect to the proposed resolution.

A person who decides to appeal any decision made by any board, agency or council with respect to any matter considered at such meeting or hearing, will need a record of the proceedings. For such purposes, any such person may need to ensure that a verbatim record of the proceedings is made, which includes the testimony and evidence upon which the appeal is based (Florida Statutes, 286.0105). Persons with disabilities needing assistance to participate in any of these proceedings should contact Esther Coulson, City Clerk at (352) 360-6790 at least 48 hours before the date of the scheduled hearing.

Location Map



**#1148371 September 14, 2023  
September 29, 2023**

# **Lakeside Storage II**

## **Variance Justifications**

8/3/2023

### **LDC Section 162.040(b)(4) – Required number of parking spaces**

This request has been withdrawn.

### **LDC Section 162.040(a)(3)(B) – Width of Loading Zone**

This request has been withdrawn.

### **LDC Section 164.030(a)(1) – Landscape Islands in RV/Boat Storage Area**

**Review Criteria #1** – The location of the five (5) parking spaces designated in the RV/Boat storage area will not be seen from any direction due to the layout of the buildings surrounding the RV/Boat storage area. Neither the RV/Boats nor any staff/customer vehicles parked in those five (5) spaces will be seen from outside the project. Thus any landscaping planted adjacent to those five spaces will not be seen either.

**Review Criteria #2** – The layout of most storage facilities provides a secure area contained inside of either buildings or perimeter fencing. The layout of this facility is consistent with other storage facilities constructed within the City of Fruitland Park.

**Review Criteria #3** – Literal interpretation of the code would require landscaping internal to the development without adequate irrigation to maintain such landscaping and would place the landscaping in an area that does not provide any aesthetic enhancement to the project, the Owner/Customers, surrounding property owners, nor the general public.

**Review Criteria #4** – We are providing enhanced landscaping in front of the building which exceeds the landscaping that would have been required in the parking area. The City Planner recommended a 3' wide landscape planted area. We are providing a 5' wide area which exceeds the recommendation.

**Review Criteria #5** – The intent of the Code is to provide enhanced aesthetics to the general public. By relocating this landscaping to the front of the building, the enhanced aesthetics can be enjoyed by adjacent property owners and the general public.

### **LDC Section 159.030(e)(7) – Fire Hydrant Allowed on 8" Water Main**

**Review Criteria #1** – Special conditions exist because the City does not have a 10" water main in the area.

**Review Criteria #2** – The special condition was not the fault of the registered property owner.



**Review Criteria #3** – Bringing a larger line to this location is not financially feasible for the property owner and the larger line is not needed by the City. The City installed an 8” line in this area as that is what is needed.

**Review Criteria #4** – An 8” line is adequate to provide the necessary fire flow. The code indicates a 10” line is required for warehousing and industrial uses, however this project is a mini-warehouse which is significantly different than an Industrial Warehouse facility.

**Review Criteria #5** – The 8” line is existing and is already serving other existing properties in the area. The 8” line is adequate to service this use.

**CITY OF FRUITLAND PARK**  
**STAFF REPORT BY LPG URBAN & REGIONAL PLANNERS, INC.**

**SITE PLAN AND VARIANCES**

**Owner:** DNA Realty Trust, LLC

**Applicant:** DNA Realty Trust, LLC

**General Location:** 2600 US Hwy 441/27, at the intersection of Cook Drive and US-441

**Number of Acres:** 7.07 ± acres

**Existing Zoning:** Industrial

**Existing Land Use:** Industrial

**Date:** August 23, 2023

**Description of Project**

The subject property is 7.07 acres and consists of four parcels, a northern parcel (Alt Key 2919531), a southern parcel (Alt Key 2919469), and two parcels in between (Alt Key 2919523 and Alt Key 2919507). A single story 781 square foot manufactured office exists on the southern parcel (Alt Key 2919469). The proposed major site plan is to construct a 93,205 SF storage facility including an office for a total of 93,986 square feet on the northern portion of the site, along with associated loading, parking, and stormwater management areas. The building sizes proposed to be built are 76,795 square feet, 6,150 square feet, 6,160 square feet, and 4,100 square feet, along with an office and forty-six (41) RV/boat storage spaces.

The max ISR is 75%, maximum FAR is .50. The minimum lot size is 30,000 square feet and 200' roadway frontage. The required minimum open space is 25%, and setbacks are 50' for front, and 25' for side and rear.

	Surrounding Zoning	Surrounding Land Use
North	Industrial	Industrial
South	Commercial	Commercial
East	Commercial	Commercial
West	PUD	Multi-Family High Density

## **Assessment**

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### **Review Comments**

Planning staff has consulted City legal counsel and has confirmed that no variance will be required for the loading space size.

The applicant states that they are requesting a variance for the landscaping island within the RV/boat storage parking area. The applicant indicated and as provided on the site plan, the storage area for the parking of RVs and boats cannot be seen by the general public as it is located behind the building. The LDR's state under Chapter 164, Section 164.030(2) that a landscape area shall be provided at the end of all parking rows. The landscaped area will be a minimum of 200 square feet and shall contain a minimum of one approved canopy tree, five shrubs and ground cover or grass. Staff recommends approval of the variance and approval of the condition that the front building perimeter be planted with 3 understory trees, 28 shrubs, and groundcover for every 350 square feet of planting area. The planting area would be a 3' strip. This would be considered comparable.

The applicant is also requesting a variance to utilize the 8" water main that is currently available in the area, versus a 10" water main. The closest 10-inch main is more than a half-mile away, and the closest 12" is about the same distance. There is an 8" main at the site that can serve the project, and the cost to install a 10-inch main would not be financially feasible. Staff defers to City Engineering on approval of an 8" main.

The rear access drive aisle on the southwest portion of the site only measures 29.4', however the minimum drive aisle width is 30'. Staff recommend reducing a couple of the spaces closest to the drive aisle to 9' X 18' to meet the minimum 30' requirement; however, planning staff defers to the City Engineer.

### **Recommendation**

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Staff supports approval of the variance for the landscaping island within the RV/boat storage parking area in the event that the applicant provides a minimum of a 3' and an average of 5' strip of perimeter landscaping along the front of the building containing a minimum of 3 understory trees, 28 shrubs, and groundcover for every 350 square feet of planting area in lieu of the landscaping island.

Staff defers to the City Engineer on the approval of the rear access drive aisle. Staff defers to City Engineer on the approval of an 8" main in lieu of a 10" main.

Staff recommends approval of the site plan subject to the approval of the variances.

- **VARIANCE 1: Requesting variance to Chapter 164, Section 164.030(a)(2)** Vehicle Use Area provides a landscape area shall be provided at the end of all parking rows and will be a minimum of 200 square feet and shall contain a minimum of one approved canopy tree, five shrubs and ground cover or grass.

- 1) Special conditions and circumstances exist which are peculiar to the land, structure or building involved, and which are not applicable to other lands, structures or buildings in the same zoning district;

**RESPONSE:** *The applicant has provided the following: The location of the five (5) parking spaces designated in the RV/Boat storage area will not be seen from any direction due to the layout of the buildings surrounding the RV/Boat storage area. Neither the RV/Boats nor any staff/customer vehicles parked in those five (5) spaces will be seen from outside the project. Thus any landscaping planted adjacent to those five spaces will not be seen either.*

- 2) The special conditions and circumstances are not the results of actions of the applicant and/or registered property owner;

**RESPONSE:** *The applicant has provided the following: The layout of most storage facilities provides a secure area contained inside of either buildings or perimeter fencing. The layout of this facility is consistent with other storage facilities within the City of Fruitland Park.*

- 3) Literal interpretation and enforcement of the Land Development Code regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Land Development Code, and would work unnecessary undue hardship on the applicant;

**RESPONSE:** *The applicant has provided the following: Literal interpretation of the code would require landscaping internal to the development without adequate irrigation to maintain such landscaping and would place the landscaping in an area that does not provide any aesthetic enhancement to the project, the Owner/Customers, surrounding property owners, nor the general public.*

- 4) Granting of the variance request will not confer on the applicant any special privilege that is denied by the Land Development Code to other lands, buildings or structures in the same zoning district; and

**RESPONSE:** *The applicant has provided the following: We are providing enhanced landscaping in front of the building which exceeds the landscaping that would have been required in the parking area. The City Planner recommended a 3' wide landscape planted area. We are providing a 5' wide area which exceeds the recommendation.*

- 5) The granting of the variance will be in harmony with the general intent and purpose of the Land Development Code, and will not be injurious to the surrounding properties or detrimental to the public welfare.

***RESPONSE: The applicant provided the following: The intent of the Code is to provide enhanced aesthetics to the general public. By relocating this landscaping to the front of the building, the enhanced aesthetics can be enjoyed by adjacent property owners and the general public.***

***VARIANCE 2: Waiver to allow fire hydrant to be installed on the 8" water main.***

- 1) Special conditions and circumstances exist which are peculiar to the land, structure or building involved, and which are not applicable to other lands, structures or buildings in the same zoning district;

***RESPONSE: The applicant provided the following: Special conditions exist because the City does not have a 10" water main in the area.***

- 2) The special conditions and circumstances are not the results of actions of the applicant and/or registered property owner;

***RESPONSE: The applicant provided the following: The special condition was not the fault of the registered property owner.***

- 3) Literal interpretation and enforcement of the Land Development Code regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Land Development Code, and would work unnecessary undue hardship on the applicant;

***RESPONSE: The applicant provided the following: Bringing a larger line to this location is not financially feasible for the property owner and the larger line is not needed by the City. The City installed an 8" line in this area as that is what is needed.***

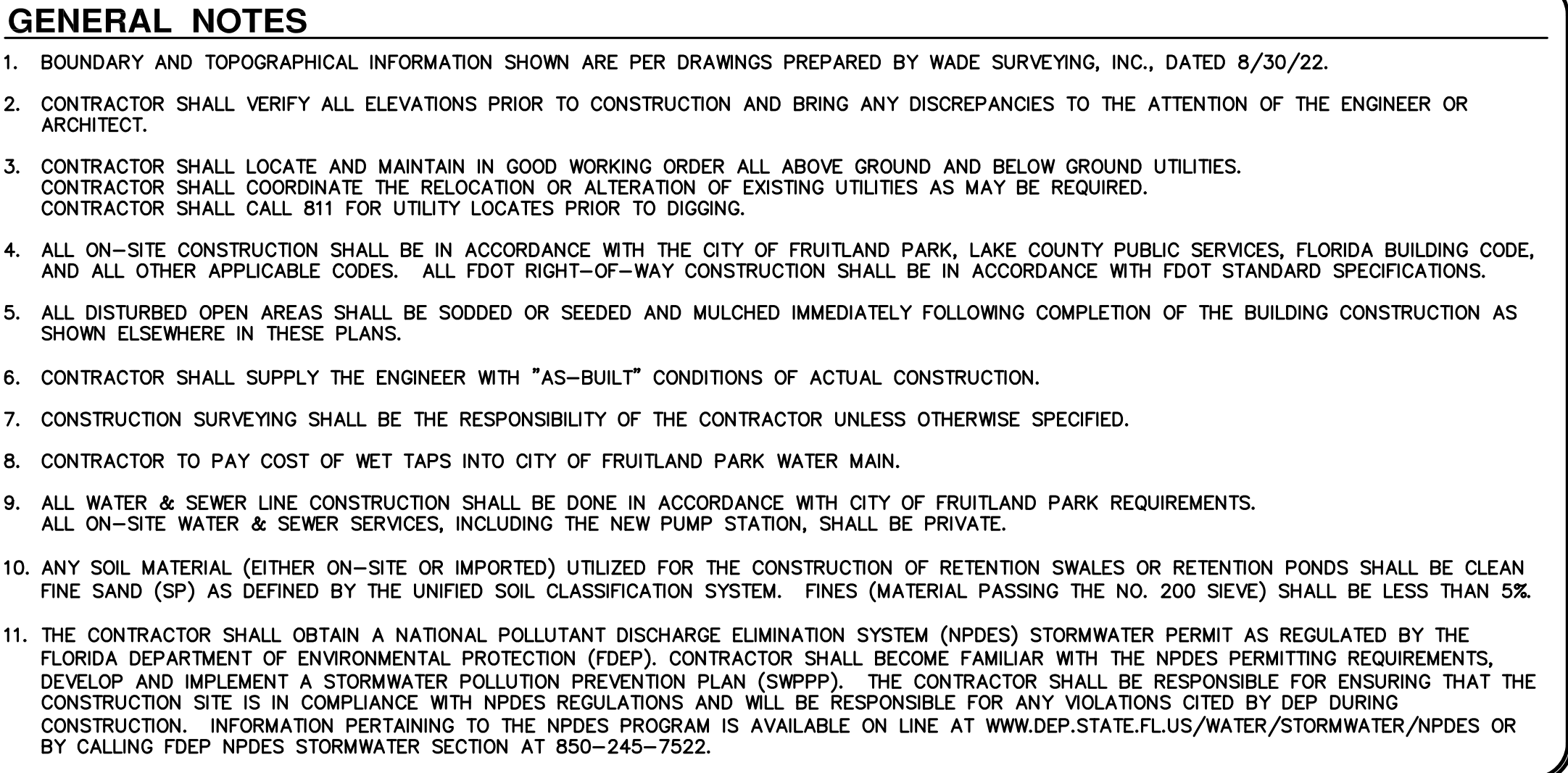
- 4) Granting of the variance request will not confer on the applicant any special privilege that is denied by the Land Development Code to other lands, buildings or structures in the same zoning district; and

***RESPONSE: The applicant provided the following: An 8" line is adequate to provide the necessary fire flow. The code indicates a 10" line is required for warehousing and industrial uses, however this project is a mini-warehouse which is significantly different than an Industrial Warehouse facility.***

- 5) The granting of the variance will be in harmony with the general intent and purpose of the Land Development Code, and will not be injurious to the surrounding properties or detrimental to the public welfare.

***RESPONSE: The applicant provided the following: The 8" line is existing and is already serving other existing properties in the area. The 8" line is adequate to service this use.***

SHEET INDEX	
C1.1	COVER SHEET
C1.2	STORMWATER POLLUTION PREVENTION PLAN
C2.1	GEOMETRY PLAN
C3.1	GRADING & DRAINAGE PLAN
C4.1	UTILITY PLAN
C5.1	DETAILS
C5.2	SOIL BORING PROFILES
C6.1–C6.2	FRUITLAND PARK UTILITY DETAILS
C6.3	PUMP STATION DETAILS AND NOTES



LOTS 1, 2, 3, 4, 5 AND THE SOUTH 70 FEET OF LOT 6, BLOCK B, ZEPHYR LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 78, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

TOGETHER WITH A 40 FOOT WIDE STRIP OF LAND BEING THE ABANDONED FORMER ATLANTIC COASTLINE RAILROAD, LYING WEST OF THE FOLLOWING DESCRIBED PROPERTY:

LOTS 1, 2, 4, 5, THE WEST 1/2 OF LOT 3 AND THE SOUTH 70 FEET OF LOT 6, BLOCK B, ZEPHYR LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 78, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

TOTAL AREA = 308,019 sq.ft. (7.07 ac.)  
 PROJECT AREA = 227,858 sq.ft. (5.23 ac.)  
 EXISTING IMPERVIOUS AREA = 48,350 sq.ft. (1.11 ac.)  
 EXISTING IMPERVIOUS AREA TO BE REMOVED = -6,235 sq.ft. (-0.14 ac.)  
 PROPOSED IMPERVIOUS AREA = 156,358 sq.ft. (3.59 ac.)  
 TOTAL IMPERVIOUS AREA = 198,473 sq.ft. (4.56 ac.)  
 FUTURE IMPERVIOUS AREA = 32,541 sq.ft. (0.75 ac.)  
 TOTAL PERCENT IMPERVIOUS AREA = 75% (of total area)  
 ISR MAX = 75%  
 PERCENT OPEN SPACE = 25%  
 FLOOD ZONE = "X"  
 ZONING = "IND" INDUSTRIAL  
 FUTURE LAND USE = "IND" INDUSTRIAL  
 EXISTING USE OF SITE = VACANT / LANDSCAPE SUPPLIES (MULCH BUSINESS)  
 PROPOSED USE OF SITE = STORAGE / LANDSCAPE SUPPLIES (MULCH BUSINESS)  
 EXISTING BUILDING SQUARE FOOTAGE = 781 sq.ft. (OFFICE SPACE)  
 NEW AREA OF OFFICE = 1,600 sq.ft.  
 NEW AREA OF STORAGE = 91,605 sq.ft.  
 NEW TOTAL AREA = 93,205 sq.ft.  
 TOTAL BUILDING SQUARE FOOTAGE = 93,986 sq.ft. (NEW & EXISTING)  
 INSIDE STORAGE UNITS = 514 UNITS  
 OUTSIDE STORAGE (RV/BOAT) = 46  
 PROPOSED FLOOR AREA RATIO = 0.31  
 MAX F.A.R. = 0.5  
 MAX HEIGHT OF BUILDING = 35'  
 NUMBER OF STORIES = 1 STORY  
 PROJECTED NUMBER OF EMPLOYEES = 1 (NON-RESIDENT MANAGER)  
 PARKING REQUIRED = 10 spaces  
 REGULAR PARKING PROVIDED = 9 spaces  
 HANDICAP PARKING PROVIDED = 1 space  
 TOTAL PARKING PROVIDED = 10 spaces  
 ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

**David M. Lennon, Jr., President**  
**DNA Realty Trust, LLC**  
**1440 Brickell Bay Drive #702**  
**Miami, Florida 33131**  
**Phone (407) 340-2894**

**Keith E. Riddle, P.E.**  
**Riddle - Newman Engineering, Inc.**  
**115 North Canal Street**  
**Leesburg, Florida 34748**  
**Phone (352) 787-7482**  
**Fax (352) 787-7412**

**Ronald W. Herr**  
**Wade Surveying, Inc.**  
**1608 Tracy Avenue**  
**Lady Lake, Florida 32159**  
**Phone (352) 753-6511**  
**Fax (352) 753-0374**



NPDES Requirements

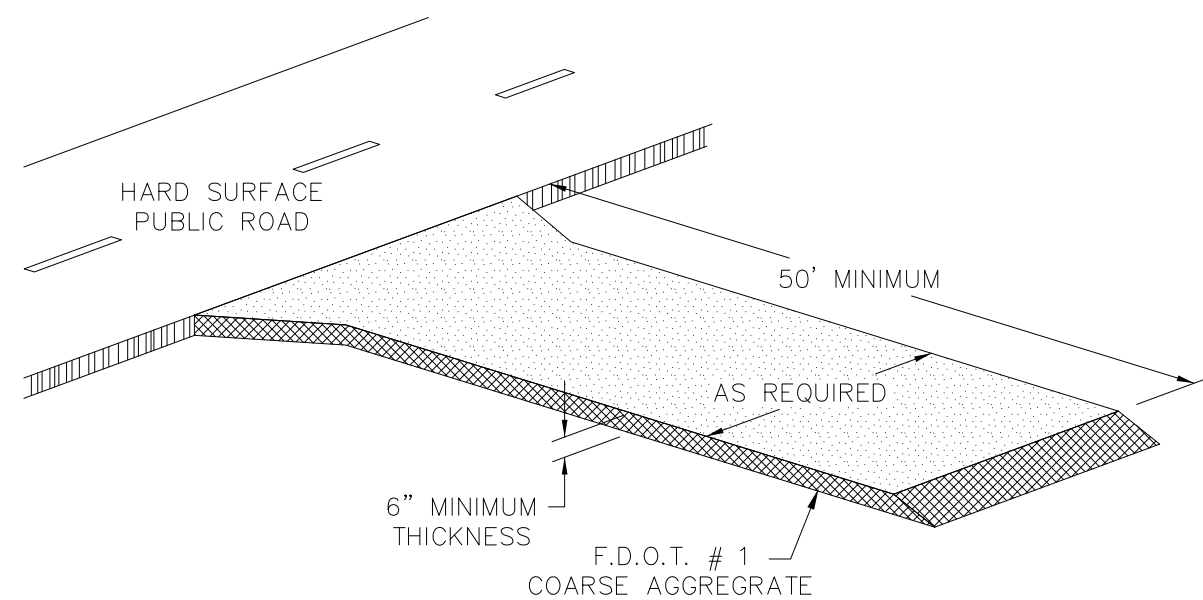
- Federal Law prohibits all point source discharge of pollutants, which includes the discharge of stormwater associated with large (greater than 5 acres) construction activities or small (less than 5 acres and greater than 1 acre) construction activities, to waters of the United States without a National Pollutant Discharge Elimination System (NPDES) permit. Under the State of Florida's authority to administer the NPDES stormwater program, operators that have stormwater discharge associated with large or small construction activities to surface waters of the State, including through a Municipal Separate Storm Sewer System (MS4, i.e. Town, City or County), shall obtain coverage either under a Generic permit or an Individual permit.
- The Contractor shall obtain the NPDPS permit during the permitting process.
- The Contractor shall prepare the Storm Water Pollution Prevention Plan (SWPPP). Contractor may obtain information pertaining to the NPDES program online at [www.dep.state.fl.us/water/stormwater/npdes](http://www.dep.state.fl.us/water/stormwater/npdes). The Contractor shall be responsible for maintenance of the site in accordance with the SWPPP. The Contractor will be required to comply with all requirements of the SWPPP and have it posted on-site along with the Erosion Control Plan, the NPDES permit, and the completed Inspection Report Forms. The Contractor shall be responsible for all erosion control practices defined in the SWPPP and associated penalties for not complying with the NPDES requirements contained in the SWPPP and the NPDES permit. The cost of all compliance related activities shall be included in the bid submitted by the Contractor.
- The NPDES permit requires at least weekly inspections of the site and inspections within 24 hours following any rainfall event exceeding 0.5" inches. The Contractor is responsible for the weekly inspections and post-rainfall event inspections and these inspections are required to be made by a "Qualified" inspector. These inspections must document compliance with the permit and the SWFPP and the inspector shall complete the Stormwater Pollution Prevention Plan Inspection Report Form. The Contractor can obtain a sample copy of the Inspection Report Form from the Engineer. The Contractor can contact the FDEP at (850) 245-7522 for additional information on qualified inspectors or additional information on the NPDES requirements.

NPDES REQUIREMENTS

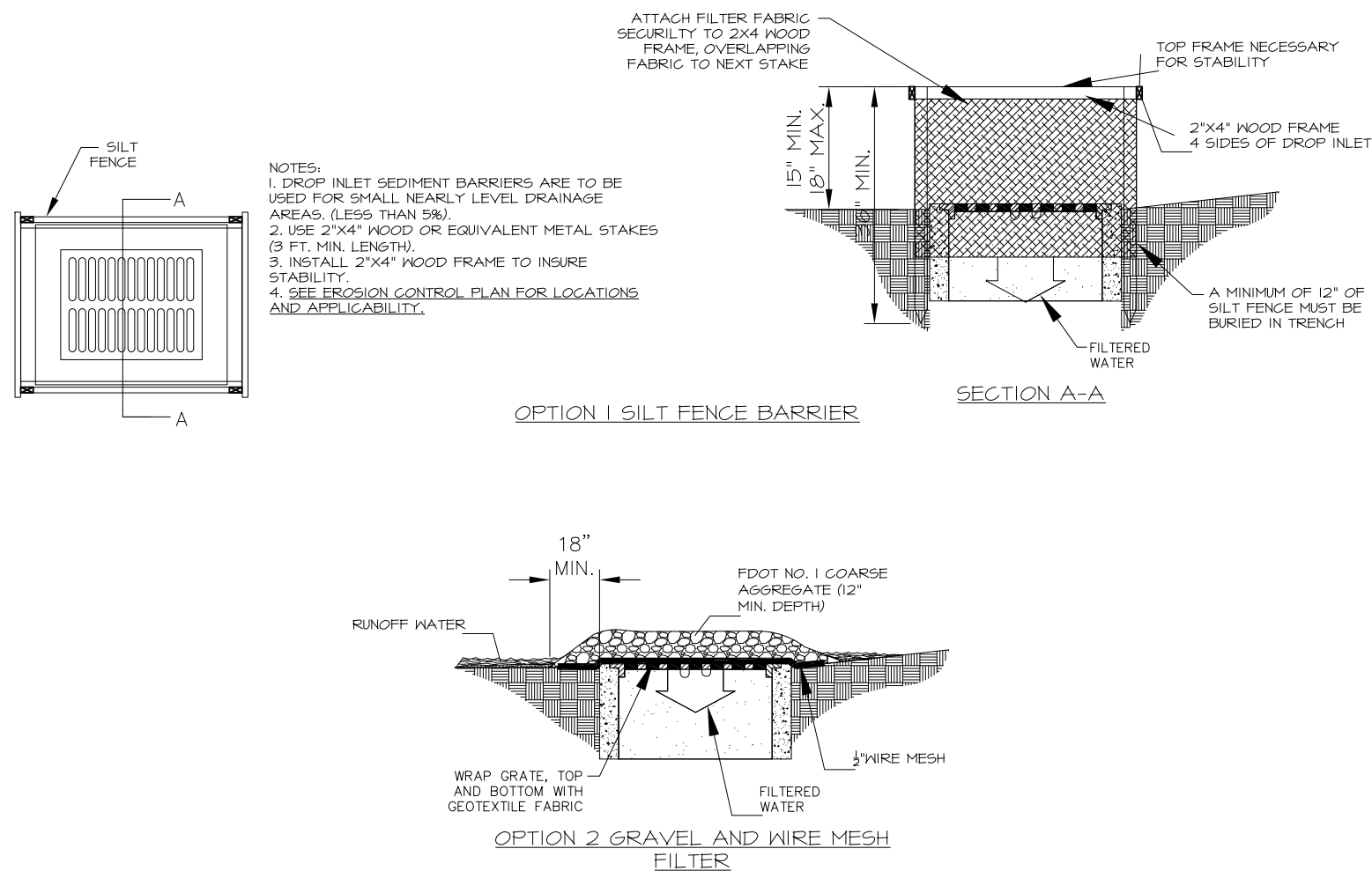
THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH FDEP NPDES STORMWATER POLLUTION PREVENTION PLAN REQUIREMENTS.

CONTRACTOR TO INSTALL DROP INLET SEDIMENT FILTER ON ALL TYPE "F" INLETS.

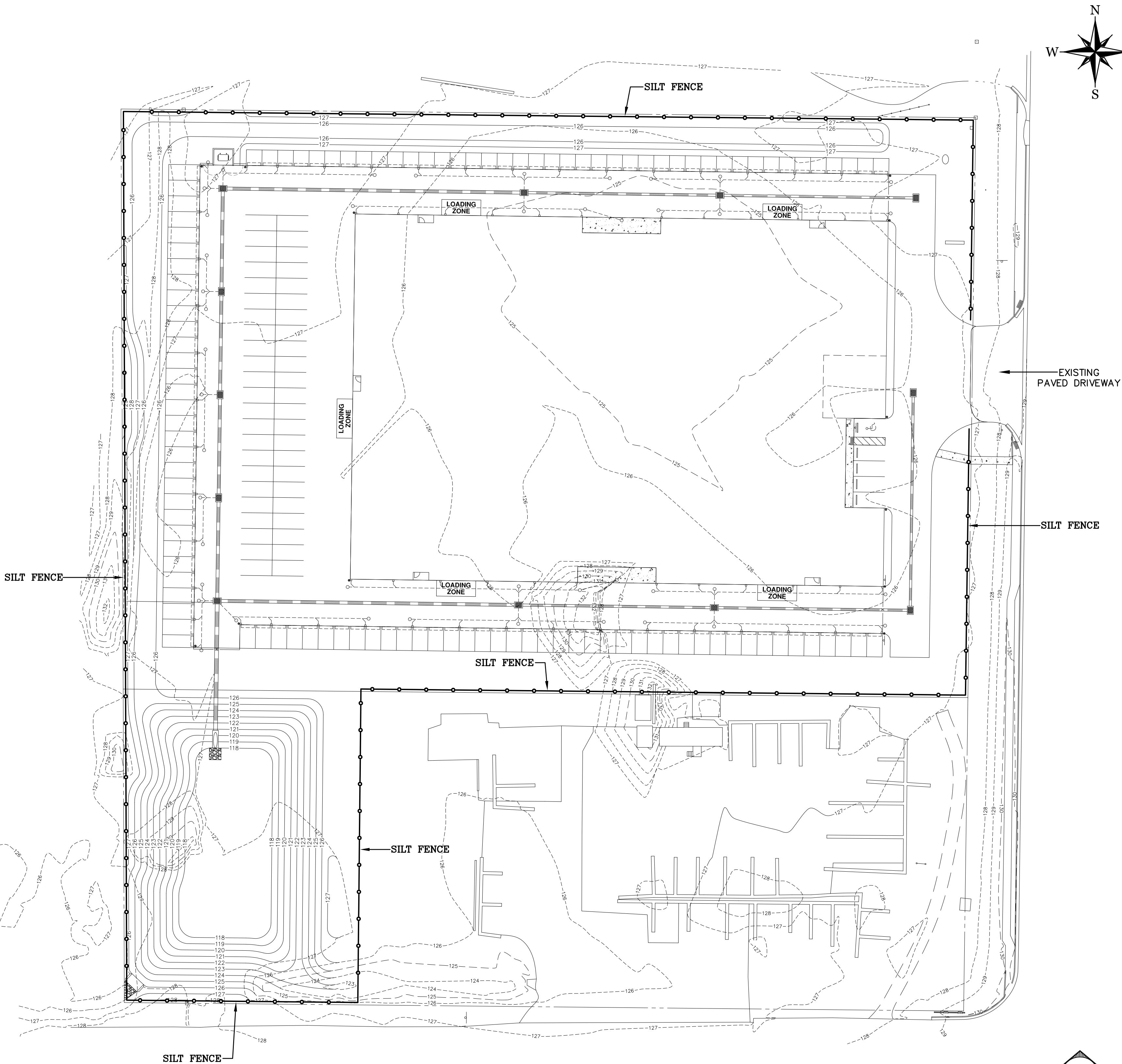
FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES. WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR HAY BALES, UNTIL LIMEROCK BASE IS FINISHED AND PRIMED.



GRAVEL CONSTRUCTION ENTRANCE DETAIL

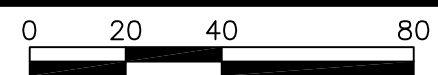


DROP INLET SEDIMENT FILTER DETAIL



STORMWATER POLLUTION PREVENTION PLAN

SCALE: 1" = 40'



EROSION CONTROL STRUCTURE  
NOT TO SCALE

THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.

PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT ADJACENT PROPERTIES AND WATER RESOURCES.

TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE, AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

2-1 1/2" SQ. WOOD POST, 6' O.C. (MAX.)

FILTER FABRIC, SILT FENCE

BACKFILL

SWALE

SEDIMENT LADEN RUN-OFF

EXISTING GROUND

EROSION CONTROL STRUCTURE

NOT TO SCALE

THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.

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City of Fruitland Park  
Standard Details

JANUARY 2020

Detail G-1

RIDDLE - NEWMAN ENGINEERING, INC.  
115 NORTH CANAL STREET  
LEESBURG, FLORIDA 34748  
PHONE (352) 787-7482  
FAX (352) 787-7412  
keith@riddlenewman.com  
CA# 00002883

RIDDLE  
NEWMAN  
ENGINEERING INC.  
ESTABLISHED 1981

REV #5	STATE OF FLORIDA	7/12/23
REV #4	REVISED PER CITY PLANNER	6/30/23
REV #3	REVISED PER FRUITLAND PARK	4/11/23
REV #2	REVISED PER SRIMM, FRUITLAND PARK & FOOT	

KEITH E. RIDDLE, P.E.  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
LICENSE NO. 38800

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY KEITH E. RIDDLE, P.E. ON THE DATE INDICATED HERE USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DRAWN: R.S.H.	CHECKED: K.E.R.	SCALE: 1"=40'	DATE: 1/11/23	PROJECT NO: 22.13
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STORMWATER POLLUTION PREVENTION PLAN

LAKESIDE STORAGE II

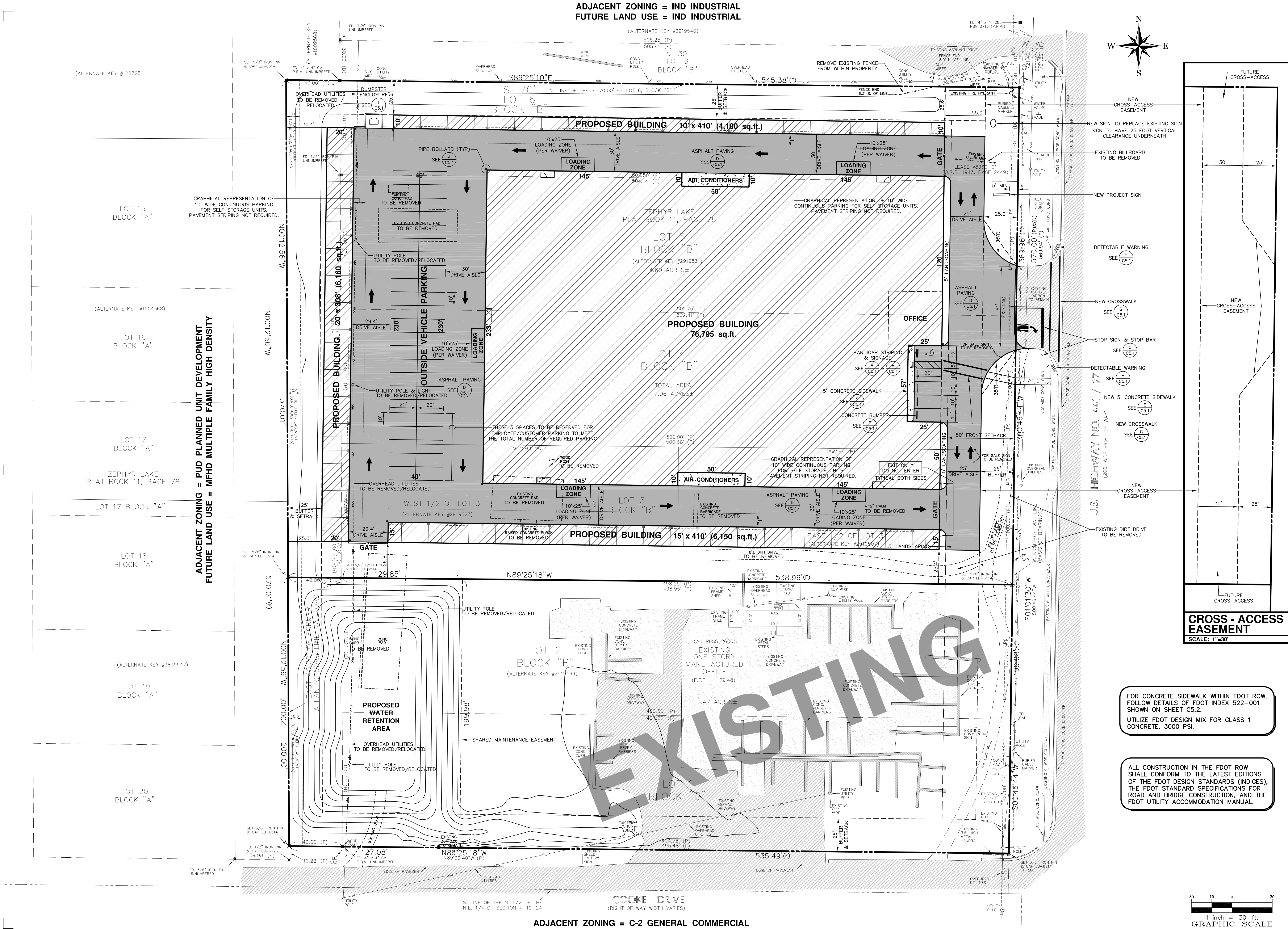
FLORIDA

FRUITLAND PARK

SHEET NO.

C1.2





ADJACENT ZONING = IND INDUSTRIAL  
FUTURE LAND USE = IND INDUSTRIAL

ADJACENT ZONING = C-2 GENERAL COMMERCIAL  
FUTURE LAND USE = COMM COMMERCIAL HIGH INTENSITY

REVISIONS

REV #	REVISED PER CITY OF FRUITLAND PARK	8/5/23
REV #	REVISED PER CITY PLANNER	7/12/23
REV #	REVISED PER FRUITLAND PARK	6/20/23
REV #	REVISED PER SRMD, FRUITLAND PARK & FDOT	4/11/23
REV #	REVISED PER FDOT	1/25/23

PROJECT INFORMATION

PROJECT NAME	GEOMETRY PLAN
PROJECT NO.	22.13
DATE	1/11/23
SCALE	1" = 30'
CHECKED	K.E.R.
DRAWN	R.S.H.

DESIGNER INFORMATION

KEITH E. RIDDLE, P.E.  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
LICENSE NO. 38800

THIS ITEM HAS BEEN ELECTRONICALLY  
SIGNED AND SEALED BY KEITH E.  
RIDDLE, P.E. ON THE DATE INDICATED  
HERE USING A SHA AUTHENTICATION  
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AUTHENTICATION CODE MUST BE  
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CLIENT INFORMATION

RIDDLE - NEWMAN ENGINEERING, INC.  
115 NORTH CANAL STREET  
LEESBURG, FLORIDA 34748  
PHONE (352) 787-7482  
FAX (352) 787-7412  
keith@riddlenewman.com  
CA# 000283

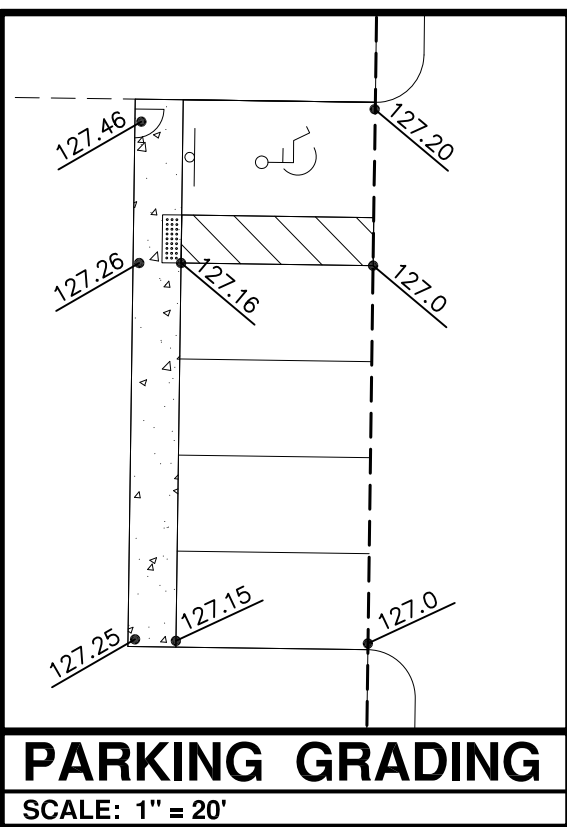
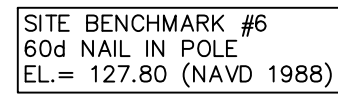
PROJECT LOCATION

LAKESIDE STORAGE II  
FRUITLAND PARK  
FLORIDA

PROJECT NO.

C2.1





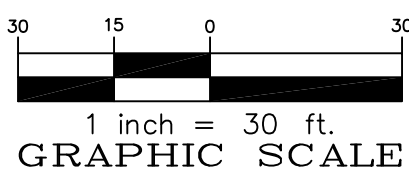
STORM DRAINAGE SCHEDULE			
INLET/MH#	GRATE ELEV.	INV. ELEV.	TYPE
101	126.60	123.60	"F"
102	126.46	123.00	"F"
103	126.46	122.39	"F"
104	126.00	121.44	"F"
105	126.00	121.12	"F"
106	126.00	120.80	"F"
107	126.00	120.48	"F"
108	126.00	119.16	"F"
109	126.00	122.00	"F"
110	126.00	121.32	"F"
111	126.46	120.72	"F"
112	126.46	120.11	"F"

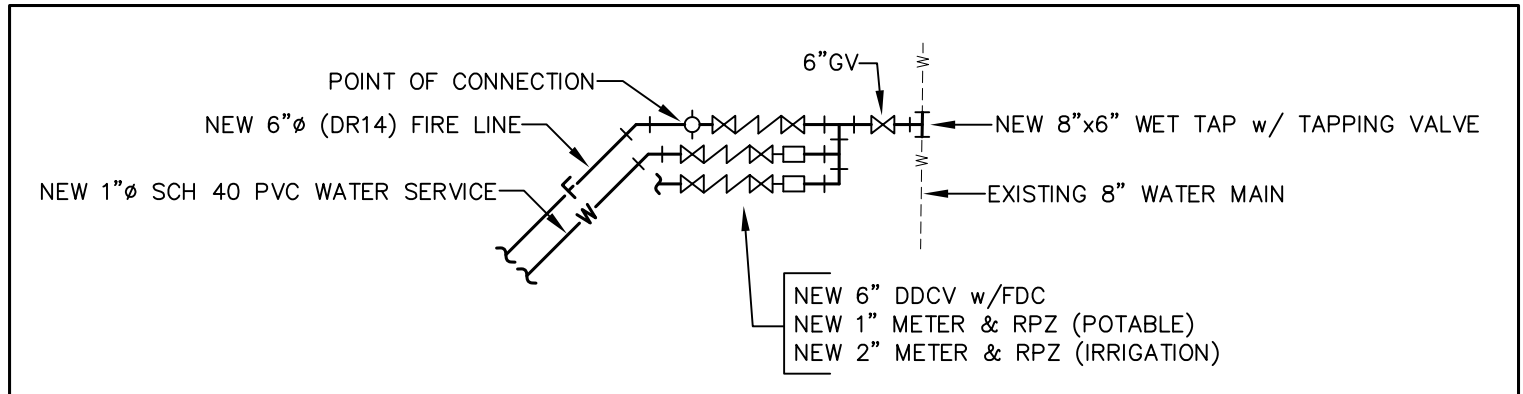
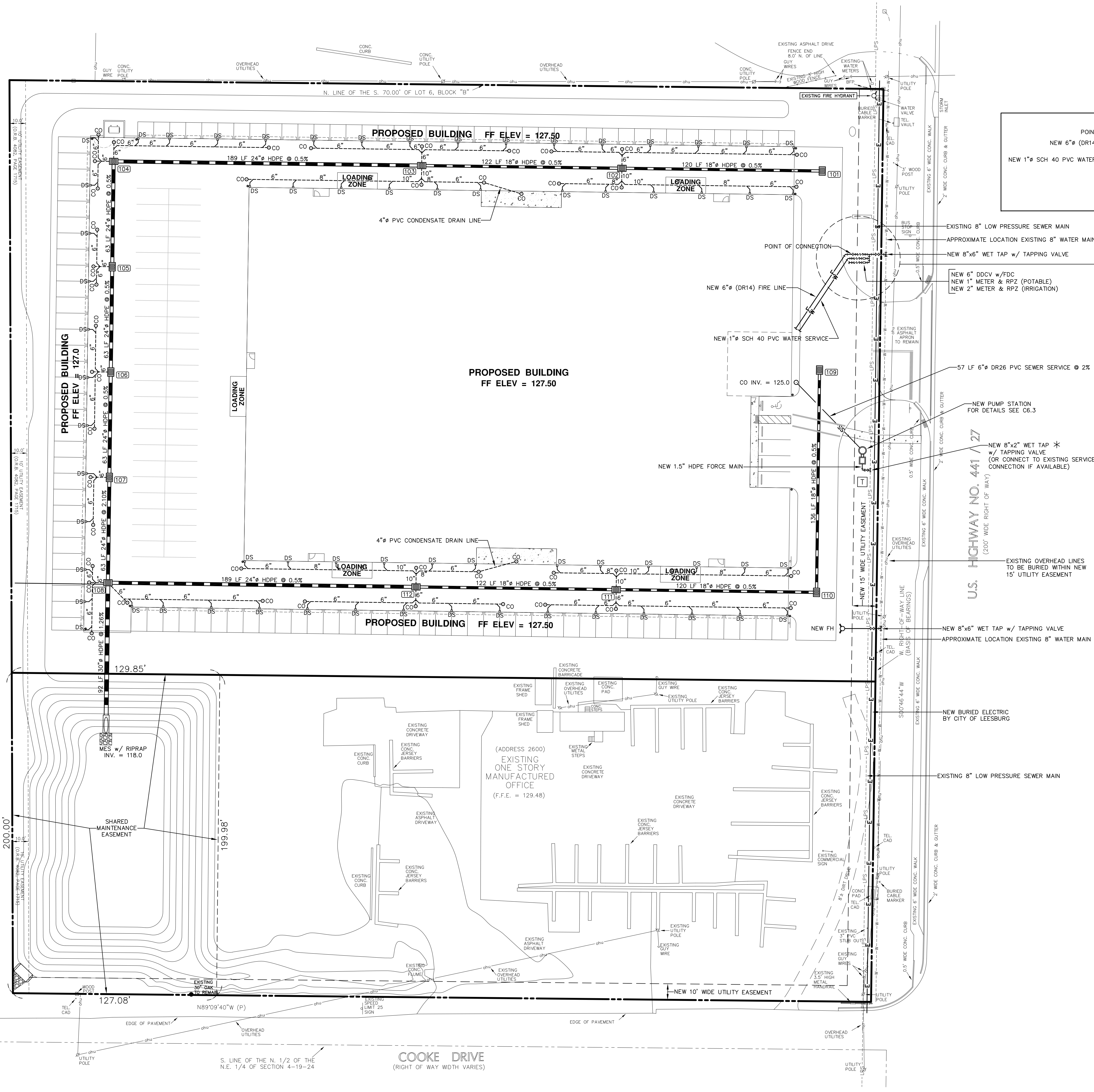
**STORM SEWER NOTE:**

ALL STORM INLETS SHALL BE TYPE "F" PRECAST CONCRETE INLETS WITH HEAVY DUTY GRATE IN ACCORDANCE WITH FDOT INDEX NO. 425-053, U.O.N.

ALL STORM PIPING SHALL BE HANCOR AASHTO HDPE STORM PIPE OR APPROVED EQUAL. PIPING SHALL CONFORM TO AASHTO M-294 PER FDOT REQUIREMENTS.

VERTICAL DATUM:  
ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM





\* PUMP STATION SUB-CONTRACTOR SHALL OBTAIN LINE PRESSURE IN EXISTING 8" FORCE MAIN PRIOR TO ORDERING PUMP. REPORT PRESSURE TO ENGINEER FOR VERIFICATION OF SYSTEM OPERATING PARAMETERS AND VERIFICATION OF PUMP SELECTION.

ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFORM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS (INDICES). THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL.

STORM DRAINAGE SCHEDULE			
INLET/MH#	GRATE ELEV.	INV. ELEV.	TYPE
101	126.60	123.60	"F"
102	126.46	123.00	"F"
103	126.46	122.39	"F"
104	126.00	121.44	"F"
105	126.00	121.12	"F"
106	126.00	120.80	"F"
107	126.00	120.48	"F"
108	126.00	119.16	"F"
109	126.00	122.00	"F"
110	126.00	121.32	"F"
111	126.46	120.72	"F"
112	126.46	120.11	"F"

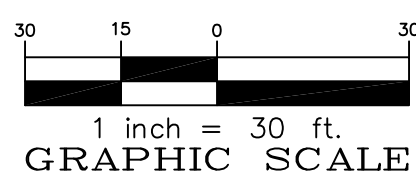
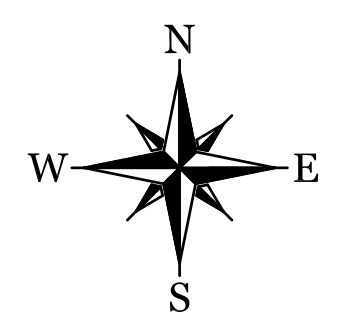
**STORM SEWER NOTE:**  
ALL STORM INLETS SHALL BE TYPE "F" PRECAST CONCRETE INLETS WITH HEAVY DUTY GRATE IN ACCORDANCE WITH FDOT INDEX NO. 425-053, U.O.N.  
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**VERTICAL DATUM:**  
ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

**PVC PIPING SPECIFICATIONS**  
DOMESTIC WATER LINES SHALL BE C-900 PVC, DR25, CLASS 165.  
FIRE LINES SHALL BE C-900 PVC, DR14, CLASS 305.

SEPARATE FIRE LINE PERMITTING REQUIRED PER NFPA.

CONTRACTOR SHALL PROVIDE ENGINEERED FIRE LINE PLAN FOR FIRE LINE PERMITTING MEETING THE REQUIREMENTS OF NFPA. CONTRACTOR TO INCLUDE THE COST OF THIS PLAN IN HIS COST FOR CONSTRUCTION.



UTILITY PLAN

LAKESIDE STORAGE II

FRUITLAND PARK

FLORIDA

C4.1

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FILE: 22.13/Lakeside StorageII

PROJECT NO: 22.13

DATE: 1/11/23

SCALE: 1"=30'

CHECKED: K.E.R.

DRAWN: R.S.H.

KEITH E. RIDDLE, P.E.

STATE OF FLORIDA

PROFESSIONAL ENGINEER

LICENSE NO. 38800

REVISIONS

REV #5	REVISED PER CITY OF FRUITLAND PARK	8/5/23
REV #4	REVISED PER CITY PLANNER	7/12/23
REV #3	REVISED PER FRUITLAND PARK	6/20/23
REV #2	REVISED PER SRWMD, FRUITLAND PARK & FDOT	4/11/23
REV #1	REVISED PER FDOT	1/25/23

RIDDLE - NEWMAN ENGINEERING, INC.

115 NORTH CANAL STREET

LEESBURG, FLORIDA 34748

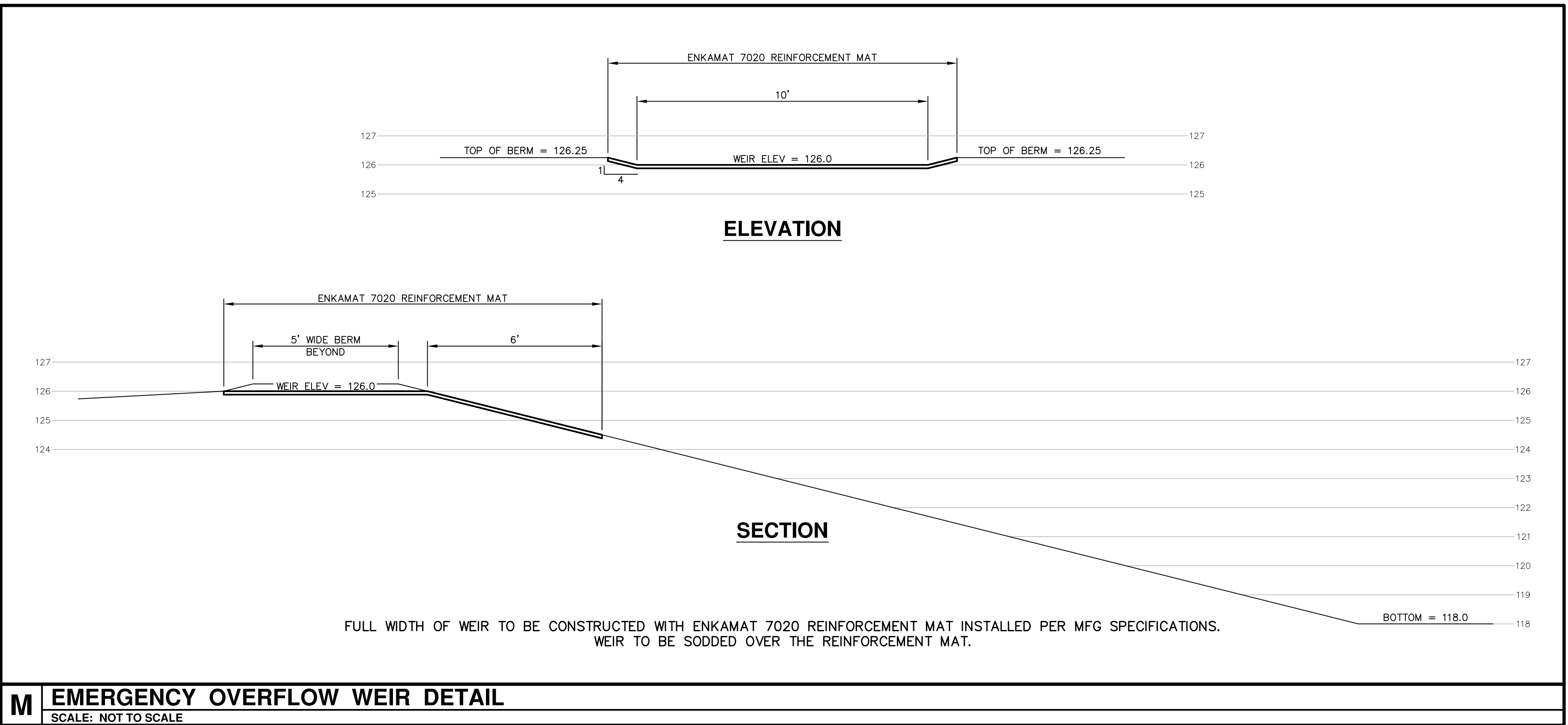
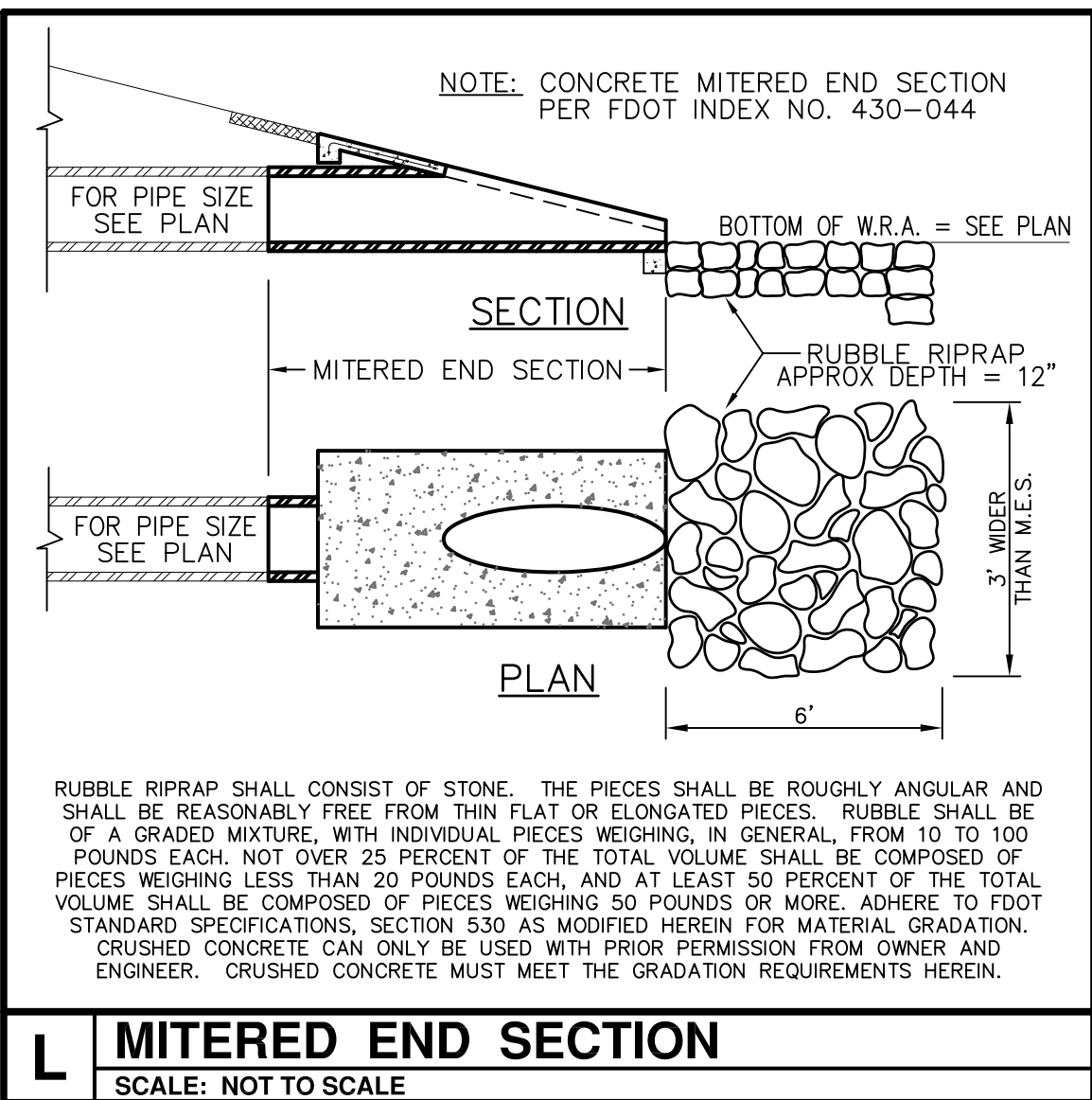
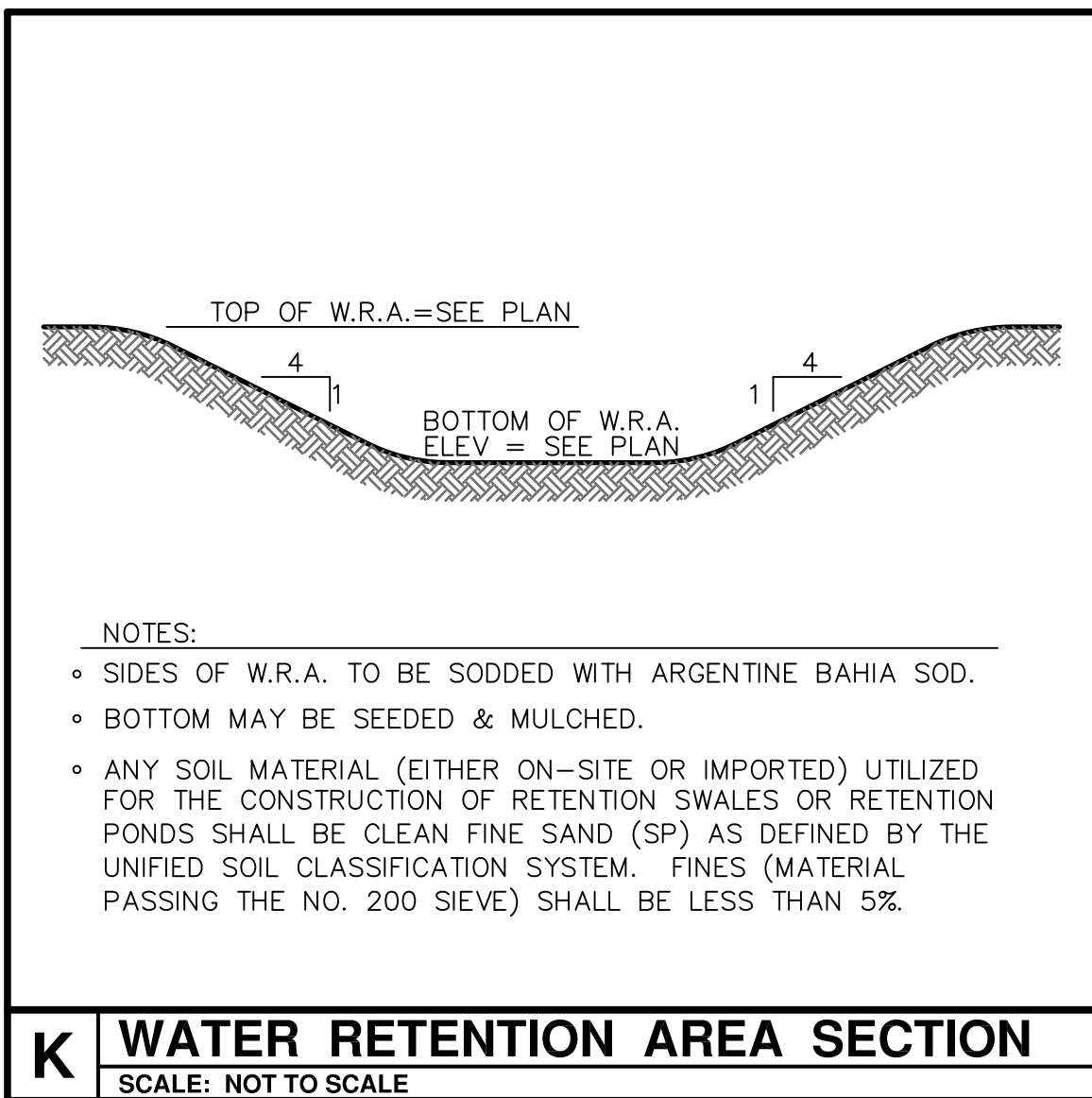
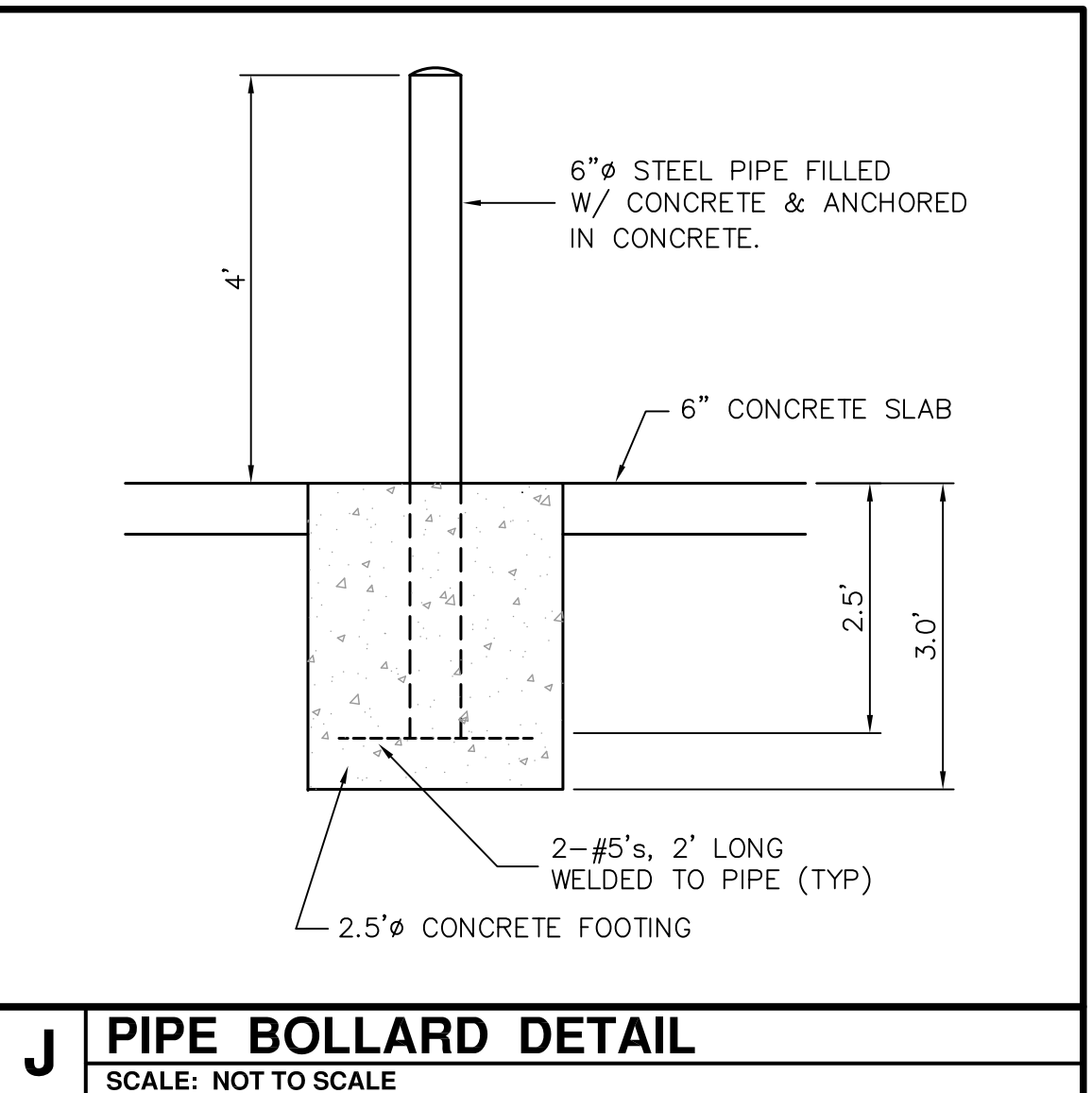
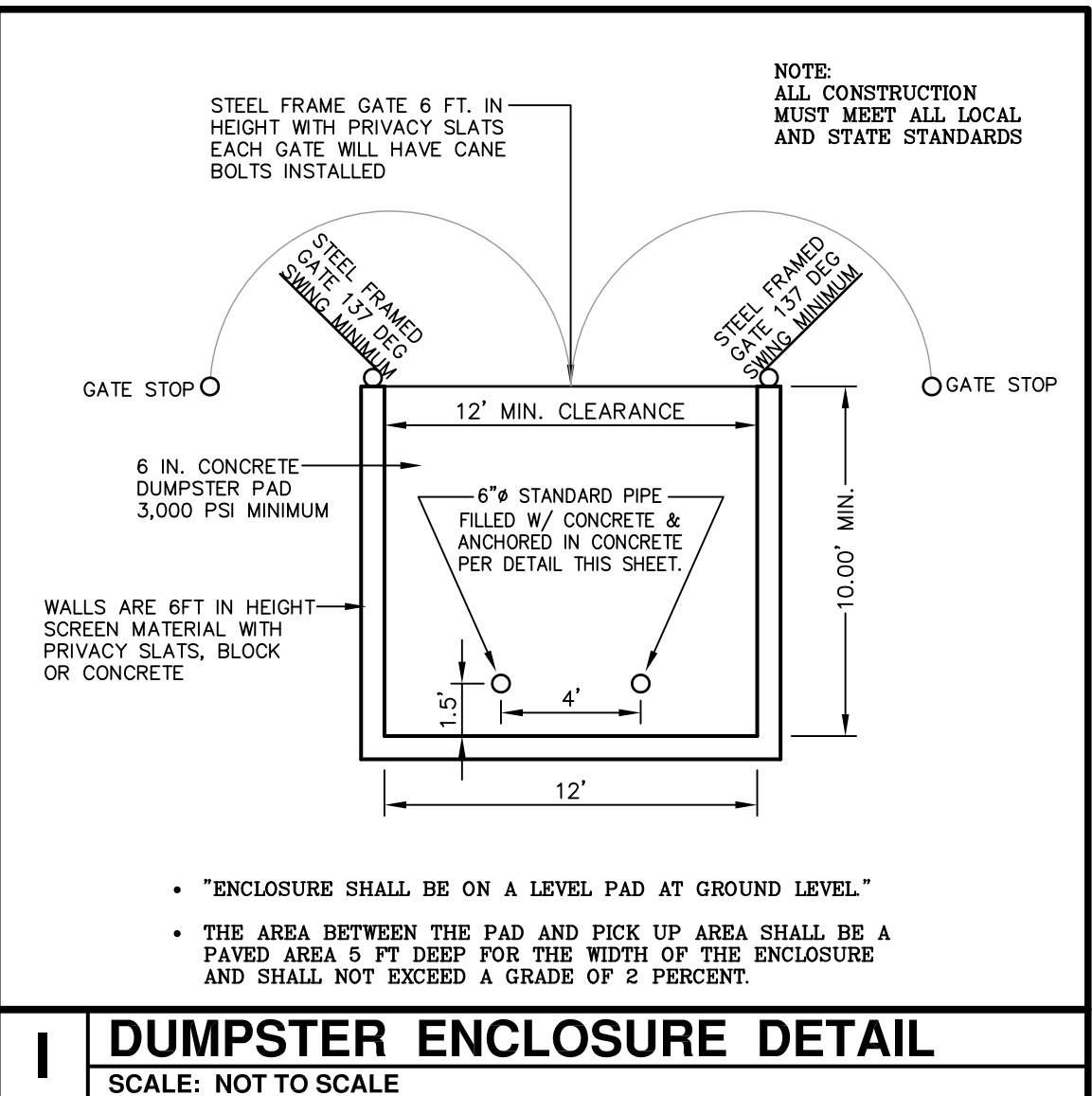
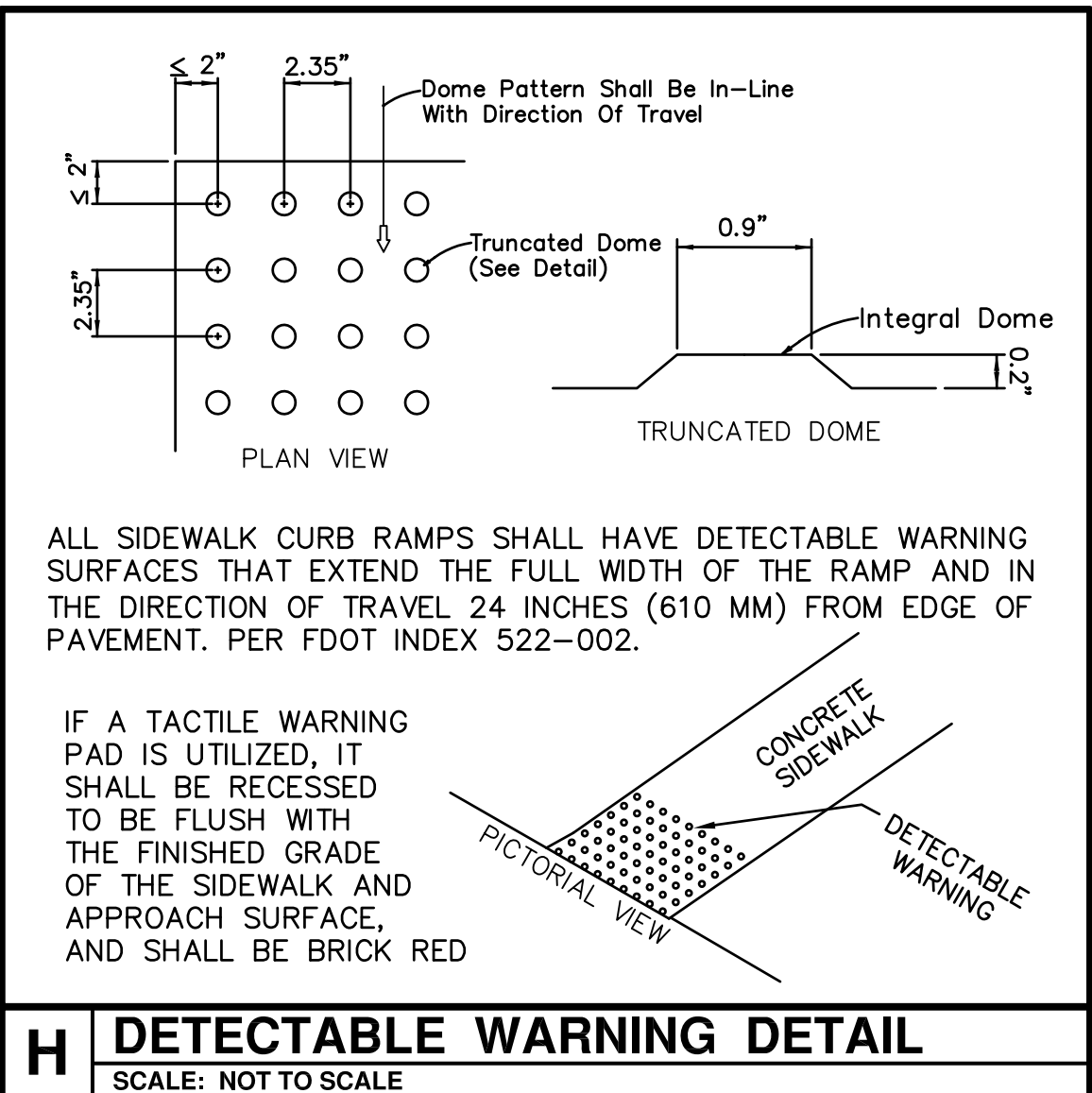
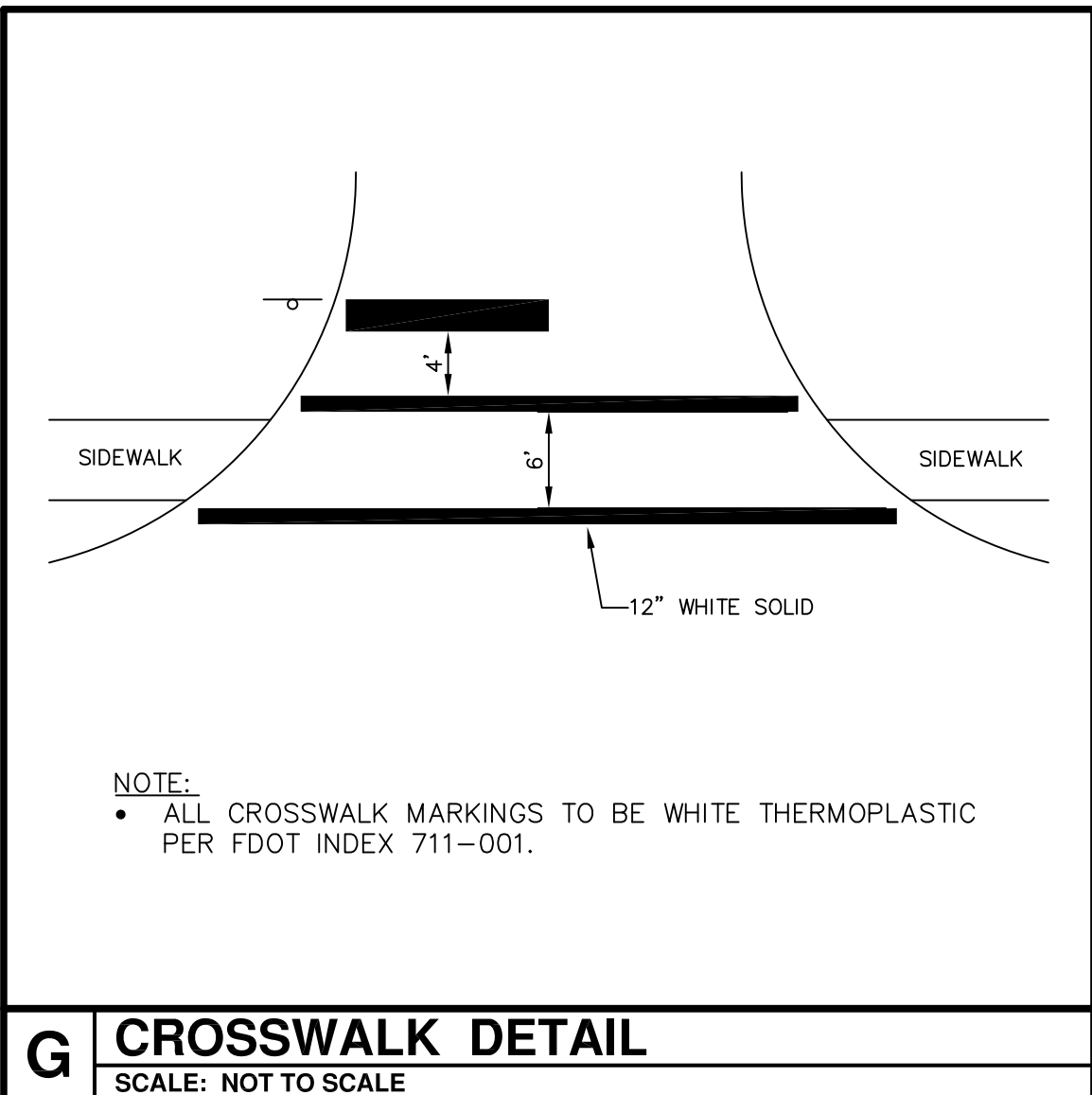
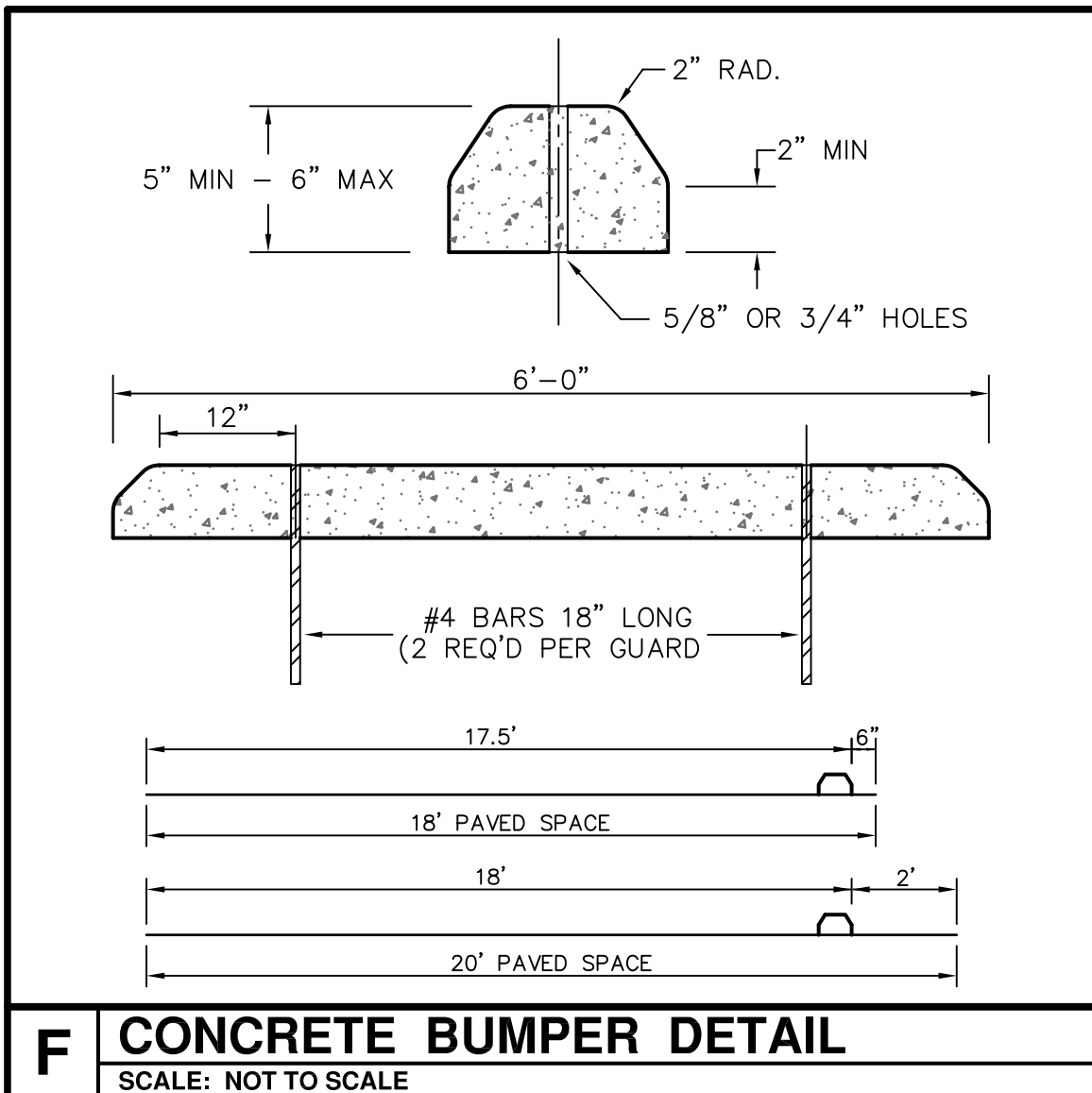
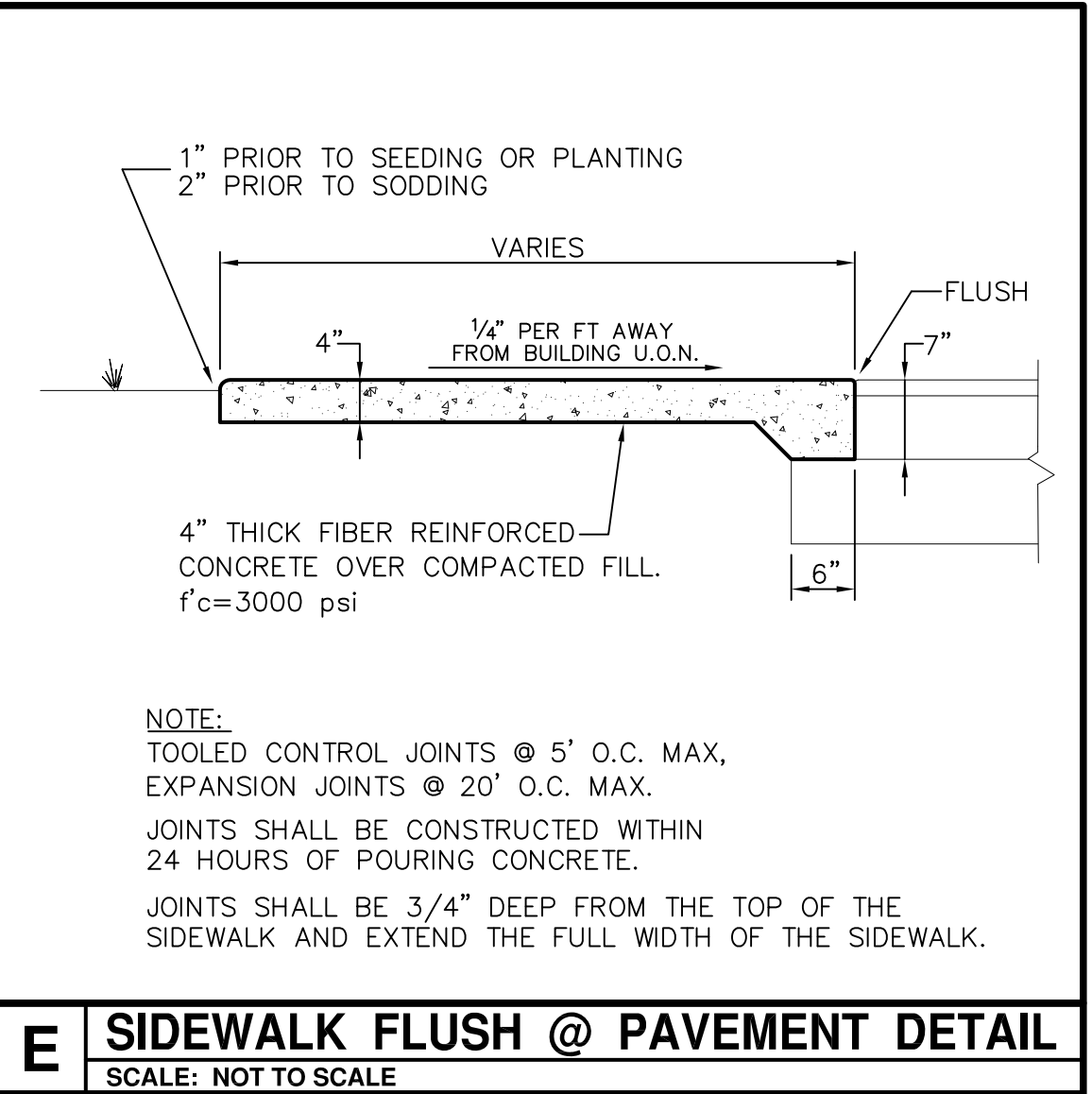
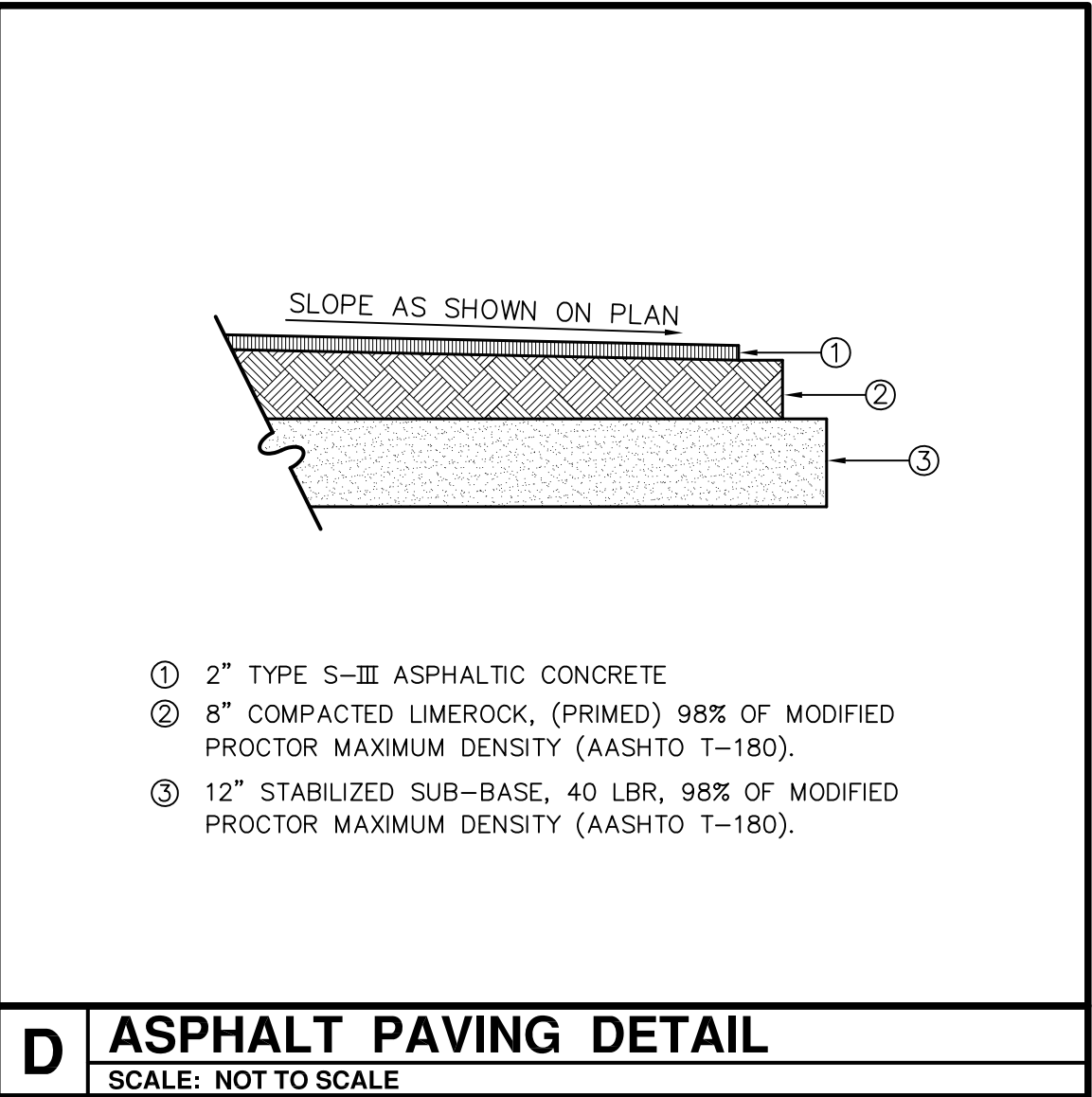
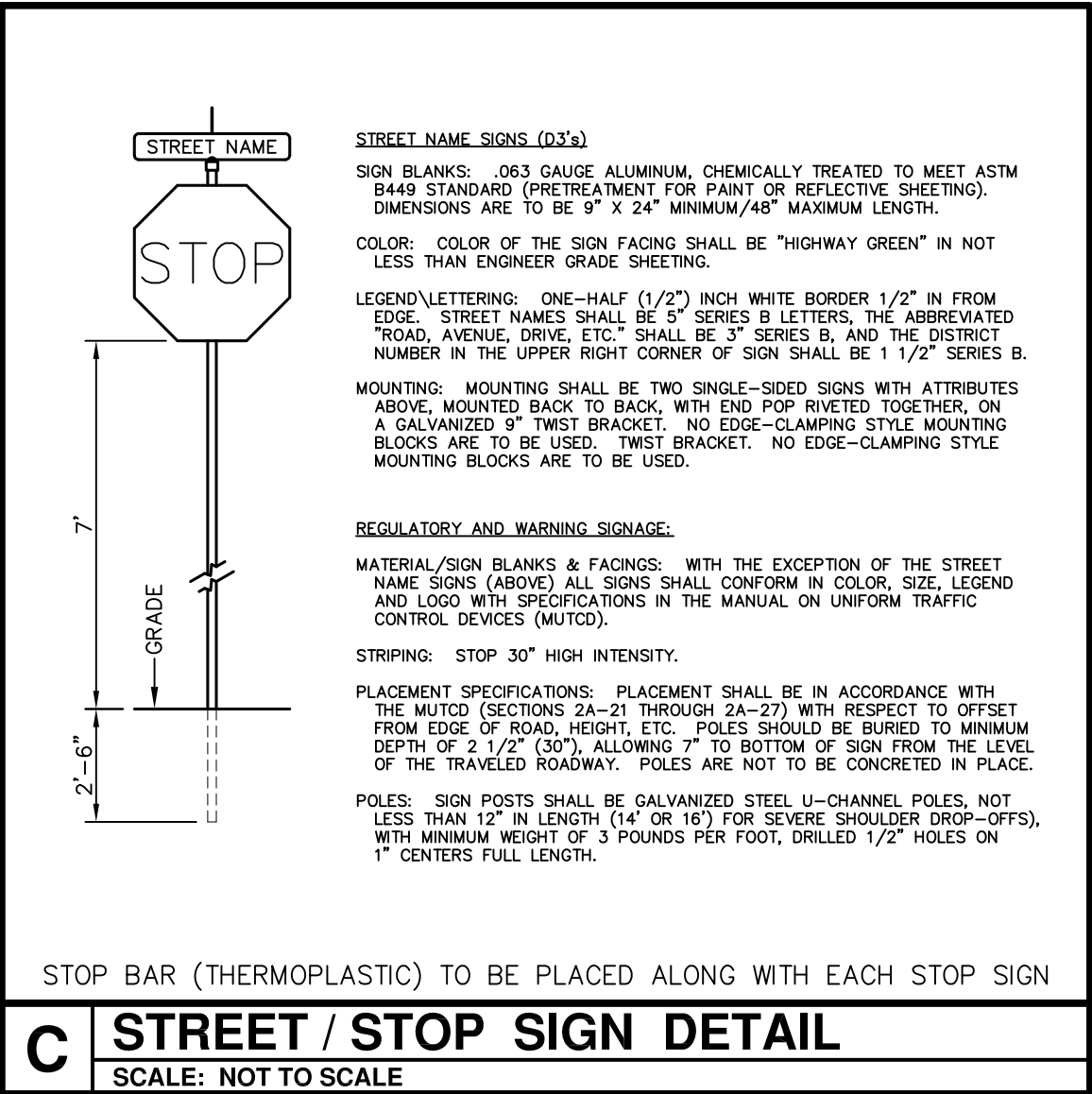
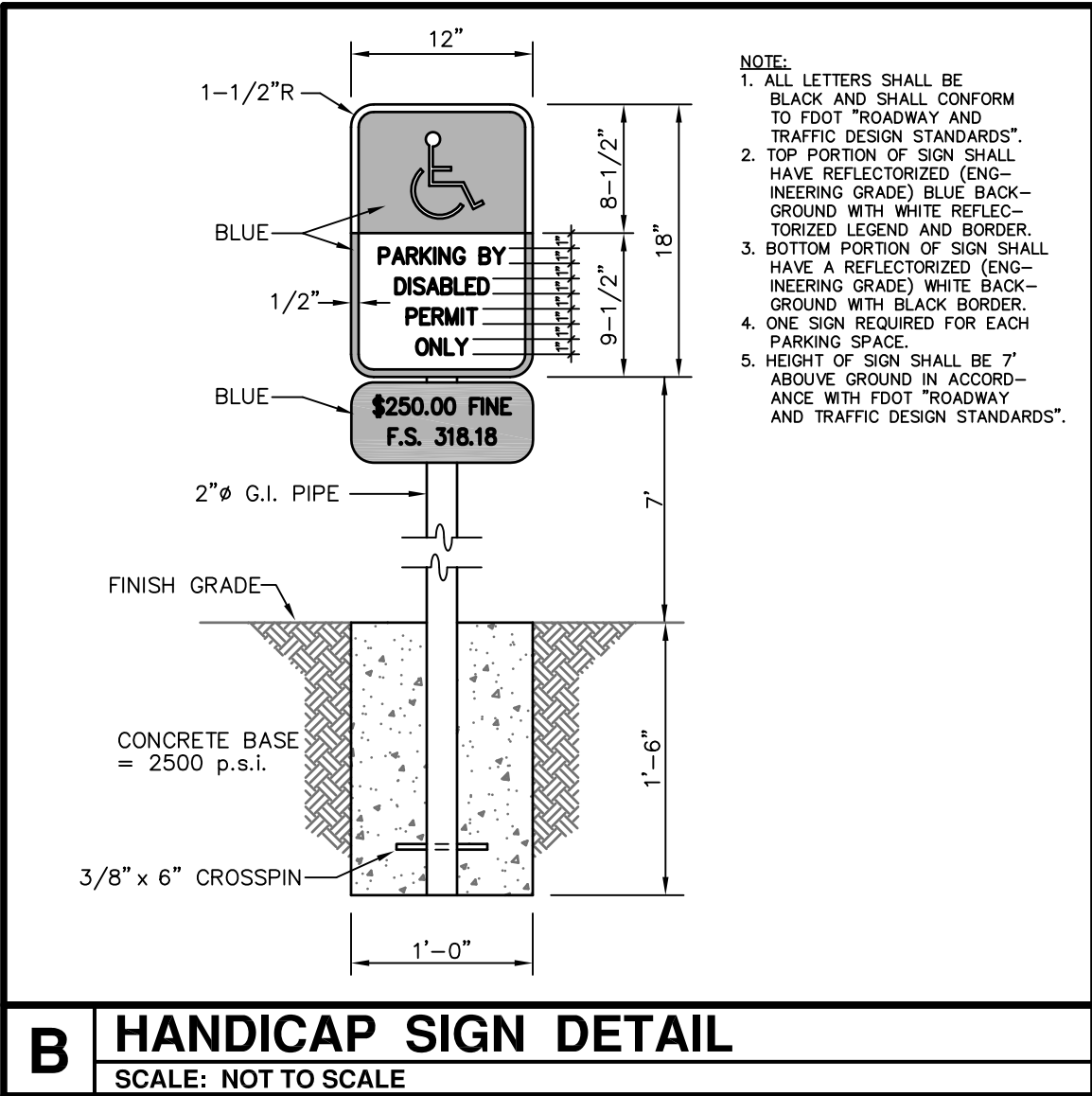
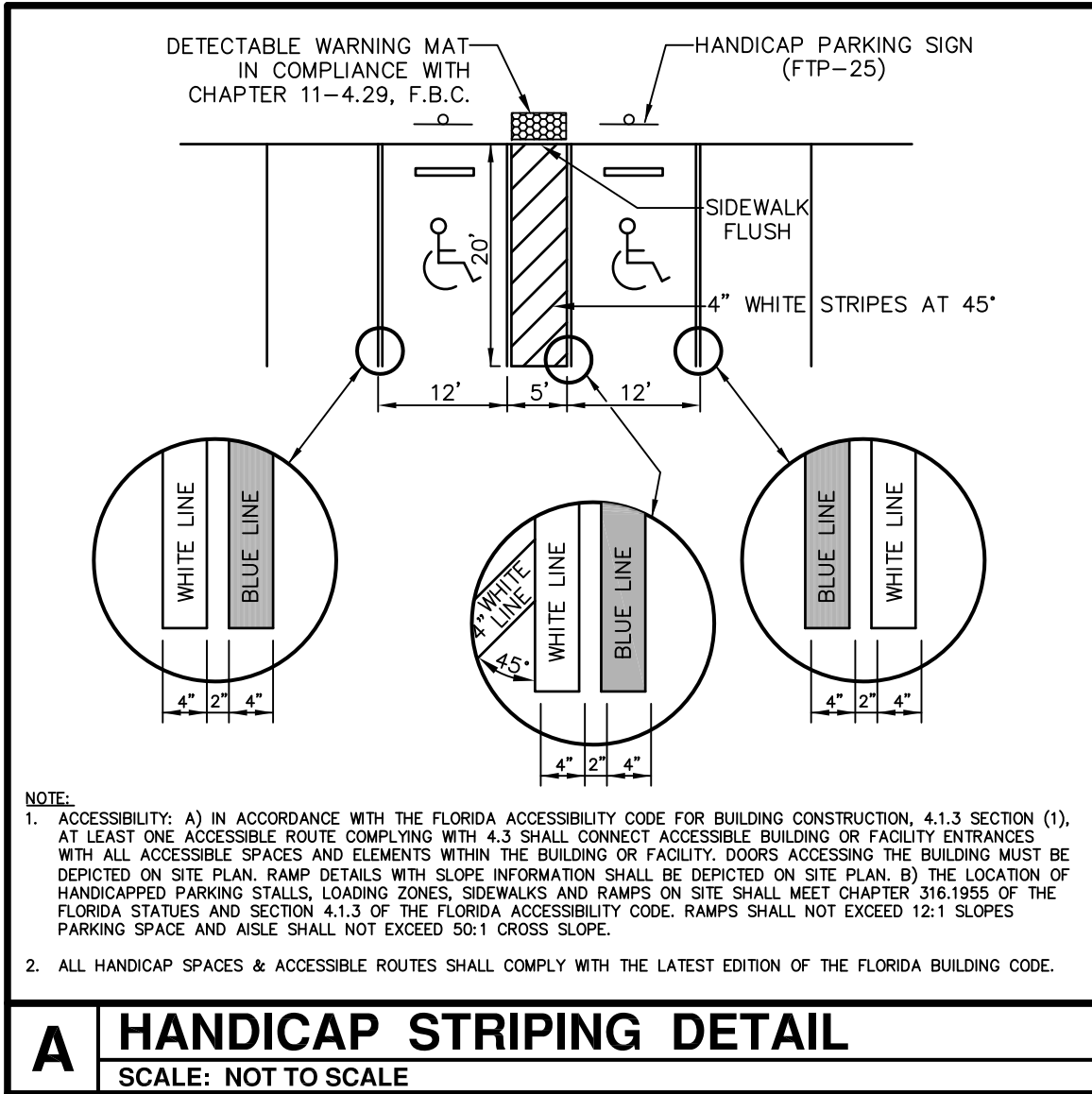
PHONE (352) 787-7482

FAX (352) 787-7412

keith@riddlenewman.com

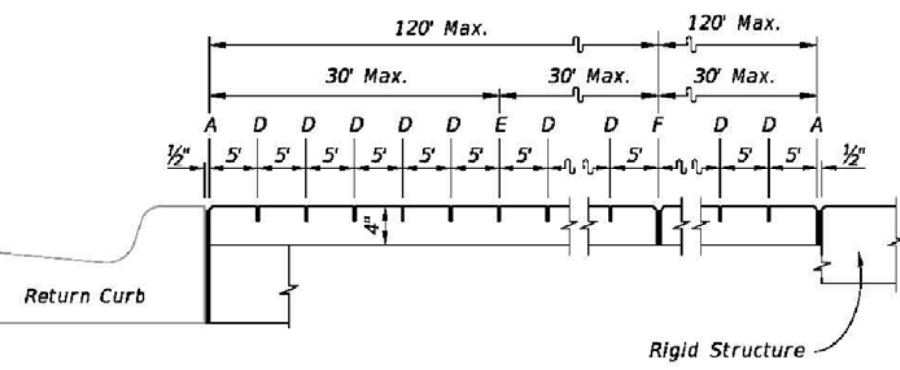
CA# 00002883







1. Construct sidewalks in accordance with Specification 522. Use 6" concrete for Sidewalks and Curb Ramps Located within Curb Returns (See Plan View). Install all other concrete with thickness as shown, unless otherwise detailed in the Plans.
2. Include detectable warnings on sidewalk curb ramps in accordance with Index 522-002.
3. For Driveways see Index 522-003.
4. Bond breaker material can be any impermeable coated or sheet membrane or preformed material having a thickness of not less than 6 mils and not more than 1/2".
5. Construct sidewalks with Edge Beam through the limits of any surface mounted Pedestrian/Bicycle Railing or Pipe Guiderail shown in the plans. (See RAILING DETAILS)



SAWED JOINTS  
LONGITUDINAL SECTION

A-  $\frac{1}{2}$ " Expansion Joints (Preformed Joint Filler) between the sidewalk and; driveways, sidewalk-intersections, and all other fixed objects (e.g. drainage inlets and utility poles).

**B-  $\frac{1}{8}$ " Dummy Joints, Tooled**

C-  $\frac{3}{8}$ " Formed Open Joints

D-  $\frac{3}{16}$ " Saw Cut Joints,  $1\frac{1}{2}$ " Deep (within 96 hours) Max. 5' Centers

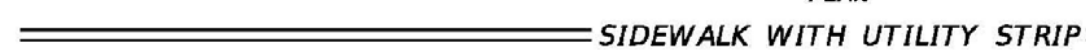
F-  $\frac{3}{4}$ " Saw Cut Joints  $1\frac{1}{4}$ " Deep (within 12 hours) Max. 30' Centers




Joint(s) Required When Length Exceeds 30'

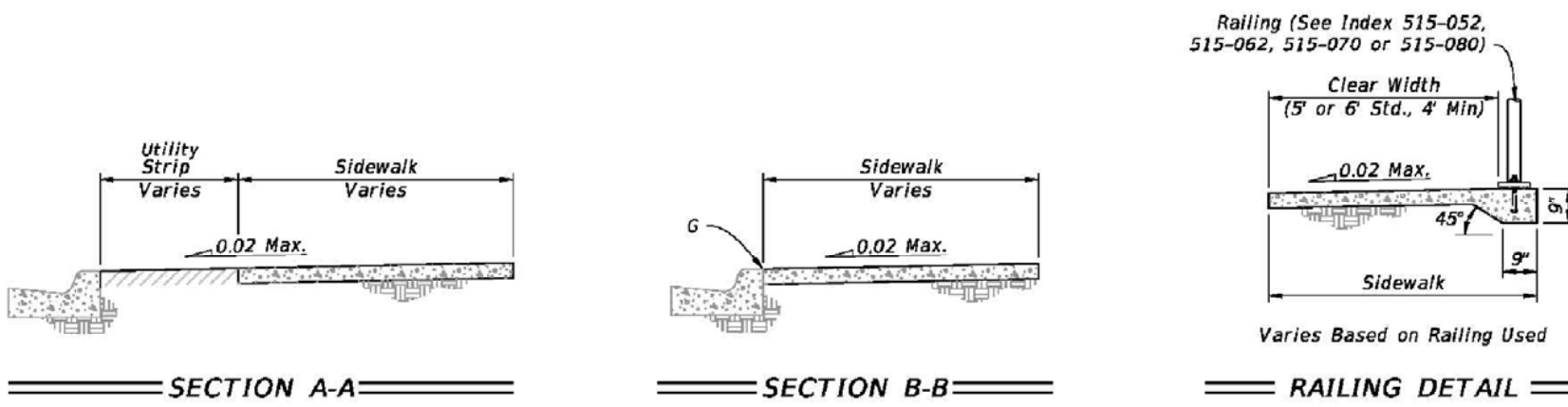
F-  $\frac{1}{2}$ " Expansion Joint When Run Of Sidewalk Exceeds 120'. Intermediate

locations when called for in the plans or at locations as directed by the Engineer.

G- Cold Joint With Bond Breaker, Tooled



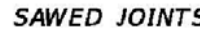
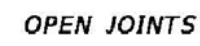
 **4" Thick Sidewalk**  
 **6" Thick Sidewalk**  
 **Utility Strip**



## = SIDEWALK JOINTS :

### GENERAL NOTES AND CONCRETE SIDEWALK ON CURBED ROADWAYS

LAST REVISION 11/01/18	DESCRIPTION:	 FY 2023-24 STANDARD PLANS	CONCRETE SIDEWALK  INDEX 522-001	SHEET 1 of 2
------------------------------	--------------	--	---	-----------------



**LONGITUDINAL SECTION**

A-  $\frac{1}{2}$ " Expansion Joints (Preformed Joint Filler) between the sidewalk and driveways, sidewalk-intersections, and all other fixed objects (e.g. drainage inlets and utility poles).

B-  $\frac{1}{8}$ " Dummy Joints, Tooled

C-  $\frac{3}{8}$ " Formed Open Joints

D =  $\frac{3}{4}$ " Saw Cut Joints,  $1\frac{1}{4}$ " Deep (within 96 hours) Max. 5' Centers

5.  $3/4$ " Saw Cut Joints,  $1\frac{1}{2}$ " Deep (within 12 hours) Max. 30° Center

E = 7/8" Saw Cut Joints, 1 1/2" Deep (within 12 hours) max. 30' Center Joint(s) Required When Length Exceeds 30'

F- 1/2" Expansion Joint When Run Of Sidewalk Exceeds 120'. Interm

locations when called for in the plans or at locations as directed by the Engineer.

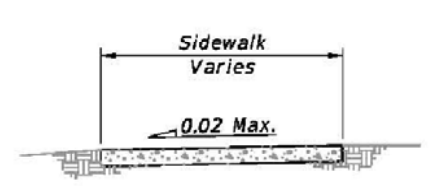
## = SIDEWALK JOINTS



**4" Thick Sidewalk**




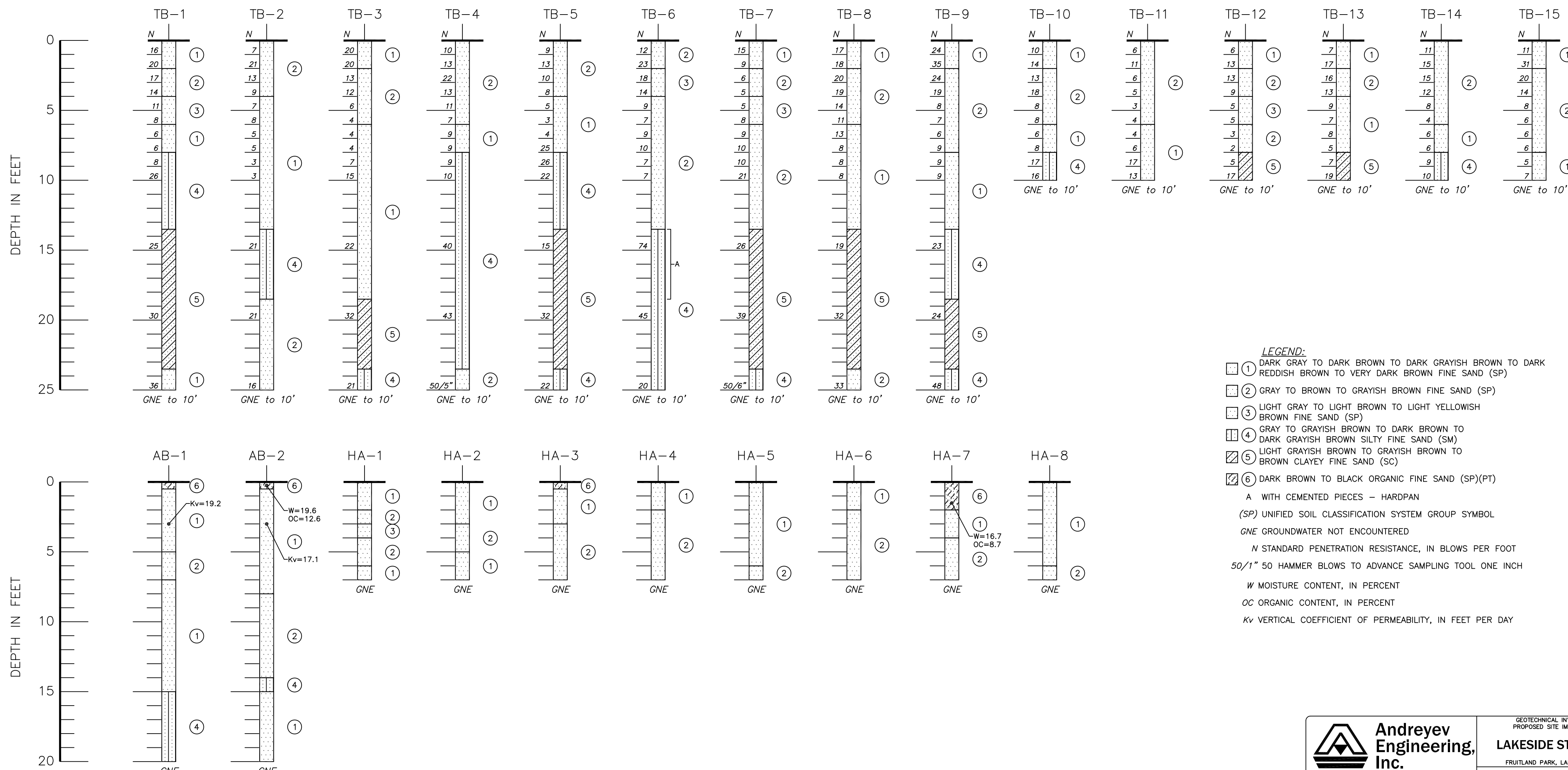
— DISCONTINUOUS SIDEWALK



==SECTION C-C

### CONCRETE SIDEWALK ON FLUSH SHOULDER ROADWAYS

LAST REVISION 11/01/18	DESCRIPTION:   FY 2023-24 STANDARD PLANS	CONCRETE SIDEWALK	INDEX 522-001	SHEET 2 of 2
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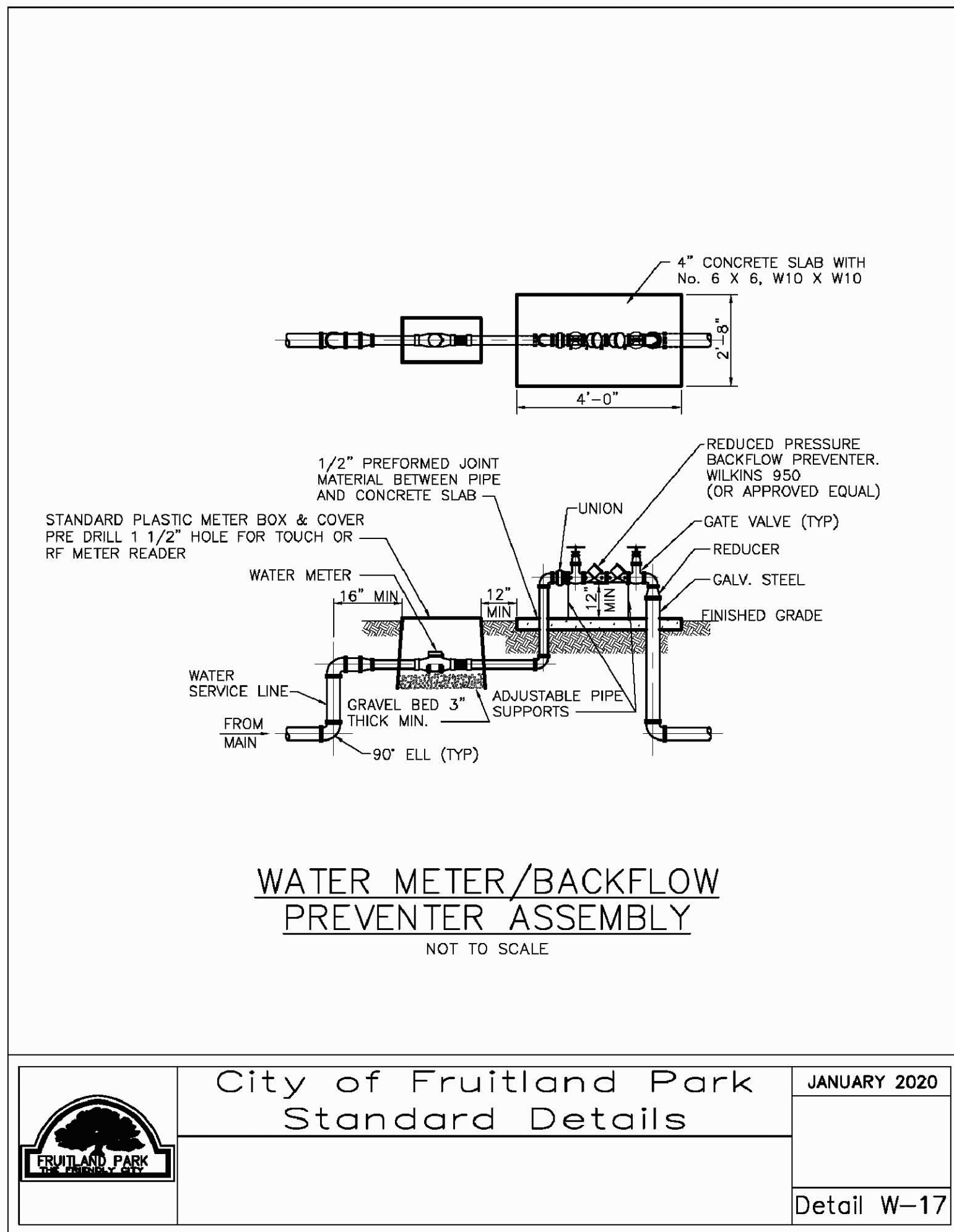
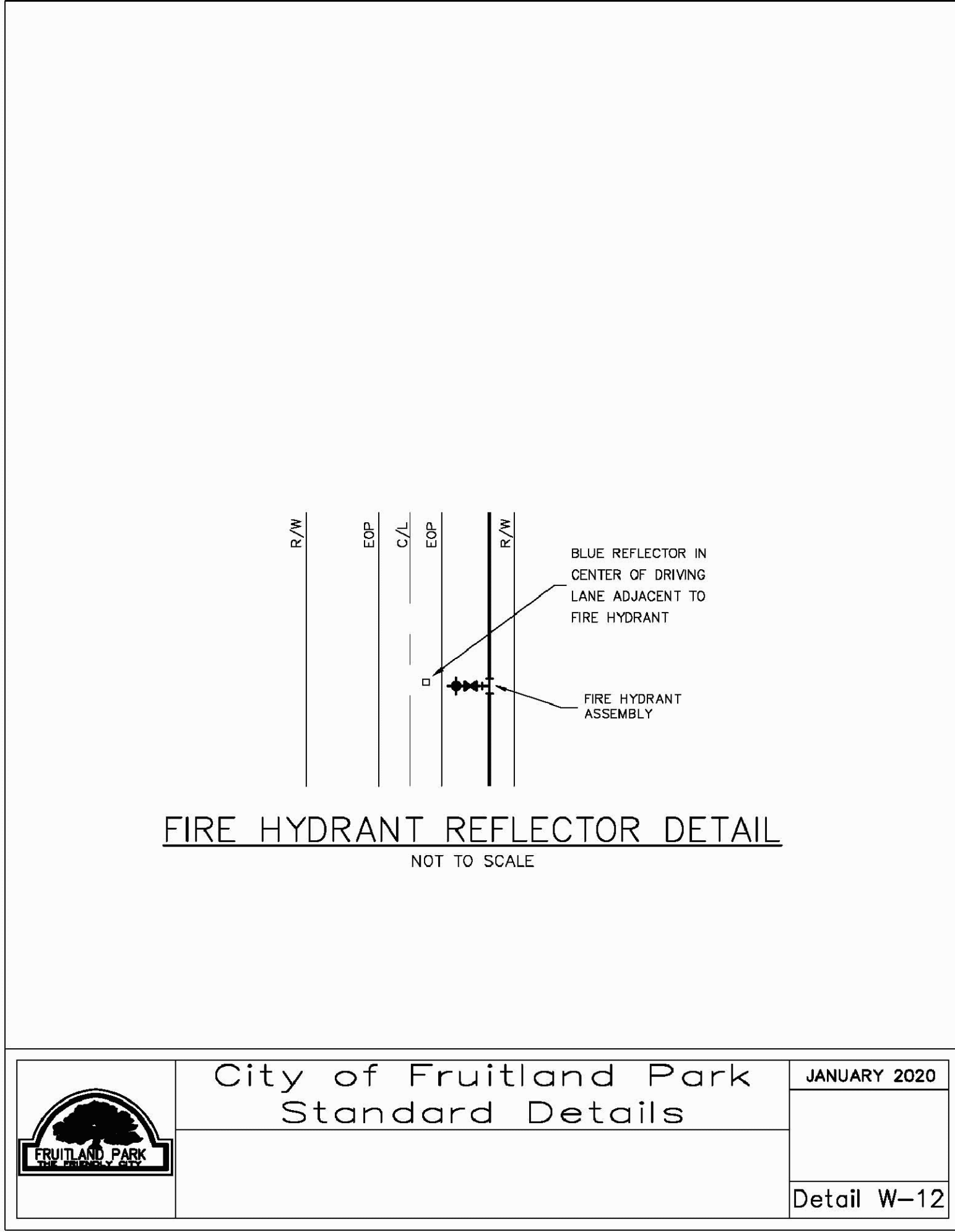
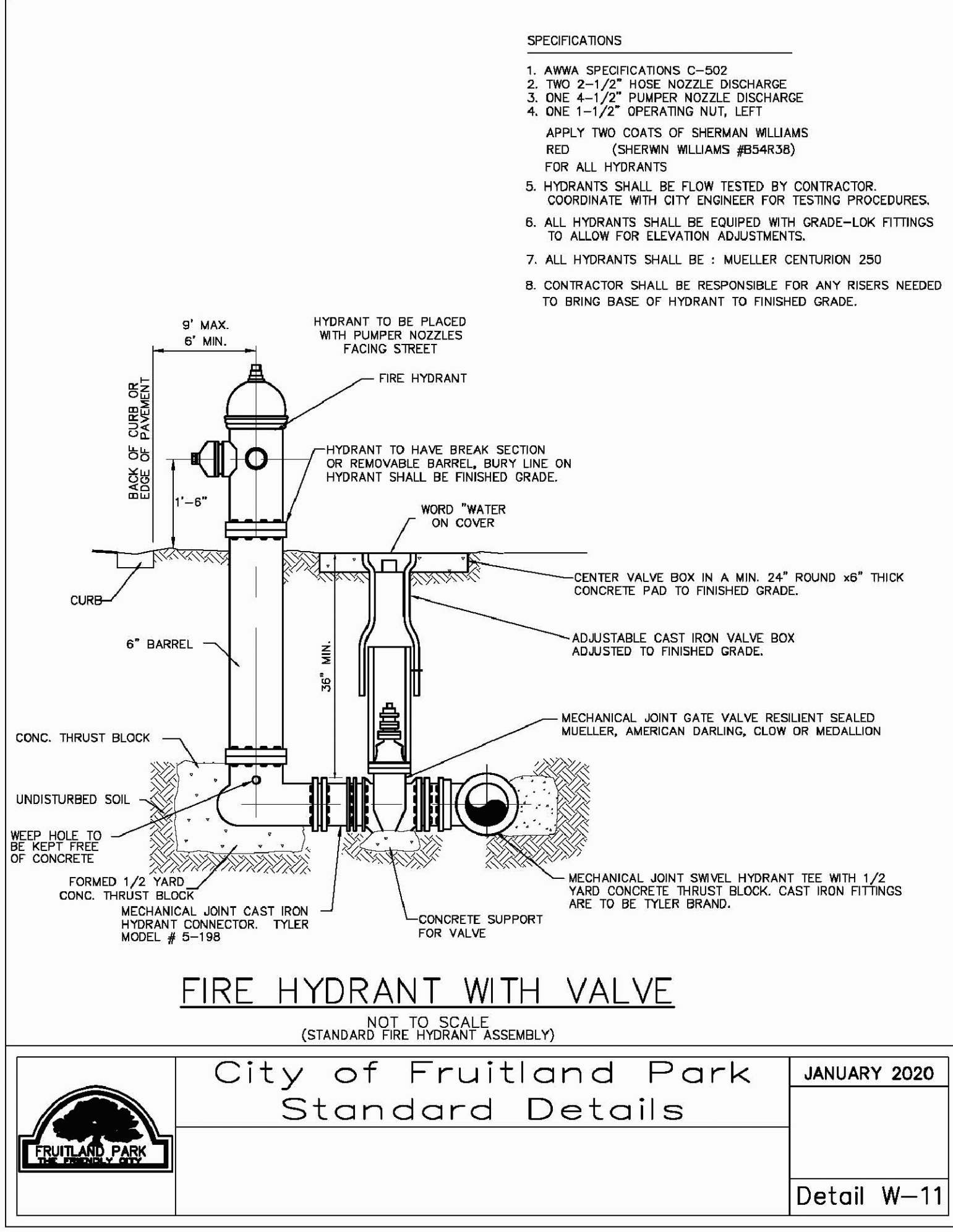
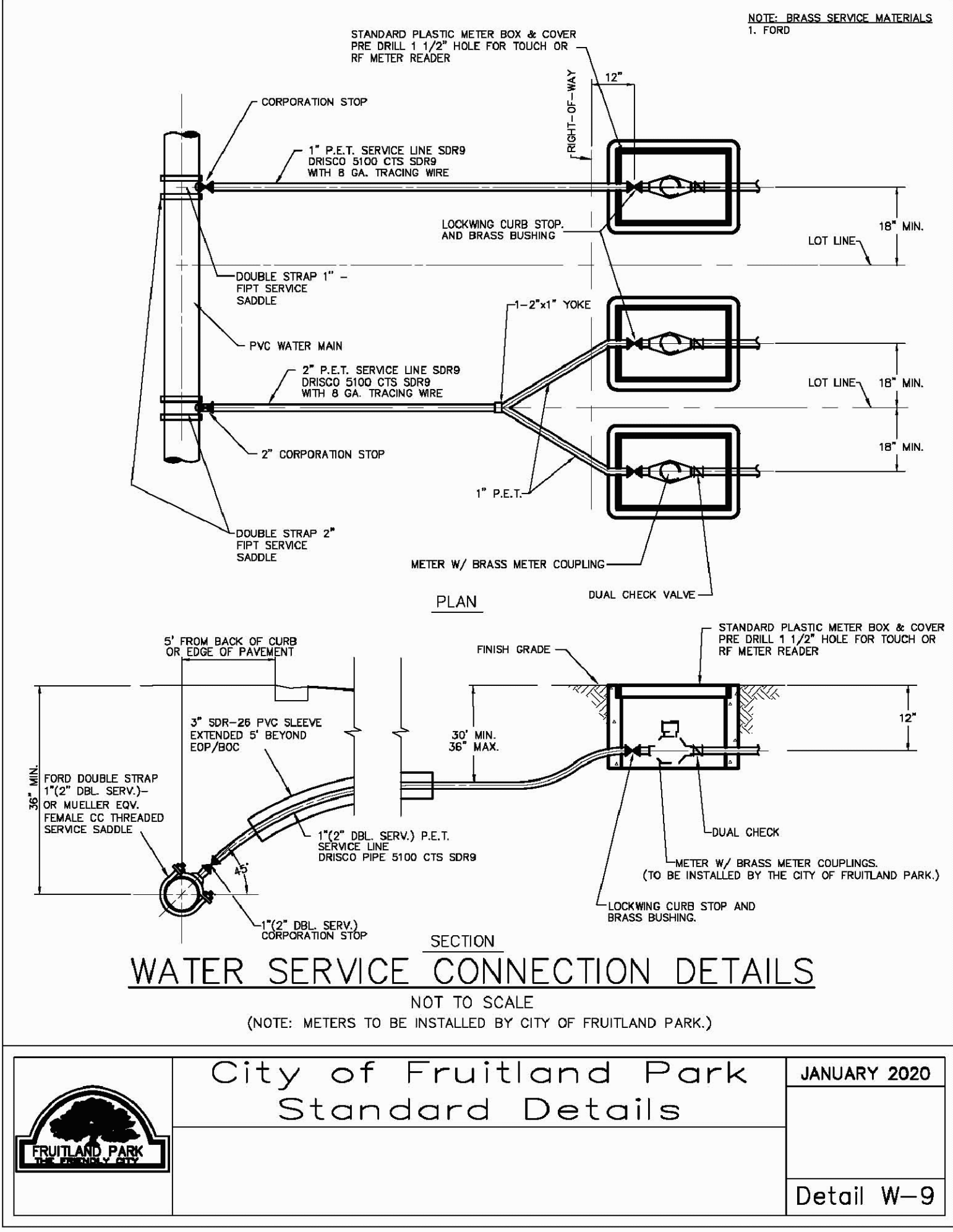
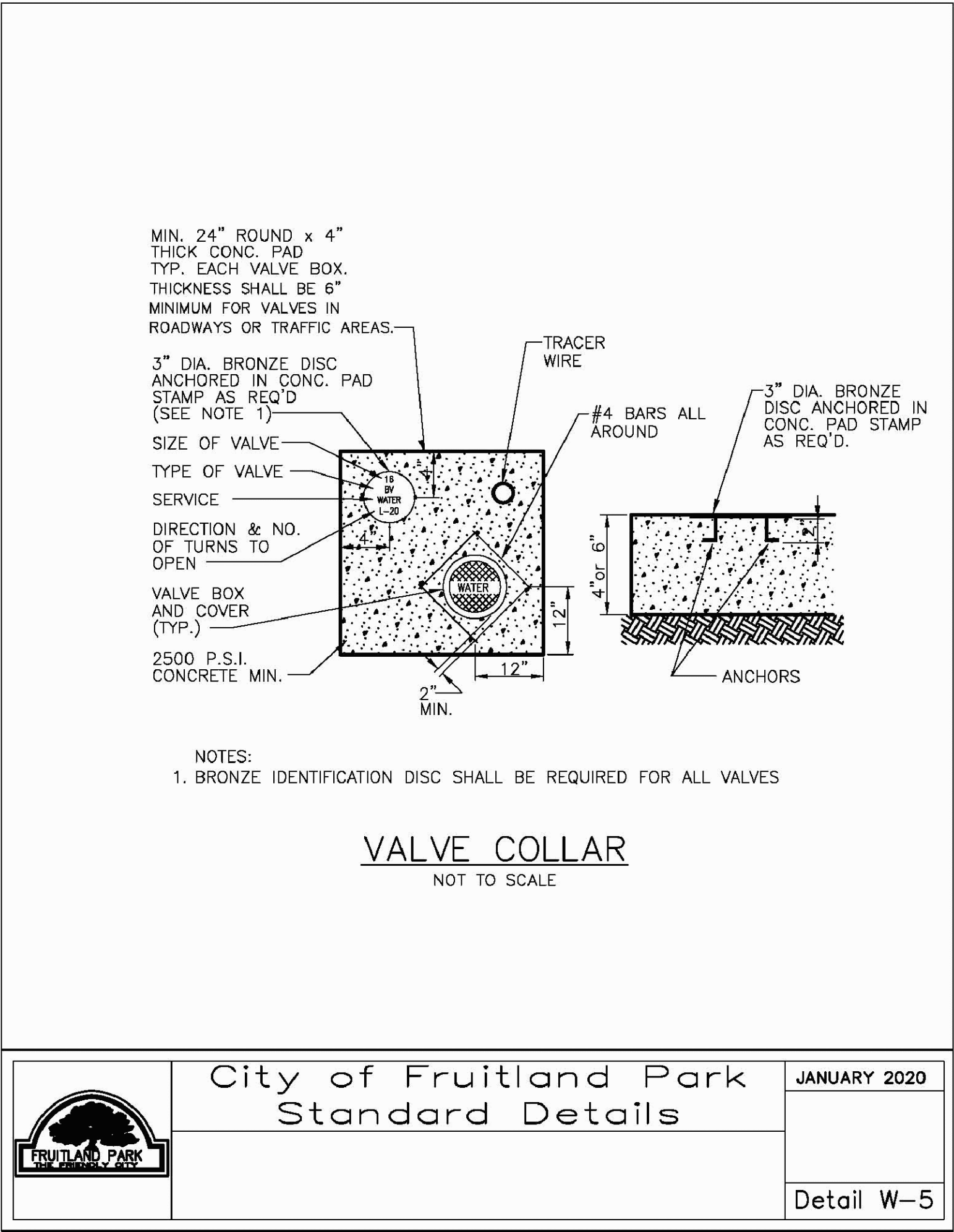


**SITE PREPARATION SPECIFICATIONS**  
( PER REPORT BY ANDREYEV ENGINEERING DATED 10/31/2022 )

The building areas, plus a minimum margin of 5 feet beyond their outer lines, shall be cleared and stripped to remove all surface vegetation, roots, topsoil, organic debris, Stratum 6 organic fine sand, existing concrete/pavement/building materials, or any other encountered deleterious materials. All Stratum 6 organic fine sand shall be properly removed from beneath structural support areas, including the proposed building and pavement areas, plus a five-foot perimeter, and be replaced with compacted engineered fill in order to limit overlying structures from exposure to increased levels of differential settlement. After initial site preparation, the exposed foundation subgrade soils for the building areas shall be proof rolled and compacted to a minimum of 95% of the soil's modified Proctor maximum dry density as determined by ASTM Specification D-1557 before any fill material is placed. Compaction shall be completed to a depth of 2 feet below exposed subgrade. The exposed subgrade within pavement areas shall be proof rolled and compacted to a minimum of 95% of the soil's modified Proctor maximum dry density to a depth of 1 foot. All fill required to bring the site to final grade shall be inorganic, non-plastic, granular soil (clean sands) with less than 10% passing a U.S #200 sieve. In structural areas, the fill shall be placed in level lifts not to exceed 12 inches loose and shall be compacted to a minimum of 95% of the soil's modified Proctor maximum dry density as determined by ASTM Specification D-1557. In-place density tests shall be performed on each lift by an experienced geotechnical engineering technician working under the direction of a registered geotechnical engineer to verify that the recommended degree of compaction has been achieved. We suggest a minimum testing frequency of one (1) test per lift per 2,500 square feet of area within structural limits and one (1) test per lift per 10,000 square feet in pavement areas. This fill shall extend a minimum of 5 feet beyond building lines to prevent possible erosion or undermining of footing bearing soils. Further, fill slopes shall not exceed 2 horizontal to 1 vertical (2H: 1V). All fill placed in utility line trenches and adjacent to footings beneath slabs on grade shall also be properly placed and compacted to the specifications stated above. However, in these restricted working areas, compaction shall be accomplished with lightweight, hand-guided compaction equipment and lift thicknesses shall be limited to a maximum of 4 inches loose thickness.





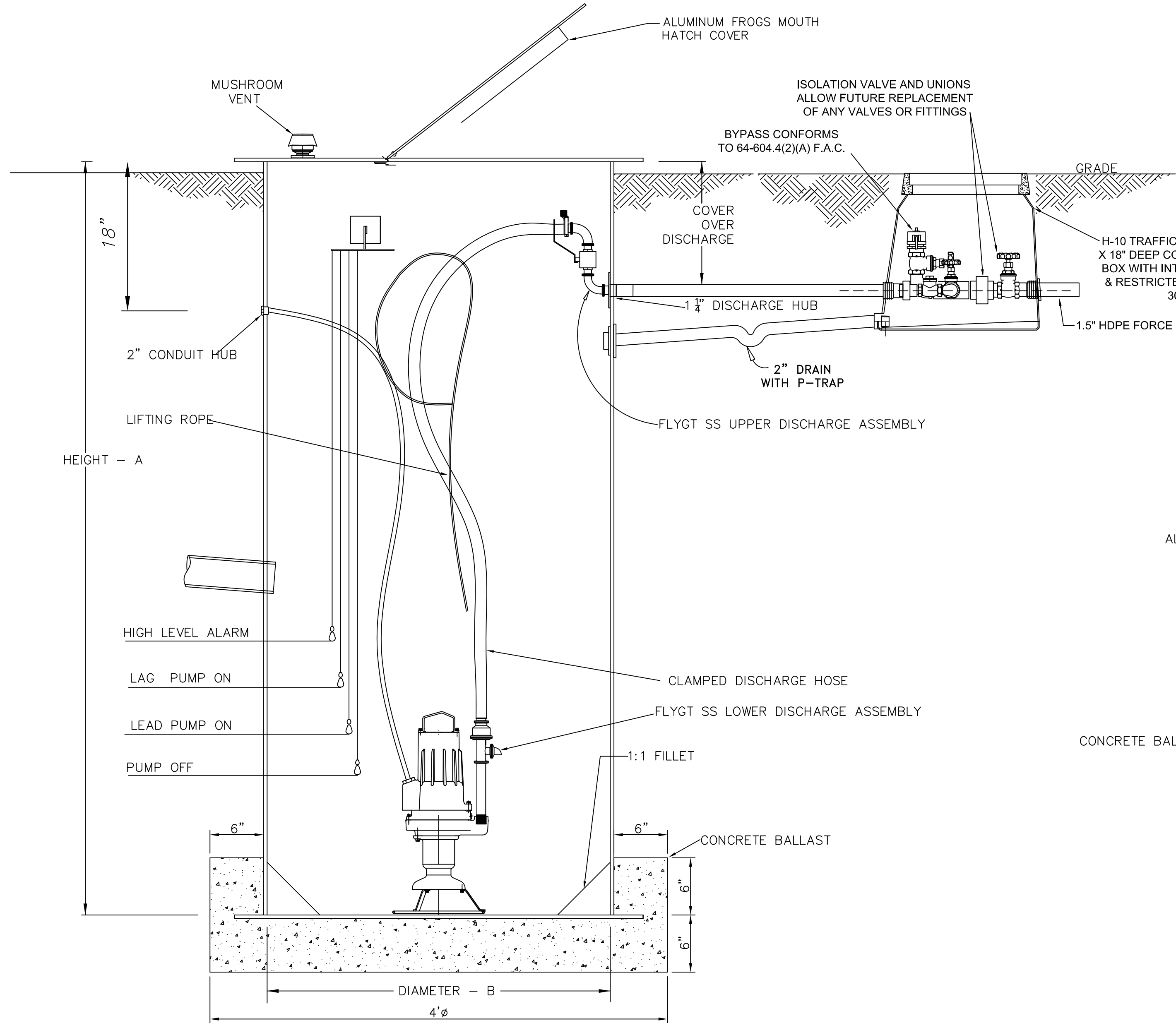




PUMP INFORMATION	
MANUFACTURER	BARNES
MODEL	SERIES ZSGV
HORSEPOWER	2.0
VOLTAGE / PHASE	230 / 3
DESIGN FLOW (GPM)	15.0
DESIGN HEAD (FEET)	40.0 *

\* PUMP STATION SUB-CONTRACTOR SHALL OBTAIN LINE PRESSURE IN EXISTING 8" FORCE MAIN PRIOR TO ORDERING PUMP. REPORT PRESSURE TO ENGINEER FOR VERIFICATION OF SYSTEM OPERATING PARAMETERS AND VERIFICATION OF PUMP SELECTION.

BASIN DIMENSIONS	
DIAMETER - B	HEIGHT - A
<input checked="" type="checkbox"/> 36"	<input type="checkbox"/> 84"
<input type="checkbox"/> 48"	<input type="checkbox"/> 96"
<input type="checkbox"/> 60"	<input type="checkbox"/> 120"
<input type="checkbox"/> OTHER	<input checked="" type="checkbox"/> OTHER 72"
VALVE BOX DIMENSIONS	
<input type="checkbox"/> 23" X 36" X 18"	



## LIFT STATION SECTION VIEW

EXAGGERATED FOR DETAIL - N.T.S.

DUPLEX CONTROL PANEL:  
CONTROL PANEL SHALL BE ASSEMBLED AND BUILT BY A UL508A CERTIFIED MANUFACTURE FACILITY.

THE ENCLOSURE SHALL BE NEMA 4X FIBERGLASS WITH PADLOCKABLE LATCHES.

THE ENCLOSURE SHALL BE ABLE TO BE WALL MOUNTED.

THE FOLLOWING COMPONENTS SHALL BE MOUNTED THROUGH THE ENCLOSURE:  
RED ALARM BEACON (LIGHT)  
ALARM HORN  
GENERATOR RECEPTACLE WITH WEATHERPROOF COVER  
ALARM SILENCE PUSHBUTTON

THE FOLLOWING COMPONENTS SHALL BE MOUNTED THROUGH THE INNERDOOR:  
MAIN CIRCUIT BREAKER  
EMERGENCY CIRCUIT BREAKER  
MECHANICAL INTERLOCK FOR EMERGENCY AND MAIN BREAKERS  
SHORT CIRCUIT PROTECTORS  
CONTROL CIRCUIT BREAKER  
SEAL FAILURE INDICATOR LIGHTS  
HAND-OFF-AUTO SELECTOR SWITCHES  
PUMP-RUN PILOT LIGHTS  
POWER ON PILOT LIGHT  
ELAPSE TIME METERS (NON-RESETABLE)  
GFI DUPLEX CONVENIENCE OUTLET

MISCELLANEOUS: ALL WIRING ON THE BACKPANEL SHALL BE CONTAINED WITHIN THE WIRING DUCT. ALL WIRING BETWEEN THE INNERDOOR AND THE BACKPANEL SHALL BE CONTAINED WITH A PLASTIC SPIRAL WRAP.

EACH WIRE SHALL HAVE A WIRE NUMBER AT EACH END TO CORRESPOND TO THE AS-BUILT DRAWING FOR FIELD TROUBLESHOOTING.

THE CONTROL PANEL SHALL BE ASSEMBLED BY A UL508A CERTIFIED MANUFACTURING FACILITY.

FASTENERS AND APPURTENANCES: ALL FASTENERS, LIFTING CABLES, FLOAT CABLE BRACKET, HINGES, AND APPURTENANCES SHALL BE MADE OF 304SS MINIMUM.

1. A 304SS SLIDE/LATCH ASSEMBLY SHALL BE PROVIDED FOR HOLDING THE DOORS OPEN ON THE WET WELL AND VALVE BOX.
2. SLIDE RAILS SHALL BE MADE OF SCH 40 304SS PIPE.
3. PUMP LIFTING CABLES/CHAINS SHALL BE 304SS.
4. PUMP LIFTING BALES SHALL BE MADE OF 304SS.

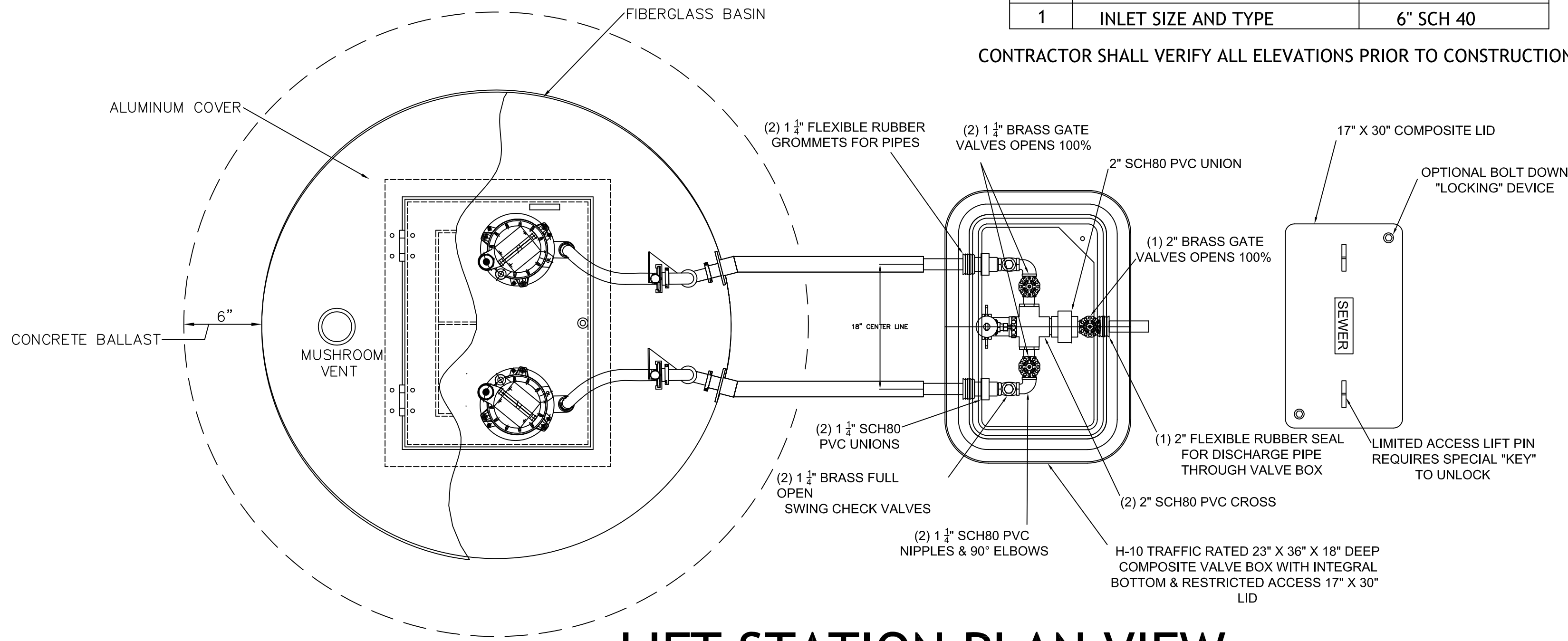
#### EXECUTION:

INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURE'S RECOMMENDATIONS IN THE LOCATIONS SHOWN ON THE DRAWINGS.

CERTIFIED ELECTRICIAN SHALL MOUNT CONTROL PANEL AND CONNECT POWER SERVICE TO PANEL PRIOR TO STARTUP AND FACTORY REP SITE VISIT.

THE PUMP CONTROLS AND PUMPS SHALL BE CHECKED FOR PROPER OPERATION AND ENSURE THAT ALL LEVEL CONTROLS ARE IN ACCORDANCE WITH THE PLANS AND FULLY FUNCTIONING.

PUMP STATION SHALL BE VENTED PER MANUFACTURER'S RECOMMENDATIONS.



## LIFT STATION PLAN VIEW

#### BASIN INSTALLATION INSTRUCTIONS:

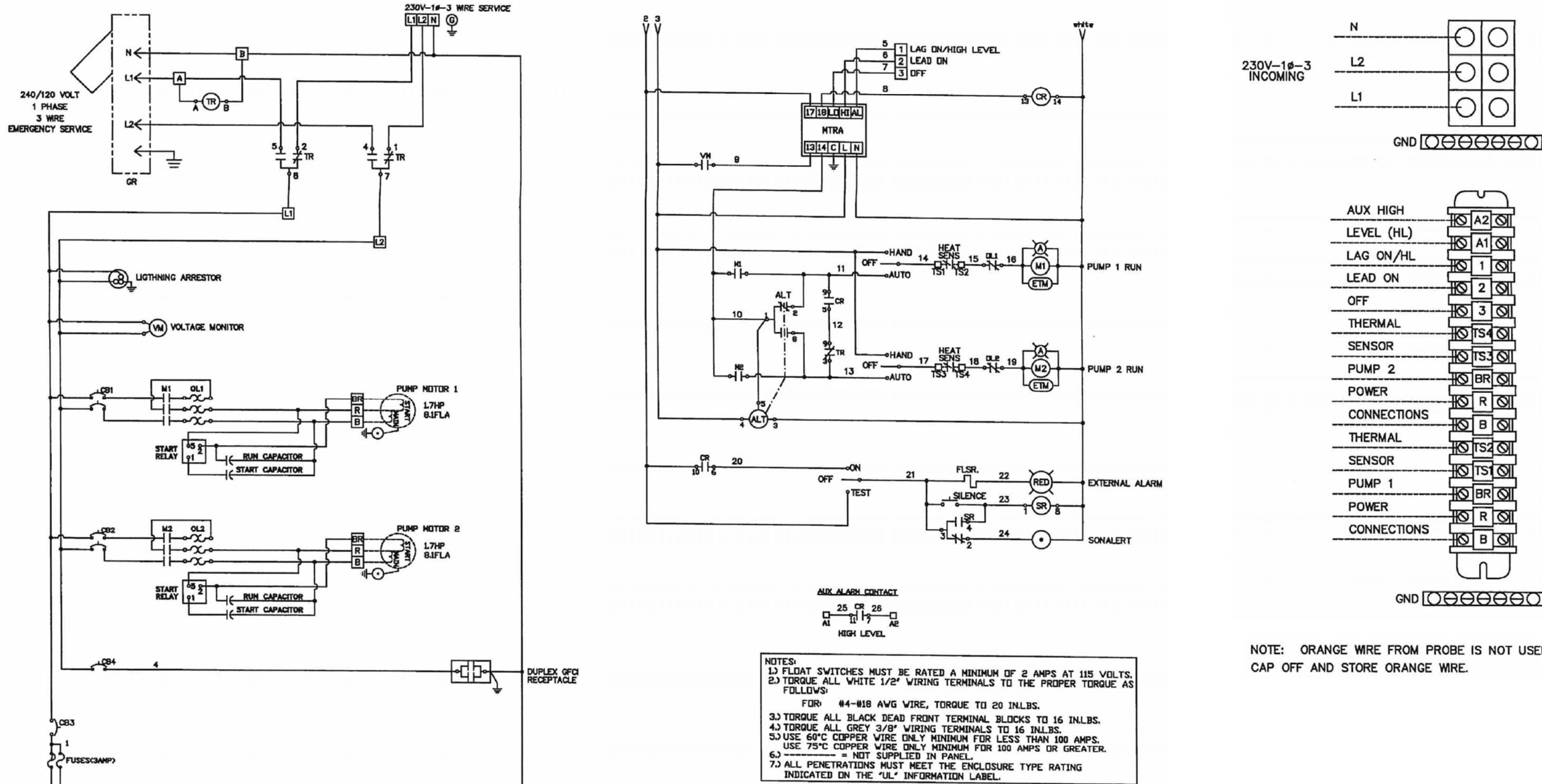
1. INSPECT ALL MATERIALS SUPPLIED TO ENSURE THERE ARE NO DAMAGES DUE TO SHIPPING PRIOR TO INSTALLATION.
2. EXCAVATE HOLE LARGE ENOUGH TO ACCOMMODATE BASIN, UNDERGROUND PIPING, BACKFILL MATERIAL, AND ADEQUATE WORKING SPACE.
3. PREPARE THE BOTTOM OF THE EXCAVATED HOLE WITH 6" OF BACKFILL MATERIAL OR CONCRETE PAD. CHECK BASE TO INSURE IT IS LEVEL AND SMOOTH.
4. INSTALL BASIN ON GRAVEL BASE OR CONCRETE PAD, ANCHOR IF NECESSARY.
5. CONCRETE MAY BE PORED AROUND BASIN BOTTOM IF BALLAST IS REQUIRED FOR BUOYANCY.
6. BACKFILL WITH PEA GRAVEL 4" TO 6" AROUND THE ENTIRE PERIPHERY OF THE BASIN/COMPACTED BACKFILL MATERIAL IN 12" LIFTS. STOP AND CONNECT PIPING AS REQUIRED.

#### RECOMMENDED BACKFILL MATERIAL:

GRAVEL OR STONE TO BE FREE FLOWING, NATURALLY ROUNDED AGGREGATE WITH A PARTICLE SIZE OF NOT LESS THAN 3/8" OR LARGER THAN 3/4" IN DIAMETER.

#### ELECTRICAL NOTES:

1. DISCONNECT IS REQUIRED WITHIN SIGHT OR 50' MAX FROM PANEL LOCATION.
2. COORDINATE ALL ELECTRICAL WORK PRIOR TO CONSTRUCTION.
3. PANEL SHALL BE MANUFACTURED TO UNDERWRITERS'S LABORATORIES STANDARDS AND LABELED ACCORDINGLY.
4. EACH FLEXIBLE CABLE SHALL BE PROVIDED WITH A WATERTIGHT SEAL AND SEPARATE STRAIN RELIEF.
5. ELECTRICAL EQUIPMENT EXPOSED TO WEATHER SHALL MEET THE REQUIREMENTS OF WEATHERPROOF EQUIPMENT NEMA 4X.
6. A 110VOLT POWER RECEPTACLE WITH GROUND FAULT INTERRUPTION (GFI) PROTECTION SHALL BE AVAILABLE TO FACILITATE MAINTENANCE EITHER INSIDE THE CONTROL PANEL OR WITHIN 25 FEET OF CONTROL PANEL.
7. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
8. ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS WITH APPROPRIATE MATERIAL.
9. CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT.
10. NEUTRAL TO BE SUPPLIED FOR SINGLE PHASE AND THREE PHASE POWER.
11. ELECTRICAL EQUIPMENT SHALL BE INSTALLED ABOVE THE 100'-YEAR FLOOD ELEVATION (WHERE APPLICABLE).



NOTES:  
1) FLOAT SWITCHES MUST BE RATED A MINIMUM OF 2 AMPS AT 115 VOLTS.  
2) TORQUE ALL WHITE 1/2" WIRING TERMINALS TO THE PROPER TORQUE AS FOLLOWS:  
FOR 14-18 AWG WIRE, TORQUE TO 20 IN.LBS.  
3) TORQUE ALL BLACK DEAD FRONT TERMINAL BLOCKS TO 16 IN.LBS.  
4) TORQUE ALL GREY 3/8" WIRING TERMINALS TO 16 IN.LBS.  
5) USE 60°C COPPER WIRE ONLY. MINIMUM FOR LESS THAN 100 AMPS.  
6) USE 75°C COPPER WIRE ONLY. MINIMUM FOR 100 AMPS OR GREATER.  
7) ALL PENETRATIONS MUST MEET THE ENCLOSURE TYPE RATING INDICATED ON THE "UL" INFORMATION LABEL.

## LIFT STATION SCHEDULE

1	TOP OF BASIN	127.25
1	INLET INVERT	123.86
1	HIGH WATER LEVEL ALARM	123.86
1	LAG PUMP ON	123.75
1	LEAD PUMP ON	123.25
1	PUMPS OFF	122.25
1	BOTTOM OF BASIN	121.25
1	COVER OVER DISCHARGE	18 INCHES
1	INLET SIZE AND TYPE	6" SCH 40

CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION.

RIDDLE - NEWMAN ENGINEERING, INC.

115 NORTH CANAL STREET  
LEESBURG, FLORIDA 34748  
PHONE (352) 787-7482  
FAX (352) 787-7412  
keith@riddlenewman.com  
CA# 00002883

RIDDLE NEWMAN ENGINEERING INC.

ESTABLISHED 1981

REV #5

REV #4

REV #3

REV #2

REV #1

STATE OF FLORIDA

PROFESSIONAL ENGINEER

LICENSE NO. 38800

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY KEITH E. RIDDLE, P.E. ON THE DATE INDICATED HERE USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DATE: 1/11/23

PROJECT NO: 22.13

PUMP STATION DETAILS AND NOTES

LAKESIDE STORAGE II

FLORIDA

SHEET NO.

C6.3



## **RESOLUTION 2023-052**

**A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, GRANTING MAJOR SITE PLAN APPROVAL WITH CONDITIONS TO ALLOW FOR CONSTRUCTION OF A STORAGE FACILITY INCLUDING AN OFFICE FOR A TOTAL OF 93,986 SQUARE FEET CONSISTING OF APPROXIMATELY MULTIPLE BUILDINGS AND RV/BOAT STORAGE SPACES; PROVIDING FOR CONDITIONS; AUTHORIZING THE CITY MANAGER TO ISSUE A NOTICE OF SITE PLAN APPROVAL UPON COMPLETION OF ALL CONDITIONS; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, DNA Realty Trust, LLC filed an application for Major Site Plan Approval to allow for construction of a storage facility and RV/boat storage area on real property located at 2600 US Hwy 441/27, at the intersection of Cook Drive and US-441, Fruitland Park; and

**WHEREAS**, the Planning and Zoning Board of the City of Fruitland Park has considered the application in accordance with the Land Development Regulations for Major Site Plan Approval in Chapter 160 of the Land Development Regulations; and

**WHEREAS**, the City Commission of the City of Fruitland Park has considered the application in accordance with the Land Development Regulations for Major Site Plan Approval in Chapter 160 of the Land Development Regulations, subject to conditions;

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, LAKE COUNTY, FLORIDA, AS FOLLOWS:**

### **Section 1. Granting of Major Site Plan Approval.**

The application filed by DNA Realty Trust, LLC (hereafter referred to as “Applicant”), to allow for construction of a storage facility and RV/boat storage spaces on real property located at 2600 US Hwy 441/27, Fruitland Park is hereby GRANTED, with conditions, for the following described properties:

Alt. Key Numbers: 2919531, 2919523, 2919507 and 2919469

04-19-24-2175-00B-00400, 04-19-24-2175-00B-00301, 04-19-24-2175-00B-00300, and 04-19-24-2175-00B-00100

(The Properties)

**LEGAL DESCRIPTION: See attached Exhibit A.**

### **Section 2. Conditions of Approval.**







## **EXHIBIT A**

### **LEGAL DESCRIPTION OF THE PROPERTIES**

LOTS 1, 2, 3, 4, 5 AND THE SOUTH 70 FEET OF LOT 6, BLOCK B, ZEPHYR LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 78, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

TOGETHER WITH A 40 FOOT WIDE STRIP OF LAND BEING THE ABANDONED FORMER ATLANTIC COASTLINE RAILROAD, LYING WEST OF THE FOLLOWING DESCRIBED PROPERTY:

LOTS 1, 2, 4, 5, THE WEST 1/2 OF LOT 3 AND THE SOUTH 70 FEET OF LOT 6, BLOCK B, ZEPHYR LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 78, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

Record and Return to:  
City of Fruitland Park  
506 W. Berckman St  
Fruitland Park, FL 34731

## NOTICE OF SITE PLAN APPROVAL

TO: DNA Realty Trust LLC  
P.O. Box 7878  
Gainesville, GA 30504-7878

You are hereby notified that as set forth in Resolution 2023-0xx site plan approval is GRANTED for construction of a 93,986 square foot storage facility including an office for a total of 93,986 square feet consisting of multiple buildings and RV/boat storage spaces with associated parking, stormwater and utility facilities on real property located at 2600 U.S. Hwy 441/27, Fruitland Park, on the property more particularly described herein which lies wholly within the city limits of the City of Fruitland Park.

### LEGAL DESCRIPTION:

Alt. Key Number: 2919531, 2919523, 2919507, and 2919469 (The Property)

Parcel ID Nos. 04-19-24-2175-00B-00400, 04-19-24-2175-00B-00301, 04-19-24-2175-00B-00300, and 04-19-24-2175-00B-00100.

See attached **Exhibit A** attached hereto. (the “Property”)

Under penalty of law, the above-referenced property may not be subdivided or split without the express written approval of the City Commission of the City of Fruitland Park.

---

Gary La Venia, City Manager  
City of Fruitland Park

Attest:

---

Esther B. Coulson, City Clerk  
City of Fruitland Park

Approved as to form:

---

Anita Geraci-Carver, City Attorney  
City of Fruitland Park



DRAWN BY:	D.C.W.	DATE:	06/21/23
CHECKED BY:	R.W.H.	DRAWING NO.:	B-17287
SHEET 123-10465281		SHEET	1 OF 2

REVISION: REVISED CITY OF LEESBURG TO CITY OF FRUITLAND PARK  
BT, D.C.M. 6/23/23  
REVISION: REVISED DISTANCE IN DESCRIPTION FROM 346.96 TO 364.96.  
BT, D.C.M. 7/17/23

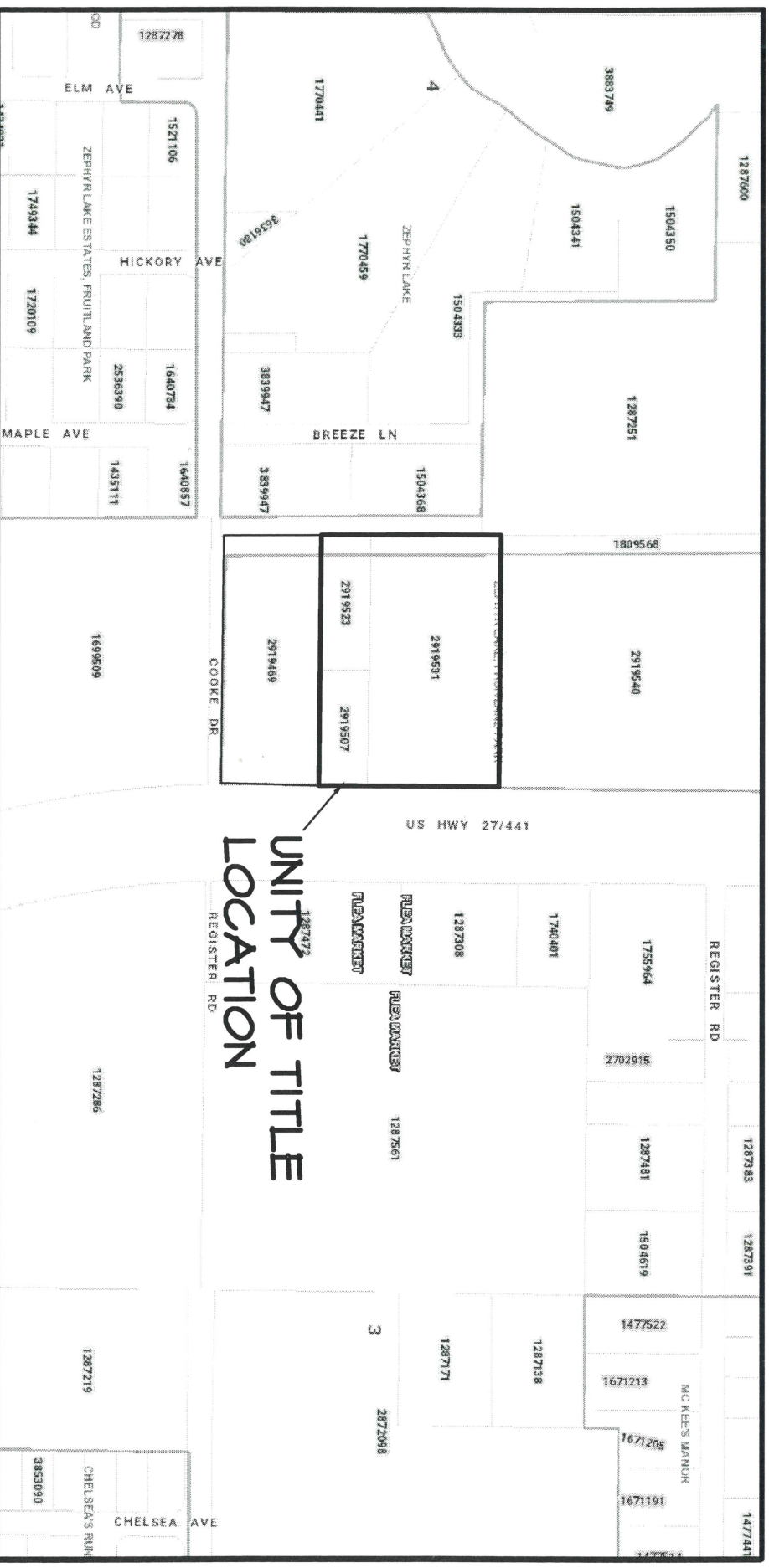
## SECTION 4, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA

### NOT A BOUNDARY SURVEY

#### DESCRIPTION:

THE UNITY OF TITLE OF PARCELS BEING ALTERNATE KEY NUMBERS 2919507, 2919523 AND 2919531, BEING KNOWN AS LOTS 3, 4, 5, BLOCK "B", AND THE SOUTH 70.00 FEET OF LOT 6, BLOCK "B", ALL IN THE PLAT OF ZEPHYR LAKE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 11, PAGE 78, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, AND A PORTION OF THE EAST 40.00 FEET WIDE STRIP OF LAND BEING THE ABANDONED FORMER ATLANTIC COASTLINE RAILROAD. LYING WEST OF THE ABOVE DESCRIBED LOTS. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF LOT 1, BLOCK "B", ZEPHYR LAKE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 11, PAGE 78, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, SAID POINT BEING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF COOKE DRIVE AND THE WEST RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 441/27; THENCE N. 00°46'44" E., ALONG THE EAST LINE OF SAID BLOCK "B" AND THE WEST RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY 441/27, A DISTANCE OF 199.98 FEET TO THE SOUTHEAST CORNER OF LOT 3, BLOCK "B" OF SAID ZEPHYR LAKE AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE FROM SAID POINT OF BEGINNING CONTINUE N. 00°46'44" E., ALONG SAID EAST LINE OF BLOCK "B" AND SAID WEST RIGHT-OF-WAY LINE A DISTANCE OF 369.96 FEET TO THE NORTH LINE OF THE SOUTH 70.00 FEET OF LOT 6, BLOCK "B" OF SAID ZEPHYR LAKE; THENCE N. 89°25'10" W., DEPARTING FROM THE EAST LINE OF SAID BLOCK "B" AND SAID WEST RIGHT-OF-WAY LINE, AND ALONG THE NORTH LINE OF THE SOUTH 70.00 FEET OF SAID LOT 6, BLOCK "B" AND A WESTERLY STRIP OF LAND BEING THE ABANDONED FORMER ATLANTIC COASTLINE RAILROAD; THENCE S. 00°12'56" E., ALONG THE SAID WEST LINE, A DISTANCE OF 370.01 FEET TO AN INTERSECTION WITH A WESTERLY EXTENSION OF THE SOUTH LINE OF THE AFORESAID LOT 3, BLOCK "B" OF ZEPHYR LAKE; THENCE S. 89°25'18" E., ALONG SAID WESTERLY EXTENSION AND SAID SOUTH LINE OF LOT 3, BLOCK "B", A DISTANCE OF 538.96 FEET TO THE POINT OF BEGINNING. CONTAINING 4.60 ACRES, MORE OR LESS.



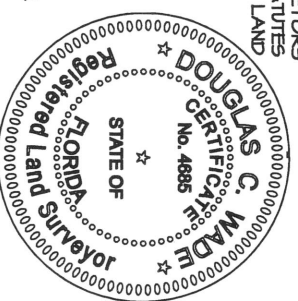
VICINITY MAP  
(NOT TO SCALE)

#### NOTES:

- 1) BEARINGS ARE BASED ON THE RECORD PLAT OF ZEPHYR LAKE SUBDIVISION AND THE WEST RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 441/27 AS BEING N. 00°46'44" E., ASSUMED MERIDIAN.
- 2) LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP OR ANY OTHER INSTRUMENT OF RECORD BY THIS FIRM.
- 3) CERTIFICATION LIMITED TO PARTIES NAMED HEREON.
- 4) THE SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL OR ELECTRONIC SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY THE SIGNING SURVEYOR SHOWN HEREON.
- 5) THIS SKETCH WAS PREPARED TO ACCOMPANY THE DESCRIPTION SHOWN HEREON AS REQUIRED BY CHAPTER 5-17, STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS, PURSUANT TO SECTION 412.021 FLORIDA STATUTES AND DOES NOT REPRESENT, IN ANY WAY, A SURVEY OF SAID LAND.

### SHEET 1 OF 2 SHEETS (SEE SHEET 2 OF 2 FOR SKETCH)

DOUGLAS C. WADE  
PROFESSIONAL SURVEYOR & MAPPER  
FLORIDA CERTIFICATE NO. 4685



SKETCH OF DESCRIPTION OF  
UNITY OF TITLE  
certified to:  
**DAVID M. LENNON**  
and  
**CITY OF LEESBURG**

PHONE: (352)753-6511

FAX: (352)753-0374

**WSI**

PROFESSIONAL  
SURVEYING  
& MAPPING

WADE SURVEYING, INC.

LB-6514

1608 TRACY AVENUE

LADY LAKE, FLORIDA 32159



DRAWN BY:	D.C.W.	DATE:	06/21/23
CHECKED BY:	R.W.H.	DRAWING NO.:	B-17287
REVISIONS		SHEET	1 OF 2

REVISION: REVISED CITY OF LEESBURG TO CITY OF FRUITLAND PARK  
BY: D.C.W. 6/23/23  
REVISION: REVISED DISTANCE IN DESCRIPTION FROM 346.46 TO 369.46.  
BY: D.C.W. 7/17/23

SECTION 4, TOWNSHIP 19 SOUTH, RANGE 24 EAST,  
LAKE COUNTY, FLORIDA

NOT A BOUNDARY SURVEY

(ALTERNATE KEY #2919540)



505.25'  
N. 30' OF LOT 6  
BLOCK "B" 545.38'

N89°25'10"W

N. LINE OF THE S. 70.00' OF LOT 6, BLOCK "B"

SOUTH 70' OF LOT 6  
BLOCK "B"

ZEPHYR LAKE  
PLAT BOOK II, PAGE 78  
LOT 5

BLOCK "B"

(ALTERNATE KEY #2919531)

W. LINE OF THE E. 40.00' STRIP OF LAND  
ABANDONED ATLANTIC COAST RAILROAD

(4.60± ACRES)

LOT 4  
BLOCK "B"

E. LINE OF BLOCK "B"

500°12'56"E  
370.01'

(ALTERNATE KEY #2919523)

LOT 3  
BLOCK "B"

(ALTERNATE KEY #2919507)

P.O.B.  
S.E. CORNER OF  
LOT 3, BLOCK "B"

589°25'18"E

538.46'

LOT 2  
BLOCK "B"

(ALTERNATE KEY #2919469)

WEST LINE OF  
LOT 1, BLOCK "B"

LOT 1  
BLOCK "B"

P.O.C.  
S.E. CORNER OF  
LOT 1, BLOCK "B"

WEST RIGHT-OF-WAY LINE  
(BASIS OF BEARINGS)

COOKE DRIVE  
(RIGHT OF WAY WIDTH VARIES)

S. LINE OF THE N. 1/2 OF THE  
N.E. 1/4 OF SECTION 4-19-24

1) BEARINGS ARE BASED ON THE RECORD PLAT OF ZEPHYR LAKE  
SUBDIVISION AND THE WEST RIGHT-OF-WAY LINE OF U.S. HIGHWAY  
NO. 441/27 AS BEING N. 00°46'44" E., ASSIGNED MERIDIAN.

2) LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY,  
EASEMENTS, OWNERSHIP OR ANY OTHER INSTRUMENT OF RECORD  
BY THIS FIRM.

3) CERTIFICATION LIMITED TO PARTIES NAMED HEREON.

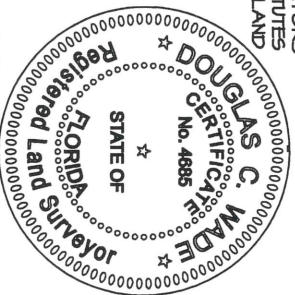
1) THE SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID  
WITHOUT THE ORIGINAL OR ELECTRONIC SIGNATURE AND SEAL OF A  
FLORIDA LICENSED SURVEYOR AND MAPPER. THE SEAL APPEARING ON  
THIS DOCUMENT WAS AUTHORIZED BY THE SIGNING SURVEYOR SHOWN  
HEREON.

5) THIS SKETCH WAS PREPARED TO ACCOMPANY THE DESCRIPTION  
SHOWN HEREON AS REQUIRED BY CHAPTER 3417, STANDARDS OF  
PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS  
AND MAPPERS, PURSUANT TO SECTION 412.021 FLORIDA STATUTES  
AND DOES NOT REPRESENT, IN ANY WAY, A SURVEY OF SAID LAND

SHEET 2 OF 2 SHEETS

(SEE SHEET 1 OF 2 FOR DESCRIPTION)

DOUGLAS C. WADE  
PROFESSIONAL SURVEYOR & MAPPER  
FLORIDA CERTIFICATE NO. 4685



PHONE: (352) 753-6511

1608 TRACY AVENUE

WSI  
PROFESSIONAL  
SURVEYING  
& MAPPING  
WADE SURVEYING, INC.  
LB-6514

FAX: (352) 753-0374

LADY LAKE, FLORIDA 32159

SKETCH OF DESCRIPTION OF  
UNITY OF TITLE  
certified to:  
DAVID M. LENNON  
and  
CITY OF LEESBURG

Record and Return to:  
City of Fruitland Park  
506 W Berckman St.  
Fruitland Park, FL 34731

## NOTICE OF DECLARATION OF UNITY OF TITLE

This Declaration of Unity of Title, made this \_\_\_\_ day of \_\_\_\_\_, 2023, by DNA Realty Trust LLC, a Florida limited liability company, having an address of P.O. Box 7878, Gainesville, GA 30504-7878, hereinafter referred to as the “Declarant” being the fee owner of the following described real property located in Lake County, Florida:

Alt. Key Numbers: **2919531, 2919523, and 2919507**

Parcel Id. Numbers: 04-19-24-2175-00B-00400, 04-19-24-2175-00B-00301 and 04-19-24-2175-00B-00300

### LEGAL DESCRIPTION:

**INSERT LEGAL DESCRIPTIONS OF THE 3 PARCELS.**

Hereby makes the following declarations of condition, limitation, and restriction on the Property, hereinafter to be known and referred to as a Declaration of Unity of Title, as to the following particulars:

1. That the afore-described plot of, or combination of separate lots, plots, parcels, acreage or portions thereof, shall hereafter be declared to be unified under one title as an indivisible building site. **See attached Boundary Survey or Sketch and Description.**
2. That the Property shall henceforth be considered as one plot or parcel of land, and that no portion thereof shall be sold, assigned, transferred, conveyed or devised separately except in its entirety as one plot or parcel of land.
3. The purpose of unity is to unify as one indivisible building site for construction thereon.

Notice of Declaration of Title  
Page 2 of 3

Declarant further agrees that this Declaration of Unity of Title shall constitute a covenant to run with the land, as provided by law, and shall be binding upon the Declarant, its successors and assigns, and all parties claiming under such parties until such time as the same be released in writing by the City of Fruitland Park, a Florida municipality of the State of Florida. Declarant also agrees this Declaration of Unity of Title shall be recorded in the Public Records of Lake County, Florida.

