



**506 WEST BERCKMAN STREET
FRUITLAND PARK, FL 34731**

**PHONE: 352 360-6727
FAX: 352 360-6652**

TRC COFP Members:

City Manager Gary La Venia, Chairman
Police Chief Eric Luce, Vice Chair
City Attorney
Building Official
Community Development Director
Code Enforcement Officer
Engineer - Halff
Fire Chief
Fire Inspector
Land Planner LPG
Public Works Director

TRC Members:

City of Leesburg Utilities
Lake County School Board
Lake County Public Works Department
Lake County Economic Development

**AGENDA
TECHNICAL REVIEW COMMITTEE (TRC)
June 6, 2023
10:00AM**

- I. MEETING START TIME:**
- II. MEMBERS PRESENT:**
- III. MEETING NOTES FROM PREVIOUS MEETING:** Meeting minutes from April 4, 2023 included for review/comment.
- IV. OLD BUSINESS: NONE**

NEW BUSINESS:

A. Ralph Thiele – Conditional Use Permit Application (Alternate Key: 2562684 & 1699673)

A conditional use permit approval is requested to develop a 24,000 square foot garage on the subject site. The revised conceptual site plan has addressed planning comments and meets the minimum technical standards of Chapter 155, Section 155.010(b)(1). Staff recommends the following conditions:

- 1) Storage shall be limited to personally owned vehicles.
- 2) Building Perimeter landscaping. A minimum three (3) foot wide landscape area, with an average of

five (5) feet or more, around a minimum of forty (40) percent of the total building perimeter and within twenty-five (25) feet of the building walls. Minimum planting requirement. One (1) canopy tree or three (3) understory trees, and twenty-eight (28) shrubs shall be required for every three hundred and fifty (350) square feet of planting area in (a) above. Trees installed for any other requirement of this Section may be credited towards this requirement if in the required location.

B. Lakeside Storage II – Major Site Plan (Alternate Keys: 2919469, 2919507, 2919523 & 2919531)

The subject property is 7.07 acres and consists of four parcels, a northern parcel (Alt Key 2919531), a southern parcel (Alt Key 2919469), and two parcels in between (Alt Key 2919523 and Alt Key 2919507). A single story 781 square foot manufactured office exists on the southern parcel (Alt Key 2919469). The proposed major site plan is to construct a 93,205 SF storage facility including an office for a total of 93,986 square feet on the northern portion of the site, along with associated loading, parking, and stormwater management areas. The building sizes proposed to be built are 76,795 square feet, 6,150 square feet, 6,160 square feet, and 4,100 square feet, along with an office and forty-six (46) RV/boat storage spaces.

BOARD MEMBERS' COMMENTS:

PUBLIC COMMENTS:

This section is reserved for members of the public to bring up matters of concern or opportunities for praise. Note: Pursuant to F.S. 286.0114 and the City of Fruitland Park's Public Participation Policy adopted by Resolution 2013-023, members of the public shall be given a reasonable opportunity to be heard on propositions before the Planning and Zoning Board. Pursuant to Resolution 2013-023, public comments are limited to three minutes.

ADJOURNMENT:

Aerial Map



Site

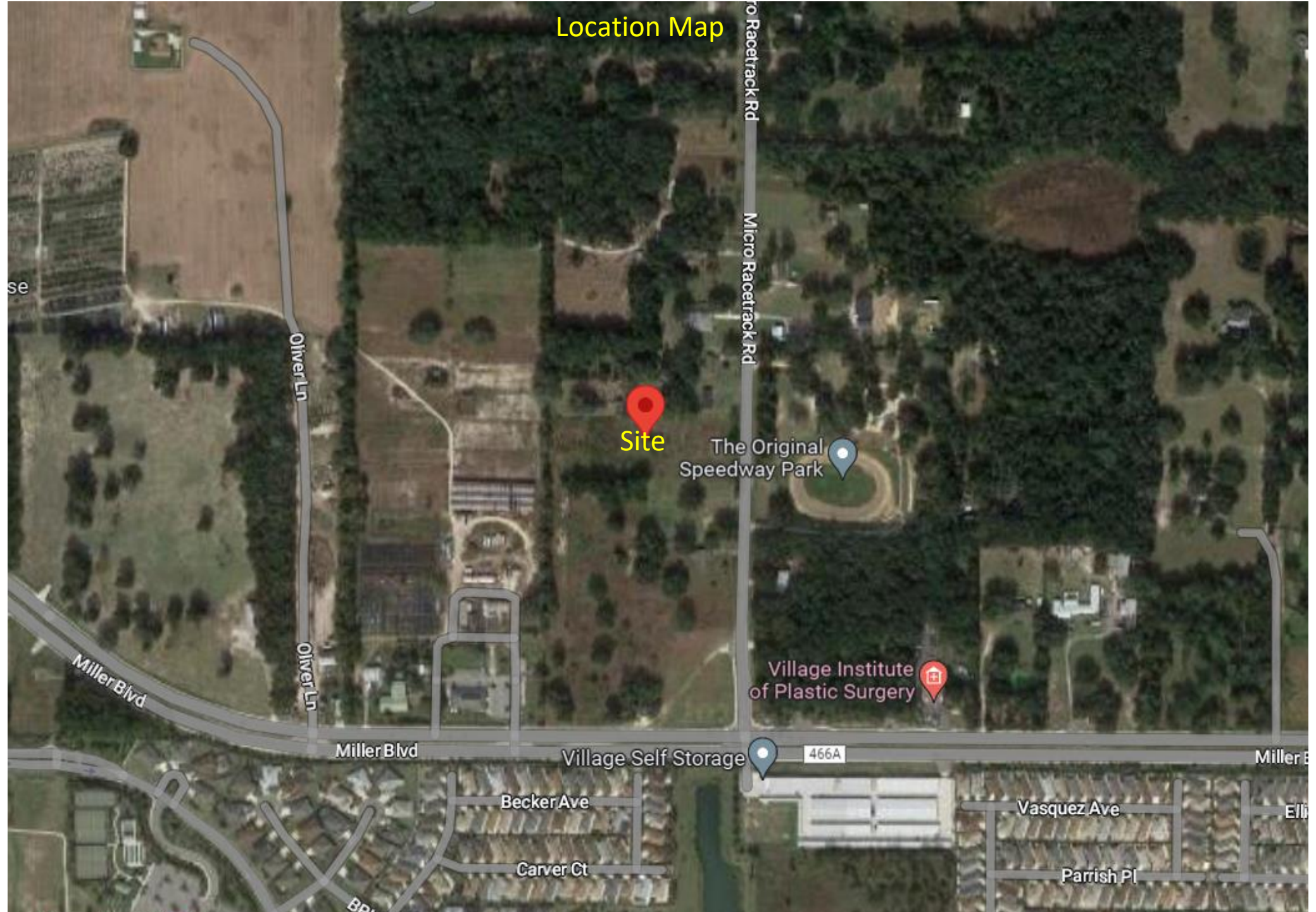
Micro Racetrack Rd

Micro Racetrack Rd

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Location Map



CONCEPT PLAN

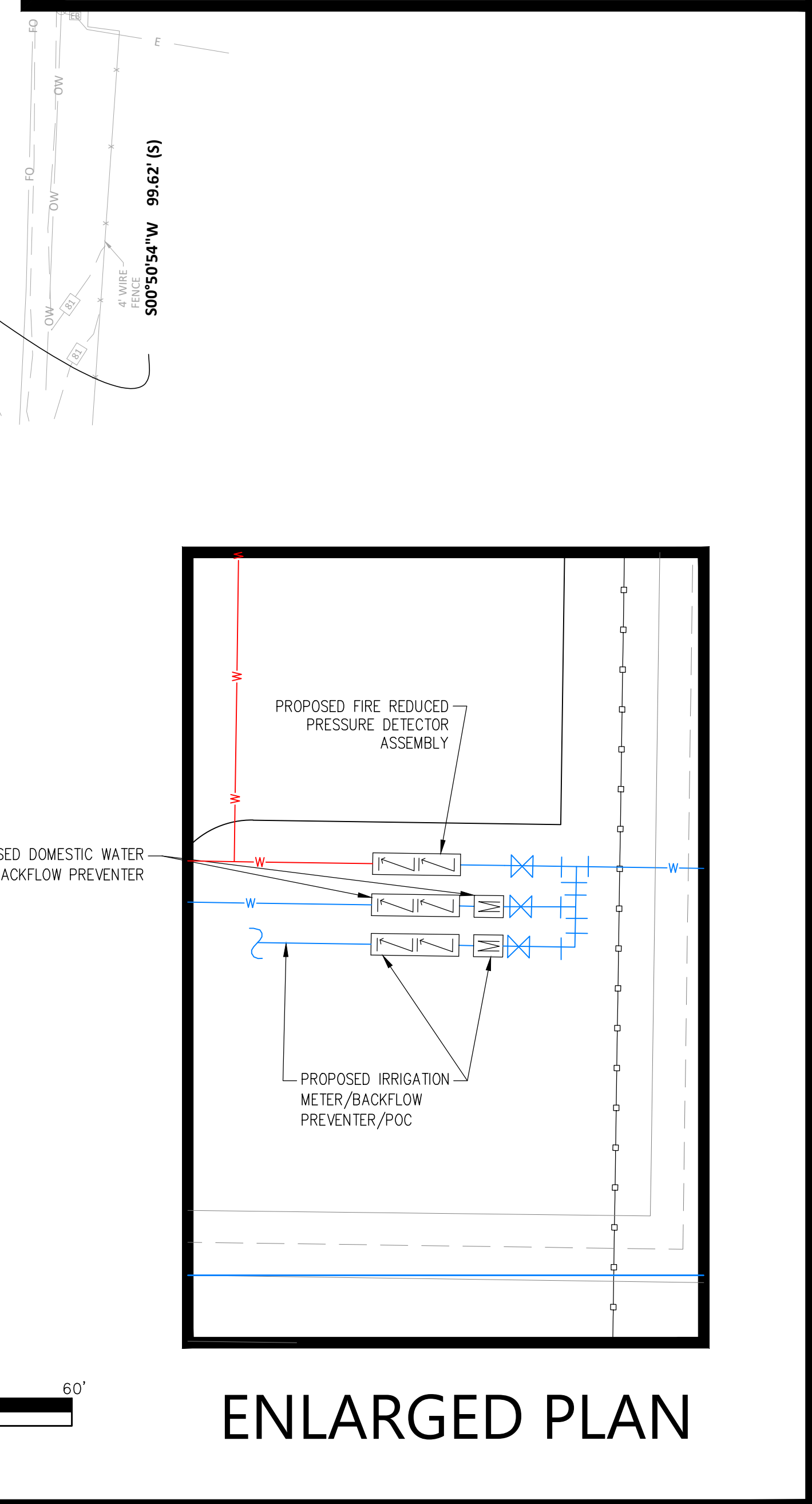
The plan shows a property with the following features:

- Stormwater Pond:** 13,276 SF, TOP = 83, BOTTOM = 78.5.
- Garage:** 24,000 SF, F.F.E. = 84.00.
- Proposed Office/Restroom:** Located near the garage.
- Septic Drain Field:** Located near the stormwater pond.
- Proposed Fence:** Surrounding the property.
- Proposed Western Conveyance Swale:** (FOR OFF-SITE FLOWS), TOP = 82.00, BOTTOM = 78.50.
- Proposed Eastern Conveyance Swale:** (FOR OFF-SITE FLOWS), TOP = 81.50, BOTTOM = 78.50.
- Proposed Potable Water Main Extension:** (TO CONNECT TO EXISTING POTABLE WATER STUB OUT ON NORTHEAST CORNER OF MILLER BOULEVARD/MICRO RACETRACK ROAD INTERSECTION).
- Proposed Potable Water Stub-Out:** (FOR FUTURE EXTENSION OF POTABLE WATER FACILITIES).
- Proposed FDC Proposed Hydrant:** Located near the garage.
- Fire Line P.O.C.:** Located near the garage.
- Property Lines:** Various bearings and distances are provided for the property boundaries.
- Utilities:** Water, sewer, and fire lines are shown throughout the plan.
- Landscaping:** Various trees and shrubs are indicated.

A north arrow and a graphic scale (0 to 30 feet) are located at the bottom right of the plan.

SITE DATA

PROPERTY LOCATION:		35421 MICRO RACETRACK ROAD FRUITLAND PARK, FLORIDA 34731	
<u>TOTAL SITE AREA</u>	127,634 SF	(±2.93 AC)	(100%)
PERVIOUS AREA	82,162 SF	(±1.89 AC)	(64.4%)
IMPERVIOUS AREA	45,472 SF	(±1.04 AC)	(35.6%)
BUILDING AREA	24,000 SF		
PAVEMENT AREA	21,472 SF		
ZONING		C-2 (GENERAL COMMERCIAL)	
INTENDED USE		PRIVATE STORAGE	
MAX BUILDING HEIGHT		35 FT	
MAX FLOOR-AREA-RATIO		0.50	
MAX IMPERVIOUS SURFACE		70%	
BUILDING SETBACKS:		REQUIRED	PROVIDED
FRONT (MICRO RACETRACK ROAD)		50 FT	107.6 FT
SIDE (NORTH)		10 FT	31.4 FT
SIDE (SOUTH)		10 FT	51.6 FT
REAR (WEST)		15 FT	319.1 FT
LANDSCAPE BUFFER		REQUIRED	PROVIDED
FRONT (MICRO RACETRACK ROAD)		25 FT (TYPE C)	31.6 FT
SIDE (NORTH)		0 FT	7.4 FT
SIDE (SOUTH)		0 FT	27.6 FT
REAR (WEST)		15 FT (TYPE B)	281.1 FT
TYPE 'B' LANDSCAPE BUFFER REQUIRES: 4 CANOPY TREES, 2 UNDERSTORY TREES, & 15 SHRUBS PER 100 LF			
TYPE 'C' LANDSCAPE BUFFER REQUIRES: 5 CANOPY TREES, 4 UNDERSTORY TREES, & 30 SHRUBS PER 100 LF			
BUILDING PERIMETER LANDSCAPE BUFFER REQUIRES: 1 CANOPY TREE OR 3 UNDERSTORY TREES & 28 SHRUBS PER 350 SF PLANTING AREA			
REQUIRED PARKING: 1 SPACE / 4,000 SF (WAREHOUSING) 24,000 SF x (1 SPACE / 4,000 SF) = 6 SPACES REQUIRED 8 SPACES PROVIDED			



**CITY OF FRUITLAND PARK
STAFF REPORT BY LPG URBAN & REGIONAL PLANNERS, INC.**

CONDITIONAL USE PERMIT

Owner: Ralph W Thiele

Applicant: Christopher Thompson and/or Julie Farr

General Location: 35421 Micro Racetrack Road

Number of Acres: 2.93 ± acres

Existing Zoning: C-2

Existing Land Use: COMM (Commercial)

Date: May 26, 2023

Description of Project

A conditional use permit is being requested to develop the subject site for a 24,000 square foot private garage.

	Surrounding Zoning	Surrounding Land Use
North	C-2	Commercial
South	CPUD & C-2	Commercial
East	Ag	Rural
West	Ag	Rural

Assessment

A conditional use permit approval is requested to develop a 24,000 square foot garage on the subject site. The maximum intensity standard for C-2 zoning is limited to 70% impervious surface ratio (which includes building coverage), a maximum floor area ratio of .50, and a maximum building height of thirty-five (35) feet.

The minimum lot size is 20,000 square feet for C-2 zoning, with minimum setbacks of 50' for the front yard, 10' for side yards, and 15' for the rear yard (Section 154.030(9)(G)(i)). The site plan offers a 50' front building setback, 10' side building setbacks, and 15' rear yard setback. These meet the minimum requirements in Section 154.030(9)(G)(i).

The revised conceptual site plan has addressed planning comments and meets the minimum technical standards of Chapter 155, Section 155.010(b)(1).

Review Criteria

Per Chapter 155, Section 155.010(d)(1), in granting any conditional use, the Planning and Zoning Board may recommend and the City Commission may prescribe appropriate conditions and safeguards to ensure compliance with the requirements of this Chapter and the Code in general. Such conditions may include time limits for the initiation of the conditional use, specific minimum or maximum limits to regular Code requirements, or any other conditions reasonably related to the requirements and criteria of this Chapter.

When reviewing an application for a conditional use, the City Commission shall consider the following requirements and criteria:

The proposed use must comply with the adopted Comprehensive Plan and Future Land Use map.

The applicant states that the property is zoned C-2 – General Commercial, with a Commercial - High Intensity future land use designation. Although it will remain a private facility for the duration of the CUP, the proposed development characteristics (building size, impervious surface areas, fire protection facilities, etc) reflect a more intense, commercial development consistent with the zoning and future land use designations, enabling the facility to be easily converted when the CUP ends. The proposed development will also extend the public potable water main from the northeast corner of Micro Racetrack Road/Miller Boulevard approximately 800 linear feet to the north to bring domestic water and fire protection facilities to the site, assisting the City with the extension of its public infrastructure.

The proposed use must comply with FLU Policy 1-4.1: Variety of Commercial Lands. The location and distribution of commercial land use categories delineated on the Future Land Use Map shall be determined according to the following criteria:

- 1) Access and vicinity to U.S. 27/441; ease of access and egress to and from major thoroughfares to commercial sites; ability to achieve a functional internal circulation and off-street parking system.*
- 2) Access to County Roads 466A and 25A; ease of access to collector thoroughfares to commercial sites; ability to achieve a functional internal circulation and off-street parking system.*
- 3) The promotion of sustainable development within mixed-use sites by establishing a pattern of development which reduces the need to travel by car, encourages opportunities for cycling and walking.*
- 4) Ability to comply with adopted performance standards for preventing or minimizing nuisance impacts, such as emission of air pollutants, noise, odor and generation of hazardous waste or products.*
- 5) Ability to provide sufficient buffers and screening for purposes of mitigating impacts to adjacent residential or public facility land uses.*
- 6) Impact to the conservation and preservation of natural resources.*

7) Demand on existing and planned public services, utilities, water resources and energy resources.

Pursuant to FLU Policy 1.4.1, Commercial Designations, commercial land use designations are intended to accommodate all commercial businesses.

Traffic generation and access for the proposed use shall not adversely impact adjoining properties and the general public safety.

The applicant states that the private facility will not generate more traffic than a single-family residence, so it will not adversely impact adjoining properties or public safety.

Staff conducted a trip generation analysis based on the use of storage (ITE Code 150) which would produce 42 daily trips and 5 PM Peak hour trips. The proposed use would be considered a de minimis traffic impact.

Off-street parking, loading and service areas shall be provided and located such that there is no adverse impact on adjoining properties, beyond that generally experienced in the district

The applicant states that a 20' fire access lane has been proposed around the development, and the site has sufficient off-street parking and loading areas to insure there is no adverse impact on the adjoining properties or public right-of-way beyond that generally experienced in the district.

The project as currently designed provides the appropriate off-street parking and loading areas required by the Land Development Regulations (LDRs).

Required yards, screening or buffering, and landscaping shall be consistent with the district in general and the specific needs of abutting land uses.

The applicant states that required setback yards and landscaping are consistent with district standards. Daily traffic will mimic a private residence and all automobile storage will be indoors, mitigating the need for screening or buffering from neighboring properties.

Size, location and number of conditional use permits in the area shall be limited so as to maintain the overall character of the district as intended by the Land Development Code.

The applicant states that the facilities proposed within this CUP fit in well with the intended overall character of the C-2 zoning and Commercial future land use designation, as the facility (pre-fabricated metal building with open interior floor plan) will mimic those of several permitted uses in the C-2 zoning classification, more specifically:

- vii. *Boat Sales and Service*
- ix. *Commercial/Industrial Equipment and Supplies*
- xii. *Equipment Rental*

- xix. Maintenance Contractors
- xxi. Motor Vehicle Service Centers
- xxxii. Wholesalers and Distributors
- xxxvi. Motor Vehicle Repair Facility
- xxxviii. Commercial Parking

There are no CUP uses in the general area that staff is aware of. The closest storage type facility is located approximately 930' south of the subject site along CR 466A known as Village Self-Storage.

Will be compatible with existing and planned uses

The applicant will be required to meet the non-residential design standards of the land development regulations. The proposed structure includes an office and restroom facility. The city's long-term plans for the general area are for mixed use development (residential, commercial, recreational, institutional), multi-modal transportation features which include cross access, pedestrian and bicycle paths. Although private storage facilities are not envisioned for the area, design of the structure to meet the non-residential design standards and provide for office/restroom facility will allow for the proposed structure to be converted to commercial uses in the future.

Will not be injurious to the neighborhood or detrimental to the public welfare

The proposed use generates less traffic than any potential commercial use, provides for landscaping and buffers, provides for future cross access, and provides for pedestrian traffic, therefore no detrimental impact to the public welfare or neighborhood is anticipated.

Recommendation

Should the Commission approve the CUP, staff recommends the following conditions:

- 1) Storage shall be limited to personally owned vehicles.
- 2) *Building Perimeter landscaping.* A minimum three (3) foot wide landscape area, with an average of five (5) feet or more, around a minimum of forty (40) percent of the total building perimeter and within twenty-five (25) feet of the building walls. *Minimum planting requirement.* One (1) canopy tree or three (3) understory trees, and twenty-eight (28) shrubs shall be required for every three hundred and fifty (350) square feet of planting area in (a) above. Trees installed for any other requirement of this Section may be credited towards this requirement if in the required location.

ORDINANCE 2023-XX

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, COUNTY OF LAKE, STATE OF FLORIDA, APPROVING A CONDITIONAL USE PERMIT TO ALLOW A 24,000 SQUARE FOOT PRIVATE GARAGE LOCATED IN THE C-2 ZONING DISTRICT FOR THE HEREAFTER DESCRIBED LANDS WITHIN THE CITY OF FRUITLAND PARK, FLORIDA; OWNED BY THE RALPH W. THIELE 2021 REVOCABLE TRUST DATED 12/16/21, AND LOCATED AT 35421 MICRO RACETRACK ROAD, FRUITLAND PARK, LAKE COUNTY, FLORIDA; PROVIDING FOR SEVERABILITY AND SCRIVENER'S ERRORS; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an application has been received from Christopher Thompson and/or Julie Farr as applicants on behalf of the Ralph W. Thiele 2021 Revocable Trust dated 12/16/21, Owner, requesting a Conditional Use Permit pursuant to Chapter 155 of the City Land Development Regulations to allow the property located at 35421 Micro Racetrack Road, Fruitland Park, Florida (the "Property"), to be used for a private garage within the C-2 zoning district; and

WHEREAS, public notice has been provided as required by the Land Development Regulations of the City of Fruitland Park; and

WHEREAS, the Planning and Zoning Commission of the City of Fruitland Park has considered the conditional use permit request in accordance with review criteria set forth in Section 155.010 d) 2), Land Development Code and has made a recommendation to the City Commission.

NOW, THEREFORE, BE IT ORDAINED by the City Commission of the City of Fruitland Park, Florida, as follows:

Section 1: Purpose and Intent.

That the Owner of Property in the zoning district of General Commercial (C-2), being situated in the City of Fruitland Park, Florida, shall hereafter be granted a Conditional Use Permit to allow a private garage consisting of 24,000 square feet +/- on the Property.

LEGAL DESCRIPTION: See Exhibit "A".

Alternate Key # 2562684 & 1699673

Section 2: Zoning Classification.

That the Owner of the Property shall be granted a Conditional Use Permit to allow a maximum of a 24,000 square foot private garage on the Property located in the C-2 zoning district in accordance with Chapter 155, Section 155.010 of the Land Development Regulations of the City of Fruitland Park, Florida.

- a) There shall be no outside storage.
- b) The garage is to be used solely for the purpose of storage of the Property owner's

personally owned vehicles.

- c) *Building Perimeter Landscaping.* A minimum three (3) foot wide landscape area, with an average of five (5) feet or more, around a minimum of forty (40%) percent of the total building perimeter and within twenty-five (25) feet of the building walls is required.
- d) *Minimum planning requirement.* Once (1) canopy tree or three (3) understory trees, and twenty-eight (28) shrubs shall be required for every three hundred and fifty (350) square feet of planting area is required in the Building Perimeter Landscaping.
- e) The site shall be developed in substantial conformity to the conceptual plan.
- f) The Owner shall comply with all applicable provisions of the Code of Ordinances of the City of Fruitland Park, including obtaining an approved site plan.

Section 3: Severability.

If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

Section 4: Scrivener's Errors.

Scrivener's errors in the legal description may be corrected without a public hearing or at public meeting, by re-recording the original ordinance or a certified copy of the ordinance and attaching the correct legal description.

Section 5: Effective Date.

This Ordinance shall become effective upon passage.

PASSED AND ORDAINED in regular session of the City Commission of the City of Fruitland Park, Lake County, Florida, this _____ day of _____, 2022.

Chris Cheshire, Mayor
City of Fruitland Park, Florida

ATTEST:

Approved as to Form:

Esther Coulson, CMC, City Clerk

Anita Geraci-Carver, City Attorney

Commissioner Gunter	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Vice Mayor DeGrave	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner Mobilian	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner Bell	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Mayor Cheshire	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)

Passed First Reading _____
Passed Second Reading _____
(SEAL)

EXHIBIT "A" [AG1]

From the Northeast corner of Section 33, Township 18 South, Range 24 East, Lake County, Florida, run thence South 89°47'00" West a distance of 210.00 feet along the North line of the Northeast 1/4 of said Section 33; thence South 00°13'30" East a distance of 360.00 feet along the West line of Sunset Village, a subdivision recorded in Plat Book 28, Page 59, Public Records of Lake County, Florida, to the Point of Beginning of this description; thence continue South 00°13'30" East along said West line of Sunset village a distance of 396.00 feet to the Northerly line of Lot 23 of said subdivision; thence South 89°48'20" West a distance of 606.26 feet along the Northerly line of Lots 23, 22 and 21 of said Sunset Village and their Westerly extension to the Easterly line of the right-of-way of U.S. Highway No. 441-27; thence Northerly along the Easterly line of the right-of-way of U.S. Highway 441-27 to a point that is 360.00 feet South of the North line of the Northeast 1/4 of said Section 33; thence North 89°47'00" East parallel with the North line of the Northeast 1/4 of said Section 33, a distance of 592.28 feet to the Point of Beginning.

TOGETHER WITH A NONEXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AND ALL OTHER LAWFUL PURPOSES OVER, UPON AND ACROSS THE FOLLOWING DESCRIBED PROPERTY:

A part of the Northeast 1/4 of the Northeast 1/4 of Section 33, Township 18 South, Range 24 East, Lake County, Florida, described as follows;

From the intersection of the Easterly right-of-way of U.S. Highway No. 441-27 and the North line of Section 33, Township 18 South, Range 24 East, Lake County, Florida, run thence Southerly along the Easterly right-of-way of Highway 441-27 a distance of 233.00 feet to the Point of Beginning; thence East parallel with the North line of said Northeast 1/4 a distance of 100.91 feet; thence turn to the left an angle of 90° and run North 25.00 feet; thence West parallel with the North line of said Northeast 1/4 a distance of 100.00 feet to the Easterly right-of-way of U.S. Highway 441-27; thence Southerly along said right-of-way 25.02 feet to the Point of Beginning, said easement having been granted in instrument recorded in Official Record Book 869, Page 901, Public Records of Lake County, Florida. TOGETHER WITH A NONEXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER, UPON AND ACROSS THE EAST 30.00 FEET OF THE FOLLOWING DESCRIBED PROPERTY AND THE NORTH 25.00 FEET OF THE WEST 81.00 FEET OF THE FOLLOWING DESCRIBED PROPERTY AND AN EASEMENT FOR INGRESS, EGRESS AND PLACEMENT OF A WATER LINE OVER, UPON AND ACROSS THE EAST 50.00 FEET OF THE WEST 131.00 FEET OF THE FOLLOWING DESCRIBED PROPERTY:

Commencing at the Northeast corner of Section 33, Township 18 South, Range 24 East, Lake County, Florida, thence South 89°47'00" West along the North boundary of the Northeast 1/4 of the Northeast 1/4 of said Section 508.98 feet; thence departing from said North boundary South 01°52'12" West 233.01 feet to the Point of Beginning; thence South 89°47'00" West 280.02 feet to an intersection with the East right-of-way line of U.S. Highways 27 and 441 (163.00 feet wide); thence South 01°52'12" West along said right-of-way line 127.23 feet; thence departing from said right-of-way line North 89°47'00" East 280.02 feet; thence North 01°52'12" East, parallel to said East right-of-way line, 127.23 feet to the Point of Beginning. LESS ROAD RIGHT-OF-WAY. Said property being described in instrument recorded in Official Record Book 903, Page 183, Public Records of Lake County, Florida, and described again in corrective instrument **recorded in Official Record Book 912, Page 1, Public Records of Lake County, Florida.**

Prepared by:
Lori Cantor
Affiliated Title of Central Florida, Ltd.
10935 SE 177th Place, Suite 302
Summerfield, FL 34491

File Number: 22-1542

General Warranty Deed

Made this September 20, 2022 A.D. By **Kenneth Elmer Page**, hereinafter called the grantor, to **Ralph W. Thiele, Trustee of the Ralph W. Thiele 2021 Revocable Trust dated 12/16/21**, whose address is: 17300 SW 90 Ave, Palmetto Bay, FL 33157, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Lake County, Florida, viz:

Parcel I:

The South 101.45 feet of the North 365.45 feet of the East 1/2 of the Northeast 1/4 of the Southwest 1/4 of Section 6, Township 19 South, Range 24 East, Lake County, Florida, Less road on East as described in Official Records Book 356, Page 493 and Official Records Book 1305, Page 446, Public Records of Lake County, Florida.

Parcel II:

The South 101.44 feet of the North 466.89 feet of the East half (E 1/2) of the Northeast quarter of the Southwest quarter of Section 6, Township 19 South, Range 24 East, Less public road right-of-way as set forth in Deed Book 344, Page 11 and Official Records Book 356, Page 495, Public Records of Lake County, Florida. LESS AND EXCEPT that part lying in the South 198.00 feet of the East 1/2 of the Northeast 1/4 of the Northeast 1/4 of the Southwest 1/4 of Section 6, Township 19 South, Range 24, East, Lake County, Florida.

Subject to covenants, restrictions and easements of record (if any) which are not by this reference reimposed.

Said property is not the homestead of the Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

Prepared by:
Lori Cantor
Affiliated Title of Central Florida, Ltd.
10935 SE 177th Place, Suite 302
Summerfield, FL 34491

File Number: 22-1542

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2021.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Witness 1 Sign:



Lauren Boiros

Witness 1 Print:



Witness 2 Sign:

Kyle Sciacca

Witness 2 Print:

Kingdom of Thailand
Province and City of Chiang Mai
Consulate General of the United States of America
State of _____ County of _____ ss: }



Kenneth Elmer Page

address: 126 PRAUCHA TH RD 33 YAK 4
BANGKOK, 10140

The foregoing instrument was acknowledged before me by means of X physical presence or _____ online notarization, this 20 day of September, 2022, by Kenneth Elmer Page, who is/are personally known to me or who has produced US Passport as identification.

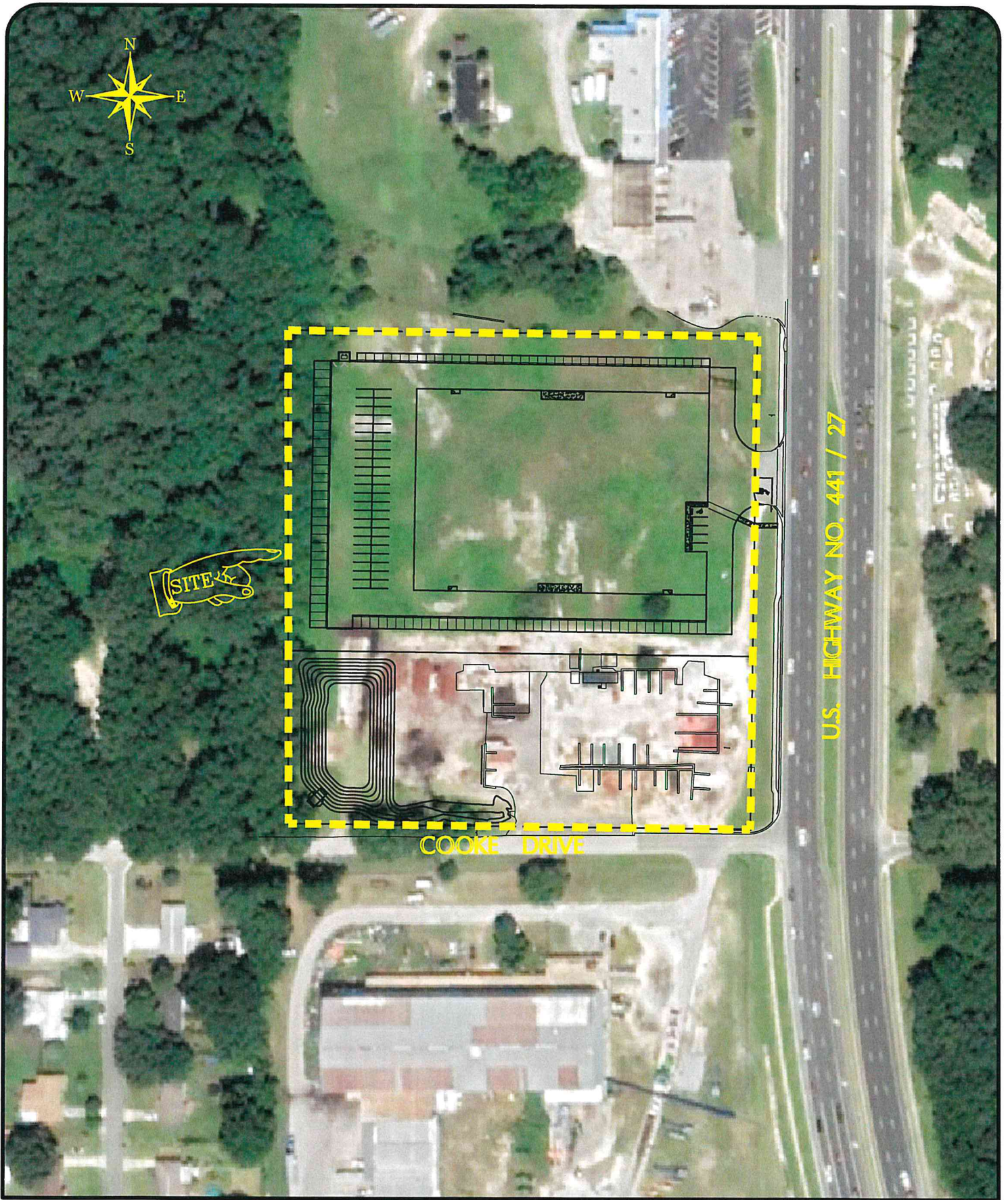
NOTARY SEAL

Notary Public Signature
Print Name:

David R. Carr, Consul

My Commission Expires:

INDEFINITELY



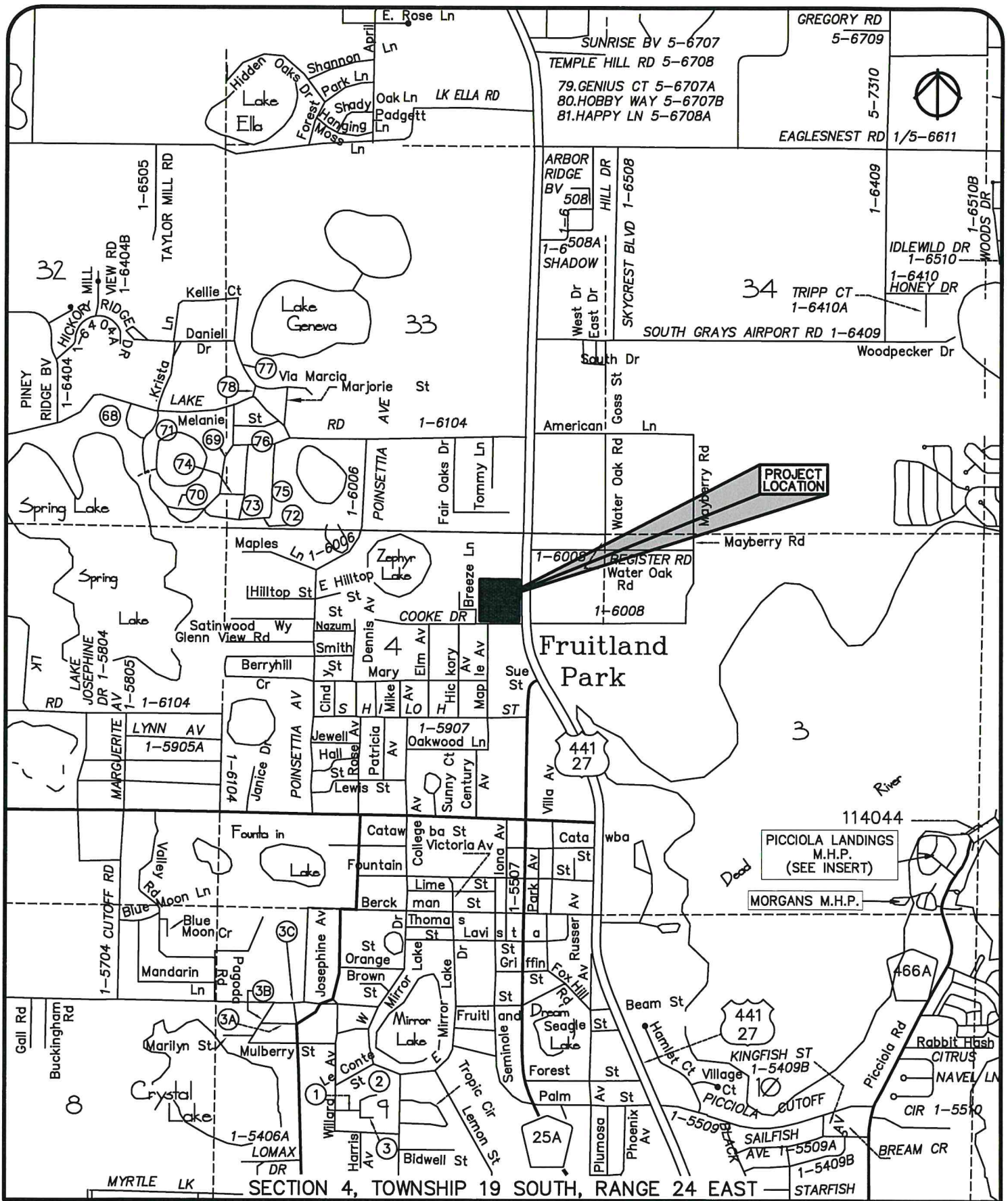
**RIDDLE
NEWMAN
ENGINEERING INC.**
ESTABLISHED 1961

RIDDLE - NEWMAN ENGINEERING, INC.
115 NORTH CANAL STREET
LEESBURG, FLORIDA 34748
PHONE (352) 787-7482
FAX (352) 787-7412

LAKESSIDE STORAGE II

AERIAL MAP

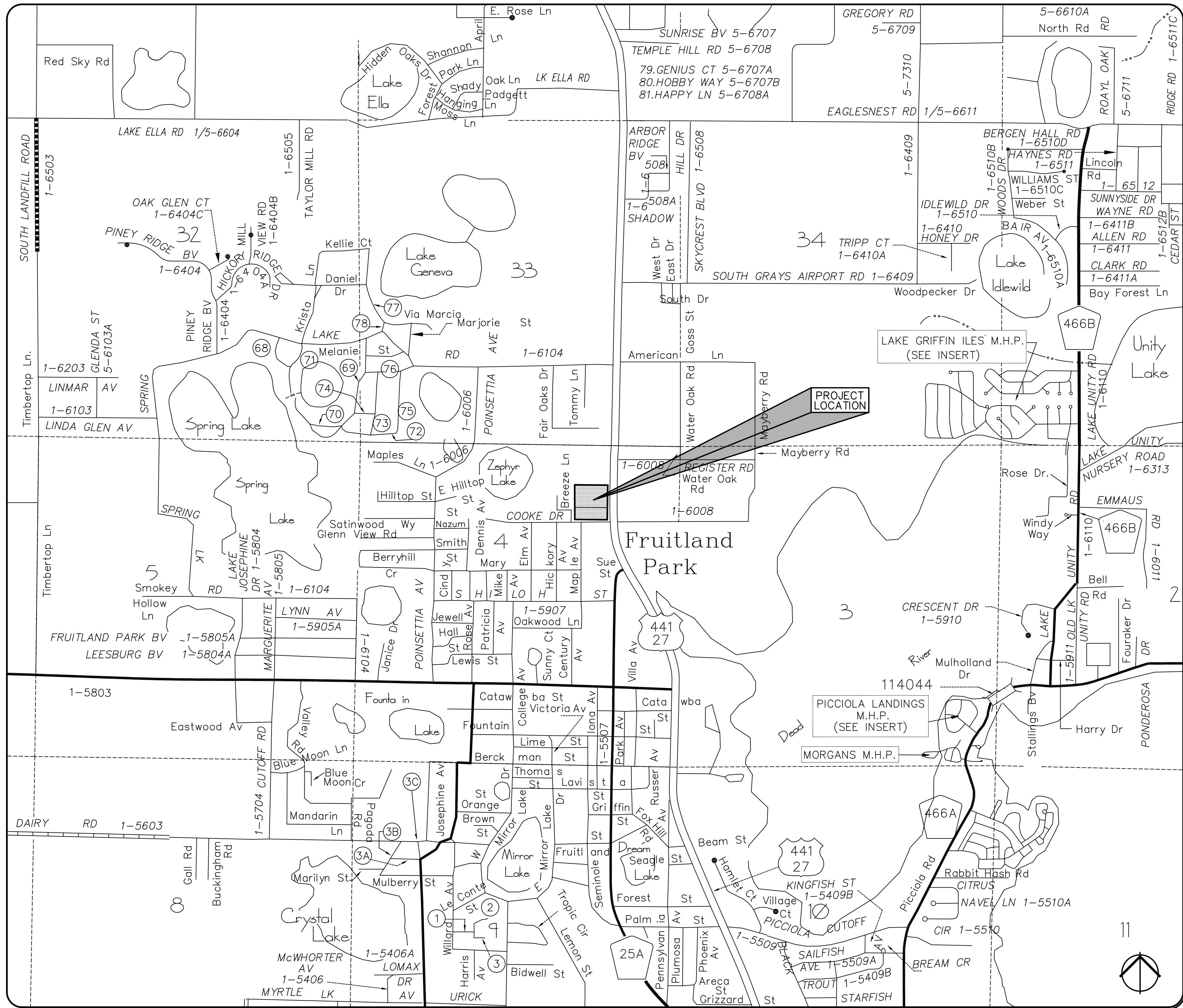
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FILE: 22.13
SHEET: 1 of 1



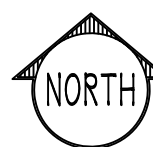
LAKEVIEW STORAGE II

FRUITLAND PARK, FLORIDA

SHEET INDEX	
C1.1	COVER SHEET
C1.2	STORMWATER POLLUTION PREVENTION PLAN
C2.1	GEOMETRY PLAN
C3.1	GRADING & DRAINAGE PLAN
C4.1	UTILITY PLAN
C5.1	DETAILS
C5.2	SOIL BORING PROFILES
C6.1-C6.2	FRUITLAND PARK UTILITY DETAILS
C6.3	PUMP STATION DETAILS AND NOTES

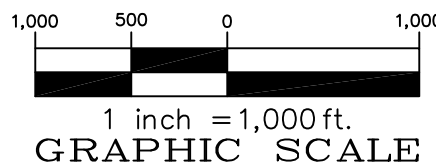


SECTION 4, TOWNSHIP 19 SOUTH, RANGE 24 EAST



LOCATION PLAN

SCALE: 1"=1,000'



GENERAL NOTES

- BOUNDARY AND TOPOGRAPHICAL INFORMATION SHOWN ARE PER DRAWINGS PREPARED BY WADE SURVEYING, INC., DATED 8/30/22.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER OR ARCHITECT.
- CONTRACTOR SHALL LOCATE AND MAINTAIN IN GOOD WORKING ORDER ALL ABOVE GROUND AND BELOW GROUND UTILITIES. CONTRACTOR SHALL COORDINATE THE RELOCATION OR ALTERATION OF EXISTING UTILITIES AS MAY BE REQUIRED. CONTRACTOR SHALL CALL 811 FOR UTILITY LOCATES PRIOR TO DIGGING.
- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF FRUITLAND PARK, LAKE COUNTY PUBLIC SERVICES, FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE CODES. ALL FDOT RIGHT-OF-WAY CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS.
- ALL DISTURBED OPEN AREAS SHALL BE SODED OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING COMPLETION OF THE BUILDING CONSTRUCTION AS SHOWN ELSEWHERE IN THESE PLANS.
- CONTRACTOR SHALL SUPPLY THE ENGINEER WITH "AS-BUILT" CONDITIONS OF ACTUAL CONSTRUCTION.
- CONSTRUCTION SURVEYING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR TO PAY COST OF WET TAPS INTO CITY OF FRUITLAND PARK WATER MAIN.
- ALL WATER & SEWER LINE CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH CITY OF FRUITLAND PARK REQUIREMENTS. ALL ON-SITE WATER & SEWER SERVICES, INCLUDING THE NEW PUMP STATION, SHALL BE PRIVATE.
- ANY SOIL MATERIAL (EITHER ON-SITE OR IMPORTED) UTILIZED FOR THE CONSTRUCTION OF RETENTION SWALES OR RETENTION PONDS SHALL BE CLEAN FINE SAND (SP) AS DEFINED BY THE UNIFIED SOIL CLASSIFICATION SYSTEM. FINES (MATERIAL PASSING THE NO. 200 SIEVE) SHALL BE LESS THAN 5%.
- THE CONTRACTOR SHALL OBTAIN A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER PERMIT AS REGULATED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). CONTRACTOR SHALL BECOME FAMILIAR WITH THE NPDES PERMITTING REQUIREMENTS, DEVELOP AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE CONSTRUCTION SITE IS IN COMPLIANCE WITH NPDES REGULATIONS AND WILL BE RESPONSIBLE FOR ANY VIOLATIONS CITED BY DEP DURING CONSTRUCTION. INFORMATION PERTAINING TO THE NPDES PROGRAM IS AVAILABLE ON LINE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES OR BY CALLING FDEP NPDES STORMWATER SECTION AT 850-245-7522.

LEGAL DESCRIPTION

LOTS 1, 2, 3, 4, 5 AND THE SOUTH 70 FEET OF LOT 6, BLOCK B, ZEPHYR LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 78, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

TOGETHER WITH A 40 FOOT WIDE STRIP OF LAND BEING THE ABANDONED FORMER ATLANTIC COASTLINE RAILROAD, LYING WEST OF THE FOLLOWING DESCRIBED PROPERTY:

LOTS 1, 2, 4, 5, THE WEST 1/2 OF LOT 3 AND THE SOUTH 70 FEET OF LOT 6, BLOCK B, ZEPHYR LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 11, PAGE 78, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

SITE DATA

TOTAL AREA = 308,019 sq.ft. (7.07 ac.)
PROJECT AREA = 227,858 sq.ft. (5.23 ac.)

EXISTING IMPERVIOUS AREA = 48,350 sq.ft. (1.11 ac.)
EXISTING IMPERVIOUS AREA TO BE REMOVED = -6,235 sq.ft. (-0.14 ac.)
PROPOSED IMPERVIOUS AREA = 156,358 sq.ft. (3.59 ac.)
TOTAL IMPERVIOUS AREA = 198,473 sq.ft. (4.56 ac.)
FUTURE IMPERVIOUS AREA = 32,541 sq.ft. (0.75 ac.)
TOTAL PERCENT IMPERVIOUS AREA = 75% (of total area)
ISR MAX = 75%
PERCENT OPEN SPACE = 25%

FLOOD ZONE = "X"
ZONING = "IND" INDUSTRIAL
FUTURE LAND USE = "IND" INDUSTRIAL

EXISTING USE OF SITE = VACANT / LANDSCAPE SUPPLIES (MULCH BUSINESS)
PROPOSED USE OF SITE = STORAGE / LANDSCAPE SUPPLIES (MULCH BUSINESS)

EXISTING BUILDING SQUARE FOOTAGE = 781 sq.ft. (OFFICE SPACE)
NEW AREA OF OFFICE = 1,600 sq.ft.
NEW AREA OF STORAGE = 91,605 sq.ft.
NEW TOTAL AREA = 93,205 sq.ft.
TOTAL BUILDING SQUARE FOOTAGE = 93,986 sq.ft. (NEW & EXISTING)
INSIDE STORAGE UNITS = 514 UNITS
OUTSIDE STORAGE (RV/BOAT) = 46

PROPOSED FLOOR AREA RATIO = 0.31
MAX F.A.R. = 0.5

MAX HEIGHT OF BUILDING = 35'
NUMBER OF STORIES = 1 STORY
PROJECTED NUMBER OF EMPLOYEES = 1 (NON-RESIDENT MANAGER)

PARKING REQUIRED = 1 space / 50 units = 514 / 50 = 11 spaces

REGULAR PARKING PROVIDED = 50 spaces
HANDICAP PARKING PROVIDED = 1 space
TOTAL PARKING PROVIDED = 51 spaces

ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

OWNER

David M. Lennon, Jr., President
DNA Realty Trust, LLC
1440 Brickell Bay Drive #702
Miami, Florida 33131
Phone (407) 340-2894

ENGINEER

Keith E. Riddle, P.E.
Riddle - Newman Engineering, Inc.
115 North Canal Street
Leesburg, Florida 34748
Phone (352) 787-7482
Fax (352) 787-7412

SURVEYOR

Ronald W. Herr
Wade Surveying, Inc.
1608 Tracy Avenue
Lady Lake, Florida 32159
Phone (352) 753-6511
Fax (352) 753-0374

NPDES Requirements

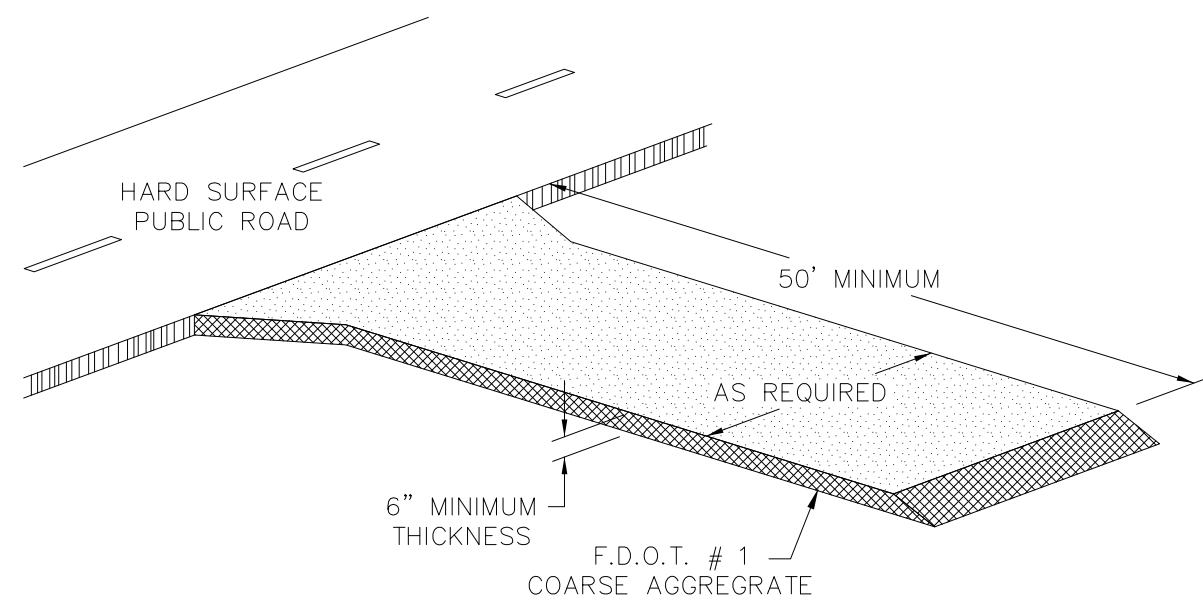
- Federal Law prohibits all point source discharge of pollutants, which includes the discharge of stormwater associated with large (greater than 5 acres) construction activities or small (less than 5 acres and greater than 1 acre) construction activities, to waters of the United States without a National Pollutant Discharge Elimination System (NPDES) permit. Under the State of Florida's authority to administer the NPDES stormwater program, operators that have stormwater discharge associated with large or small construction activities to surface waters of the State, including through a Municipal Separate Storm Sewer System (MS4, i.e. Town, City or County), shall obtain coverage either under a Generic permit or an Individual permit.
- The Contractor shall obtain the NPDES permit during the permitting process.
- The Contractor shall prepare the Storm Water Pollution Prevention Plan (SWPPP). Contractor may obtain information pertaining to the NPDES program online at www.dep.state.fl.us/water/stormwater/npdes. The Contractor shall be responsible for maintenance of the site in accordance with the SWPPP. The Contractor will be required to comply with all requirements of the SWPPP and have it posted on-site along with the Erosion Control Plan, the NPDES permit, and the completed Inspection Report Forms. The Contractor shall be responsible for all erosion control practices defined in the SWPPP and associated penalties for not complying with the NPDES requirements contained in the SWPPP and the NPDES permit. The cost of all compliance related activities shall be included in the bid submitted by the Contractor.
- The NPDES permit requires at least weekly inspections of the site and inspections within 24 hours following any rainfall event exceeding 0.5" inches. The Contractor is responsible for the weekly inspections and post-rainfall event inspections and these inspections are required to be made by a "Qualified" inspector. These inspections must document compliance with the permit and the SWFPP and the inspector shall complete the Stormwater Pollution Prevention Plan Inspection Report Form. The Contractor can obtain a sample copy of the Inspection Report Form from the Engineer. The Contractor can contact the FDEP at (850) 245-7522 for additional information on qualified inspectors or additional information on the NPDES requirements.

NPDES REQUIREMENTS

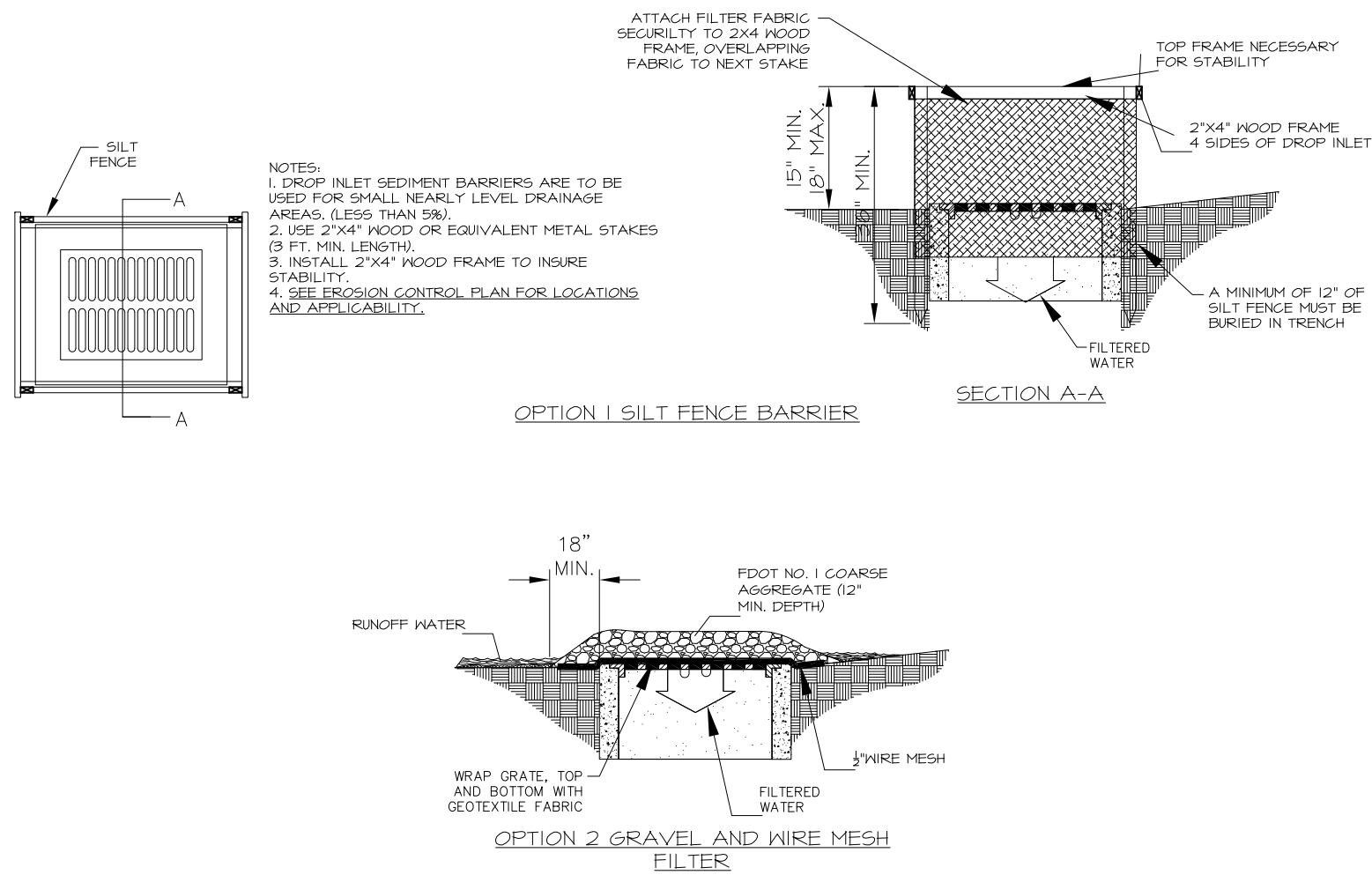
THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH FDEP NPDES STORMWATER POLLUTION PREVENTION PLAN REQUIREMENTS.

CONTRACTOR TO INSTALL DROP INLET SEDIMENT FILTER ON ALL TYPE "F" INLETS.

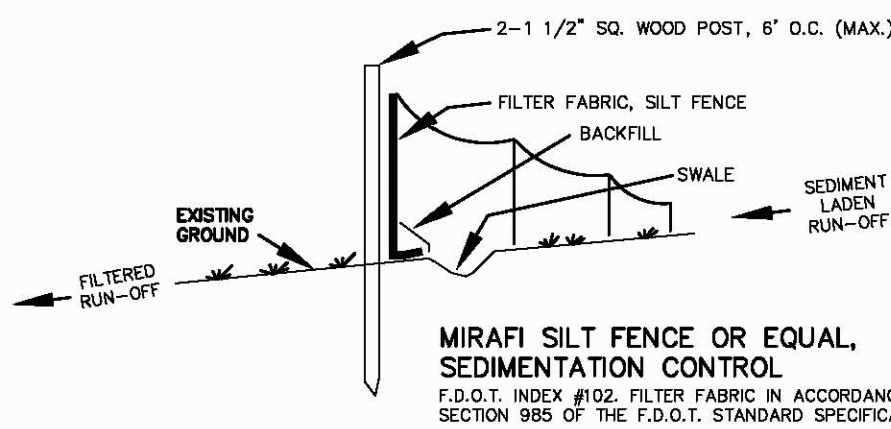
FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES. WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR HAY BALES, UNTIL LIMEROCK BASE IS FINISHED AND PRIMED.



GRAVEL CONSTRUCTION ENTRANCE DETAIL



DROP INLET SEDIMENT FILTER DETAIL



- NOTES:
1. TEMPORARY EROSION CONTROL STRUCTURE TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURE MAY BE REMOVED AFTER UPSLOPE AREA HAS BEEN STABILIZED BY SOD, OR COMPACTED AS DETERMINED BY CONTRACTOR.
 2. CONSTRUCT STORMWATER SYSTEMS BEFORE ANY BUILDING OR ROAD CONSTRUCTION IS STARTED.
 - a.) PROTECT SYSTEM FROM SILTING AND DEBRIS BY METHODS PROVIDED IN DETAILS.
 - b.) PROTECT SWALE BOTTOM FROM SEALING BY EXCAVATING ALL SILT DEPOSITS DURING CONSTRUCTION. THIS SHALL BE DONE BEFORE SOD & SEEDING & MULCHING IS FINISHED.

EROSION CONTROL STRUCTURE

NOT TO SCALE

THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.

PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.

TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENTY IN LIEU OF PERMANENT MEASURES.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.

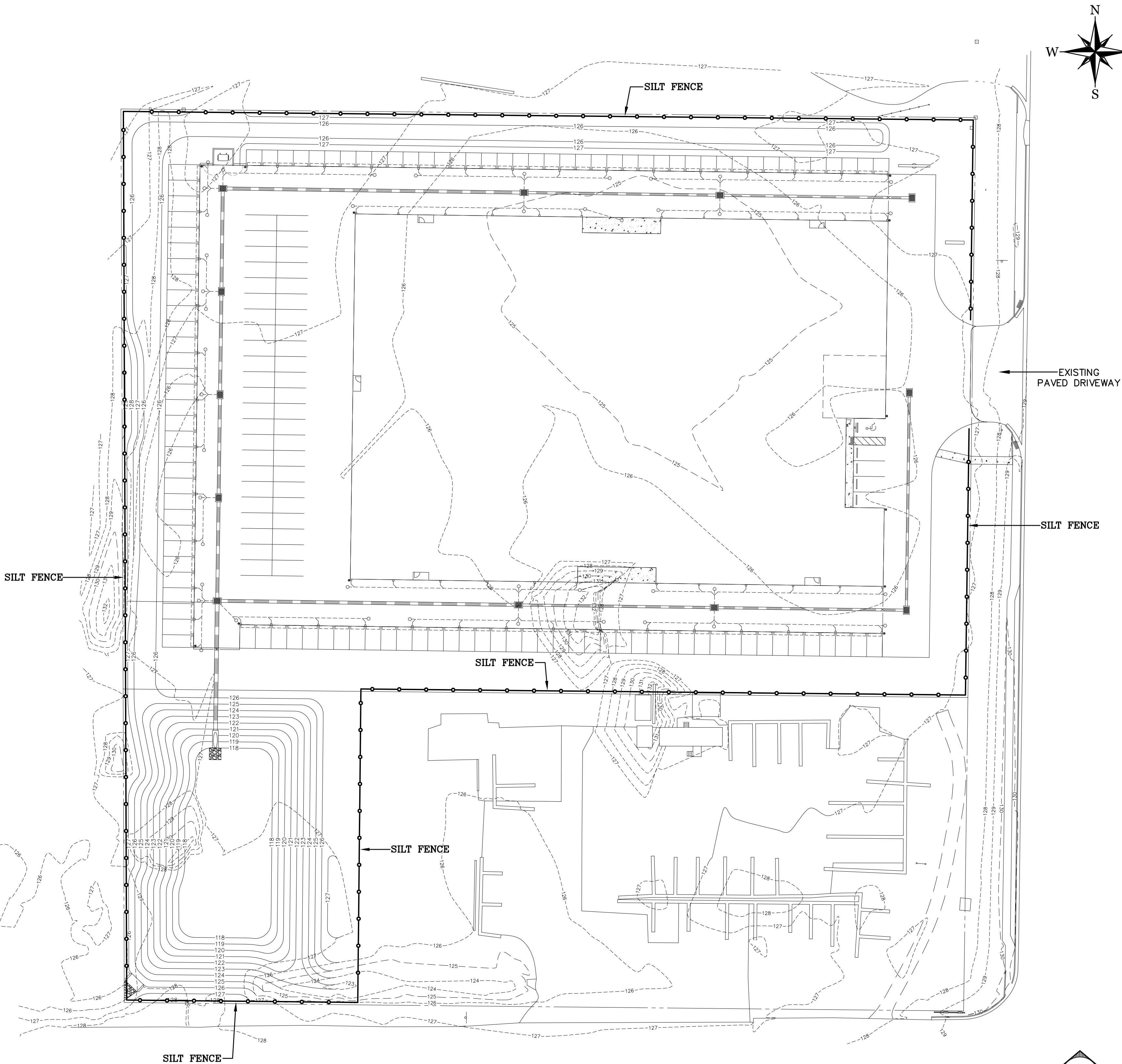
ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.



City of Fruitland Park
Standard Details

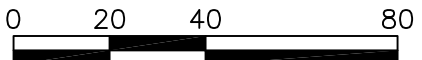
JANUARY 2020

Detail G-1



STORMWATER POLLUTION PREVENTION PLAN

SCALE: 1" = 40'



RIDDLE - NEWMAN ENGINEERING, INC.
115 NORTH CANAL STREET
LEESBURG, FLORIDA 34748
PHONE (352) 787-7482
FAX (352) 787-7412
keith@riddlenewman.com
CA# 00002883

RIDDLE NEWMAN ENGINEERING INC.
ESTABLISHED 1981

REV #5	REV #4	REV #3	REV #2	REV #1
REVISED PER SRIMM, FRUITLAND PARK & FOOT 4/11/23				

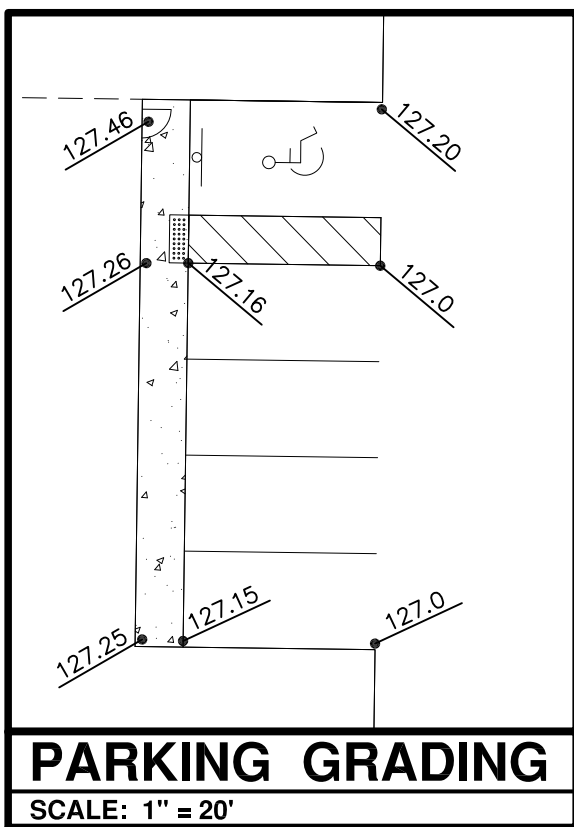
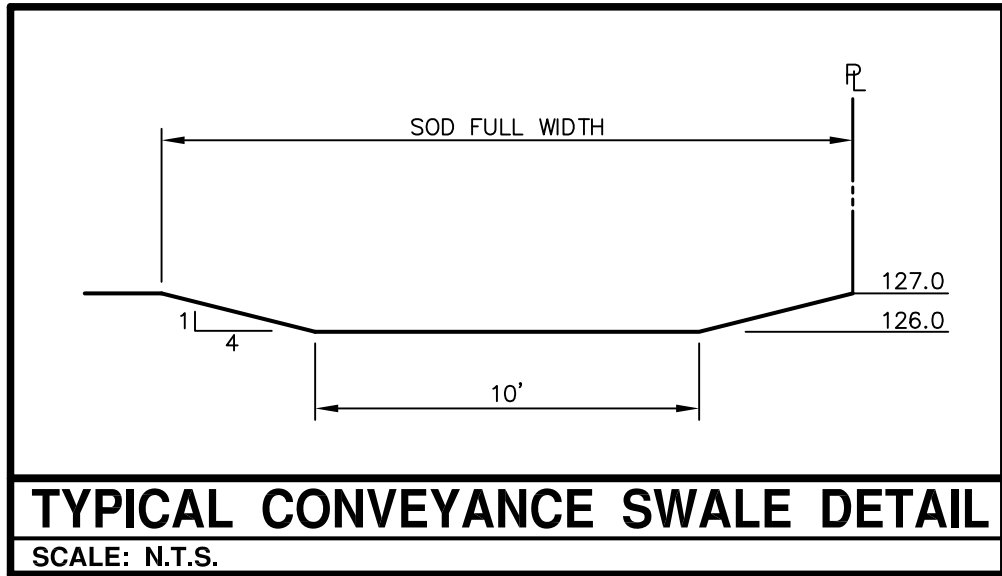
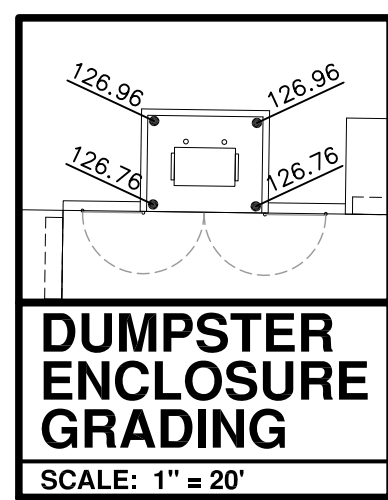
THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY KEITH E. RIDDLE, P.E. ON THE DATE INDICATED HERE USING A SHA AUTHENTICATION CODE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DRAWN: R.S.H.	CHECKED: K.E.R.	SCALE: 1"=40'	DATE: 1/11/23	PROJECT NO: 22.13
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STORMWATER POLLUTION PREVENTION PLAN
LAKESIDE STORAGE II
FLORIDA
FRUITLAND PARK

SHEET NO.
C1.2

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FILE: 22.13/Lakeside StorageII

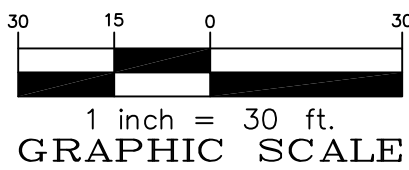


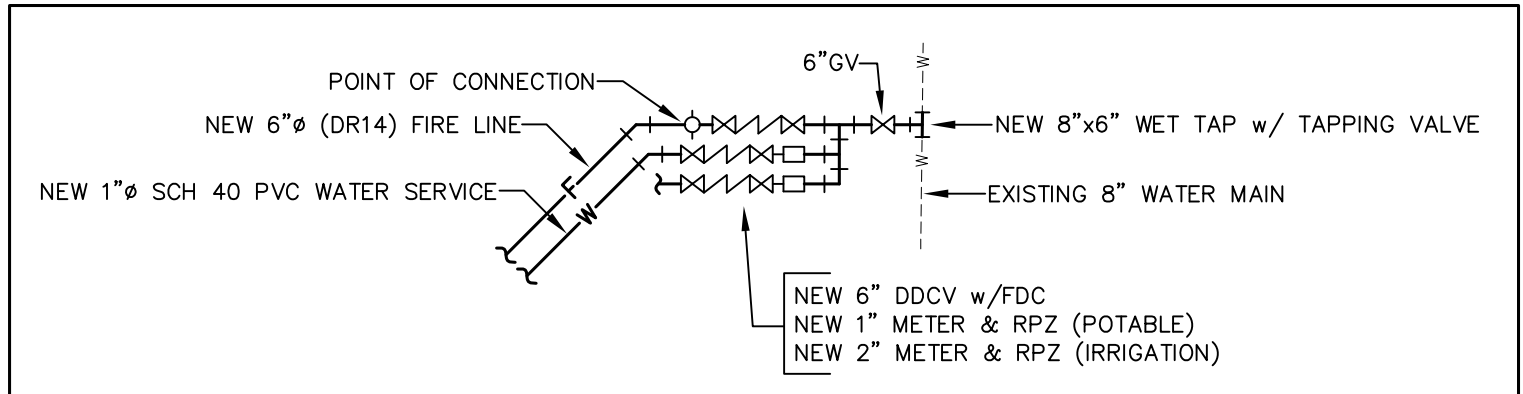
ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFORM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS (INDICES), THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL.

STORM DRAINAGE SCHEDULE			
INLET/MH#	GRATE ELEV.	INV. ELEV.	TYPE
101	126.60	123.60	"F"
102	126.46	123.00	"F"
103	126.46	122.39	"F"
104	126.00	121.44	"F"
105	126.00	121.12	"F"
106	126.00	120.80	"F"
107	126.00	120.48	"F"
108	126.00	119.16	"F"
109	126.00	122.00	"F"
110	126.00	121.32	"F"
111	126.46	120.72	"F"
112	126.46	120.11	"F"

STORM SEWER NOTE:
ALL STORM INLETS SHALL BE TYPE "F" PRECAST CONCRETE INLETS WITH HEAVY DUTY GRATE IN ACCORDANCE WITH FDOT INDEX NO. 425-053, U.O.N.
ALL STORM PIPING SHALL BE HANCO AASHTO HDPE STORM PIPE OR APPROVED EQUAL. PIPING SHALL CONFORM TO AASHTO M-294 PER FDOT REQUIREMENTS.

VERTICAL DATUM:
ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM





ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFORM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS (INDICES), THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL.

STORM DRAINAGE SCHEDULE			
INLET/MH#	GRATE ELEV.	INV. ELEV.	TYPE
101	126.60	123.60	"C"
102	126.46	123.00	"C"
103	126.46	122.39	"C"
104	126.00	121.44	"C"
105	126.00	121.12	"C"
106	126.00	120.80	"C"
107	126.00	120.48	"C"
108	126.00	119.16	"C"
109	126.00	122.00	"C"
110	126.00	121.32	"C"
111	126.46	120.72	"C"
112	126.46	120.11	"C"

STORM SEWER NOTE:

ALL STORM INLETS SHALL BE TYPE "F" PRECAST CONCRETE INLETS WITH HEAVY DUTY GRATE IN ACCORDANCE WITH FDOT INDEX NO. 425-053, U.O.N.

ALL STORM PIPING SHALL BE HANCOR AASHTO HDPE STORM PIPE OR APPROVED EQUAL. PIPING SHALL CONFORM TO AASHTO M-294 PER FDOT REQUIREMENTS.

VERTICAL DATUM:
ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

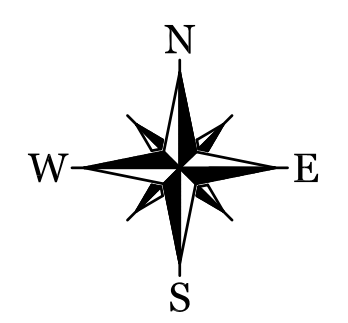
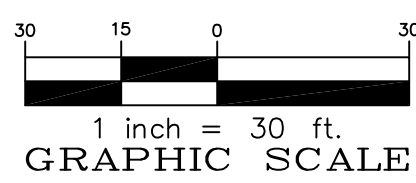
PVC PIPING SPECIFICATIONS

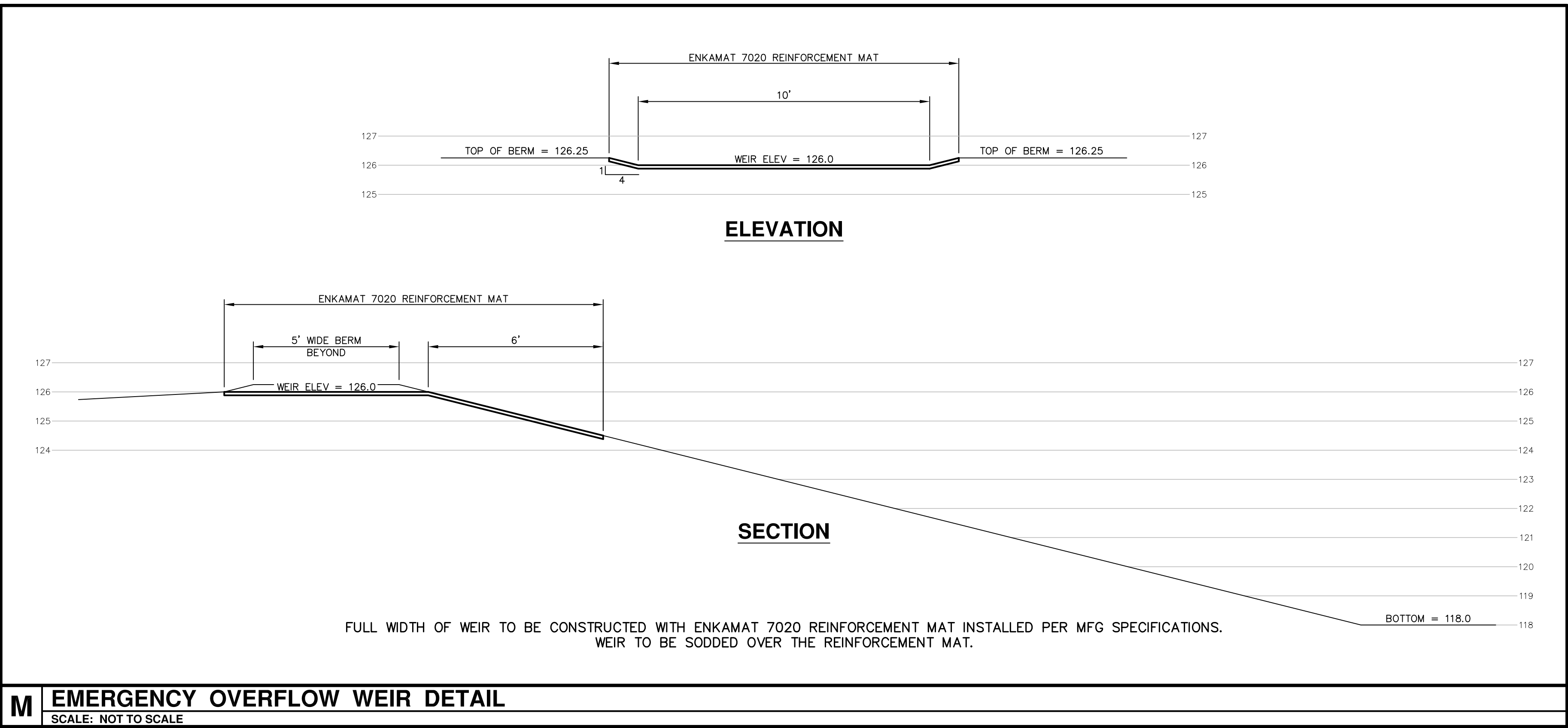
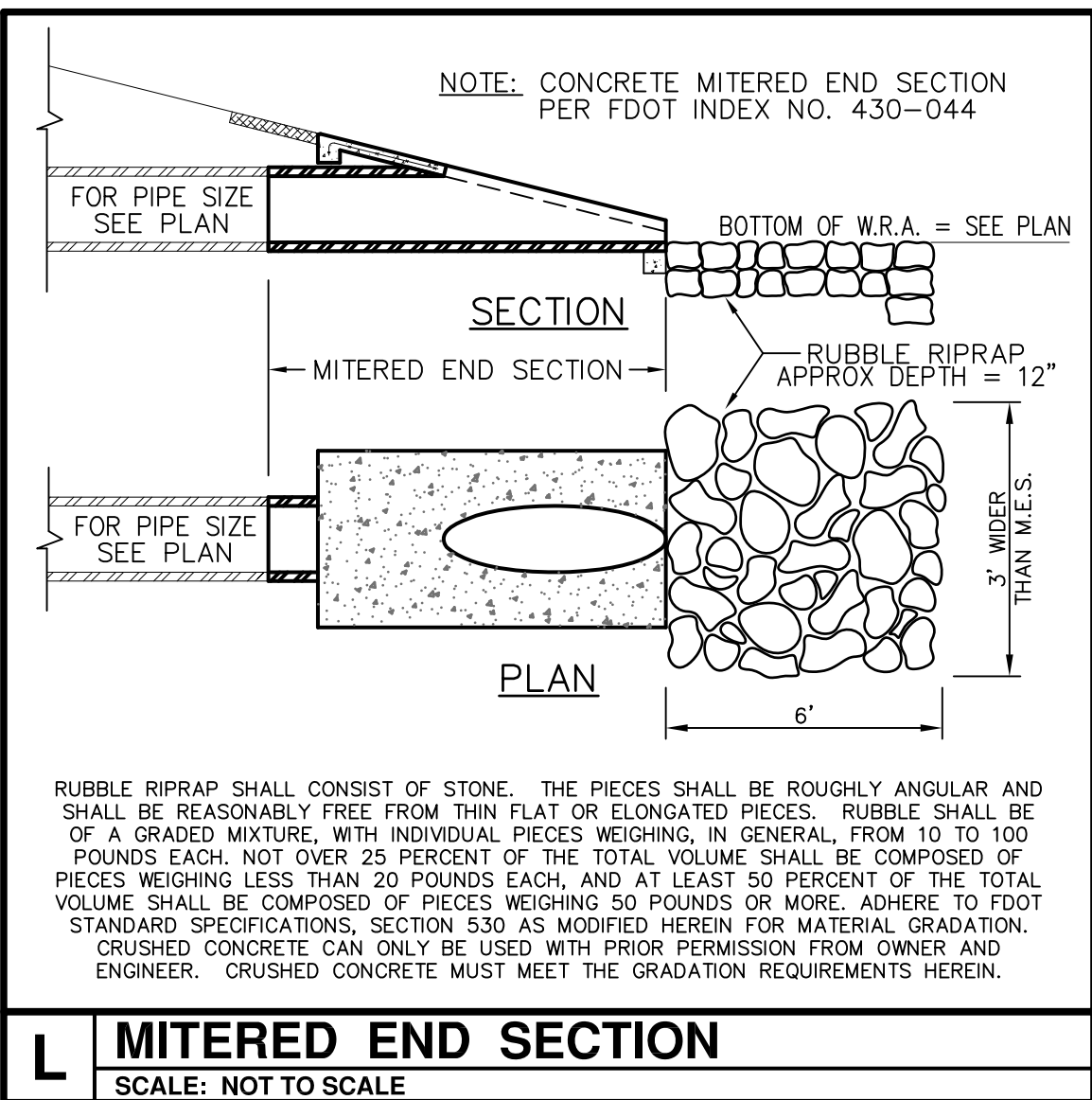
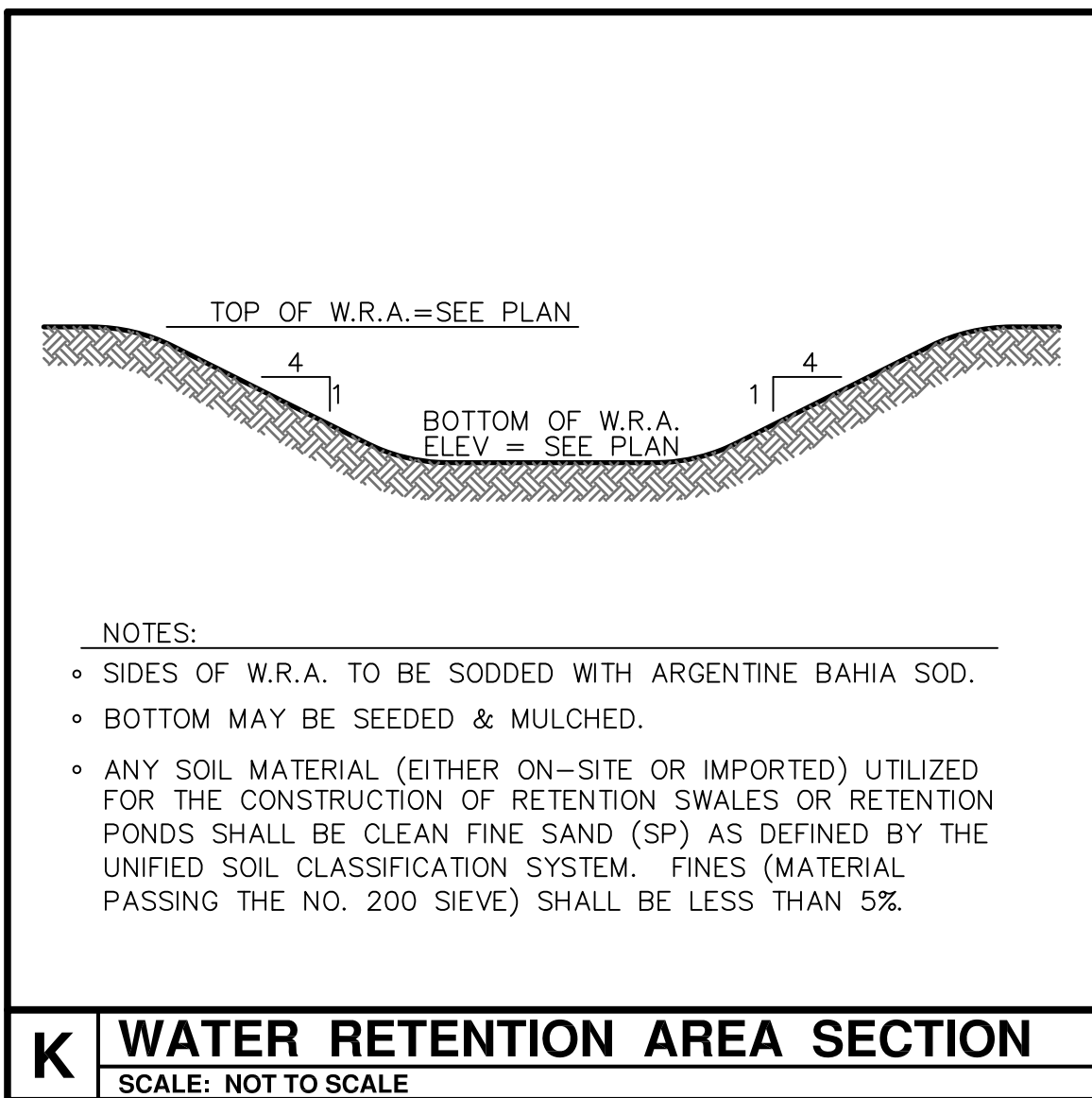
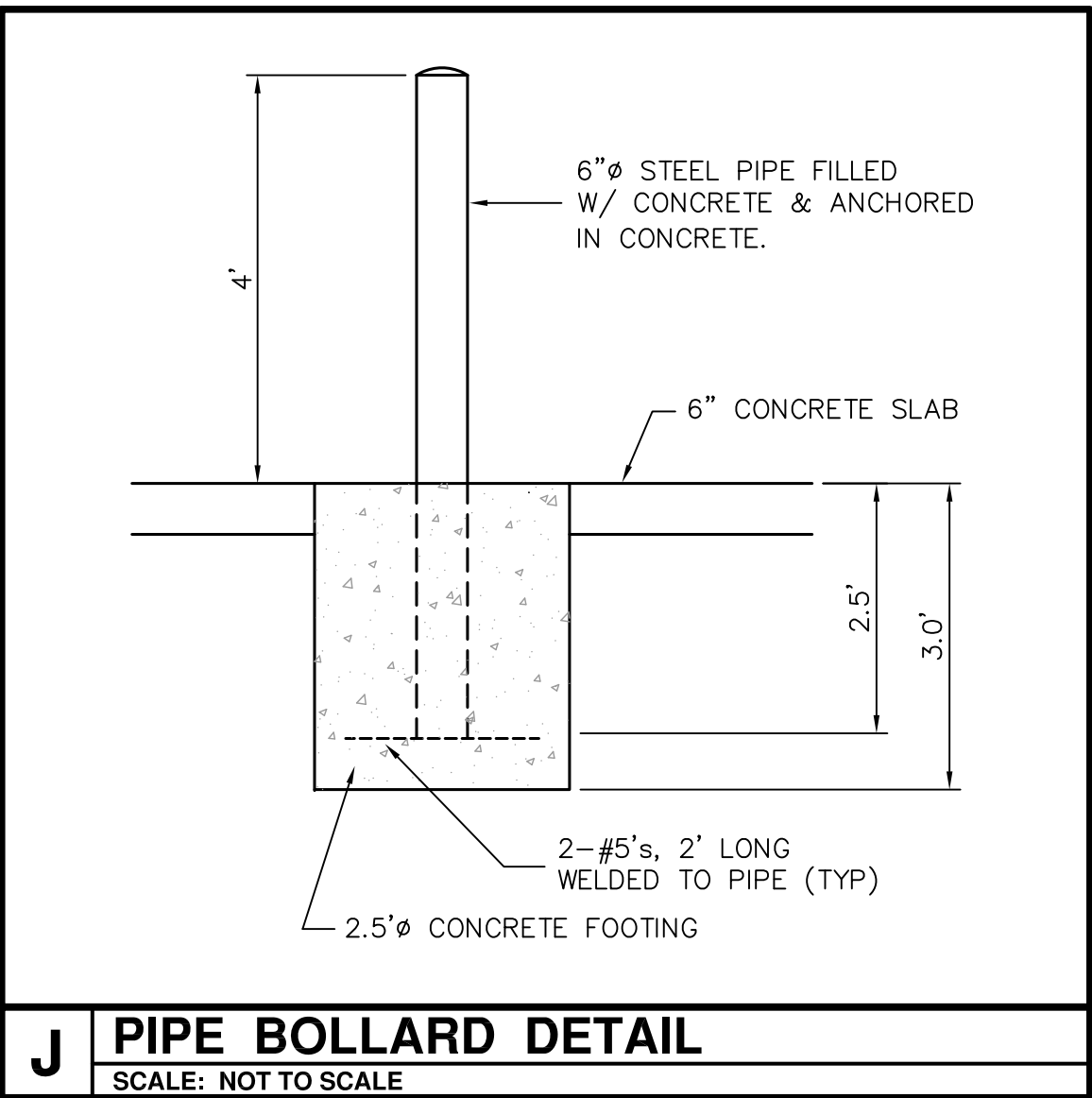
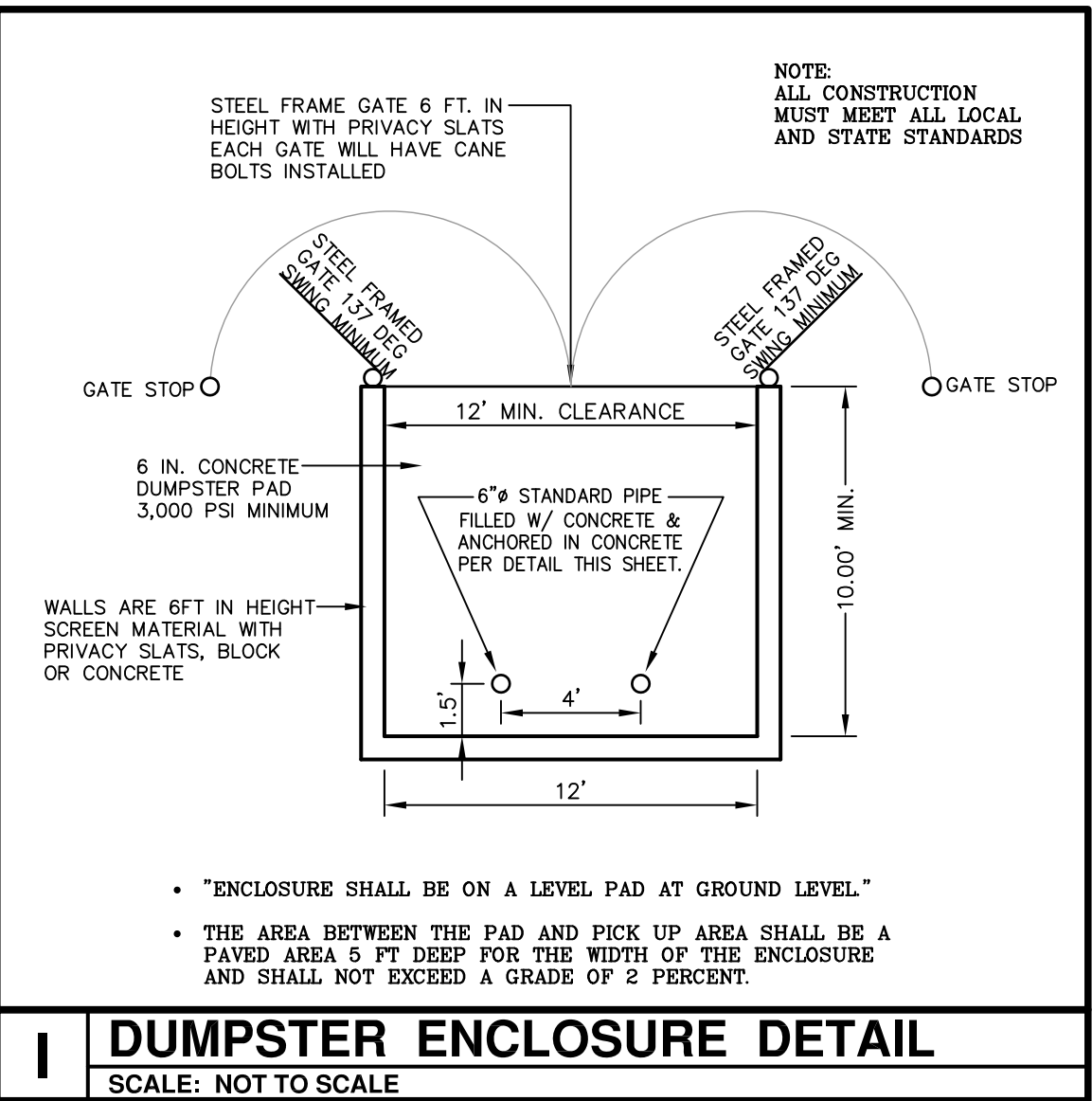
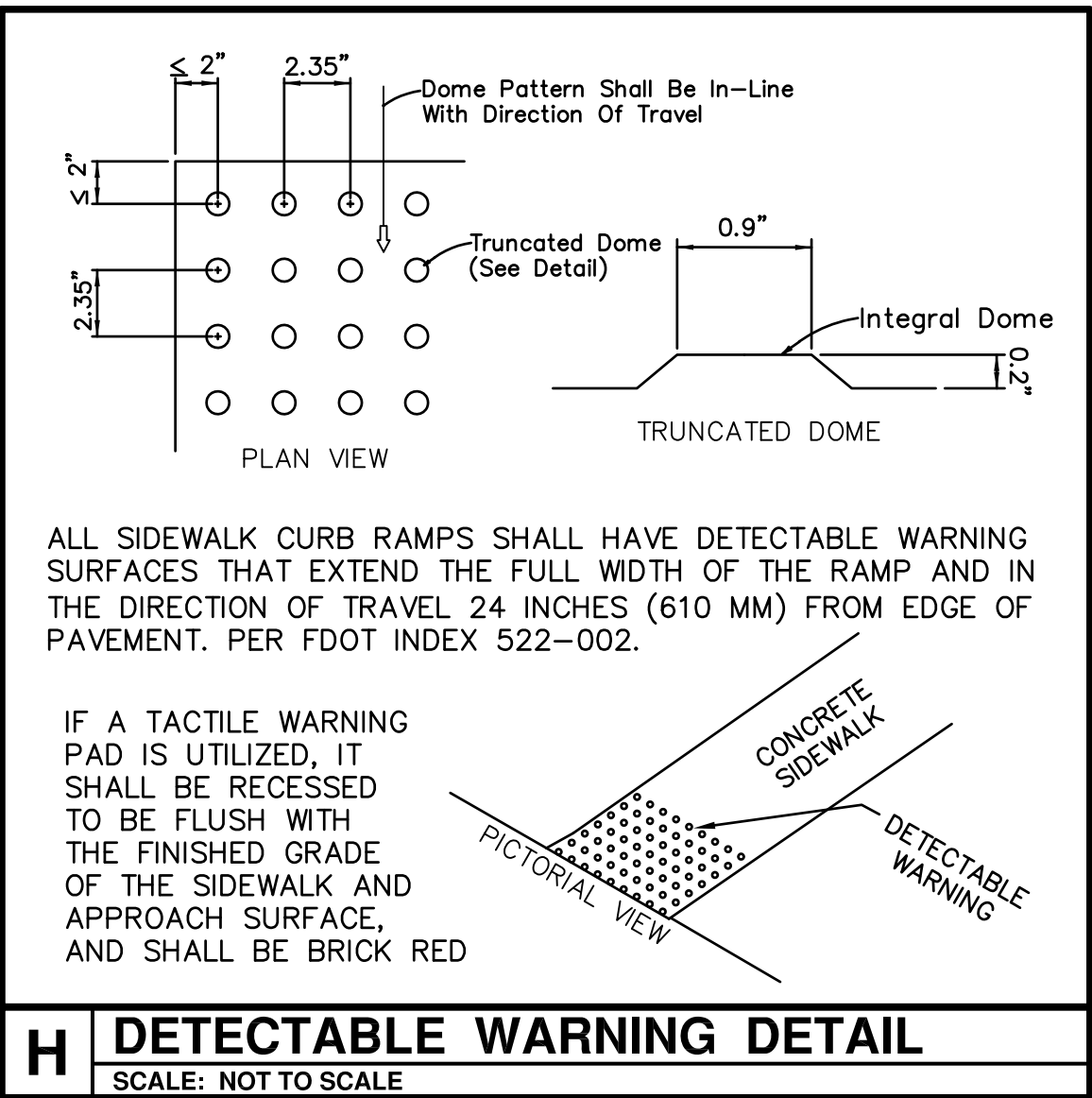
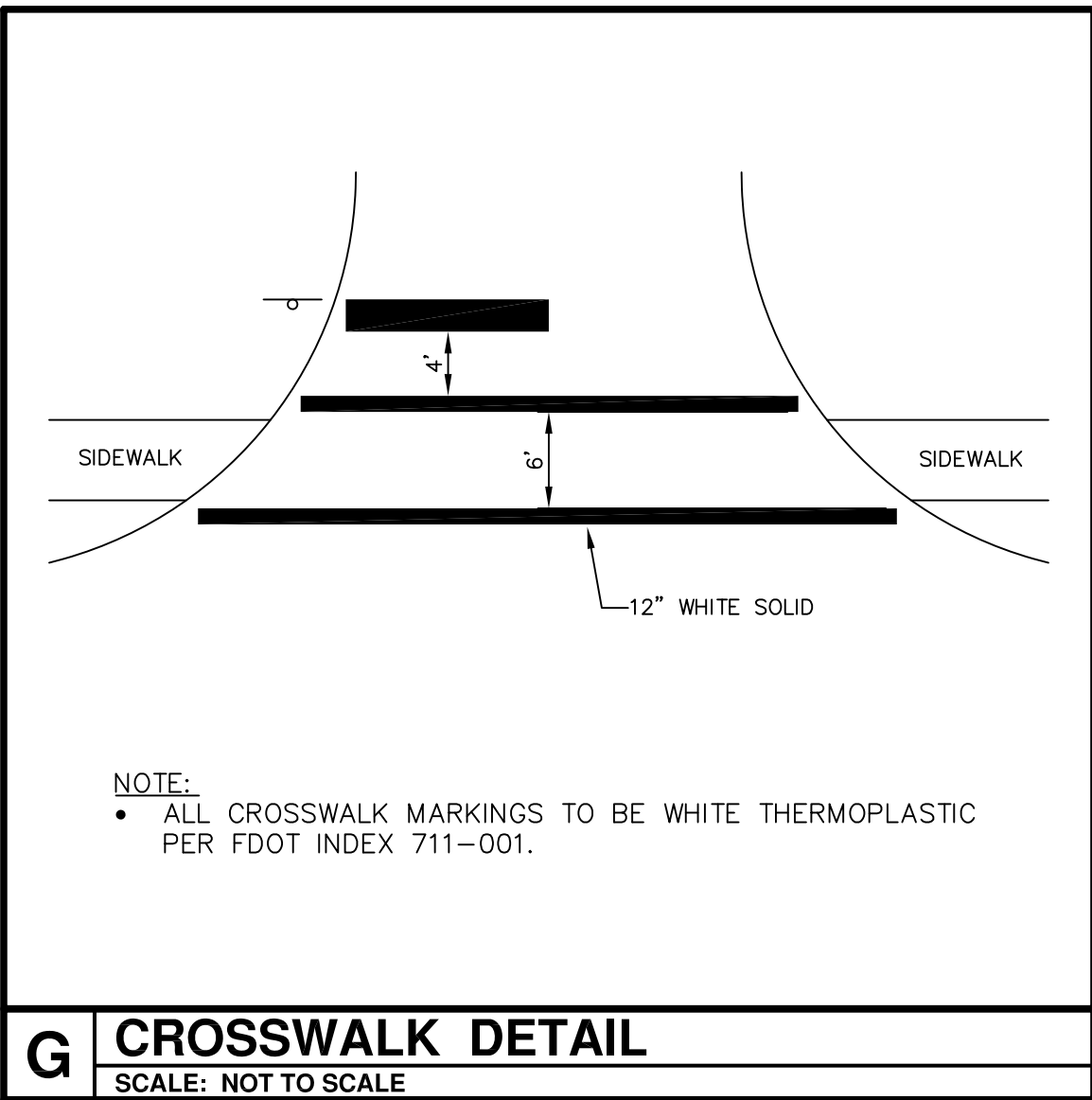
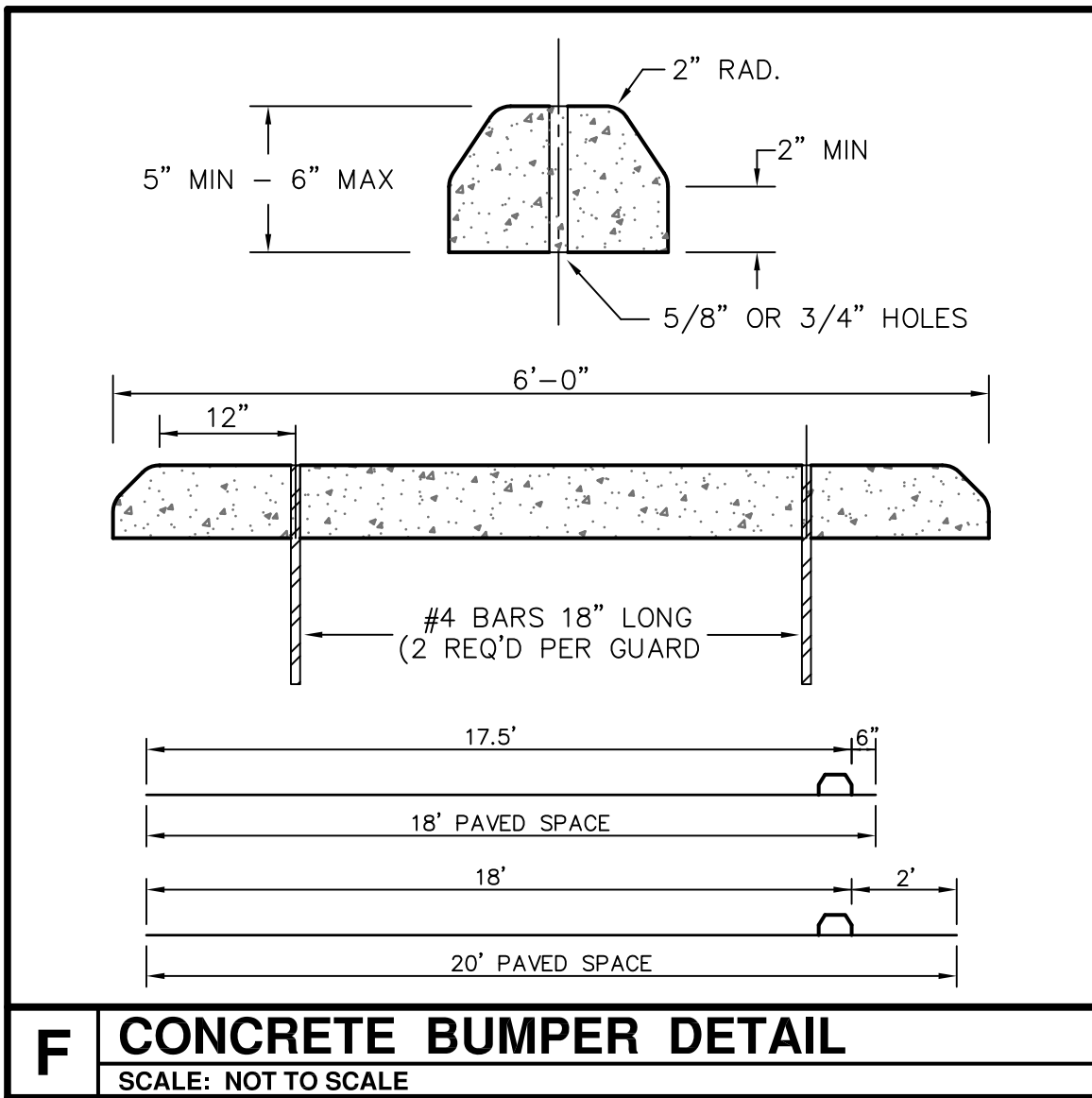
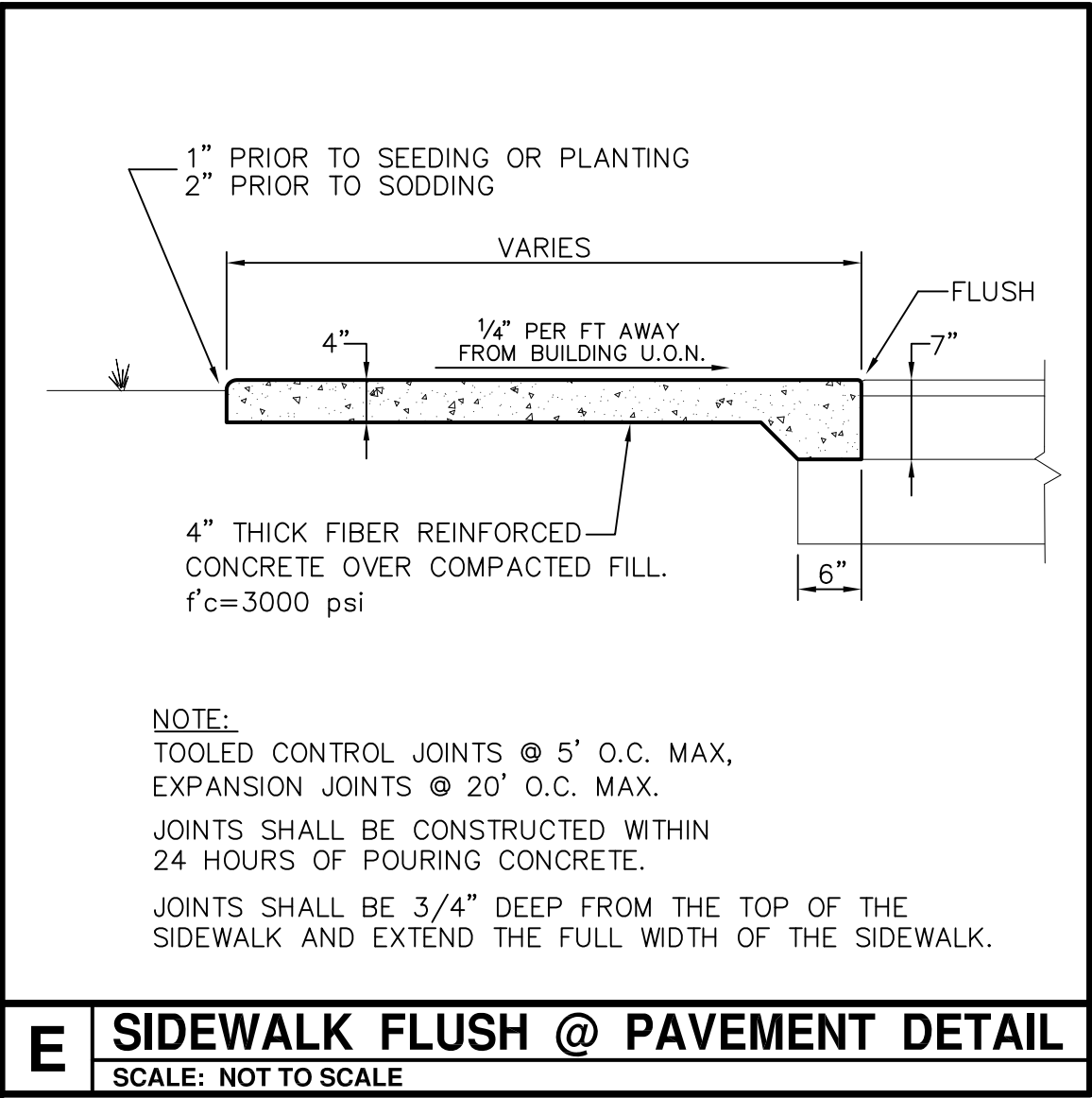
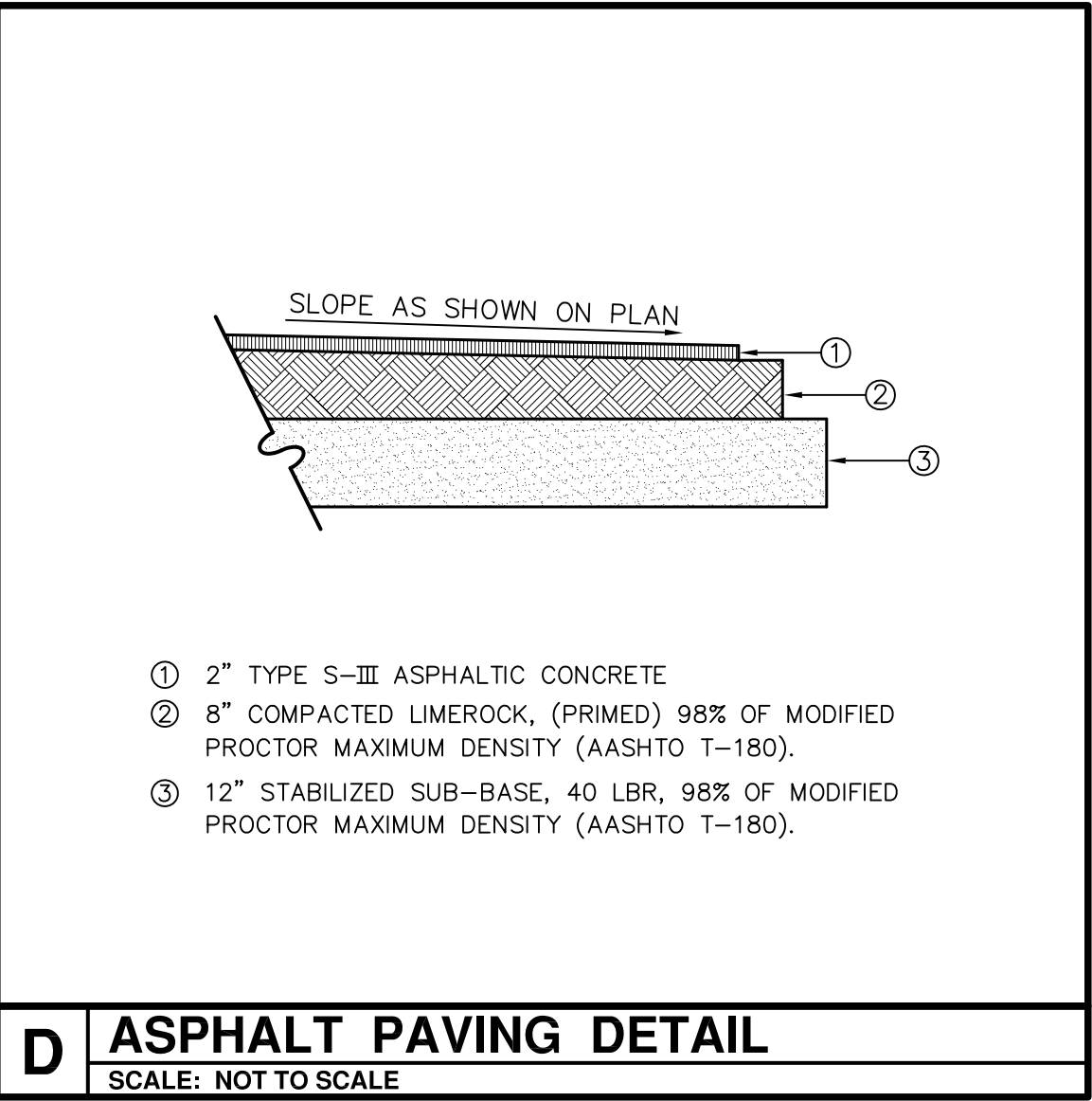
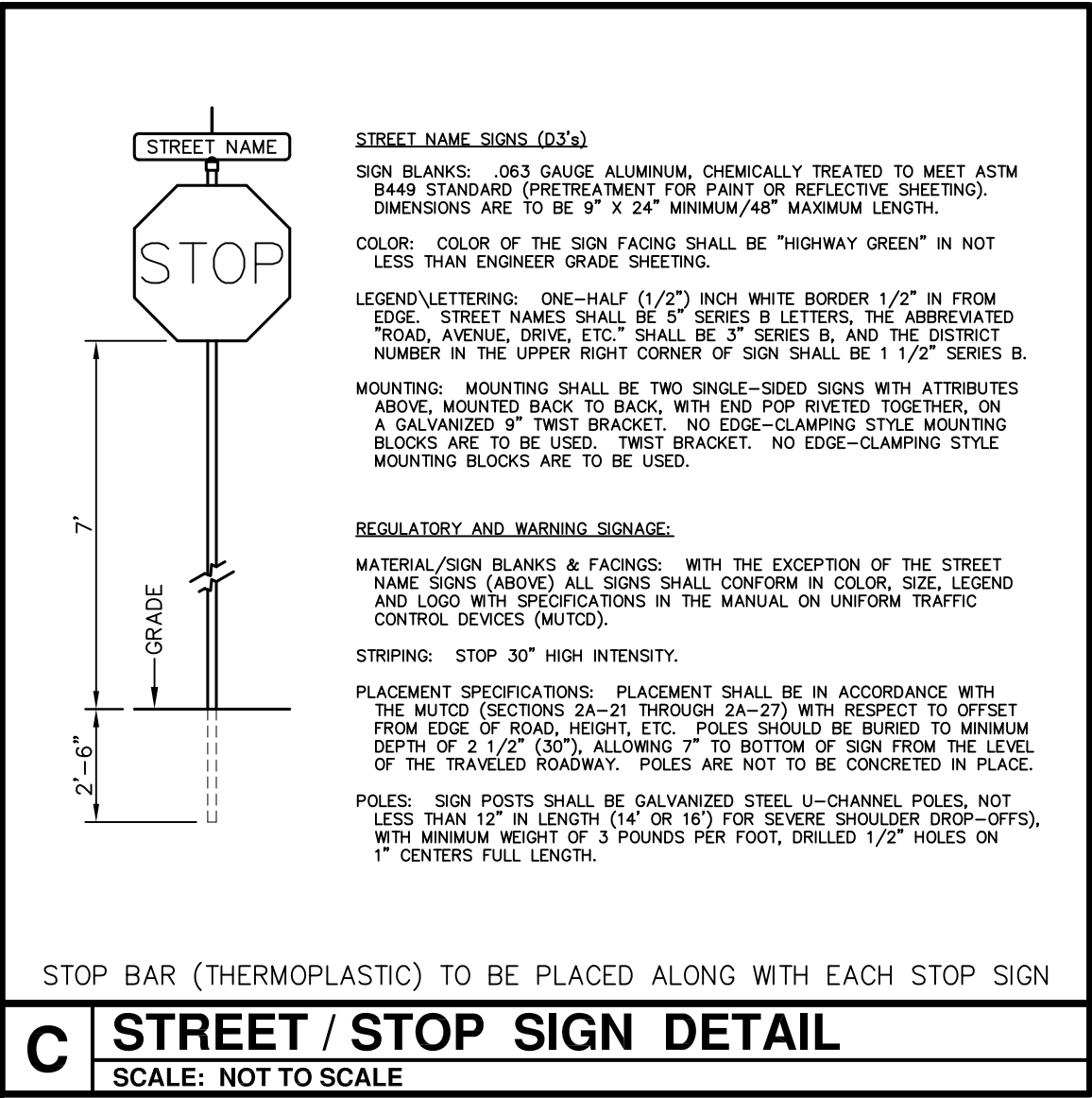
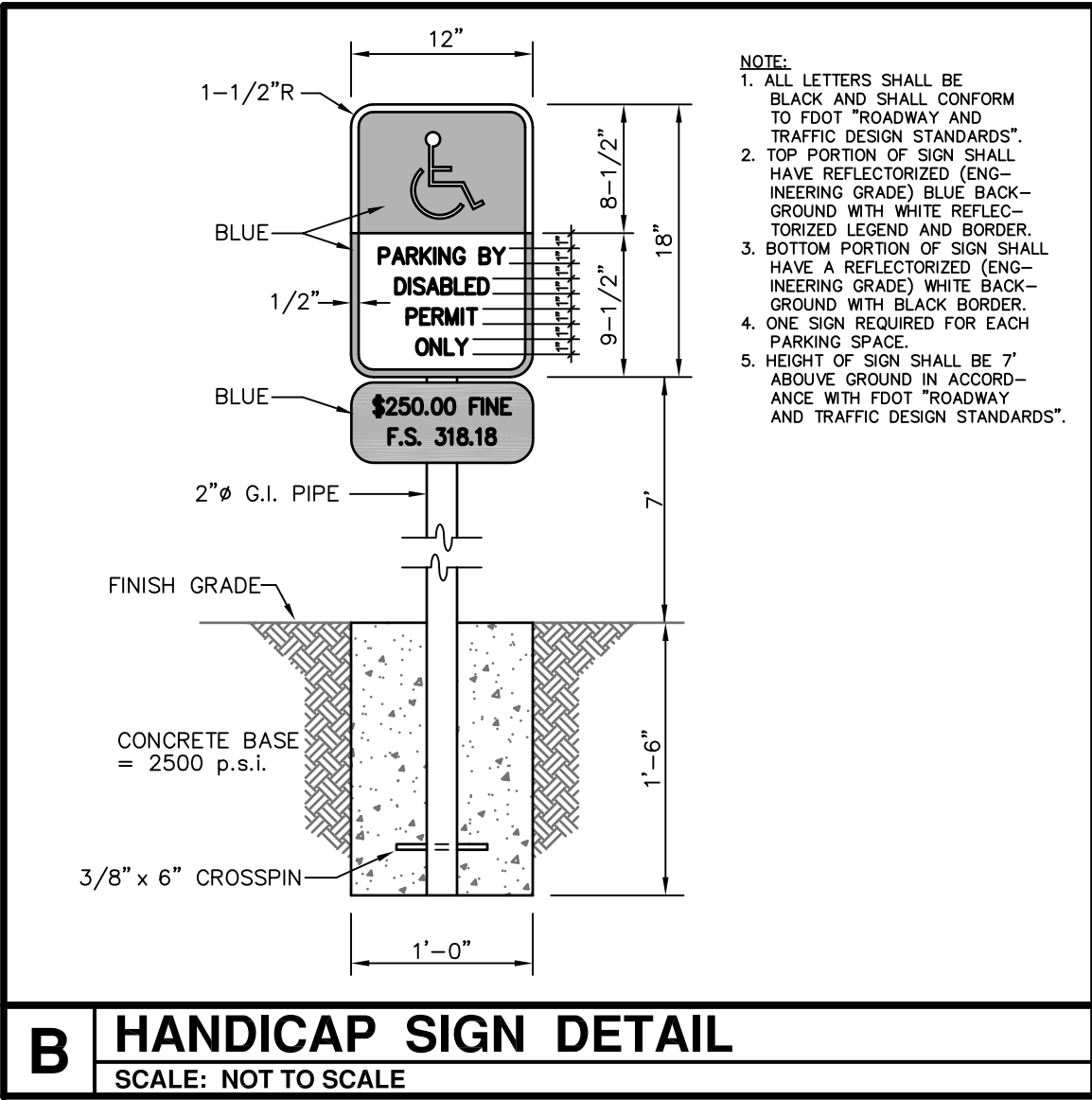
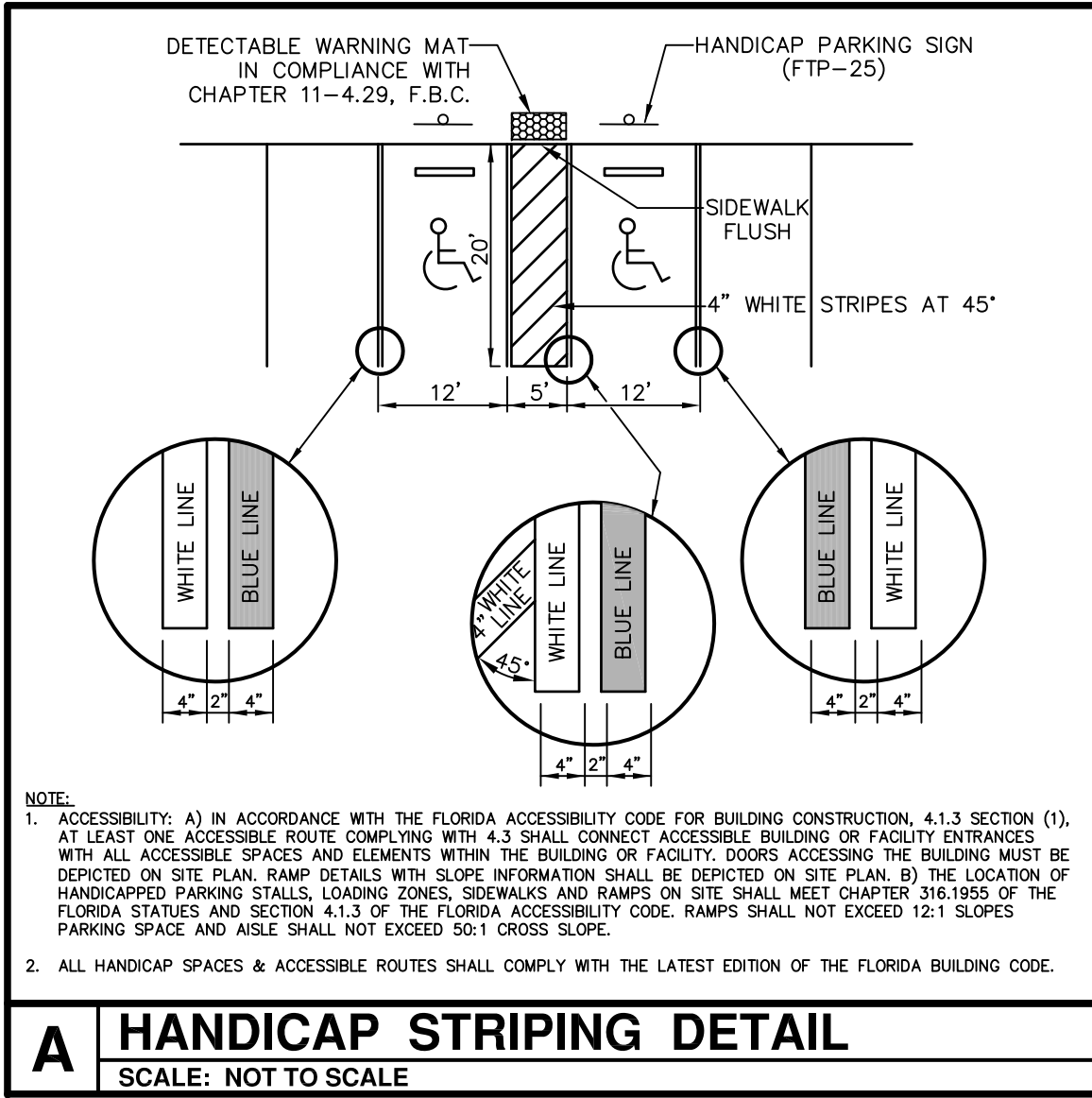
DOMESTIC WATER LINES SHALL BE C-900 PVC, DR25, CLASS 165.

FIRE LINES SHALL BE C-900 PVC, DR14, CLASS 305.

SEPARATE FIRE LINE PERMITTING
REQUIRED PER NFPA.

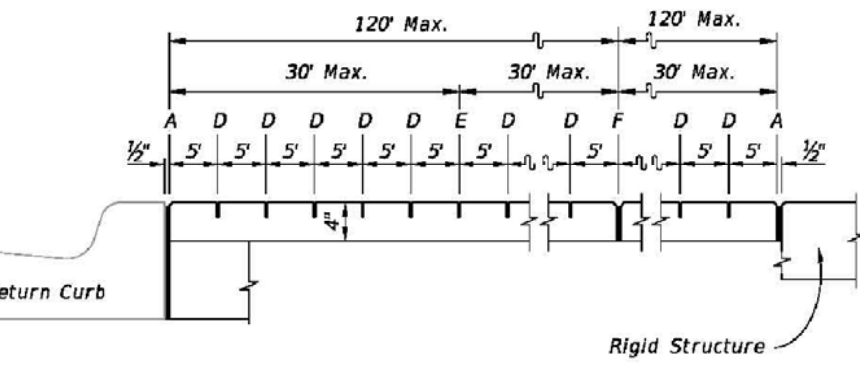
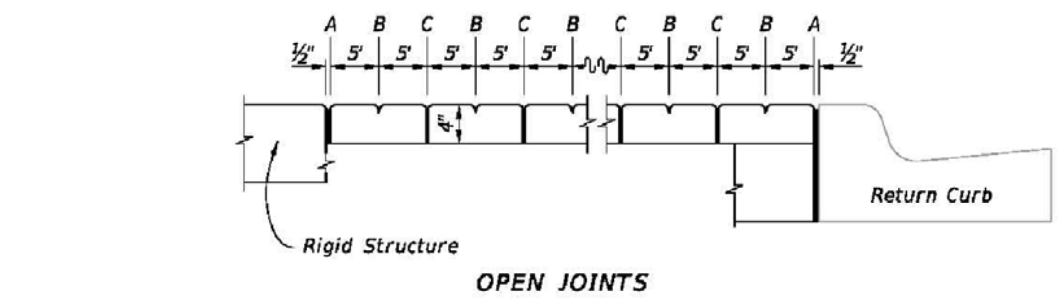
CONTRACTOR SHALL PROVIDE ENGINEERED
FIRE LINE PLAN FOR FIRE LINE PERMITTING
MEETING THE REQUIREMENTS OF NFPA.
CONTRACTOR TO INCLUDE THE COST OF
THIS PLAN IN HIS COST FOR CONSTRUCTION.



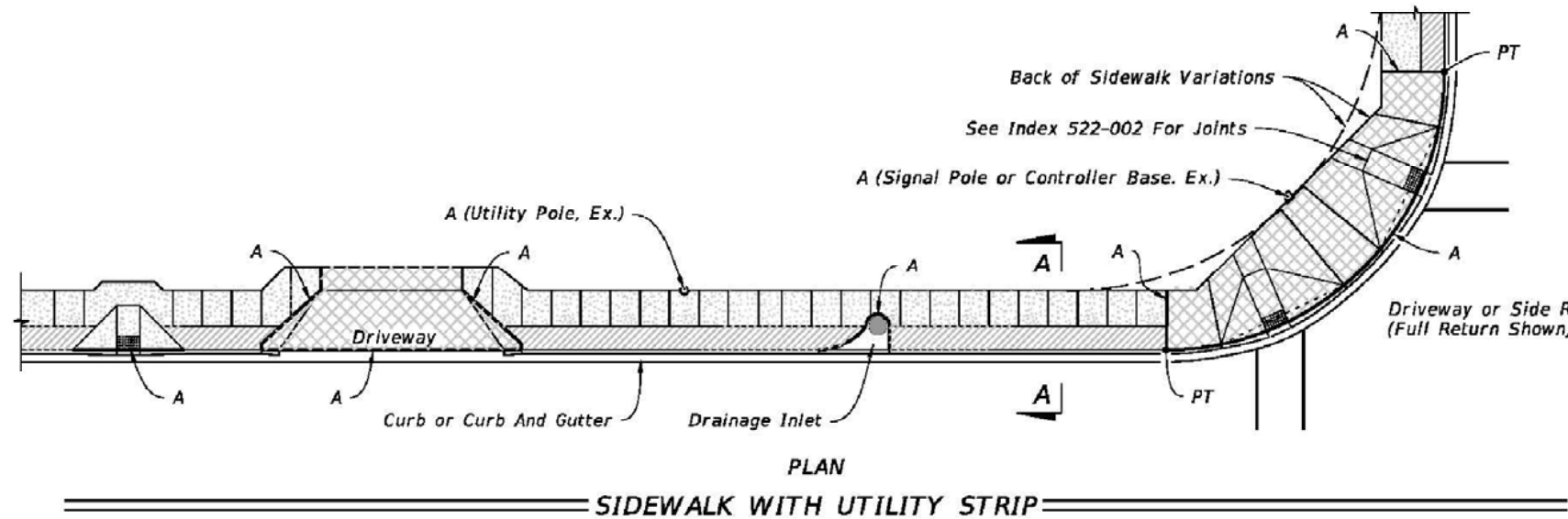


GENERAL NOTES:

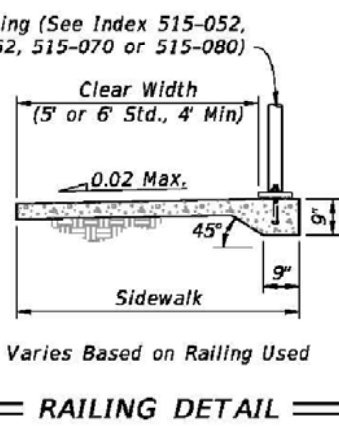
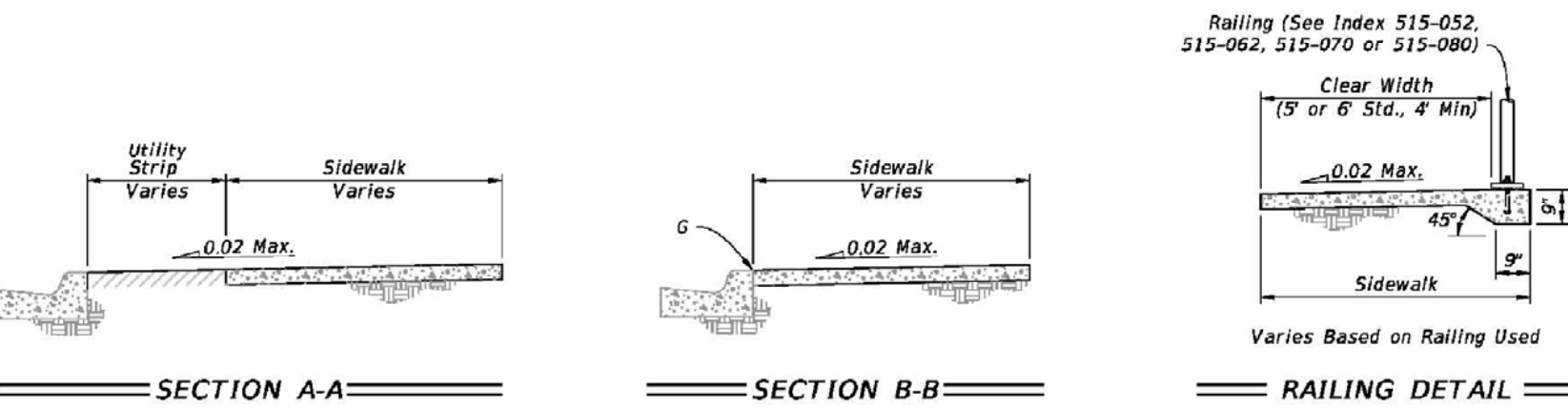
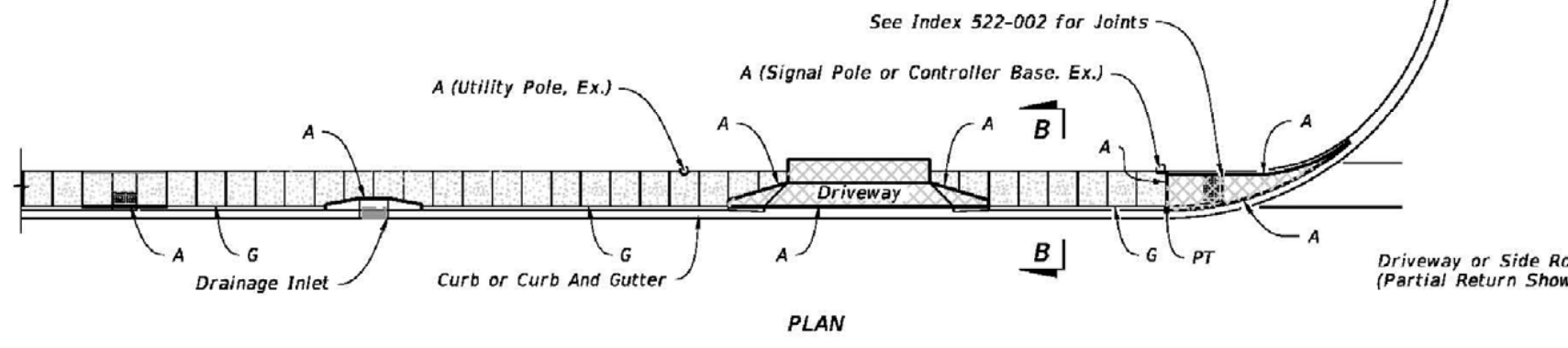
- Construct sidewalks in accordance with Specification 522. Use 6" concrete for Sidewalks and Curb Ramps Located within Curb Returns (See Plan View). Install all other concrete with thickness as shown, unless otherwise detailed in the Plans.
- Include detectable warnings on sidewalk curb ramps in accordance with Index 522-002.
- For Driveways see Index 522-003.
- Bond breaker material can be any impermeable coated or sheet membrane or preformed material having a thickness of not less than 6 mils and not more than 1/2".
- Construct sidewalk with Edge Beam through the limits of any surface mounted Pedestrian/Bicycle Railing or Pipe Guiderail shown in the plans. (See RAILING DETAIL)



- LEGEND:**
- A- 1/2" Expansion Joints (Preformed Joint Filler) between the sidewalk and driveways, sidewalk-intersections, and all other fixed objects (e.g. drainage inlets and utility poles).
 - B- 1/2" Dummy Joints, Tooled
 - C- 1/2" Formed Open Joints
 - D- 3/4" Saw Cut Joints, 1 1/2" Deep (within 96 hours) Max. 3' Centers
 - E- 1/2" Saw Cut Joints, 1 1/2" Deep (within 12 hours) Max. 30' Centers (Joint(s) Required When Length Exceeds 30')
 - F- 1/2" Expansion Joint When Run Of Sidewalk Exceeds 120'. Intermediate locations when called for in the plans or at locations as directed by the Engineer.
 - G- Cold Joint With Bond Breaker, Tooled

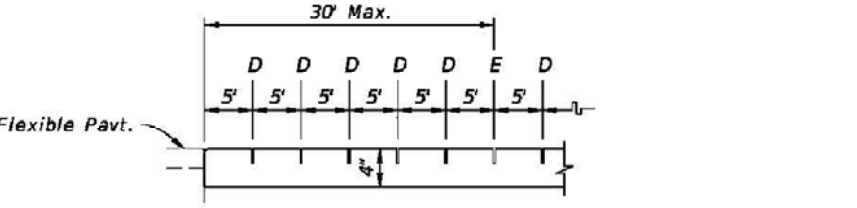
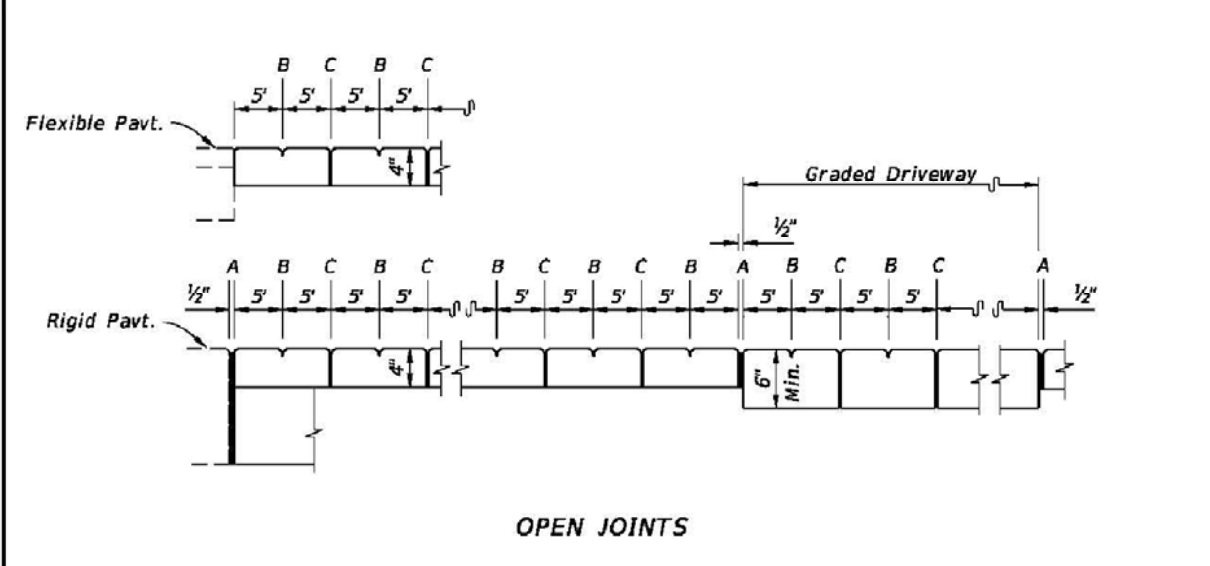


- LEGEND:**
- 4" Thick Sidewalk
 - 6" Thick Sidewalk
 - Utility Strip



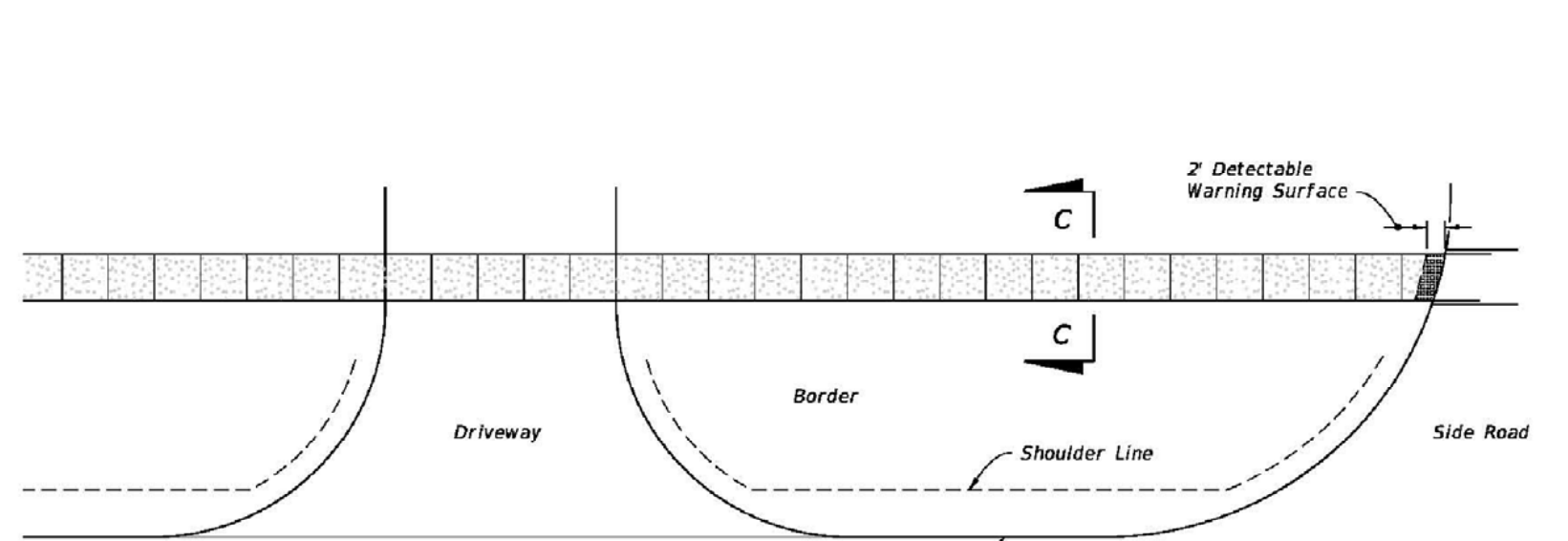
GENERAL NOTES AND CONCRETE SIDEWALK ON CURBED ROADWAYS

LAST REVISION	DESCRIPTION:	FY 2023-24 STANDARD PLANS	CONCRETE SIDEWALK	INDEX	SHEET
11/01/19				522-001	1 of 2

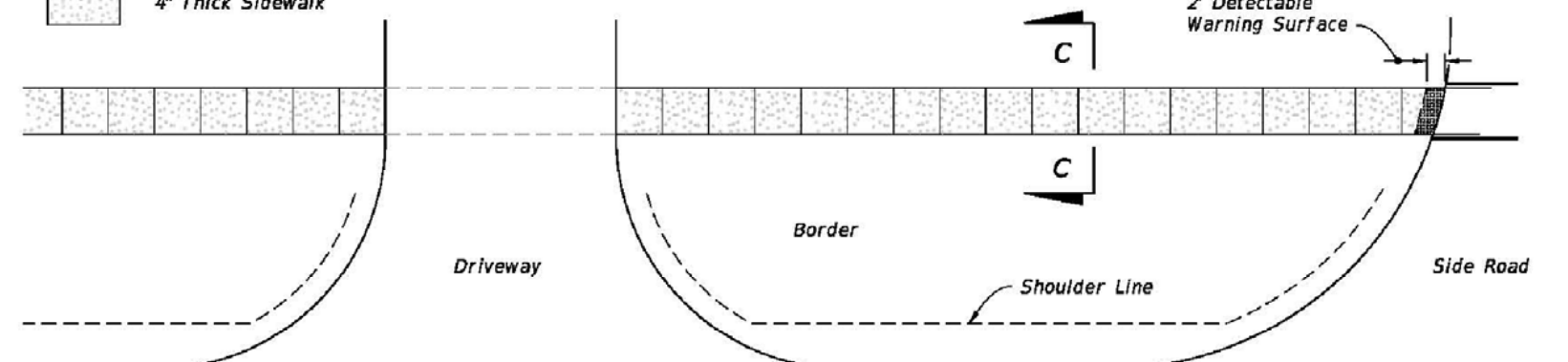


- LEGEND:**
- A- 1/2" Expansion Joints (Preformed Joint Filler) between the sidewalk and driveways, sidewalk-intersections, and all other fixed objects (e.g. drainage inlets and utility poles).
 - B- 1/2" Dummy Joints, Tooled
 - C- 1/2" Formed Open Joints
 - D- 3/4" Saw Cut Joints, 1 1/2" Deep (within 96 hours) Max. 3' Centers
 - E- 1/2" Saw Cut Joints, 1 1/2" Deep (within 12 hours) Max. 30' Centers (Joint(s) Required When Length Exceeds 30')
 - F- 1/2" Expansion Joint When Run Of Sidewalk Exceeds 120'. Intermediate locations when called for in the plans or at locations as directed by the Engineer.

LAST REVISION	DESCRIPTION:	FY 2023-24 STANDARD PLANS	CONCRETE SIDEWALK	INDEX	SHEET
11/01/19				522-001	2 of 2

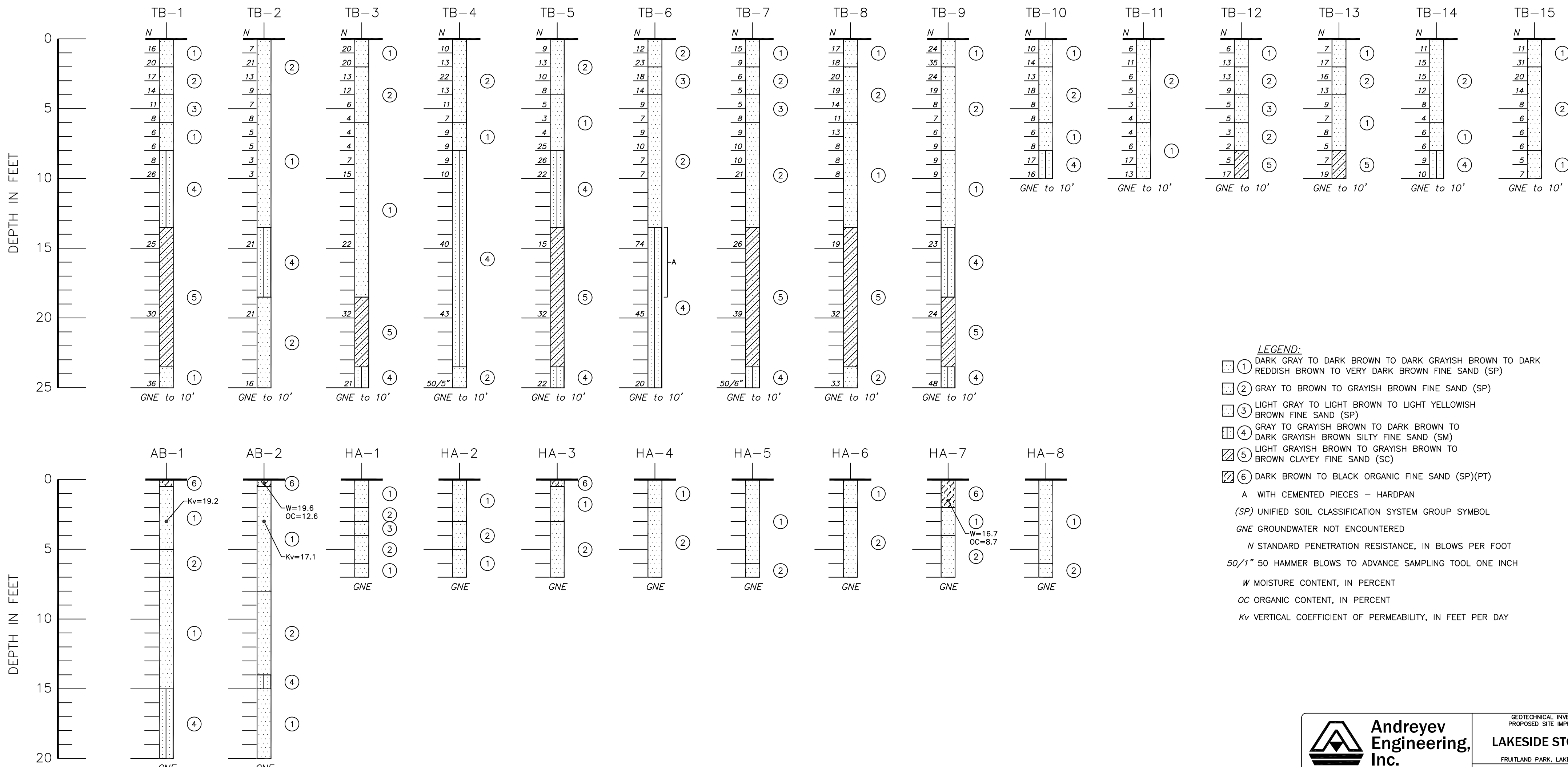


- LEGEND:**
- 4" Thick Sidewalk



CONCRETE SIDEWALK ON FLUSH SHOULDER ROADWAYS

LAST REVISION	DESCRIPTION:	FY 2023-24 STANDARD PLANS	CONCRETE SIDEWALK	INDEX	SHEET
11/01/19				522-001	2 of 2



SITE PREPARATION SPECIFICATIONS (PER REPORT BY ANDREYEV ENGINEERING DATED 10/31/2022)

The building areas, plus a minimum margin of 5 feet beyond their outer lines, shall be cleared and stripped to remove all surface vegetation, roots, topsoil, organic debris, Stratum 6 organic fine sand, existing concrete/pavement/building materials, or any other encountered deleterious materials. All Stratum 6 organic fine sand shall be properly removed from beneath structural support areas, including the proposed building and pavement areas, plus a five-foot perimeter, and be replaced with compacted engineered fill in order to limit overlying structures from exposure to increased levels of differential settlement. After initial site preparation, the exposed foundation subgrade soils for the building areas shall be proof rolled and compacted to a minimum of 95% of the soil's modified Proctor maximum dry density as determined by ASTM Specification D-1557 before any fill material is placed. Compaction shall be completed to a depth of 2 feet below exposed subgrade. The exposed subgrade within pavement areas shall be proof rolled and compacted to a minimum of 95% of the soil's modified Proctor maximum dry density as determined by ASTM Specification D-1557. In-place density tests shall be performed on each lift by an experienced engineering technician working under the direction of a registered geotechnical engineer to verify that the recommended degree of compaction has been achieved. We suggest a minimum testing frequency of one (1) test per lift per 2,500 square feet of area within structural limits and one (1) test per lift per 10,000 square feet in pavement areas. This fill shall extend a minimum of 5 feet beyond building lines to prevent possible erosion or undermining of footing bearing soils. Further, fill slopes shall not exceed 2 horizontal to 1 vertical (2H: 1V). All fill placed in utility line trenches and adjacent to footings beneath slabs on grade shall also be properly placed and compacted to the specifications stated above. However, in these restricted working areas, compaction shall be accomplished with lightweight, hand-guided compaction equipment and lift thicknesses shall be limited to a maximum of 4 inches loose thickness.

Andreyev Engineering, Inc.

APPROXIMATE SCALE: 1" = 5'

DATE: 10/31/22 ENGINEER: RJ
PROJECT: GRGT-22-127 DRAWN BY: DLS

GEOTECHNICAL INVESTIGATION
PROPOSED SITE IMPROVEMENTS

LAKESIDE STORAGE II

FRUITLAND PARK, LAKE COUNTY, FL

SOIL PROFILES

FIGURES 4, 5 & 6

RIDDLE - NEWMAN ENGINEERING, INC.
115 NORTH CANAL STREET
LEESBURG, FLORIDA 34748
PHONE (352) 787-7482
FAX (352) 787-7412
keith@riddlenewman.com
CA# 00002883

RIDDLE NEWMAN ENGINEERING INC.
ESTABLISHED 1981

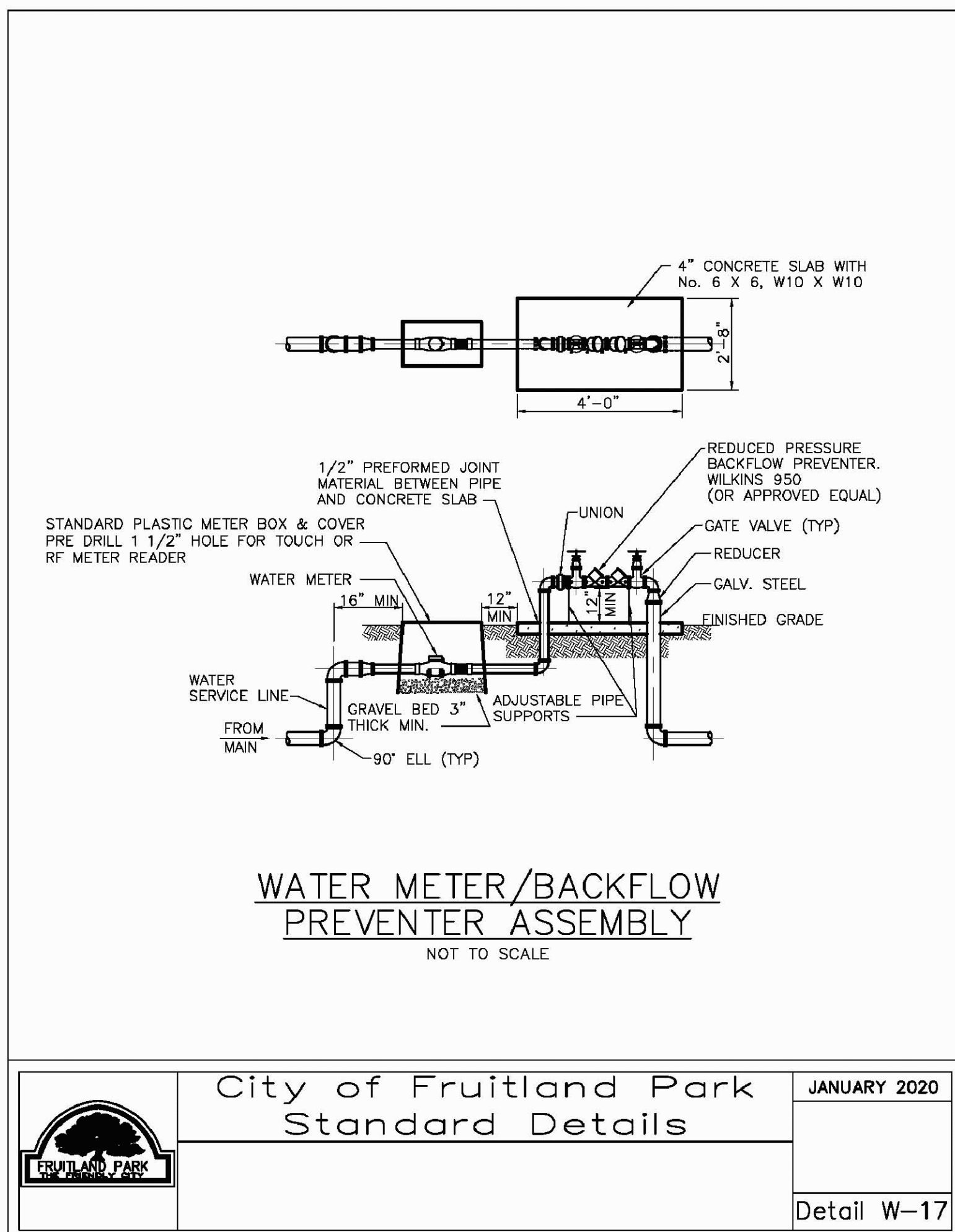
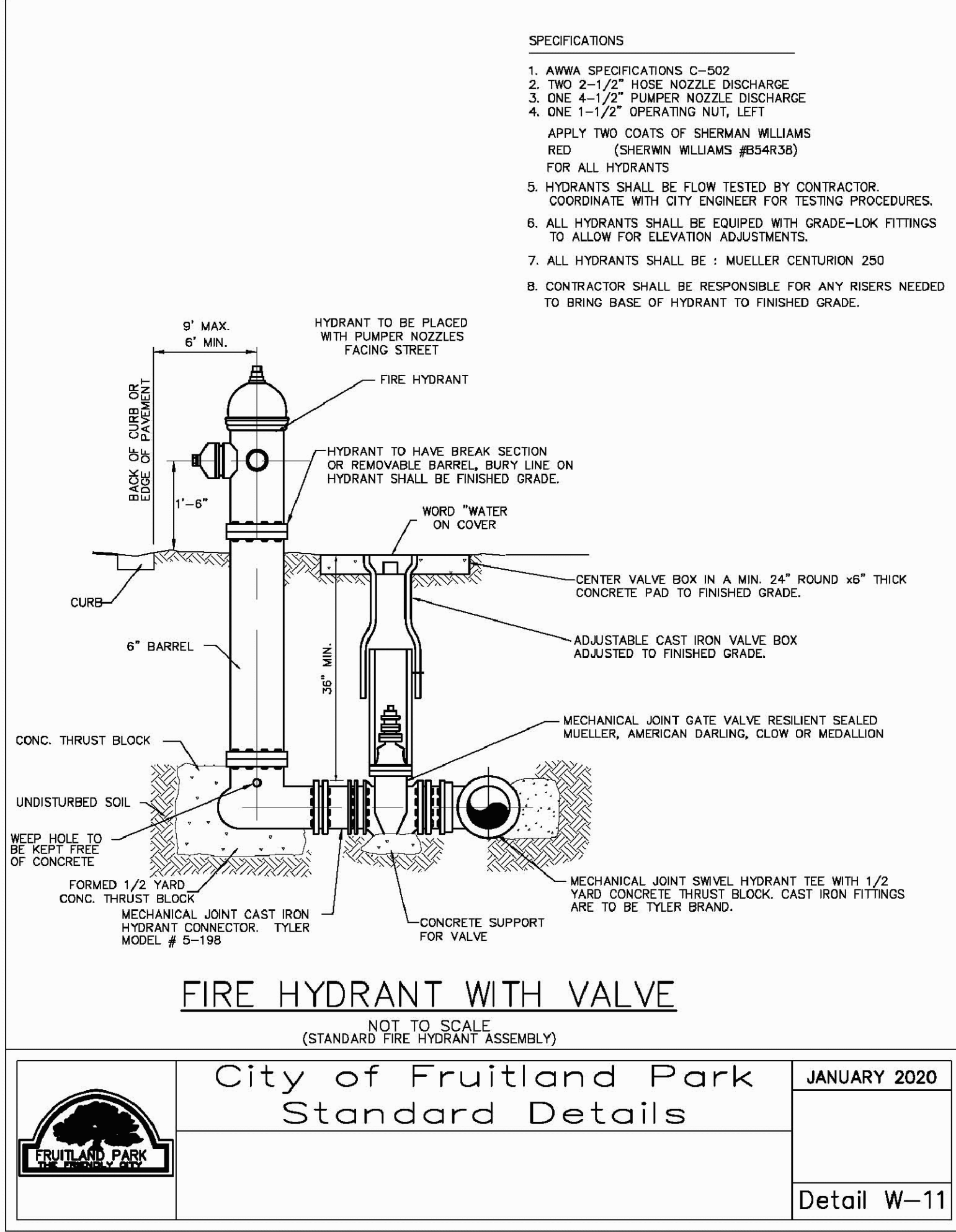
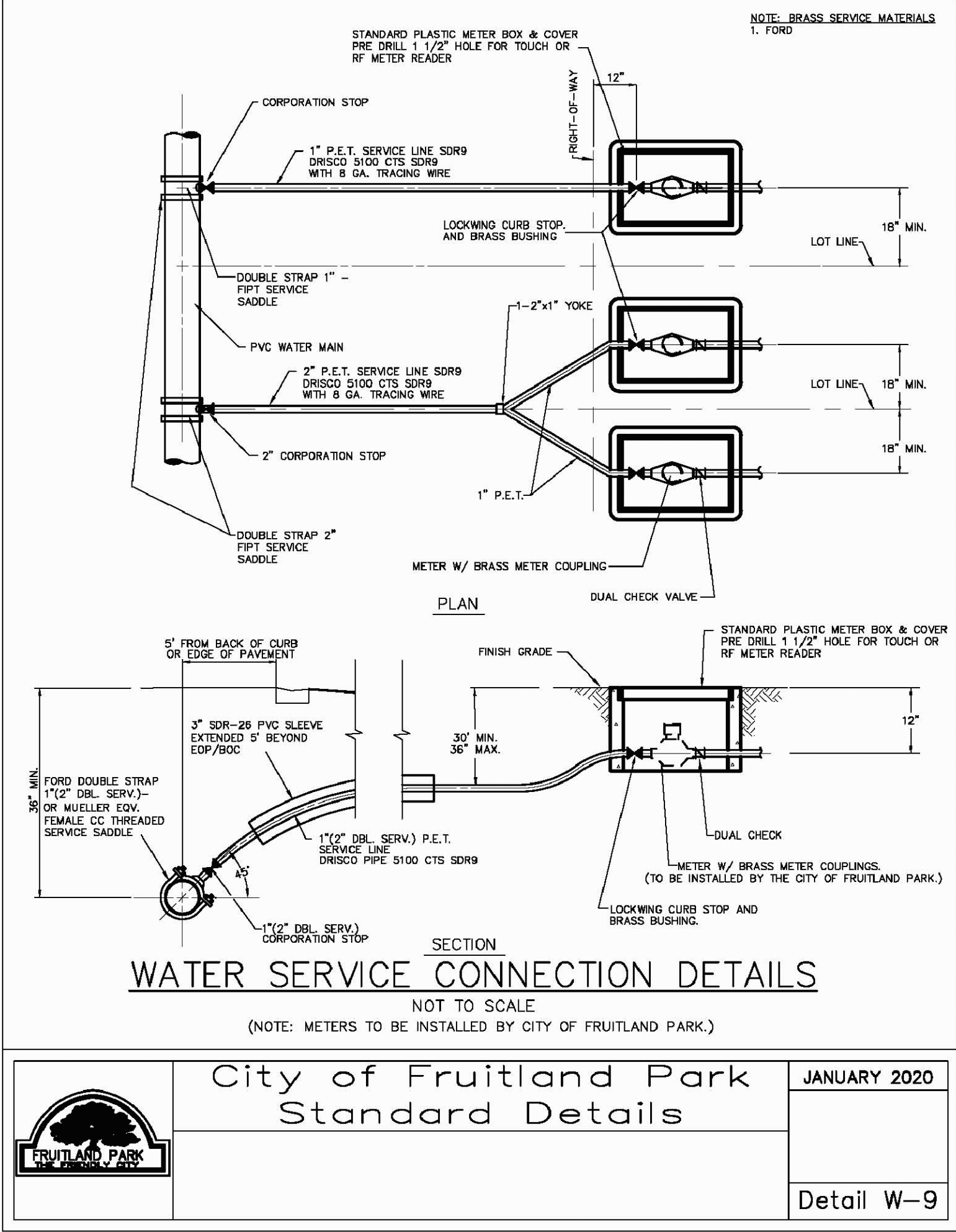
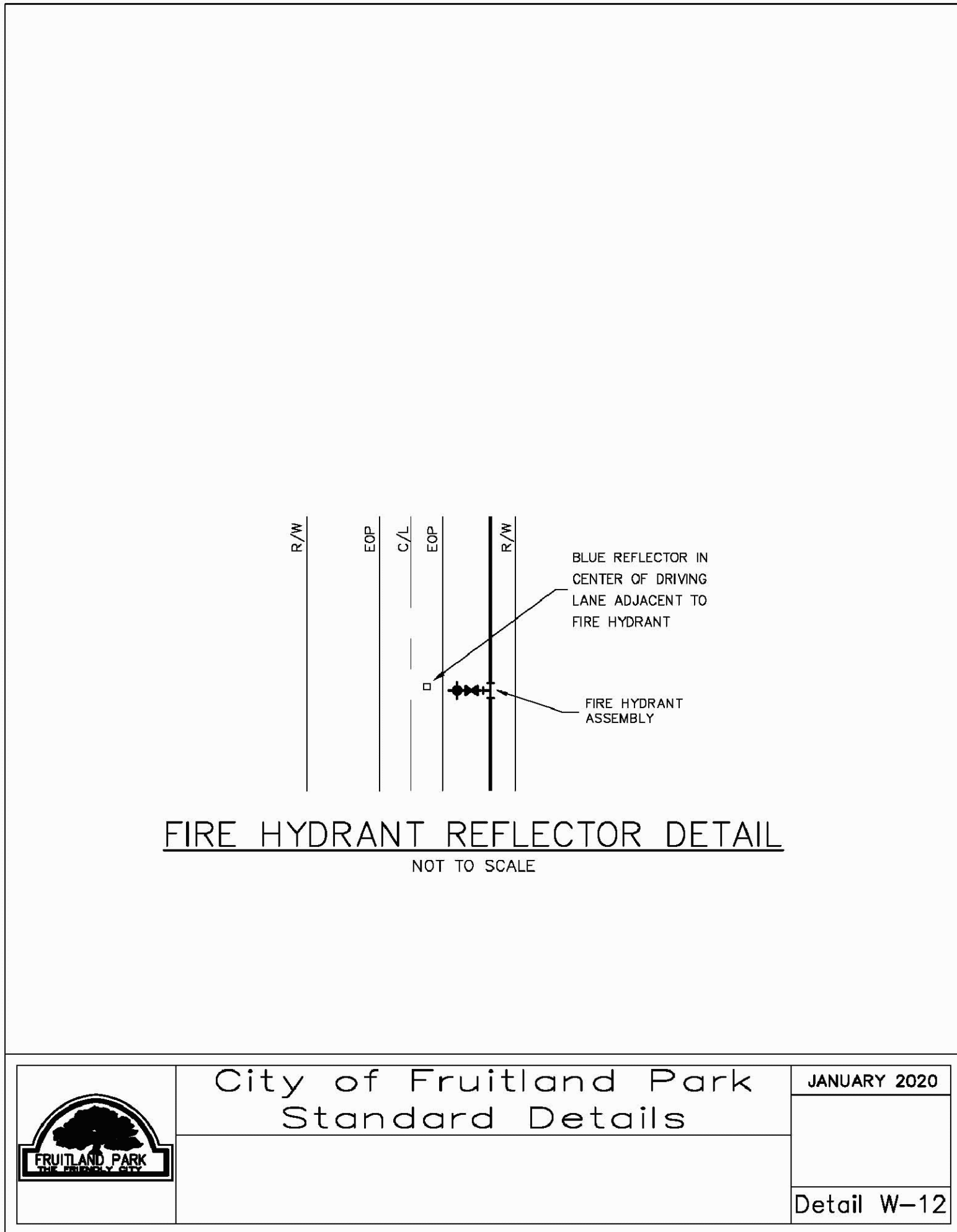
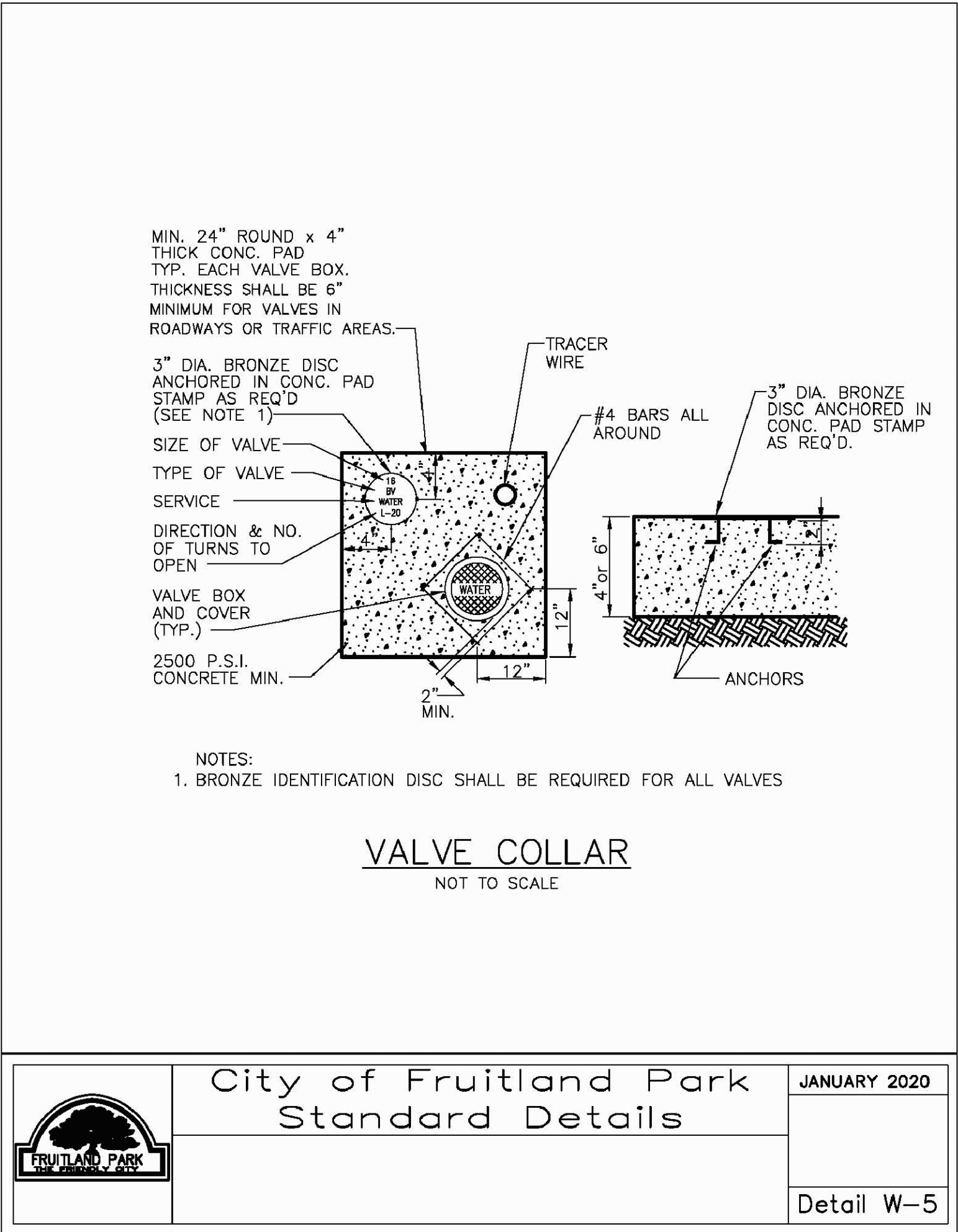
REV #	REV #	REV #	REV #	REV #
1	2	3	4	5
11/01/19	11/01/19	11/01/19	11/01/19	11/01/19

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY THE ENGINEER. A HARD COPY OF THE ORIGINAL DOCUMENT IS NOT CONSIDERED VALID UNLESS IT IS ACCOMPANIED BY THE SIGNATURE AND SEAL OF THE ENGINEER. ANY ELECTRONIC COPY MUST BE VERIFIED ON ANY ELECTRONIC COPY.

DRAWN	R.S.H.	CHECKED	K.E.R.	SCALE	1"=5'	DATE	1/11/23	PROJECT NO.	22.13
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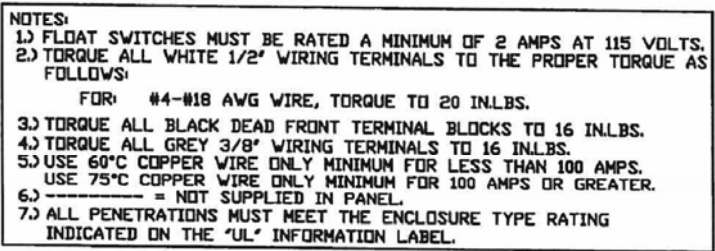
SOIL BORING PROFILES / DETAILS
LAKESIDE STORAGE II
FLORIDA
FRUITLAND PARK

SHEET NO.
C5.2



PUMP INFORMATION	
MANUFACTURER	FLYGT
MODEL	PC 3068.175 HT
HORSEPOWER	1.7
VOLTAGE / PHASE	230 / 3
DESIGN FLOW (GPM)	15.0
DESIGN HEAD (FEET)	21.0

BASIN DIMENSIONS	
DIAMETER - B	HEIGHT - A
<input type="checkbox"/> 36"	<input type="checkbox"/> 84"
<input checked="" type="checkbox"/> 48"	<input type="checkbox"/> 96"
<input type="checkbox"/> 60"	<input type="checkbox"/> 120"
<input type="checkbox"/> 72"	<input type="checkbox"/> 144"
<input type="checkbox"/> OTHER _____	<input checked="" type="checkbox"/> OTHER 72" _____
VALVE BOX DIMENSIONS	
<input type="checkbox"/> 23" X 36" X 18"	



1	TOP OF BASIN	127.25
1	INLET INVERT	123.94
1	HIGH WATER LEVEL ALARM	123.94
1	LAG PUMP ON	123.75
1	LEAD PUMP ON	123.25
1	PUMPS OFF	122.25
1	BOTTOM OF BASIN	121.25
1	COVER OVER DISCHARGE	18 INCHES
1	INLET SIZE AND TYPE	6" SCH 40

FILE: \22.13/Lakeside Storage



VIA EMAIL echurch@fruitlandpark.org

April 26, 2023

Emily Church
Office Assistant
City of Fruitland Park
506 W. Berckman St.
Fruitland Park, FL 34731

RE: Lakeside Storage II Major Site Plan Review #2 (Halff AVO 043866.100)

Dear Ms. Church:

Per your email request dated April 13, 2023, I have reviewed the documents which were included in the drop box for the above referenced project. Based on my review, my comments are below:

1. On sheet C6.3 – 4" diameter is called out on the Lift station section view. Please update.
2. 6" invert elevation at 2% slope for 57 LF appears to be 123.86. Please update calculations to reflect correct invert elevation and alarm elevation.
3. The design head listed on pump information table is revised but is still not correct. As per the submitted calculations, the total head should be $33 \text{ ft} + 5.75 \text{ ft} + 0.42 \text{ ft} = 39.17 \text{ ft}$. It appears that 14.3 psi is added to 5.75 ft to get 20.05 ft of static head without conversion.
4. The pump model number on pump information table does not match the submitted pump datasheet.
5. Please provide a different pump as per the design flow and design head requirement. It appears that 15 gpm at 40.0' of head is not in this pump's operational range.
6. Please provide waiver for the fire hydrant on an 8" main upon approval.

Should you have any questions, please feel free to contact our office at 352-343-8481.

Sincerely,
HALFF

A handwritten signature in blue ink, appearing to read "Cecily Barnes", with a stylized flourish at the end.

Cecily L. Barnes, PE
Project Manager
cBarnes@halff.com

CB:eb

CITY OF FRUITLAND PARK
STAFF REPORT BY LPG URBAN & REGIONAL PLANNERS, INC.

SITE PLAN

Owner: DNA Realty Trust, LLC

Applicant: DNA Realty Trust, LLC

General Location: 2600 US Hwy 441/27, at the intersection of Cook Drive and US-441

Number of Acres: 7.07 ± acres

Existing Zoning: Industrial

Existing Land Use: Industrial

Date: April 21st, 2023

Description of Project

The subject property is 7.07 acres and consists of four parcels, a northern parcel (Alt Key 2919531), a southern parcel (Alt Key 2919469), and two parcels in between (Alt Key 2919523 and Alt Key 2919507). A single story 781 square foot manufactured office exists on the southern parcel (Alt Key 2919469). The proposed major site plan is to construct a 93,205 SF storage facility including an office for a total of 93,986 square feet on the northern portion of the site, along with associated loading, parking, and stormwater management areas. The building sizes proposed to be built are 76,795 square feet, 6,150 square feet, 6,160 square feet, and 4,100 square feet, along with an office and forty-six (46) RV/boat storage spaces.

The max ISR is 75%, maximum FAR is .50. The minimum lot size is 30,000 square feet and 200' roadway frontage. The required minimum open space is 25%, and setbacks are 50' for front, and 25' for side and rear.

	Surrounding Zoning	Surrounding Land Use
North	Industrial	Industrial
South	Commercial	Commercial
East	Commercial	Commercial
West	PUD	Multi-Family High Density

Assessment

Review Comments

Pursuant to LDC Section 160.080(a)(3)(C), the number of parking spaces provided as well as required should be listed on the site plan. The site plan states 11 parking spaces provided, 1 handicapped, and 10 standard spaces. It appears that five (5) are being provided in front of the climate-controlled building, but it appears that the intent is to use six (6) of the 46 RV/boat storage spaces to meet the minimum parking space requirements (11). This would leave 40 RV/boat storage parking spaces. Please revise sheet C1.1 to 40 outside storage RV/boat spaces if the intent is to use six of those spaces to meet minimum parking requirements for the site.

Per LDC Section 162.040 (b)(4) requires continuous loading spaces clear of through traffic access. The continuous loading spaces required pursuant to LDC 162.050(a), are 2 spaces for 30,000 square feet, and 1 additional loading space per additional 15,000 square feet. The applicant has stated that clients will load and unload outside of the mini warehouses, however, loading spaces will be required for the 76,795 square foot climate-controlled storage building. Please revise the site plan to include four (4) loading spaces for the climate-controlled building. Pursuant to Chapter 162, Section 162.060(4)(B), each loading space must be a minimum of 12' X 25', provide vertical clearance of 15', and provide adequate area for maneuvering, ingress, and egress.

Although the applicant states that loading spaces should not be required because clients will load and unload in front of the mini warehouses, there is nowhere to load/unload for the 76,795 square foot climate-controlled building. Pursuant to Chapter 162, Section 162.060(c)(i)(a), loading areas shall be designed to be safe and convenient. As the site plan is designed currently, a 30' drive aisle with no loading spaces for the climate-controlled storage building does not leave enough space to safely load and unload. Pursuant to Chapter 162, Section 162.060(c)(i)(b), loading areas shall be designed as integral parts of an overall development plan and shall be properly related to existing and proposed buildings. Chapter 162, Section 162.060(c)(i)(c) states that aisles and driveways shall not be used for parking vehicles, therefore the drive aisle cannot be used as loading spaces. Please revise the site plan to include four (4) loading spaces for the 76,795 square foot building.

Pursuant to Chapter 162, Section 162.030(b), cross access should be provided. The applicant states that cross-access driveway extensions are shown going south toward the southern section of the property. However, the cross access is not clearly stated on the site plan. Please revise the site plan to label the cross-access clearly.

Please provide the square footage and acreage of the proposed stormwater pond. Pursuant to Chapter 164, Section 164.100(a)(3), parcels of land or developments that are nonconforming must be brought into full compliance when the activity requires the submission of a site development plan and involves more than ten percent (10%) of the parcel. Although the

applicant states that the southeast corner of the site is an existing business and they are not disturbing that area of the site, it is staff's opinion that the addition of the stormwater pond on the existing parcel may trip the threshold that requires the parcel to be brought into full compliance with the City of Fruitland Park LDRs, including landscaping and buffers. In addition, if it is the applicant's intent to keep this parcel as a separate parcel, then please provide an agreement regarding the shared use of the stormwater pond, maintenance, and access.

Per Chapter 164, Section 164.100(3), the existing developed site must be brought up to the landscaping standards which includes landscaping within buffers along the southern and eastern property boundary. Please revise landscape plans.

Unity of title will be required prior to site plan approval. If the intent is to keep the two sites separate, a unity of title will be required for Lot 1 and Lot 2, and a unity of title will be required for lots 3, 4, and 5. Although a unity of title for the existing parcel (lots 1 and 2) was not originally required, addition of the stormwater pond may trip the threshold requiring the parcel to be brought into full compliance.

Pursuant to Chapter 164, Section 164.030(a)(1), the maximum number of uninterrupted parking spaces between landscaping is ten (10). The landscaped areas must be a minimum of 200 square feet and must contain a minimum of 1 approved canopy tree (or 3 approved understory trees), and 3 shrubs and ground cover or grass. Section 164.030(a)(2) states that a landscape area shall be provided at the end of all parking rows and must be a minimum of 200 square feet. This landscape area must contain a minimum of 1 approved canopy tree, 5 shrubs, and ground cover or grass.

The applicant states that they are requesting a waiver for the landscaping within the parking area. It is staff's opinion that a portion of the parking area in the rear needs to conform to landscaping standards, as six (6) of the spaces are being utilized for parking, not just RV/boat storage. Further, a variance would need to provide evidence of a hardship.

The request for exemption from a Tier 1 Traffic Analysis shows that only two (2) PM peak hour/peak direction trips will be produced. However, the exemption utilizes 560 mini-warehouse units while the site plan shows 514 mini-warehouse units. Although it will not affect the exemption request, we will defer to Lake-Sumter MPO if the analysis should be changed to reflect the exact proposed number of mini-warehouses.

Recommendation

Please revise site plan as indicated above.