



**506 WEST BERCKMAN STREET
FRUITLAND PARK, FL 34731**

**PHONE: 352 360-6727
FAX: 352 360-6652**

TRC COFP Members:

City Manager Gary La Venia, Chairman
Police Chief Eric Luce, Vice Chair
City Attorney
Building Official
Community Development Director
Code Enforcement Officer
Engineer - Halff
Fire Chief
Fire Inspector
Land Planner LPG
Public Works Director

TRC Members:

City of Leesburg Utilities
Lake County School Board
Lake County Public Works Department
Lake County Economic Development

**AGENDA
TECHNICAL REVIEW COMMITTEE (TRC)
April 4, 2023
10:00AM**

- I. MEETING START TIME:**
- II. MEMBERS PRESENT:**
- III. MEETING NOTES FROM PREVIOUS MEETING:** Meeting minutes from February 7, 2023 included for review/comment.
- IV. OLD BUSINESS: NONE**

NEW BUSINESS:

A. Veterinary Emergency Clinic – Major Site Plan (Alternate Key: 3924369)

The owner is seeking site plan approval for construction of Veterinary Emergency Clinic of 9,850 SF within the Village Park Commercial Subdivision. The proposed veterinary emergency clinic is a permitted use pursuant to Ordinance 2021-002. Development of the subject site must conform with PUD Ordinance 2018-002. Surrounding zoning is PUD and C-2. Ordinance 2018-002 requires a 50' setback and 25' Type "C", landscape buffer.

B. Spring Lake Road – Planned Development (Alternate Key: 1284368)

The proposed development consists of 14.10 + acres with 2.10 +/- acres of wetlands. The remaining 12 +/- acres to the south of the wetlands will be developed for multi-family residential uses. Current future land use allows up to 4 single family dwelling units per acre in the northern 1/3 of the property, and 15 dwelling units per acre in the southern 2/3 of the property. There are 36 one-story villas and 56 dwellings in two-story apartments. Access for the development would occur from Spring Lake Road via a dual boulevard. The surrounding zoning is PUD and Agricultural, R-1 and R-3 (Lake County). It is proposed to construct 92 multi-family units. This property is located at 2307 Spring Lake Road.

C. Rolling Acres/Lake Ella Rd, Resibuilt - Preliminary Plan (Alternate Keys: 1284082 & 1284015)

The applicant is seeking preliminary plan approval of the proposed subdivision consisting of 603 dwelling units of single family and attached single family [413 single family units and 190 townhomes] at a density of 3.78 units/acre.. Surrounding zoning is PUD and Lake County Agriculture, R-1 and R-3. Proposed single family minimum lot widths are 50' and 60' with corner lots to be 15' wider than the minimum lot widths.

BOARD MEMBERS' COMMENTS:

PUBLIC COMMENTS:

This section is reserved for members of the public to bring up matters of concern or opportunities for praise. Note: Pursuant to F.S. 286.0114 and the City of Fruitland Park's Public Participation Policy adopted by Resolution 2013-023, members of the public shall be given a reasonable opportunity to be heard on propositions before the Planning and Zoning Board. Pursuant to Resolution 2013-023, public comments are limited to three minutes.

ADJOURNMENT:



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FRUITLAND PARK, FL 34731**

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TRC COFP Members: City Manager Gary La Venia, Chairman Police Chief Eric Luce, Vice Chair City Attorney Building Official Community Development Director Code Enforcement Officer Engineer - Halff Fire Chief Fire Inspector Land Planner LPG Public Works Director	TRC Members: City of Leesburg Utilities Lake County School Board Lake County Public Works Department Lake County Economic Development
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**MINUTES
TECHNICAL REVIEW COMMITTEE (TRC)
February 7, 2023
10:00AM**

- I. MEETING START TIME:** 10:07am
- II. MEMBERS PRESENT:** All members were present except City Manager, Police Chief, Code Enforcement, Public Works Director and Fire Inspector. Present on behalf of the development - David Stokes (Engineer), Marc Gauthier (Atlantic Housing-Developer) and Alex Stringfellow (Land Planner).
- III. MEETING NOTES FROM PREVIOUS MEETING:** Meeting minutes from January 3, 2023 included for review/comment.
- IV. OLD BUSINESS:** NONE

NEW BUSINESS:

A. Miller at Cutoff – Planned Development & Rezoning (Alternate Key: 3933635)

Michael Rankin provided overview of proposed development. The applicant is proposing to rezone 6.54 ± acres to a Planned Unit Development (from R-3) to accommodate 19 homes and 19 accessory dwellings, for a total of 38 dwelling units on 60 ‘ x 112’ lots. The proposed density is 5.75 units/acre which is consistent with the Mixed Community land use. It is the applicant’s intent to rent the single-

family homes with long term leases, typically one year and to utilize the ADUs as conventional rentals (not short term or vacation rentals). Three home types are proposed: (1) 2,148 sf home with a 470 sf 2-car garage and a 705 sf ADU over the garage, (2) a 2,152 sf home with a 442 sf 2-car garage and a 939 sf ADU with a 281 sf 1-car garage and (3) a 1,500 sf home with a 470 sf 2-car garage and no ADU on overall sf of 6,720sf. Three (3) waivers are being sought to the following LDR regulations:

- (1) LDC Section 156.010(e), a waiver to exceed the maximum ADU size of 939 sf, as it is 44% whereas an accessory dwelling unit must not exceed 40% of the size of the principal dwelling unit.
- (2) LDR Section 154.030(11) to allow for a PUD that is less than 10 acres.
- (3) LDR Section 157.080(a)(1)(f) to allow for a cul-de-sac street longer than 600 feet.

Brett Tobias (Halff) inquired whether stormwater pond on the property was applicable to the residential portion or whether applicable to master designing to include the commercial parcel. Marc stated that the desire is for the master design. Brett stressed that it is important during the plat submittal to be very specific with the agreements. If platted separately, a private easement is sufficient but agreements specifying who will be responsible for what should be well defined and part of plat submittal should include HOA agreement.

During the time of application submittal on May 13, 2022, the original property owner, Patrick Donovan Dean, Trustee, had not sold the property. However, while in process review, the city ascertained property was purchased on July 28, 2022 by The Retreat at Miller Investment Partners, LLC.

Per City Attorney, at time of purchase of property, there was a deed split at closing through the property appraiser's office. The commercial parcel is excluded from the PUD zoning. A lot split application was not submitted to the City of Fruitland Park reflecting the aforementioned (which is necessary). Subsequently, a lot split application must be submitted for review and suggested approval prior to Planning & Zoning Board meeting.

City Attorney also inquired about mixed community zoning/FLUM with the types of land uses on both parcels (residential and commercial). The draft Ordinance and MDA will need to be applicable and cover both parcels (but not the rezoning for commercial). Additionally there is a "typo" on the plans and update the date on the site plan. Applicant will need to have the concept plan updated to reflect and address both parcels in the MDA. (Two different land uses: commercial for the front property and Mixed community for the SFRs.)

Michael asked for the length of the cul-de-sac but exact length was unsure. Applicant will need to know that number and provide prior to commission.

Lot split will need to be submitted and subsequently approved prior to P&Z and before going to Commission. Sketch of description and surveys reflecting parent parcel and lot split properties will need to be provided with lot split application.

Lake County Public Works comments were read for the record and compliance. David Stokes (engineer) felt comfortable they could resolve the county's issues/concerns. Additionally, City Attorney asked who would own the ADU. The developer would maintain ownership and will rent separately but, if ever sold, they both SFR and ADU will be sold together. City recommended showing a parking map.

BOARD MEMBERS' COMMENTS:

PUBLIC COMMENTS:

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ADJOURNMENT:



City of Fruitland Park, Florida
Community Development Department
 506 W. Berckman St., Fruitland Park, Florida 34731
 Tel: (352) 360-6727 Fax: (352) 360-6652
 www.fruitlandpark.org

<i>Staff Use Only</i>	
Case No.:	_____
Fee Paid:	_____
Receipt No.:	_____

Development Application

Contact Information:

Owner Name: Villages VEC, LLC, Patricia Reynolds
 Address: 16369 W. Colonial Drive, Oakland, Florida 34787
 Phone: 407-740-5500 Email: eswope@veconline.com

Applicant Name: Villages VEC, LLC, Patricia Reynolds
 Address: 16369 W. Colonial Drive, Oakland, Florida 34787
 Phone: 407-740-5500 Email: eswope@veconline.com

Engineer Name: Florida Engineering Group, Inc, Gregory Crawford, PE
 Address: 5127 S. Orange Avenue, Suite 200, Orlando, Florida 32809
 Phone: 407-895-0324 Email: gcrawford@feg-inc.us

Property and Project Information:

PROJECT NAME*: Veterinary Emergency Clinic - Villages

*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: County Road 466A

Parcel Number(s): 05-19-24-0010-000-00400 Section: 05 Township: 19 Range 24

Area of Property: 1.686 Nearest Intersection: CR 466A and Village Park Drive

Existing Zoning: PUD Existing Future Land Use Designation: PUD

Proposed Zoning: PUD Proposed Future Land Use Designation: PUD

The property is presently used for: vacant

The property is proposed to be used for: Veterinary Emergency Clinic

Do you currently have City Utilities? No

Application Type:

- | | | | |
|---|--|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Construction Plan | <input type="checkbox"/> ROW/Plat Vacate |
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Replat of Subdivision | |

Please describe your request in detail: This is a Major Site Plan Review for a 9,850 SF Veterinary Emergency Clinic to be located on Lot 4 of the Village Park PUD. The project will also include the associated parking, stormwater, and utility facilities.

Required Data, Documents, Forms & Fees

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Printed Name: Elizabeth Swope

Signature: Date: 3/28/22

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

Development Application Checklist

The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd) Current Deed Aerial Photo
 Property Appraiser Information Electronic Copy of Application Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through www.lakecountyfl.gov/maps/. Note: All maps are required to depict adjacent properties at a minimum.

Failure to provide adequate maps may delay the application process.

Other Required Analyses and Maps:

Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment Environmental Constraints Map Requested FLU Map

Large Scale Comprehensive Plan Amendment Applications:

Maps: Environmental Constraints Soils Requested FLUM Designation Requested Zoning Map Designation

Analyses: Environmental Assessment Utility Availability Analysis Urban Sprawl Analysis School Impact Analysis
 Traffic Impact Analysis Consistency with the Comp Plan Florida Master Site File sign-off or Archaeological Survey

Rezoning Applications: Requested Zoning Map Justification for Rezoning

Planned Development Applications:

Maps/Plans: Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G Environmental Constraints

Analyses: Environmental Assessment Traffic Impact Analysis Preliminary Concurrency Analysis

Variance Applications: Justification for Variance

Special Exception Use Applications: Justification for Special Exception Use
 Site Sketch List of Special Requirements as Described in LDRs, Chapter 155

Conditional Use Permit Applications: Proposed List of Conditions and Safeguards
 Site Plan as Described in LDRs, Chapter 155 Written Statement as Described in LDRs, Chapter 155

Subdivision Applications: As Described in LDRs, Chapter 157
(Preliminary Plan, Improvement Plan and Final Plat)

Minor Subdivision Applications: As Described in LDRs, Chapter 157

Site Plan Applications: As Described in LDRs, Chapter 160

PROPERTY RECORD CARD

NEW PARCEL FOR 2022 TAX ROLL

General Information

Name:	VILLAGES VEC LLC	Alternate Key:	3924369
Mailing Address:	16369 W COLONIAL DR OAKLAND, FL 34787 Update Mailing Address	Parcel Number: ⓘ	05-19-24-0010-000-00400
		Millage Group and City:	000F (FRUITLAND PARK)
		2021 Total Certified Millage Rate:	
		Trash/Recycling/Water/Info:	My Public Services Map ⓘ
Property Location:	FRUITLAND PARK FL 34731 Update Property Location ⓘ	Property Name:	-- Submit Property Name ⓘ
		School Information:	School Locator & Bus Stop Map ⓘ School Boundary Maps ⓘ
Property Description:	VILLAGE PARK COMMERCIAL SUBDIVISION PB 74 PG 23-24 LOT 4 ORB 5784 PG 276		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	VACANT RESIDENTIAL (0000)	0	0		1	LT	\$0.00	\$15,000.00

[Click here for Zoning Info](#) ⓘ

[FEMA Flood Map](#)

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
5784 / 276	8/25/2021	Warranty Deed	Qualified	Vacant	\$750,000.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

Values and Estimated Ad Valorem Taxes ⓘ

Values shown below are 2022 WORKING VALUES that are subject to change until certified.
The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

There is no tax information for the current tax roll year.

There is no tax information to display.

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

Prepared by and return to:

Cynthia L. Chavis
Licensed Title Agent
Seaplane Title, LLC
380 West Alfred Street
Tavares, FL 32778
352-343-6655
File Number: 19512
Will Call No.:

[Space Above This Line For Recording Data]

Special Warranty Deed

This Special Warranty Deed made this 25th day of August, 2021 between FBCL Properties, Inc., a Florida not-for-profit corporation whose post office address is 220 North 13th Street, Leesburg, FL 34748, grantor, and Villages VEC, LLC, a Florida limited liability company whose post office address is 16369 W. Colonial Drive, Oakland, FL 34787, grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Lake County, Florida, to-wit:

Lot 4, VILLAGE PARK COMMERCIAL SUBDIVISION, according to the map or plat thereof as recorded in Plat Book 74, Page 23, Public Records of Lake County, Florida.

Parcel Identification Number: 05-19-24-0010-000-00400

Subject to taxes for 2021 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantors.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Tyler Ary
 Witness Name: Tyler Ary

Cathleen A Calveran
 Witness Name: Cathleen A Calveran

FBCL Properties, Inc., a Florida not for profit corporation

By: [Signature]
 Tom Spaman, President

(Corporate Seal)

State of Michigan
 County of Kent

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 25th day of August, 2021 by Tom Spaman, President of FBCL Properties, Inc., a Florida not for profit corporation, on behalf of the corporation. He is personally known to me or has produced Drivers License as identification.

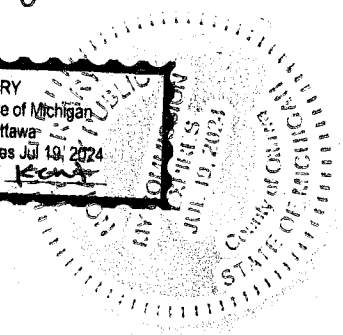
[Notary Seal]

Tyler Ary
 Notary Public

Printed Name: Tyler Ary

My Commission Expires: July 19, 2024

TYLER ARY
 Notary Public - State of Michigan
 County of Ottawa
 My Commission Expires Jul 19, 2024
 Acting in the County of Kent



March 21, 2022

SJRWMD
4049 Reid Street
Palatka, Florida 32178-1429

**Subject: Stormwater Management Summary
Village Park – Lot 4: Veterinary Emergency Clinic Villages
FEG Project No. 21-066**

To whom it may concern:

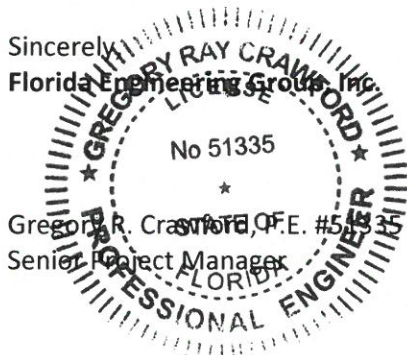
The proposed project is for a Veterinary Emergency Clinic on Lot 4 of the overall Village Park development located in the City of Fruitland Park, Lake County, Florida. According to the overall project design, the Village Park development has been previously permitted for Mass Grading (Permit Number 150795-1) and Phases 1 and 2 (Permit Number 150795-2) that contains 47.1 acres of land draining to two (2) stormwater ponds located on the northern portion of the development. The previously permitted stormwater ponds will collect the stormwater runoff from Basins B-1 and B-2 and direct the flow into Ponds B-1 and B-2, respectively. Basin B-2 will also accept some existing off-site runoff from the adjacent property to the east.

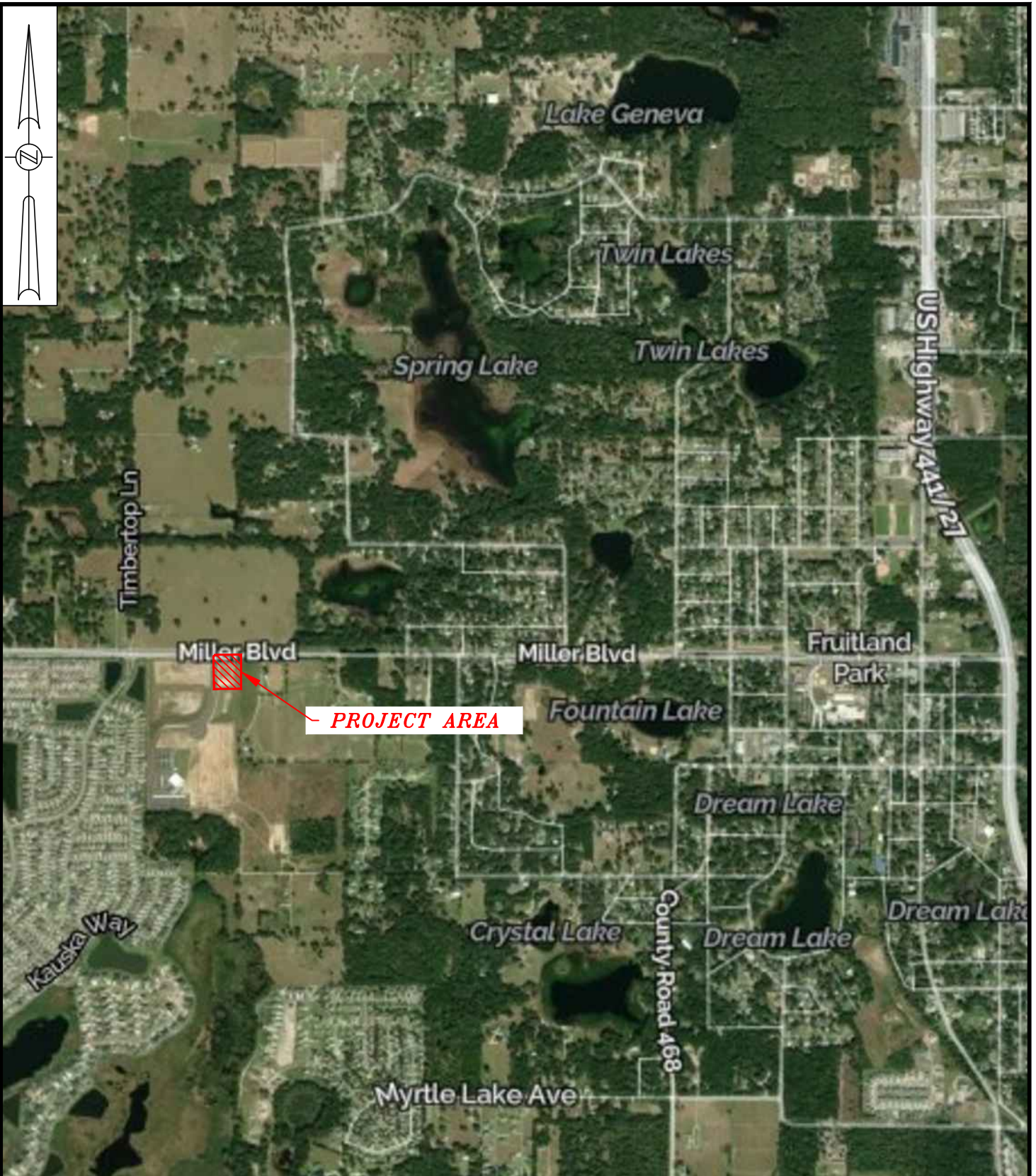
As described in the master stormwater calculations, the Ponds B-1 and B-2 were designed to accommodate post-development runoff from on-site that includes up to 80% impervious area. This is equivalent to 29.40 acres of allowable impervious area for the development. At this time, the mass grading, Phases 1 and 2, and entrance road improvements have been permitted with the District at a total impervious area of 13.01 acres. The proposed Veterinary Emergency Clinic will add 0.975 acres of impervious area to the overall development that will bring the total impervious area to 13.985 acres, which is less than the 29.40 acres of impervious area previously permitted. Therefore, the proposed Veterinary Emergency Clinic improvements comply with the original stormwater assumptions made for the master stormwater system.


Should you have any questions or require further clarification, please do not hesitate to contact me at (407)895-0324 or by email at GCrawford@feg-inc.us.

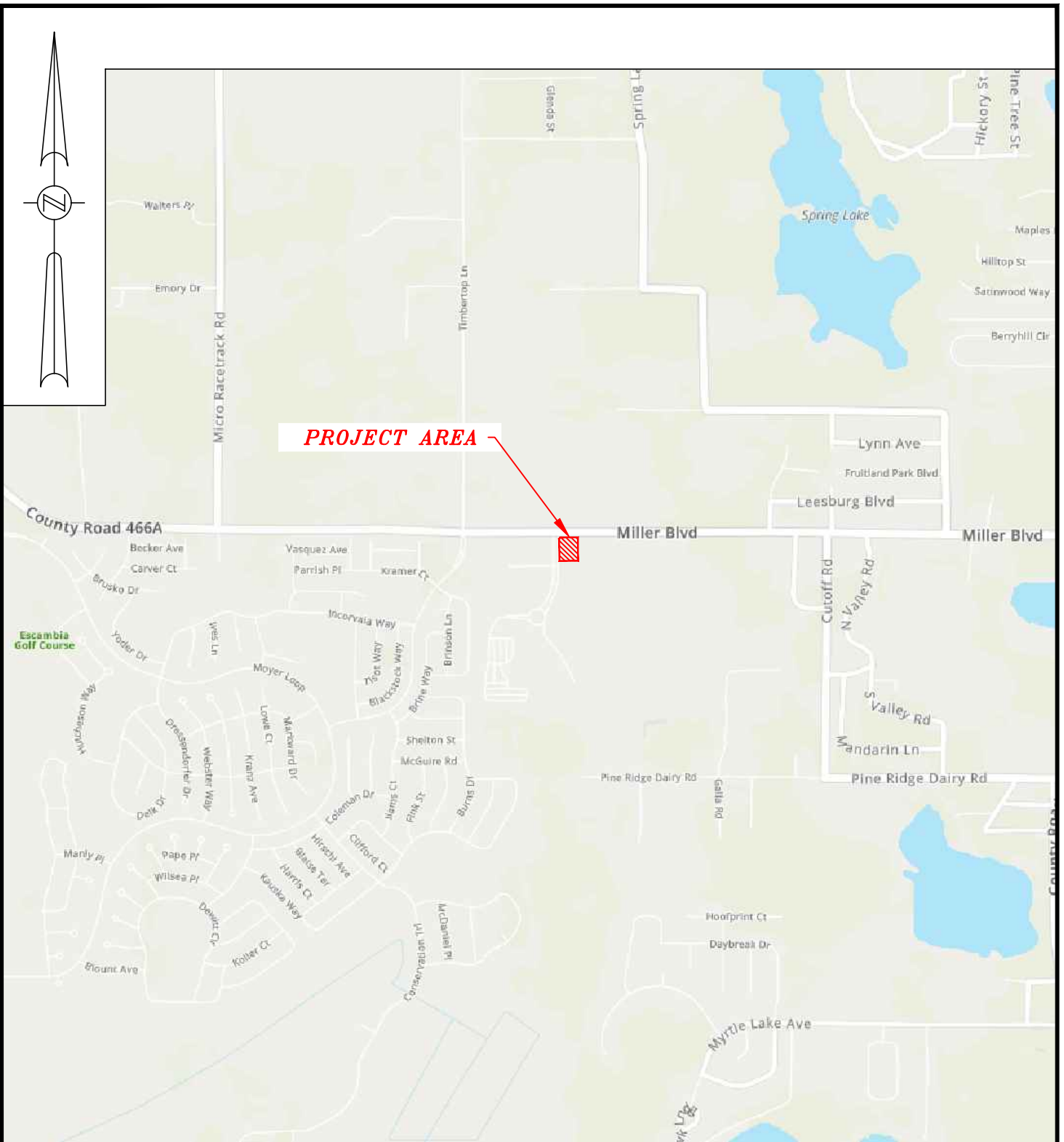
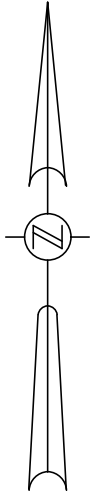
Sincerely,
Florida Engineering Group, Inc.

Gregory R. Crawford, P.E. #51335
Senior Project Manager





PROJECT NAME: VETERINARY EMERGENCY CLINIC - VILLAGES		2022 AERIAL PHOTOGRAPHY MAP	
CLIENT: VILLAGES VEC, LLC		 FLORIDA ENGINEERING GROUP Engineering the Future	5127 S. Orange Avenue, Suite 200 Orlando, FL 32809 Phone: 407-895-0324 Fax: 407-895-0325 www.feg-inc.us
S, T, R: S 5, T 19, R 24	F.E.G. PROJECT NO.: 21-066		
DATE: MARCH 01, 2022	SCALE: 1" = 1000'		



PROJECT NAME: VETERINARY EMERGENCY CLINIC - VILLAGES	
CLIENT: VILLAGES VEC, LLC	
S, T, R: S 5, T 19, R 24	F.E.G. PROJECT NO.: 21-066
DATE: MARCH 01, 2022	SCALE: 1" = 1500'

SITE LOCATION MAP



**FLORIDA
ENGINEERING
GROUP**

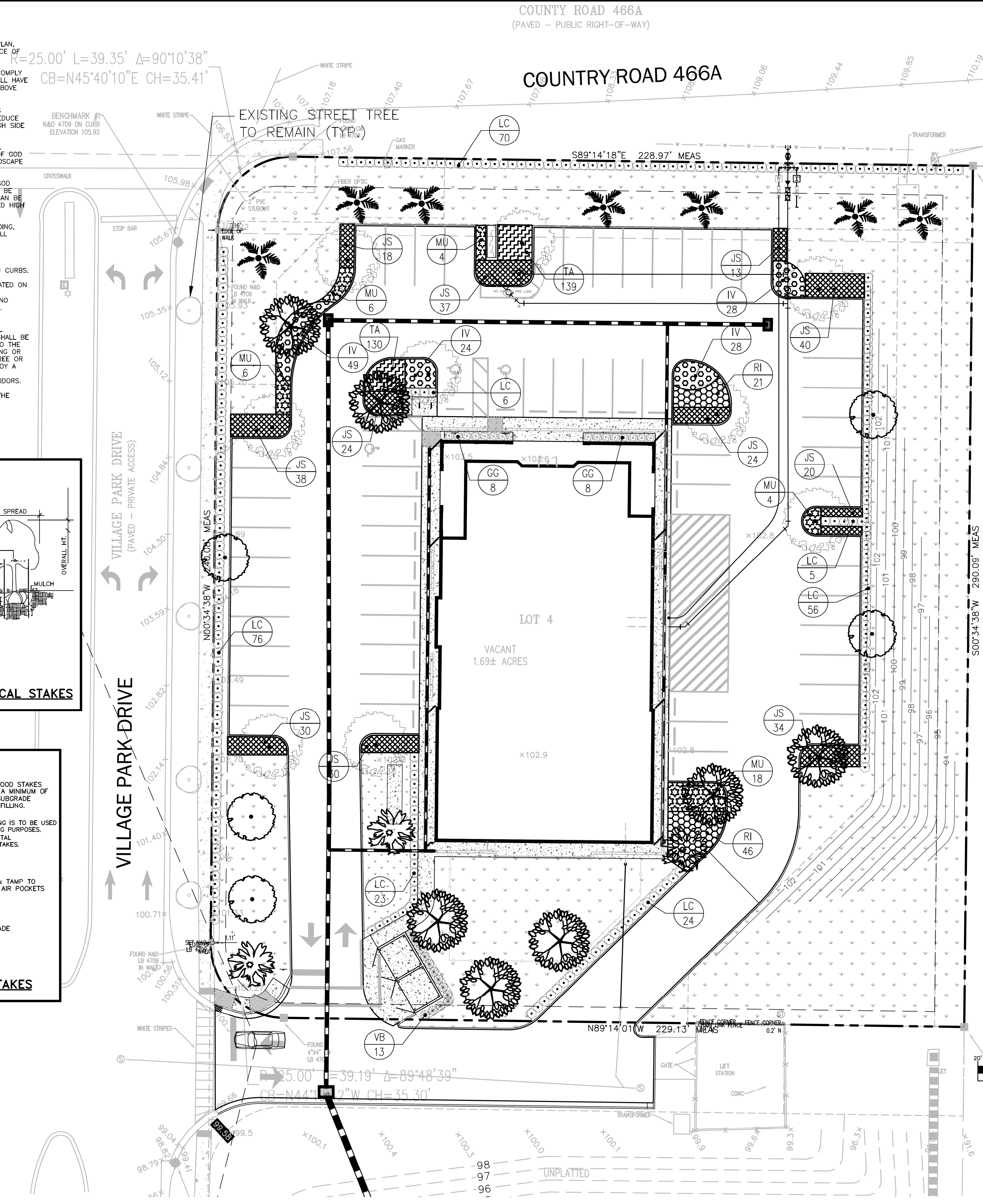
Engineering the Future

5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325

www.feg-inc.us

LANDSCAPE NOTES

- IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE ACTUAL NUMBER OF PLANTS SHOWN ON THE PLAN, THE PLAN SHALL CONTROL. THE LANDSCAPE CONTRACTOR SHALL NOTIFY FEG OF ANY DISCREPANCY PRIOR TO ISSUANCE OF BIDS.
- ALL NEW PLANTINGS MUST COMPLY WITH THE SIZES AND QUANTITIES SHOWN IN THE PLANT LIST. ALL PLANTS MUST COMPLY WITH THE APPLICABLE JURISDICTIONAL CODE. PER THE FLORIDA GUIDES AND STANDARDS MANUAL ALL NEW TREES SHALL HAVE THEIR CALIPER MEASURED AT 6" ABOVE GRADE FOR ALL TREES UP TO AND INCLUDING 4" CALIPER TREES AND 12" ABOVE GRADE FOR ALL LARGER TREES.
- ALL PLANTING BEDS AND TREE SAUCERS TO HAVE ORGANIC MULCH TO A DEPTH OF 2" MINIMUM. AREAS WITH SLOPES GREATER THAN 4:1 SHALL HAVE MULCH RINGS OR TERRACES IN LONGER BEDS DESIGNED TO CAPTURE WATER AND REDUCE EROSION. TOPS OF MULCH RINGS OR TERRACES ARE TO BE LEVEL WITH RESPECT TO GRADE AND MULCH ON THE HIGH SIDE OF THE PLANTS.
- A TWELVE MONTH WARRANTY IS TO BE PROVIDED FOR ALL NEW PLANT MATERIALS STARTING FROM THE DATE OF FINAL CERTIFICATE OF OCCUPANCY OR ACCEPTANCE BY THE OWNER. WARRANTY CAN EXCLUDE PLANTS LOST DUE TO ACTS OF GOD OR VANDALISM. REPLACEMENT OF DEAD OR UNHEALTHY PLANT MATERIALS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR WITHIN 30 DAYS OF NOTIFICATION IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
- ALL DISTURBED AREAS WITHIN THE PROJECT LIMITS SHALL BE FULLY SODDED ASIDE FROM DEFINED PLANTING BEDS. SOD SHALL BE FREE OF WEEDS AND NOXIOUS PESTS OR DISEASES. DISTURBED AREAS OUTSIDE OF PROJECT LIMITS SHALL BE SEEDED AND MULCHED UNLESS STEEPER THAN 5:1. PROVIDE SOD ON SLOPES STEEPER THAN 5:1. ALL DRY PONDS CAN BE SEEDED AND MULCHED ON THE BOTTOMS AND SIDE SLOPES. WET PONDS ARE TO BE SODDED DOWN TO THE DESIGNED HIGH WATER LINE.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OCCURRING ON SITE OR ADJACENT AREAS, INCLUDING, BUT NOT LIMITED TO BUILDINGS, PAVING, UTILITIES, ETC., WHICH IS CAUSED BY PREPARING OR INSTALLING ANY AND ALL PLANT MATERIAL.
- GRADE, DRESS AND SOD OR SEED AREAS THAT HAVE BEEN DISTURBED AS SOON AS POSSIBLE TO PREVENT EROSION.
- ALL PLANT MATERIAL SHALL BE SET BACK FROM THE BACK OF CURBS OR PAVEMENT. SET TREES 3 FEET BACK FROM CURBS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING IF THERE ARE ANY INVASIVE OR EXOTIC TREES LOCATED ON THE SITE AND IS REQUIRED TO REMOVE ALL INVASIVE SPECIES PER THE LOCAL JURISDICTION'S INVASIVE SPECIES LIST LOCATED IN THEIR CODE OF ORDINANCES. GENERAL CONTRACTOR TO CONFIRM WITH THE LANDSCAPE INSTALLER THAT NO INVASIVE OR EXOTIC PLANT MATERIALS EXIST ON SITE. INFORM LANDSCAPE ARCHITECT IF ANY OF THESE PLANTS EXIST.
- ANY PRUNING OF EXISTING TREES OR VEGETATION TO REMAIN AS A LANDSCAPE ELEMENT MUST BE CONDUCTED BY A CERTIFIED ARBORIST HOLDING A CURRENT CREDENTIAL WITH THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA). ALL PRUNING SHALL CONFORMING TO THE ANSI A300 STANDARDS, PART 1; PRUNING, THE SPECIFICATIONS FOR PRUNING SHALL BE DETERMINED BY THE CERTIFIED ARBORIST OR A PERSON QUALIFIED TO CREATE PRUNING SPECIFICATIONS ACCORDING TO THE ANSI STANDARD. THE GREATEST EMPHASIS IN PRUNING SHALL BE THE SAFETY, HEALTH AND WELFARE OF THE TRAVELING OR PEDESTRIAN TRAFFIC ESPECIALLY AS IT RELATES TO PEOPLE OR PROPERTY WITHIN THE FAILURE FOOTPRINT OF THE TREE OR VEGETATION TO BE PRUNED. WHEN THERE ARE EXISTING TREES OR VEGETATION TO REMAIN, CONTRACTOR SHALL EMPLOY A CERTIFIED TREE SURGEON TO SELECTIVELY PRUNE AND TRIM ALL EXISTING PLANT MATERIALS TO PROVIDE A BALANCED APPEARANCE. WHILE ALSO ELIMINATING ANY INTERFERENCE WITH THE NEW CONSTRUCTION OR SAFETY, VISIBILITY CORRIDORS.
- IRRIGATION (100% COVERAGE) SHALL BE PROVIDED IN ALL NEWLY PROPOSED PLANTING AREAS IN ACCORDANCE WITH THE JURISDICTIONAL LAND DEVELOPMENT CODE. SEE SHEET L-2, IRRIGATION PLAN FOR SPECIFICS.

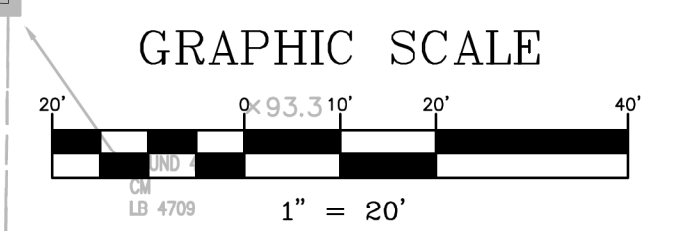


FLORIDA NATIVE LANDSCAPE SCHEDULE

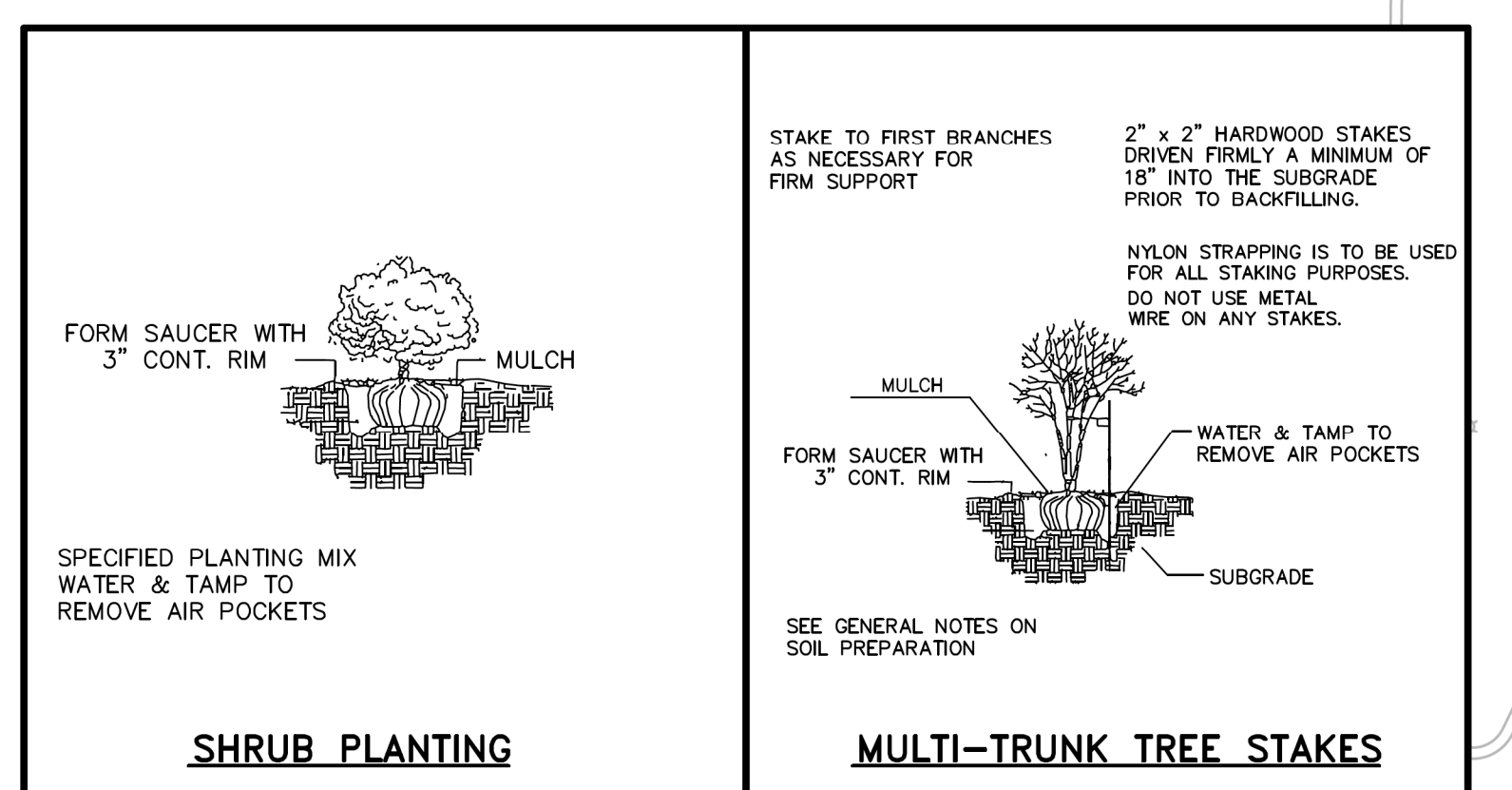
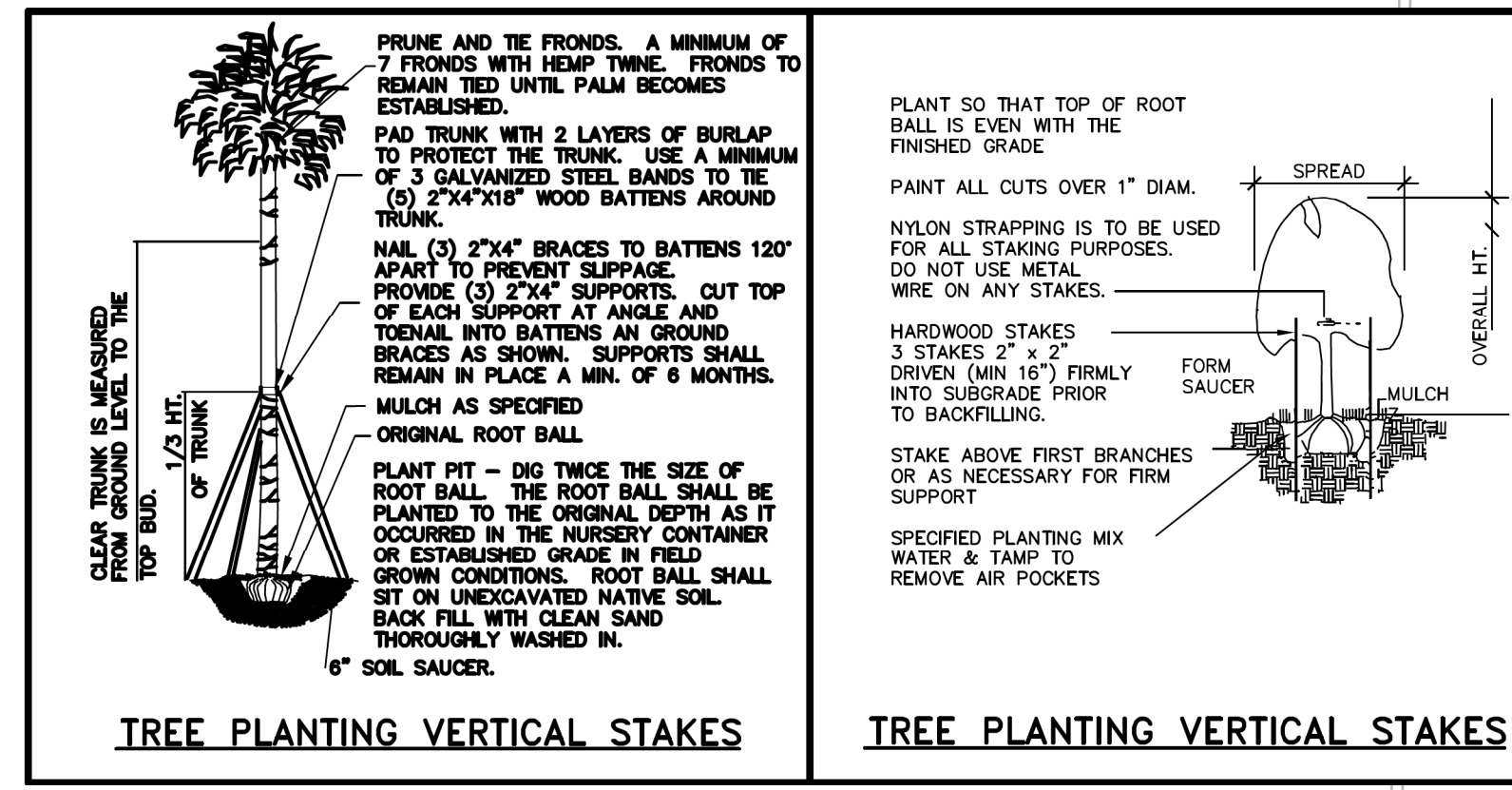
FLORIDA NATIVE LANDSCAPE SCHEDULE						
CANOPY TREES						
SYMBOL	ABR.	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	QUANTITY	REMARKS
	QV	QUERCUS VIRGINICA 'HIGH RISE'	HIGH RISE LIVE OAK	12" HT. 1.5" CAL.	9	SINGLE STRAIGHT TRUNK
	UA	ULMUS ALATA	WINGED ELM	12" HT. 1.5" CAL.	7	SINGLE STRAIGHT TRUNK
	MG	MAGNOLIA GRANDIFLORA	LITTLE GEM MAGNOLIA	12" HT. 1.5" CAL.	3	
UNDERSTORY TREES						
	LL	LIGUSTRUM LUCIDUM	LIGUSTRUM	8"-1" HT. 1" CAL.	5	
PALM TREES						
	CP	ADONIDIA PALM	CHRISTMAS PALM	15'-18" HT. C.T.	7	SINGLE STRAIGHT TRUNK
SHRUBS						
	VB	VIBURNUM ODORATISSIMUM	VIBURNUM	30" HT. 36" O.C.	28	FULL
	LC	LOROPETALUM CHINENSE	LORPETALUM	3 GAL. 24" HT. 36" O.C.	260	FULL
	GG	GARDENIA GRANDIFLORA	GARDENIA	3 GAL. 24" HT. 36" O.C.	16	FULL
GROUND COVER						
	RI	INDIAN HAWTHORN	RAPIHOLEPIS INDICA ALBA	3 GAL. 30" O.C.	67	N
	JS	PARSONS JUNIPER	JUNIPERUS CHINENSIS	3 GAL. 24" O.C.	271	FULL
	TA	TRACHELOSPERMUM ASIATICUM	DWARF ASIATIC JASMINE	1 GAL. 12" O.C.	269	N
	MU	MUHLENBERGIA SPP.	RED MUHLY GRASS	1 GAL. 36" O.C.	38	Y
	IV	SHELLINGS DWARF	ILEX VOMITORIA	3 GAL. 24" O.C.	129	Y
SOD/MISC.						
	SOD	BAHIA HYBRID	*NO MORE THAN 60% OF ALL LANDSCAPE AREA SHALL BE IRRIGATED SOD. THE BAHIA SOD IS NOT PROPOSED TO BE IRRIGATED			

FLORIDA NATIVE PLANTS
PLANT LIST EXCEEDS 80% NATIVE PLANT MATERIALS IN QUANTITIES AND COVERAGE.

THERE ARE NO TREES TO BE REMOVED ON SITE.



SITE NOTE:
ALL CONSTRUCTION DETAILS ARE CONCEPTUAL AND SUBJECT TO REVIEW AND MODIFICATION DURING THE APPROVAL OF FINAL CONSTRUCTION PLANS.



DATE	REVISIONS	BY	CHECKED

CONSTRUCTION PLANS
VETERINARY EMERGENCY CLINIC - VILLAGES
COUNTY RD 466A FRUITLAND PARK, FL
CITY OF FRUITLAND PARK



5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
www.feg-inc.us

SITE LANDSCAPE PLAN			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
RTA	SMH	RTA	GRC

PROJECT NO.	21-066
SCALE	1" = 20'
DATE	MARCH 1, 2022
SHEET NO.	L-1
SHEET	14 of 17

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY:
RICK ABT
ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Digitally signed by Richard T Abt
Date: 2022.03.23 11:00:44 -0400



CONSTRUCTION PLANS

VETERINARY EMERGENCY CLINIC - VILLAGES

COUNTY RD 466A, FRUITLAND PARK, FL

PARCEL I.D. No. 05-19-24-0010-000-00400
SECTION 05, TOWNSHIP 19 SOUTH, RANGE 24 EAST

OWNER/APPLICANT: VILLAGES VEC, LLC
16369 W. COLONIAL DRIVE
OAKLAND, FL 34787
PHONE: 407-740-5500
EMAIL: PREYNOLDS@VECONLINE.COM

ARCHITECT: ELEVEN 18 ARCHITECTURE
1011 E. COLONIAL DRIVE, SUITE 307
ORLANDO, FL 32803
PHONE: 407-745-5300
EMAIL: MCUMMINS@ELEVEN18ARCHITECTURE.COM

GEOTECHNICAL: AUDREYEV ENGINEERING, INC.
10889 N. US HWY 301, SUITE 22
OXFORD, FL 34484
PHONE: 352-751-2478

SURVEYOR: CLYMER FARNER BARLEY, INC
4450 NE 83RD ROAD
WILDWOOD, FL 34785
PHONE: 352-748-3126
EMAIL: KJAMESON@CFB-INC.COM

SITE VICINITY MAP



SCALE: 1" = 1000'

PLAN INDEX

C-1	COVER SHEET
C-2	BOUNDARY AND TOPOGRAPHIC SURVEY
C-3	LEGEND, NOTES AND SPECIFICATIONS
C-4	STORMWATER POLLUTION PREVENTION AND DEMOLITION PLAN
C-5	STORMWATER POLLUTION PREVENTION PLAN (NOTES AND DETAILS)
C-6	OVERALL SITE PLAN
C-7	SITE GEOMETRY PLAN
C-8	SITE PAVING, GRADING AND DRAINAGE PLAN
C-9	SITE UTILITY PLAN
C-10	VEHICLE TRACKING
C-11	CROSS SECTIONS
C-12	SITE CONSTRUCTION DETAILS
C-13	FRUITLAND PARK UTILITY DETAILS
L-1	SITE LANDSCAPE PLAN
L-2	SITE IRRIGATION PLAN
EP	SITE LIGHTING PLAN

PERMITTING AGENCIES

CITY OF FRUITLAND PARK: SITE DEVELOPMENT PLAN
S.J.R.W.M.D.: ENVIRONMENTAL RESOURCE PERMIT
F.D.E.P.: N.P.D.E.S., WATER, AND SEWER

PROJECT DESCRIPTION:
CONSTRUCT A 9,850 S.F. VETERINARY EMERGENCY CLINIC BUILDING ALONG WITH ASSOCIATED PARKING, STORMWATER AND UTILITY FACILITIES.

LEGAL DESCRIPTION:
LOT 4, VILLAGE PARK COMMERCIAL SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 74, PAGES 23 AND 24, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

UTILITY COMPANIES

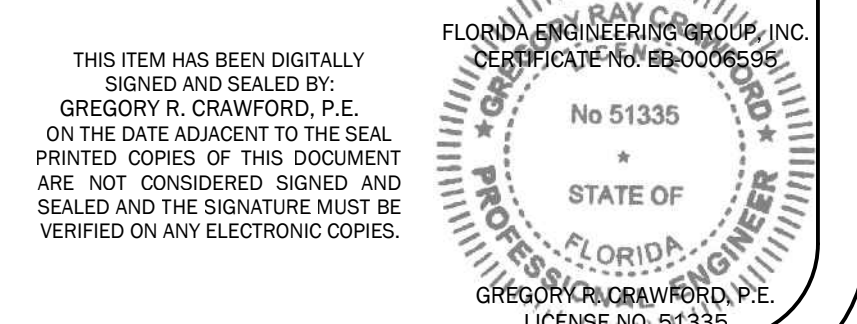
WATER	CITY OF FRUITLAND PARK	352-360-6795
SEWER	CITY OF FRUITLAND PARK	352-360-6795
ELECTRIC	CITY OF LEESBURG	352-728-9840
FIBER TELEPHONE	CENTURYLINK	850-599-1444
GAS	CITY OF LEESBURG GAS DEP.	352-728-9840
FIBER TELEPHONE	SUMMIT BROADBAND	407-996-1183



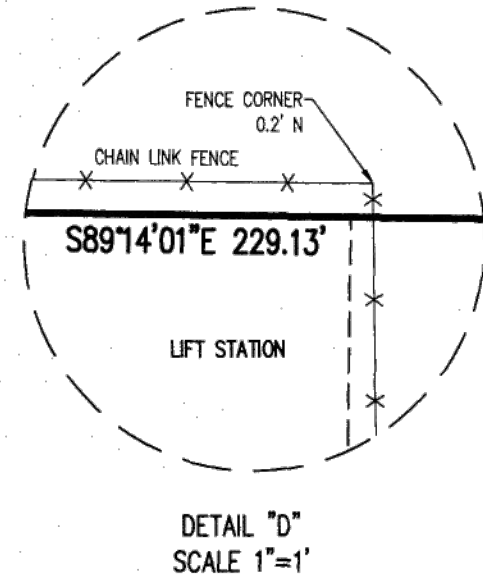
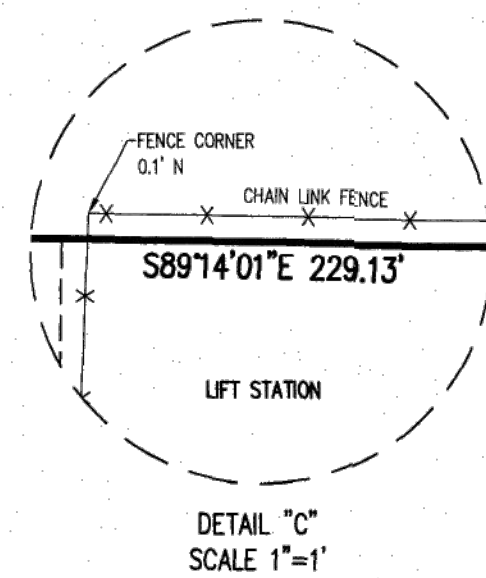
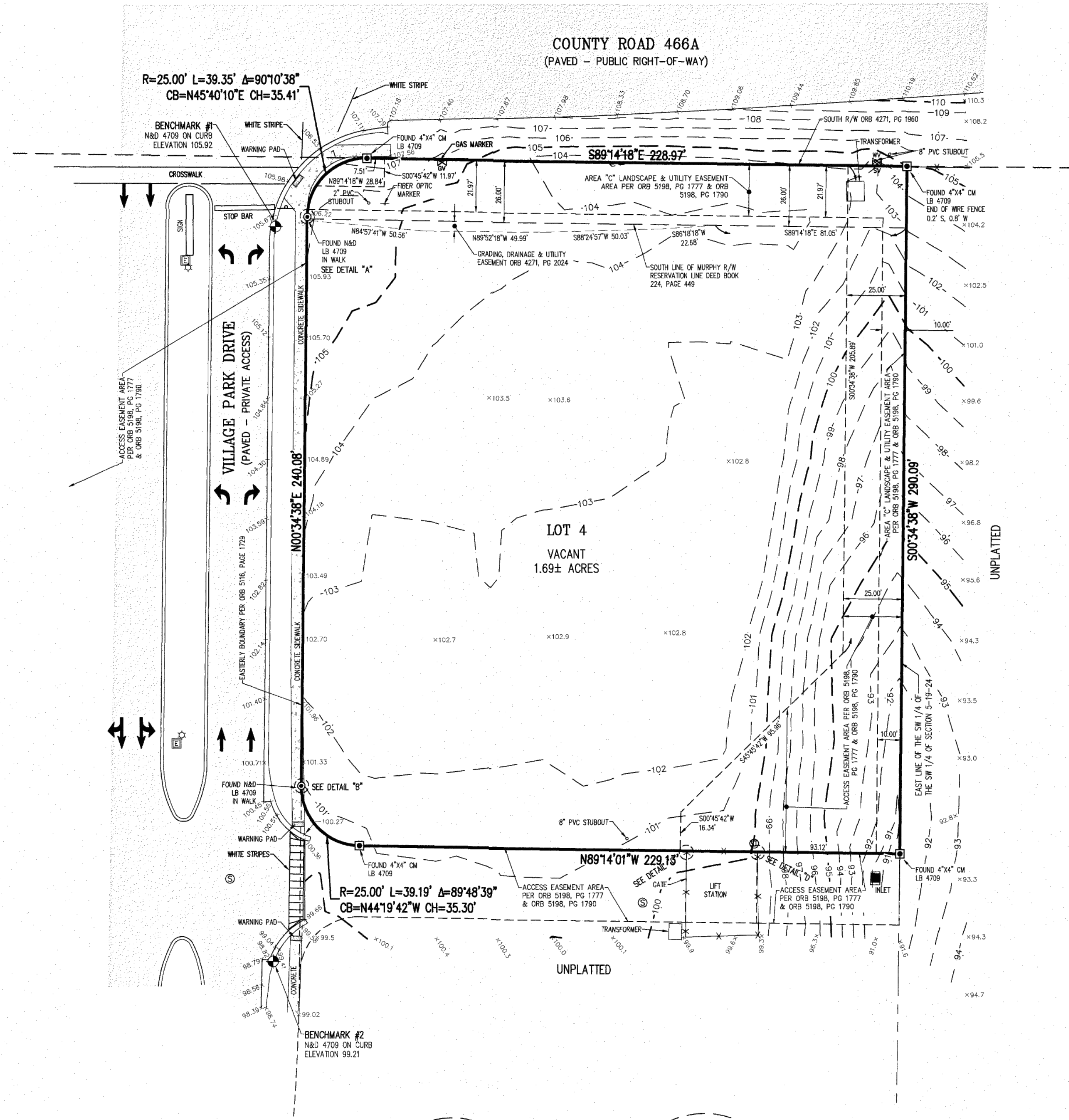
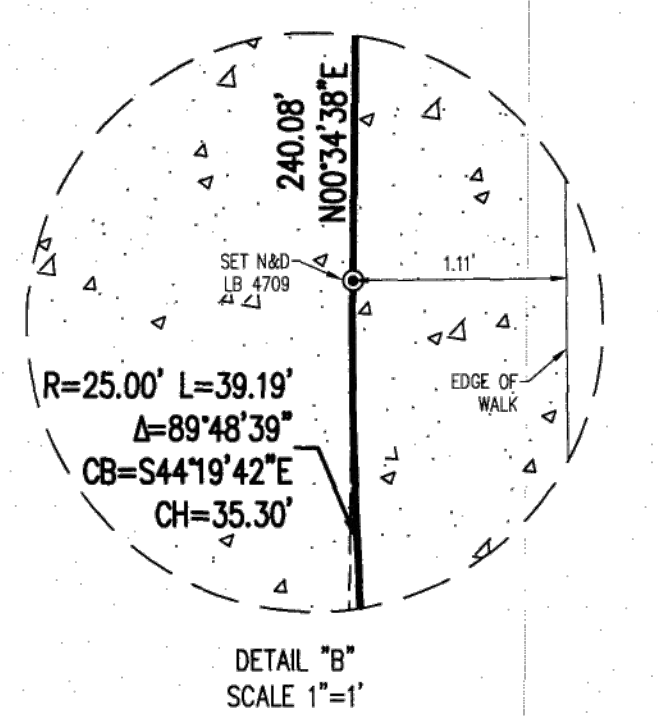
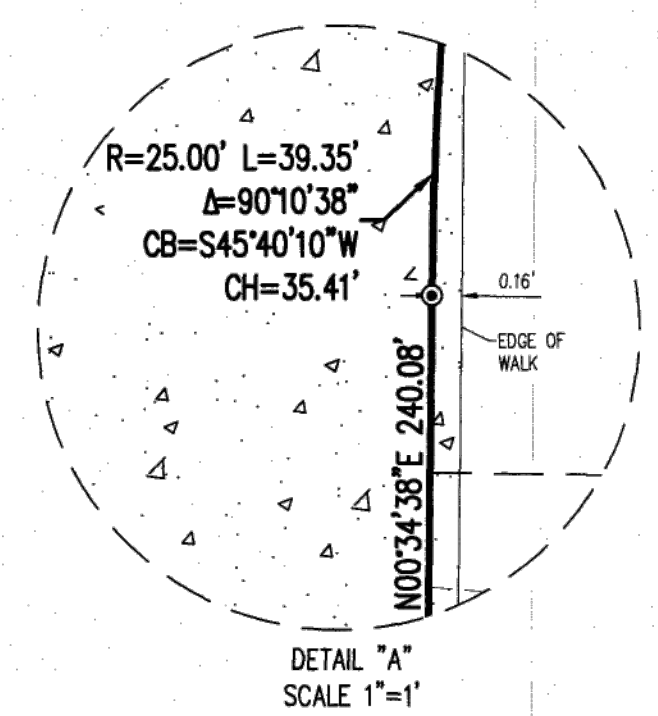
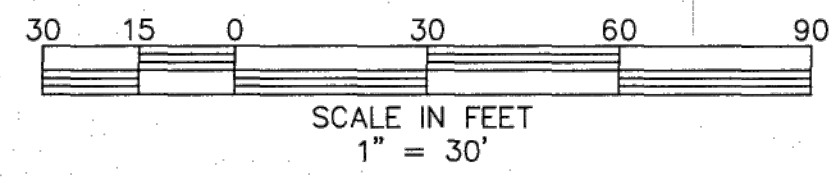
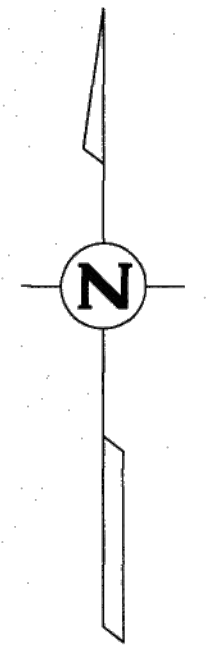
Engineering the Future

5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325

www.feg-inc.us



BOUNDARY & TOPOGRAPHIC SURVEY

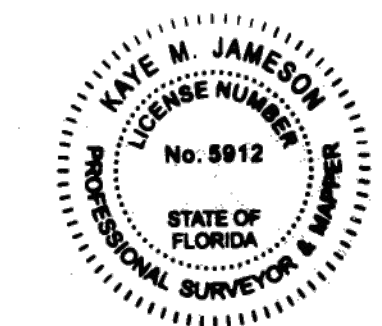


LEGAL DESCRIPTION
LOT 4, VILLAGE PARK COMMERCIAL SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 74, PAGES 23 AND 24, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

- NOTES:**
1. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 2. CERTIFICATION IS LIMITED TO PARTIES NAMED HEREON.
 3. BEARINGS ARE BASED ON THE PLAT OF VILLAGE PARK COMMERCIAL SUBDIVISION WITH THE SOUTH RIGHT-OF-WAY LINE OF COUNTY ROAD 466A AS BEING N89°14'18"W, AN ASSUMED MERIDIAN.
 4. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS, RIGHTS OF WAY, OWNERSHIP OR OTHER MATTERS OF RECORD BY THIS FIRM.
 5. UNDERGROUND IMPROVEMENTS SUCH AS UTILITIES, FOUNDATIONS, ETC. WERE NOT LOCATED.
 6. LANDS SHOWN HEREON LIE IN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN) ACCORDING TO FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 12069C 0306, EFFECTIVE DATE: SEPTEMBER 18, 2012.
 7. THIS SURVEY MEETS ALL APPLICABLE REQUIREMENTS OF THE FLORIDA STANDARDS OF PRACTICE AS CONTAINED IN RULE 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODES.
 8. ELEVATIONS ARE NORTH AMERICAN VERTICAL DATUM OF 1988 AND THIS SURVEY WAS BASED ON NGS STATION Z 426 (WITH AN ELEVATION OF 80.26) NAVD 88.

LEGEND	
CM	INDICATES CONCRETE MONUMENT
M&D	INDICATES MAIL AND DISK
BOC	INDICATES BACK OF CURB
IRC	INDICATES 5/8" IRON ROD AND CAP
PVC	INDICATES POLYVINYL CHLORIDE PIPE
PG	INDICATES PAVE
Δ	INDICATES DELTA (CENTRAL ANGLE OF CURVE)
L	INDICATES ARC LENGTH
CH	INDICATES CHORD LENGTH
C.B.	INDICATES CHORD BEARING
R	INDICATES RADIUS LENGTH
PSM	INDICATES PROFESSIONAL SURVEYOR AND MAPPER
(R)	INDICATES RADIAL LINE
LB.	INDICATES LICENSED BUSINESS
ORB	INDICATES OFFICIAL RECORD BOOK
R/W	INDICATES RIGHT-OF-WAY
SV	INDICATES SANITARY VALVE
GV	INDICATES GAS VALVE
WV	INDICATES WATER VALVE
BFP	INDICATES BACKFLOW PREVENTER
LP	INDICATES LIGHT POLE
ER	INDICATES ELECTRICAL RISER
SM	INDICATES SANITARY MANHOLE
SMH	INDICATES STORM MANHOLE
S	INDICATES SIGN
CTV	INDICATES CABLE TV RISER
ICB	INDICATES IRRIGATION CONTROL BOX

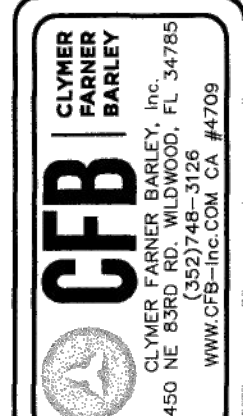
CERTIFIED TO:
RLH, LLC



F.E.G. PROJECT NO.
21-066
SHEET NO.
C-2
SHEET 2 OF 17

DATE
12/16/21

Kaye M. Jameson
KAYE M. JAMESON, PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 5912



CLIENT	DATE OF SURVEY	DATE OF SURVEY
RLH, LLC	12/15/2021	12/15/2021
521282	FRED BOCK	12/17/19
DRIVING DATE	CHECKED BY	RLH
ACAD FILE	521282_RLH_BND_TOPO.dwg	

LOT 4
VILLAGE PARK COMMERCIAL SUBDIVISION
SECTION 19 SOUTH, RANGE 24 EAST
TOWNSHIP 19 SOUTH, RANGE 24 EAST
LAKE COUNTY, FLORIDA

BOUNDARY & TOPOGRAPHIC SURVEY
FOR
RLH, LLC

SHEET 1 OF 1

GENERAL NOTES:

- 1. THESE GENERAL NOTES APPLY TO ALL WORK IN THIS SET OF DRAWINGS.
2. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION...
3. THE SPECIFICATIONS, NOTES, AND PLANS CALL ATTENTION TO CERTAIN REQUIRED FEATURES OF THE CONSTRUCTION BUT DO NOT PURPORT TO COVER ALL DETAILS OF DESIGN AND CONSTRUCTION...
4. ALL EQUIPMENT SHALL BE HANDLED, STORED, INSTALLED, TESTED, AND OPERATED IN STRICT ACCORDANCE WITH THE APPLICABLE MANUFACTURER'S WRITTEN INSTRUCTIONS.
5. ALL WORK SHALL BE ACCOMPLISHED TO THE HIGHEST QUALITY CRAFTSMANSHIP STANDARDS AS APPROVED BY THE ENGINEER.
6. ALL WORK SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS.
7. APPARENT ERRORS, DISCREPANCIES, OR OMISSIONS ON THE DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION BEFORE BIDDING.
8. AFTER COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PERFORM SITE CLEAN-UP OPERATIONS FOR REMOVAL OF ALL TRASH, DEBRIS, EXCESS MATERIAL, AND EQUIPMENT...
9. THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS, AND SPECIFICATIONS OF CITY OF FRUITLAND PARK FOR SITE IMPROVEMENT IN THE ABSENCE OF A PARTICULAR REQUIREMENT.
10. FLORIDA LAW (F.S. 553.851) PROTECTION OF UNDERGROUND PIPELINES MANDATES THAT "NO EXCAVATOR SHALL COMMENCE OR PERFORM ANY EXCAVATION IN ANY PUBLIC OR PRIVATE STREET OR RIGHT-OF-WAY DEDICATED TO THE PUBLIC USE...
11. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS...
12. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON...
13. THE CONTRACTOR SHALL FURNISH OWNER WITH ACCURATE RECORD DRAWINGS PREPARED BY A LICENSED PROFESSIONAL SURVEYOR...
14. ALL PRIVATE AND PUBLIC PROPERTIES AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS OTHERWISE PROVIDED...
15. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN PREPARING THE SITE FOR CONSTRUCTION...

GEOMETRY NOTES:

- 1. THESE PLANS ARE BASED ON A SURVEY PREPARED FOR THE OWNER BY CLYMER FARNER BARLEY, INC AND DATED 06/30/2020.
2. REFER TO SHEET C-2 FOR REFERENCED BENCHMARK.
3. CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE & CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING...
4. ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL VERIFY THE ACCURACY OF THE BUILDING GEOMETRY SHOWN WITH THAT IN THE FINAL ARCHITECTURAL DRAWINGS, PRIOR TO STAKE-OUT, & SHALL NOTIFY OWNER & ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

MARKING, STRIPING, & SIGNAGE NOTES:

- 1. ALL MARKINGS MUST COMPLY WITH THE F.D.O.T. ROADWAY & TRAFFIC DESIGN STANDARDS, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND THE CITY OF FRUITLAND PARK LAND DEVELOPMENT CODE. PARKING SPACES SHALL BE F.D.O.T. RATED PAINT. ALL OTHER MARKINGS MUST BE THERMOPLASTIC.
2. HANDICAP PARKING SPACES SHALL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND OTHER APPLICABLE STANDARDS. REFER TO F.D.O.T. ROADWAY & TRAFFIC DESIGN STANDARDS INDEX 17355 FOR HANDICAP SYMBOL.
3. HANDICAP SIGN SHALL BE F.D.O.T. SPECIFICATIONS.

PAVING, GRADING, & DRAINAGE NOTES:

- 1. ALL CONSTRUCTION, INCLUDING SIDEWALKS, SHALL BE IN ACCORDANCE WITH CITY OF FRUITLAND PARK CONSTRUCTION SPECIFICATIONS AND OTHER GENERAL AND SPECIAL SPECIFICATIONS, AND THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, UNLESS STATED OTHERWISE IN THE SPECIFICATIONS OR ON THE PLANS.
2. SUBSURFACE INFORMATION PROVIDED WITH THESE DRAWINGS WAS OBTAINED FOR USE IN ESTABLISHING DESIGN CRITERIA FOR THE PROJECT. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED AND IS NOT TO BE CONSTRUED AS PART OF THE PLANS GOVERNING CONSTRUCTION OF THE PROJECT.
3. THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY, PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY...
4. ALL FILL MATERIAL IN GENERAL IMPROVEMENT AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE SOIL'S MODIFIED PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-99 SPECIFIC SITE PREPARATION METHODS...
5. ALL UNDERGROUND UTILITIES INCLUDING CONDUIT FOR ELECTRICAL, CABLE TV, AND TELEPHONE SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
6. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY PROBLEMS REQUIRING DEVIATION FROM THESE PLANS AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS OF ALL MAJOR ITEMS PROPOSED FOR THIS PROJECT TO THE ENGINEER PRIOR TO ORDERING ANY OF THE EQUIPMENT...
8. ALL DISTURBED AREAS MUST BE SODED, UNLESS OTHERWISE NOTED ON THE PLANS...
9. PROVIDE HANDICAP ACCESS WHERE SIDEWALKS MEET CURBS WITHIN THE PUBLIC RIGHT-OF-WAY.

EROSION CONTROL NOTES:

- 1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH CITY OF FRUITLAND PARK SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDONAL CHANGES.
2. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
3. CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN AT THE PRE-CONSTRUCTION MEETING. THE CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES IN CONTROLLING EROSION AND SEDIMENTATION DURING CONSTRUCTION.
4. ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
5. PRIOR TO LAND CLEARING THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF CITY OF FRUITLAND PARK.
6. THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION AND STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.

WATER & SEWER UTILITY NOTES:

- 1. CONTRACTOR SHALL COORDINATE WITH CITY OF FRUITLAND PARK FOR CONSTRUCTION OF THE WATER AND SEWER SYSTEMS. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THEIR SPECIFICATIONS AND REQUIREMENTS...
2. CONTRACTOR SHALL COORDINATE ALL WATER AND SEWER SYSTEM TEST SCHEDULING TO ALLOW ENGINEER'S ATTENDANCE AND PROVIDE FIVE (5) WORKING DAYS NOTICE OF WATER AND SEWER TESTS.
3. ENGINEER RESERVES THE RIGHT TO WITHHOLD APPROVAL FOR ANY PORTION OF THE WATER OR SEWER PIPE WORK WHICH HAS NOT BEEN TESTED (OBSERVED BY ENGINEER) AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS.
4. SITE CONTRACTOR SHALL COORDINATE AND VERIFY ALL UTILITY SERVICES WITH FINAL ARCHITECTURAL DRAWINGS AND BUILDING CONTRACTOR.
5. CONTRACTOR SHALL VERIFY SIZE AND TYPE OF EXISTING MAIN PRIOR TO ORDERING TAPPING MATERIALS FOR TIE-INS.
6. CONTRACTOR SHALL MAINTAIN A SET OF RECORD DRAWINGS MARKED UP WITH HORIZONTAL AND VERTICAL AS-BUILT INFORMATION ON LOCATION OF WATER MAINS, FITTINGS, AND WATER SERVICES...
7. SITE UTILITY WORK SHALL TERMINATE 5 FEET FROM BUILDINGS UNLESS OTHERWISE STATED.
8. CONTRACTOR SHALL NOT ACTIVATE WATER SERVICE UNTIL THE FDEP HAS CLEARED THE SYSTEM FOR USE AND THE CLEARANCE LETTER HAS BEEN RECEIVED BY THE OWNER.

F.D.E.P. CONSTRUCTION NOTES:

UTILITY SEPARATION - VERTICAL CLEARANCE:

- 1. NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY-OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE TOP OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER...
2. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE...
3. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE...
4. ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER...

UTILITY SEPARATION HORIZONTAL SEPARATION:

- 1. NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER...
2. THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING OF ALL NEWLY-INSTALLED WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE CITY OF FRUITLAND PARK & IN ACCORDANCE WITH AWWA STANDARD C600 FOR DUCTILE-IRON PIPE...
3. THE CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE F.D.E.P. WATER PERMIT, & RECEIVE APPROVAL THEREOF FROM THE LOCAL WATER UTILITY...
4. THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING OF ALL NEWLY-INSTALLED WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH AWWA MANUAL M23 FOR PVC PIPE.

CONSTRUCTION NOTES:

- 1. THE PERMITTEE SHALL BE SEPARATELY RESPONSIBLE FOR APPROPRIATE CONSTRUCTION, DISINFECTION & TESTING BEYOND THE METER TO ASSURE POTABILITY AT THE POINT OF USE.
2. POTABLE WATER PIPES WILL BE DISINFECTED IN ACCORDANCE WITH AWWA SPECIFICATIONS C651.
3. POTABLE PIPES WILL BE HYDROSTATICALLY TESTED IN ACCORDANCE WITH SPECIFICATION NUMBERS C600 & C605/M23 FOR DUCTILE IRON & PVC PIPES, RESPECTIVELY.
A. POTABLE WATER PIPES MUST BE MANUFACTURED IN ACCORDANCE WITH THE FOLLOWING AWWA SPECIFICATIONS:
B. DUCTILE IRON PIPE (3" TO 64") - AWWA C150/AWWA C151; LINING PER AWWA C104, COATING PER AWWA C116, ENCASMENT PER AWWA C105, FLANGED PIPE PER AWWA C115, GASKET JOINTS PER AWWA C111 AND FITTINGS PER AWWA C110 OR AWWA C153.
C. PVC (WITH NATIONAL SANITATION FOUNDATION SEAL)
1. AWWA C900/ASTM 1784 (4" TO 12" WITH DR25 MINIMUM);
2. AWWA C905 (14" TO 48")
3. PRESSURE RATED PIPE (SDR SERIES) SHALL BE ASTM D2241, SCHEDULE 40, 80, & 120 PVC PIPES PER ASTM D1785. THE COMPOUNDS USED FOR EITHER OF THESE TYPES SHALL BE PER ASTM D1784.
D. POLYETHYLENE PIPE (1/2" - 3") - AWWA C901 WITH VALVES & FITTINGS (AWWA C800);
E. POLYETHYLENE PIPE (4" - 63") - AWWA C906.
F. FIRE HYDRANTS & VALVES PER AWWA SERIES C500 THROUGH C560.
G. METERS PER AWWA SERIES C700 THROUGH C710.
H. NON-AWWA PVC PIPES (ALLOWED ONLY FOR SIZES LESS THAN 4 INCHES) MUST HAVE A MINIMUM PRESSURE CLASS OF 200 PSI AND MUST BEAR THE NSF MARK ON EACH INSTALLED LENGTH.

CONNECTION TO EXISTING WATER MAINS:

- 1. IF CONNECTION OF THE PROPOSED ACTIVITY TO THE WATER MAIN WILL RESULT IN DEPRESSURIZATION OF THE EXISTING SYSTEM BELOW 20 POUNDS PER SQUARE INCH, ONE OF THE FOLLOWING MUST OCCUR:
A. PRECAUTIONARY BOIL WATER NOTICES MUST BE ISSUED IN CASES OF PLANNED DISTRIBUTION INTERRUPTIONS...
B. IN CASES OF BRIEF INTERRUPTION IN SERVICE, ADVISORIES (NOT BOIL WATER NOTICES) SHOULD BE ISSUED IF TEMPORARY CHANGES IN WATER QUALITY ARE EXPECTED TO OCCUR & NOT DEEMED AN IMMINENT PUBLIC HEALTH RISK.

FILLING OF WATERMAINS:

- 1. FILLING OF PROPOSED WATER MAINS FROM EXISTING WATER MAINS WILL BE DONE IN ACCORDANCE WITH AWWA SPECIFICATIONS C651.

MATERIAL SPECIFICATIONS:

PAVING, GRADING, & DRAINAGE:

- 1. PAVING MATERIALS SHALL CONFORM WITH F.D.O.T. STANDARDS & SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION.
2. STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE, PER ASTM C-76 CLASS III, UNLESS OTHERWISE SPECIFIED. LIFTING HOLES ARE PROHIBITED.
3. ALL STORM STRUCTURES SHALL CONFORM WITH F.D.O.T. STANDARD INDEX DRAWINGS & SPECIFICATIONS EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRAVERSABLE, TRAFFIC BEARING, GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES...
4. ALL TYPE "P" STRUCTURE BOTTOMS SHALL BE ROUND UNLESS OTHERWISE SPECIFIED & SHALL HAVE 4 FEET MINIMUM DIAMETER.

WATER MATERIAL:

GENERAL MATERIAL SPECIFICATIONS

MATERIAL USED IN THE CONSTRUCTION OF THE WATER DISTRIBUTION SYSTEM SHALL ADHERE TO THE REQUIREMENTS OUTLINED IN THE CITY OF FRUITLAND PARK WATER DISTRIBUTION SPECIFICATION STANDARDS MANUAL. THE FOLLOWING INFORMATION IS TO PROVIDE GENERAL GUIDANCE IN THE PREPARATION OF CONSTRUCTION PLANS AND SPECIFICATIONS, AND IN NO WAY LIMITS CITY OF FRUITLAND PARK'S RIGHTS TO APPROVE OR DISAPPROVE PLANS, SPECIFICATIONS OF INSTALLATIONS...
GENERAL GUIDANCE IN THE PREPARATION OF CONSTRUCTION PLANS AND SPECIFICATIONS, AND IN NO WAY LIMITS CITY OF FRUITLAND PARK'S RIGHTS TO APPROVE OR DISAPPROVE PLANS, SPECIFICATIONS OF INSTALLATIONS. MOST CENTRAL FLORIDA UTILITY SUPPLY COMPANIES HAVE A COPY OF CITY OF FRUITLAND PARK'S SPECIFICATION STANDARDS MANUAL.

SPECIAL NOTICE:

CITY OF FRUITLAND PARK SPECIFICATIONS OFTEN ADD TO THE MANUFACTURER'S SPECIFICATIONS. IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT: CITY OF FRUITLAND PARK WATER DISTRIBUTION STANDARDS AND SPECIFICATIONS 352-360-6795.

SEE CITY OF FRUITLAND PARK UTILITY DETAILS ON SHEET C-13.

CONCRETE CONSTRUCTION NOTES:

- 1. CONCRETE PRE-CONSTRUCTION MEETING
A. THE CONCRETE CONTRACTOR ALONG WITH THE CONCRETE PRODUCER MAY REQUEST THROUGH THE GENERAL CONTRACTOR FOR A PRE-CONSTRUCTION MEETING PRIOR TO CONCRETE PLACEMENT.
B. ATTENDEE: CONCRETE CONTRACTOR, CONCRETE PRODUCER, GENERAL CONTRACTOR, OWNER OR OWNER'S REPRESENTATIVE(S), ENGINEER OF RECORD, ARCHITECT, SITE CONTRACTOR, GEOTECHNICAL REPRESENTATIVE(S), ETC.
C. AGENDA: INCLUDE BUT NOT LIMITED TO THE FOLLOWINGS: (CONTRACTOR MAY CONTACT THE FLORIDA CONCRETE & PRODUCTS ASSOCIATION FOR PRE-CONSTRUCTION MEETING CHECK LISTS)
i. MIXTURE(S) APPROVAL
ii. CONCRETE TESTING: TYPE, LOCATION OF SAMPLINGS, ETC.
iii. CONCRETE DELIVERY: QUANTITY/HR, PUMP, CONVEYOR, ETC.
iv. PLACEMENT: METHOD, QUANTITY/DAY, STAGING & CLEAN OUT LOCATION, ETC.
v. FINISHING: CURING, JOINTING, ETC.
2. JOINTS FOR CONCRETE SLABS
A. GENERAL - A JOINTING PLAN FOR THE ENTIRE PAVING AREA SHALL BE PREPARED BY THE CONCRETE CONTRACTOR & SUBMITTED TO THE ENGINEER OF RECORD (EOR) 2 WEEKS PRIOR TO PLACEMENT OF CONCRETE FOR THE EOR APPROVAL...
i. A SQUARE JOINTING PATTERN IS REQUIRED WHERE POSSIBLE...
ii. BOX OUT AREA AROUND MANHOLES, CATCH BASINS, DRAINAGE STRUCTURES & OTHER BUILT-IN STRUCTURES WITHIN THE PAVING AREA...
B. CONSTRUCTION JOINTS - A CONSTRUCTION JOINT SEPARATES ONE DAY PLACEMENT TO THE NEXT DAY PLACEMENT...
C. CONTROL/CONTRACTION JOINTS - CONTROL JOINTS ARE JOINTS WITHIN THE PAVING AREA FORMED THROUGH TOOLING OR SAW CUTTING...
D. ISOLATION JOINTS - THESE JOINTS USE ISOLATION MATERIALS TO PREVENT FRESH CONCRETE FROM BONDING TO HARDENED CONCRETE...
E. ISOLATION JOINTS BETWEEN SLABS AT SOME GRADE SHALL BE FORMED WITH 0.25 INCH THICK NEOPRENE OR 0.50 INCH THICK ASPHALT IMPREGNATED FIBER FILLER...
F. A SATISFACTORY ISOLATION JOINT CAN BE FORMED AT METAL BUILDING CURBS...
3. JOINTS SEALANT - A JOINT SEALING PLAN FOR THE AFFECTED AREA SHALL BE PREPARED BY THE CONCRETE CONTRACTOR & SUBMITTED TO THE EOR...
NOT ALL JOINT WILL BE REQUIRED SEALING, THE CONCRETE CONTRACTOR IS TO RECOMMEND THE NECESSARY LOCATION AND TO PROVIDE SUPPORTING DOCUMENTATION FOR NON-SEALING AREAS...

LEGEND

Table with 2 columns: SYMBOL and SITE. Symbols include various arrow types, utility symbols, and site markers. Sites listed include Pole Sign, Small Pylon Sign, Large Pylon Sign, Right Turn Directional Arrow, Straight Directional Arrow, Left Turn Directional Arrow, Straight and Left Turn Directional Arrow, Handicap Parking Symbol, F.D.O.T. Type "D" Curb, F.D.O.T. Type "F" Curb and Gutter, Gate Valve Box, Chainlink Fence, Decorative Wood or Aluminum Fence, Barb Wire Fence, Handrail, Screen/Retaining Wall, Bike Rack, Parking Count Symbol, Road Centerline Symbol, F.D.O.T. Type "C" Drainage Inlet, F.D.O.T. Type "D" Drainage Inlet, F.D.O.T. Type "E" Drainage Inlet, F.D.O.T. Type "1" Drainage Inlet, F.D.O.T. Type "2" Drainage Inlet, F.D.O.T. Type "3" Drainage Inlet, F.D.O.T. Type "4" Drainage Inlet, F.D.O.T. Type "5" Drainage Inlet, F.D.O.T. Type "6" Drainage Inlet, Storm Drainage Manhole, Storm Drainage Pipe, Drainage Flow Directional Arrow, Drainage Structure Bubble, Contour Elevation, Erosion Control Silt Fence, DCDA - Double Check Detector Assembly, DCVA - Double Check Valve Assembly, RPZ - Reduced Pressure Zone Device, Domestic Meter, Irrigation Meter, Gate Valve, Blow-off Gate Valve, Reducer, Wet Well, 11.25' Pipe Bend, 22.5' Pipe Bend, 30' Pipe Bend, 45' Pipe Bend, 60' Pipe Bend, 90' Pipe Bend, Tee, Cross, Fire Hydrant Assembly w/ Unobstructed Area Clearances as Required by Fire Marshall, Fire Department Connection, Clean Out, Lift Station, Grease Trap, Site Lighting, Decorative Site Lighting, Utility Pole.

Revision table with columns: DATE, REVISIONS, BY, CHECKED. Rows include revisions on 02/20/23, 01/17/23, and 11/1/22.

CONSTRUCTION PLANS
VETERINARY EMERGENCY CLINIC - VILLAGES
COUNTY RD 466A, FRUITLAND PARK, FL
CITY OF FRUITLAND PARK

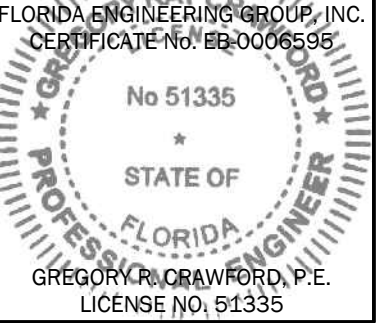


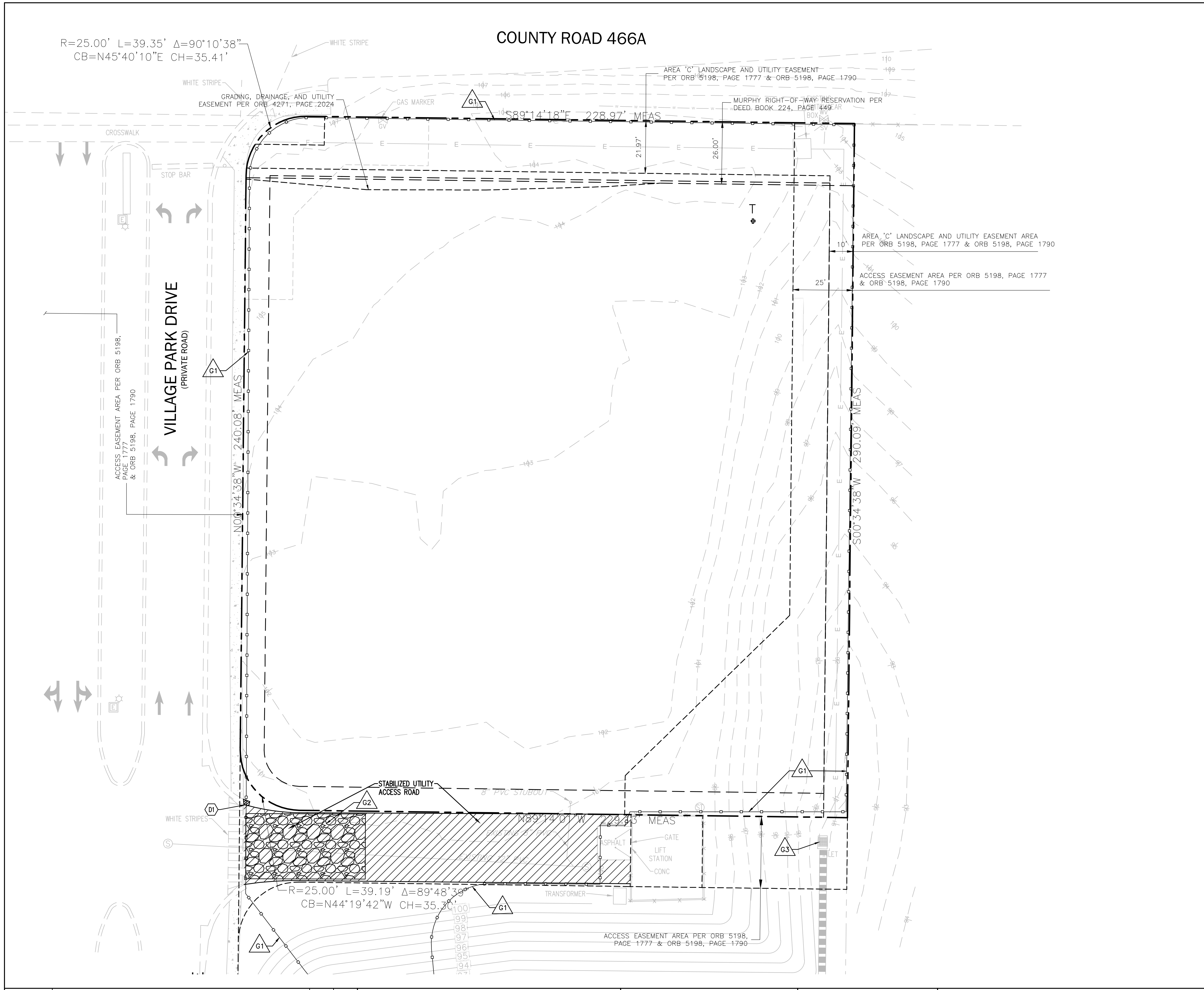
5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
www.feg-inc.us

Table with columns: DESIGNED BY, DRAWN BY, CHECKED BY, APPROVED BY. Values include CPN, CPN, GRC, GRC.

Table with columns: PROJECT NO., SCALE, DATE, SHEET NO., SHEET 3 OF 17.

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PLAN LEGEND

- SAW CUT & REMOVE EXISTING ASPHALT & CONCRETE IN HATCHED AREAS.
- EXISTING TREE TO BE REMOVED.
- EXISTING TREE TO REMAIN.
- SILT FENCE EROSION CONTROL BARRIER
- SYNTHETIC EROSION CONTROL BARRIER
- STABILIZED UTILITY ROAD

- DEMOLITION NOTES**
- THE LOCATIONS, ELEVATIONS, & DIMENSIONS OF EXISTING UTILITIES & OTHER FEATURES ARE SHOWN ON THE PLANS ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PLAN PREPARATION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, & DIMENSIONS OF ALL EXISTING UTILITIES & OTHER FEATURES AFFECTING THE WORK PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY FEG OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROPOSED WORK.
 - THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE EXCAVATION.
 - THE CONTRACTOR SHALL, PRIOR TO INITIATION OF ANY SITE CLEARING OR OTHER CONSTRUCTION ACTIVITIES, INSTALL SILT SCREENS DOWNSTREAM OF ALL AREAS WHICH HAVE POTENTIAL OF EROSION OR SEDIMENT TRANSPORT OFF-SITE OR TO WATER BODIES. THE CONTRACTOR SHALL IMPLEMENT OTHER STRUCTURAL EROSION CONTROL MEASURES IF REQUIRED TO PREVENT SEDIMENT TRANSPORT TO OFF-SITE AREAS & WATER BODIES.
 - ALL TRASH, DEBRIS, & OTHER MATERIAL REMOVED FROM THE SITE SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS.
 - ANY EXCAVATED TRENCHES ARE TO BE BACKFILLED WITH CLEAN SAND COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY VALUE (AASHTO T-180). REFER TO GEOTECHNICAL REPORT FOR SPECIFIC COMPACTION REQUIREMENTS UNDER BUILDING & OTHER STRUCTURES.
 - ALL EXISTING CONCRETE TO BE REMOVED SHALL BE SAWCUT & REMOVED @ THE FIRST AVAILABLE GOOD JOINT & REPLACED TO MATCH EXISTING.
 - THE CONTRACTOR SHALL CONTACT THE GAS UTILITY FOR LOCATION BEFORE EXCAVATION. CHAPTER 17-153 F.S. REQUIRES THAT AN EXCAVATOR NOTIFIES ALL GAS UTILITIES AT LEAST TWO DAYS PRIOR TO EXCAVATING, ALSO CALL 1-800-432-4770 FOR SUNSHINE LOCATES. F.S. 556.101 THROUGH 111.
 - CONTRACTOR SHALL COORDINATE WITH THE APPLICABLE UTILITY COMPANIES TO DISCONNECT THE UTILITIES AT, OR NEAR, THE PROPERTY LINE TO ALLOW THE INTEGRAL LINES AND FIXTURES TO BE REMOVED. THIS SHALL APPLY TO POWER, TELEPHONE, CABLE, WATER AND SEWER SYSTEMS.

- DEMOLITION KEYNOTES**
- D1. REMOVE EXISTING CURB.

- GRADING KEYNOTES**
- G1. SILT FENCE EROSION CONTROL BARRIER (SEE FIGURE V-2, SHEET C-5 FOR DETAIL).
 G2. CONSTRUCT SOIL TRACKING PREVENTION DEVICE (SEE FIGURE V-19, SHEET C-5 FOR DETAIL).
 G3. INLET INSERT SEDIMENT CONTAINMENT SYSTEM (SEE FIGURE V-18, SHEET C-5 FOR DETAIL).

DATE	BY	CHECKED	REVISIONS
02/20/23	JWM	GRC	PER CITY COMMENTS
01/17/23	JWM	GRC	PER CITY COMMENTS
11/1/22	JWM	GRC	REVISED PER CITY AND CLIENT COMMENTS

CONSTRUCTION PLANS
VETERINARY EMERGENCY CLINIC - VILLAGES
 COUNTY RD 466A, FRUITLAND PARK, FL
 CITY OF FRUITLAND PARK



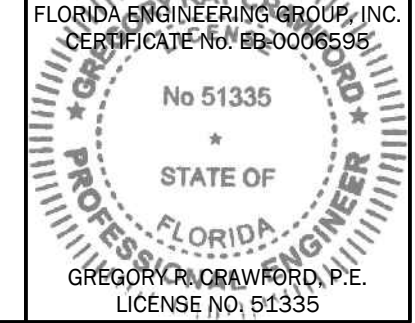
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 Fax: 407-895-0325
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STORMWATER POLLUTION PREVENTION AND DEMOLITION PLAN

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
CPN	CPN	GRC	GRC

PROJECT NO.	21-066
SCALE	1" = 20'
DATE	MARCH 01, 2022
SHEET NO.	C-4
SHEET	4 OF 17

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 GREGORY R. CRAWFORD, P.E.
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EROSION CONTROL SITE DESCRIPTION NOTES:

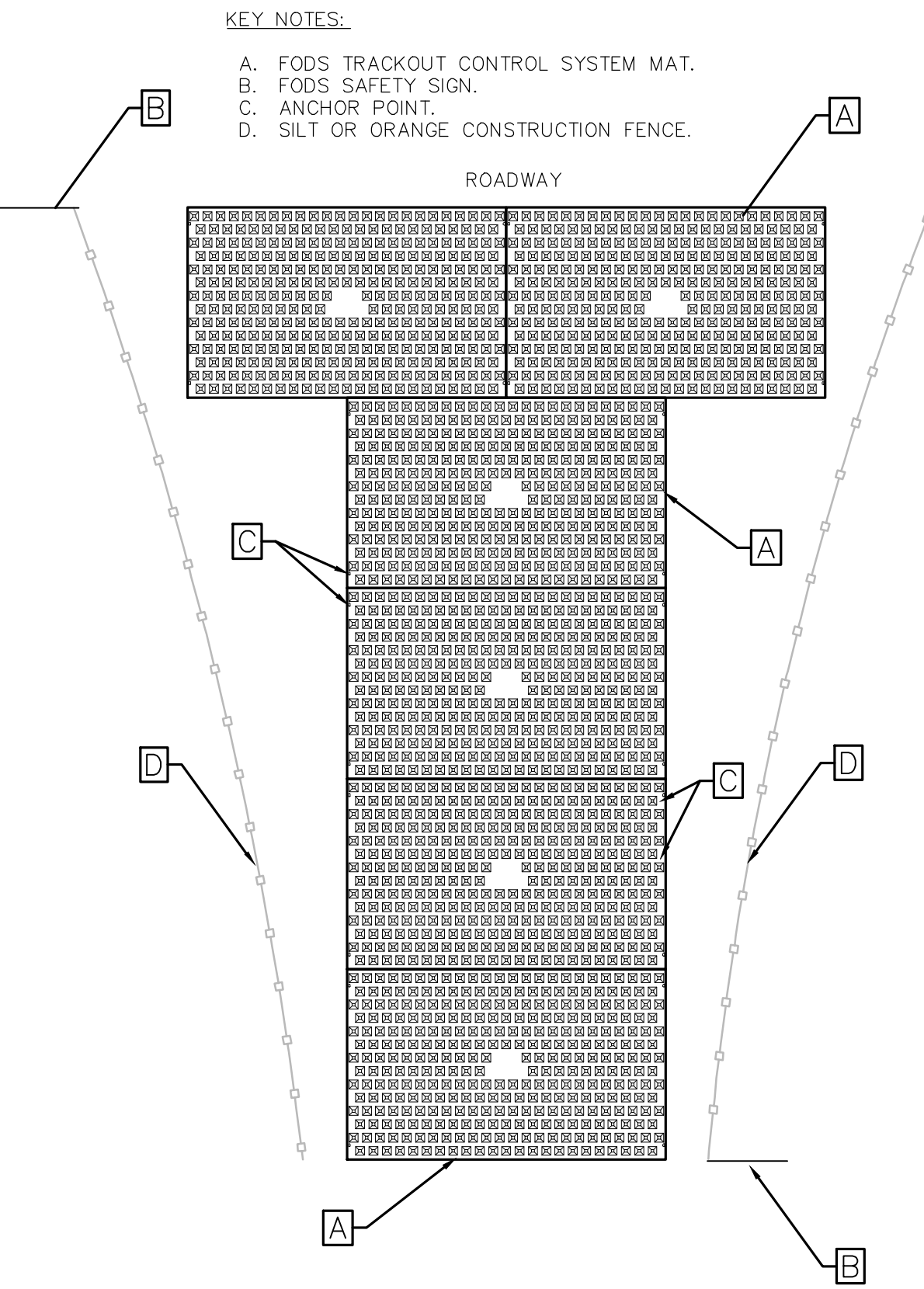
1. THE PROPOSED CONSTRUCTION ACTIVITY WILL ENTAIL THE CLEARING & GRUBBING OF A 9.862 ACRE SITE LOCATED AT 1625 AND 1633 MERCY DRIVE, ORLANDO, FL. ITS ASSOCIATED PARKING, DRAINAGE & UTILITIES.
2. THE SEQUENCE OF SOILS DISTURBANCE ACTIVITY IS AS FOLLOWS:
 - A. INSTALL SILT FENCE AS SHOWN ON THE PLANS & PROVIDE TREE PROTECTION ON SITE, IF APPLICABLE.
 - B. ROUGH GRADE PROPOSED POND AREA(S) OR TEMPORARY SEDIMENTATION BASIN(S).
 - C. CLEAR & GRUB THE AREA TO BE DISTURBED. ENSURE THAT DRAINAGE FROM SITE DURING CONSTRUCTION IS CONVEYED TO THE POND(S) OR TEMPORARY SEDIMENTATION BASIN(S).
 - D. PLACE FILL ON-SITE TO BRING THE SITE UP TO THE PROPOSED GRADES.
 - E. BEGIN COMPACTION / STABILIZATION PROCESS.
3. THE TOTAL SITE AREA IS 9.862± ACRES & THE AREA TO BE DISTURBED IS 9.862± ACRES.
4. THE EXISTING SOIL IS 44 - SMYRNA-SMYRNA, WET, FINE SAND, 0-2% SLOPES AND 37 - ST. JOHNS FINE SAND, THE QUALITY OF THE STORMWATER DISCHARGE IS CONSISTENT W/ THE RUNOFF GENERATED BY A QEST 95 SITE.
5. THE TOTAL DRAINAGE AREA FOR THE PROJECT IS APPROXIMATELY 9.862 ACRES.
6. THE LATITUDE & LONGITUDE FOR THE DISCHARGE POINTS IS LAT: 28 33 51 N LONG: 81 25 49 W. THE RECEIVING WATER BODY IS ON-SITE STORMWATER POND, THEN EVENTUALLY DISCHARGES TO WEKIVA RIVER.
7. WASTE DISPOSAL SHALL BE IMPLEMENTED IN ACCORDANCE WITH LOCAL, STATE & FEDERAL REGULATIONS. ALL TRUCKS EXITING THE SITE WILL BE HOSED, ITS LOAD COVERED and THE COVER PROPERLY SECURED. THE STORAGE, APPLICATION, GENERATION & MIGRATION OF ALL FERTILIZERS, HERBICIDES, PESTICIDES & TOXIC MATERIAL SHALL BE IN ACCORDANCE W/ LOCAL, STATE & FEDERAL REGULATIONS.
8. CONTRACTOR SHALL IDENTIFY THE INDIVIDUAL(S) RESPONSIBLE FOR THE WEEKLY & REQUIRED INSPECTIONS. A REPORTING SYSTEM ENTAILING THE ITEMS TO BE INSPECTED & THEIR CONDITION SHOULD BE DOCUMENTED & PLACED IN A DEDICATED FILING SYSTEM THAT WILL REMAIN ON THE PROJECT SITE, ACCESSIBLE TO THE CONSTRUCTION TEAM & TO THE F.D.E.P. INSPECTORS.
9. INSPECTIONS: CONSTRUCTION SITE WILL BE INSPECTED FOR EROSION PROBLEMS DAILY AND AFTER AFTER EACH RAINFALL GREATER THAN 0.5 INCH. A RAIN GAUGE WILL BE ON SITE TO MEASURE THE RAINFALL AMOUNT.

EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & REGULATIONS GOVERNING POLLUTION OF THE ENVIRONMENT & SHALL IMPLEMENT ALL MEASURES NEEDED TO ENSURE ADEQUATE EROSION & SEDIMENT CONTROL DURING THE ENTIRE DURATION OF CONSTRUCTION. EROSION & SEDIMENT CONTROL MEASURES SHALL CONFORM TO CITY OF ORLANDO, FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, & FLORIDA DEPARTMENT OF TRANSPORTATION REQUIREMENTS. INSTALLATION OF SILT FENCES & TURBIDITY BARRIERS SHALL BE IN ACCORDANCE WITH F.D.O.T. ROADWAY & TRAFFIC DESIGN STANDARDS & STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION.
2. EROSION & SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. EROSION & SEDIMENT CONTROL MEASURES ARE TO BE APPLIED AS A PERIMETER DEFENSE AGAINST THE TRANSPORTATION OF SILT & SEDIMENTS OFF THE PROJECT SITE OR INTO ADJACENT WATER BODIES OR WETLANDS.
3. THE CONTRACTOR SHALL PREPARE & IMPLEMENT AN EROSION CONTROL PLAN AS PART OF THE SCOPE OF WORK COVERED BY THESE PLANS. THE CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES IN CONTROLLING EROSION & SEDIMENT TRANSPORT DURING CONSTRUCTION. THE FLORIDA DEVELOPMENT MANUAL "A GUIDE TO SOUND LAND & WATER MANAGEMENT" MAY BE USED AS REFERENCE FOR RECOMMENDED BEST MANAGEMENT PRACTICES RELATED TO EROSION & SEDIMENT CONTROL.
4. THE CONTRACTOR SHALL SUBMIT THE EROSION CONTROL PLAN TO THE OWNER FOR APPROVAL PRIOR TO THE PRE-CONSTRUCTION MEETING.
5. ALL EROSION & SEDIMENT CONTROL MEASURES WHICH ARE NECESSARY TO LIMIT THE TRANSPORT OF SILTS & SEDIMENTS TO OUTSIDE THE LIMITS OF THE WORK AREA OR TO WATER BODIES OR WETLANDS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE BEST MANAGEMENT PRACTICES & IMPLEMENT STRUCTURAL MEASURES AS NEEDED TO PREVENT EROSION & SEDIMENT TRANSPORT FROM THE WORK AREAS. THE FOLLOWING ARE MINIMUM RECOMMENDED GUIDELINES TO BE IMPLEMENTED DURING CONSTRUCTION AS PART OF THE EROSION & SEDIMENT CONTROL PLAN:
 - A. STOCKPILING OF MATERIAL**
NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE OR INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY.
 - B. EXPOSED AREA LIMITATION & PROTECTION**
THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING & GRUBBING OPERATIONS OR EXCAVATION & FILLING OPERATIONS SHALL BE LIMITED AS NEEDED TO MINIMIZE THE POTENTIAL OF OFF-SITE SEDIMENT TRANSPORT. ALL EXPOSED AREAS SHALL BE PROTECTED BY INSTALLING EFFECTIVE EROSION & SEDIMENT CONTROL MEASURES SUCH AS SILT SCREENS, SYNTHETIC BALES, TURBIDITY BARRIERS, SWALES, OR A COMBINATION OF THESE & OTHER MEASURES AS WARRANTED.
 - C. INLET PROTECTION**
INLETS & CATCH BASINS SHALL BE PROTECTED DURING CONSTRUCTION FROM SEDIMENT LADEN STORMWATER RUNOFF BY PROVIDING A COMBINATION OF SILT SCREENS, SYNTHETIC BALES, FILTER FABRIC COVERS OR OTHER MEASURES AS NECESSARY TO CONTROL THE TRANSPORT OF SEDIMENT.
 - D. TEMPORARY GRASSING**
AREAS OPENED BY CONSTRUCTION OPERATIONS THAT ARE NOT ANTICIPATED TO BE DRESSED OR RECEIVE FINAL GRASSING TREATMENT WITHIN THIRTY DAYS SHALL BE SEEDED WITH A QUICK-GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED. TEMPORARY SEEDING SHALL BE CONTROLLED AS TO NOT ALTER OR COMPETE WITH PERMANENT GRASSING. SLOPES STEEPER THAN 6:1 SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES OF LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA TO A DEPTH OF 4 INCHES. THE SEEDED OR SEEDED & MULCHED AREAS SHALL BE ROLLED & WATERED AS NEEDED TO ENSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. IF AFTER 14 DAYS, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75% OF GOOD GRASS COVER, THE AREAS WILL BE REWORKED & ADDITIONAL SEED APPLIED TO ESTABLISH THE DESIRED VEGETATION COVER. REWORKED & ADDITIONAL SEED APPLIED.
 - E. MAINTENANCE**
EROSION & SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED DURING THE ENTIRE DURATION OF CONSTRUCTION. THE CONTRACTOR SHALL INSPECT THE EROSION & CONTROL MEASURES ON A WEEKLY BASIS & 24 HOURS FOLLOWING RAINFALL EVENTS (0.5" OR GREATER) & IMMEDIATELY REPAIR ANY OBSERVED DAMAGED CONTROLS. ALL EROSION & SEDIMENT CONTROLS SHALL BE MAINTAINED AS TO FUNCTION PROPERLY WITHOUT THE TRANSPORT OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT.
6. APPROXIMATE SLOPES AFTER MAJOR GRADING VARIES BETWEEN 0.5% TO 5%. MAXIMUM SLOPES ARE FOUND IN THE POND AND EAST PROPERTY LINE AND RANGE BETWEEN 5:1 TO 3:1.
7. AREAS OF SOILS DISTURBANCE IS LIMITED TO THE AREA WITHIN THE SILT FENCE LIMITS AS SHOWN ON THE STORMWATER POLLUTION PREVENTION AND DEMOLITION PLAN (SEE SHEET C-8).
8. ALL DISTURBED PVIOUS AREAS WILL BE SODDED, UNLESS OTHERWISE NOTED.
9. NO WETLANDS ARE PRESENT ON THE PROPERTY

FODS TRACKOUT CONTROL SYSTEM INSTALLATION GUIDE DETAIL

THE PURPOSE AND DESIGN OF THE FODS TRACKOUT CONTROL SYSTEM IS TO EFFECTIVELY REMOVE MOST SEDIMENT FROM VEHICLE TIRES AS THEY EXIT A DISTURBED LAND AREA ONTO A PAVED STREET. THIS MANUAL IS A PLATFORM FROM WHICH TO INSTALL A FODS TRACKOUT CONTROL SYSTEM. (NOTE: THIS IS NOT A ONE SIZE FITS ALL GUIDE.) THE INSTALLATION MAY NEED TO BE MODIFIED TO MEET THE EXISTING CONDITIONS, EXPECTATIONS, OR DEMANDS OF A PARTICULAR SITE. THIS IS A GUIDELINE. ULTIMATELY THE FODS TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED SAFELY WITH PROPER ANCHORING AND SIGNS PLACED AT THE ENTRANCE AND EXIT TO CAUTION USERS AND OTHERS.



TYPICAL ONE-LANE LAYOUT

INSTALLATION:

1. THE SITE WHERE THE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED SHOULD CORRESPOND TO BEST MANAGEMENT PRACTICES AS MUCH AS POSSIBLE. THE SITE WHERE FODS TRACKOUT CONTROL SYSTEM IS PLACED SHOULD ALSO MEET OR EXCEED THE LOCAL JURISDICTION OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
2. CALL FOR UTILITY LOCATES 3 BUSINESS DAYS IN ADVANCE OF THE OF FODS TRACKOUT CONTROL SYSTEM INSTALLATION FOR THE MARKING OF UNDERGROUND UTILITIES. CALL THE UTILITY NOTIFICATION CENTER AT 811.
3. ONCE THE SITE IS ESTABLISHED WHERE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED, ANY EXCESSIVE UNEVEN TERRAIN SHOULD BE LEVELED OUT OR REMOVED SUCH AS LARGE ROCKS, LANDSCAPING MATERIALS, OR SUDDEN ABRUPT CHANGES IN ELEVATION.
4. THE INDIVIDUAL MATS CAN START TO BE PLACED INTO POSITION. THE FIRST MAT SHOULD BE PLACED NEXT TO THE CLOSEST POINT OF EGRESS. THIS WILL ENSURE THAT THE VEHICLE WILL EXIT STRAIGHT FROM THE SITE ONTO THE PAVED SURFACE.
5. AFTER THE FIRST MAT IS PLACED DOWN IN THE PROPER LOCATION, MATS SHOULD BE ANCHORED TO PREVENT THE POTENTIAL MOVEMENT WHILE THE ADJOINING MATS ARE INSTALLED. ANCHORS SHOULD BE PLACED AT EVERY ANCHOR POINT (IF FEASIBLE) TO HELP MAINTAIN THE MAT IN ITS CURRENT POSITION.
6. AFTER THE FIRST MAT IS ANCHORED IN ITS PROPER PLACE, AN H BRACKET SHOULD BE PLACED AT THE END OF THE FIRST MAT BEFORE ANOTHER MAT IS PLACED ADJACENT TO THE FIRST MAT.
7. ONCE THE SECOND MAT IS PLACED ADJACENT TO THE FIRST MAT, MAKE SURE THE H BRACKET IS CORRECTLY SITUATED BETWEEN THE TWO MATS, AND SLIDE MATS TOGETHER.
8. NEXT THE CONNECTOR STRAPS SHOULD BE INSTALLED TO CONNECT THE TWO MATS TOGETHER.
9. UPON PLACEMENT OF EACH NEW MAT IN THE SYSTEM, THAT MAT SHOULD BE ANCHORED AT EVERY ANCHOR POINT TO HELP STABILIZE THE MAT AND ENSURE THE SYSTEM IS CONTINUOUS WITH NO GAPS IN BETWEEN THE MATS.
10. AFTER THE FIRST MAT IS ANCHORED IN ITS PROPER PLACE, AN H BRACKET SHOULD BE PLACED AT THE END OF THE FIRST MAT BEFORE ANOTHER MAT IS PLACED ADJACENT TO THE FIRST MAT.
11. SUCCESSIVE MATS CAN THEN BE PLACED TO CREATE THE FODS TRACKOUT CONTROL SYSTEM REPEATING THE ABOVE STEPS.

USE AND MAINTENANCE

1. VEHICLES SHOULD TRAVEL DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM AND NOT CUT ACROSS THE MATS.
2. DRIVERS SHOULD TURN THE WHEEL OF THEIR VEHICLES SUCH THAT THE VEHICLE WILL MAKE A SHALLOW S-TURN ROUTE DOWN THE LENGTH OF THE FODS TRACKOUT CONTROL SYSTEM.
3. MATS SHOULD BE CLEANED ONCE THE VOIDS BETWEEN THE PYRAMIDS BECOME FULL OF SEDIMENT. TYPICALLY THIS WILL NEED TO BE PERFORMED WITHIN TWO WEEKS AFTER A STORM EVENT. BRUSHING IS THE PREFERRED METHOD OF CLEANING, EITHER MANUALLY OR MECHANICALLY.
4. THE USE OF ICE MELT, ROCK SALT, SNOW MELT, DE-ICER, ETC. SHOULD BE UTILIZED AS NECESSARY DURING THE WINTER MONTHS AND AFTER A SNOW EVENT TO PREVENT ICE BUILDUP.

REMOVAL

1. REMOVAL OF FODS TRACKOUT CONTROL SYSTEM IS REVERSE ORDER OF INSTALLATION.
2. STARTING WITH THE LAST MAT, THE MAT THAT IS PLACED AT THE INNERMOST POINT OF THE SITE OR THE MAT FURTHEST FROM THE EXIT OR PAVED SURFACE SHOULD BE REMOVED FIRST.
3. THE ANCHORS SHOULD BE REMOVED.
4. THE CONNECTOR STRAPS SHOULD BE UNBOLTED AT ALL LOCATIONS IN THE FODS TRACKOUT CONTROL SYSTEM.
5. STARTING WITH THE LAST MAT IN THE SYSTEM, EACH SUCCESSIVE MAT SHOULD THEN BE MOVED AND LACKED FOR LOADING BY FORKLIFT OR EXCAVATOR ONTO A TRUCK FOR REMOVAL FROM THE SITE.

FIGURE V-19

STATE OF FLORIDA E&S DESIGNER & REVIEWER MANUAL, LATEST EDITION: JULY 2013

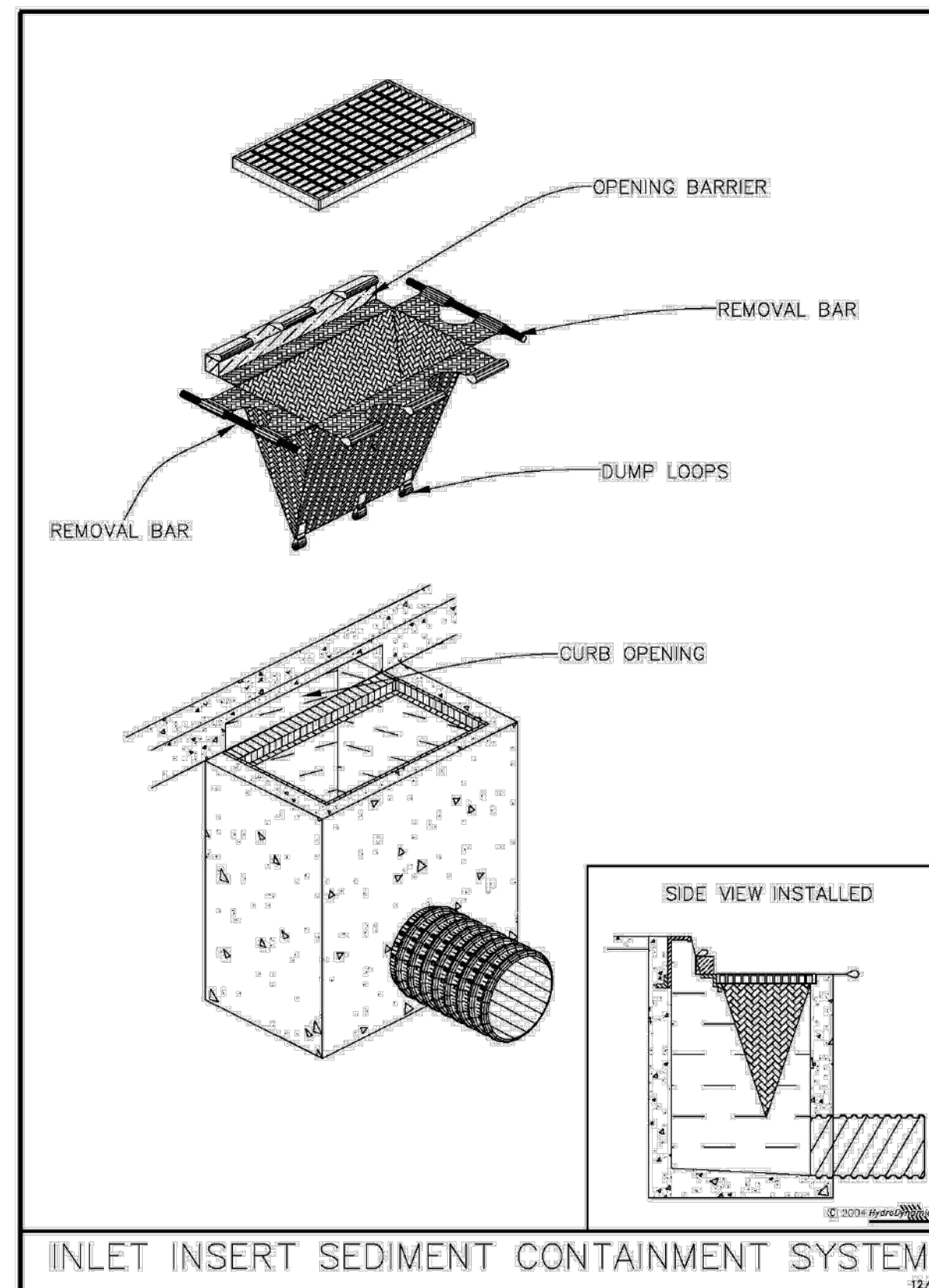


Figure V-18: Illustration of an Inlet Insert Sediment Containment System

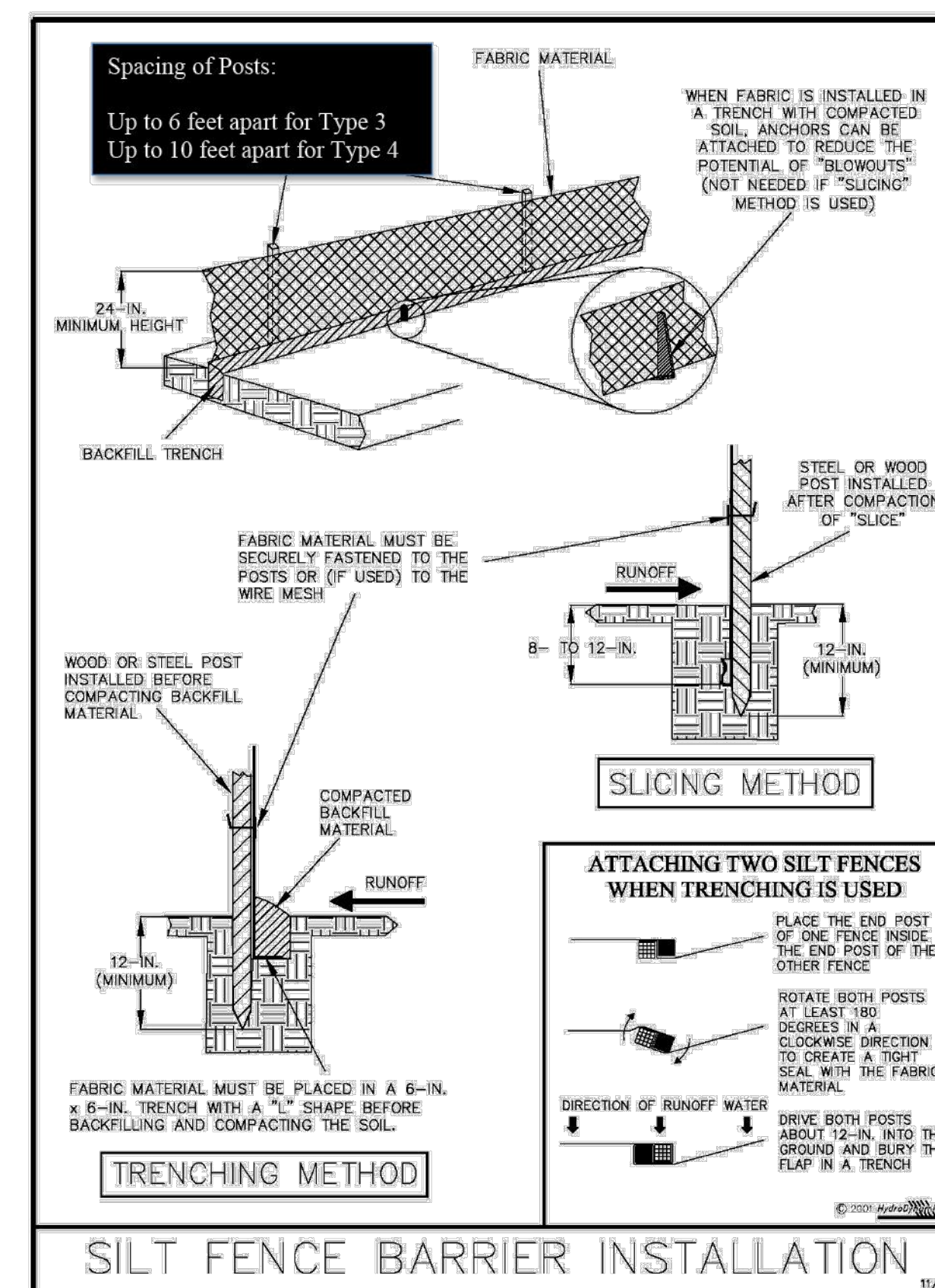


Figure V-2: Illustration of a Silt Fence Barrier

SOIL TRACKING PREVENTION

1. A SOIL TRACKING PREVENTION DEVICE (STPD) SHALL BE CONSTRUCTED AT THE LOCATION SHOWN ON THE PLANS. TRAFFIC FROM UNSTABILIZED AREAS OF CONSTRUCTION SHALL BE DIRECTED THRU THE STPD BARRIER. FLAGGING OR OTHER POSITIVE MEANS SHALL BE USED AS REQUIRED TO LIMIT & DIRECT VEHICULAR EGRESS ACROSS THE STPD.
2. THE CONTRACTOR MAY PROPOSE AN ALTERNATIVE TECHNIQUE TO MINIMIZE OFFSITE TRACKING OF SEDIMENT. THE ALTERNATIVE MUST BE REVIEWED & APPROVED BY THE ENGINEER &/OR CITY OF ORLANDO PRIOR TO ITS USE.
3. ALL MATERIALS SPILLED, DROPPED, OR TRACKED ONTO PUBLIC ROADS (INCLUDING THE STPD AGGREGATE & CONSTRUCTION MUD) SHALL BE REMOVED DAILY, OR MORE FREQUENTLY IF SO DIRECTED BY THE ENGINEER &/OR CITY OF ORLANDO.
4. AGGREGATES SHALL BE AS DESCRIBED IN SECTION 901 EXCLUDING 901-2.3. AGGREGATES SHALL BE FDOT SIZE #1. IF THIS SIZE IS NOT AVAILABLE, THE NEXT AVAILABLE SMALLER SIZE AGGREGATE MAY BE SUBSTITUTED WITH THE APPROVAL OF THE ENGINEER. SIZES CONTAINING EXCESSIVE SMALL AGGREGATE WILL TRACK OFF THE PROJECT & ARE UNSUITABLE.
5. THE STPD SHALL BE MAINTAINED IN A CONDITION THAT WILL ALLOW IT TO PERFORM ITS FUNCTION. TO PREVENT OFFSITE TRACKING, THE STPD SHALL BE RINSED (DAILY WHEN IN USE) TO MOVE ACCUMULATED MUD DOWNWARD THRU THE STONE. ADDITIONAL STABILIZATION OF THE VEHICULAR ROUTE LEADING TO THE STPD MAY BE REQUIRED TO LIMIT THE MUD TRACKED.

EROSION CONTROLS FOR NON STORMWATER DISCHARGES:

A) WASTE DISPOSAL:

WASTE MATERIAL:
ALL WASTE MATERIAL WILL BE COLLECTED AND STORED IN A METAL DUMPSTER WHICH WILL BE MAINTAINED BY A LICENSED SOLID WASTE MANAGEMENT COMPANY IN CITY OF ORLANDO. THE DUMPSTER WILL MEET ALL LOCAL, STATE AND FEDERAL REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED AS OFTEN AS NECESSARY TO NOT CAUSE ON-SITE DISPOSAL OF WASTE. THE TRASH WILL BE HAULED TO A LANDFILL APPROVED BY CITY OF ORLANDO. NO CONSTRUCTION WASTE WILL BE BURIED ON-SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE SUPERINTENDENT CONSTRUCTION TRAILER. THE INDIVIDUAL RESPONSIBLE FOR MANAGING THIS TASK WILL BE IDENTIFIED BY THE CONTRACTOR.

HAZARDOUS WASTE:

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN ACCORDANCE WITH THE APPLICABLE LOCAL, STATE & FEDERAL REGULATIONS. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR HAZARDOUS WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE SUPERINTENDENT CONSTRUCTION TRAILER. THE INDIVIDUAL RESPONSIBLE FOR MANAGING THIS TASK WILL BE IDENTIFIED BY THE CONTRACTOR.

SANITARY WASTE:

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR AS REQUIRED BY LOCAL REGULATION.

B) OFFSITE VEHICLE TRACKING:

A GRAVEL CONSTRUCTION ENTRANCE HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN.

SPECIFIC NOTES:

1. DEMOLITION LIMITS FOR SIDEWALKS, CURBS AND OTHER EXISTING IMPROVEMENTS ARE SHOWN BASED ON ENGINEER'S ESTIMATE OF WHAT IS NEEDED TO CONSTRUCT THE IMPROVEMENTS SHOWN. ANY DEMOLITION BEYOND THE LIMITS SHOWN DEEMED NECESSARY BY THE CONTRACTOR SHALL BE VERIFIED DURING THE BID PROCESS AND COORDINATED WITH OWNER AND LOCAL JURISDICTION. RESTORATION OF ALL AREAS IMPACTED BY THE CONSTRUCTION SHALL BE MADE AS PART OF THE BASE BID FOR THE PROJECT TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS.

DUST CONTROL & PREVENTION:

THE SURFACE AREA OF OPEN, RAW ERODIBLE SOILS EXPOSED BY CLEARING & GRUBBING OPERATIONS OR EXCAVATION & FILLING OPERATIONS SHALL BE LIMITED AS NEEDED TO MINIMIZE THE POTENTIAL OF DUST PRODUCTION. IN ADDITION:

1. ALL EXPOSED AREAS SHALL BE PROTECTED BY INSTALLING DUST CONTROL MEASURES SUCH AS STABILIZING EXPOSED SOILS USING VEGETATION, MULCHING, SPRAY-ON ADHESIVES, CALCIUM CHLORIDE, WET SUPPRESSION (WATERING) AND STONE/GRAVEL LAYERING AS APPLICABLE FOR THE PROJECT AND DEEMED NECESSARY BY THE CONTRACTOR TO CONTROL DUST.
2. ONSITE VEHICLE TRAFFIC SHOULD BE LIMITED TO A MAXIMUM 15 MPH SPEED, AND THE NUMBER AND ACTIVITY OF VEHICLES SHOULD BE CONTROLLED AT ANY GIVEN TIME.
3. A MOBILE UNIT SHOULD BE AVAILABLE TO APPLY WATER TO CONTROL DUST WHEN NEEDED.
4. COVERS SHALL BE PROVIDED FOR ALL HAUL TRUCKS TRANSPORTING MATERIALS THAT CONTRIBUTE TO DUST.
5. IF CHEMICAL STABILIZATION METHOD IS USED, THE CHEMICALS SHOULD BE APPROVED FOR USE BY THE APPROPRIATE REGULATORY AGENCIES AND SHALL NOT CREATE ANY ADVERSE IMPACTS TO STORMWATER, PLANT LIFE, WATER BODIES, GROUNDWATER, OR FISH AND WILDLIFE.

NPDES NOTE

A NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) IS REQUIRED FOR THE PROJECT, UNLESS OBTAINED BY THE OWNER, THE CONTRACTOR SHALL APPLY AND OBTAIN A NOI NPDES PRIOR TO START OF CONSTRUCTION ACTIVITIES.

DATE	REVISIONS	BY	CHECKED
02/20/23	PER CITY COMMENTS	JWM	GRC
01/17/23	PER CITY COMMENTS	JWM	GRC
11/1/22	REVISED PER CITY AND CLIENT COMMENTS	JWM	GRC

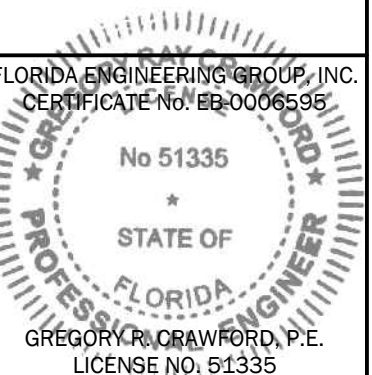
CONSTRUCTION PLANS
URBAN SQUARE LIVING
1625 AND 1633 MERCY DRIVE, ORLANDO,
FL
CITY OF ORLANDO

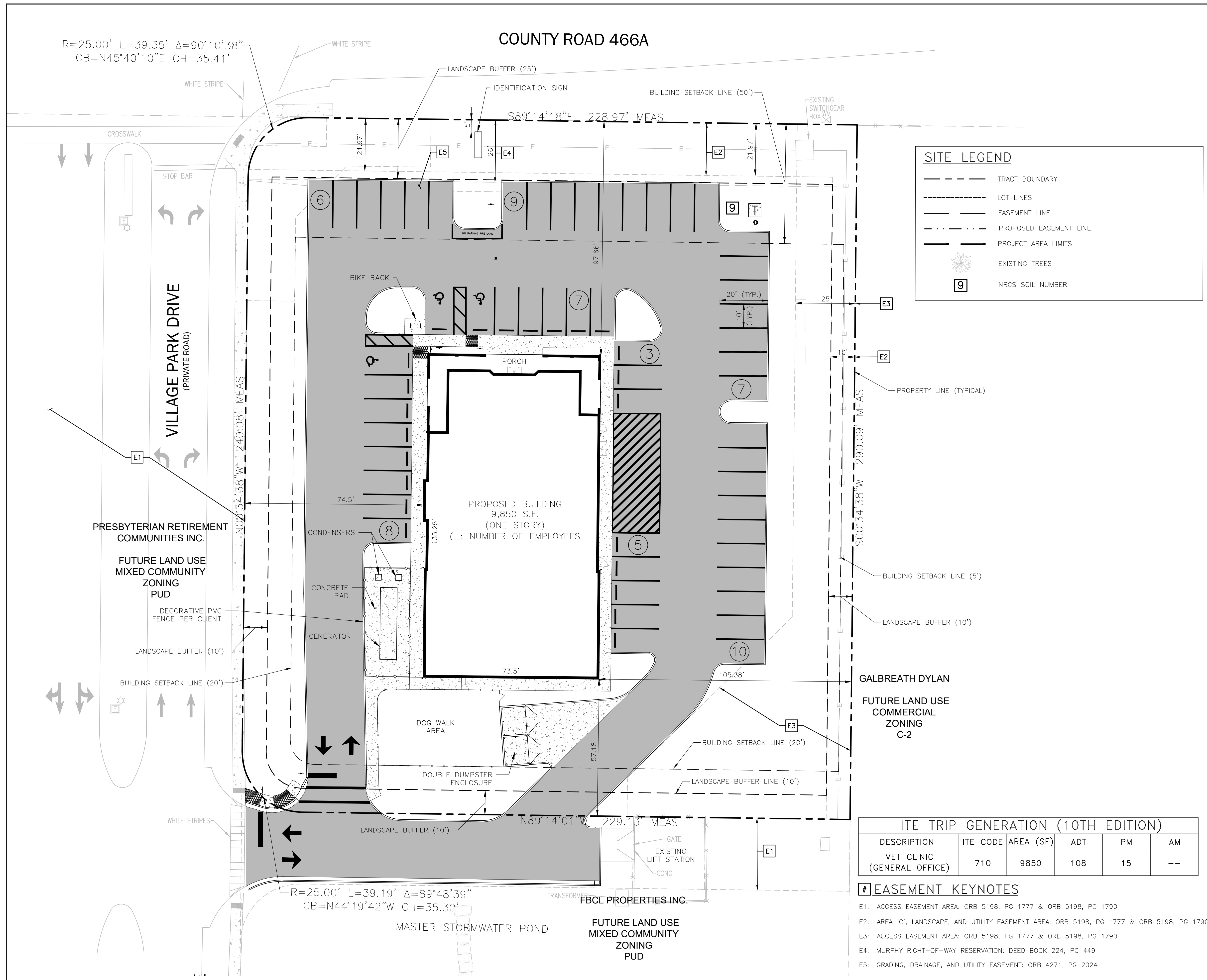


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STORMWATER POLLUTION PREVENTION PLAN (NOTES AND DETAILS)			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
CPN		GRC	GRC

PROJECT NO.	19-146	THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY: GREGORY R. CRAWFORD, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.
SCALE	NONE	
DATE	DECEMBER 21, 2022	
SHEET NO.	C-9	
SHEET	9	OF 32





SITE LEGEND

- TRACT BOUNDARY
- LOT LINES
- EASEMENT LINE
- PROPOSED EASEMENT LINE
- PROJECT AREA LIMITS
- ☼ EXISTING TREES
- 9 NRCS SOIL NUMBER

SITE DATA

PROPERTY LOCATION: COUNTY RD 466A, FRUITLAND PARK, FL
 PARCEL ID NO: 05-19-24-0010-000-00400

EXISTING PROPERTY ZONING: PUD
 PROPOSED PROPERTY ZONING: PUD

PROPERTY FUTURE LAND USE DESIGNATION: PLANNED UNIT DEVELOPMENT (PUD)
 EXISTING USE: VACANT
 PROPOSED USE: VET CLINIC
 TOTAL AREA: 1.686± ACRES
 PROJECT AREA: 1.875± ACRES

PROPOSED BUILDING: 9,850 S.F. (1 STORY)
 PROPOSED GROSS FLOOR AREA: 9,850 S.F. (1 STORY)

PROJECTED NUMBER OF EMPLOYEES: 10

BUILDING SETBACKS (REQUIRED)		BUILDING SETBACKS (PROPOSED)	
FRONT (NORTH)	50'	FRONT (NORTH)	97.66'
SIDE (WEST)	20'	SIDE (WEST)	74.50'
SIDE (EAST)	5'	SIDE (EAST)	105.38'
REAR (SOUTH)	20'	REAR (SOUTH)	57.18'

MAXIMUM ALLOWABLE BUILDING HEIGHT: 35'
 BUILDING HEIGHT (PROPOSED): <22'

BUILDING CONSTRUCTION TYPE
 TYPE V-B (V1), UNPROTECTED - FULLY SPRINKLERED

PARKING

TYPE	REQUIREMENT	PROVIDED
PARKING REQUIRED	PROPOSED BUILDING (1 SPACES PER 180 SF)	9,850/180 = 55 SPACES
TOTAL PARKING REQUIRED		55 SPACES
SPACES REQUIRED TO BE RESERVED FOR HANDICAP		3 SPACES
PARKING PROVIDED		
STANDARD PARKING SPACES		52 SPACES
HANDICAP PARKING		3 SPACES
TOTAL PARKING PROVIDED		55 SPACES

SITE AREA CALCULATIONS

	EXISTING	PROPOSED
BUILDING	0 S.F.	9,850 S.F.
DUMPSTER/PAVING/SIDEWALK	0 S.F.	33,135 S.F.
IMPERVIOUS AREA	0 S.F. 0.000 AC. 0.000 %	42,985 S.F. 0.987 AC. 58.54 %
PERVIOUS AREA	73,427 S.F. 1.686 AC. 100.00 %	30,442 S.F. 0.699 AC. 41.46 %
TOTAL SITE AREA	73,427 S.F. 1.686 AC. 100.00 %	73,427 S.F. 1.686 AC. 100.00 %

MINIMUM OPEN SPACE REQUIRED: 20%
 OPEN SPACE PROVIDED: 41.46%

ESTIMATED # OF EMPLOYEES: 15 TOTAL (5-7 PER SHIFT)

FLOOD ZONE
 FLOOD ZONE X PER FEMA F.I.R.M. PANEL 12069C0306E DATED: DECEMBER 18, 2012

SOILS 9 - CANDLER SAND, 5 TO 12 PERCENT SLOPES

WETLAND STATEMENT
 THERE ARE NO WETLANDS WITHIN THE PROJECT AREA.

HAZARDOUS MATERIALS STATEMENT
 DURING CONSTRUCTION, WHEN COMBUSTIBLES ARE BROUGHT ONTO THE SITE IN SUCH QUANTITIES AS DEEMED HAZARDOUS BY THE FIRE OFFICIAL, ACCESS ROADS & A SUITABLE TEMPORARY SUPPLY OF WATER ACCEPTABLE TO THE FIRE DEPARTMENT SHALL BE PROVIDED & MAINTAINED.

LIGHTING NOTE
 LIGHTING SHALL COMPLY WITH CITY OF FRUITLAND PARK COMMERCIAL DESIGN STANDARDS.

COMMERCIAL DESIGN STANDARDS NOTE
 THE PROJECT SHALL COMPLY WITH THE COMMERCIAL DESIGN STANDARDS SET FORTH IN THE CITY OF FRUITLAND PARK LAND DEVELOPMENT CODE.

DUMPSTER NOTE
 THE DUMPSTER SHALL HAVE OPAQUE GATING AND THE WALL SHALL HAVE A DECORATIVE CONCRETE CAP. WALL SHALL BE ARCHITECTURALLY COMPATIBLE MATERIAL TO THE PRINCIPLE BUILDING.

SIGNAGE NOTE
 BILLBOARDS & POLE SIGNS SHALL BE PROHIBITED. GROUND & FASCIA SIGNS SHALL BE PER CITY OF FRUITLAND PARK LAND DEVELOPMENT CODE.

ITE TRIP GENERATION (10TH EDITION)

DESCRIPTION	ITE CODE	AREA (SF)	ADT	PM	AM
VET CLINIC (GENERAL OFFICE)	710	9850	108	15	--

- EASEMENT KEYNOTES**
- E1: ACCESS EASEMENT AREA: ORB 5198, PG 1777 & ORB 5198, PG 1790
 - E2: AREA 'C', LANDSCAPE, AND UTILITY EASEMENT AREA: ORB 5198, PG 1777 & ORB 5198, PG 1790
 - E3: ACCESS EASEMENT AREA: ORB 5198, PG 1777 & ORB 5198, PG 1790
 - E4: MURPHY RIGHT-OF-WAY RESERVATION: DEED BOOK 224, PG 449
 - E5: GRADING, DRAINAGE, AND UTILITY EASEMENT: ORB 4271, PG 2024

DATE	BY	CHECKED	REVISIONS
02/20/23	JWM	GRC	PER CITY COMMENTS
01/17/23	JWM	GRC	PER CITY COMMENTS
11/1/22	JWM	GRC	REVISED PER CITY AND CLIENT COMMENTS

CONSTRUCTION PLANS
VETERINARY EMERGENCY CLINIC - VILLAGES
 COUNTY RD 466A, FRUITLAND PARK, FL
 CITY OF FRUITLAND PARK



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 Phone: 407-895-0324
 Fax: 407-895-0325
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OVERALL SITE PLAN

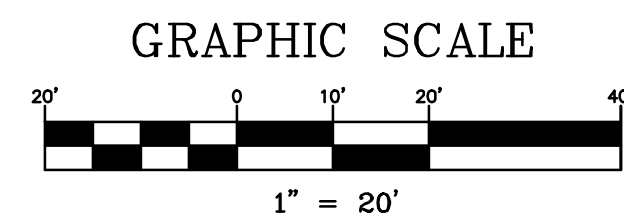
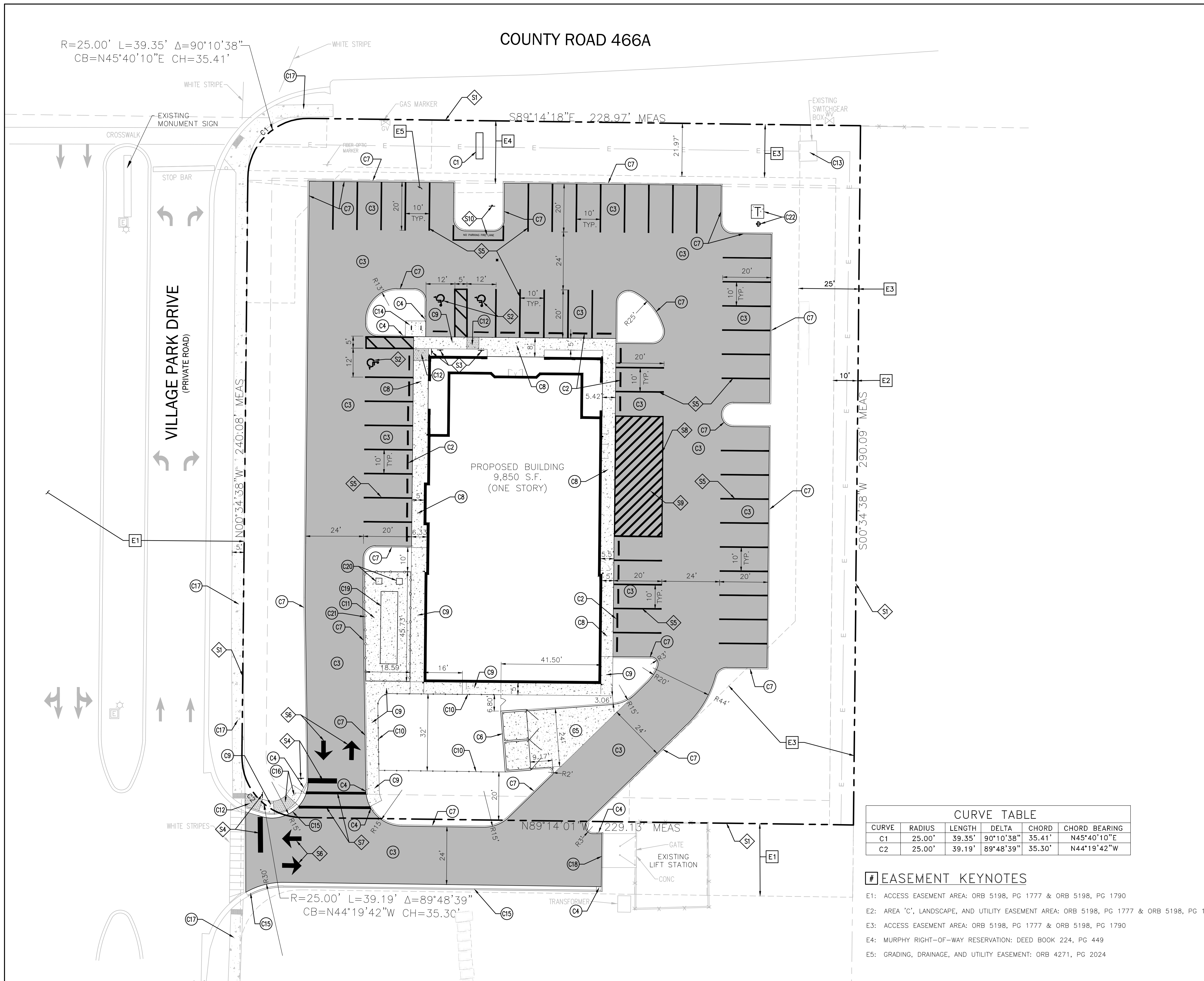
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
CPN	CPN	GRC	GRC

PROJECT NO.	21-066
SCALE	1" = 20'
DATE	MARCH 01, 2022
SHEET NO.	C-6
SHEET	6 OF 17

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FLORIDA PROFESSIONAL ENGINEER
 No 51335
 STATE OF FLORIDA
 GREGORY R. CRAWFORD, P.E.
 LICENSE NO. 52335

21-066 OverallSitePlan.dwg



SITE LEGEND

- TRACT BOUNDARY
- LOT LINES
- EASEMENT LINE
- - - - - PROPOSED EASEMENT LINE
- PROJECT AREA LIMITS
- ☼ EXISTING TREES

- SITE NOTES**
- ALL CURB RADII ARE TO BE 5.0', TYPICAL, UNLESS NOTED OTHERWISE. EXCEPTION: RADII @ ISLANDS ARE TO FIT ISLAND WIDTHS, UNLESS NOTED OTHERWISE.
 - LANDSCAPE ISLAND NOSE NOT TO EXCEED THE PARKING STALL DEPTH &/OR PROTRUDE INTO DRIVE ISLES, TYPICAL.
 - ALL DIMENSIONS ARE PARALLEL & PERPENDICULAR TO A BEARING OF N 00° 34' 38" E, UNLESS OTHERWISE INDICATED WITH A "*" OR BEARING.
 - LOWER CASE TEXT DENOTES SURVEY &/OR EXISTING CONDITION INFORMATION.
 - CONTRACTOR SHALL OBTAIN A SIGN PERMIT FOR THE PROPERTY PRIOR TO CONSTRUCTION OF PROPOSED SIGNS.

◆ SITE STRIPING & SIGNAGE KEYNOTES

- S1. PROPERTY BOUNDARY.
- S2. HANDICAP PARKING STALL TYPICAL.
- S3. HANDICAP SIGN TYPICAL.
- S4. 24" THERMOPLASTIC STOP BAR WITH R1-1 STOP SIGN TYPICAL.
- S5. F.D.O.T. 4" WHITE PAINT.
- S6. DIRECTIONAL ARROWS (THERMOPLASTIC) PER F.D.O.T. INDEX NO 17346, TYPICAL.
- S7. CROSSWALK 12" WHITE THERMOPLASTIC TYPICAL.
- S8. 6" YELLOW STRIP.
- S9. 6" YELLOW STRIP @ 45° @ 24" O.C.
- S10. FIRE MARKING AND SIGN PER FIRE MARSHALL.

(CONSTRUCT OFF SITE WALKS PER FDOT INDEX 522-001).

◆ SITE CONSTRUCTION KEYNOTES

- C1. MONUMENT SIGN (TO BE DESIGNED AND PERMITTED BY OTHERS) (SEE NOTE 5).
- C2. F.D.O.T. CONCRETE BUMPER GUARD TYPICAL.
- C3. ASPHALT PAVING MEDIUM DUTY TYPICAL.
- C4. 2' STRAIGHT CURB TRANSITION.
- C5. CONCRETE PAVING SECTION TYPICAL.
- C6. DOUBLE DUMPSTER ENCLOSURE (BY OTHERS. SEE ARCHITECTURAL PLAN).
- C7. HEAD CURB TYPICAL.
- C8. SIDEWALK WITH MONOLITHIC CURB TYPICAL.
- C9. CONCRETE SIDEWALK TYPICAL.
- C10. 6" VINYL COATED CHAIN LINK FENCE (BLACK).
- C11. EMERGENCY GENERATOR & A/C PAD (CONCRETE - 3000 PSI).
- C12. F.D.O.T. CURB RAMP CR-C TYPICAL.
- C13. EXISTING SWITCHGEAR BOX.
- C14. INVERTED U BIKE RACK.
- C15. F.D.O.T. TYPE F CURB.
- C16. F.D.O.T. CURB RAMP CR-D TYPICAL.
- C17. EXISTING 5' CONCRETE SIDEWALK.
- C18. FLUSH CURB TYPICAL.
- C19. ELECTRIC GENERATOR.
- C20. A/C RETURN UNITS.
- C21. 6' DECORATIVE PVC FENCE (STYLE DETERMINED BY OWNER).
- C22. POWER COMPANY PAD MOUNTED TRANSFORMER AND SERVICE POINT.

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD	CHORD BEARING
C1	25.00'	39.35'	90°10'38"	35.41'	N45°40'10"E
C2	25.00'	39.19'	89°48'39"	35.30'	N44°19'42"W

◆ EASEMENT KEYNOTES

- E1: ACCESS EASEMENT AREA: ORB 5198, PG 1777 & ORB 5198, PG 1790
- E2: AREA 'C', LANDSCAPE, AND UTILITY EASEMENT AREA: ORB 5198, PG 1777 & ORB 5198, PG 1790
- E3: ACCESS EASEMENT AREA: ORB 5198, PG 1777 & ORB 5198, PG 1790
- E4: MURPHY RIGHT-OF-WAY RESERVATION: DEED BOOK 224, PG 449
- E5: GRADING, DRAINAGE, AND UTILITY EASEMENT: ORB 4271, PG 2024

DATE	BY	CHECKED	REVISIONS
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01/17/23	JWM	GRC	PER CITY COMMENTS
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CONSTRUCTION PLANS
VETERINARY EMERGENCY CLINIC - VILLAGES
 COUNTY RD 466A, FRUITLAND PARK, FL
 CITY OF FRUITLAND PARK



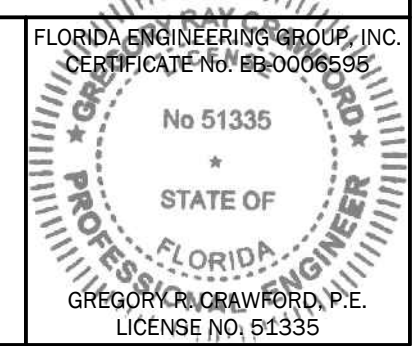
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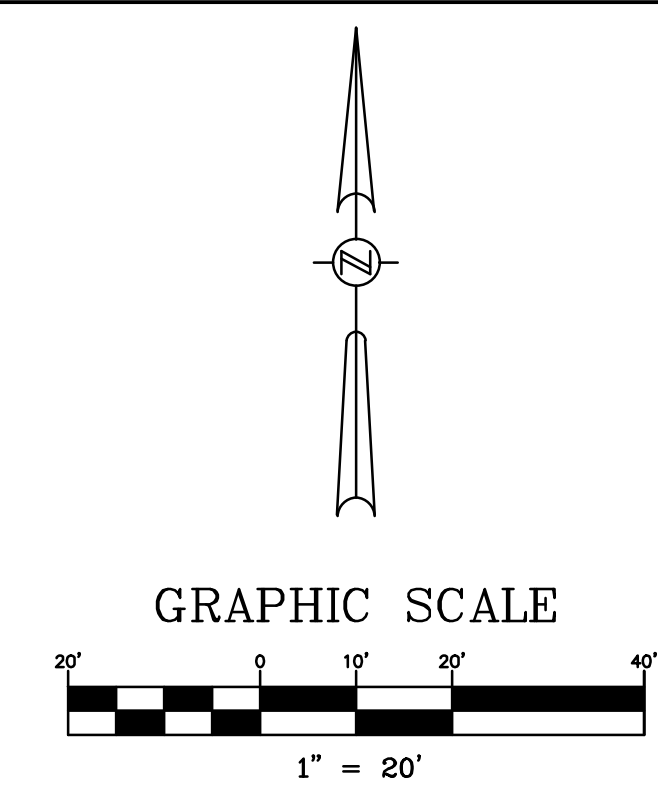
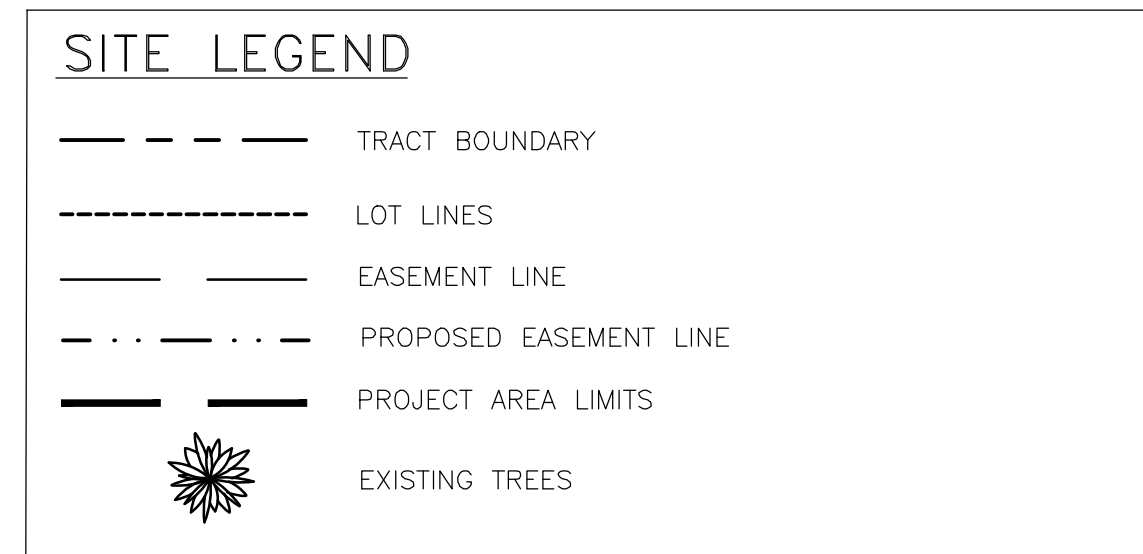
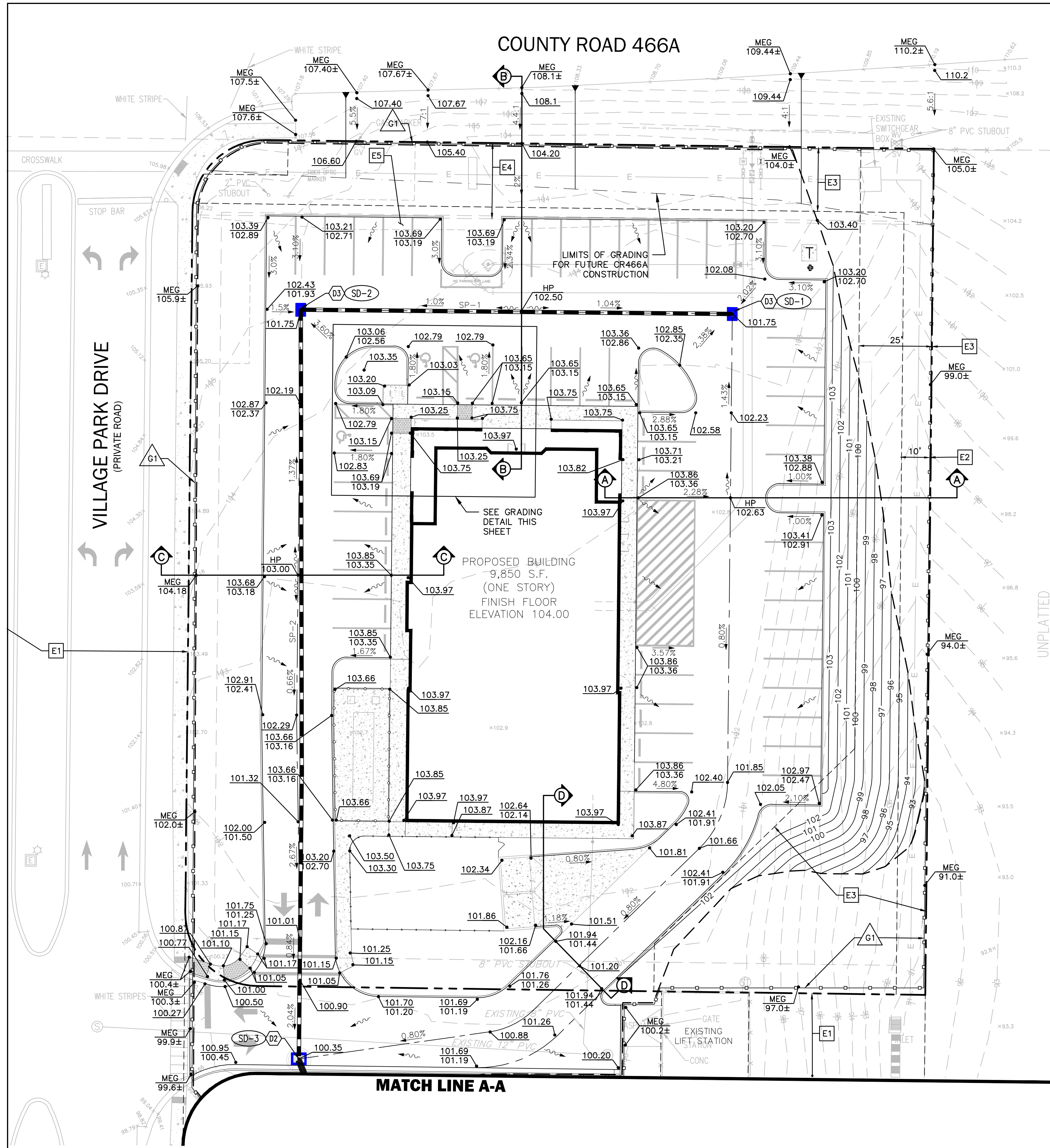
SITE GEOMETRY PLAN

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
CPN	CPN	GRC	GRC

PROJECT NO.	21-066
SCALE	1" = 20'
DATE	MARCH 01, 2022
SHEET NO.	C-7
SHEET	7 OF 17

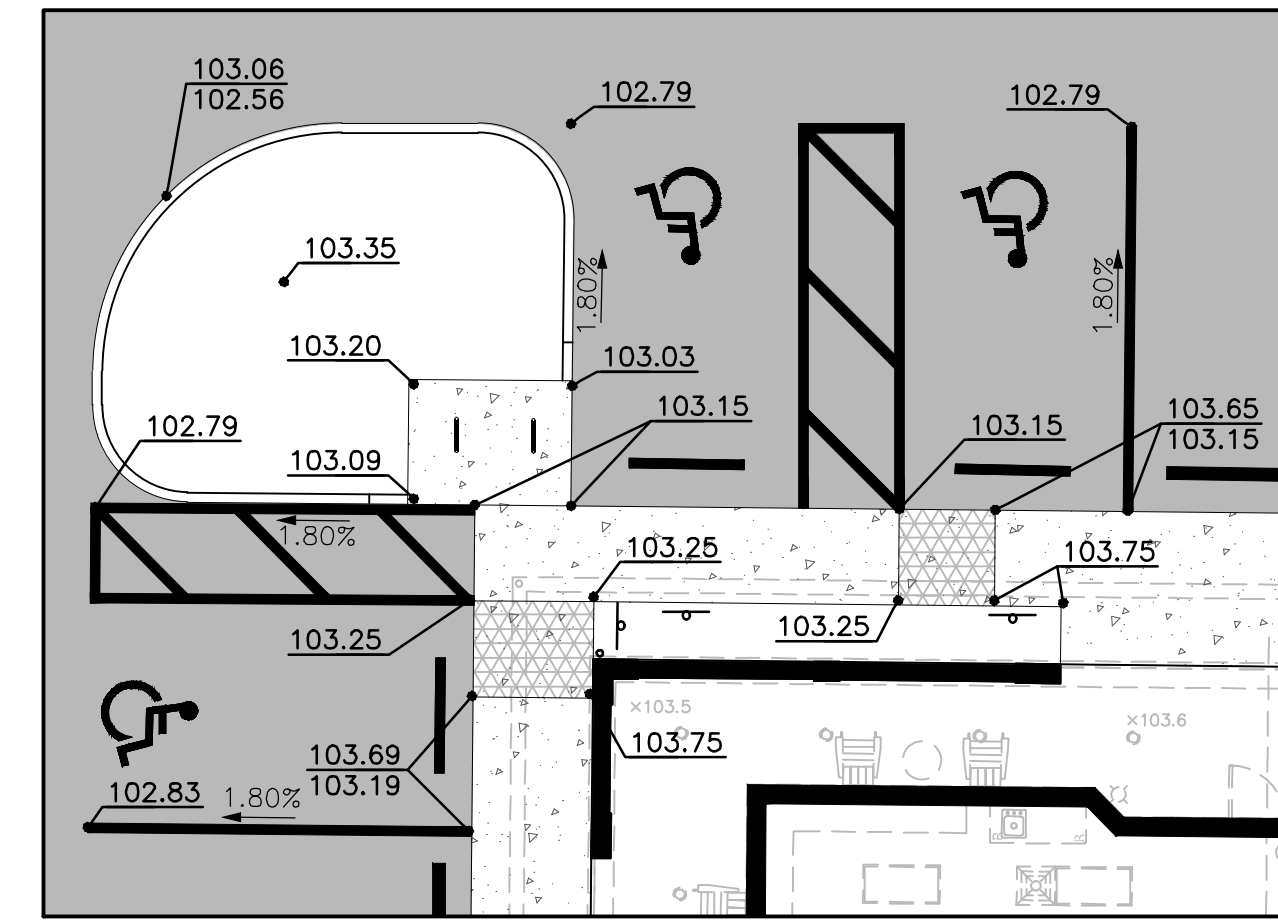
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STORM DRAINAGE PIPE CHART					
DESIGNATION	PIPE LENGTH (LINEAR FEET)	PIPE SIZE & TYPE	SLOPE	FROM STRUCTURE NUMBER	TO STRUCTURE NUMBER
SP-1	148	18" R.C.P.	0.35%	SD-1	SD-2
SP-2	258	18" R.C.P.	1.00%	SD-2	SD-3
SP-3	106	24" R.C.P.	0.20%	SD-3	MES-1

SD-1 TYPE 'C' INLET PER F.D.O.T. INDEX 425-052 TOP ELEV. 101.75 INV. ELEV. W 97.00	SD-2 TYPE 'C' INLET PER F.D.O.T. INDEX 425-052 TOP ELEV. 101.75 INV. ELEV. E 96.48 INV. ELEV. S 96.48
SD-3 TYPE 'D' INLET W/ 7' DIA. TYPE 'J' MANHOLE PER F.D.O.T. INDEX 452-052 TOP ELEV. 100.35 INV. ELEV. N 93.90 INV. ELEV. SE 80.21	MES-1 MITERED END SECTION (4:1) PER F.D.O.T. INDEX 430-022 INV. ELEV. NW 80.00

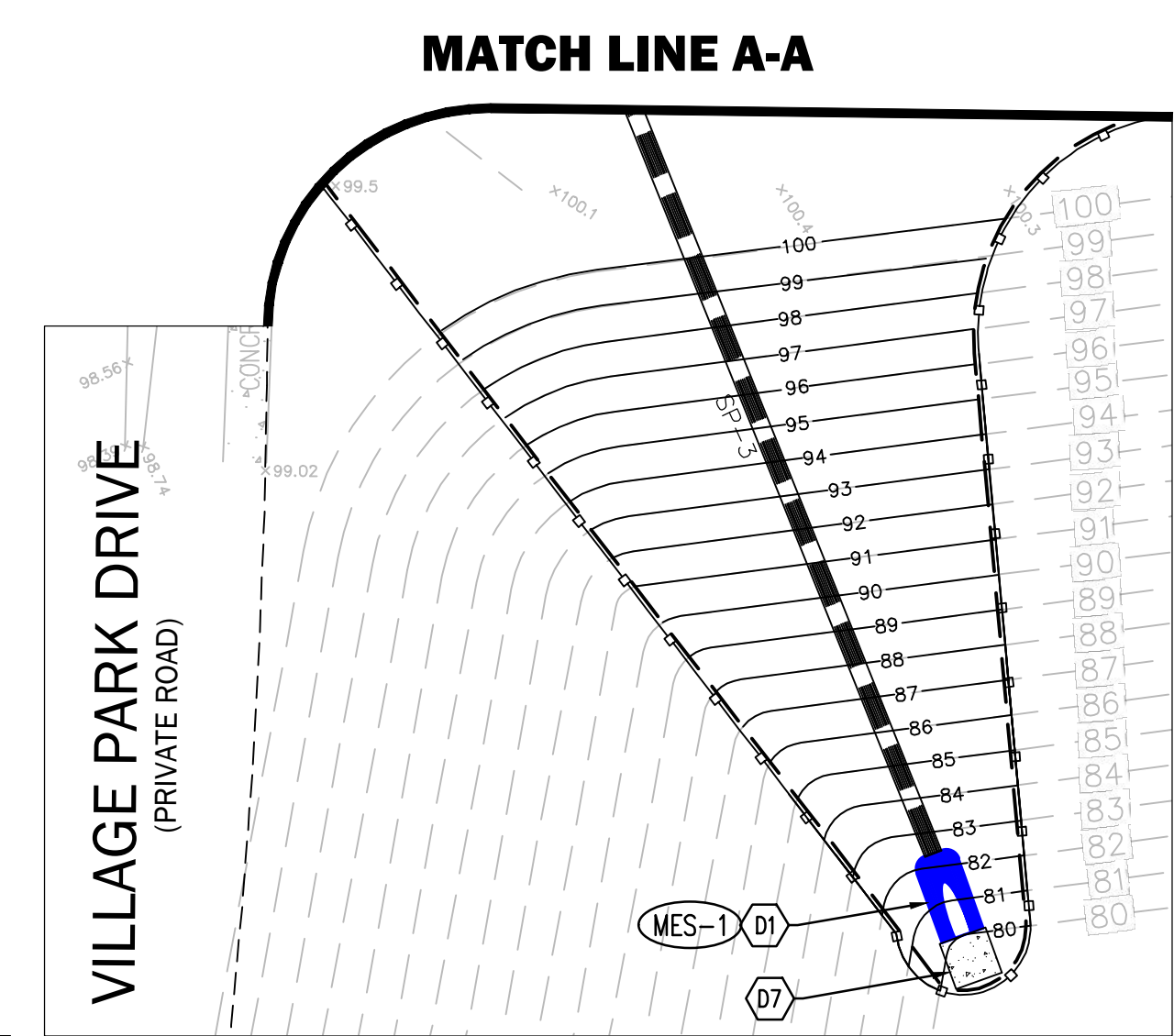


GRADING DETAIL
SCALE: 1" = 10'

A CROSS SECTIONS
1. SECTIONS NOT SHOWN ON THIS SHEET ARE LOCATED ON SHEET C-11 AND SUBSEQUENT SHEETS.

SITE DRAINAGE KEYNOTES
 D1. MITERED END SECTION PER F.D.O.T. INDEX 430-022, TYPICAL.
 D2. TYPE "D" INLET RISER WITH 7' DIA. TYPE "J" MANHOLE PER F.D.O.T. INDEX 425-052, TYPICAL.
 D3. TYPE "C" INLET PER F.D.O.T. INDEX 425-052, TYPICAL.
 D4. 6" PVC CLEAN-OUT.
 D5. 6" INSERT A TEE, 6" HP TO 15" RCP.
 D6. DOWNSPOUT. SEE ARCHITECTURAL PLANS FOR SIZE AND LOCATION. CONNECT WITH WATERTIGHT ADAPTOR.
 D7. 5.5' x 5.5' CONCRETE SPLASH PAD.
 D8. TYPE "D" MANHOLE PER F.D.O.T. INDEX 425-010, TYPICAL.

EASEMENT KEYNOTES
 E1: ACCESS EASEMENT AREA: ORB 5198, PG 1777 & ORB 5198, PG 1790
 E2: AREA 'C' LANDSCAPE AND UTILITY EASEMENT AREA: ORB 5198, PG 1777 & ORB 5198, PG 1790
 E3: ACCESS EASEMENT AREA: ORB 5198, PG 1777 & ORB 5198, PG 1790
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DATE	BY	CHECKED	REVISIONS
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CONSTRUCTION PLANS
 VETERINARY EMERGENCY CLINIC - VILLAGES
 COUNTY RD 466A, FRUITLAND PARK, FL
 CITY OF FRUITLAND PARK

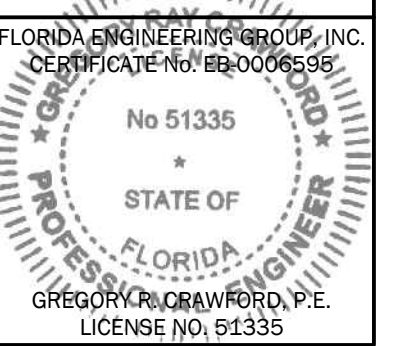


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SITE PAVING, GRADING AND DRAINAGE PLAN			
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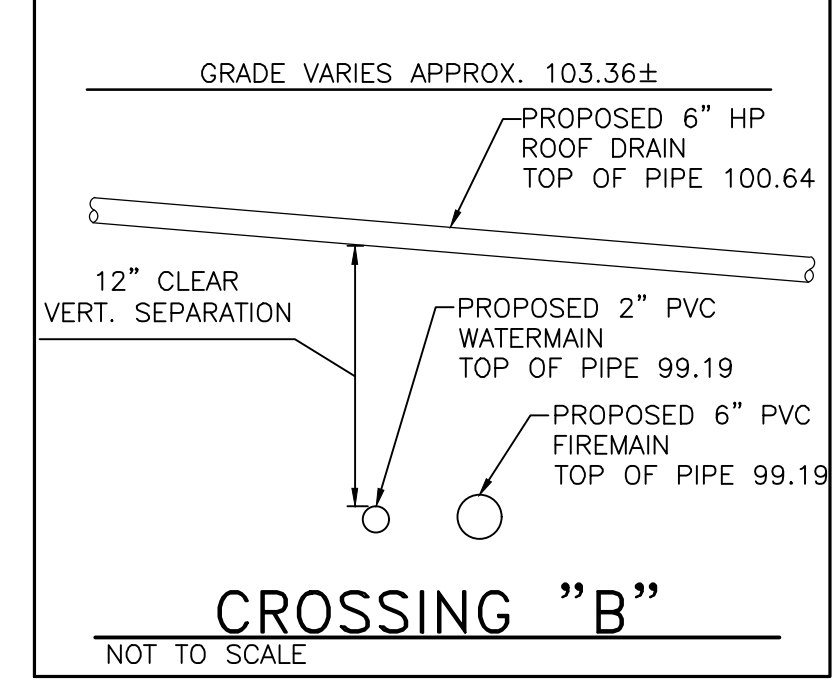
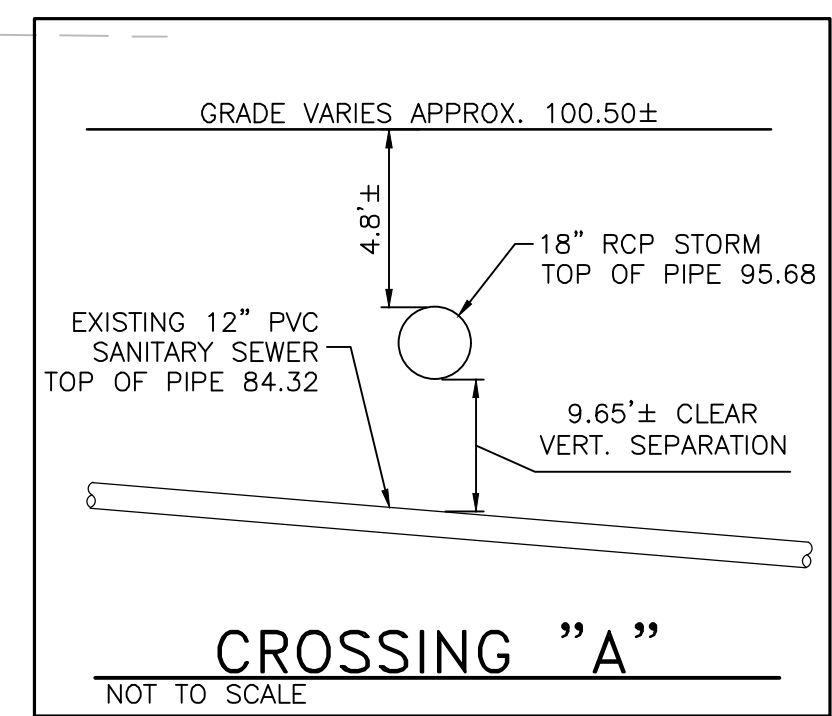
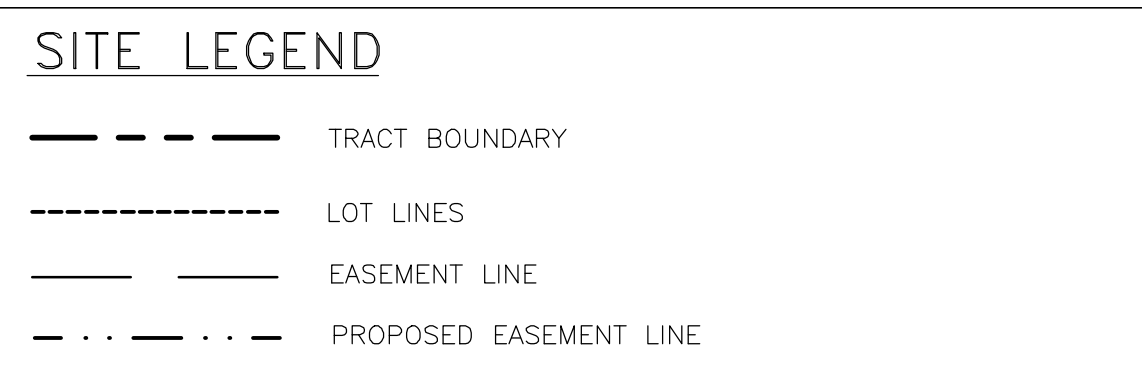
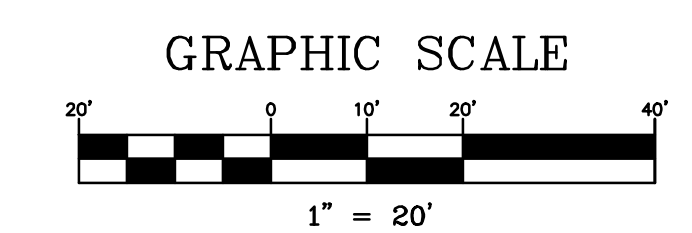
PROJECT NO.	21-066
SCALE	1" = 20'
DATE	MARCH 01, 2022
SHEET NO.	C-8
SHEET	8 OF 17

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COUNTY ROAD 466A

NEEDED FIRE FLOW
 LARGEST UNDIVIDED FLOOR AREA 9,850 S.F.
 CONSTRUCTION TYPE TYPE VB (V (000)), UNPROTECTED - FULLY SPRINKLERED
 NEEDED FIRE FLOW 2,750 GPM
 FIRE HYDRANTS REQUIRED: 688 GPM (USE 1,000 GPM); W/75% CREDIT FOR SPRINKLERS
 FIRE HYDRANTS PROVIDED: 1 HYDRANT
 1 PROPOSED
 *PER CHAPTER 18 - NFPA 1 (2021 EDITION)



UTILITY NOTES

- ON-SITE UTILITIES ARE TO BE PRIVATELY OWNED AND MAINTAINED.
- GATE VALVES SHALL NOT BE LOCATED IN CURBS.

UTILITY KEYNOTES

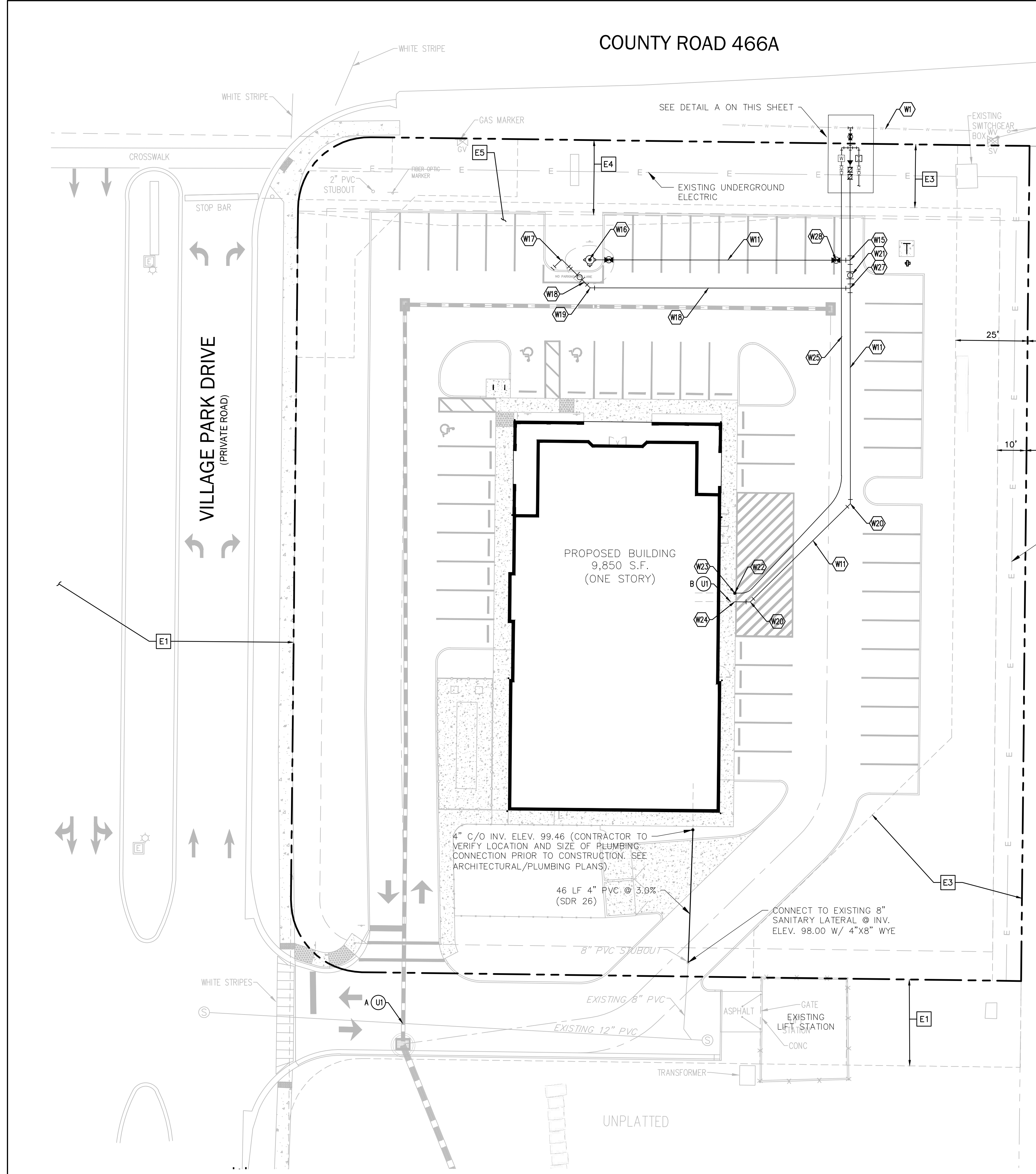
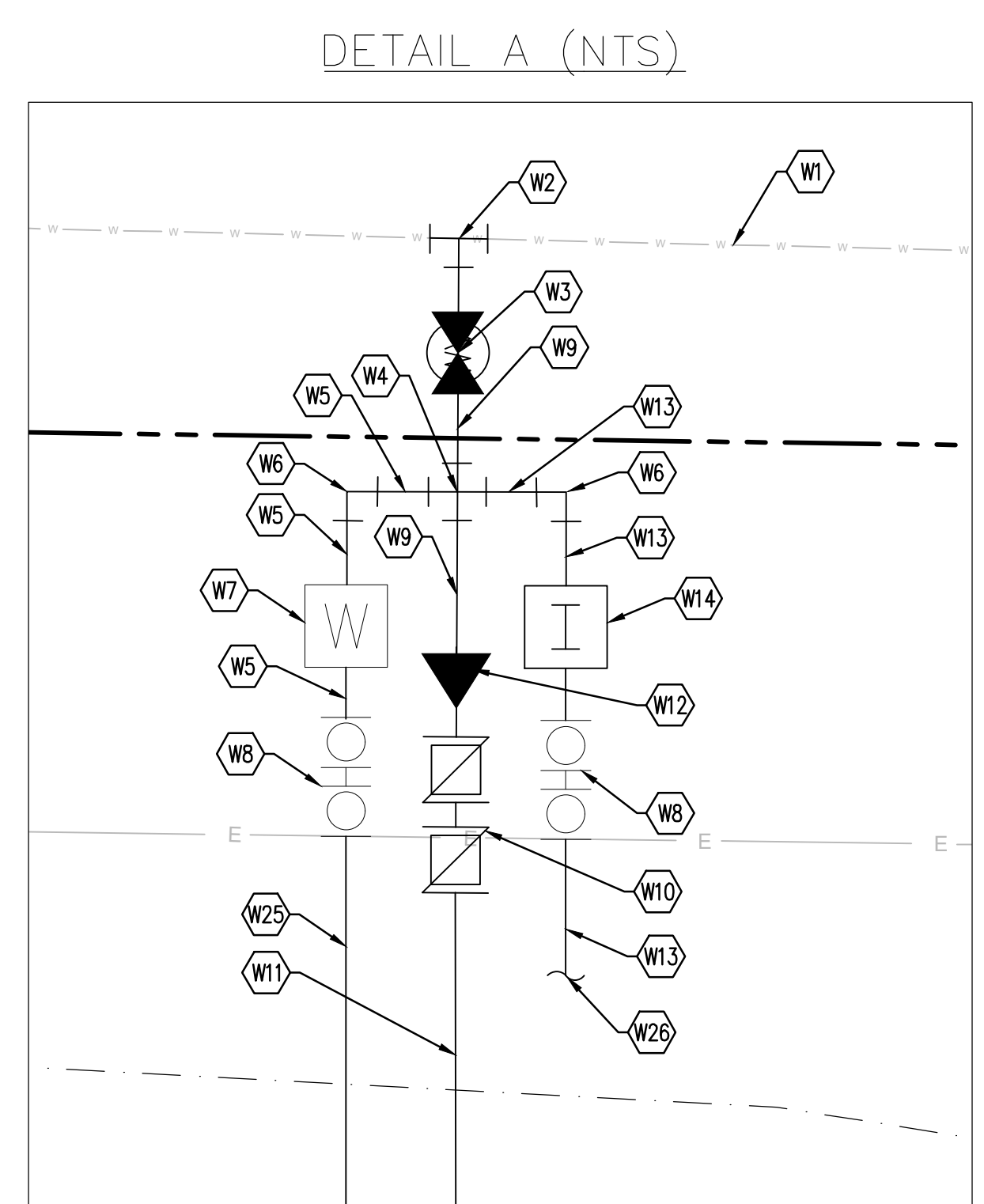
- U1. UTILITY CROSSING DENOTED BY LETTER ARE SHOWN ON THIS SHEET.

WATER UTILITY KEYNOTES

- W1. EXISTING 16" WATER MAIN.
- W2. 8"x16" TAPPING SLEEVE AND VALVE.
- W3. 8" GATE VALVE
- W4. 2"x8" CROSS.
- W5. 2" PVC WATER SERVICE LINE.
- W6. 2" 90° BEND
- W7. 1" WATER METER.
- W8. 2" RPZ BACKFLOW PREVENTER.
- W9. 8" PVC (C-900 DR-18) WATER MAIN.
- W10. 6" DOUBLE DETECTOR CHECK VALVE.
- W11. 6" PVC (C-900 DR-14) FIRE MAIN.
- W12. 8"x6" REDUCER.
- W13. 2" PVC IRRIGATION SERVICE LINE.
- W14. 1" IRRIGATION METER.
- W15. 6"x6" TEE.
- W16. FIRE HYDRANT ASSEMBLY W/ 6" GATE VALVE.
- W17. FIRE DEPARTMENT CONNECTION W/ 4" CHECK VALVE.
- W18. 4" PVC (C-900 DR-14) FIRE MAIN .
- W19. 4" 45° BEND.
- W20. 6" 45° BEND.
- W21. 6" CHECK VALVE.
- W22. 2" CURB STOP.
- W23. CONNECT TO BUILDING. (CONTRACTOR TO VERIFY LOCATION AND SIZE OF PLUMBING CONNECTION PRIOR TO CONSTRUCTION. SEE ARCHITECTURAL/PLUMBING PLANS).
- W24. CONNECT TO BUILDING. (CONTRACTOR TO VERIFY LOCATION AND SIZE OF PLUMBING CONNECTION PRIOR TO CONSTRUCTION. SEE ARCHITECTURAL/PLUMBING PLANS).
- W25. 2" PE WATER SERVICE LINE.
- W26. SEE IRRIGATION PLAN FOR CONTINUATION.
- W27. 6"x4" TEE.
- W28. 6" GATE VALVE.

EASEMENT KEYNOTES

- E1: ACCESS EASEMENT AREA: ORB 5198, PG 1777 & ORB 5198, PG 1790
- E2: AREA 'C' LANDSCAPE AND UTILITY EASEMENT AREA: ORB 5198, PG 1777 & ORB 5198, PG 1790
- E3: ACCESS EASEMENT AREA: ORB 5198, PG 1777 & ORB 5198, PG 1790
- E4: MURPHY RIGHT-OF-WAY RESERVATION: DEED BOOK 224, PG 449
- E5: GRADING, DRAINAGE, AND UTILITY EASEMENT: ORB 4271, PG 2024



DATE	BY	CHECKED	REVISIONS
02/20/23	JWM	GRC	PER CITY COMMENTS
01/17/23	JWM	GRC	PER CITY COMMENTS
11/1/22	JWM	GRC	REVISED PER CITY AND CLIENT COMMENTS

CONSTRUCTION PLANS
VETERINARY EMERGENCY CLINIC - VILLAGES
 COUNTY RD 466A, FRUITLAND PARK, FL
 CITY OF FRUITLAND PARK



5127 S. Orange Avenue, Suite 200
 Orlando, FL 32809
 Phone: 407-895-0324
 Fax: 407-895-0325
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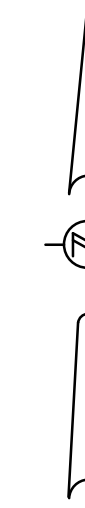
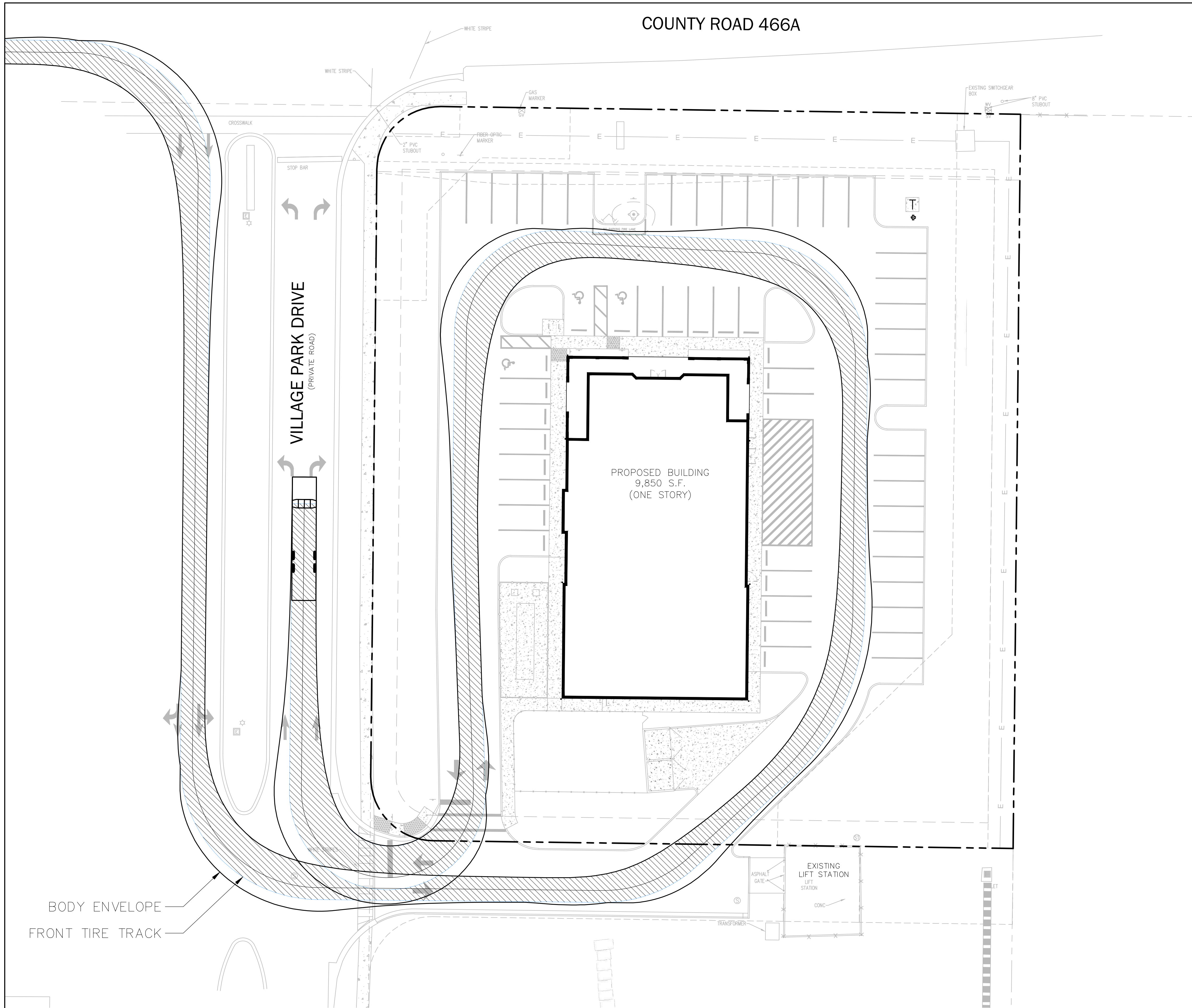
SITE UTILITY PLAN			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
CPN	CPN	GRC	GRC

PROJECT NO.	21-066
SCALE	1" = 20'
DATE	MARCH 01, 2022
SHEET NO.	C-9
SHEET	9 OF 17

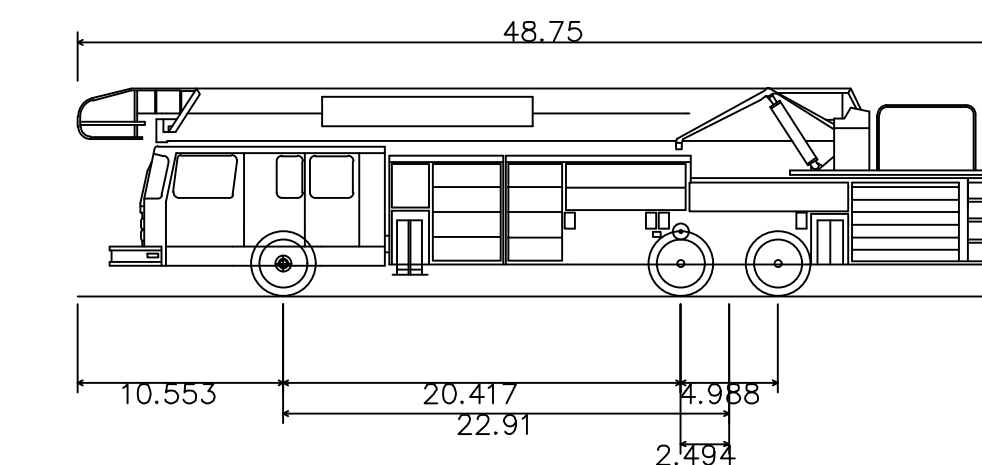
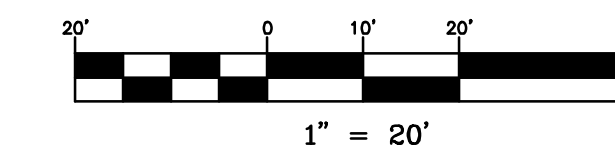
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COUNTY ROAD 466A



GRAPHIC SCALE



The Villages – Aerial
 Overall Length 48.750ft
 Overall Width 9.500ft
 Overall Body Height 10.694ft
 Min Body Ground Clearance 1.125ft
 Track Width 9.500ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 36.167ft

BODY ENVELOPE
 FRONT TIRE TRACK

DATE	REVISIONS	BY	CHECKED
02/20/23	PER CITY COMMENTS	JWM	GRC
01/17/23	PER CITY COMMENTS	JWM	GRC
11/1/22	REVISED PER CITY AND CLIENT COMMENTS	JWM	GRC

CONSTRUCTION PLANS
 VETERINARY EMERGENCY CLINIC -
 VILLAGES
 COUNTY RD 466A, FRUITLAND PARK, FL
 CITY OF FRUITLAND PARK



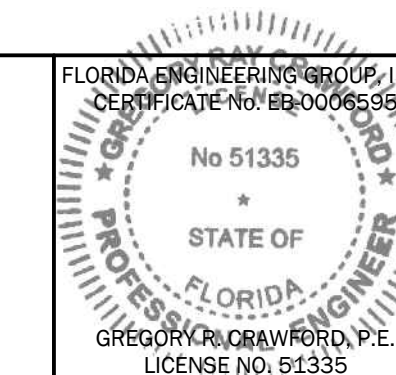
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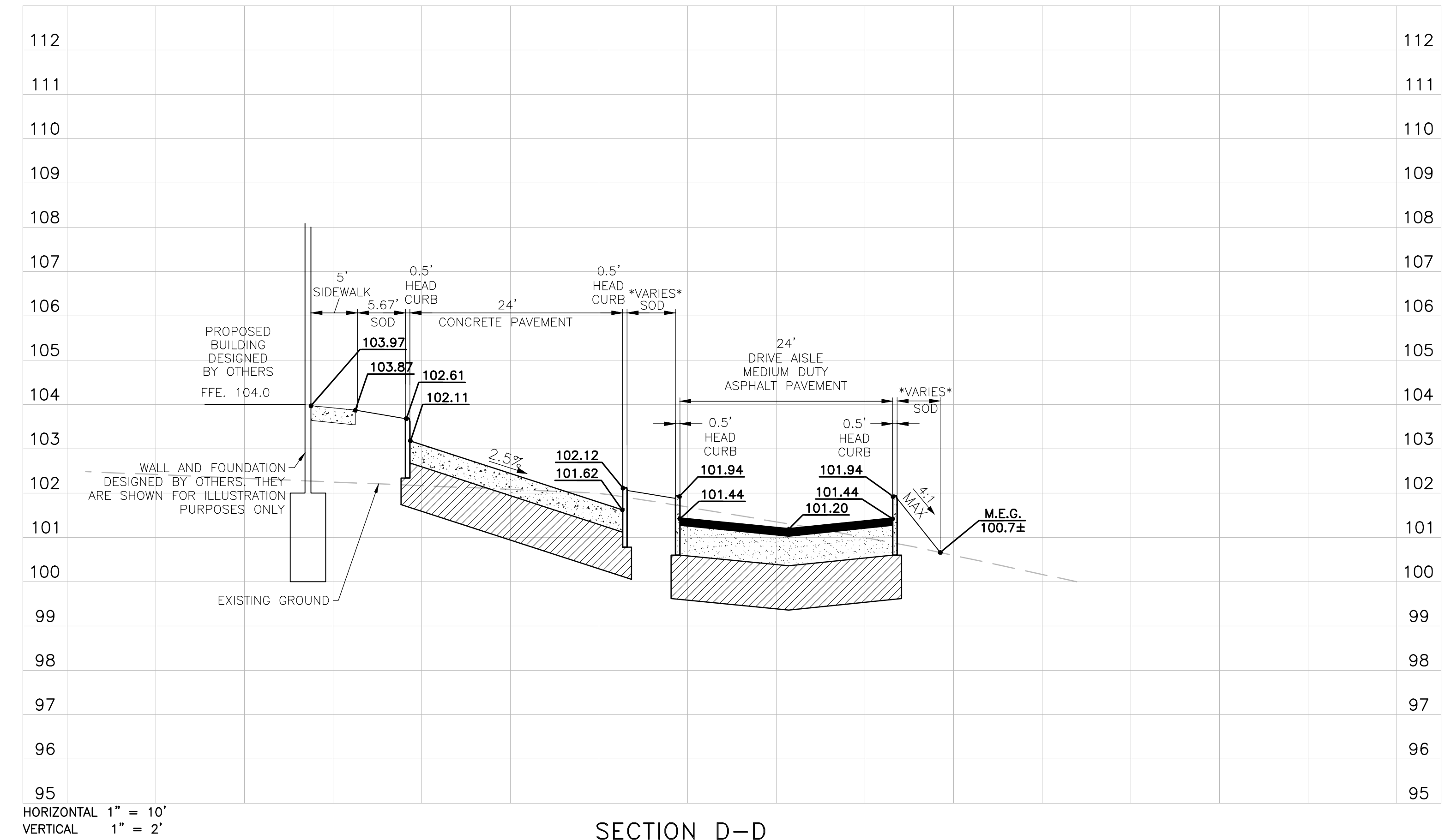
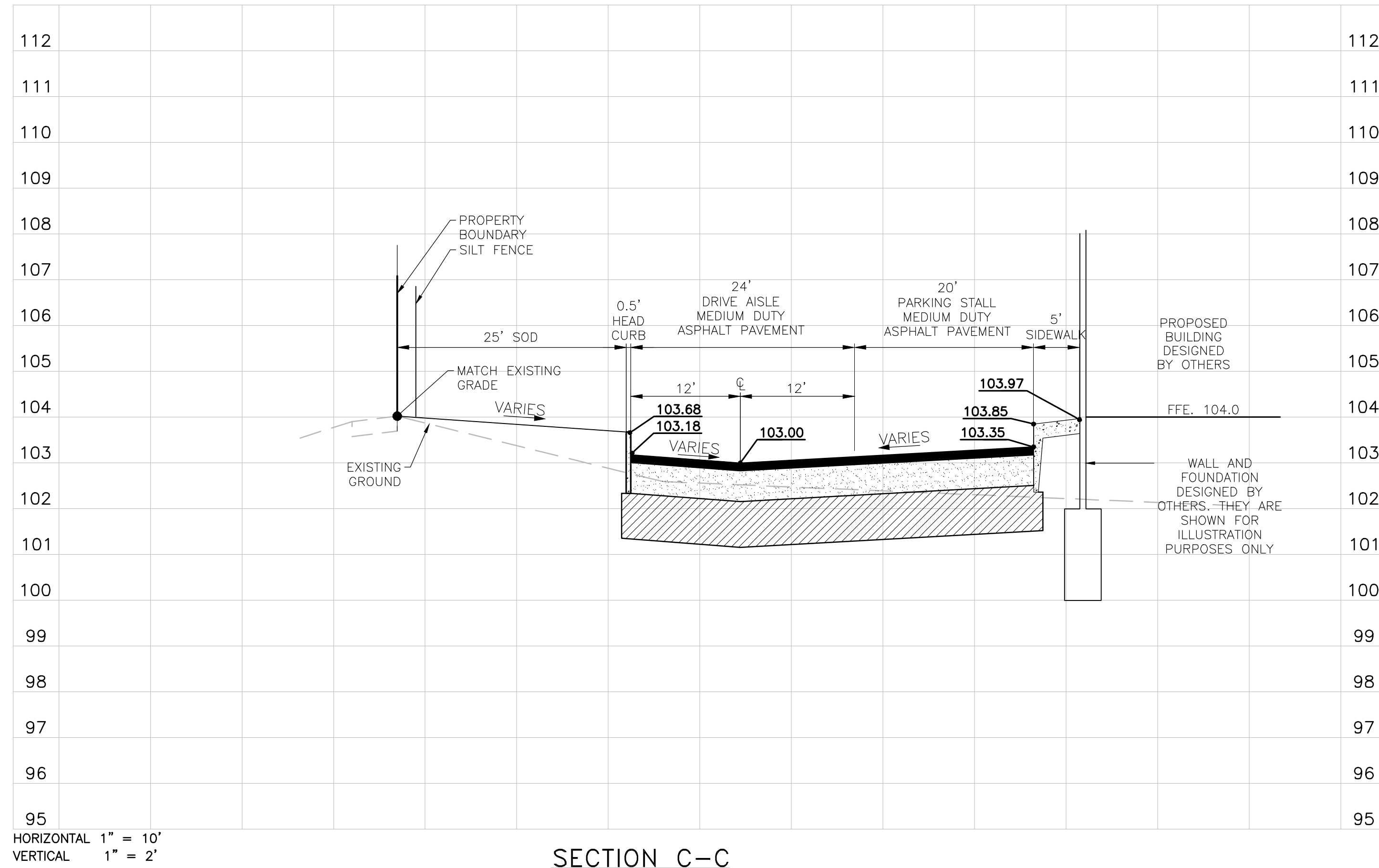
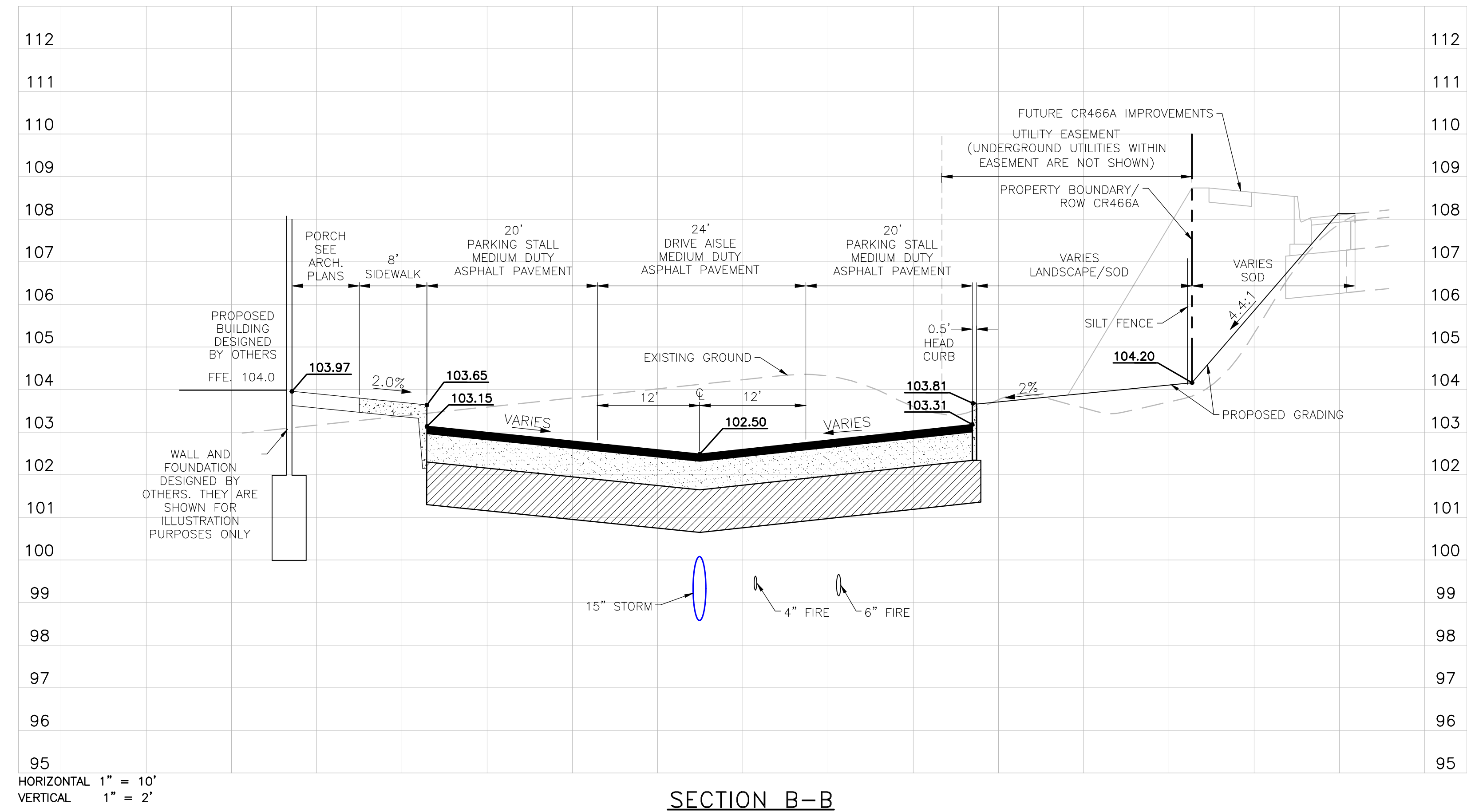
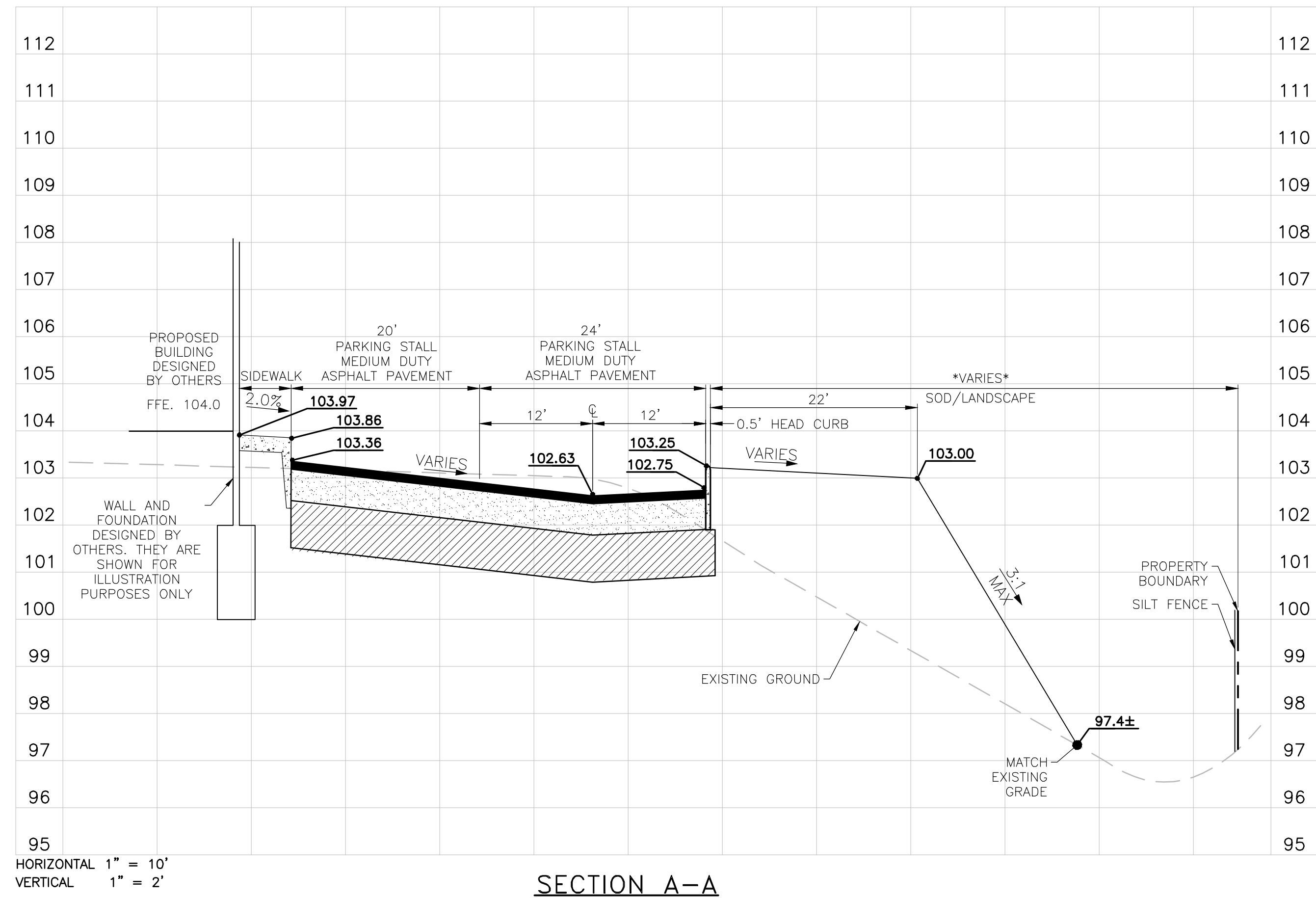
VEHICLE TRACKING

DESIGNED BY CPN	DRAWN BY CPN	CHECKED BY GRC	APPROVED BY GRC
--------------------	-----------------	-------------------	--------------------

PROJECT NO. 21-066
SCALE 1" = 20'
DATE MARCH 01, 2022
SHEET NO. C-10
SHEET 10 OF 17

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DATE	BY	CHECKED	REVISIONS
02/20/23	JWM	GRC	PER CITY COMMENTS
01/17/23	JWM	GRC	PER CITY COMMENTS
11/1/22	JWM	GRC	REVISED PER CITY AND CLIENT COMMENTS

CONSTRUCTION PLANS
VETERINARY EMERGENCY CLINIC -
VILLAGES
COUNTY RD 466A, FRUITLAND PARK, FL
CITY OF FRUITLAND PARK



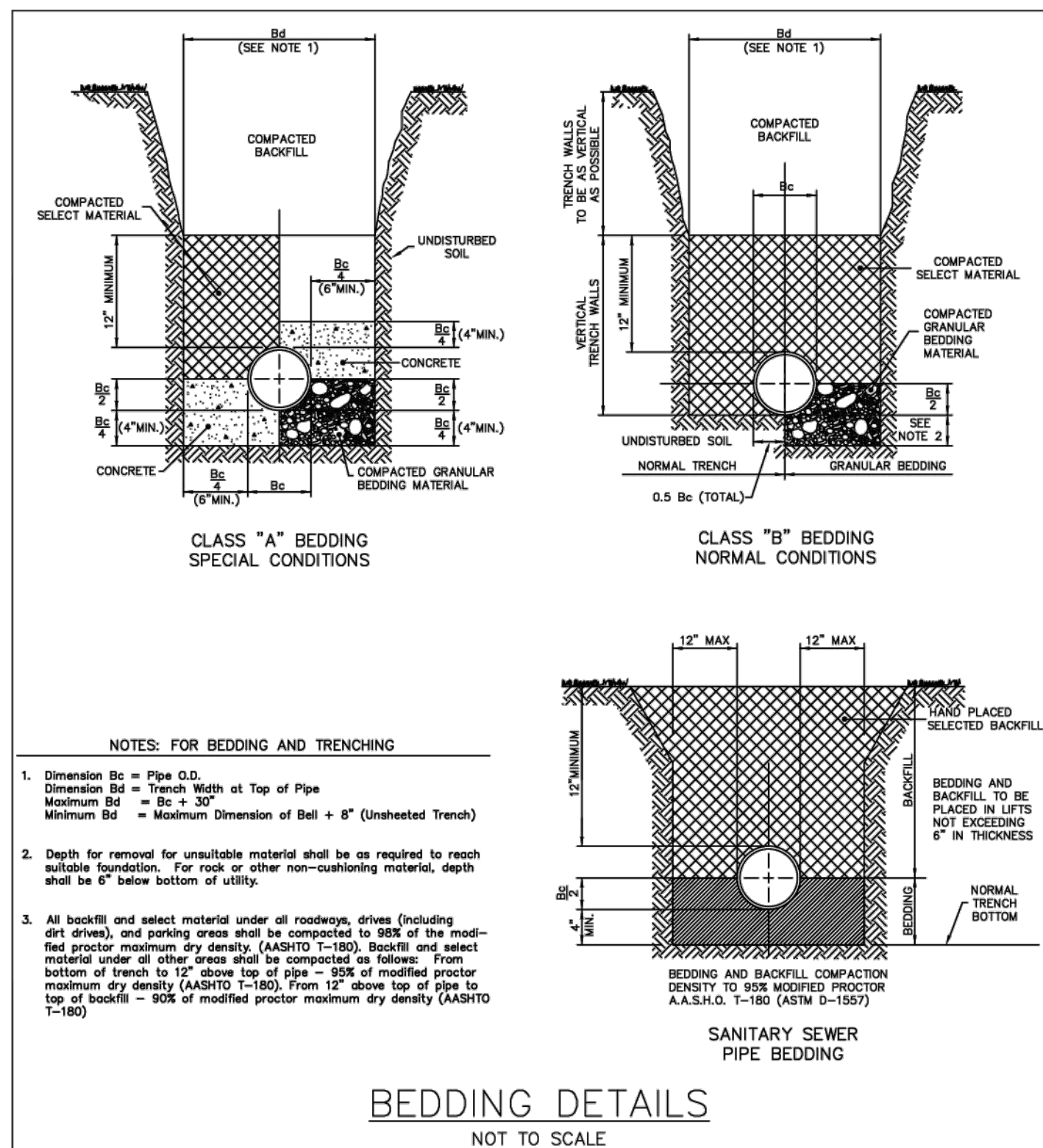
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Fax: 407-895-0325
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CROSS SECTIONS			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
CPN	CPN	GRC	GRC

PROJECT NO.	21-066
SCALE	NOTED
DATE	MARCH 01, 2022
SHEET NO.	C-11
SHEET	11 OF 17

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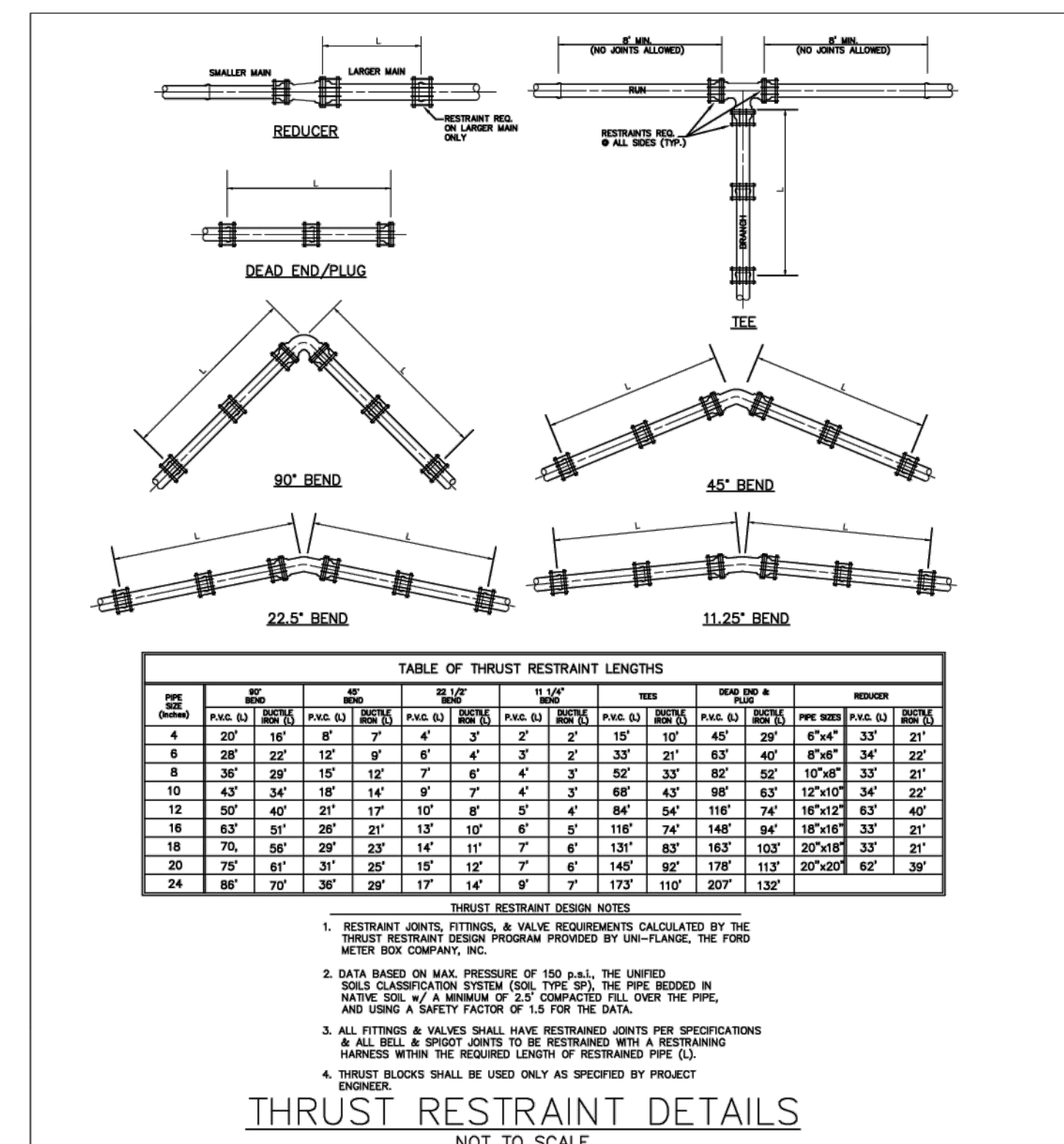


BEDDING DETAILS
NOT TO SCALE

City of Fruitland Park
Standard Details

JANUARY 2020

Detail G-3

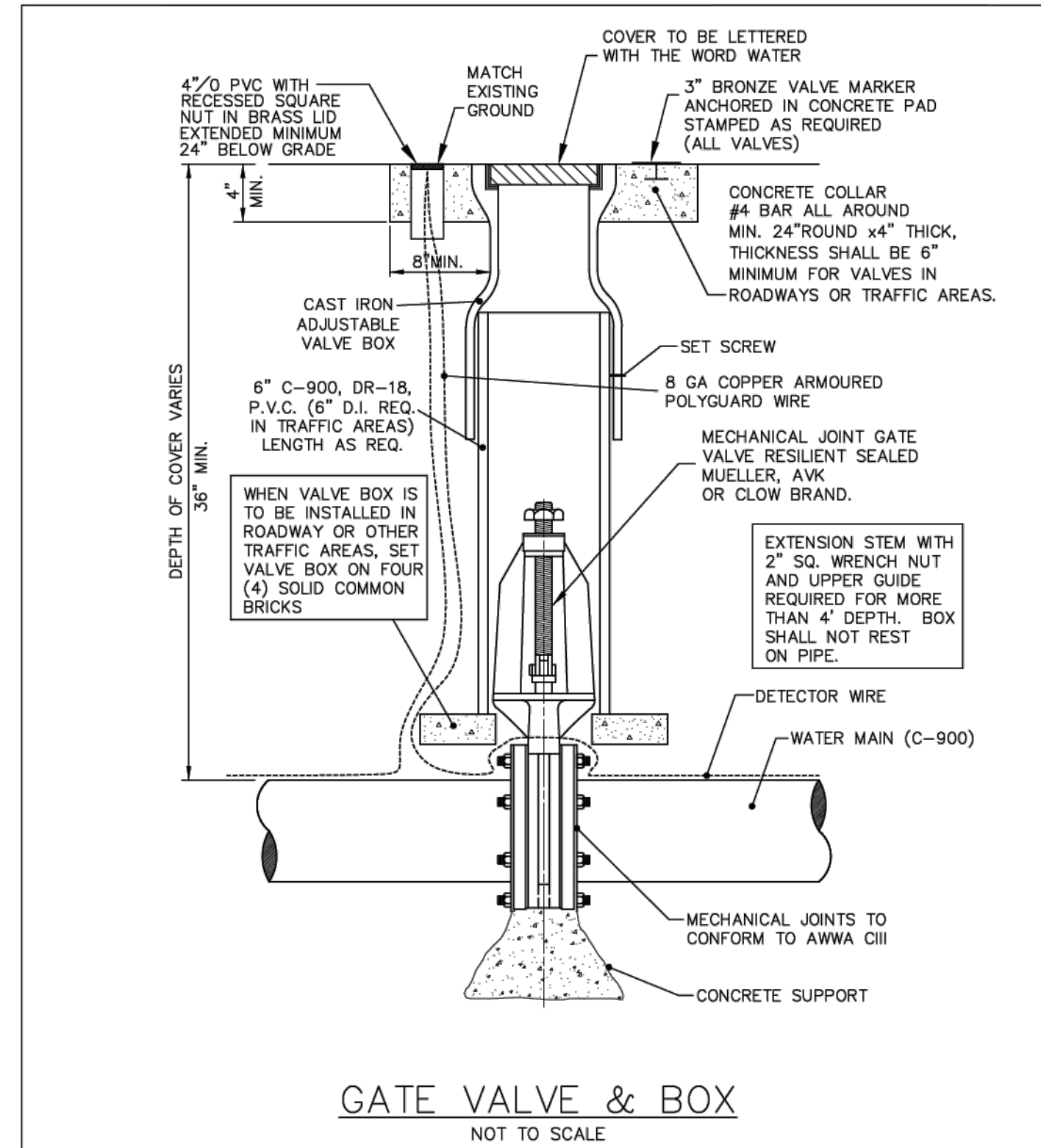


THRUST RESTRAINT DETAILS
NOT TO SCALE

City of Fruitland Park
Standard Details

JANUARY 2020

Detail G-6

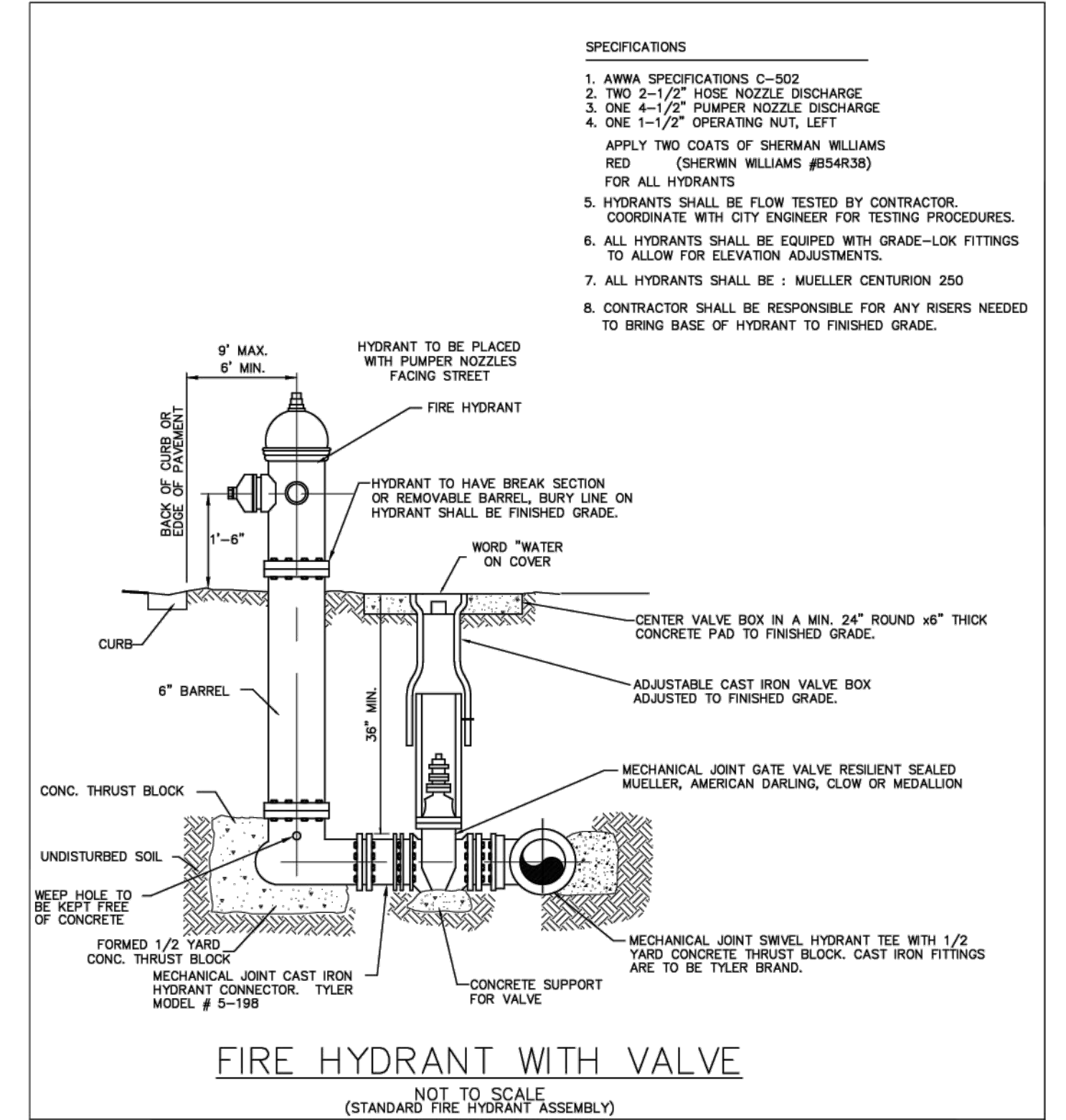


GATE VALVE & BOX
NOT TO SCALE

City of Fruitland Park
Standard Details

JANUARY 2020

Detail W-3

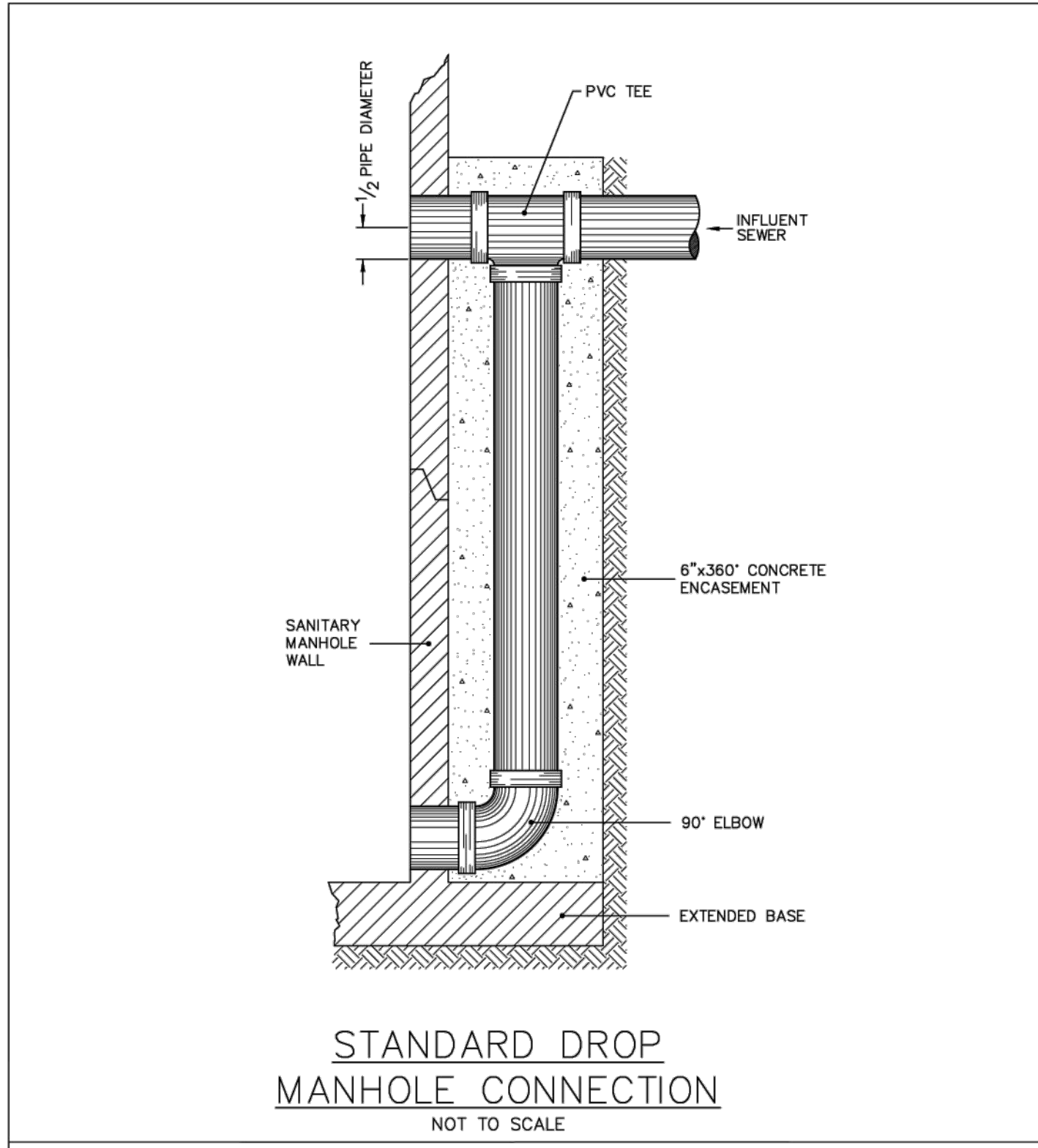


FIRE HYDRANT WITH VALVE
NOT TO SCALE (STANDARD FIRE HYDRANT ASSEMBLY)

City of Fruitland Park
Standard Details

JANUARY 2020

Detail W-11

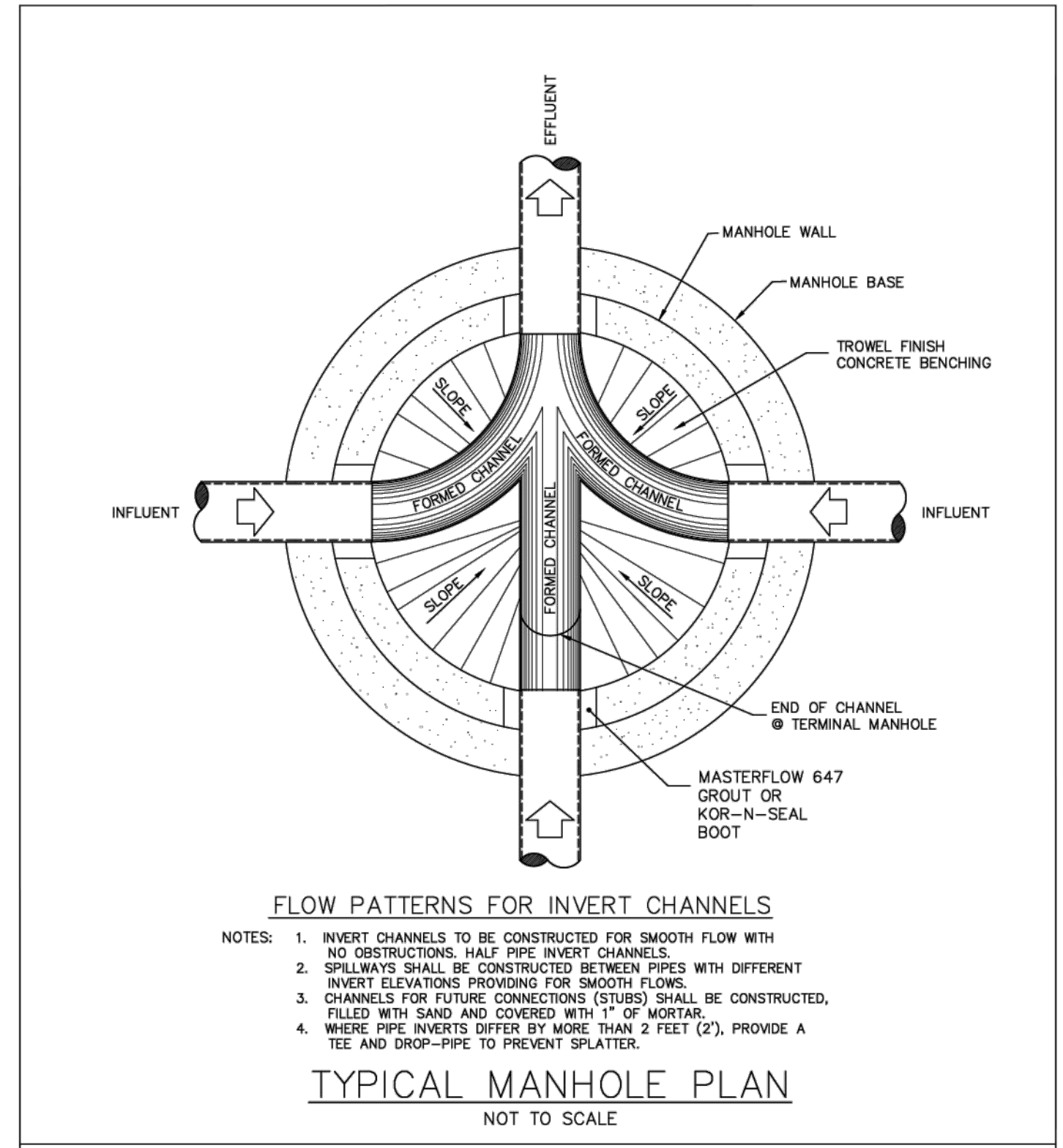


STANDARD DROP MANHOLE CONNECTION
NOT TO SCALE

City of Fruitland Park
Standard Details

JANUARY 2020

Detail S-4

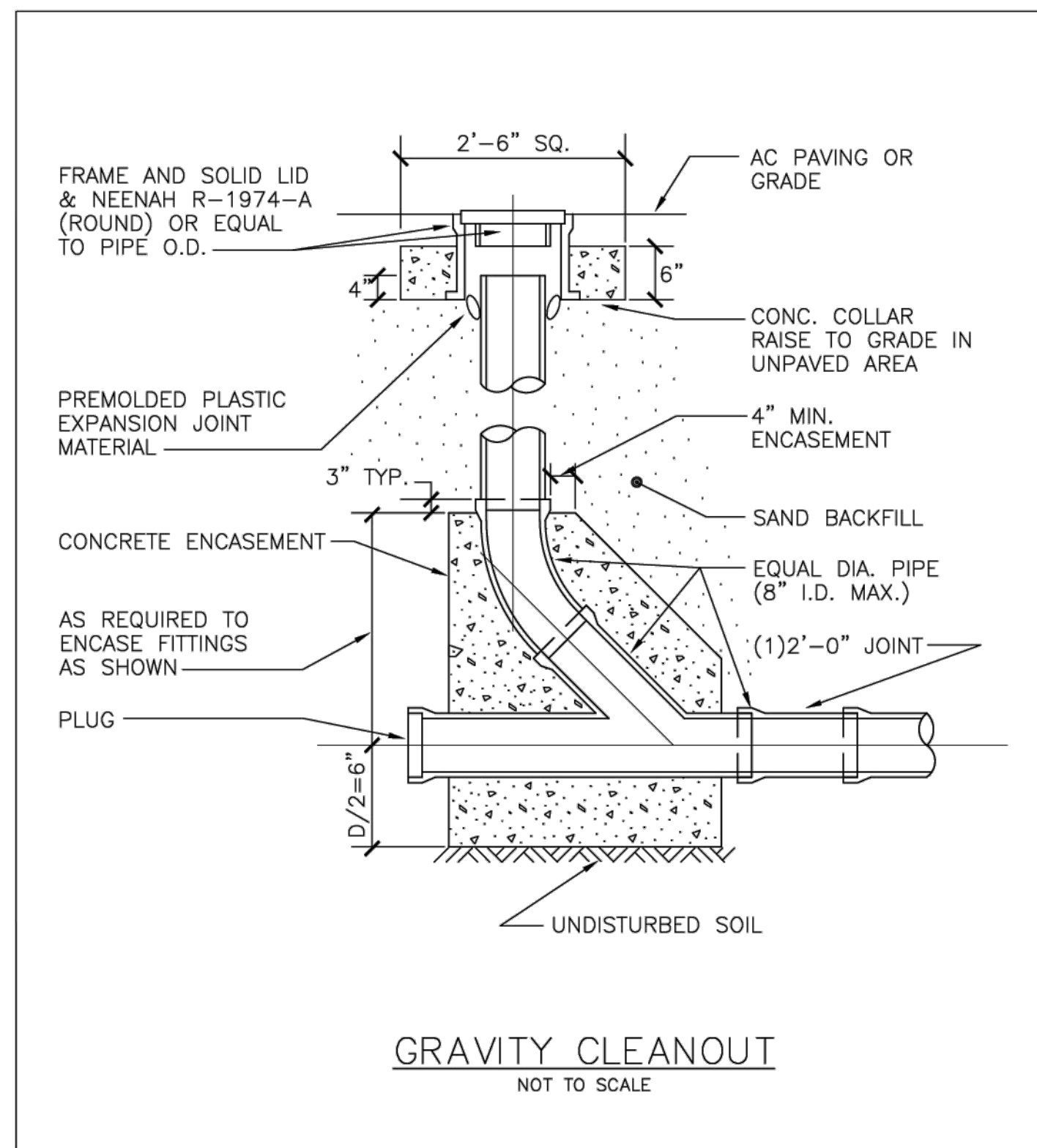


TYPICAL MANHOLE PLAN
NOT TO SCALE

City of Fruitland Park
Standard Details

JANUARY 2020

Detail S-3

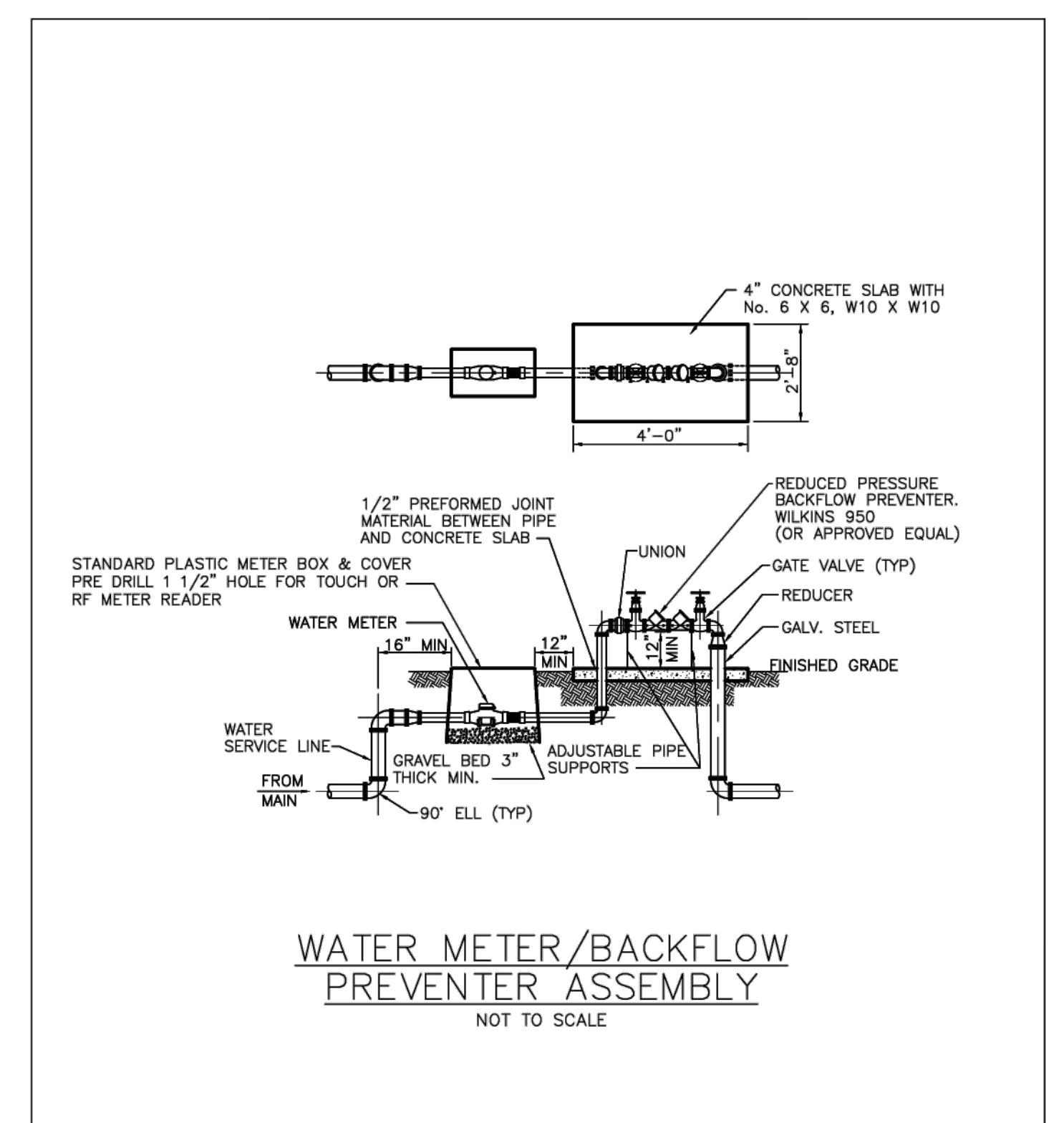


GRAVITY CLEANOUT
NOT TO SCALE

City of Fruitland Park
Standard Details

JANUARY 2020

Detail S-9



WATER METER/BACKFLOW PREVENTER ASSEMBLY
NOT TO SCALE

City of Fruitland Park
Standard Details

JANUARY 2020

Detail W-17

DATE	BY	REVISIONS	BY	CHECKED
02/20/23	JWM	PER CITY COMMENTS	JWM	GRC
01/17/23	JWM	PER CITY COMMENTS	JWM	GRC
11/1/22	JWM	REVISED PER CITY AND CLIENT COMMENTS	JWM	GRC

CONSTRUCTION PLANS
VETERINARY EMERGENCY CLINIC - VILLAGES
COUNTY RD 466A, FRUITLAND PARK, FL
CITY OF FRUITLAND PARK

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Phone: 407-895-0324
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FRUITLAND PARK UTILITY DETAILS

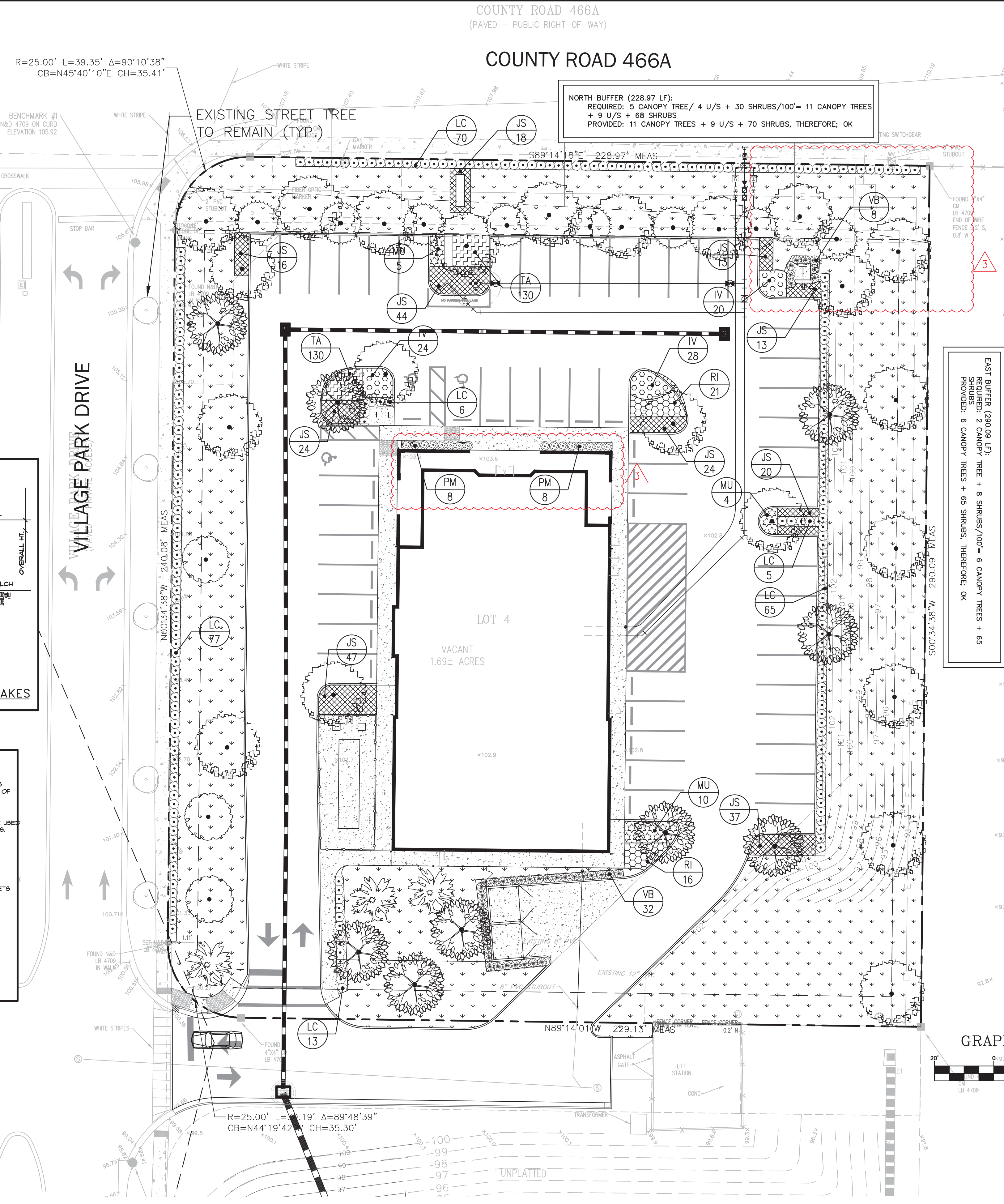
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
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PROJECT NO.	21-066
SCALE	NONE
DATE	MARCH 01, 2022
SHEET NO.	C-13
SHEET 13	OF 17

21-066 UtilityDetails-CityOfFruitlandPark.dwg

LANDSCAPE NOTES

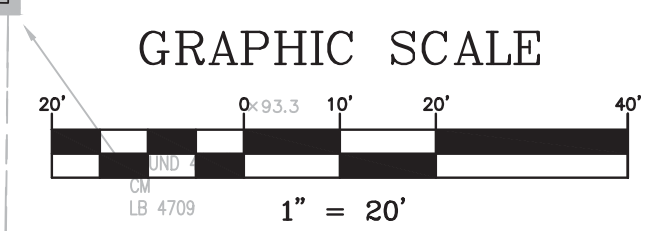
- IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE ACTUAL NUMBER OF PLANTS SHOWN ON THE PLAN, THE PLAN SHALL CONTROL. THE LANDSCAPE CONTRACTOR SHALL NOTIFY FEG OF ANY DISCREPANCY PRIOR TO ISSUANCE OF BIDS.
- ALL NEW PLANTINGS MUST COMPLY WITH THE SIZES AND QUANTITIES SHOWN IN THE PLANT LIST. ALL PLANTS MUST COMPLY WITH THE APPLICABLE JURISDICTIONAL CODE. PER THE FLORIDA GUIDES AND STANDARDS MANUAL ALL NEW TREES SHALL HAVE THEIR CALIPER MEASURED AT 6" ABOVE GRADE FOR ALL TREES UP TO AND INCLUDING 4" CALIPER TREES AND 12" ABOVE GRADE FOR ALL LARGER TREES.
- ALL PLANTING BEDS AND TREE SAUCERS TO HAVE ORGANIC MULCH TO A DEPTH OF 2" MINIMUM. AREAS WITH SLOPES GREATER THAN 4:1 SHALL HAVE MULCH RINGS OR TERRACES IN LONGER BEDS DESIGNED TO CAPTURE WATER AND REDUCE EROSION. TOPS OF MULCH RINGS OR TERRACES ARE TO BE LEVEL WITH RESPECT TO GRADE AND MULCH ON THE HIGH SIDE OF THE PLANTS.
- A TWELVE MONTH WARRANTY IS TO BE PROVIDED FOR ALL NEW PLANT MATERIALS STARTING FROM THE DATE OF FINAL CERTIFICATE OF OCCUPANCY OR ACCEPTANCE BY THE OWNER. WARRANTY CAN EXCLUDE PLANTS LOST DUE TO ACTS OF GOD OR VANDALISM. REPLACEMENT OF DEAD OR UNHEALTHY PLANT MATERIALS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR WITHIN 30 DAYS OF NOTIFICATION IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
- ALL DISTURBED AREAS WITHIN THE PROJECT LIMITS SHALL BE FULLY SODDED ASIDE FROM DEFINED PLANTING BEDS. SOD SHALL BE FREE OF WEEDS AND NOXIOUS PESTS OR DISEASES. DISTURBED AREAS OUTSIDE OF PROJECT LIMITS SHALL BE SEEDED AND MULCHED UNLESS STEEPER THAN 5:1. PROVIDE SOD ON SLOPES STEEPER THAN 5:1. ALL DRY PONDS CAN BE SEEDED AND MULCHED ON THE BOTTOMS AND SIDE SLOPES. WET PONDS ARE TO BE SODDED DOWN TO THE DESIGNED HIGH WATER LINE.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OCCURRING ON SITE OR ADJACENT AREAS, INCLUDING, BUT NOT LIMITED TO BUILDINGS, PAVING, UTILITIES, ETC., WHICH IS CAUSED BY PREPARING OR INSTALLING ANY AND ALL PLANT MATERIAL.
- GRADE, DRESS AND SOD OR SEED AREAS THAT HAVE BEEN DISTURBED AS SOON AS POSSIBLE TO PREVENT EROSION.
- ALL PLANT MATERIAL SHALL BE SET BACK FROM THE BACK OF CURBS OR PAVEMENT. SET TREES 3 FEET BACK FROM CURBS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING IF THERE ARE ANY INVASIVE OR EXOTIC TREES LOCATED ON THE SITE AND IS REQUIRED TO REMOVE ALL INVASIVE SPECIES PER THE LOCAL JURISDICTION'S INVASIVE SPECIES LIST LOCATED IN THEIR CODE OF ORDINANCES. GENERAL CONTRACTOR TO CONFIRM WITH THE LANDSCAPE INSTALLER THAT NO INVASIVE OR EXOTIC PLANT MATERIALS EXIST ON SITE. INFORM LANDSCAPE ARCHITECT IF ANY OF THESE PLANTS EXIST.
- ANY PRUNING OF EXISTING TREES OR VEGETATION TO REMAIN AS A LANDSCAPE ELEMENT MUST BE CONDUCTED BY A CERTIFIED ARBORIST HOLDING A CURRENT CREDENTIAL WITH THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA). ALL PRUNING SHALL CONFORMING TO THE ANSI A300 STANDARDS, PART 1; PRUNING THE SPECIFICATIONS FOR PRUNING SHALL BE DETERMINED BY THE CERTIFIED ARBORIST OR A PERSON QUALIFIED TO CREATE PRUNING SPECIFICATIONS ACCORDING TO THE ANSI STANDARD. THE GREATEST EMPHASIS IN PRUNING SHALL BE THE SAFETY, HEALTH AND WELFARE OF THE TRAVELING OR PEDESTRIAN TRAFFIC ESPECIALLY AS IT RELATES TO PEOPLE OR PROPERTY WITHIN THE FAILURE FOOTPRINT OF THE TREE OR VEGETATION TO BE PRUNED. WHEN THERE ARE EXISTING TREES OR VEGETATION TO REMAIN, CONTRACTOR SHALL EMPLOY A CERTIFIED TREE SURGEON TO SELECTIVELY PRUNE AND TRIM ALL EXISTING PLANT MATERIALS TO PROVIDE A BALANCED APPEARANCE WHILE ALSO ELIMINATING ANY INTERFERENCE WITH THE NEW CONSTRUCTION OR SAFETY, VISIBILITY CORRIDORS.
- IRRIGATION (100% COVERAGE) SHALL BE PROVIDED IN ALL NEWLY PROPOSED PLANTING AREAS IN ACCORDANCE WITH THE JURISDICTIONAL LAND DEVELOPMENT CODE. SEE SHEET L-2, IRRIGATION PLAN FOR SPECIFICS.



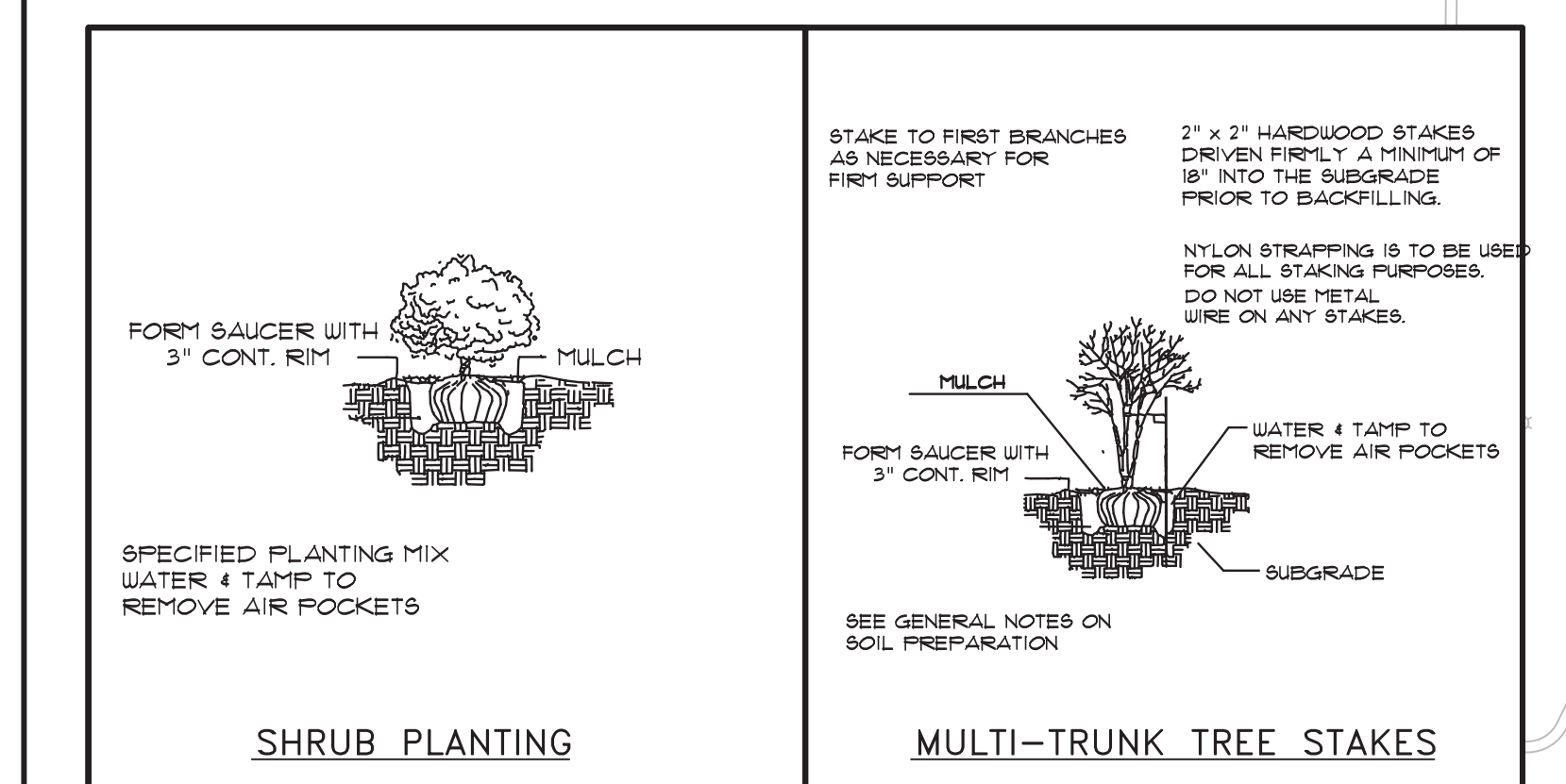
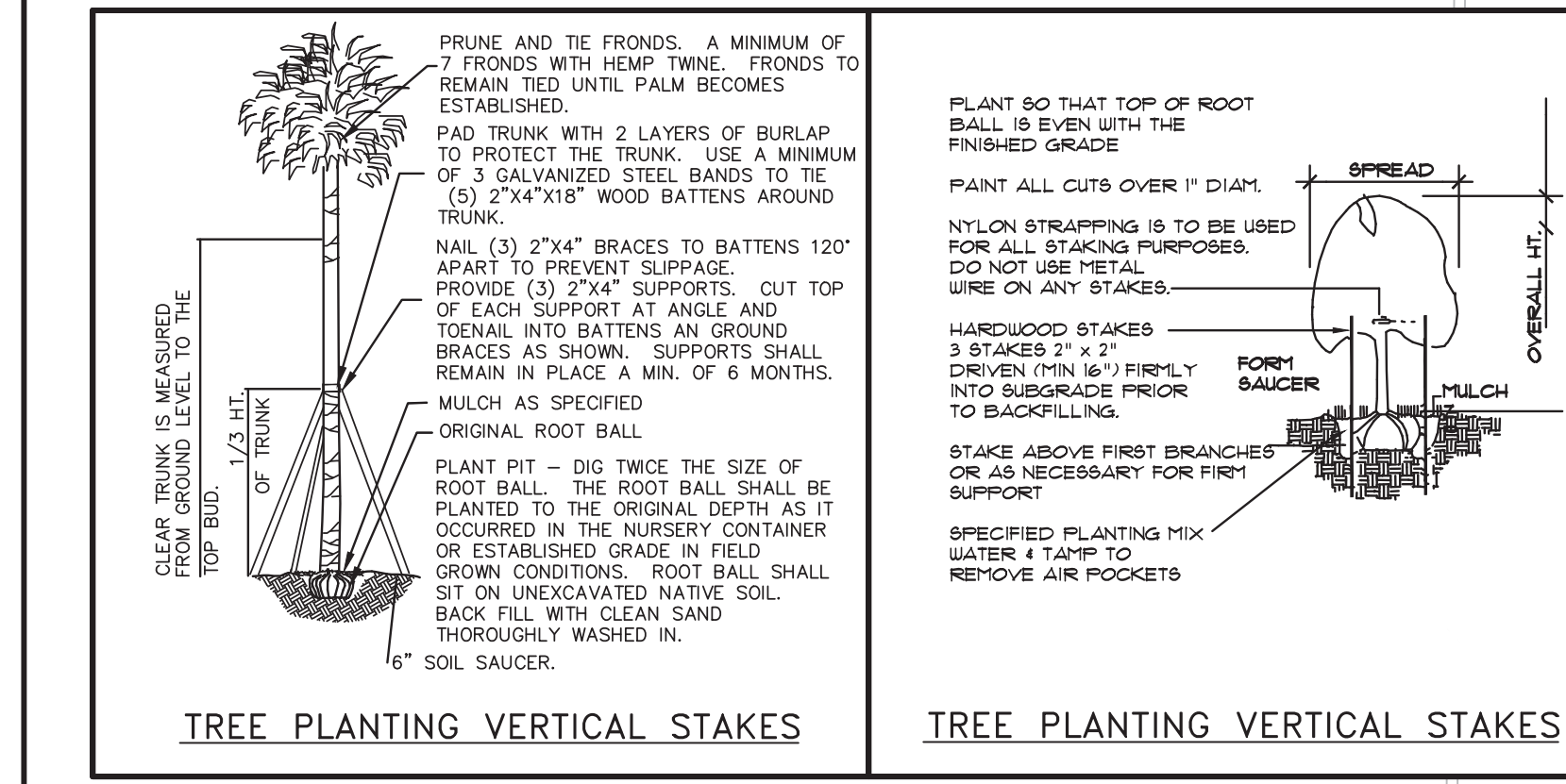
FLORIDA NATIVE LANDSCAPE SCHEDULE						
CANOPY TREES						
SYMBOL	ABR.	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	QUANTITY	REMARKS
	QV	QUERCUS VIRGINICA 'HIGH RISE'	HIGH RISE LIVE OAK	12" HT. 1.5" CAL.	22	SINGLE STRAIGHT TRUNK Y
	UA	ULMUS ALATA	WINGED ELM	12" HT. 1.5" CAL.	9	SINGLE STRAIGHT TRUNK Y
	MG	MAGNOLIA GRANDIFLORA	LITTLE GEM MAGNOLIA	12" HT. 1.5" CAL.	3	Y
UNDERSTORY TREES						
	LL	LIGUSTRUM LUCIDUM	LIGUSTRUM	8"-1" HT. 1" CAL.	5	Y
	IC	ILEX CASSINE	DAHOON HOLLY	8"-10" HT.	9	SINGLE STRAIGHT TRUNK Y
SHRUBS						
	VB	VIBURNUM ODORATISSIMUM	VIBURNUM	30" HT. 36" O.C.	40	FULL Y
	LC	LOROPETALUM CHINENSE	LORPETALUM	7 GAL. 30" HT. 36" O.C.	236	FULL Y
	PM	PODOCARPUS MACROPHYLLUS	PODOCARPUS	7 GAL. 30" HT. 36" O.C.	16	FULL Y
GROUND COVER						
	RI	INDIAN HAWTHORN	RAPHIOLEPIS INDICA ALBA	3 GAL. 30" O.C.	34	N
	JS	PARSONS JUNIPER	JUNIPERUS CHINENSIS	3 GAL. 24" O.C.	238	FULL N
	TA	TRACHELOSPERMUM ASIATICUM	DWARF ASIATIC JASMINE	1 GAL. 12" O.C.	260	N
	MU	MUHLENBERGIA SPP.	RED MUHLY GRASS	1 GAL. 36" O.C.	19	Y
	IV	SHELLINGS DWARF	ILEX VOMITORIA	3 GAL. 24" O.C.	75	Y
SOD/MISC.						
	SOD	BAHIA HYBRID	*NO MORE THAN 60% OF ALL LANDSCAPE AREA SHALL BE IRRIGATED SOD. THE BAHIA SOD IS NOT PROPOSED TO BE IRRIGATED			

FLORIDA NATIVE PLANTS PLANT LIST EXCEEDS 80% NATIVE PLANT MATERIALS IN QUANTITIES AND COVERAGE.

THERE ARE NO TREES TO BE REMOVED ON SITE.



SITE NOTE:
ALL CONSTRUCTION DETAILS ARE CONCEPTUAL AND SUBJECT TO REVIEW AND MODIFICATION DURING THE APPROVAL OF FINAL CONSTRUCTION PLANS.



DATE	REVISIONS	BY	CHECKED
01/17/2023	PER CITY COMMENTS	JWM	GRC
11/1/22	REVISED PER CITY AND CLIENT COMMENTS	JWM	GRC

CONSTRUCTION PLANS
VETERINARY EMERGENCY CLINIC - VILLAGES
COUNTY RD 466A, FRUITLAND PARK, FL
CITY OF FRUITLAND PARK

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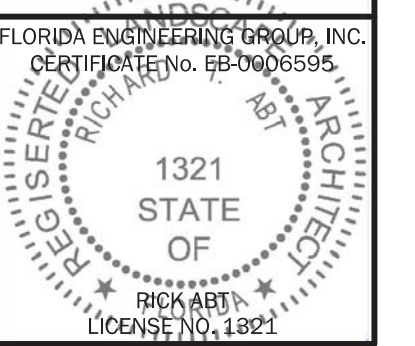
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Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
www.feg-inc.us

SITE LANDSCAPE PLAN			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
RTA	SMH	RTA	GRC

PROJECT NO.	21-066
SCALE	1" = 20'
DATE	MARCH 01, 2022
SHEET NO.	L-1
SHEET	14 OF 17

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RICK ABT
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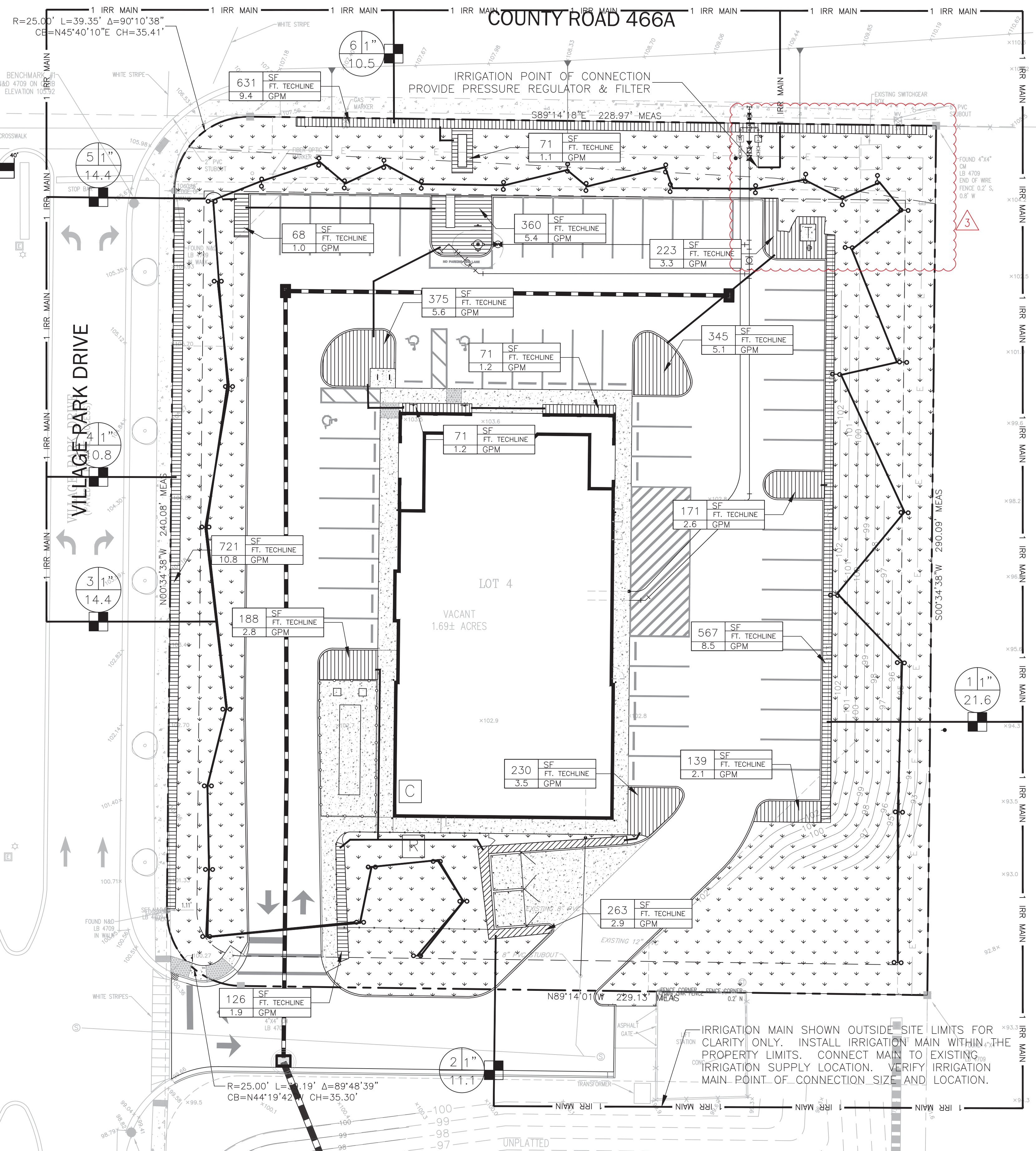
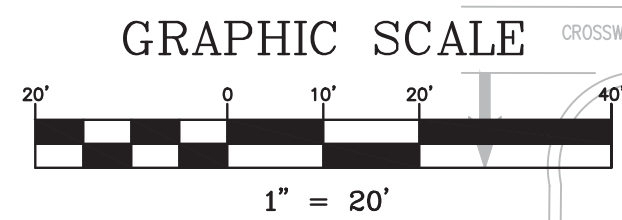
Digitally signed by Richard T Abt
Date: 2023.02.20 14:42:16 -05'00'



COUNTY ROAD 466A
(PAVED - PUBLIC RIGHT-OF-WAY)

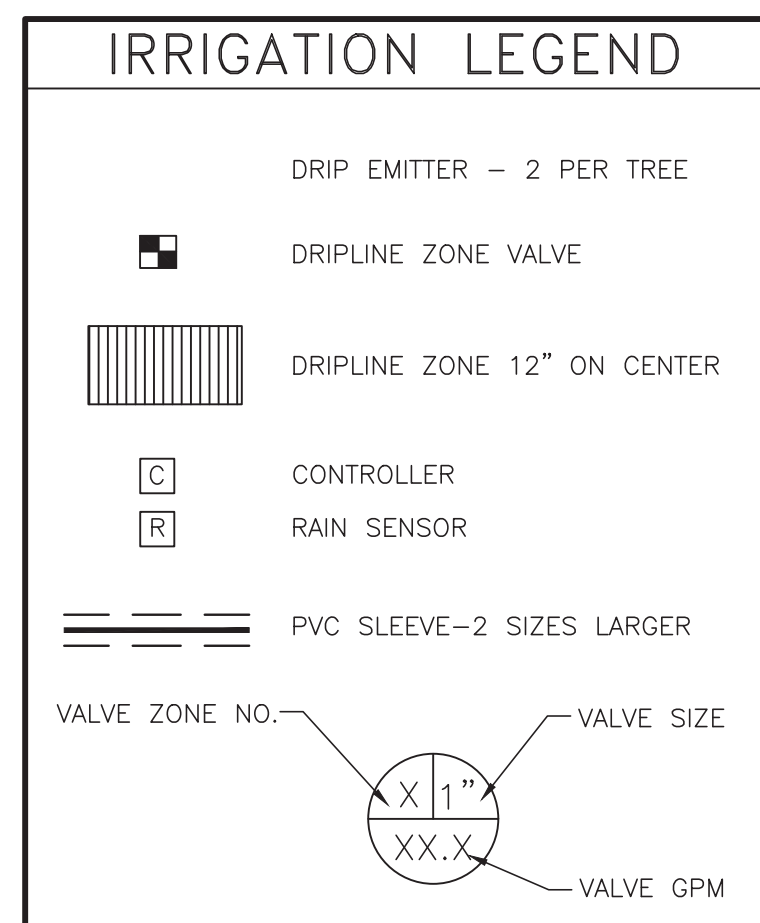
COUNTY ROAD 466A

IRRIGATION POINT OF CONNECTION
PROVIDE PRESSURE REGULATOR & FILTER

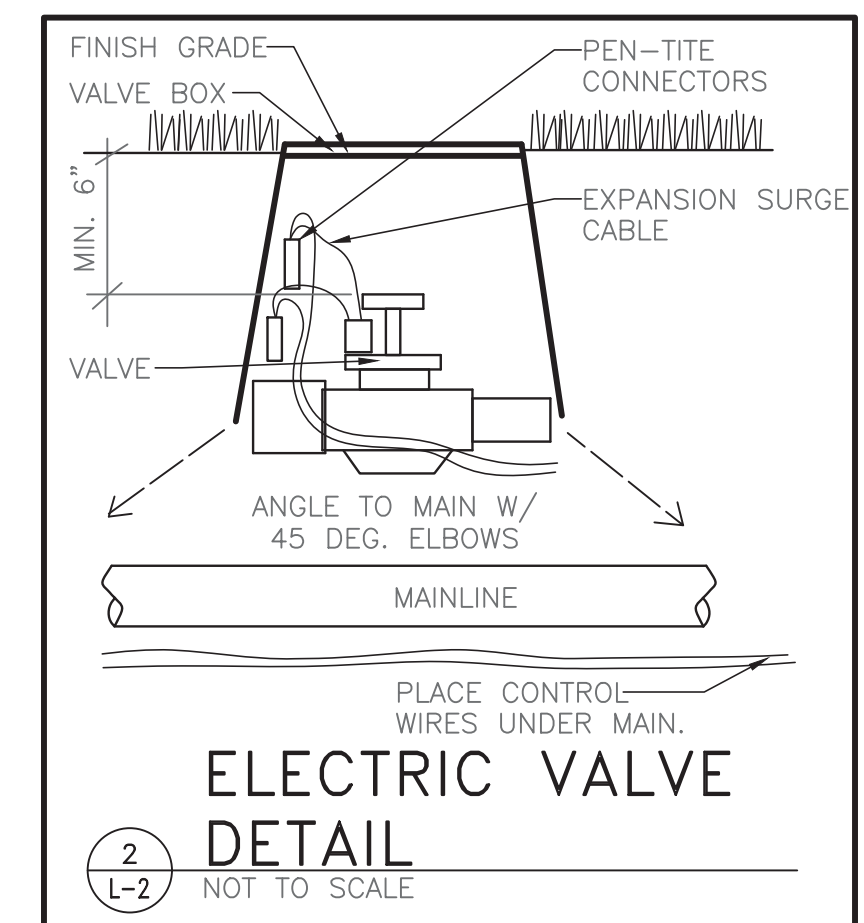
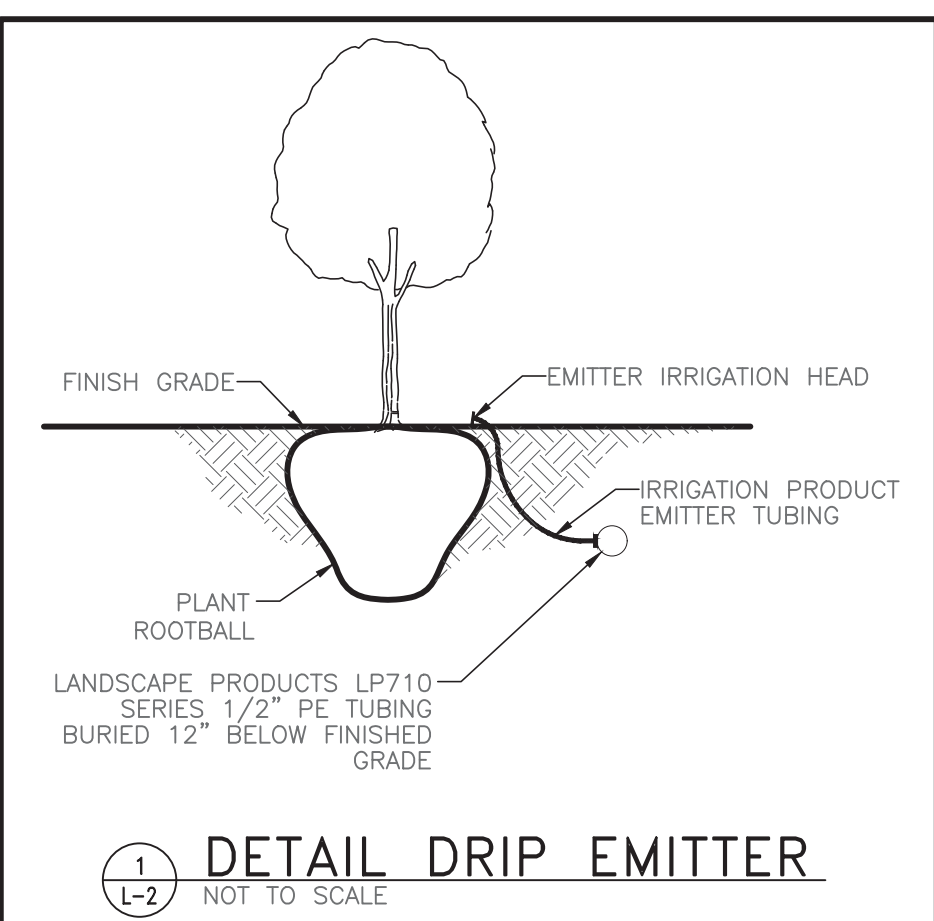


- IRRIGATION NOTES:**
- CONTRACTOR SHALL INSTALL A COMPLETE IRRIGATION SYSTEM WHICH PROVIDES 100% COVERAGE OF ALL PLANTED AREAS PROVIDE ALL PIPING, VALVES, VALVE BOXES, & WIRING AS REQUIRED FOR A COMPLETE & OPERATIONAL IRRIGATION SYSTEM.
 - ALL IRRIGATION PIPING WHICH IS LOCATED UNDER PAVEMENT SHALL BE ENCASED IN A SLEEVE TWO SIZES LARGER THAN THE IRRIGATION LINE.
 - CONTRACTOR TO PROVIDE A DOUBLE DETECTOR CHECK VALVE AT THE POINT OF WATER SERVICE IN ADDITION TO AN IRRIGATION METER. COORDINATE LOCATION WITH OTHER UTILITIES & GENERAL CONTRACTOR.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY & ALL PERMITS REQUIRED FOR THE INSTALLATION OR CONSTRUCTION OF THE WORK INCLUDED IN THIS CONTRACT.
 - COORDINATE LOCATION OF IRRIGATION CONTROLLER WITH OWNER & GENERAL CONTRACTOR.
 - PROVIDE A RAIN SWITCH EQUIVALENT TO TORO RAIN SWITCH #850-74. MOUNT ON BUILDING IN AN INCONSPICUOUS LOCATION EXPOSED TO NORMAL RAINFALL & PER MFRS. SUGGESTIONS.
 - OBTAIN INSPECTION & APPROVAL OF ALL BURIED PIPING PRIOR TO BACKFILLING.
 - ADJUST DESIGN OF SYSTEM WHERE NECESSARY TO AVOID CONFLICTS IN THE FIELD WITH LANDSCAPING OR UTILITY LINES.
 - IRRIGATION CONTROLLER IS HUNTER IRRIGATION CONTROLLER SIZED APPROPRIATELY TO SUPPORT THE SYSTEM DESIGN. GET APPROVAL FROM OWNER PRIOR TO INSTALLATION. COORDINATE WITH CONTRACTOR FOR POWER REQUIREMENTS AND CONFIRM LOCATION WITH OWNER.
 - PROGRAM IRRIGATION CONTROLLER TO PROVIDE 0.5 INCH OF WATER PER WEEK. SCHEDULE HEADS TO OPERATE DURING MORNING HOURS.
 - ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
 - THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.
 - ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING SNAP-TITE CONNECTORS & SEALANT.
 - THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING SHOWING ALL IRRIGATION INSTALLATIONS. THE DRAWING SHALL LOCATE ALL VALVES & MAINLINES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES OR STRUCTURES.
 - ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A IRRIGATION AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY & INSIDE THE IRRIGATION AREAS.
 - ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT & WORKMANSHIP.
 - ELECTRICAL SERVICE TO ALL EQUIPMENT SHALL BE PROVIDED TO A JUNCTION BOX AT THE EQUIPMENT LOCATION BY OTHERS.
 - ALL IRRIGATION SLEEVES ARE TO HAVE BEEN INSTALLED BY GENERAL CONTRACTOR AT TIME OF UTILITY CONSTRUCTION.

SOD NOTE
SOD IS TO BE HAND WATERED UNTIL ESTABLISHED AND DURING PERIODS OF DROUGHT.



TOTAL IRRIGATED AREA = 3,478 SF
REQUIRED IRRIGATION = 0.5"/WEEK
TOTAL IRRIGATION DEMAND = 1,084 GAL/WEEK = 155 GPD
IRRIGATION TO BE PROVIDED THRU 1" IRRIGATION METER



01/17/2023	PER CITY COMMENTS	JWM	GRC
11/1/22	REVISED PER CITY AND CLIENT COMMENTS	JWM	GRC
DATE	REVISIONS	BY	CHECKED

CONSTRUCTION PLANS
VETERINARY EMERGENCY CLINIC - VILLAGES
COUNTY RD 466A, FRUITLAND PARK, FL
CITY OF FRUITLAND PARK



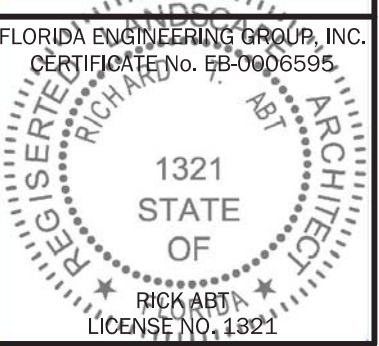
5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
www.feg-inc.us

SITE IRRIGATION PLAN			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
RTA	SMH	RTA	GRC


PROJECT NO.	21-066
SCALE	1" = 20'
DATE	MARCH 01, 2022
SHEET NO.	L-2
SHEET 15	OF 17

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY:
RICK ABT
ON THE DATE ADJACENT TO THE SEAL
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Digitally signed by Richard T Abt
Date: 2023.02.20 14:43:37 -0500



WDGE1 LED Architectural Wall Sconce



Specifications
 Depth (D1): 5.5"
 Depth (D2): 1.5"
 Height: 8"
 Width: 9"
 Weight: 9 lbs (without option)

WDGE LED Family Overview

Lumens	Size (H x W)	Color Temp. (K)	Beam Angle	Material	Finish
1000	8" x 9"	3000K	30°	Aluminum	Black
1000	8" x 9"	3000K	30°	Aluminum	White
1000	8" x 9"	3000K	30°	Aluminum	Brushed Nickel
1000	8" x 9"	3000K	30°	Aluminum	Polished Nickel
1000	8" x 9"	3000K	30°	Aluminum	Oil Rubbed Bronze


Ordering Information

EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM FE DDBSK

Accessories

- WDGE1-LED-1: WDGE1 LED with 10' power supply
- WDGE1-LED-2: WDGE1 LED with 10' power supply and 10' cable

SLIM26N/PC2 RAB



Project: _____ **Type:** _____
Prepared By: _____ **Date:** _____

Driver Info

Type	Constant Current	Watts	20W
120V	NA	Color Temp.	4000K (Neutral)
208V	0.15A	Color Accuracy	95 CRI
240V	0.15A	L70 LifeSpan	100,000 Hours
277V	0.11A	Lumens	3,804 lm
Input Watts	24 W	Efficiency	134 lm/W

LED Info

Color	Consistency
Color Consistency	3-step MacAdam Ellipse binning to achieve consistent feature-to-feature color
Color Stability	LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Technical Specifications

Compliance: UL Listed, Suitable for wet locations, Suitable for mounting within 1.2m (4ft) of the ground.

IP Rating: IP66 (Ingress protection rating of IP66 for dust and water)

ADA Compliant: 5.08" (2.00") ADA Compliant

ESNA LM-79 & LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with ESNA LM-79 and LM-80.

Photocell: 277V Photocell included. Photocell is compatible with 208V/277V.

LITHONIA LIGHTING W6F MVOLT 6" LED Module

FEATURES & SPECIFICATIONS

RECESSED: The W6F MVOLT 6" LED recessed lighting fixture has a high quality light output and efficiency while eliminating the heat and glare associated with other recessed lighting fixtures. This fixture is designed for use in residential and commercial applications.

CONSTRUCTION: The W6F MVOLT 6" LED recessed lighting fixture is constructed from high quality materials and is designed for long life. The fixture is constructed from high quality materials and is designed for long life. The fixture is constructed from high quality materials and is designed for long life.

INSTALLATION: The W6F MVOLT 6" LED recessed lighting fixture is designed for easy installation. The fixture is designed for easy installation. The fixture is designed for easy installation.

ELECTRICAL: The W6F MVOLT 6" LED recessed lighting fixture is designed for easy installation. The fixture is designed for easy installation. The fixture is designed for easy installation.

WARRANTY: The W6F MVOLT 6" LED recessed lighting fixture is designed for easy installation. The fixture is designed for easy installation. The fixture is designed for easy installation.

Dimensions: 6" x 6" x 1.5"

Weight: 1.2 lbs

Material: Aluminum

Finish: White

Color Temperature: 4000K

Beam Angle: 30°

Life Span: 50,000 hours

Efficiency: 130 lm/W

TYPE WLA

TYPES K AND M

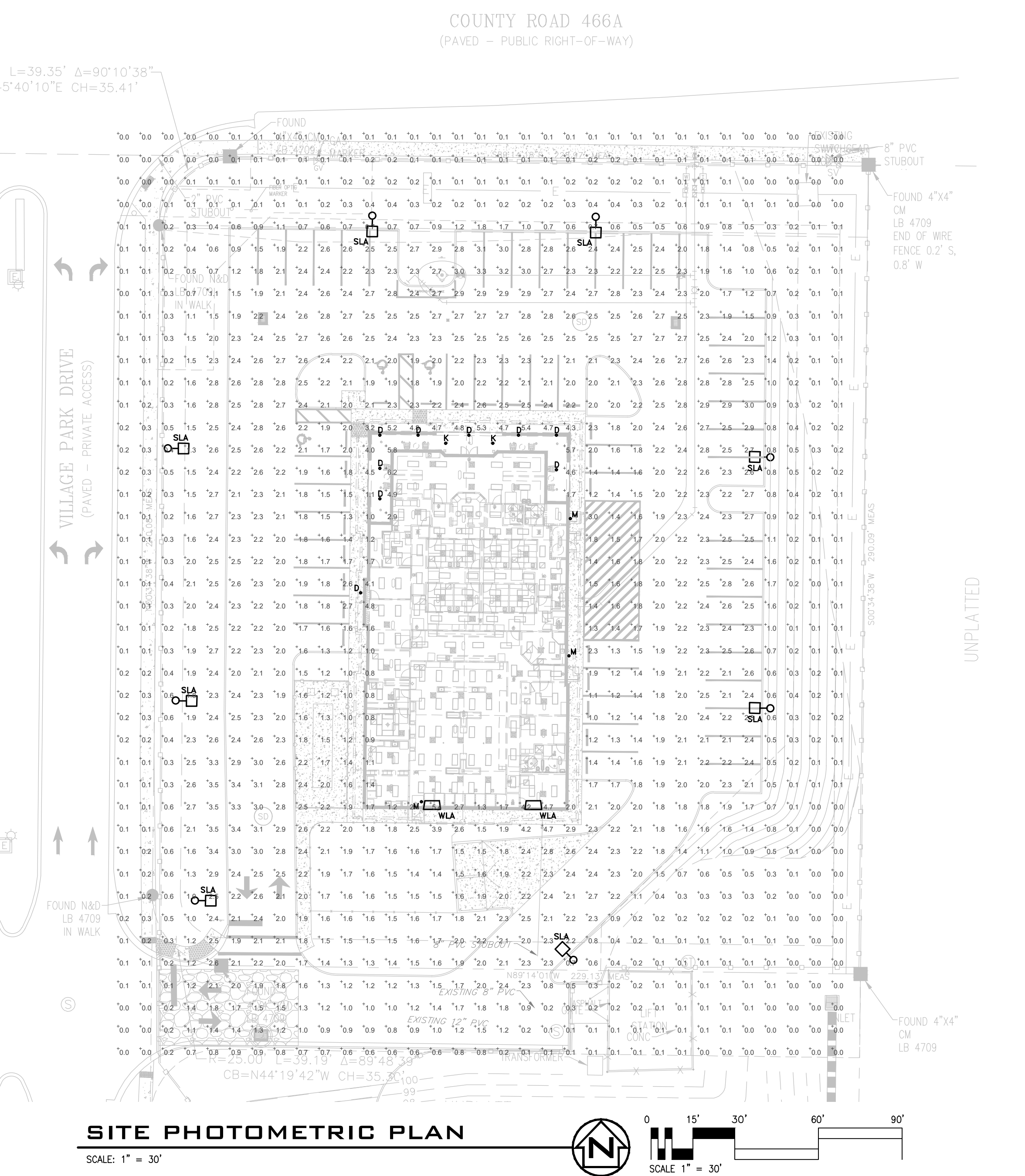
TYPE D

LIGHTING FIXTURE SCHEDULE

MK	DESCRIPTION	LAMPS			DIFFUSER	MOUNTING	VOLT	MANUFACTURER	REMARKS
		QTY	WATTS	TYPE					
D	RECESSED 6" LED DOWNLIGHT	1	12	LED	-	RECESSED CEILING	LITHONIA W6F-LL LED-35K-MVOLT-MW	LED	
K	WALL SCONCE	-	18	LED	-	WALL MOUNTED	RAB LIGHTING #SLIM26N/PC2		
M	WALL SCONCE	-	18	LED	-	WALL MOUNTED	RAB LIGHTING #SLIM26N/PC2		
SLA	POLE MOUNTED AREA LIGHT TYPE V DIST	-	128	LED	-	POLE MOUNTED AT 20' AFG	US ARCHITECTURAL LIGHTING RZR-M-LED-14-FT-48LED-1050MA-NW-HS		
WLA	EXTERIOR WALLPACK	-	4	LED	-	WALL MOUNTED AT 10' AFG	LITHONIA LIGHTING WDGE1 LED-P1-35K-90CRI-VF-MVOLT		

SITE STATISTICS

AREA	AVERAGE (ft)	MAXIMUM (ft)	MINIMUM (ft)	MAX/MIN	AVERAGE/MIN
SITE	1.4	6.2	0.0	N/A	N/A



REVISION

DATE

REVIEW

2021 EAGLE BLVD, SUITE A
 AUBURN, AL 36833

TEL: 301.233.1221

WWW.CGRIENGINEERING.COM

C.O.A. #000897

CONSTRUCTION ENGINEERING GROUP

Consulting Engineers

ELEVEN 18 ARCHITECTURE

A WOMEN'S BUSINESS ENTERPRISE

4450 W. UNIVERSITY BLVD
 ORLANDO, FL 32838

www.eleven18architecture.com

Mark Adams: 407.756.9119
 Kim Day: 407.416.9160
 Neke White: 407.416.9165

VETERINARY EMERGENCY CLINIC VILLAGES

VILLAGE PARK DRIVE AND CR 466A, FRUITLAND PARK, FL

DRAWING TITLE: SITE PHOTOMETRIC PLAN

DATE: 12-20-22

SCALE: AS NOTED

PROJ. NO.: 210278

DESIGNED BY: DAP

DRAWN BY: DAP

CHECKED BY: DEA

DRAWING NO. EP

DAVID E. ALLEY, PE
 FL PE #55008

PRELIMINARY CONSTRUCTION

ENGINEER OF RECORD

THIS DOCUMENT AND THE DESIGN ARE THE PROPERTY OF THE ENGINEER AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE ENGINEER.

SOLID STATE AREA LIGHTING RAZAR SERIES-LED SPECIFICATIONS

OPTICAL HOUSING: Heavy cast low copper aluminum (A356 alloy, ~0.2% copper) assembly with integral cooling fins. The Optical Panel mounting surface is milled flat (±0.027") to facilitate thermal transfer of heat to housing and cooling fins. Solid barrier wall separates optical and electrical compartments. The optical and electrical compartments are integrated to create one assembly. Minimum wall thickness is .188".

ELECTRICAL HOUSING w/ INTEGRATED ARM: Heavy cast low copper aluminum (A356 alloy, ~0.2% copper) assembly with integral cooling ribs surrounding the electrical compartment and a flat surface on the top of the arm to accommodate a photocell receptacle. Solid barrier wall separates optical and electrical compartments. The optical compartment and electrical compartment with the integrated support arm combine to create one assembly. Minimum wall thickness is .188". Cast and hinged driver assembly cover is integrated with wiring compartment cover.

PLED OPTICS: Emitters (LED's) are arrayed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED refractor. LED optics completely seal each individual emitter to meet an IP66 rating. In asymmetric distributions, a micro-reflector inside the refractor directs the house side emitter output towards the street side and functions as a house side shielding element. Reflectors are injection molded H12 acrylic. Each LED refractor is sealed to the PCB over an emitter and all reflectors are retained by an aluminum frame. Any one Panel or group of Panels in a luminaire, have the same optical pattern. LED refractors produce standard site area distributions. Panels are field replaceable and field rotatable in 90° increments.

LED DRIVER(S): Constant current electronic with a power factor of > .90 and a minimum operating temperature of -40°F to 40°C. Driver(s) is/are UL and cUL recognized and mounted directly against the Electrical Housing to facilitate heat transfer by conduction. Universal clamps to facilitate easy removal. In-line terminal blocks facilitate wiring between the driver and optical arrays. Drivers accept an input of 120-277V, 50/60Hz or 347V-480V, 50/60Hz. (0 - 10V dimmable driver is standard. Driver has a minimum of 3KV internal surge protection. Luminaires supplied with 20KV surge protector for field accessible installation.)

LED EMITTERS: High output LED's are utilized with drive currents ranging from 350mA to 1050mA. 70CRI or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

AMBER LED'S: TRA (True Amber) LED's utilize material that emits light in the amber spectral bandwidth without the use of phosphors.

FINISH: Electrostatically applied GIC Polyester Powder Coat on a substrate prepared with 20 PSI power wash at 140°F. Four step media blast and ion phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability.

MAST ARM FITTER/ELECTRICAL HOUSING: Replaces standard Electrical Housing. Fits standard 2.318" O.D. horizontal tenon. Two (2) slots with two (2) bolts each encircle the lower half of the tenon. Upper half of the tenon rests on self-centering steps that position the angle of the luminaire at 0°, +1.5°, +1.5° or +3° up from the horizontal. All hardware is stainless steel.

PROJECT NAME: _____
PROJECT TYPE: _____

RAZAR (MODELS: RZR-G, RZR-MAF* & RZR-MAF*)

RZR-G

RZR-MAF*

RZR & RZR-M

RZR-MAF*

FIXTURE

FIXTURE	A	B	C	D
RZR-G	14.25"	34.5"	3"	3"
RZR-M	14.25"	34.5"	3"	3"
RZR-MAF	14.25"	34.5"	3"	3"

© 2022 USA

2022054

U.S. ARCHITECTURAL LIGHTING

400 West Avenue G, Pomona, CA 92567
 Phone: (951) 261-9999 Fax: (951) 261-9999
 www.usalighting.com

RAZAR SERIES-LED SPECIFICATIONS

WALLMOUNT

WALL PLATE

POLE DRILLING TEMPLATE

PLED OPTICS

RZR-G E.P.A. = 0.76

RZR-MAF* E.P.A. = 0.67

RZR-M E.P.A. = 0.45

Spec/Order Examples: RZR/LED-V/BOLED-700mA/CW/177/RAL-8019-S

SPEC/ORDERING INFORMATION

MODEL	OPTICS	LED MODE	VOLTAGE	FINISH	OPTIONS
MODEL	OPTICS	LED MODE	VOLTAGE	FINISH	OPTIONS
<input type="checkbox"/> RZR-G	<input type="checkbox"/> TYPE I <input type="checkbox"/> TYPE II <input type="checkbox"/> TYPE III <input type="checkbox"/> TYPE IV <input type="checkbox"/> TYPE V	<input type="checkbox"/> NO. LED'S <input type="checkbox"/> RZR-G <input type="checkbox"/> RZR-M <input type="checkbox"/> RZR-MAF*	<input type="checkbox"/> 120 <input type="checkbox"/> 208 <input type="checkbox"/> 240 <input type="checkbox"/> 277 <input type="checkbox"/> 347 <input type="checkbox"/> 480	<input type="checkbox"/> STANDARD <input type="checkbox"/> RAL-8005-T <input type="checkbox"/> RAL-8003-T <input type="checkbox"/> GREY <input type="checkbox"/> RAL-7004-T <input type="checkbox"/> DARK BROWN <input type="checkbox"/> GREEN <input type="checkbox"/> RAL-6005-T <input type="checkbox"/> BLUE <input type="checkbox"/> RAL-5005-T <input type="checkbox"/> RAL-5003-T <input type="checkbox"/> RAL-5001-T	<input type="checkbox"/> HIGHLIGHT DIMMING FOR DIMMABLE DIMMING OR NON-INTEGRATED MOTION SENSOR <input type="checkbox"/> INTERNAL HOUSE SIDE SHIELD - HS-PLD <input type="checkbox"/> PHOTO CELL VOLTAGE (EXAMPLE: PCT20V) - PC-V <input type="checkbox"/> TWIST LOCK RECEPTACLE ONLY - TPL <input type="checkbox"/> 7 PIN TWIST LOCK RECEPTACLE ONLY - TPL7 <input type="checkbox"/> SINGLE FUSE (20V, 27V, 34V) - SF <input type="checkbox"/> DOUBLE FUSE (20V, 240V, 480V) - DF <input type="checkbox"/> BLUE TOOTH PROGRAMMABLE PHOTO-MOTION SENSOR (FACTORY-MOTION 50/100; PHOTO 750) - MS-F11

U.S. ARCHITECTURAL LIGHTING

400 West Avenue G, Pomona, CA 92567
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TYPE SLA

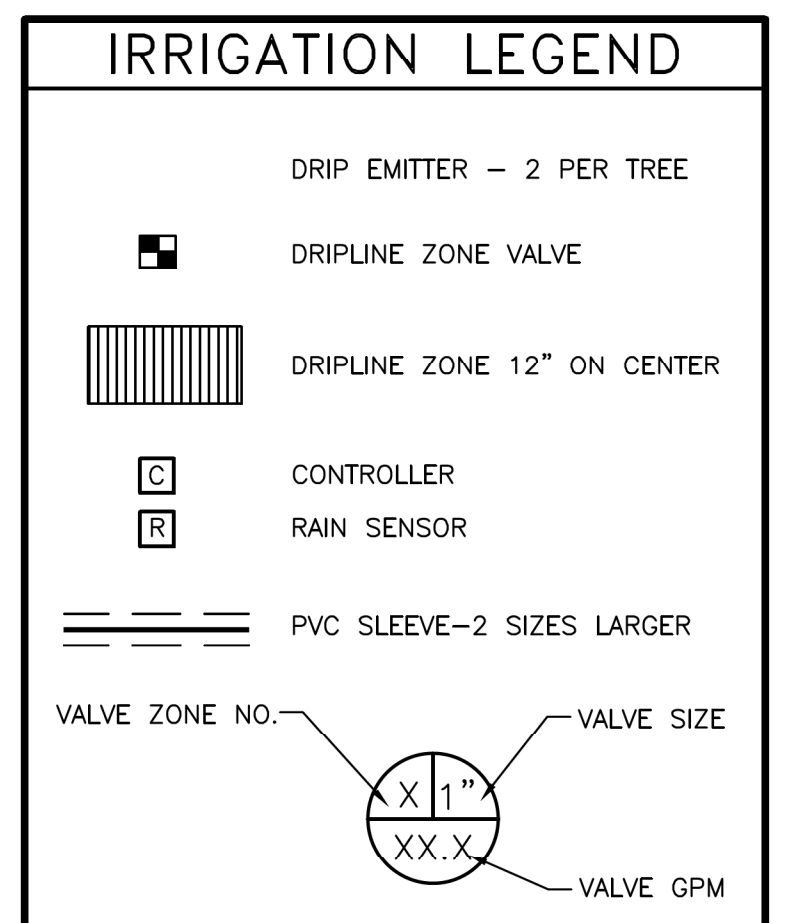
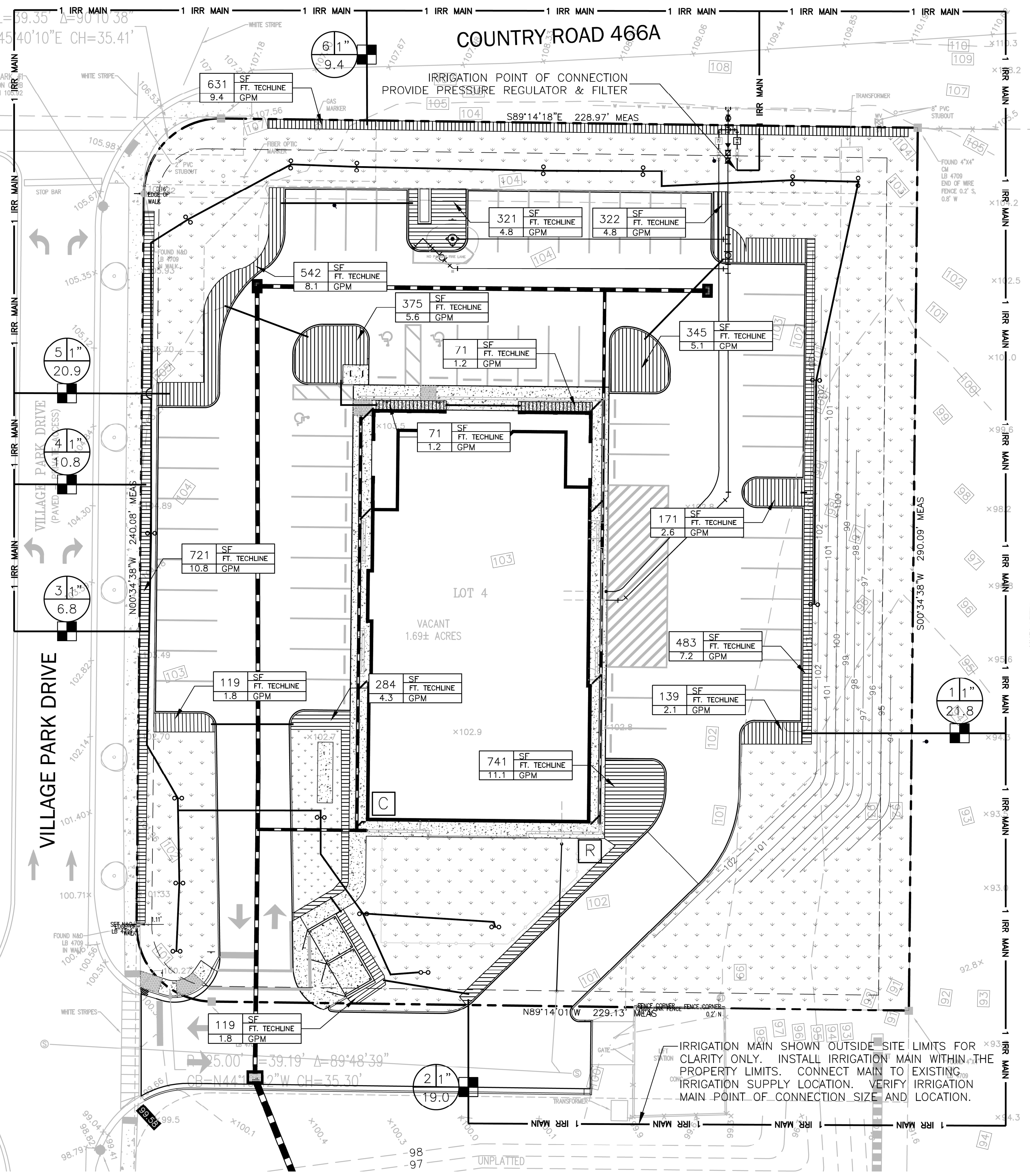
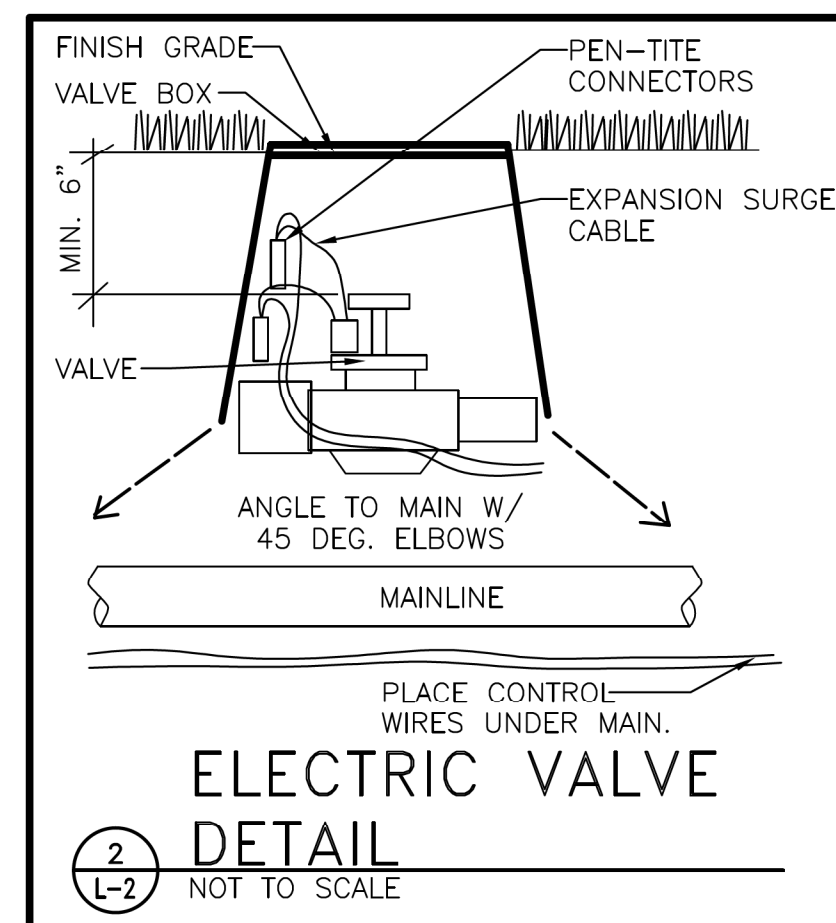
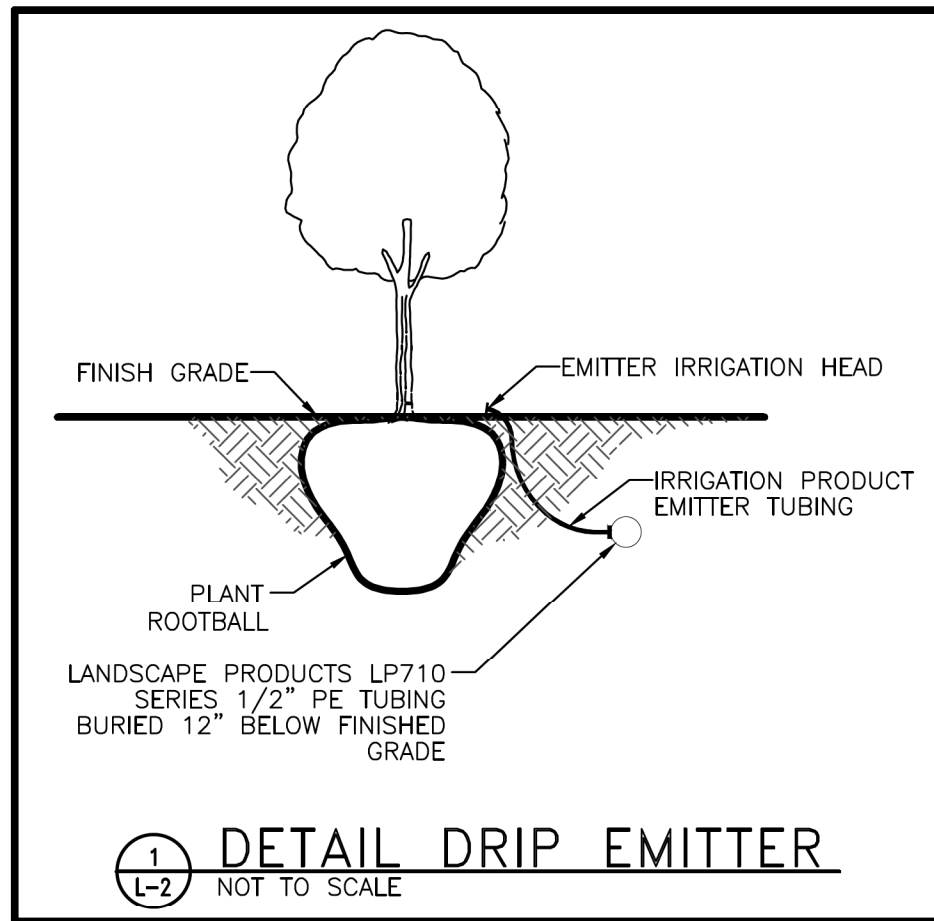
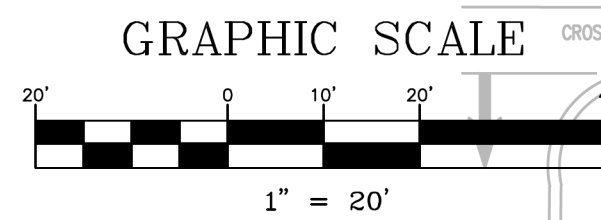
COUNTY ROAD 466A
(PAVED - PUBLIC RIGHT-OF-WAY)

COUNTRY ROAD 466A

IRRIGATION POINT OF CONNECTION
PROVIDE PRESSURE REGULATOR & FILTER

IRRIGATION NOTES:

- CONTRACTOR SHALL INSTALL A COMPLETE IRRIGATION SYSTEM WHICH PROVIDES 100% COVERAGE OF ALL PLANTED AREAS PROVIDE ALL PIPING, VALVES, VALVE BOXES, & WIRING AS REQUIRED FOR A COMPLETE & OPERATIONAL IRRIGATION SYSTEM.
- ALL IRRIGATION PIPING WHICH IS LOCATED UNDER PAVEMENT SHALL BE ENCASED IN A SLEEVE TWO SIZES LARGER THAN THE IRRIGATION LINE.
- CONTRACTOR TO PROVIDE A DOUBLE DETECTOR CHECK VALVE AT THE POINT OF WATER SERVICE IN ADDITION TO AN IRRIGATION METER. COORDINATE LOCATION WITH OTHER UTILITIES & GENERAL CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY & ALL PERMITS REQUIRED FOR THE INSTALLATION OR CONSTRUCTION OF THE WORK INCLUDED IN THIS CONTRACT.
- COORDINATE LOCATION OF IRRIGATION CONTROLLER WITH OWNER & GENERAL CONTRACTOR.
- PROVIDE A RAIN SWITCH EQUIVALENT TO TORO RAIN SWITCH #850-74. MOUNT ON BUILDING IN AN INCONSPICUOUS LOCATION EXPOSED TO NORMAL RAINFALL & PER MFRS. SUGGESTIONS.
- OBTAIN INSPECTION & APPROVAL OF ALL BURIED PIPING PRIOR TO BACKFILLING.
- ADJUST DESIGN OF SYSTEM WHERE NECESSARY TO AVOID CONFLICTS IN THE FIELD WITH LANDSCAPING OR UTILITY LINES.
- IRRIGATION CONTROLLER IS HUNTER IRRIGATION CONTROLLER SIZED APPROPRIATELY TO SUPPORT THE SYSTEM DESIGN. GET APPROVAL FROM OWNER PRIOR TO INSTALLATION. COORDINATE WITH CONTRACTOR FOR POWER REQUIREMENTS AND CONFIRM LOCATION WITH OWNER.
- PROGRAM IRRIGATION CONTROLLER TO PROVIDE 0.5 INCH OF WATER PER WEEK. SCHEDULE HEADS TO OPERATE DURING MORNING HOURS.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.
- ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING SNAP-TITE CONNECTORS & SEALANT.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING SHOWING ALL IRRIGATION INSTALLATIONS. THE DRAWING SHALL LOCATE ALL VALVES & MAINLINES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES OR STRUCTURES.
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TOTAL IRRIGATED AREA = 3,478 SF
REQUIRED IRRIGATION = 0.5"/WEEK
TOTAL IRRIGATION DEMAND = 1,084 GAL/WEEK = 155 GPD
IRRIGATION TO BE PROVIDED THRU 1" IRRIGATION METER

DATE	REVISIONS	BY	CHECKED

CONSTRUCTION PLANS
VETERINARY EMERGENCY CLINIC -
VILLAGES
COUNTY RD 466A FRUITLAND PARK, FL
CITY OF FRUITLAND PARK



5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
www.feg-inc.us

SITE IRRIGATION PLAN			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
RTA	SMH	RTA	GRC

PROJECT NO.	21-066
SCALE	1" = 20'
DATE	MARCH 1, 2022
SHEET NO.	L-2
SHEET 15	OF 17

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY:
RICK ABT
ON THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE MUST BE
VERIFIED ON ANY ELECTRONIC COPIES.

Digitally signed by
Richard T Abt
Date: 2022.03.23
11:01:52 -04'00'



**CITY OF FRUITLAND PARK
STAFF REPORT BY LPG URBAN & REGIONAL PLANNERS, INC.**

SITE PLAN

Owner: James Martin, Villages VEC

Engineer: Greg Crawford, Florida Engineering Group

General Location: Southside of CR 466A & East of Village Park Drive

Number of Acres: 1.875 ± acres

Existing Zoning: PUD

Existing Land Use: Mixed Community

Date: March 3, 2023

Description of Project

The owner is seeking site plan approval for construction of Veterinary Emergency Clinic of 9,850 SF within the Village Park Commercial Subdivision. The proposed veterinary emergency clinic is a permitted use pursuant to Ordinance 2021-002. Development of the subject site must conform with PUD Ordinance 2018-002.

	Surrounding Zoning	Surrounding Land Use
North	PUD	Mixed Community
South	PUD	Mixed Community
East	C-2	Commercial
West	PUD	Mixed Community

Assessment

The revised plans meet the minimum technical requirements of Chapter 160 and PUD Ordinance 2018-002 and Ordinance 2021-002.

Recommendation

Staff recommends approval subject to engineering approval.



VIA EMAIL echurch@fruitlandpark.org

February 1, 2023

Emily Church
Office Assistant
City of Fruitland Park
506 W. Berckman Street
Fruitland Park, FL 34731

**RE: VETERINARY EMERGENCY CLINIC (HALFF AVO 043866.092)
CONSTRUCTION PLAN REVIEW**

Dear Ms. Church:

Per your email request dated January 26, 2023, I have reviewed the documents which were included in drop box for the above referenced project. Based on my review, I believe all comments have been satisfied.

Should you have any questions, please feel free to contact our office.

Sincerely,

HALFF

A handwritten signature in blue ink, appearing to read "B. Tobias".

Brett J. Tobias, P.E.
Team Leader
btobias@half.com

BJT:eb



City of Fruitland Park, Florida
Community Development Department
 506 W. Berckman St., Fruitland Park, Florida 34731
 Tel: (352) 360-6727 Fax: (352) 360-6652
 www.fruitlandpark.org

<i>Staff Use Only</i>	
Case No.:	_____
Fee Paid:	_____
Receipt No.:	_____

Development Application

Contact Information:

Owner Name: Southwinds Commercial, Ltd.
 Address: 200 E. Canton Avenue, Suite 102, Winter Park, FL 32789
 Phone: 407-741-8500 Email: m.gauthier@atlantichousing.com

Applicant Name: Alex Stringfellow
 Address: 705 W. Minneola Ave, Clermont, FL 34711
 Phone: 352-217-7710 Email: alex@stringfellowplanning.com

Engineer Name: David Stokes (Madden, Moorhead & Stokes)
 Address: 431 E. Horatio Ave., Suite 260, Maitland, FL 32751
 Phone: 407-629-8330 Email: dstokes@madden-eng.com

Property and Project Information:

PROJECT NAME*: Spring Lake Road PUD
 *A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: 2307 Spring Lake Road, Fruitland Park

Parcel Number(s): Alt Key: 1284368 Section: _____ Township: _____ Range _____

Area of Property: +/- 14.10 Acres Nearest Intersection: _____

Existing Zoning: PUD Existing Future Land Use Designation: MFHC/SFMD

Proposed Zoning: _____ Proposed Future Land Use Designation: _____

The property is presently used for: Residential

The property is proposed to be used for: Residential (For Rent)

Do you currently have City Utilities? Yes

Application Type:

- | | | | |
|--|--|---|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Rezoning | <input checked="" type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Construction Plan | <input type="checkbox"/> ROW/Plat Vacate |
| <input type="checkbox"/> Site Plan | <input type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Replat of Subdivision | |

Please describe your request in detail: Refer to the PUD Document provided

Required Data, Documents, Forms & Fees

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Printed Name: Alex Stringfellow

Signature: Date: 03/20/23

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

Development Application Checklist

The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd) Current Deed Aerial Photo
 Property Appraiser Information Electronic Copy of Application Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through www.lakecountyfl.gov/maps/. Note: All maps are required to depict adjacent properties at a minimum.

Failure to provide adequate maps may delay the application process.

Other Required Analyses and Maps:

Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment Environmental Constraints Map Requested FLU Map

Large Scale Comprehensive Plan Amendment Applications:

- Maps: Environmental Constraints Soils Requested FLUM Designation Requested Zoning Map Designation
- Analyses: Environmental Assessment Utility Availability Analysis Urban Sprawl Analysis School Impact Analysis
 Traffic Impact Analysis Consistency with the Comp Plan Florida Master Site File sign-off or Archaeological Survey

- Rezoning Applications: Requested Zoning Map Justification for Rezoning

Planned Development Applications:

- Maps/Plans: Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G Environmental Constraints
- Analyses: Environmental Assessment Traffic Impact Analysis Preliminary Concurrency Analysis

- Variance Applications: Justification for Variance

- Special Exception Use Applications: Justification for Special Exception Use
 Site Sketch List of Special Requirements as Described in LDRs, Chapter 155

- Conditional Use Permit Applications: Proposed List of Conditions and Safeguards
 Site Plan as Described in LDRs, Chapter 155 Written Statement as Described in LDRs, Chapter 155

- Subdivision Applications:
(Preliminary Plan, Improvement Plan and Final Plat) As Described in LDRs, Chapter 157

- Minor Subdivision Applications: As Described in LDRs, Chapter 157

- Site Plan Applications: As Described in LDRs, Chapter 160

PROPERTY RECORD CARD

General Information

Name:	PENNER JONATHAN	Alternate Key:	1284368
Mailing Address: 2307 SPRING LAKE RD FRUITLAND PARK, FL 34731 Update Mailing Address		Parcel Number: ⓘ	33-18-24-0003-000-03000
		Millage Group and City:	000F Fruitland Park
		2021 Total Certified Millage Rate:	17.1686
		Trash/Recycling/Water/Info:	My Public Services Map ⓘ
Property Location: 2307 SPRING LAKE RD FRUITLAND PARK FL, 34731 Update Property Location ⓘ		Property Name:	-- Submit Property Name ⓘ
		School Information:	School Locator & Bus Stop Map ⓘ
			School Boundary Maps ⓘ
Property Description:	BEG 209.2 FT E OF SW COR OF NE 1/4 OF SW 1/4, RUN N 0-30-15 E 1325.45 FT, S 89-35-10 E 505.91 FT, S 0-32-50 W 1116.62 FT, N 89-22-40 W 231.4 FT, S 0-31-40 W 210.9 FT, N 89-20-30 W TO POB ORB 3139 PG 542		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	SINGLE FAMILY LAKE FRONTAGE (0103)	0	0		12.670	Acre	\$0.00	\$358,738.00
2	WETLAND (9600)	0	0		1.600	Acre	\$0.00	\$72.00

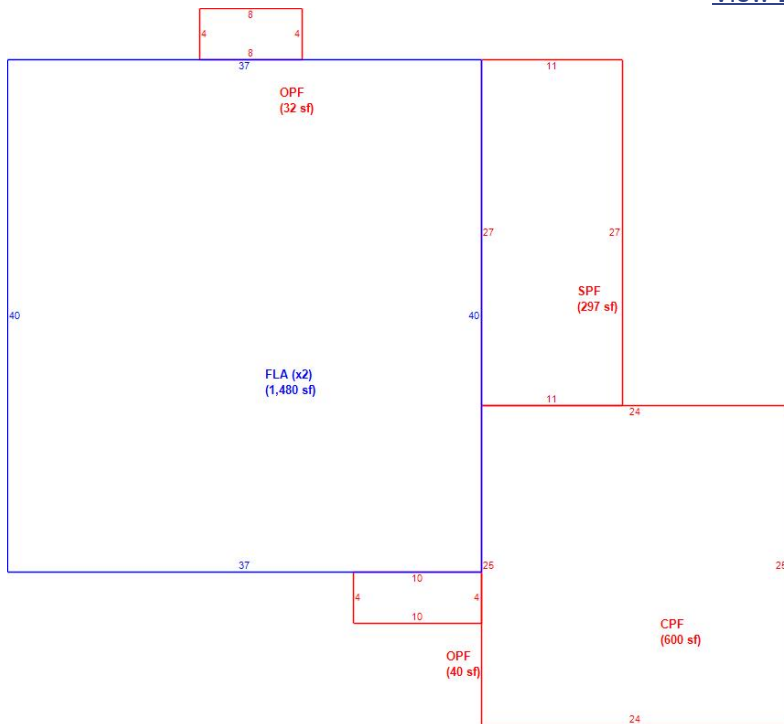
[Click here for Zoning Info](#) ⓘ [FEMA Flood Map](#)

Residential Building(s)

Building 1

Residential	Building Value: \$173,823.00		
Summary			
Year Built: 1975	Total Living Area: 2960 ⓘ	Central A/C: Yes	Attached Garage: No
Bedrooms: 1	Full Bathrooms: 2	Half Bathrooms: 0	Fireplaces: 1
Incorrect Bedroom, Bath, or other information? ⓘ			
Section(s)			
Section Type	Ext. Wall Type	No. Stories	Floor Area
CARPOR FINISHED (CPF)		2.00	600
FINISHED LIVING AREA (FLA)	Block (02)	2.00	2960
OPEN PORCH FINISHED (OPF)		2.00	72
SCREEN PORCH FINISHED (SPF)		2.00	297

[View Larger / Print / Save](#)



Building 2

Residential

Building Value: \$16,883.00

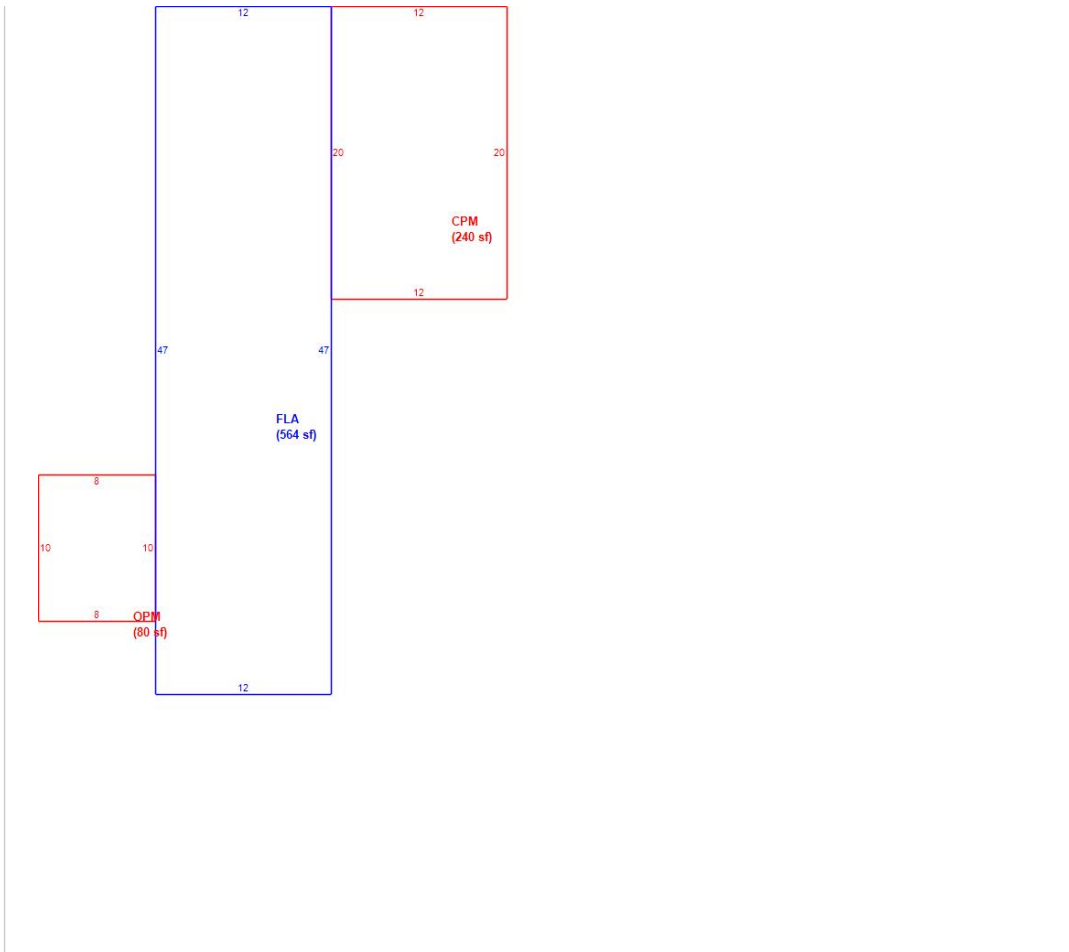
Summary

Year Built: 1976	Total Living Area: 564 ⓘ	Central A/C: Yes	Attached Garage: No
Bedrooms: 1	Full Bathrooms: 1	Half Bathrooms: 0	Fireplaces: 0
<u>Incorrect Bedroom, Bath, or other information?</u> ⓘ			

Section(s)

Section Type	Ext. Wall Type	No. Stories	Floor Area
CARPORT MFD (CPM)		1.00	240
FINISHED LIVING AREA (FLA)	Wood (01)	1.00	564
OPEN PORCH MFD (OPM)		1.00	80

[View Larger / Print / Save](#)



Miscellaneous Improvements

No.	Type	No. Units	Unit Type	Year	Depreciated Value
1	BARN (BRN2)	1200	SF	1973	\$4,680.00
2	BARN (BRN3)	1440	SF	1985	\$8,208.00

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
3139 / 542	04/2006	Warranty Deed	Qualified	Improved	\$1,025,000.00
489 / 379	10/1972	Warranty Deed	Unqualified	Improved	\$43,000.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

Values and Estimated Ad Valorem Taxes ⓘ

Values shown below are 2022 CERTIFIED VALUES.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$562,404	\$435,670	\$435,670	5.0529	\$2,201.40
SCHOOL BOARD STATE	\$562,404	\$562,404	\$562,404	3.5940	\$2,021.28
SCHOOL BOARD LOCAL	\$562,404	\$562,404	\$562,404	2.9980	\$1,686.09
LAKE COUNTY WATER AUTHORITY	\$562,404	\$435,670	\$435,670	0.3229	\$140.68

NORTH LAKE HOSPITAL DIST	\$562,404	\$435,670	\$435,670	0.0000	\$0.00
ST JOHNS RIVER FL WATER MGMT DIST	\$562,404	\$435,670	\$435,670	0.2189	\$95.37
CITY OF FRUITLAND PARK	\$562,404	\$435,670	\$435,670	3.9134	\$1,704.95
LAKE COUNTY MSTU AMBULANCE	\$562,404	\$435,670	\$435,670	0.4629	\$201.67
LAKE COUNTY VOTED DEBT SERVICE	\$562,404	\$435,670	\$435,670	0.0918	\$39.99
LAKE COUNTY MSTU FIRE	\$562,404	\$435,670	\$435,670	0.5138	\$223.85
				Total: 17.1686	Total: \$8,315.28

Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	Learn More View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	Learn More View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	Learn More View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More View the Law
Widow / Widower Exemption (up to \$500)	Learn More View the Law
Blind Exemption (up to \$500)	Learn More View the Law
Disability Exemption (up to \$500)	Learn More View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Disability Exemption (\$5000)	Learn More View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More View the Law
Deployed Servicemember Exemption (amount varies)	Learn More View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More View the Law
Conservation Exemption (amount varies)	Learn More View the Law
Tangible Personal Property Exemption (up to \$25,000)	Learn More View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	Learn More View the Law
Economic Development Exemption	Learn More View the Law
Government Exemption (amount varies)	Learn More View the Law

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on March 21, 2022.

Site Notice



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Detail by Entity Name

Florida Limited Partnership
SOUTHWINDS COMMERCIAL, LTD.

Filing Information

Document Number	A06000000414
FEI/EIN Number	20-4647318
Date Filed	03/22/2006
State	FL
Status	ACTIVE
Last Event	LP NAME CHANGE
Event Date Filed	12/19/2007
Event Effective Date	NONE

Principal Address

200 E. Canton Avenue
Suite 102
Winter Park, FL 32789

Changed: 04/16/2013

Mailing Address

200 E. Canton Avenue
Suite 102
Winter Park, FL 32789

Changed: 04/16/2013

Registered Agent Name & Address

Clark & Albaugh, LLP
700 W. Morse Boulevard
Suite 101
Winter Park, FL 32789

Name Changed: 04/20/2016

Address Changed: 04/16/2013

General Partner Detail

Name & Address

Document Number L06000030563

SOUTHWINDS COVE MANAGERS II, L.L.C.

200 E. Canton Avenue

Suite 102

Winter Park, FL 32789

Annual Reports

Report Year	Filed Date
2020	03/27/2020
2021	04/27/2021
2022	04/21/2022

Document Images

<u>04/21/2022 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/27/2021 -- ANNUAL REPORT</u>	View image in PDF format
<u>03/27/2020 -- ANNUAL REPORT</u>	View image in PDF format
<u>03/14/2019 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/10/2018 -- ANNUAL REPORT</u>	View image in PDF format
<u>03/25/2017 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/20/2016 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/14/2015 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/15/2014 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/16/2013 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/25/2012 -- ANNUAL REPORT</u>	View image in PDF format
<u>06/30/2011 -- ADDRESS CHANGE</u>	View image in PDF format
<u>05/13/2011 -- ADDRESS CHANGE</u>	View image in PDF format
<u>04/20/2011 -- ANNUAL REPORT</u>	View image in PDF format
<u>05/03/2010 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/27/2009 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/08/2008 -- ANNUAL REPORT</u>	View image in PDF format
<u>12/19/2007 -- LP Name Change</u>	View image in PDF format
<u>07/11/2007 -- ANNUAL REPORT</u>	View image in PDF format
<u>03/22/2006 -- Domestic LP</u>	View image in PDF format



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
SOUTHWINDS COVE MANAGERS II, L.L.C.

Filing Information

Document Number L06000030563
FEI/EIN Number 20-4631703
Date Filed 03/22/2006
State FL
Status ACTIVE

Principal Address

200 E. Canton Avenue
Suite 102
Winter Park, FL 32789

Changed: 04/16/2013

Mailing Address

200 E. Canton Avenue
Suite 102
Winter Park, FL 32789

Changed: 04/16/2013

Registered Agent Name & Address

Clark & Albaugh, LLP
700 W. Morse Boulevard
Suite 101
Winter Park, FL 32789

Name Changed: 04/20/2016

Address Changed: 04/16/2013

Authorized Person(s) Detail

Name & Address

Title MGR

MISSIGMAN, PAUL M
200 E. Canton Avenue
Suite 102

Winter Park, FL 32789

Title MGR

CULP, W. SCOTT
200 E. Canton Avenue
Suite 102
Winter Park, FL 32789

Title MGR

DOODY, TRICIA
200 E. Canton Avenue
Suite 102
Winter Park, FL 32789

Annual Reports

Report Year	Filed Date
2020	03/27/2020
2021	04/27/2021
2022	04/21/2022

Document Images

04/21/2022 -- ANNUAL REPORT	View image in PDF format
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03/27/2020 -- ANNUAL REPORT	View image in PDF format
03/14/2019 -- ANNUAL REPORT	View image in PDF format
04/10/2018 -- ANNUAL REPORT	View image in PDF format
03/25/2017 -- ANNUAL REPORT	View image in PDF format
04/20/2016 -- ANNUAL REPORT	View image in PDF format
04/14/2015 -- ANNUAL REPORT	View image in PDF format
04/15/2014 -- ANNUAL REPORT	View image in PDF format
04/16/2013 -- ANNUAL REPORT	View image in PDF format
04/25/2012 -- ANNUAL REPORT	View image in PDF format
05/13/2011 -- ADDRESS CHANGE	View image in PDF format
04/20/2011 -- ANNUAL REPORT	View image in PDF format
05/01/2010 -- ANNUAL REPORT	View image in PDF format
04/29/2009 -- ANNUAL REPORT	View image in PDF format
04/08/2008 -- ANNUAL REPORT	View image in PDF format
05/08/2007 -- ANNUAL REPORT	View image in PDF format
03/23/2006 -- Florida Limited Liability	View image in PDF format



Superintendent:
Diane S. Kornegay, M.Ed.

School Board Members:
District 1
Bill Mathias
District 2
Tyler Brandenburg
District 3
Marc Dodd
District 4
Mollie Cunningham
District 5
Stephanie Luke

201 West Burleigh Boulevard · Tavares · FL 32778-2496
(352) 253-6500 · Fax: (352) 253-6503 · www.lake.k12.fl.us

October 21, 2022

Mr. Marc Gauthier
Atlantic Housing
200 E. Canton Avenue, #102
Winter Park, FL 32789

**RE: WaterVue at Lake Geneva – Fruitland Park
School Concurrency Capacity Reservation (District Project #LCS2022-39)
Alternate Keys: 1284368**

Dear Mr. Gauthier:

The School Board of Lake County has reviewed the project information for the above referenced residential development. The application indicates 92 multi-family dwelling units. The proposed development is estimated to generate approximately twenty-six (26) students.

Based on the information provided in the application the property is located within Concurrency Service Area (CSA) #9. The analysis performed indicates the level of service standards for each school level will **not** be exceeded by the students generated from this residential development.

It has been determined at this time that school capacity is available and **will be reserved for your project. This capacity reservation will expire one year from date of issuance.** In the event, a final development order is obtained within the year this capacity reservation will be valid for the life of the project. Please notify the school district when the final development order is obtained in order to update the project records.

If you should require additional time to obtain the final development order approval, please notify District staff prior to the expiration date to discuss time extension options. Once the reservation expires, the capacity will be released and a new completed application and fee will be required. If you have any questions, please contact me at (352) 253-6694 or at lavalleyh@lake.k12.fl.us.

Sincerely,

Helen LaValley
Growth Planning Department

Encl: School Concurrency Availability Determination

Lake County Florida School Board CIP

School Concurrency Availability Determination

Project Name: Watervue at Lk Geneva
Date Received: 10/12/2022
Case Number: LCS2022-39
Builder Name: Atlantic Housing - Paul Missigman, Mgr.
Location: 2307 Spring Lake Road, FP

Project Unit Yield By Type of School

	Yield	Elem	Mid	High
--	-------	------	-----	------

Multi-Family	0.153	14		
Multi-Family	0.068			6
Multi-Family	0.061		6	

Project Planned Units:
Single Family: 0 **# Multi-Family:** 92
Townhomes: 0 **# Apartments:** 0

Additional Information: 10/12/22 Recd SC app

Service Area Analysis

Concurrency Service Area (CSA)	Current Capacity	Programmed Capacity	Total Capacity	Current Enrollment	Reserved Demand	Total Demand	Available Capacity	Project Demand
CSA #9 - Elementary	1969	262	2231	1689	422	2111	120	14
CSA #9 - Middle	1129	0	1129	812	137	949	180	6
CSA #9 - High	1982	0	1982	1575	369	1944	38	6

Project Demand may differ from Project Yield by Type of School due to rounding

SPRING LAKE ROAD PUD

Project Name: Spring Lake Road PUD

Developer:

Atlantic Housing Partners
200 E. Canton Avenue, Suite 102, Winter Park, FL 32789

Site Location: 2307 Spring Lake Road, Fruitland Park, FL 34731. Located north of Spring Lake Road, and south of Lake Geneva.

Alternate Key: 1284368

Adjacent Zoning: PUD to the North and East, A (Lake County) to the Southeast, R-1 and R-3 (Lake County) to the South and A (Lake County) to the West.

Adjacent Land Uses: MFHD to the North and East, Urban Medium Density (Lake County) to the South and West.

Proposed Uses and Parking: Residential and amenity buildings including, but not limited to, clubhouse, leasing office, pool, mail kiosks, and other ancillary uses, and required parking.

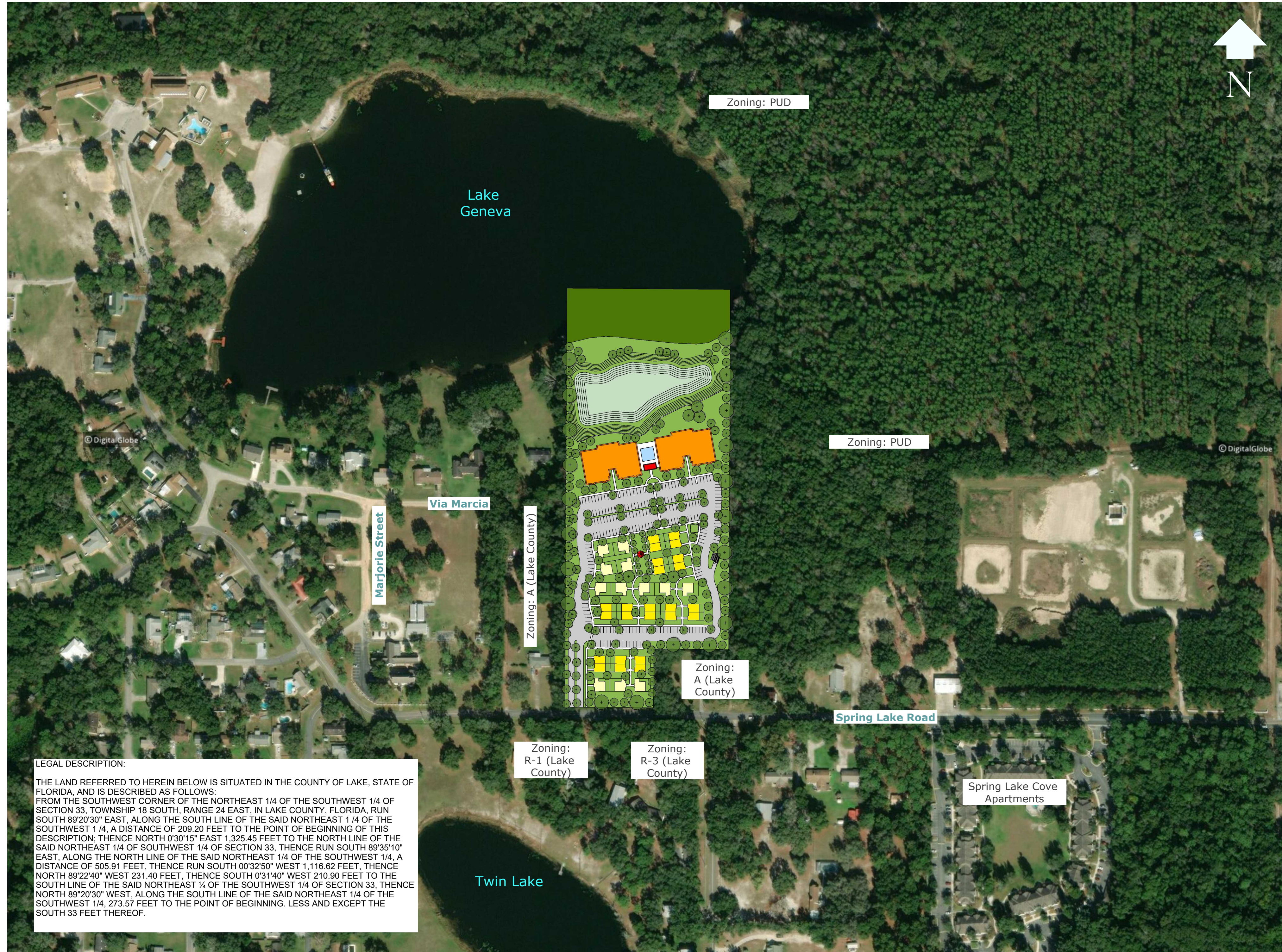
Proposed Phasing: One phase, not applicable.

Acreeage & Density:

Gross Acreeage of Parcel: +/- 14.10 Acres
Net Acreeage: +/- 12 Acres
Max Allowable Units Based on FLU: 147 Units
Proposed Units: 92 Units - All units fall within the MFHD Land Use.

WMD: St. Johns River Water Management District

Utilities: City Water, City Sewer, Privately Maintained Stormwater Pond. Fire protection per Code.



LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF LAKE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:
FROM THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 18 SOUTH, RANGE 24 EAST, IN LAKE COUNTY, FLORIDA, RUN SOUTH 89°20'30" EAST, ALONG THE SOUTH LINE OF THE SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4, A DISTANCE OF 209.20 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH 0°30'15" EAST 1,325.45 FEET TO THE NORTH LINE OF THE SAID NORTHEAST 1/4 OF SOUTHWEST 1/4 OF SECTION 33; THENCE RUN SOUTH 89°35'10" EAST, ALONG THE NORTH LINE OF THE SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4, A DISTANCE OF 505.91 FEET; THENCE RUN SOUTH 00°32'50" WEST 1,116.62 FEET; THENCE NORTH 89°22'40" WEST 231.40 FEET; THENCE SOUTH 0°31'40" WEST 210.90 FEET TO THE SOUTH LINE OF THE SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 33; THENCE NORTH 89°20'30" WEST, ALONG THE SOUTH LINE OF THE SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4, 273.57 FEET TO THE POINT OF BEGINNING. LESS AND EXCEPT THE SOUTH 33 FEET THEREOF.

Situated north of Spring Lake Road and south of Lake Geneva in the City of Fruitland Park, Florida, the Spring Lake Road PUD is a proposed development of 92 multifamily dwellings divided between 56 dwellings in two-story apartments and 36 dwellings in one-story villas. The total parcel size is +/- 14.10 acres, with +/- 2.10 acres being undevelopable wetlands. The remaining +/- 12 Acres to the south of the wetlands will be developed for multifamily residential uses. Current future land use allows up to 147 units, all units are designed to fall within the Multifamily High Density (MFHD) land use. The development will maintain community amenities and associated private improvements. Access for the development will occur from Spring Lake Road.



Plan Prepared by:
ALEX STRINGFELLOW
352.217.7710
alex@stringfellowplanning.com

Additional Supporting Graphics Prepared by:
SIMON HARDT
207.607.9366
simon@stringfellowplanning.com



STRINGFELLOW
PLANNING & DESIGN

SPRING LAKE ROAD PUD

Concept Plan



Proposed Setbacks



Plan Prepared by:
ALEX STRINGFELLOW
352.217.7710
alex@stringfellowplanning.com

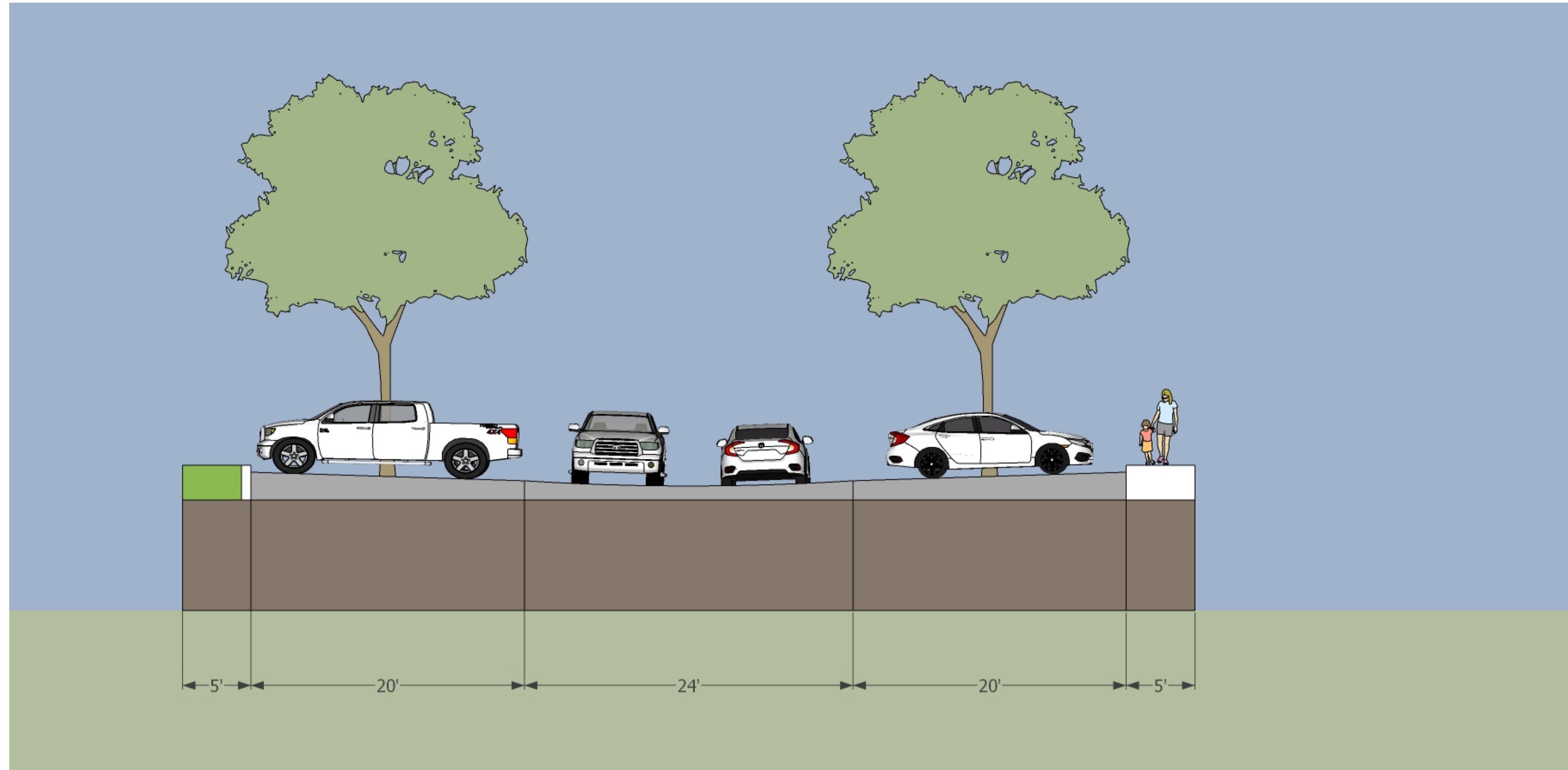
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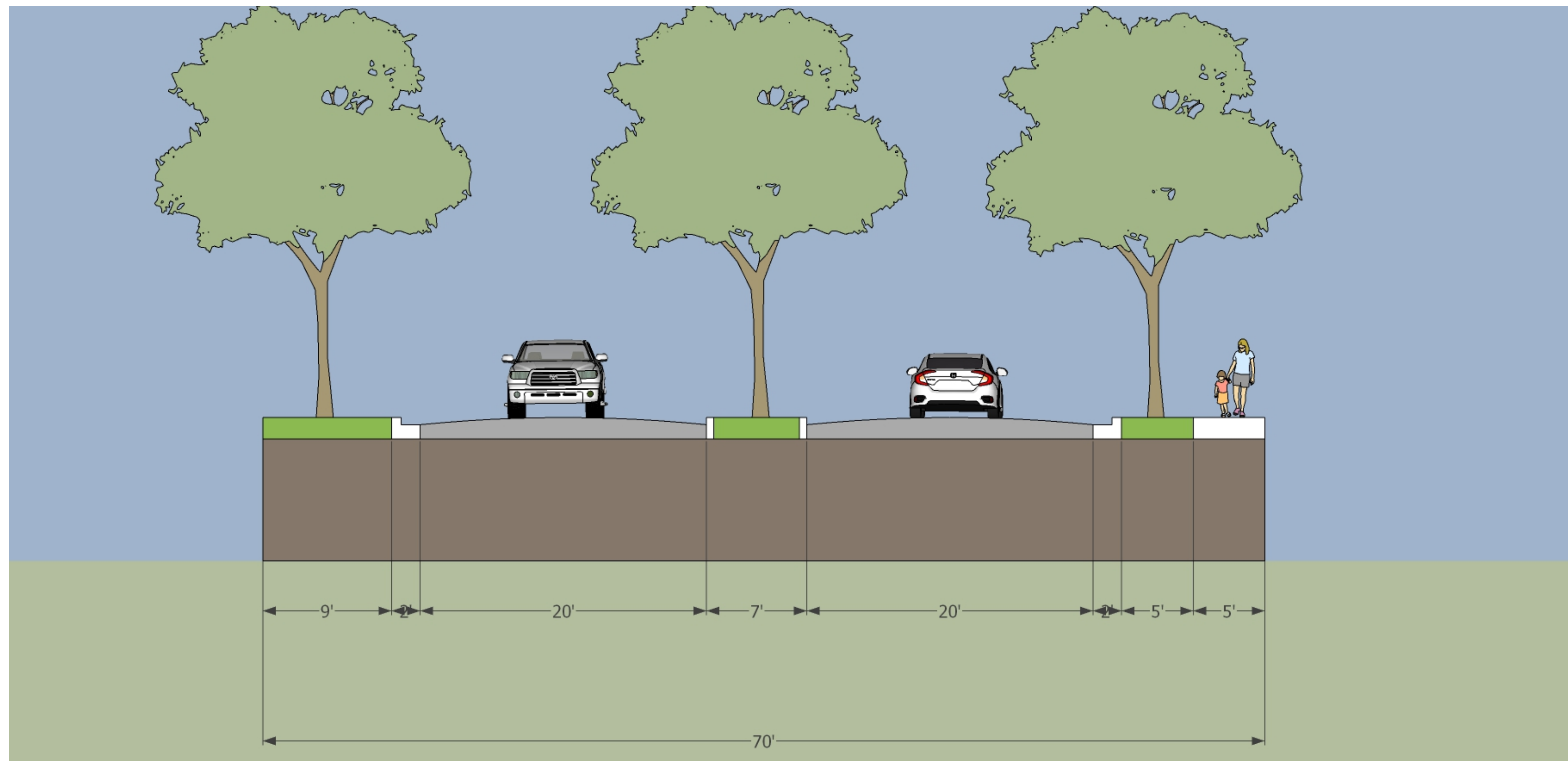
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SPRING LAKE ROAD PUD

Typical Parking Aisle Section



Entry Road Section



Unit Types and Sizes

Unit Type 1: 2 Bedroom Lakeview Apartment (40 units)

1,031 SF - AC Area (Net Area)

159 SF - Outdoor Area

Unit Type 2: 2-Bedroom Apartment (8 units)

1,117 SF - AC Area (Net Area)

85 SF - Outdoor Area

Unit Type 3: 3 Bedroom Apartment (8 units)

1,209 SF - AC Area (Net Area)

85 SF - Outdoor Area

Unit Type 4: 1 Bedroom Villa (24 units)

777 SF - AC Area (Net Area)

80 SF - Outdoor Area

Unit Type 5: 2 Bedroom Villa (12 units)

1,117 SF - AC Area (Net Area)

85 SF - Outdoor Area

Maximum Building Height: 35 feet

Parking Calculation:

1 Bedroom Units: 24 x 1.5 spaces = 36 spaces

2 & 3 Bedroom Units: 68 x 2 spaces = 136 spaces

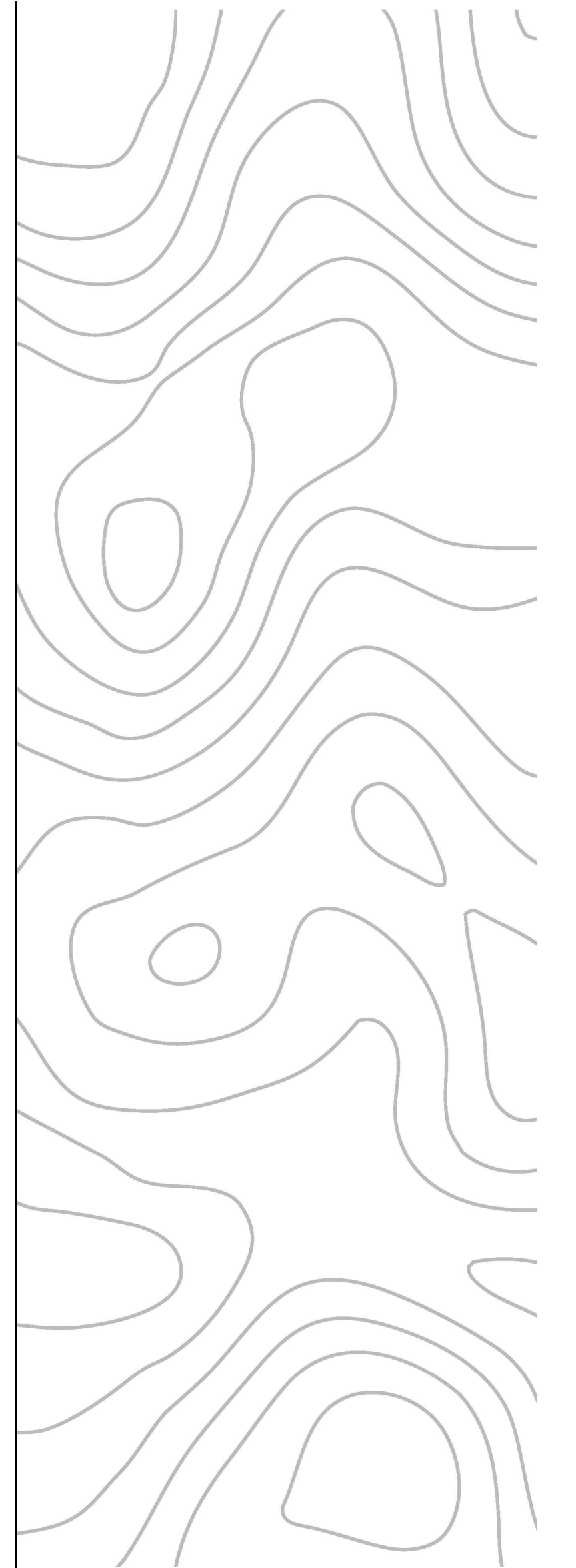
Guest Parking: 92 x 0.25 spaces = 23

Total Required Parking = 195 spaces

Total Provided Parking = 202 spaces

Total Required Bike Parking = 10 spaces

Total Provided Bike Parking = 10 spaces



Plan Prepared by:
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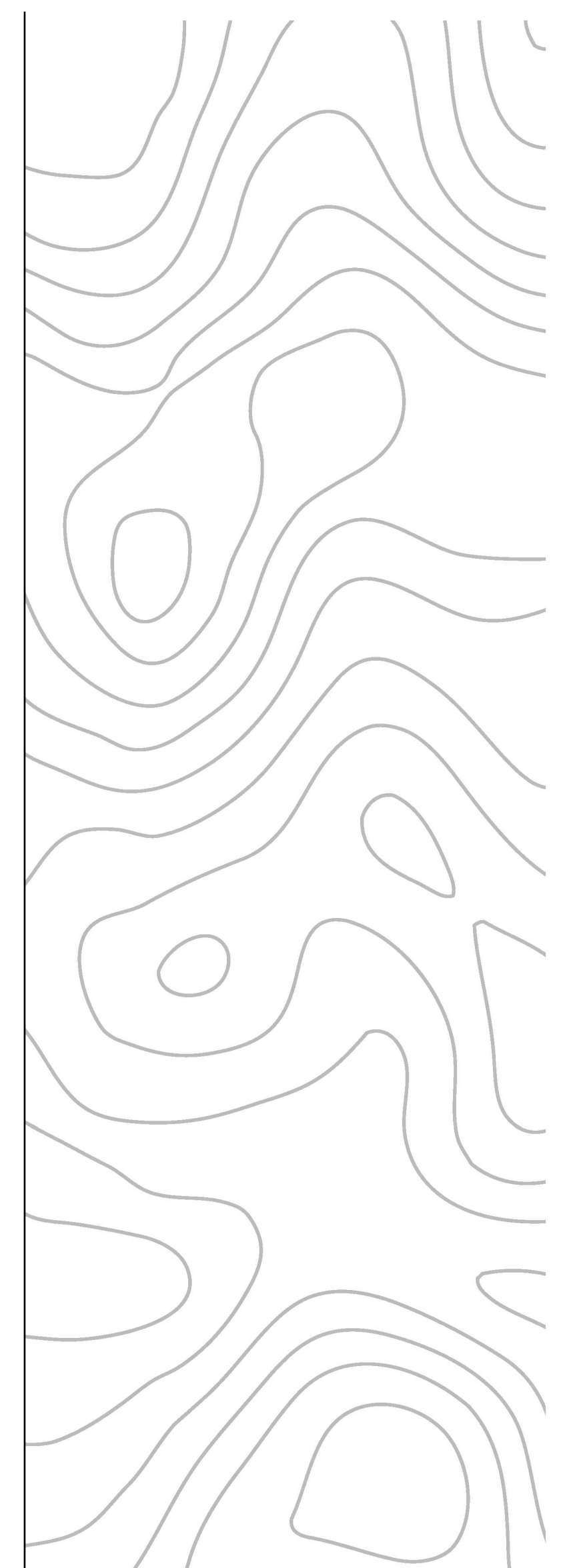


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SPRING LAKE ROAD PUD

1 ft. Contours (Source: Lake County)

Waterbodies, Wetlands, Floodplain (Source: Lake County)



August 2, 2022

Street Names
Local Streets
Address Locations
Property Name
Tax Parcels Alternate Key
Tax Parcels
County Boundary
Surrounding Counties

1:2,500
0 0.0275 0.055 0.11 mi
0 0.045 0.09 0.18 km

Lake County Property Appraiser
Lake BCC

Lake County Board of County Commissioners

August 2, 2022

Street Names
Local Streets
Address Locations
Property Name
Tax Parcels Alternate Key
Tax Parcels
County Boundary
Surrounding Counties

Wetlands
<all other values>
Freshwater Emergent Wetland
Freshwater Forested/Shrub Wetland
Freshwater Pond
Lake
Other
Riverine

Flood Zones 2012
0.2 PCT ANNUAL CHANCE FLOOD HAZARD
A
AE
Water Bodies

1:2,500
0 0.0275 0.055 0.11 mi
0 0.045 0.09 0.18 km

Lake County Property Appraiser
Lake BCC

Lake County Board of County Commissioners

Plan Prepared by:
ALEX STRINGFELLOW
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alex@stringfellowplanning.com

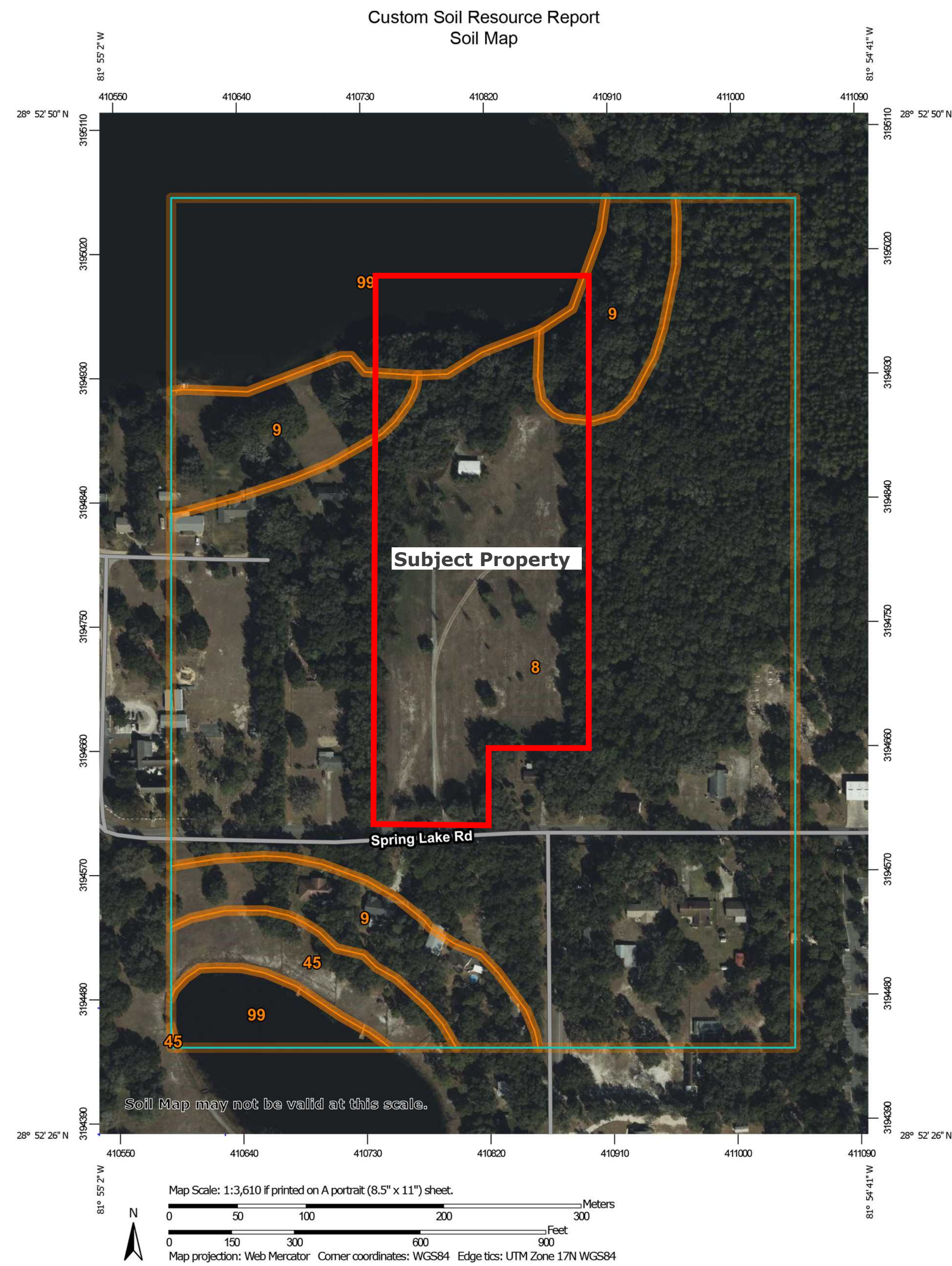
Additional Supporting Graphics Prepared by:
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simon@stringfellowplanning.com



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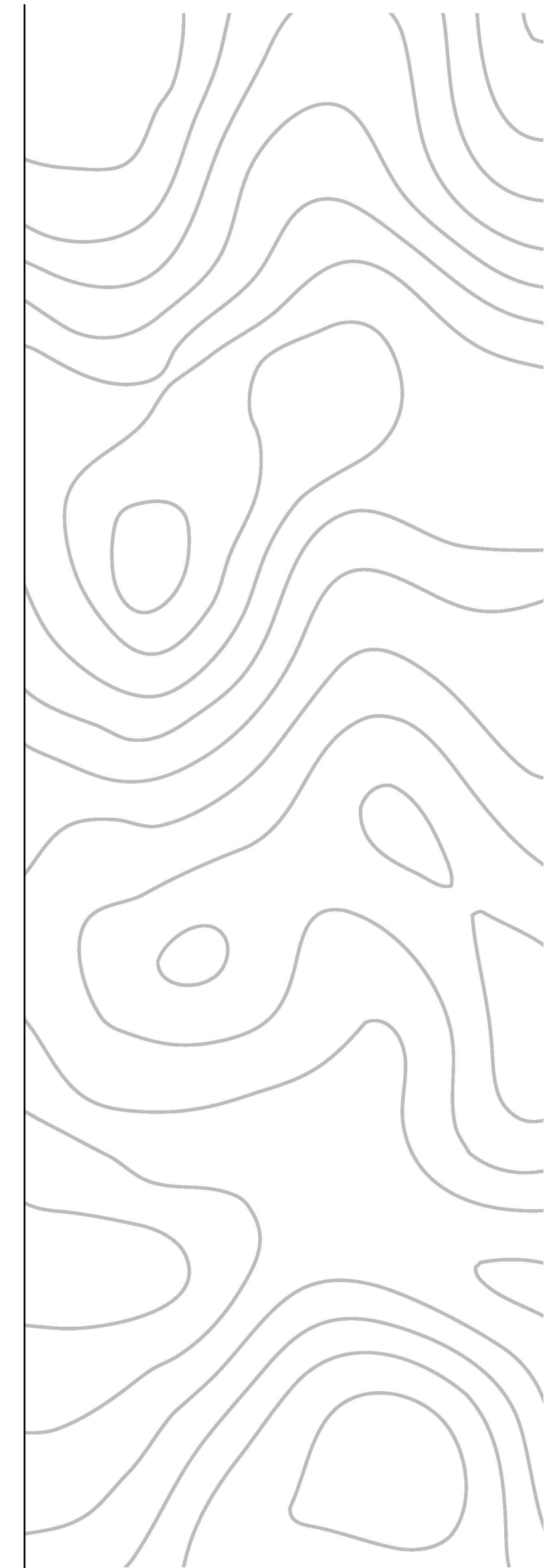
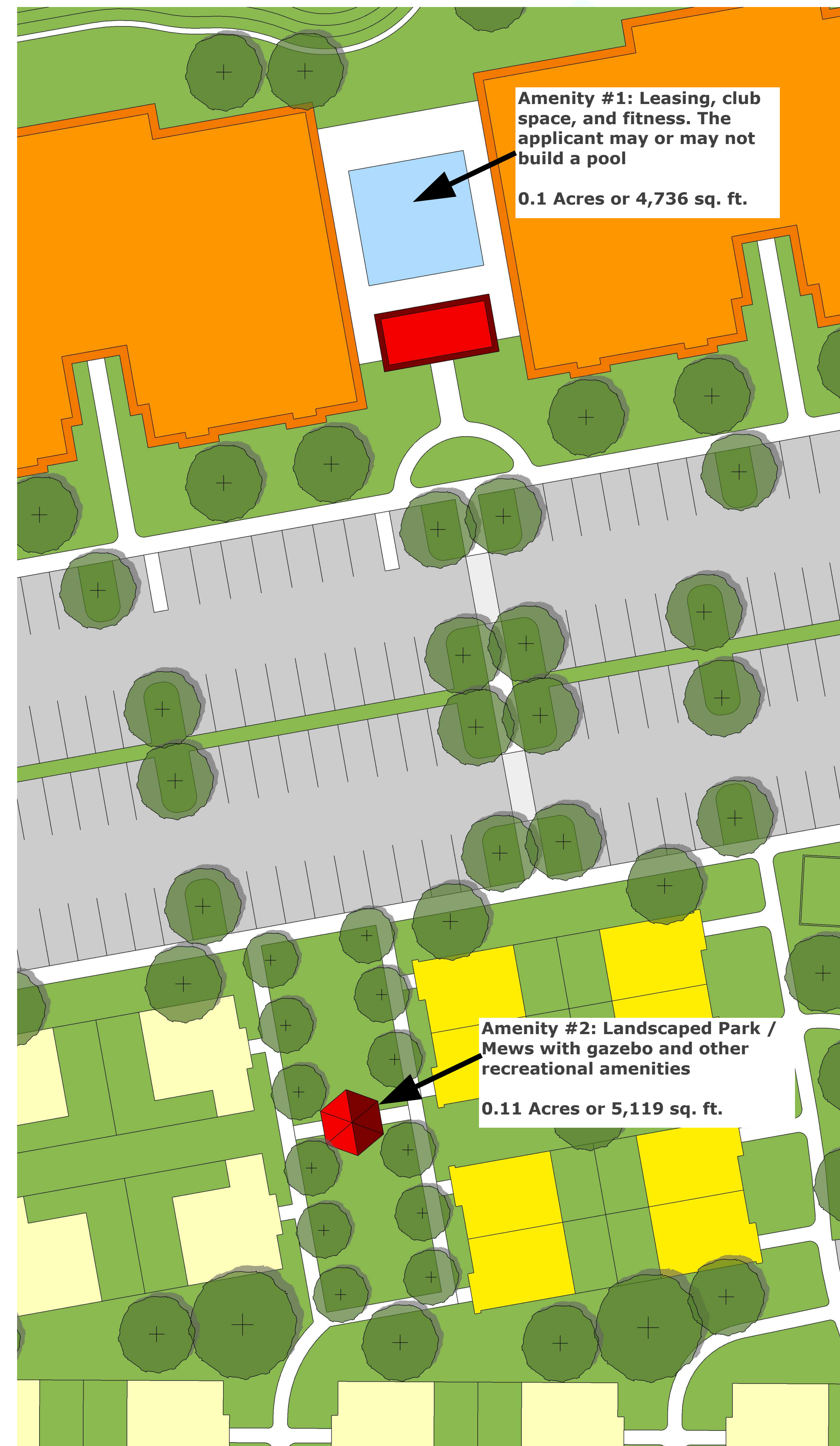
SPRING LAKE ROAD PUD

Soils (Source USDA)



Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
8	Candler sand, 0 to 5 percent slopes	47.5	68.4%
9	Candler sand, 5 to 12 percent slopes	9.0	13.0%
45	Tavares sand, 0 to 5 percent slopes	2.2	3.2%
99	Water	10.7	15.4%
Totals for Area of Interest		69.5	100.0%

Amenities



Plan Prepared by:
ALEX STRINGFELLOW
352.217.7710
alex@stringfellowplanning.com

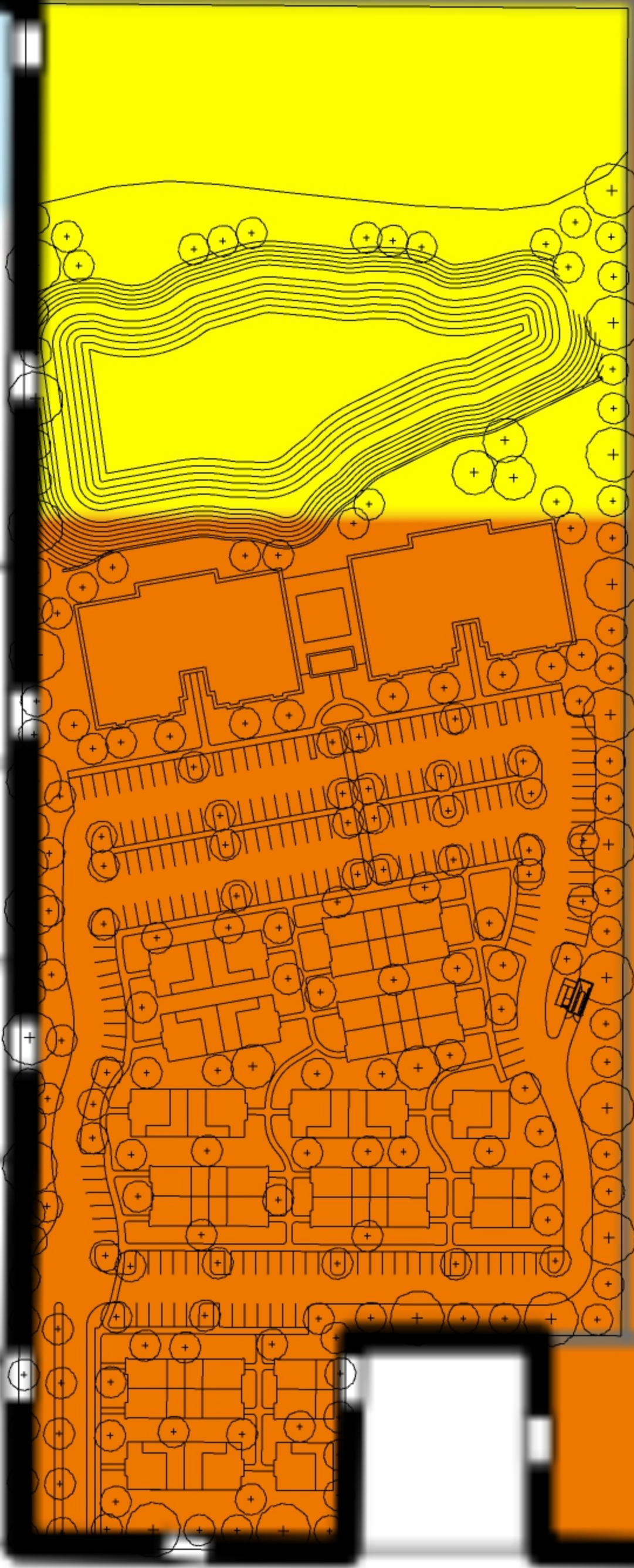
Additional Supporting Graphics Prepared by:
SIMON HARDT
207.607.9366
simon@stringfellowplanning.com



STRINGFELLOW
PLANNING & DESIGN

ARCIA

MARJORIE ST



SPRING LAK



VIA EMAIL swilliams@fruitlandpark.org

December 9, 2022

Sharon Williams
Assistant to the Director
City of Fruitland Park
506 W. Berckman Street
Fruitland Park, FL 34731

**RE: SPRING LAKE ROAD PUD (AVO 043866.093)
PUD REVIEW**

Dear Mr. Williams:

Per an email request from Emily Church dated December 9, 2022, I have reviewed the documents attached for the subject project. Based upon my review, I do not have any further comments. Should you have any questions, please feel free to contact our office.

Sincerely,

HALFF

A handwritten signature in blue ink, appearing to read "Hugo Cabrera".

Hugo Cabrera, P.E.
Senior Public Works Project Manager
hcabrera@halff.com

HC:am



Public Works Department/Engineering Division
P.O. Box 7800 • 350 N. Sinclair Ave., • Tavares, FL 32778

December 9, 2022

Dwayne Williams
Community Development Director
City of Fruitland Park
Community Development Department
506 W Berkman St
Fruitland Park, Florida 34731
(sent via email)

RE: PROJECT: Spring Lake Road Planned Unit Development

Thank you for requesting our comments on this planned unit development.

The below information neither constitutes an approval nor a denial by Lake County Board of County Commissioners or Lake County staff. Specifically, the County Commissioners have neither discussed nor voted on this project. These recommendations are only from the Lake County Department of Public Works. The Office of Planning and Zoning, Office of Building Services, Office of Fire Rescue, and other associated offices have NOT provided comments on this development. Further input by these groups may be required

Major comments for Spring Lake Road

- **Narrow road not capable of handling heavy traffic**
- **Right-of-way does not meet required minimal standard widths**

Public Work's recommended requirements for the Rolling Acres PUD impacts to roadways and drainage systems:

Spring Lake Road:

- Spring Lake Road is a narrow road with a width of 20 ft. The road can handle light traffic, but heavy traffic is not recommended.
- A right turn lanes on Spring Lake Road at the development's entrance will be required.
- There is limited right of way dedication currently on Spring Lake Road. The development may be required to dedicate right-of-way at time of permitting.

P 352.253.6000 • F 352.253.9025

Board of County Commissioners • www.lakecountyfl.gov

Douglas B. Shields
District 1

Sean M. Parks, AICP, QEP
District 2

Kirby Smith
District 3

Leslie Campione
District 4

Josh Blake
District 5

Internal Connectivity:

- The development is recommended to have internal pedestrian and bicycle connectivity throughout the development and along Spring Lake Road.

Traffic:

- A Traffic Impact Analysis (TIA) will be required of this development for review by the Lake-Sumter MPO and Lake County Public Works Department. The TIA will need to follow and Lake-Sumter MPO Traffic Impact Analysis Methodology and Guideline the methodology will need to be worked out prior to TIA submittal.
- The TIA is highly recommended to be provided for review by Lake-Sumter MPO and Lake County prior to public hearings for the PUD.

Stormwater Management:

- The site's stormwater management design will need to be reviewed by Lake County when submitted to both the City of Fruitland Park and St. Johns River Water Management District. We may require Lake County stormwater design standards on ponds that outfall or affect surrounding unincorporated lands or onto county roads.

Flood Study:

- Development will be responsible for a drainage and flood study to determine the base flood elevation. The flood study will require review by both the city and county. The study will evaluate impacts to the Lake Geneva, a closed basin watershed.

Please be advised that this letter pertains to transportation, access management, stormwater, and floodplain related impacts foreseen from the proposed PUD application as reviewed by Lake County Department of Public Works. This letter does not include any land use, zoning, or any other elements that may be addressed by other departments, such as Lake County Department of Economic Growth - Office of Planning and Zoning.

Please contact me if you have any questions concerning the comments and recommendations provided in this letter.

Approval may be subject to Board of County Commission approval.

Sincerely,

Seth Lynch

Seth Lynch
Development Engineer/Project Manager
Lake County Department of Public Works
Engineering Division
slynch@lakecountyfl.gov

Cc: Jeff Earhart, Engineering Manager for Lake County
Bobby Howell, Planning Director for Lake County
Janie Barron, Chief Planner for Lake County



City of Fruitland Park, Florida
Community Development Department
 506 W. Berckman St., Fruitland Park, Florida 34731
 Tel: (352) 360-6727 Fax: (352) 360-6652
 www.fruitlandpark.org

<i>Sta Use Only</i>	
Case No.:	_____
Fee Paid:	_____
Receipt No.:	_____

Development Application

Contact Information:

Owner Name: Daryl M Carter, Trustee
 Address: PO Box 568821, Orlando, FL 32856
 Phone: 407-422-3144 Email: dcarter@maurycarter.com

Applicant Name: Resibuilt Homes, LLC
 Address: 3630 Peachtree Rd, Ste 1500, Atlanta, GA 30326
 Phone: 470-788-0136 Email: Jbyce@resibuilt.com

Engineer Name: Madden, Moorhead & Stokes, LLC
 Address: 431 E. Horatio Ave., Ste. 260, Maitland, FL 32751
 Phone: 407-629-8330 Email: chad@madden-eng.com

Property and Project Information:

PROJECT NAME*: Rolling Acres
*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: 1130 & 1342 Lake Ella Road, Fruitland Park, FL 34731

Parcel Number(s): 32-18-24-0002-000-00700,32-18-24-0001-000-00900 Section: 32 Township: 18S Range 24E

Area of Property: 159.47 acres Nearest Intersection: Lake Ella Road/Rolling Acres Road

Existing Zoning: PUD Existing Future Land Use Designation: Multi-Family Low Density

Proposed Zoning: _____ Proposed Future Land Use Designation: _____

The property is presently used for: vacant

The property is proposed to be used for: single family lots/townhomes

Do you currently have City Utilities? Yes

Application Type:

- | | | | |
|--|--|---|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Rezoning | <input checked="" type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Minor Lot Split | <input checked="" type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Construction Plan | <input type="checkbox"/> ROW/Plat Vacate |
| <input type="checkbox"/> Site Plan | <input type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Replat of Subdivision | |

Please describe your request in detail: Preliminary Subdivision Plan/Preliminary Development Plan for 603 units (single family lots/townhomes)

Required Data, Documents, Forms & Fees

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Printed Name: Jay Byce, Member

Signature:   Date: 8/5/2022

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

Development Application Checklist

The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd) Current Deed Aerial Photo
 Property Appraiser Information Electronic Copy of Application Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through www.lakecountyfl.gov/maps/. Note: All maps are required to depict adjacent properties at a minimum.

Failure to provide adequate maps may delay the application process.

Other Required Analyses and Maps:

Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment Environmental Constraints Map Requested FLU Map

Large Scale Comprehensive Plan Amendment Applications:

Maps: Environmental Constraints Soils Requested FLUM Designation Requested Zoning Map Designation

Analyses: Environmental Assessment Utility Availability Analysis Urban Sprawl Analysis School Impact Analysis
 Traffic Impact Analysis Consistency with the Comp Plan Florida Master Site File sign-off or Archaeological Survey

Rezoning Applications:

- Requested Zoning Map Justification for Rezoning

Planned Development Applications:

Maps/Plans: Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G Environmental Constraints

Analyses: Environmental Assessment Traffic Impact Analysis Preliminary Concurrency Analysis

Variance Applications:

- Justification for Variance

Special Exception Use Applications:

- Justification for Special Exception Use
 Site Sketch List of Special Requirements as Described in LDRs, Chapter 155

Conditional Use Permit Applications:

- Proposed List of Conditions and Safeguards
 Site Plan as Described in LDRs, Chapter 155 Written Statement as Described in LDRs, Chapter 155

Subdivision Applications:

(Preliminary Plan, Improvement Plan and Final Plat)

- As Described in LDRs, Chapter 157

Minor Subdivision Applications:

- As Described in LDRs, Chapter 157

Site Plan Applications:

- As Described in LDRs, Chapter 160

PROPERTY RECORD CARD

General Information

Name:	CARTER DARYL M TRUSTEE	Alternate Key:	1284082
Mailing Address:	PO BOX 568821 ORLANDO, FL 32856-8821 Update Mailing Address	Parcel Number: ⓘ	32-18-24-0002-000-00700
		Millage Group and City:	000F Fruitland Park
		2021 Total Certified Millage Rate:	17.1686
		Trash/Recycling/Water/Info:	My Public Services Map ⓘ
Property Location:	1130 LAKE ELLA RD FRUITLAND PARK FL, 34731 Update Property Location ⓘ	Property Name:	-- Submit Property Name ⓘ
		School Information:	School Locator & Bus Stop Map ⓘ School Boundary Maps ⓘ
Property Description:	W 1/2 OF NW 1/4--LESS E 130 FT OF W 565 FT OF N 335 FT & LESS S 1/2 OF NW 1/4 OF SW 1/4 OF NW 1/4 & LESS W 33 FT FOR RD R/W--ORB 4397 PG 468		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	AG / PASTURE - IMPROVED HAY AVERAGE (6300)	0	0	CATTLE	70.000	Acre	\$350.00	\$455,000.00
2	AGRICULTURAL HOMESITE (5000)	0	0		1.000	Acre	\$0.00	\$11,000.00

[Click here for Zoning Info](#) ⓘ [FEMA Flood Map](#)

Residential Building(s)

Building 1

Residential	Building Value: \$44,541.00		
Summary			
Year Built: 1982	Total Living Area: 1776 ⓘ	Central A/C: Yes	Attached Garage: No
Bedrooms: 3	Full Bathrooms: 2	Half Bathrooms: 0	Fireplaces: 0
Incorrect Bedroom, Bath, or other information? ⓘ			
Section(s)			
Section Type	Ext. Wall Type	No. Stories	Floor Area
FINISHED LIVING AREA (FLA)	Wood (01)	1.00	1200
ADDITIONAL LIVING AREA MFD (LAM)		1.00	576
OPEN PORCH MFD (OPM)		1.00	224
SCREEN PORCH MFD (SPM)		1.00	288

PROPERTY RECORD CARD

General Information

Name:	CARTER DARYL M TRUSTEE	Alternate Key:	1284015
Mailing Address:	PO BOX 568821 ORLANDO, FL 32856-8821 Update Mailing Address	Parcel Number: ⓘ	32-18-24-0001-000-00900
		Millage Group and City:	000F Fruitland Park
		2021 Total Certified Millage Rate:	17.1686
		Trash/Recycling/Water/Info:	My Public Services Map ⓘ
Property Location:	1342 LAKE ELLA RD FRUITLAND PARK FL, 34731 Update Property Location ⓘ	Property Name:	-- Submit Property Name ⓘ
		School Information:	School Locator & Bus Stop Map ⓘ School Boundary Maps ⓘ
Property Description:	W 1/2 OF NW 1/4 OF SE 1/4 OF NE 1/4, N 1/2 OF SW 1/4 OF NE 1/4, N 3/4 OF E 1/2 OF NW 1/4--LESS LAKE ELLA RD R/W-- ORB 4420 PG 2227		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	AG / PASTURE - IMPROVED HAY AVERAGE (6300)	0	0	CATTLE	85.530	Acre	\$350.00	\$555,945.00
Click here for Zoning Info ⓘ		FEMA Flood Map						

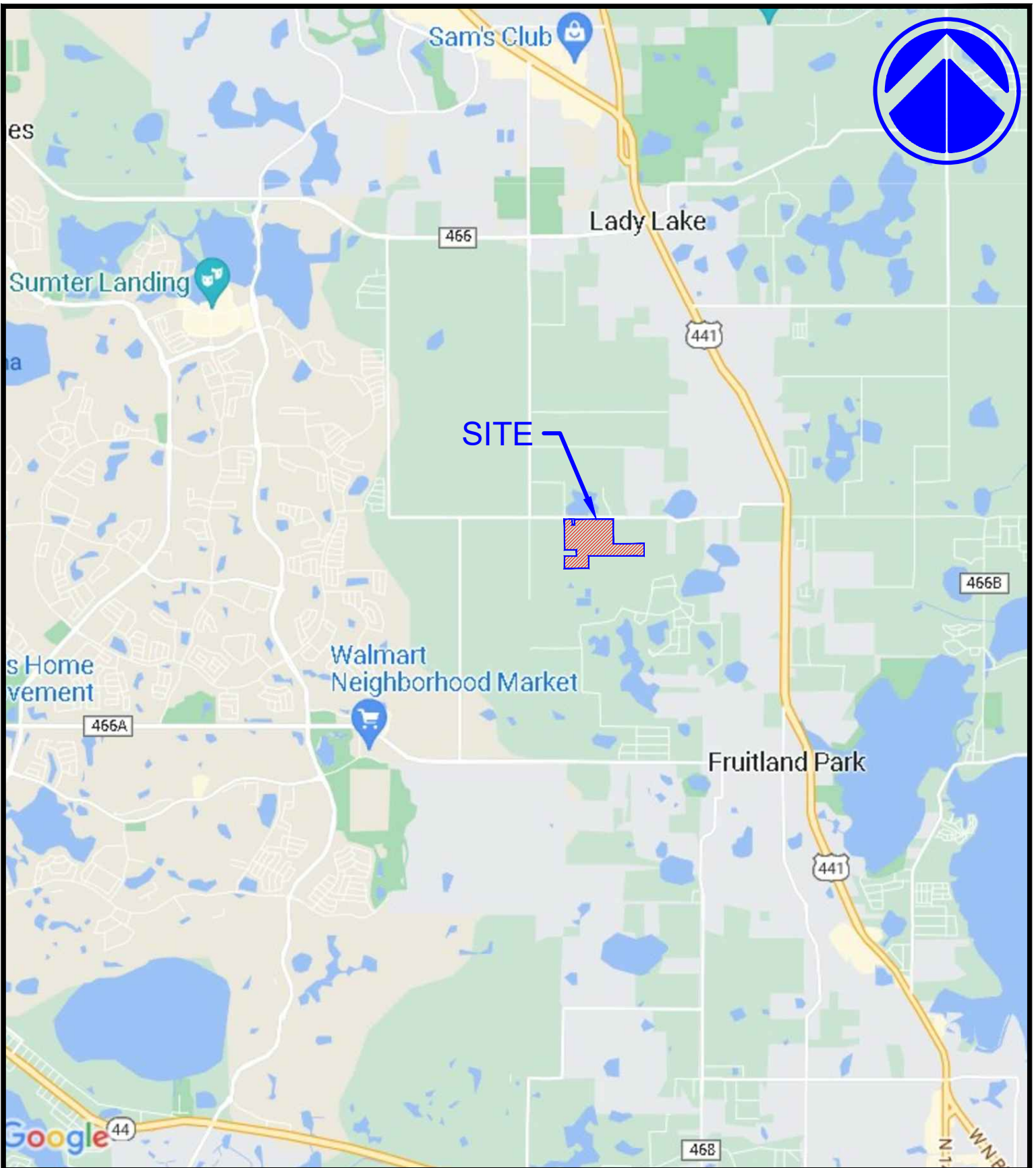
Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
4420 / 2227	12/2013	Warranty Deed	Unqualified	Vacant	\$585,000.00
4202 / 1279	07/2012	Certificate of Title	Unqualified	Vacant	\$100.00
3111 / 1253	03/2006	Warranty Deed	Unqualified	Improved	\$5,482,500.00
2923 / 1131	08/2005	Warranty Deed	Qualified	Improved	\$2,755,000.00
2923 / 1130	08/2005	Quit Claim Deed	Unqualified	Improved	\$0.00
2606 / 934	05/2004	Warranty Deed	Unqualified	Improved	\$0.00
2575 / 2104	05/2004	Warranty Deed	Qualified	Improved	\$721,000.00
1134 / 2483	10/1991	Quit Claim Deed	Unqualified	Improved	\$1.00
1053 / 1245	04/1990	Warranty Deed	Unqualified	Improved	\$1.00
771 / 1557	03/1983	Warranty Deed	Unqualified	Improved	\$1.00
Click here to search for mortgages, liens, and other legal documents. ⓘ					



MADDEN
MOORHEAD & STOKES, LLC
CIVIL ENGINEERS

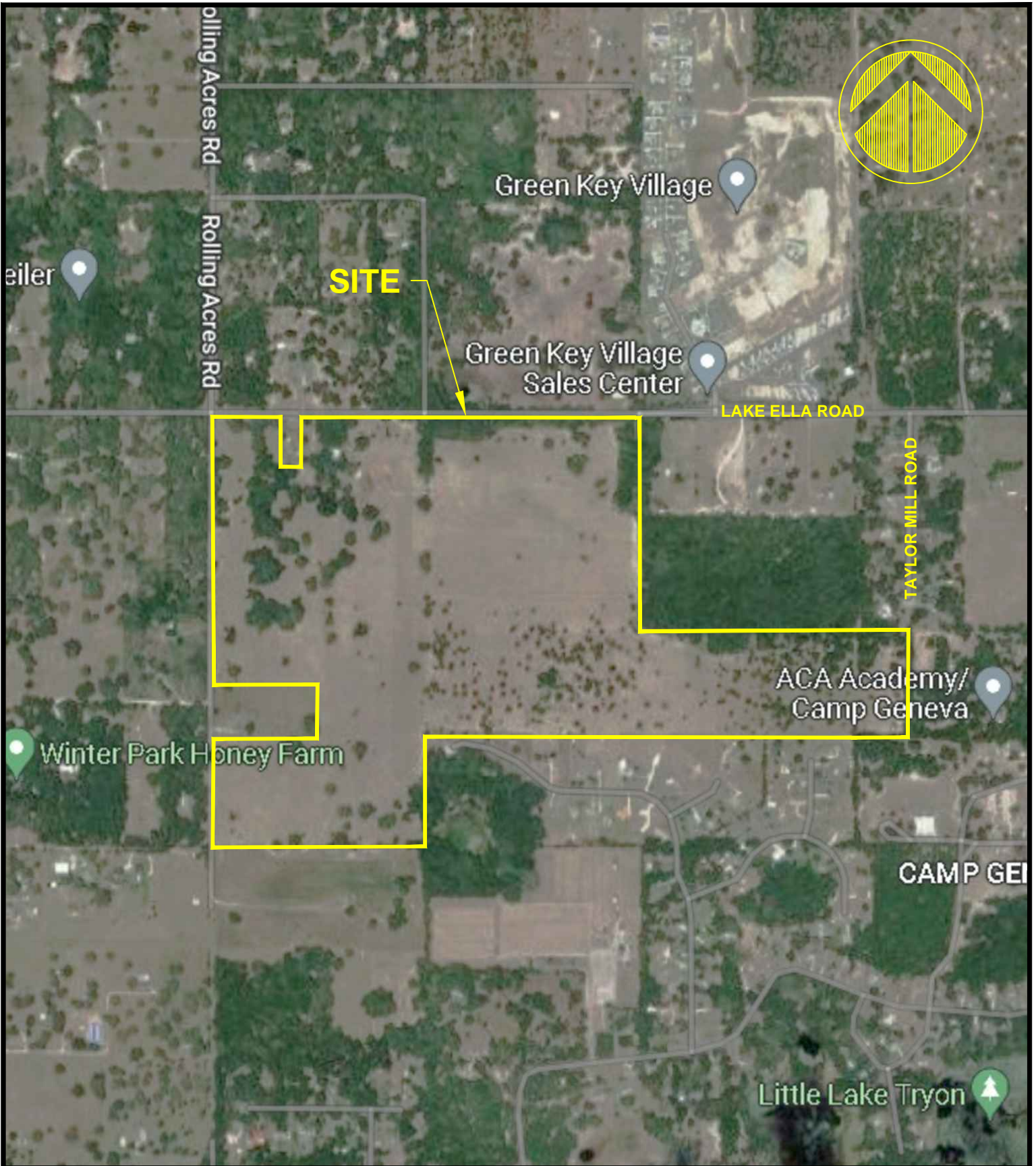

431 E. HORATIO AVE., STE. 260, MAITLAND, FL 32751 * (407) 629-8330

JOB NO.	21084
SEC. 32, TWP. 18S, RANGE 24E	
DRAWN BY:	FM
APPROVED BY:	CHM
DATE:	02/24/2022
Scale:	1" = 8000'

LAKE ELLA
WEST PROPERTY

LOCATION MAP

GOOGLE MAPS

MADDEN
MOORHEAD & STOKES, LLC
CIVIL ENGINEERS

431 E. HORATIO AVE., STE. 260, MAITLAND, FL 32751 * (407) 629-8330

JOB NO.	21084
SEC. 32, TWP. 18S, RANGE 24E	
DRAWN BY:	FM
APPROVED BY:	CHM
DATE:	02/24/2022
Scale:	1" = 800'

LAKE ELLA
WEST PROPERTY

AERIAL MAP

GOOGLE MAPS

PRELIMINARY PLAT / PRELIMINARY DEVELOPMENT PLAN FOR ROLLING ACRES AT LAKE ELLA

LEGAL DESCRIPTION:

(As per Title Commitment Order No. 9758245 Issued by Chicago Title Insurance Company bearing an effective date of August 28, 2021 at 11:00 PM Revised November 9, 2021)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF LAKE, STATE OF FLORIDA, AND DESCRIBED AS FOLLOWS:

PARCEL A:

The West 1/2 of the Northwest 1/4 of the Southeast 1/4 of the Northeast 1/4, and the North 1/2 of the Southwest 1/4 of the Northeast 1/4, and the North 3/4 of the East 1/2 of the Northwest 1/4 all lying in Section 32, Township 18 South, Range 24 East, in Lake County, Florida; less right of way for Lake Ella Rd.

PARCEL B:

The Northwest 1/4 of the Northwest 1/4 of Section 32, Township 18 south, Range 24 East and Southwest 1/4 of the Northwest 1/4 of Section 32, Township 18 south, Range 24 east, Lake County, Florida.

Less and except the property described in Official Records Book 388, page 628, public records of Lake County, Florida.

And less and except the property described in Official Records Book 674, page 774, public records of Lake County, Florida.

And less and except the road right of way described in Official Records Book 1206, page 1595, public records of Lake County, Florida.

PARCEL C:

Tract "A" of SPRING LAKE PINES, PHASE 2, according to the plot thereof recorded in Plat Book 34, page 20 of the public records of Lake County, Florida.

**PARCEL ID #s: 32-18-24-0001-000-00900,
32-18-24-0002-000-00700, 32-18-24-2005-00A-00000
SECTION 32, TOWNSHIP 18 SOUTH, RANGE 24 EAST**

LAKE COUNTY, FLORIDA

FOR

RESIBUILT HOMES, LLC

3630 PEACHTREE RD, STE 1500

ATLANTA, GA 30326

PHONE: 470-788-0136

PROJECT TEAM MEMBERS:

OWNERS:

DARYL M. CARTER, TRUSTEE
PO BOX 568821
ORLANDO, FL 32856
407-422-3144

ENVIROMENTAL:

ECOLOGICAL CONSULTING
SOLUTIONS INC.
235 N HUNT CLUB BLVD.
STE 202
LONGWOOD, FLORIDA 32779
PHONE: (407) 869-9436

ENGINEER:

MADDEN, MOORHEAD, & STOKES, LLC
431 E HORATIO AVE., SUITE 260
MAITLAND, FLORIDA 32751
PHONE: (407) 629-8330

SURVEYOR:

HAMILTON ENGINEERING AND SURVEYING, LLC
775 WARNER LANE,
ORLANDO, FL 32803
PHONE: (813) 250-3535

GEOTECHNICAL:

GEOTECHNICAL AND ENVIRONMENTAL
CONSULTANTS, INC.
919 LAKE BALDWIN LANE
ORLANDO, FLORIDA 32814
PHONE: (407) 898-1818

LANDSCAPE ARCHITECT

NOVA L A DESIGNS, INC
820 104TH AVE N,
NAPLES, FLORIDA
PHONE: (239) 250-9505

DEVELOPER:

JAY BYCE, RESIBUILT HOMES, LLC
3630 PEACHTREE RD, STE 1500
ATLANTA, GA 30326
PHONE: (470) 788-0136

REQUIRED PERMITS	
MUNICIPALITY	PERMIT TYPE
CITY OF FRUITLAND PARK	PRELIMINARY PLAN
CITY OF FRUITLAND PARK	CONSTRUCTION PLAN
ST JOHNS RIVER WATER MANAGEMENT	ENVIRONMENTAL RESOURCE PERMIT
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	DRINKING WATER PERMIT
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	WASTEWATER PERMIT
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	NOTICE OF INTENT TO USE NPDES GENERAL PERMIT FOR STORMWATER DISCHARGE
LAKE COUNTY	RIGHT OF WAY PERMIT

INDEX OF SHEETS

C001	COVER SHEET AND TOPO
1 THRU 7	BOUNDARY SURVEY
C100	PRELIMINARY DEVELOPMENT PLAN
C101 - C106	PRELIMINARY SITE PLAN
C200	PRELIMINARY OVERALL UTILITIES & DRAINAGE PLAN
C201 - C206	PRELIMINARY UTILITIES AND DRAINAGE PLAN
L1-L5	LANDSCAPE PLANS



MADDEN
MOORHEAD & STOKES, LLC
CIVIL ENGINEERS

431 E. HORATIO AVENUE, SUITE 260

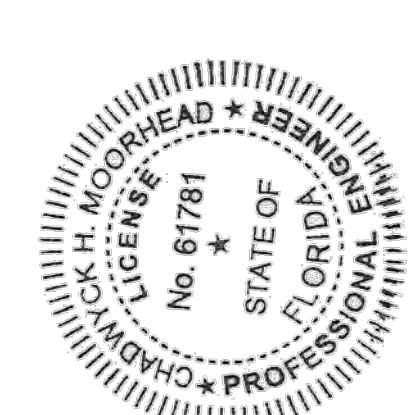
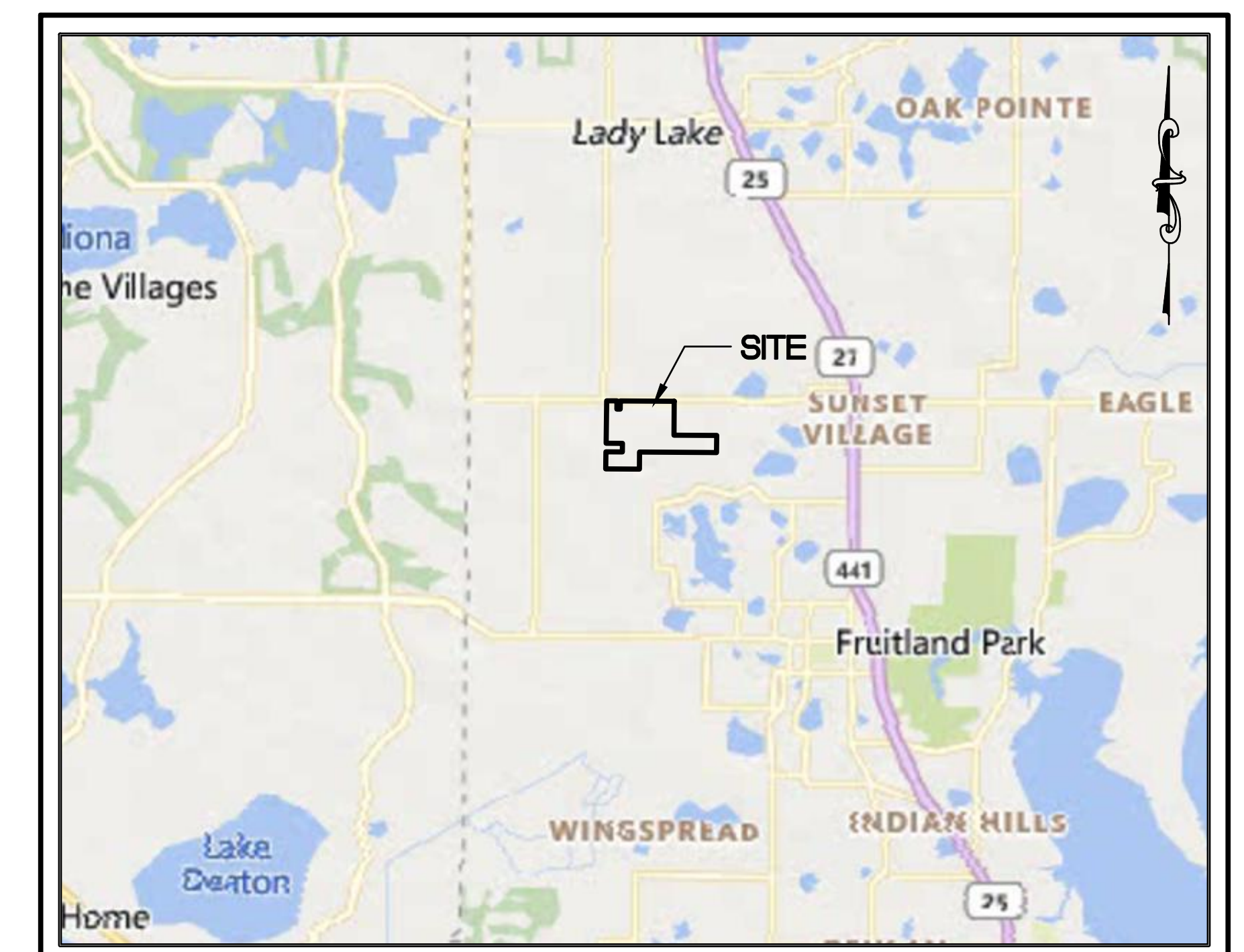
MAITLAND, FLORIDA 32751

PHONE (407) 629-8330

MADDEN-ENG.COM

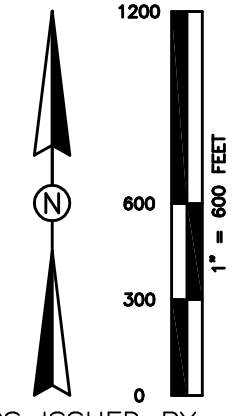
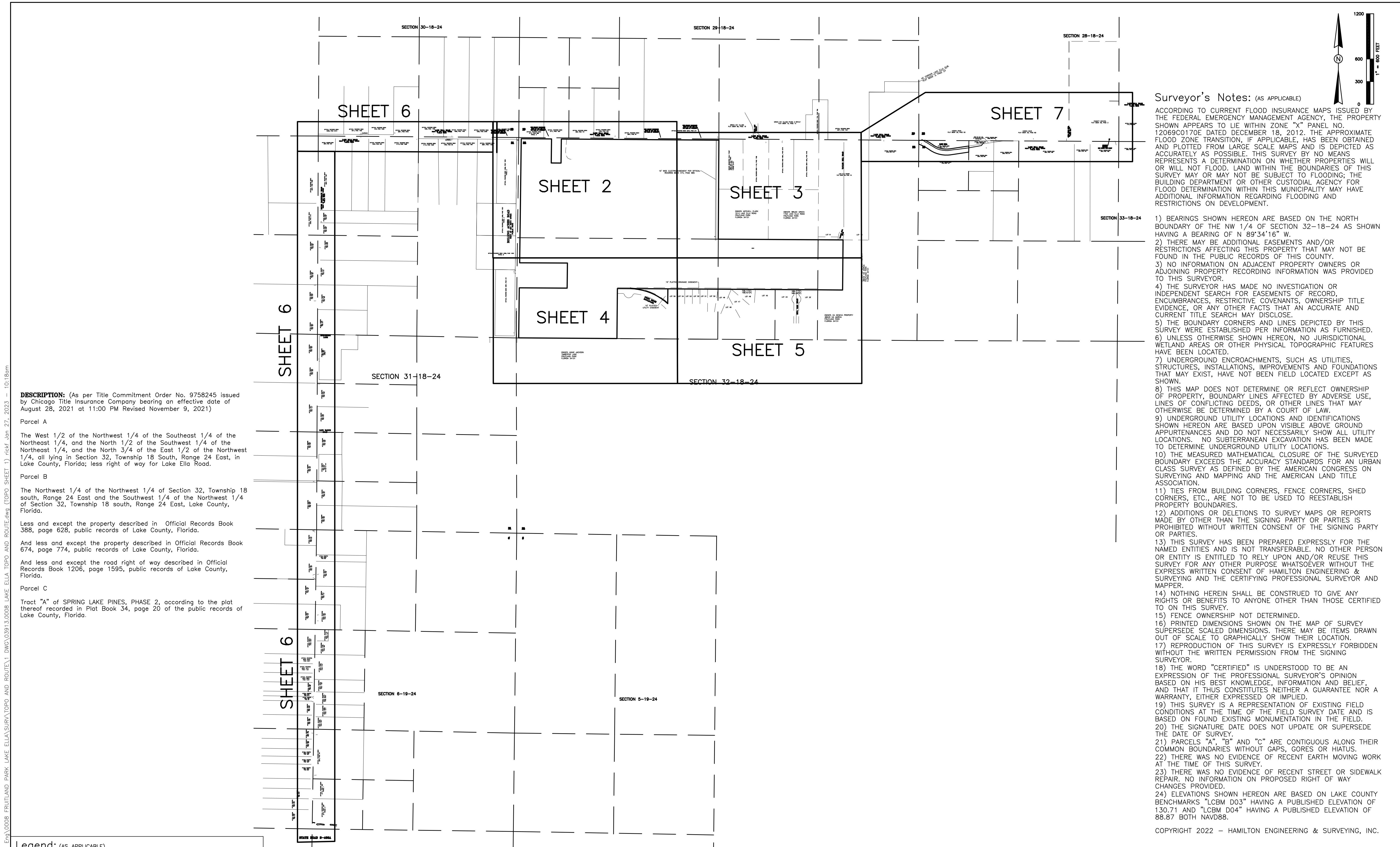
VICINITY MAP

1" = 5,000'



CHADWICK H. MOORHEAD, P.E. #61781
CERTIFICATE OF AUTHORIZATION NO. EP-0070723

ROLLING ACRES AT LAKE ELLA PP/PDP JOB #21084
m:\data\21084\eng\pdp\21084_c001_cover.dwg



Surveyor's Notes: (AS APPLICABLE)

ACCORDING TO CURRENT FLOOD INSURANCE MAPS ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THE PROPERTY SHOWN APPEARS TO LIE WITHIN ZONE "X" PANEL NO. 1208900170E DATED DECEMBER 18, 2012. THE APPROXIMATE FLOOD ZONE TRANSITION, IF APPLICABLE, HAS BEEN OBTAINED AND PLOTTED FROM LARGE SCALE MAPS AND IS DEPICTED AS ACCURATELY AS POSSIBLE. THIS SURVEY BY NO MEANS REPRESENTS A DETERMINATION ON WHETHER PROPERTIES WILL OR WILL NOT FLOOD. LAND WITHIN THE BOUNDARIES OF THIS SURVEY MAY OR MAY NOT BE SUBJECT TO FLOODING; THE BUILDING DEPARTMENT OR OTHER CUSTODIAL AGENCY FOR FLOOD DETERMINATION WITHIN THIS MUNICIPALITY MAY HAVE ADDITIONAL INFORMATION REGARDING FLOODING AND RESTRICTIONS ON DEVELOPMENT.

- 1) BEARINGS SHOWN HEREON ARE BASED ON THE NORTH BOUNDARY OF THE NW 1/4 OF SECTION 32-18-24 AS SHOWN HAVING A BEARING OF N 89°34'16" W.
- 2) THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS AFFECTING THIS PROPERTY THAT MAY NOT BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- 3) NO INFORMATION ON ADJACENT PROPERTY OWNERS OR ADJOINING PROPERTY RECORDING INFORMATION WAS PROVIDED TO THIS SURVEYOR.
- 4) THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- 5) THE BOUNDARY CORNERS AND LINES DEPICTED BY THIS SURVEY WERE ESTABLISHED PER INFORMATION AS FURNISHED.
- 6) UNLESS OTHERWISE SHOWN HEREON, NO JURISDICTIONAL WETLAND AREAS OR OTHER PHYSICAL TOPOGRAPHIC FEATURES HAVE BEEN LOCATED.
- 7) UNDERGROUND ENCROACHMENTS, SUCH AS UTILITIES, STRUCTURES, INSTALLATIONS, IMPROVEMENTS AND FOUNDATIONS THAT MAY EXIST, HAVE NOT BEEN FIELD LOCATED EXCEPT AS SHOWN.
- 8) THIS MAP DOES NOT DETERMINE OR REFLECT OWNERSHIP OF PROPERTY, BOUNDARY LINES AFFECTED BY ADVERSE USE, LINES OF CONFLICTING DEEDS, OR OTHER LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.
- 9) UNDERGROUND UTILITY LOCATIONS AND IDENTIFICATIONS SHOWN HEREON ARE BASED UPON VISIBLE ABOVE GROUND APPURTENANCES AND DO NOT NECESSARILY SHOW ALL UTILITY LOCATIONS. AN UNDERGROUND EXCAVATION HAS BEEN MADE TO DETERMINE UNDERGROUND UTILITY LOCATIONS.
- 10) THE MEASURED MATHEMATICAL CLOSURE OF THE SURVEYED BOUNDARY EXCEEDS THE ACCURACY STANDARDS FOR AN URBAN CLASS SURVEY AS DEFINED BY THE AMERICAN CONGRESS ON SURVEYING AND MAPPING AND THE AMERICAN LAND TITLE ASSOCIATION.
- 11) TIES FROM BUILDING CORNERS, FENCE CORNERS, SHED CORNERS, ETC. ARE NOT TO BE USED TO REESTABLISH PROPERTY BOUNDARIES.
- 12) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS MADE BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- 13) THIS SURVEY HAS BEEN PREPARED EXPRESSLY FOR THE NAMED ENTITIES AND IS NOT TRANSFERABLE. NO OTHER PERSON OR ENTITY IS ENTITLED TO RELY UPON AND/OR REUSE THIS SURVEY FOR ANY OTHER PURPOSE WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF HAMILTON ENGINEERING & SURVEYING AND THE CERTIFYING PROFESSIONAL SURVEYOR AND MAPPER.
- 14) NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO ON THIS SURVEY.
- 15) FENCE OWNERSHIP NOT DETERMINED.
- 16) PRINTED DIMENSIONS SHOWN ON THE MAP OF SURVEY SUPERSEDE SCALED DIMENSIONS. THERE MAY BE ITEMS DRAWN OUT OF SCALE TO GRAPHICALLY SHOW THEIR LOCATION.
- 17) REPRODUCTION OF THIS SURVEY IS EXPRESSLY FORBIDDEN WITHOUT THE WRITTEN PERMISSION FROM THE SIGNING SURVEYOR.
- 18) THE WORD "CERTIFIED" IS UNDERSTOOD TO BE AN EXPRESSION OF THE PROFESSIONAL SURVEYOR'S OPINION BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT THUS CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY, EITHER EXPRESSED OR IMPLIED.
- 19) THIS SURVEY IS A REPRESENTATION OF EXISTING FIELD CONDITIONS AT THE TIME OF THE FIELD SURVEY DATE AND IS BASED ON FOUND EXISTING MONUMENTATION IN THE FIELD.
- 20) THE SIGNATURE DATE DOES NOT UPDATE OR SUPERSEDE THE DATE OF SURVEY.
- 21) PARCELS "A", "B" AND "C" ARE CONTIGUOUS ALONG THEIR COMMON BOUNDARIES WITHOUT GAPS, GORES OR HIATUS.
- 22) THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK AT THE TIME OF THIS SURVEY.
- 23) THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK REPAIR. NO INFORMATION ON PROPOSED RIGHT OF WAY CHANGES PROVIDED.
- 24) ELEVATIONS SHOWN HEREON ARE BASED ON LAKE COUNTY BENCHMARKS "LCBM D03" HAVING A PUBLISHED ELEVATION OF 130.71 AND "LCBM D04" HAVING A PUBLISHED ELEVATION OF 88.87 BOTH NAVD88.

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DESCRIPTION: (As per Title Commitment Order No. 9758245 issued by Chicago Title Insurance Company bearing an effective date of August 28, 2021 at 11:00 PM Revised November 9, 2021)

Parcel A
The West 1/2 of the Northwest 1/4 of the Southeast 1/4 of the Northeast 1/4, and the North 1/2 of the Southwest 1/4 of the Northeast 1/4, and the North 3/4 of the East 1/2 of the Northwest 1/4, all lying in Section 32, Township 18 South, Range 24 East, in Lake County, Florida; less right of way for Lake Ella Road.

Parcel B
The Northwest 1/4 of the Northwest 1/4 of Section 32, Township 18 south, Range 24 East and the Southwest 1/4 of the Northwest 1/4 of Section 32, Township 18 south, Range 24 East, Lake County, Florida.

Less and except the property described in Official Records Book 388, page 628, public records of Lake County, Florida.

And less and except the property described in Official Records Book 674, page 774, public records of Lake County, Florida.

And less and except the road right of way described in Official Records Book 1206, page 1595, public records of Lake County, Florida.

Parcel C
Tract "A" of SPRING LAKE PINES, PHASE 2, according to the plat thereof recorded in Plat Book 34, page 20 of the public records of Lake County, Florida.

Legend: (AS APPLICABLE)

SICR	SET CAPPED IRON ROD 1/2" LB #7013	ID	IDENTIFICATION	(D)	DESCRIPTION
FCR	FOUND CAPPED IRON ROD	LB	LICENSED BUSINESS	(C)	CALCULATED
FIR	FOUND IRON ROD	CONC	CONCRETE	(P)	PLAT
FCIP	FOUND CAPPED IRON PIPE	CLF	CHAIN LINK FENCE	(F)	FIELD
FIP	FOUND IRON PIPE	B/W	BARBED-WIRE		
FCM	FOUND CONCRETE MONUMENT	OUL	OVERHEAD UTILITY LINE		
SPKN&D	SET PK NAIL & DISK	LP	UTILITY POLE		
FPKN&D	FOUND PK NAIL & DISK	LP	LIGHT POLE		
FRS	FOUND RAILROAD SPIKE	GA	GUY ANCHOR		
WM	WATER METER	SN	SIGN		
HYD	FIRE HYDRANT	RCP	REINFORCED CONCRETE PIPE		
WV	WATER VALVE	CMP	CORRUGATED METAL PIPE		
BFP	BACK FLOW PREVENTER	CP	CORRUGATED PLASTIC PIPE		
GI	GRATE INLET	X 99.99	EXISTING ELEVATION		
CI	CURB INLET	A/C	AIR CONDITIONING		

HAMILTON
ENGINEERING & SURVEYING, INC.
3008 W. LEMON STREET
JACKSONVILLE, FLORIDA 32216
TEL: (904) 250-1501
FAX: (904) 250-3636
LB #7013

MAP OF TOPOGRAPHIC SURVEY
FRUITLAND PARK, LAKE ELLA
1342 LAKE ELLA ROAD, FRUITLAND PARK
FLORIDA, LAKE COUNTY

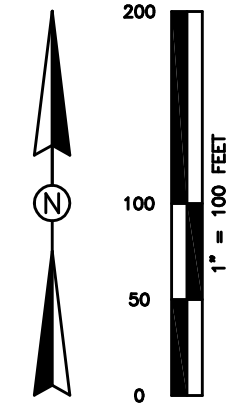
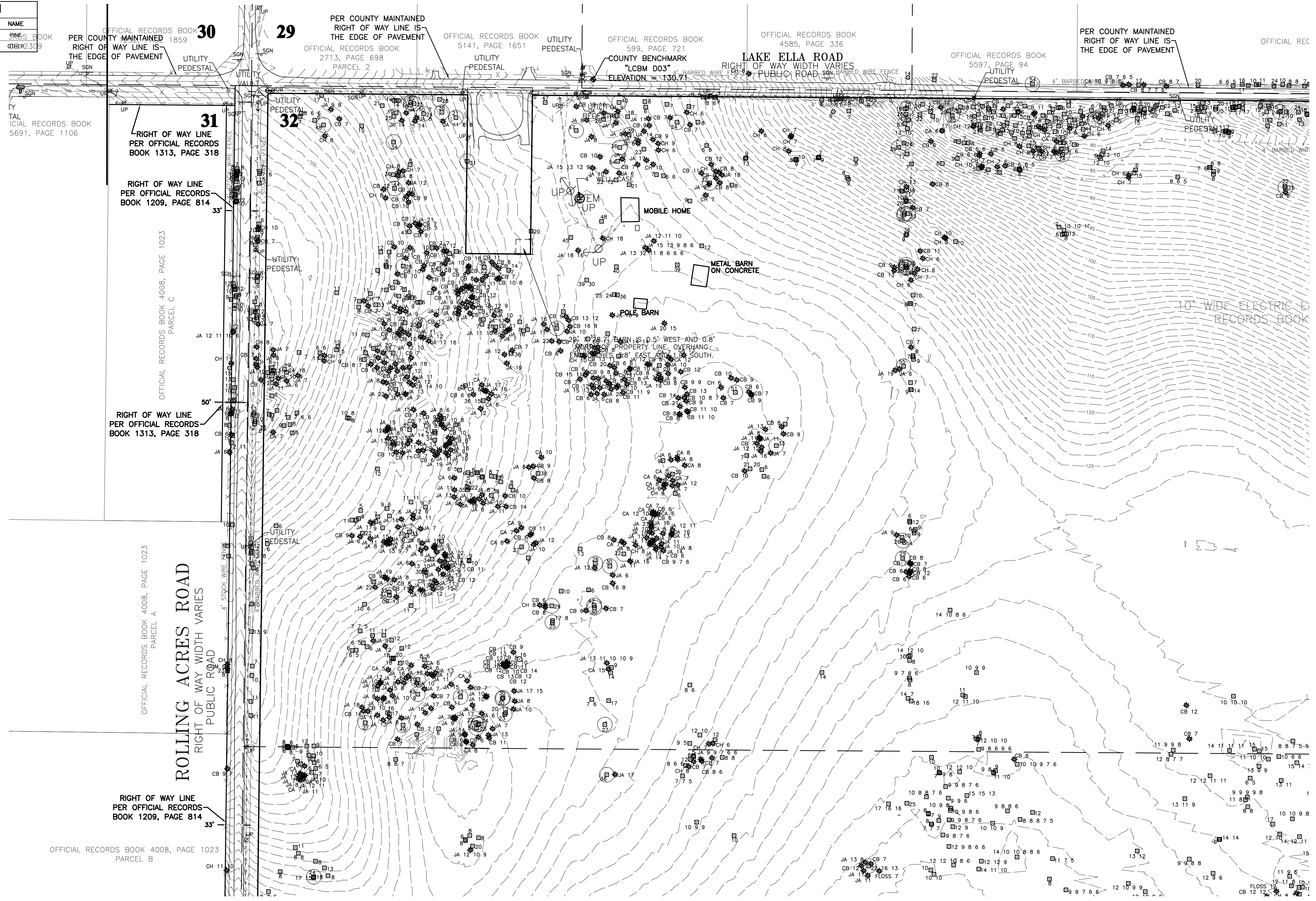
PREPARED FOR: MADDEN MOORHEAD & STOKES, LLC
CERTIFIED TO: RHF
JOB #: 03913.0008
SEC TWP RANG: 32-18-24
FIELD BOOK/PAGE: DIGITAL
QUALITY CONTROL FIELD: VINCE
QUALITY CONTROL OFFICE: AJM
SURVEY DATE: 06-28-2022
NOT VALID WITHOUT ALL SHEETS
1 OF 7

DATE OF SIGNATURE: _____
DATE OF AUTHORIZATION: _____
FLORIDA LICENSE NO.: _____
CERTIFICATE OF AUTHORIZATION LB #7013
Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper

L:\3501_10_2919\03913_Madden_Eng\0008_FRUITLAND_PARK_LAKE_ELLA\SURV\TOPO AND ROUTE\DWG\03913.0008_LAKE_ELLA_TOPO AND ROUTE.dwg (TOPO SHEET 1).rctf Jan 27, 2023 10:18am

Tree Legend			
SYMBOL	NAME	SYMBOL	NAME
□	OAK	○	PINES
△	PALM	○	OTHER
⊗	CB = CHINNA BERRY		
⊗	CH = CH		
⊗	CA = CAHOR		
⊗	JA = JACKRANDBA		

NOTE: TREE SIZES IN INCHES



RIGHT OF WAY LINE PER OFFICIAL RECORDS BOOK 1313, PAGE 318

RIGHT OF WAY LINE PER OFFICIAL RECORDS BOOK 1209, PAGE 814

RIGHT OF WAY LINE PER OFFICIAL RECORDS BOOK 1313, PAGE 318

RIGHT OF WAY LINE PER OFFICIAL RECORDS BOOK 1209, PAGE 814

ROLLING ACRES ROAD
RIGHT OF WAY WIDTH VARIES
PUBLIC ROAD

PER COUNTY MAINTAINED
RIGHT OF WAY LINE IS
THE EDGE OF PAVEMENT

PER COUNTY MAINTAINED
RIGHT OF WAY LINE IS
THE EDGE OF PAVEMENT

RIGHT OF WAY NOTE
PER LAKE COUNTY DEPARTMENT OF PUBLIC WORKS
IF THE ROAD RIGHT OF WAY IS NOT BY DEED OF BY
PLAT THEN THE MAINTAINED RIGHT OF WAY LINE
WILL BE THE EDGE OF PAVEMENT

Legend: (AS APPLICABLE)

SCIR	SET CAPPED IRON ROD 1/2" LB #7013	ID	IDENTIFICATION	(D)	DESCRIPTION
FCR	FOUND CAPPED IRON ROD	LB	LICENSED BUSINESS	(C)	CALCULATED
FIR	FOUND IRON ROD	CONC	CONCRETE	(P)	PLAT
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ENGINEERING & SURVEYING, INC.
JASON W. LEMON, LICENSED SURVEYOR
JAMES W. JAMES, LICENSED SURVEYOR
TEL: (813) 250-5151
FAX: (813) 250-5656
LB #7013

MAP OF TOPOGRAPHIC SURVEY
FRUITLAND PARK, LAKE ELLA
1342 LAKE ELLA ROAD, FRUITLAND PARK
FLORIDA, LAKE COUNTY

PREPARED FOR:
MADDEN MOORHEAD & STOKES, LLC

CERTIFIED TO:

FIELD BOOK/PAGE:
DIGITAL

QUALITY CONTROL FIELD:
VINCE

QUALITY CONTROL OFFICE:
AJM

DRAWN BY:
RHF

PARTY CHIEF:
VINCE

JOB #:
03913.0008

SEC TWP RANG:
32-18-24

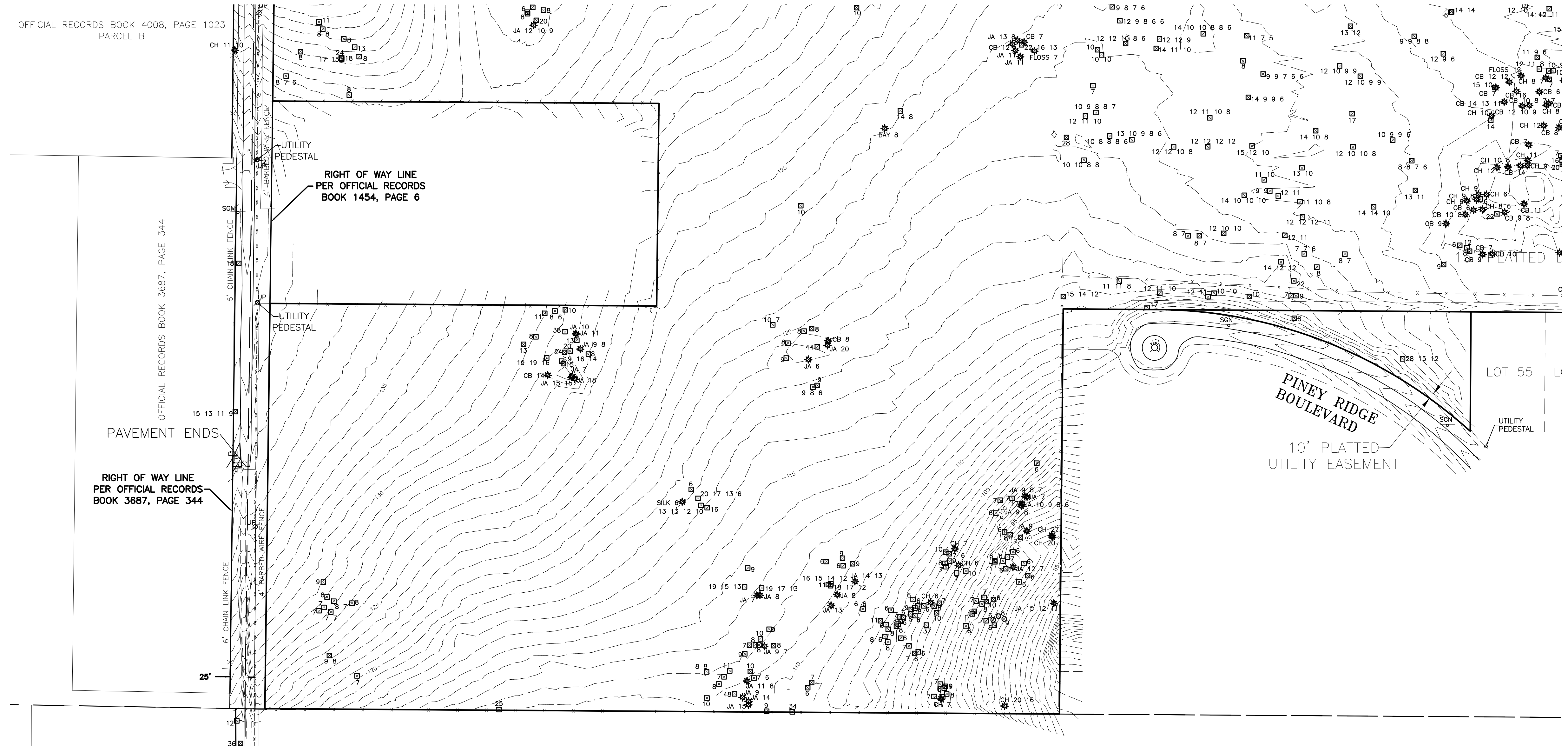
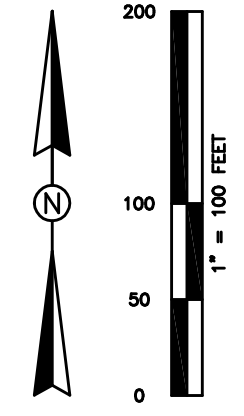
SURVEY DATE:
06-28-2022

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2 OF 7

Tree Legend			
SYMBOL	NAME	SYMBOL	NAME
□	OAK	○	PINE
△	PALM	⊗	OTHER
⊗	DEAD		
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⊗	CH = CH		
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⊗	JA = JACKARANDA		

NOTE: TREE SIZES IN INCHES



OFFICIAL RECORDS BOOK 4008, PAGE 1023
PARCEL B

OFFICIAL RECORDS BOOK 3687, PAGE 344
PAVEMENT ENDS

RIGHT OF WAY LINE
PER OFFICIAL RECORDS
BOOK 3687, PAGE 344

RIGHT OF WAY LINE
PER OFFICIAL RECORDS
BOOK 1454, PAGE 6

PINEY RIDGE
BOULEVARD
10' PLATTED
UTILITY EASEMENT

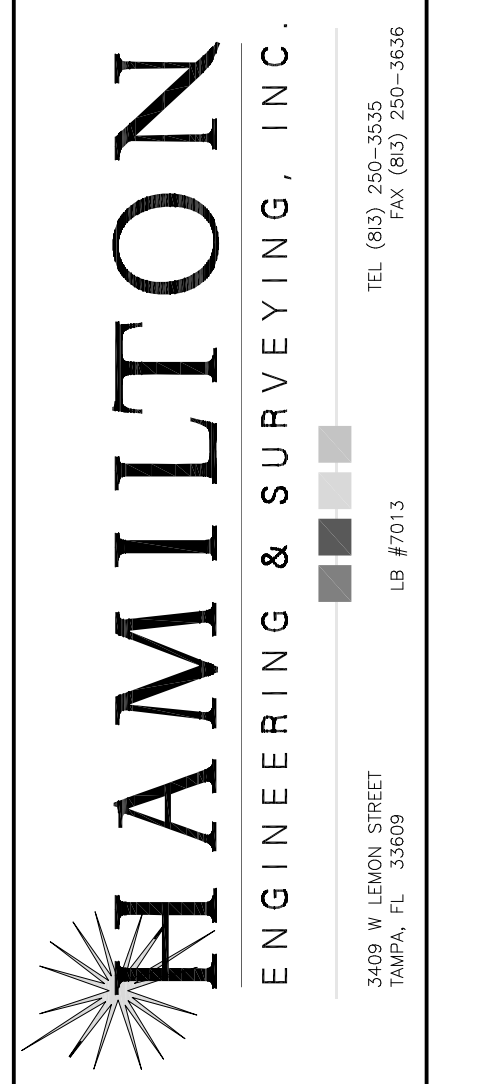
LOT 55

OWNER: ANNIE JACKSON
TIMBERTOP LANE
FRUITLAND PARK
FLORIDA 34731

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PER LAKE COUNTY DEPARTMENT OF PUBLIC WORKS
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1342 LAKE ELLA ROAD, FRUITLAND PARK
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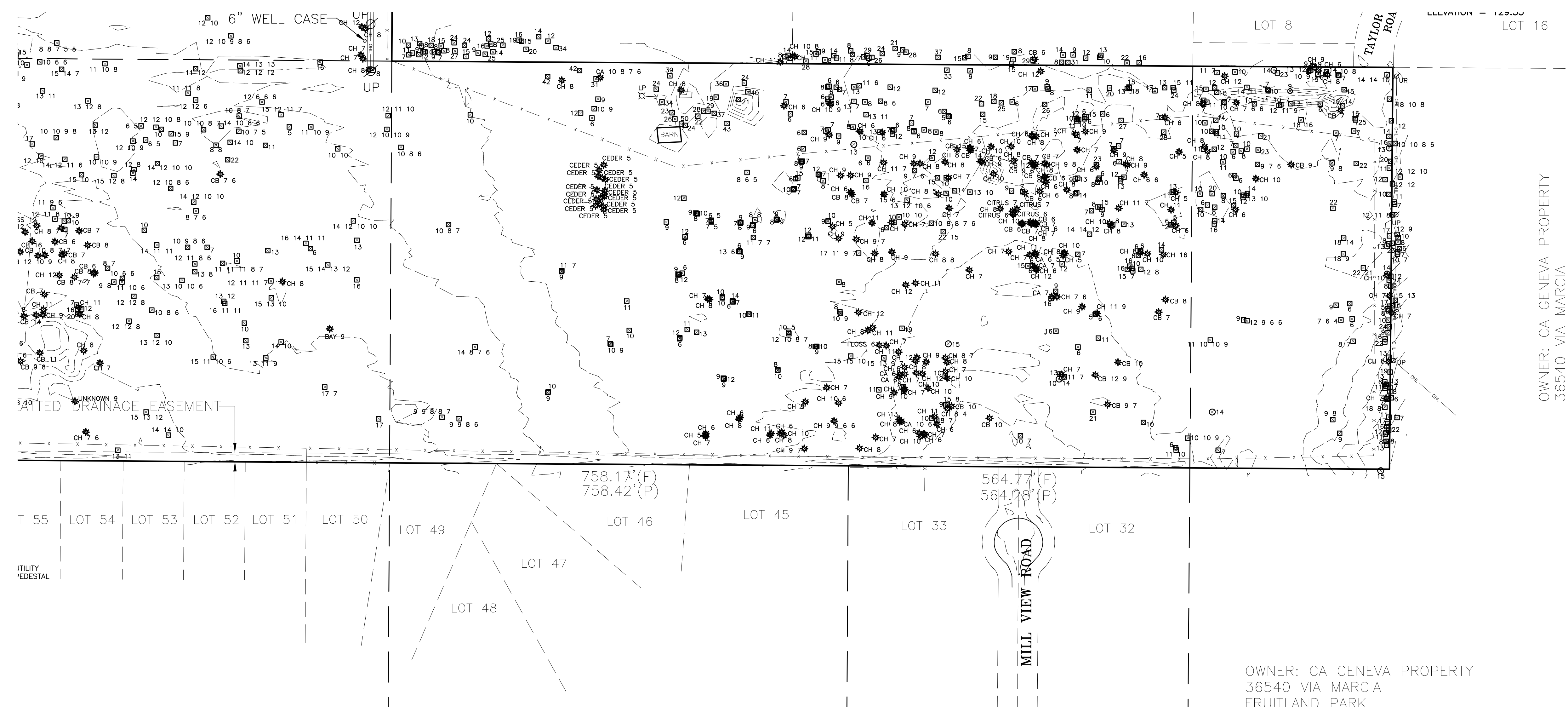
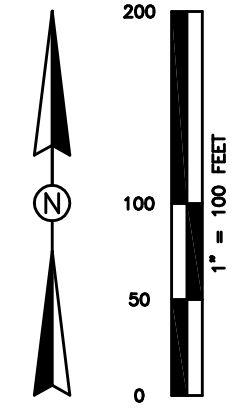
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4 OF 7

L:\3501_10_2919\03913_Madden_Eng\0008_FRUITLAND_PARK_LAKE_ELLA\SURV\TOPO AND ROUTE\1.DWG\03913.0008_LAKE ELLA.TPO AND ROUTE.dwg (TOPO SHEET 2) rchf Jun 27, 2023 10:31am

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NOTE: TREE SIZES IN INCHES



OWNER: CA GENEVA PROPERTY
36540 VIA MARCIA

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36540 VIA MARCIA
FRUITLAND PARK

RIGHT OF WAY NOTE
PER LAKE COUNTY DEPARTMENT OF PUBLIC WORKS
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JAMES W. JACOBI, P.E.
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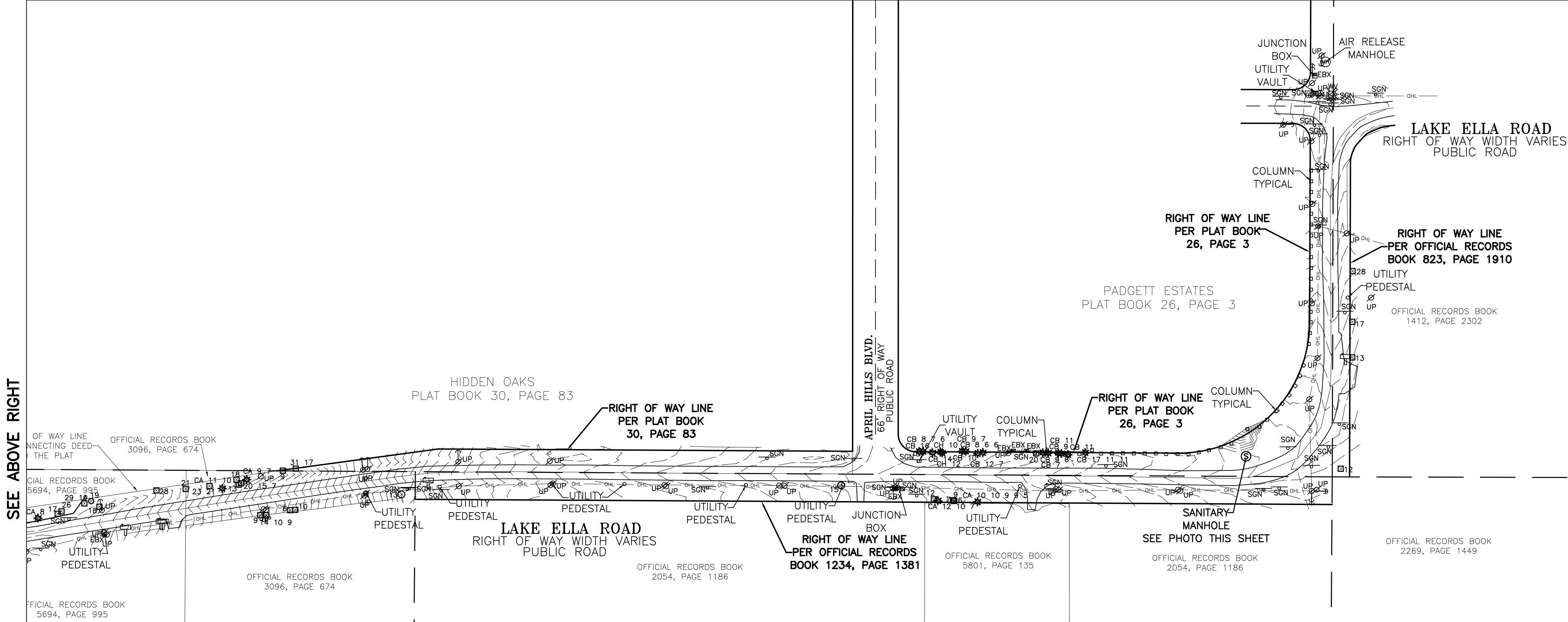
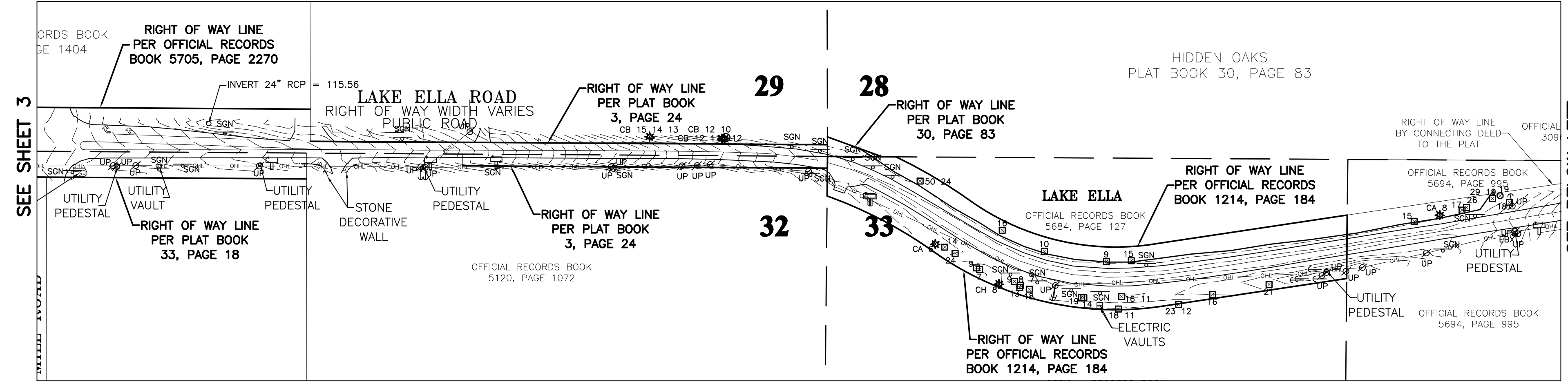
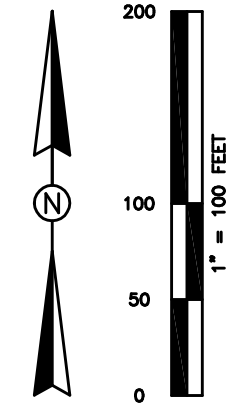
PREPARED FOR:
MADDEN MOORHEAD
& STOKES, LLC
CERTIFIED TO:

FIELD BOOK/PAGE:
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DRAWN BY:
RHF PARTY CHIEF:
VINCE
JOB #:
03913.0008
SEC TWP RANG:
32-18-24
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5 OF 7

L:\3501 to 3999\03913 Madden Eng\0008 FRUITLAND PARK LAKE ELLA\SURV\TOPO AND ROUTE\1 DWG\03913.0008 LAKE ELLA.TPO AND ROUTE.dwg (TOPO SHEET 2) .rctf Jun 27, 2023 10:31am

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HAMILTON
 ENGINEERING & SURVEYING, INC.
 3408 W. LEMON AVE. SUITE 100
 TAMPA, FL 33609
 TEL: (813) 250-1501
 FAX: (813) 250-9636
 LB #7013

MAP OF TOPOGRAPHIC SURVEY
FRUITLAND PARK, LAKE ELLA
1342 LAKE ELLA ROAD, FRUITLAND PARK
FLORIDA, LAKE COUNTY

SHEET TITLE:

PREPARED FOR:
 MADDEN MOORHEAD & STOKES, LLC

CERTIFIED TO:

FIELD BOOK/PAGE:
 DIGITAL

QUALITY CONTROL FIELD:
 VINCE

QUALITY CONTROL OFFICE:
 AJM

DRAWN BY:
 RHF

PARTY CHIEF:
 VINCE

JOB #:
 03913.0008

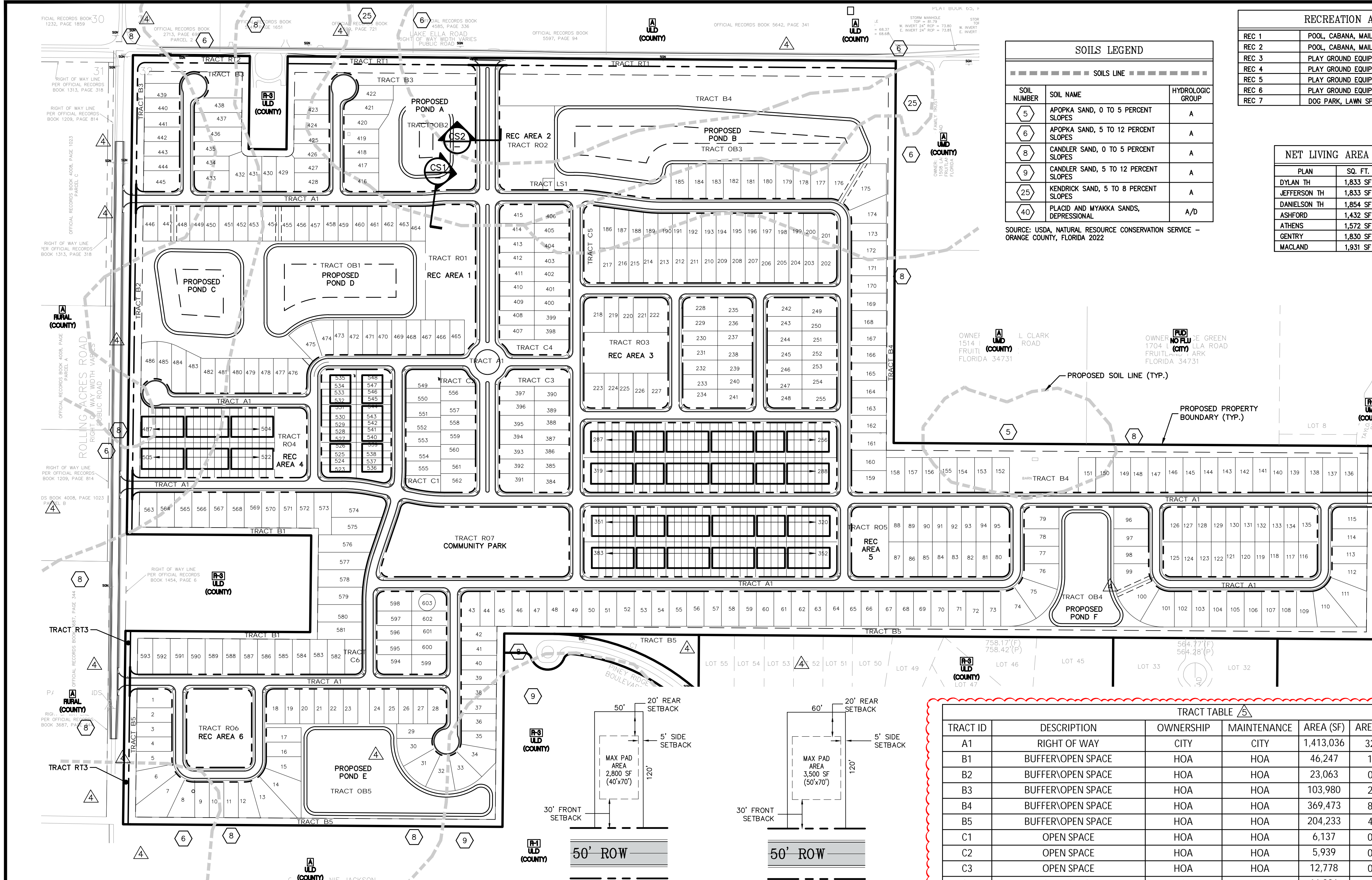
SEC TWP RANG:
 32-18-24

SURVEY DATE:
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7 OF 7

L:\3501 to 3999\03913 Madden Eng\0008 FRUITLAND PARK LAKE ELLA\SURV\TOPO AND ROUTE\1. DWG\03913.0008 LAKE ELLA.TPO AND ROUTE.dwg (TOPO SHEET 7). rchf Jan 27, 2023 10:18am



SOILS LEGEND

SOIL NUMBER	SOIL NAME	HYDROLOGIC GROUP
5	APOPKA SAND, 0 TO 5 PERCENT SLOPES	A
6	APOPKA SAND, 5 TO 12 PERCENT SLOPES	A
8	CANDLER SAND, 0 TO 5 PERCENT SLOPES	A
9	CANDLER SAND, 5 TO 12 PERCENT SLOPES	A
25	KENDRICK SAND, 5 TO 8 PERCENT SLOPES	A
40	PLACID AND MYAKKA SANDS, DEPRESSIONAL	A/D

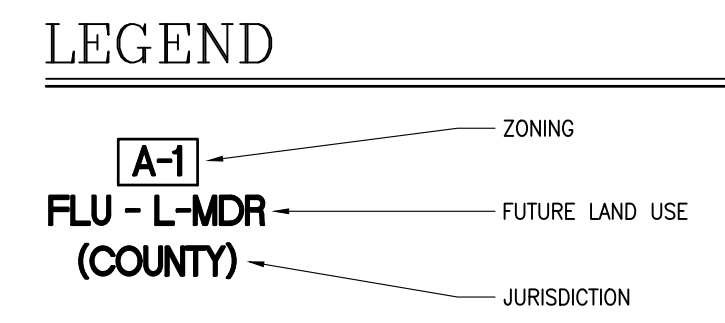
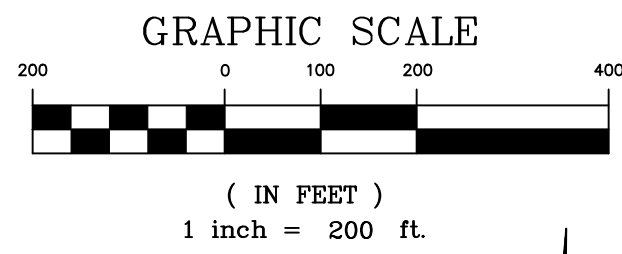
SOURCE: USDA, NATURAL RESOURCE CONSERVATION SERVICE - ORANGE COUNTY, FLORIDA 2022

RECREATION AMENITIES

REC 1	POOL, CABANA, MAIL KIOSK
REC 2	POOL, CABANA, MAIL KIOSK
REC 3	PLAY GROUND EQUIPMENT, LAWN SPORTS
REC 4	PLAY GROUND EQUIPMENT, LAWN SPORTS
REC 5	PLAY GROUND EQUIPMENT, LAWN SPORTS, MAIL KIOSK
REC 6	PLAY GROUND EQUIPMENT, LAWN SPORTS, MAIL KIOSK
REC 7	DOG PARK, LAWN SPORTS

NET LIVING AREA

PLAN	SQ. FT.
DYLAN TH	1,833 SF
JEFFERSON TH	1,833 SF
DANIELSON TH	1,854 SF
ASHFORD	1,432 SF
ATHENS	1,572 SF
GENTRY	1,830 SF
MACLAND	1,931 SF



LAND USE DATA:

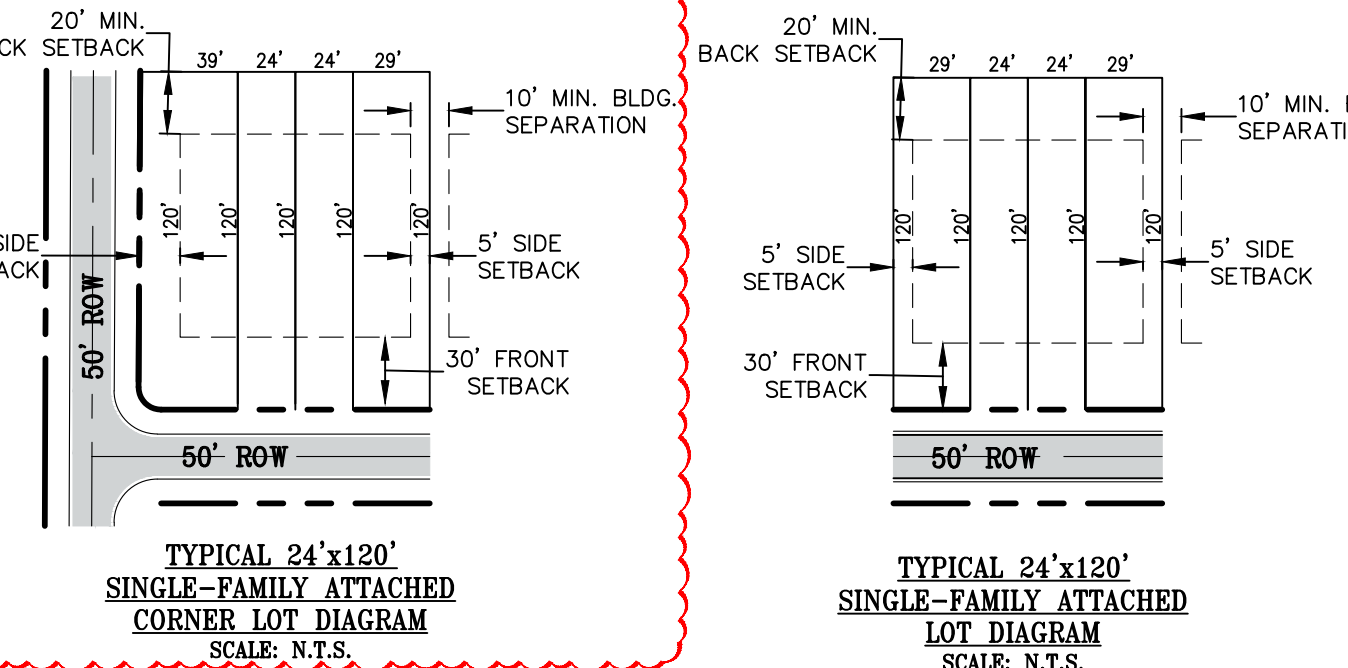
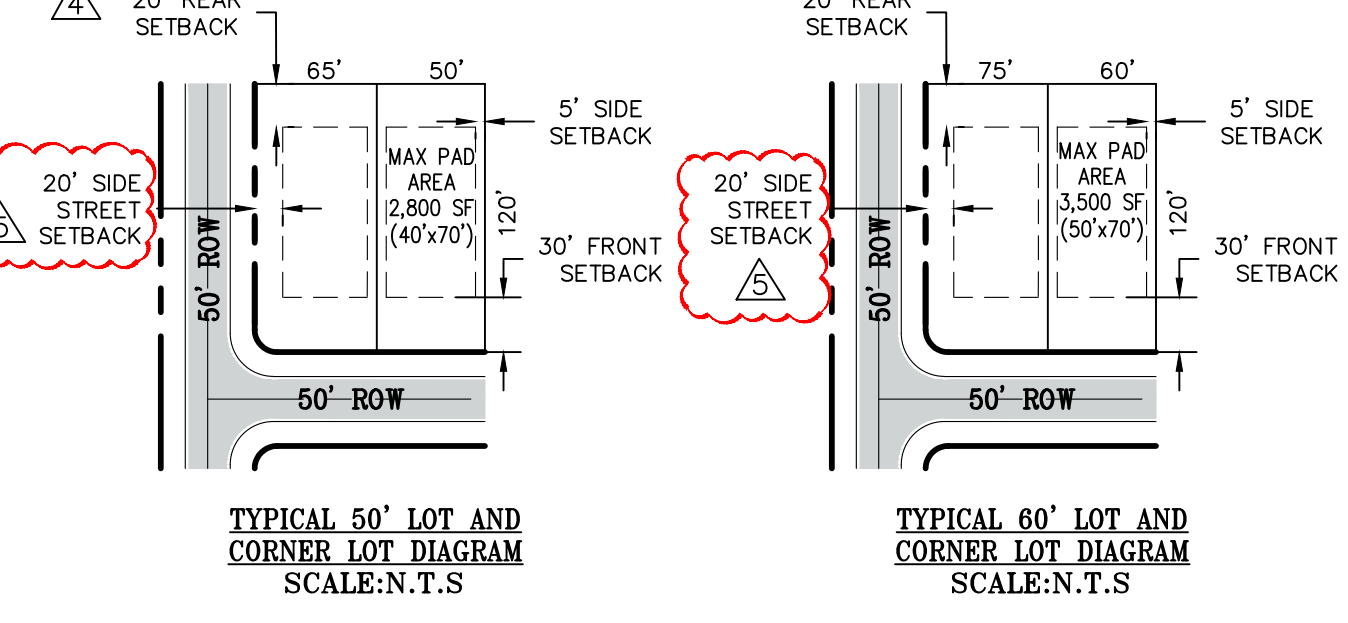
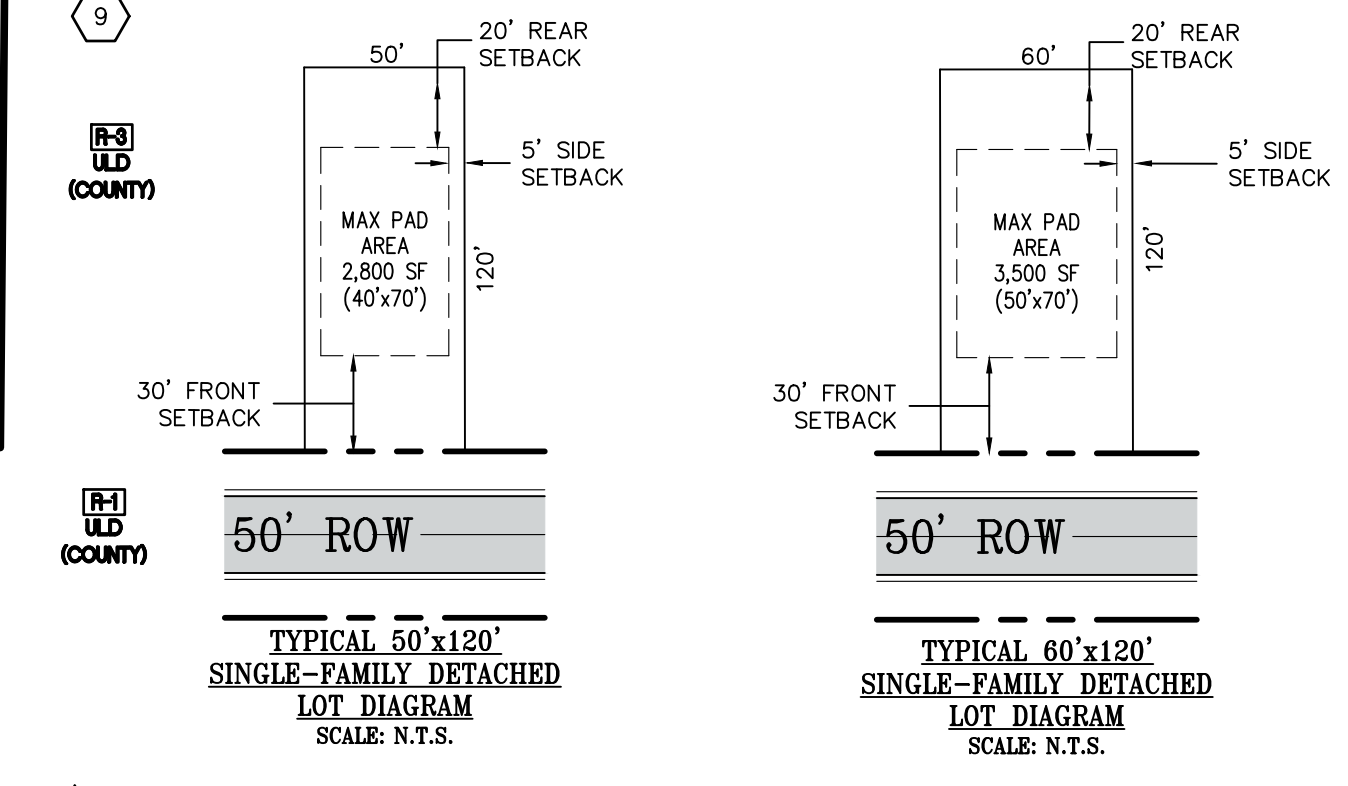
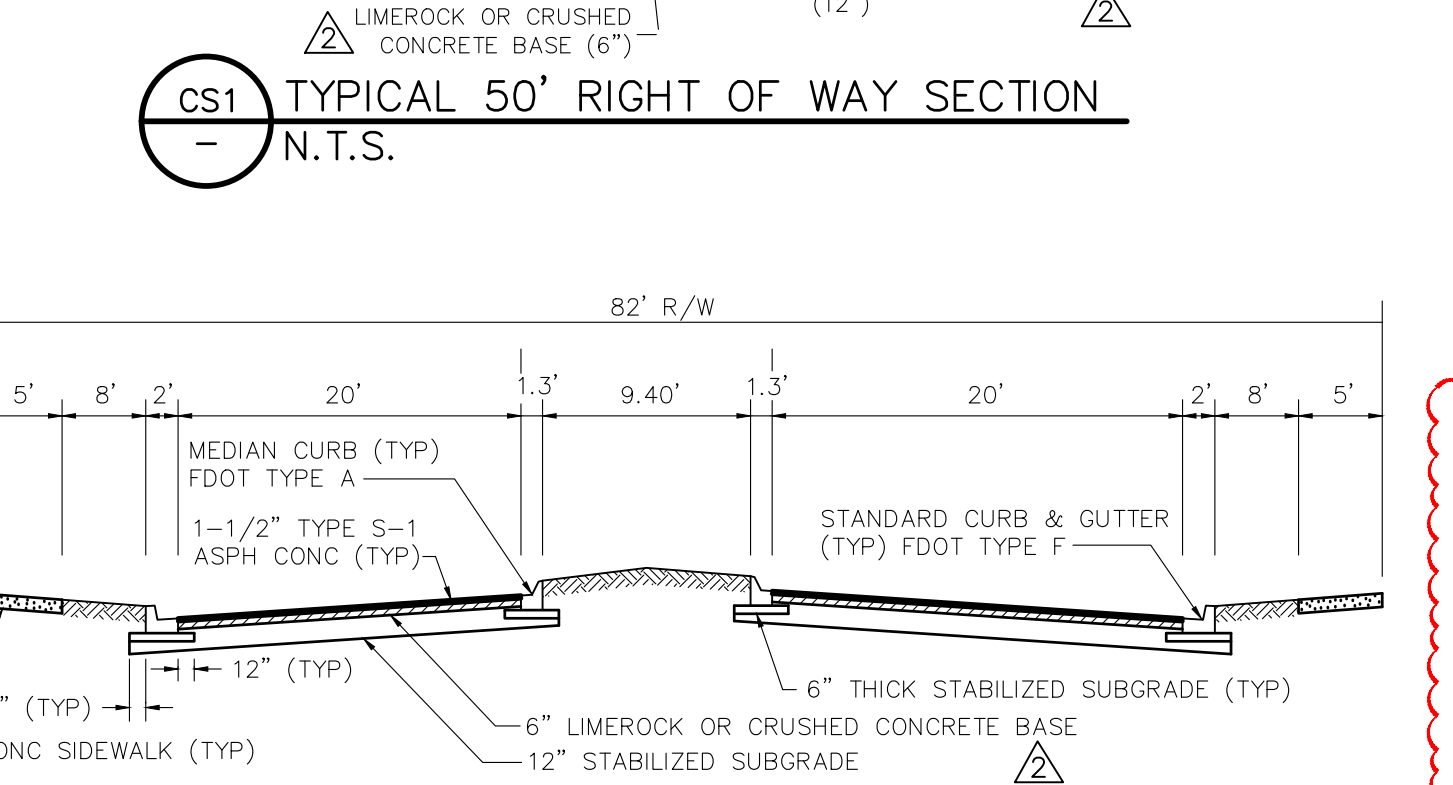
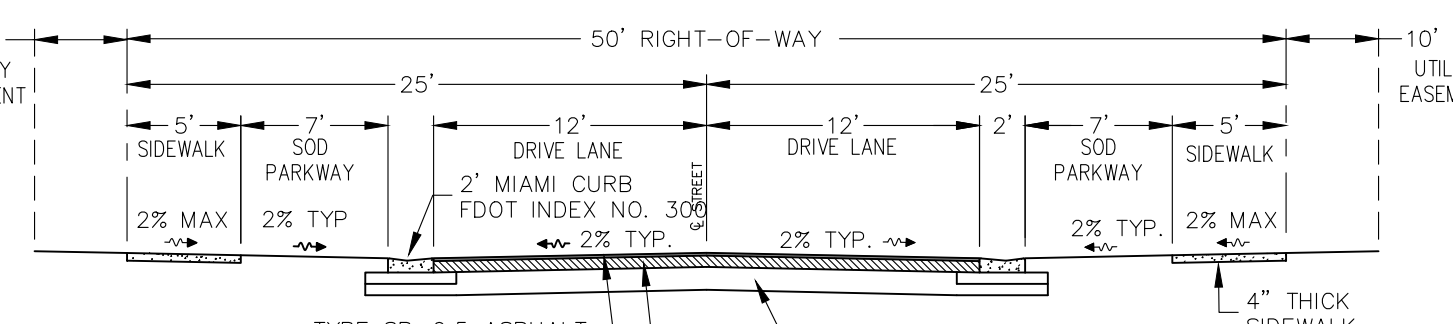
- TOTAL PROJECT AREA: 159.49 ACRES ±
- NET DEVELOPABLE AREA:
 - = TOTAL AREA - WETLANDS - ROW TAKING (159.49AC) - (2.34AC) = 157.15 ACRES ±
- GROSS DENSITY: (INCLUDES ROW DEDICATION AREA)
 - = ESTIMATED # OF LOTS (603 DU) / GROSS AREA (159.49 AC)
 - = 3.78 DU/AC
- NET DENSITY: (EXCLUDES ROW DEDICATION AREA)
 - = ESTIMATED # OF LOTS (603 DU) / NET DEVELOPABLE AREA (157.15 AC)
 - = 3.84 DU/AC
- MINIMUM REQUIRED OPEN SPACE: 25% PER LDC
 - = (.25) X (159.49) = 39.87AC MIN. REQUIRED
- OPEN SPACE PROVIDED:
 - = 49.70 AC ± (TRACTS: C1-C6, OBI-OB5, B1-B5, R01-R07)
- RECREATION AND COMMUNITY PARK: 9.89 A.C (R01-R07)
- STORM WATER MANAGEMENT: 21.34 A.C (OBI-OB5)
- BUFFERS AND MISC.: 17.15 A.C (B1-B5)
- OPEN SPACE: 1.32 A.C (C1-C6)
- MAXIMUM OVERALL BUILDING COVERAGE: 40%

DEVELOPMENT DATA:

- PROJECT AREA: 159.49 ACRES ±
- PARCEL ID'S: 32-18-24-0001-000-00900, 32-18-24-0002-000-00700, 32-18-24-2005-00A-00000
- ZONING: EXISTING: PUD "PLANNED UNIT DEVELOPMENT"
- FUTURE LAND USE: EXISTING: MFLD "MULTIPLE FAMILY LOW DENSITY (8DU/AC)"
- MAXIMUM NUMBER OF LOTS:
 - 50' X 120' SINGLE FAMILY FRONT LOADED: 278 D/U
 - 60' X 120' SINGLE FAMILY FRONT LOADED: 135 D/U
 - 24' X 120' TOWN HOMES FRONT LOADED: 190 D/U
 - TOTAL: 603 D/U
- GROSS DENSITY: DU / TOTAL ACREAGE
 - 603DU / 159.49AC = 3.78 DU/AC
- MINIMUM LOT SIZE: 24' X 120', 50' X 120', 60' X 120'
- MAXIMUM BUILDING HEIGHT: 35' (2 STORIES)
- LOT SETBACKS:
 - FRONT: 30'
 - REAR: 20'
 - SIDE: 5'
 - SIDE STREET: 20'
- ACCESSORY STRUCTURE SETBACKS:
 - POOL SCREEN: 5'
 - SIDE STREET: 5'
 - REAR: 7.5'
 - SWIMMING POOL: 7.5'
 - SIDE STREET: 20'
- SCHOOL AGE CHILDREN: (BASED ON ESTIMATED LOT COUNT)
 - ELEMENTARY: (603 DU X 0.249 CHILD/DU) = 150 CHILDREN
 - REAR: (603 DU X 0.114 CHILD/DU) = 69 CHILDREN
 - HIGH: (603 DU X 0.124 CHILD/DU) = 75 CHILDREN
 - TOTAL: 294 CHILDREN
- WATER CAPACITY DEMAND: 603 DU X 350 GPD/DU = 211,050 GPD
- WASTEWATER CAPACITY DEMAND: 603 DU X 300 GPD/DU = 180,900 GPD
- THIS SITE DOES NOT CONTAIN ON-SITE WETLANDS.
- PER FEA FRM PANEL NO. 12069C0170E, PANEL 170 OF 750, DATED DECEMBER 18, 2012, THE SUBJECT PROPERTY IS DESIGNATED ZONE 'X'; AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN.
- ALL EXISTING ON-SITE IMPROVEMENTS TO BE DEMOLISHED UNLESS NOTED OTHERWISE.
- DEVELOPMENT TO BE SUBDIVIDED AND CONSTRUCTED IN FOUR PHASES.
- A MANDATORY HOMEOWNERS ASSOCIATION SHALL BE CREATED TO PROVIDE FOR MANAGEMENT OF ALL COMMON AREAS.
- ALL CONSTRUCTION MATERIALS AND OTHER PROPOSED IMPROVEMENTS SHALL MEET THE APPLICABLE CODES OF CITY OF FRUITLAND PARK. CITY OF FRUITLAND PARK STANDARD DETAILS WILL BE UTILIZED ON THE FINAL ENGINEERING PLANS.
- A STORMWATER SYSTEM SHALL BE DESIGNED AND PERMITTED IN ACCORDANCE WITH CITY OF FRUITLAND PARK REQUIREMENTS.
- THE PROPOSED ROADS ARE TO BE PUBLIC.
- WATER AND SEWER SERVICE TO BE PROVIDED BY CITY OF FRUITLAND PARK.
- NO REUSE IS AVAILABLE FOR THIS SITE.
- ALL PROPOSED UTILITY LINES SHALL BE DESIGNED TO MEET CITY OF FRUITLAND PARK REQUIREMENTS.
- UTILITY EASEMENTS DEDICATED TO CITY OF FRUITLAND PARK SHALL BE PROVIDED OVER ALL PUBLIC WATER AND SEWER MAINS LOCATED OUTSIDE THE PUBLIC RIGHT OF WAY.
- FIRE PROTECTION WILL BE PROVIDED AND DESIGNED IN ACCORDANCE WITH APPLICABLE CITY OF FRUITLAND PARK CODES AND REGULATIONS.
- PROJECT SIGNAGE WILL COMPLY WITH THE CITY OF FRUITLAND PARK LAND DEVELOPMENT CODE.
- 5' SIDE YARD DRAINAGE AND UTILITY EASEMENTS ARE REQUIRED. NO ENCUMBRANCES OTHER THAN FENCES ARE ALLOWED WITHIN THE EASEMENT.

TRACT TABLE

TRACT ID	DESCRIPTION	OWNERSHIP	MAINTENANCE	AREA (SF)	AREA (AC)	PERCENTAGE
A1	RIGHT OF WAY	CITY	CITY	1,413,036	32.44	20.34%
B1	BUFFER/OPEN SPACE	HOA	HOA	46,247	1.06	0.67%
B2	BUFFER/OPEN SPACE	HOA	HOA	23,063	0.53	0.33%
B3	BUFFER/OPEN SPACE	HOA	HOA	103,980	2.39	1.50%
B4	BUFFER/OPEN SPACE	HOA	HOA	369,473	8.48	5.32%
B5	BUFFER/OPEN SPACE	HOA	HOA	204,233	4.69	2.94%
C1	OPEN SPACE	HOA	HOA	6,137	0.14	0.09%
C2	OPEN SPACE	HOA	HOA	5,939	0.14	0.09%
C3	OPEN SPACE	HOA	HOA	12,778	0.29	0.18%
C4	OPEN SPACE	HOA	HOA	11,326	0.26	0.16%
C5	OPEN SPACE	HOA	HOA	14,376	0.33	0.21%
C6	OPEN SPACE	HOA	HOA	7,066	0.16	0.10%
LS1	LIFT STATION	CITY	CITY	1,600	0.04	0.02%
OB1	STORMWATER / OPEN SPACE	HOA	HOA	327,295	7.51	4.71%
OB2	STORMWATER / OPEN SPACE	HOA	HOA	115,066	2.64	1.66%
OB3	TREE PRESERVATION / STORM / OPEN	HOA	HOA	239,818	5.51	3.45%
OB4	STORMWATER / OPEN SPACE	HOA	HOA	89,970	2.07	1.30%
OB5	STORMWATER / OPEN SPACE	HOA	HOA	157,524	3.62	2.27%
R01	RECREATION / OPEN	HOA	HOA	71,688	1.65	1.03%
R02	RECREATION / OPEN	HOA	HOA	52,938	1.22	0.76%
R03	RECREATION / OPEN	HOA	HOA	40,600	0.93	0.58%
R04	RECREATION / OPEN	HOA	HOA	26,328	0.60	0.38%
R05	RECREATION / OPEN	HOA	HOA	30,527	0.70	0.44%
R06	RECREATION / OPEN	HOA	HOA	59,906	1.38	0.86%
R07	RECREATION / OPEN	HOA	HOA	148,789	3.42	2.14%
RT1	RIGHT OF WAY	LAKE COUNTY	LAKE COUNTY	52,267	1.20	0.75%
RT2	RIGHT OF WAY	LAKE COUNTY	LAKE COUNTY	37,844	0.87	0.54%
RT3	RIGHT OF WAY	LAKE COUNTY	LAKE COUNTY	11,551	0.27	0.17%
	SINGLE FAMILY	PRIVATE	PRIVATE	74.98	74.98	47.01%
TOTAL SITE AREA				3,681,367	159.49	100.00%



MADDEN
WOODHEAD & STOKES, LLC
CIVIL ENGINEERS
431 E. Horatio Avenue
Suite 260
Maitland, Florida 32751
(407) 629-8330

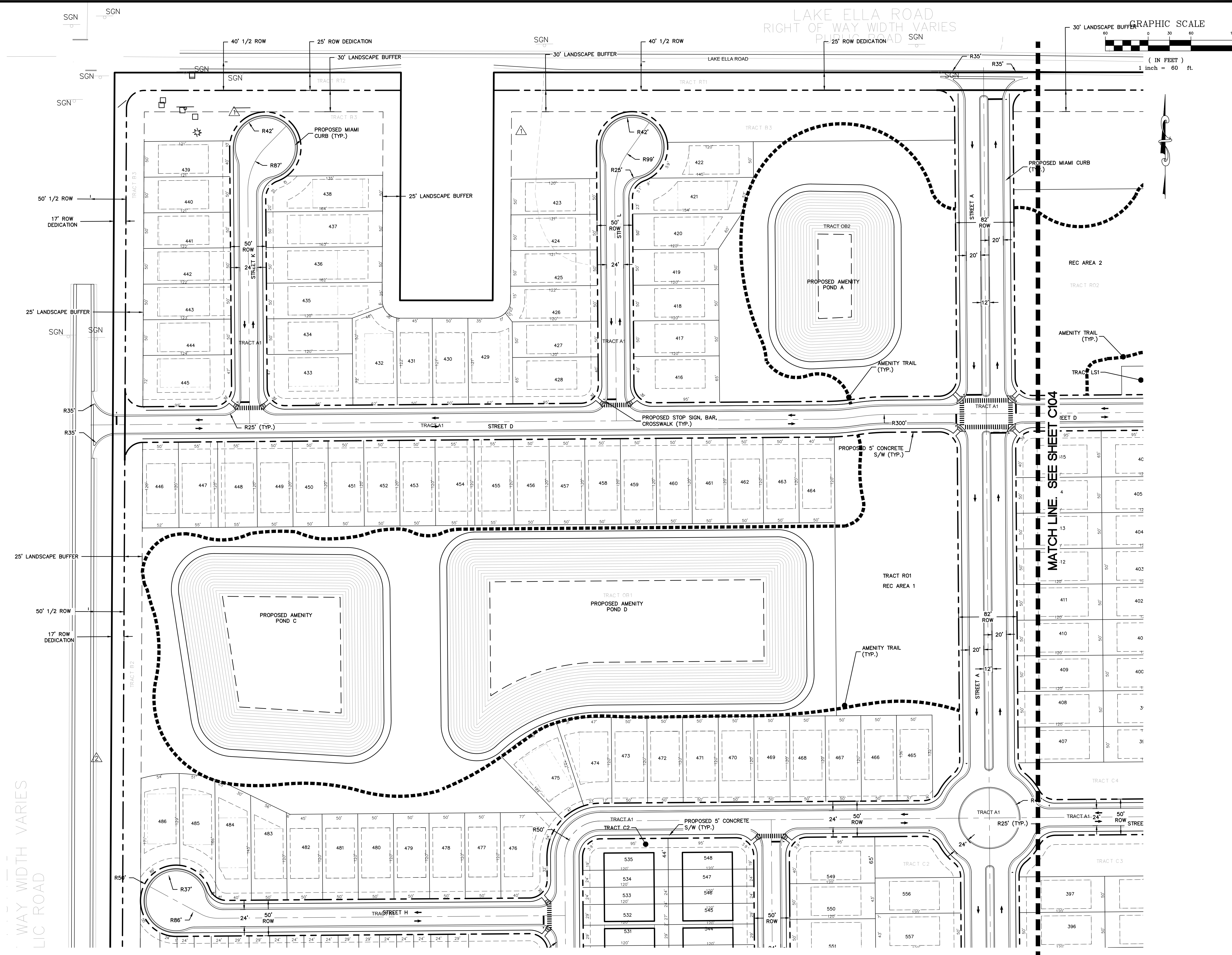
PRELIMINARY DEVELOPMENT PLAN
FOR
ROLLING ACRES AT LAKE ELLA
CITY OF FRUITLAND PARK, FLORIDA

RESUBUILT HOMES
3630 PEACHTREE ROAD N.E., SUITE 1500
ATLANTA, GA. 30326

ENGINEER: [Signature]
LICENSE NO. 61781
STATE OF FLORIDA
CIVIL ENGINEER
CHANGING OFFICE: [Signature]
DATE: 03/11/2022
CERTIFICATE OF PROFESSIONAL ENGINEERING: [Signature]

NO.	DATE	REVISIONS
1	03/11/2022	ISSUED PER CITY OF FRUITLAND PARK
2	03/11/2022	REVISED PER CITY OF FRUITLAND PARK
3	03/11/2022	REVISED PER CITY OF FRUITLAND PARK
4	03/11/2022	REVISED PER CITY OF FRUITLAND PARK
5	03/11/2022	REVISED PER CITY OF FRUITLAND PARK
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7	03/11/2022	REVISED PER CITY OF FRUITLAND PARK
8	03/11/2022	REVISED PER CITY OF FRUITLAND PARK
9	03/11/2022	REVISED PER CITY OF FRUITLAND PARK
10	03/11/2022	REVISED PER CITY OF FRUITLAND PARK
11	03/11/2022	REVISED PER CITY OF FRUITLAND PARK

JOB #: 21084
DATE: 08/11/2022
SCALE: 1" = 200'
DESIGNED BY: JAS
DRAWN BY: JAS
APPROVED BY: CHM



LAKE ELLA ROAD
RIGHT OF WAY WIDTH VARIES
PLUMBING ROAD

GRAPHIC SCALE
(IN FEET)
1 inch = 60 ft.

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SITE PLAN
FOR
ROLLING ACRES AT LAKE ELLA
CITY OF FRUITLAND PARK, FLORIDA

RESIBUILT HOMES
3630 PEACHTREE ROAD N.E., SUITE 1500
ATLANTA, GA 30326

ENGINEER
MORRIS H. MOORHEAD * REGISTERED PROFESSIONAL ENGINEER
LICENSE No. 61781
STATE OF FLORIDA
CHAIRMAN, CIVIL ENGINEERING BOARD
DATE: 08/11/2022
CERTIFICATE OF REGISTRATION No. CA-0007723

NO.	DATE	REVISIONS
1	9/16/22	REVISED PER CITY OF FRUITLAND PARK
2	11/14/22	REVISED PER CITY OF FRUITLAND PARK
3	03/03/23	REVISED PER CITY OF FRUITLAND PARK
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JOB # 21084
DATE: 08/11/2022
SCALE: 1" = 60'
DESIGNED BY: JAS
DRAWN BY: JAS
APPROVED BY: CHM

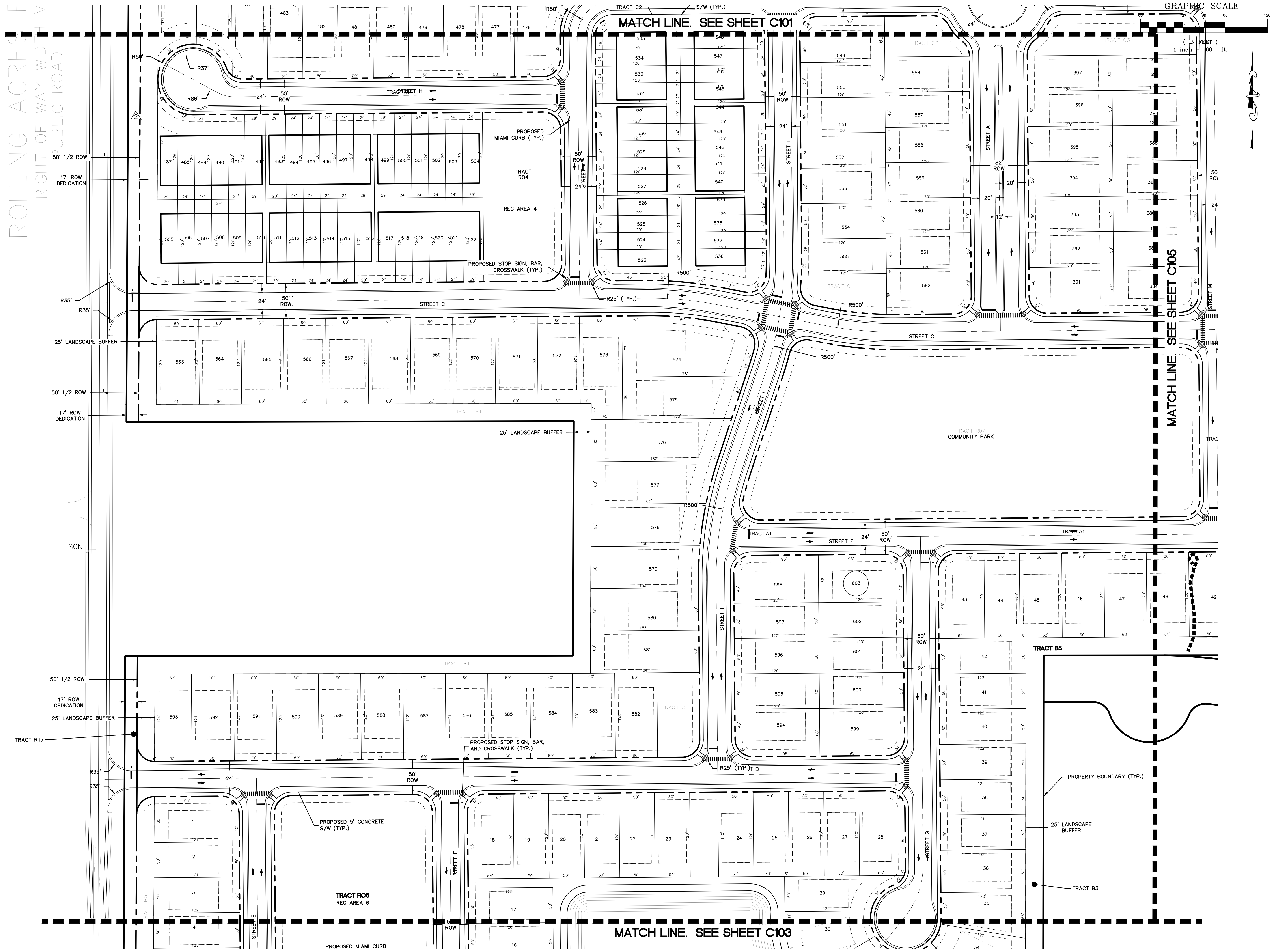
C101

WAY WIDTH VARIES
LIC ROAD

MATCH LINE. SEE SHEET C102

P:\Data\21084-Eng\PS\21084-C101-SITE PLAN.dwg March 13, 2023 2:06 PM

ROLLING ACRES F
RIGHT OF WAY WIDTH V
PUBLIC ROAD



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HOORHEAD & STOKES, LLC
CIVIL ENGINEERS
431 E. Horatio Avenue
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Maitland, Florida 32751
(407) 629-8330

SITE PLAN
FOR
ROLLING ACRES AT LAKE ELLA
CITY OF FRUITLAND PARK, FLORIDA

RESIBUILT HOMES
3630 PEACHTREE ROAD N.E., SUITE 1500
ATLANTA, GA. 30326

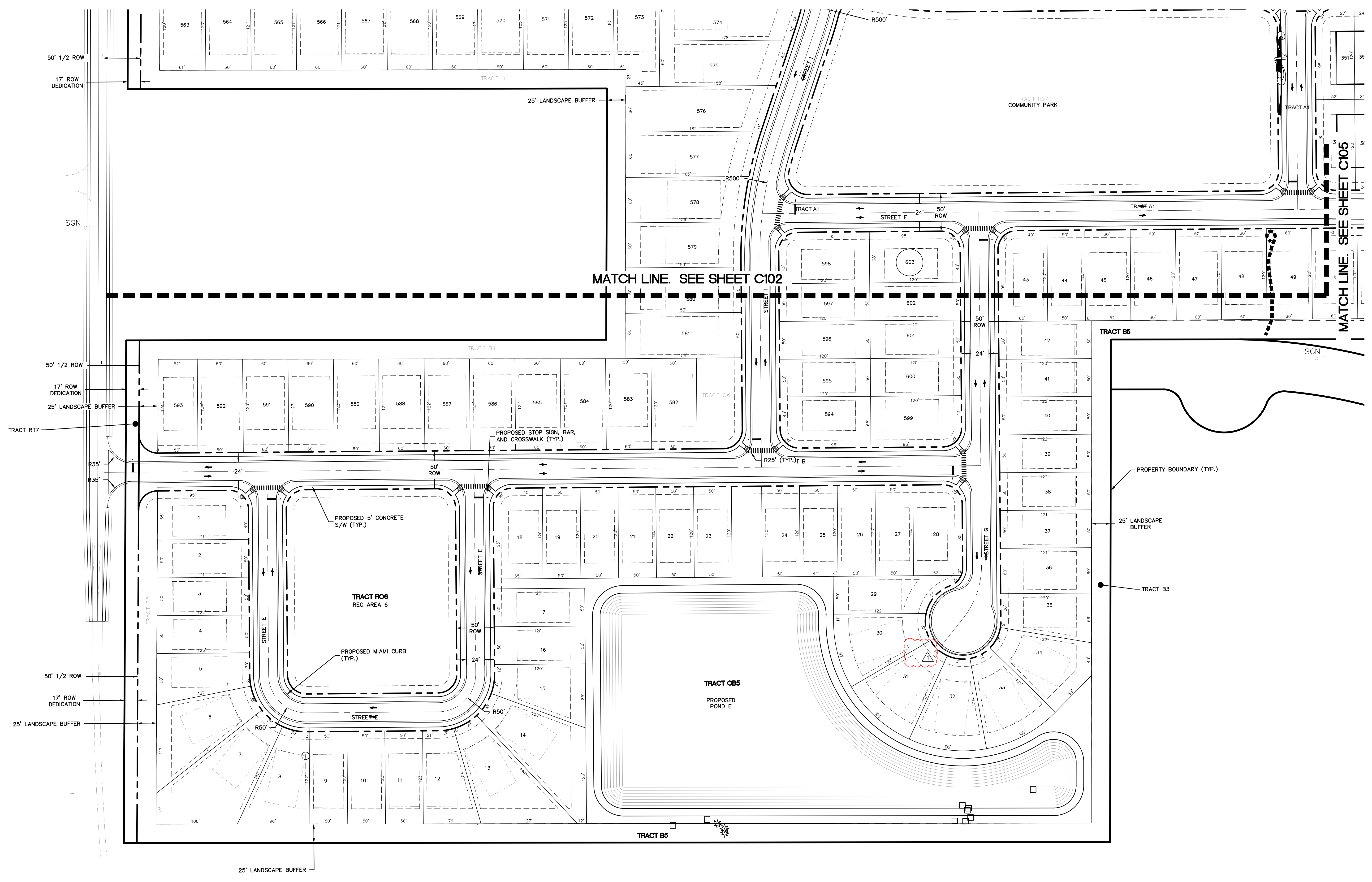
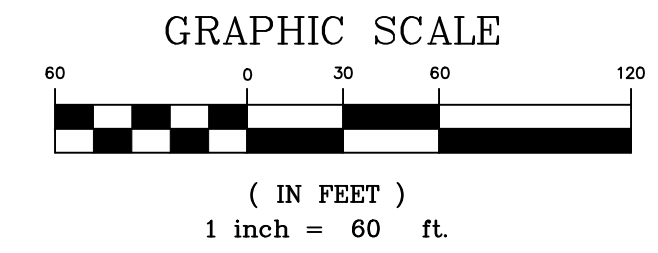
ENGINEER: MICHAEL HOORHEAD, LICENSE No. 61781
STATE OF FLORIDA
CHAIRMAN: JAMES W. STOKES, LICENSE No. 61781
DATE: 08/11/2022
CERTIFICATE OF PROFESSIONAL ENGINEERING, No. CA-0007723

1	11/14/22	REVISED PER CITY OF FRUITLAND PARK
2	03/03/23	REVISED PER CITY OF FRUITLAND PARK
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JOB # 21084
DATE: 08/11/2022
SCALE: 1" = 60'
DESIGNED BY: JAS
DRAWN BY: JAS
APPROVED BY: CHM

C102

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Maitland, Florida 32751
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SITE PLAN
FOR
ROLLING ACRES AT LAKE ELLA
CITY OF FRUITLAND PARK, FLORIDA

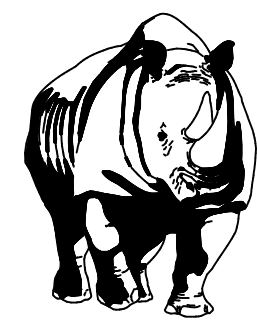
RESIBUILT HOMES
3630 PEACHTREE ROAD N.E., SUITE 1500
ATLANTA, GA 30326

ENGINEER: **MOORHEAD & STOKES, LLC**
LICENSE # **61781**
STATE OF **FLORIDA**
CHAIRMAN: **CHADWICK MOORHEAD**
DATE: **08/11/2022**
CERTIFICATE # **00007723**

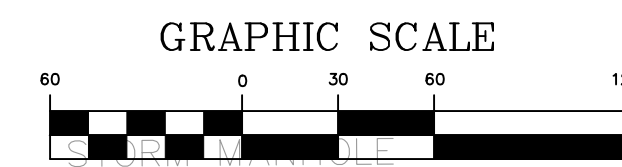
NO.	DATE	REVISIONS
1	09/16/22	REVISED PER CITY OF FRUITLAND PARK
2	09/23/22	REVISED PER CITY OF FRUITLAND PARK
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JOB # **21084**
DATE: **08/11/2022**
SCALE: **1" = 60'**
DESIGNED BY: **JAS**
DRAWN BY: **JAS**
APPROVED BY: **CHM**

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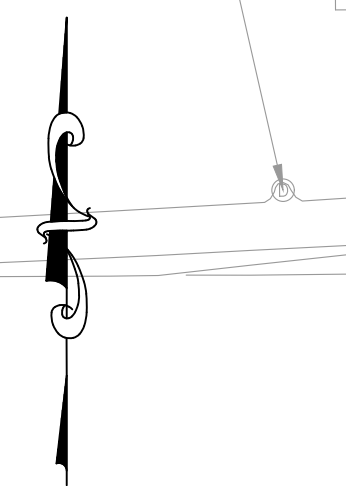


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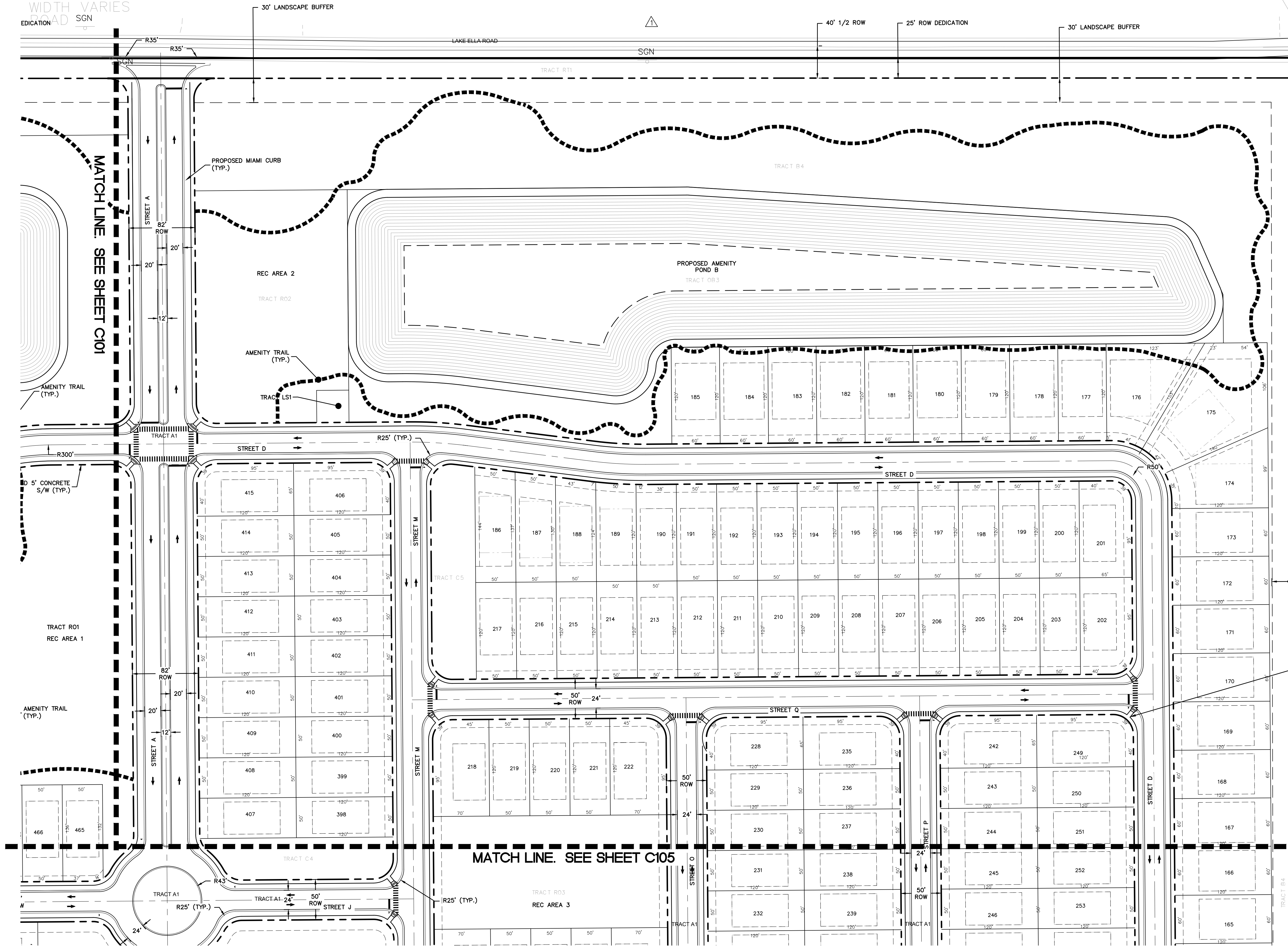


STORM MANHOLE
TOP = 74.30
N. INVERT 24" RCP = 68.37
E. INVERT 24" RCP = 68.68

TOP = (IN FEET)
W. INVERT 24" RCP = 60 ft. 3.80
E. INVERT 24" RCP = 73.81

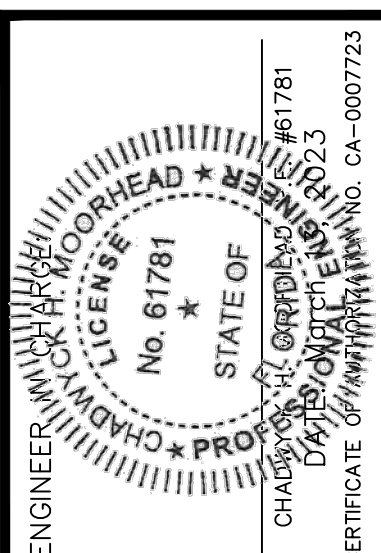


LA ROAD
WIDTH VARIES
EDUCATION AD SGN



SITE PLAN
FOR
ROLLING ACRES AT LAKE ELLA
CITY OF FRUITLAND PARK, FLORIDA

RESIBUILT HOMES
3630 PEACHTREE ROAD N.E., SUITE 1500
ATLANTA, GA. 30326

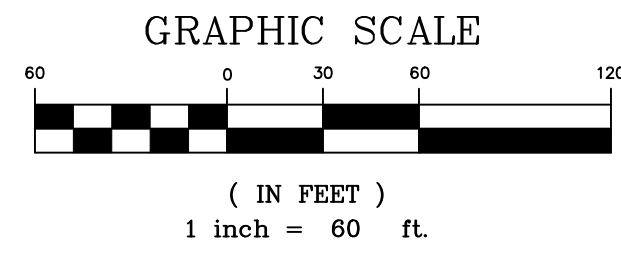


NO.	DATE	REVISIONS
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2	03/02/22	REVISED PER CITY OF FRUITLAND PARK
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JOB # 21084
DATE: 08/11/2022
SCALE: 1" = 60'
DESIGNED BY: JAS
DRAWN BY: JAS
APPROVED BY: CHM

C104

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SITE PLAN
FOR
ROLLING ACRES AT LAKE ELLA
CITY OF FRUITLAND PARK, FLORIDA

RESIBUILT HOMES
3630 PEACHTREE ROAD N.E., SUITE 1500
ATLANTA, GA. 30326

ENGINEER: **CHADWICK MOORHEAD**, No. 61781
STATE OF FLORIDA
CHAIRMAN: **CHADWICK MOORHEAD**, No. 61781
DATE: 08/11/2022
CERTIFICATE: 08/11/2022

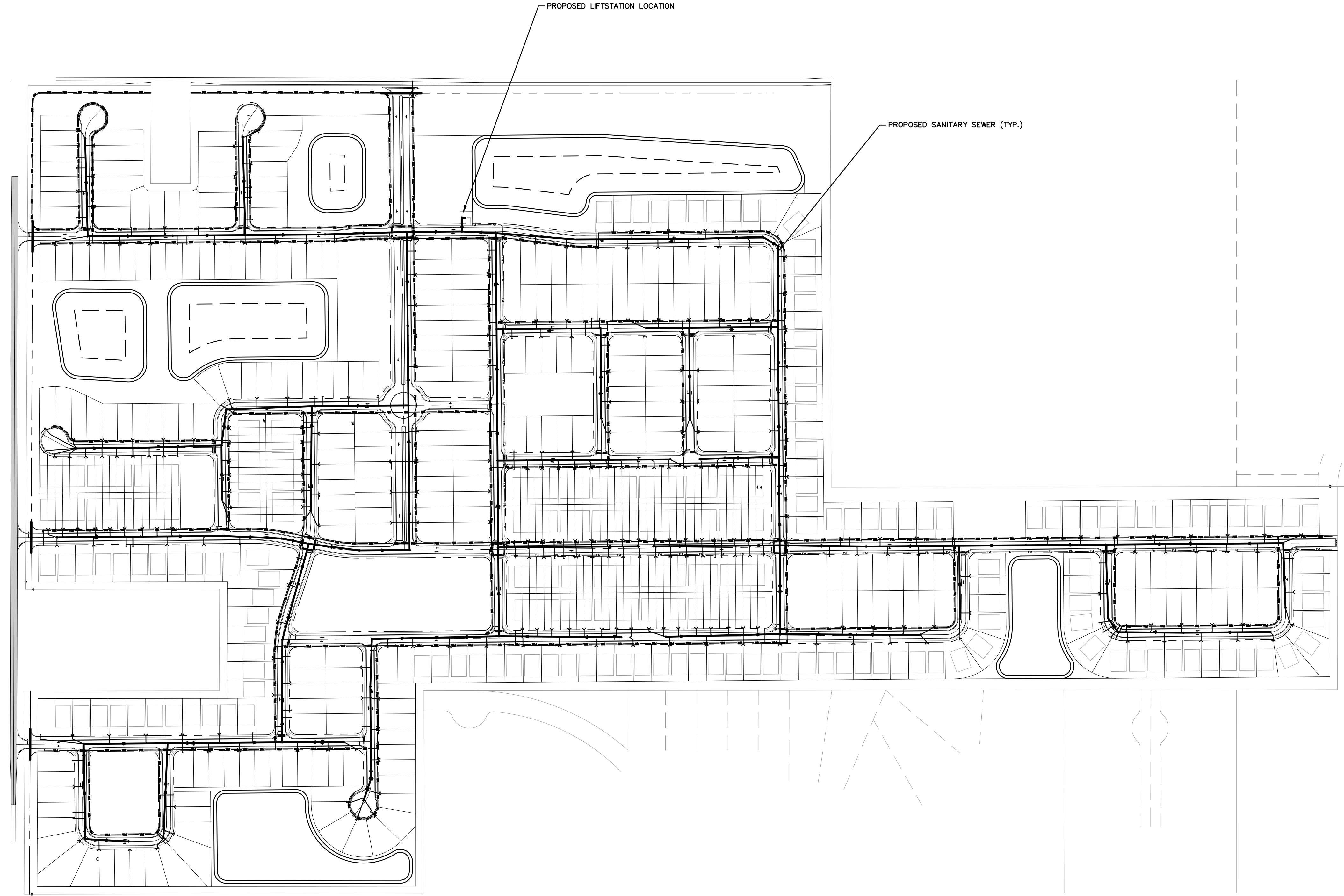
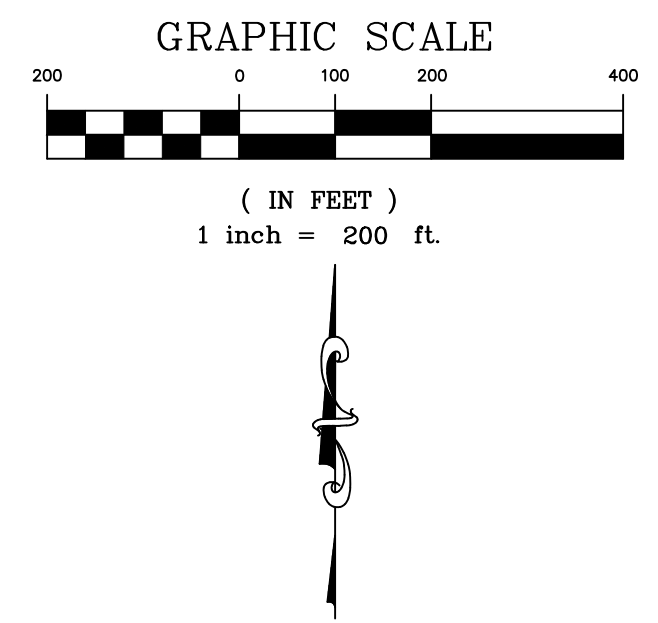
NO.	DATE	REVISIONS
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JOB # 21084
DATE: 08/11/2022
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DESIGNED BY: JAS
DRAWN BY: JAS
APPROVED BY: CHM

C105



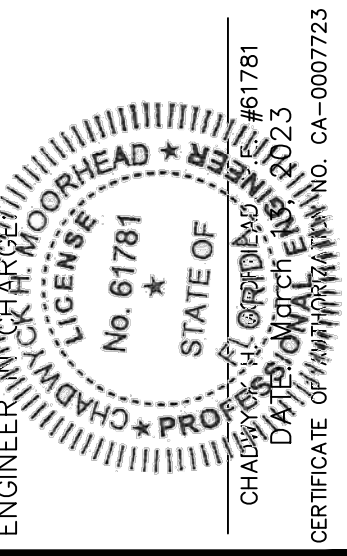
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CIVIL ENGINEERS
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OVERALL UTILITY/DRAINAGE
FOR
ROLLING ACRES AT LAKE ELLA
CITY OF FRUITLAND PARK, FLORIDA

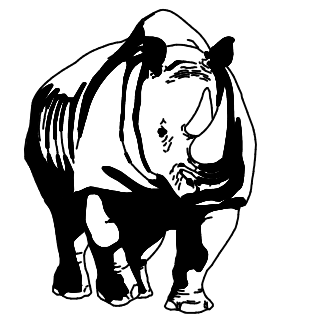
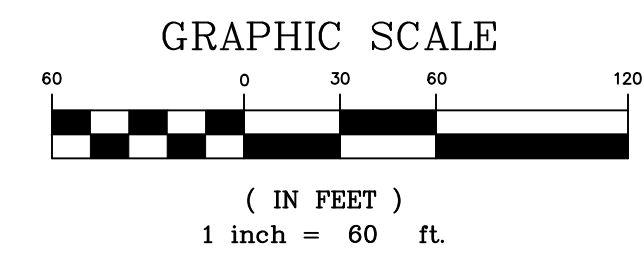
RESIBUILT HOMES
3630 PEACHTREE ROAD N.E., SUITE 1500
ATLANTA, GA. 30326



NO.	DATE	REVISIONS
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JOB # 21084
DATE: 08/11/2022
SCALE: 1" = 200'
DESIGNED BY: JAS
DRAWN BY: JAS
APPROVED BY: CHM

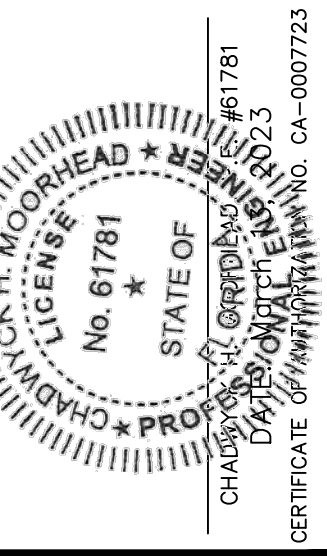
C200



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MOORHEAD & STOKES, LLC
CIVIL ENGINEERS
431 E. Horatio Avenue
Suite 260
Maitland, Florida 32751
(407) 629-8330

PRELIMINARY UTILITY / DRAINAGE
FOR
ROLLING ACRES AT LAKE ELLA
CITY OF FRUITLAND PARK, FLORIDA

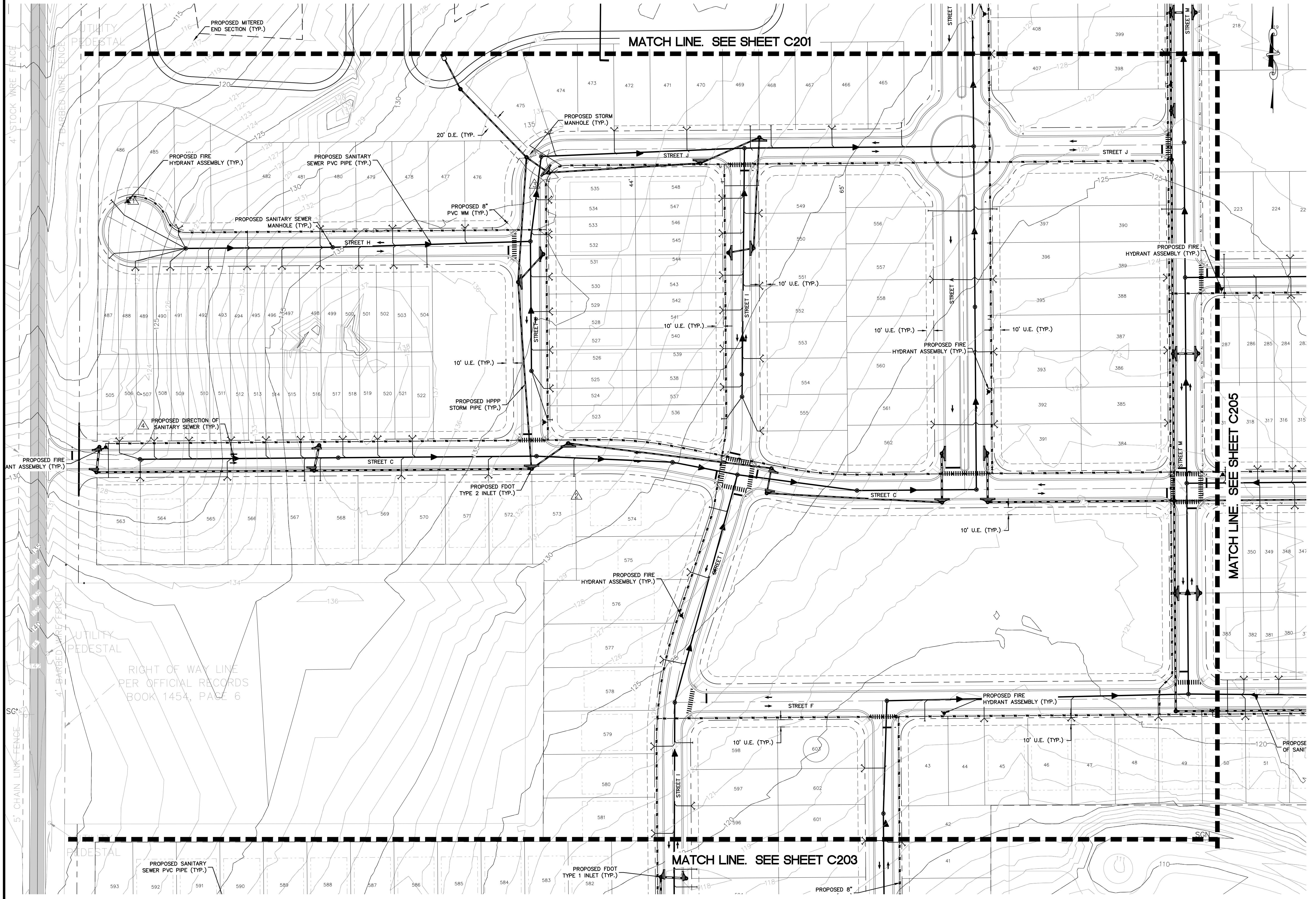
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3630 PEACHTREE ROAD N.E., SUITE 1500
ATLANTA, GA. 30326



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3	10/21/22	REVISED PER CITY OF FRUITLAND PARK
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5	03/13/23	REVISED PER CITY OF FRUITLAND PARK
6	03/13/23	REVISED PER CITY OF FRUITLAND PARK
7	03/13/23	REVISED PER CITY OF FRUITLAND PARK
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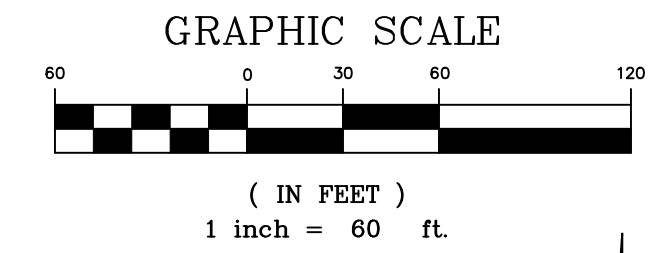
JOB # 21084
DATE: 08/11/2022
SCALE: 1" = 60'
DESIGNED BY: JAS
DRAWN BY: JAS
APPROVED BY: CHM

C202



5' CHAIN LINK FENCE
4' STOCK WIRE FENCE
4' BARBED WIRE FENCE
UTILITY PEDESTAL
RIGHT OF WAY LINE PER OFFICIAL RECORDS BOOK 1454, PAGE 6

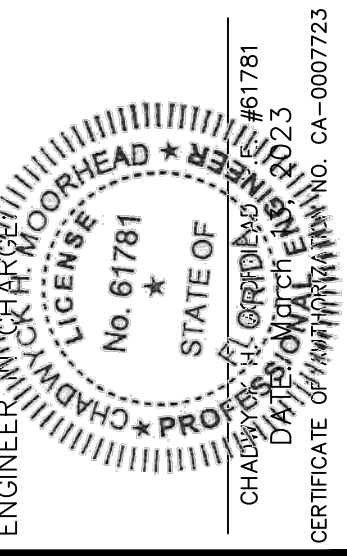
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CIVIL ENGINEERS
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Maitland, Florida 32751
(407) 629-8330

PRELIMINARY UTILITY / DRAINAGE
FOR
ROLLING ACRES AT LAKE ELLA
CITY OF FRUITLAND PARK, FLORIDA

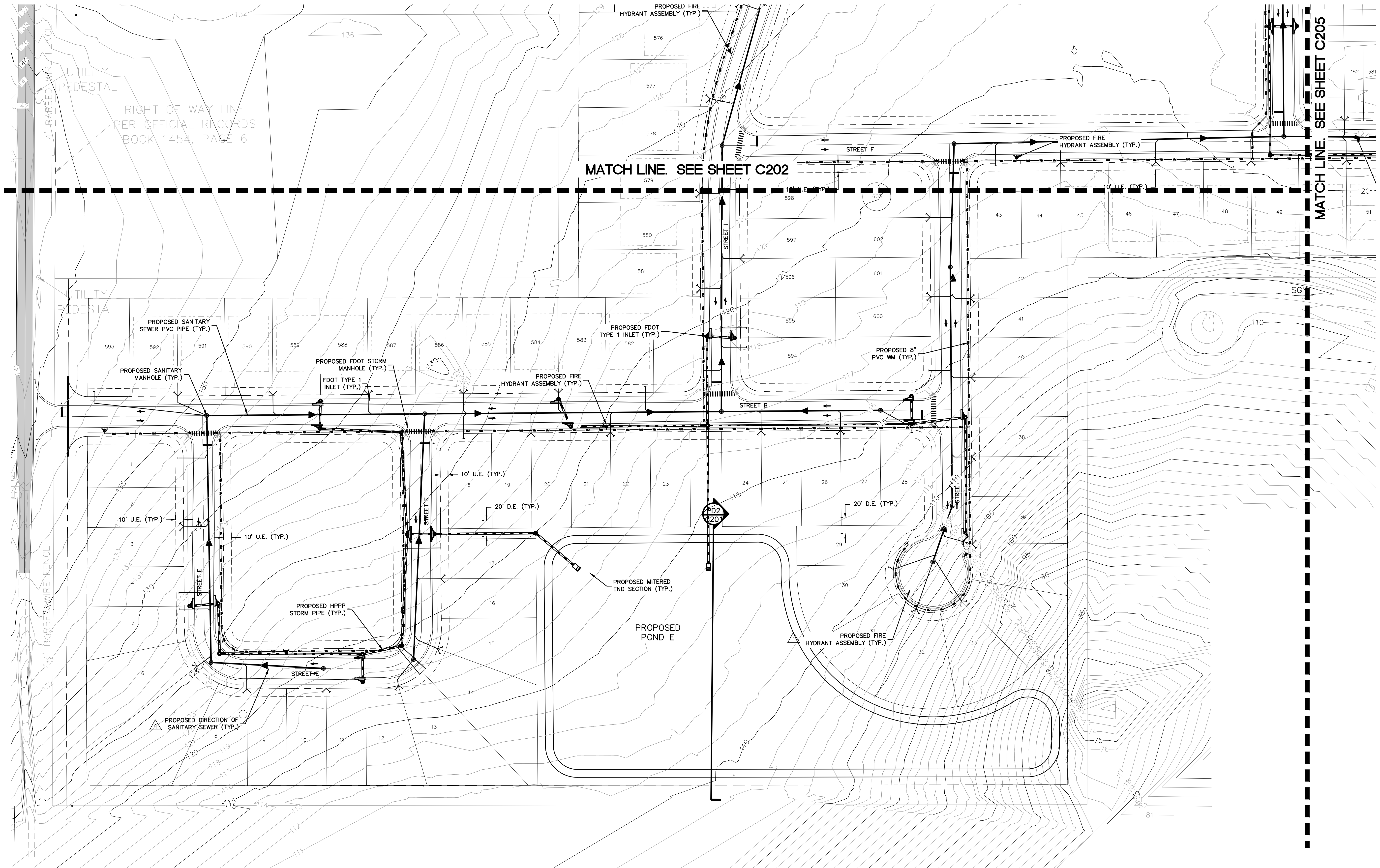
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3630 PEACHTREE ROAD N.E., SUITE 1500
ATLANTA, GA 30326



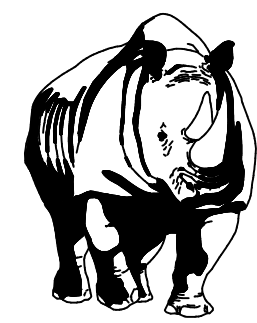
NO.	DATE	REVISIONS
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3	03/13/23	REVISED PER CITY OF FRUITLAND PARK
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JOB # 21084
DATE: 08/11/2022
SCALE: 1" = 60'
DESIGNED BY: JAS
DRAWN BY: JAS
APPROVED BY: CHM

C203

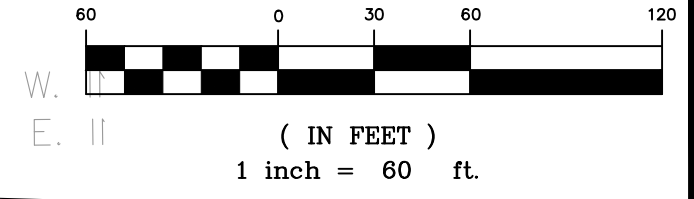


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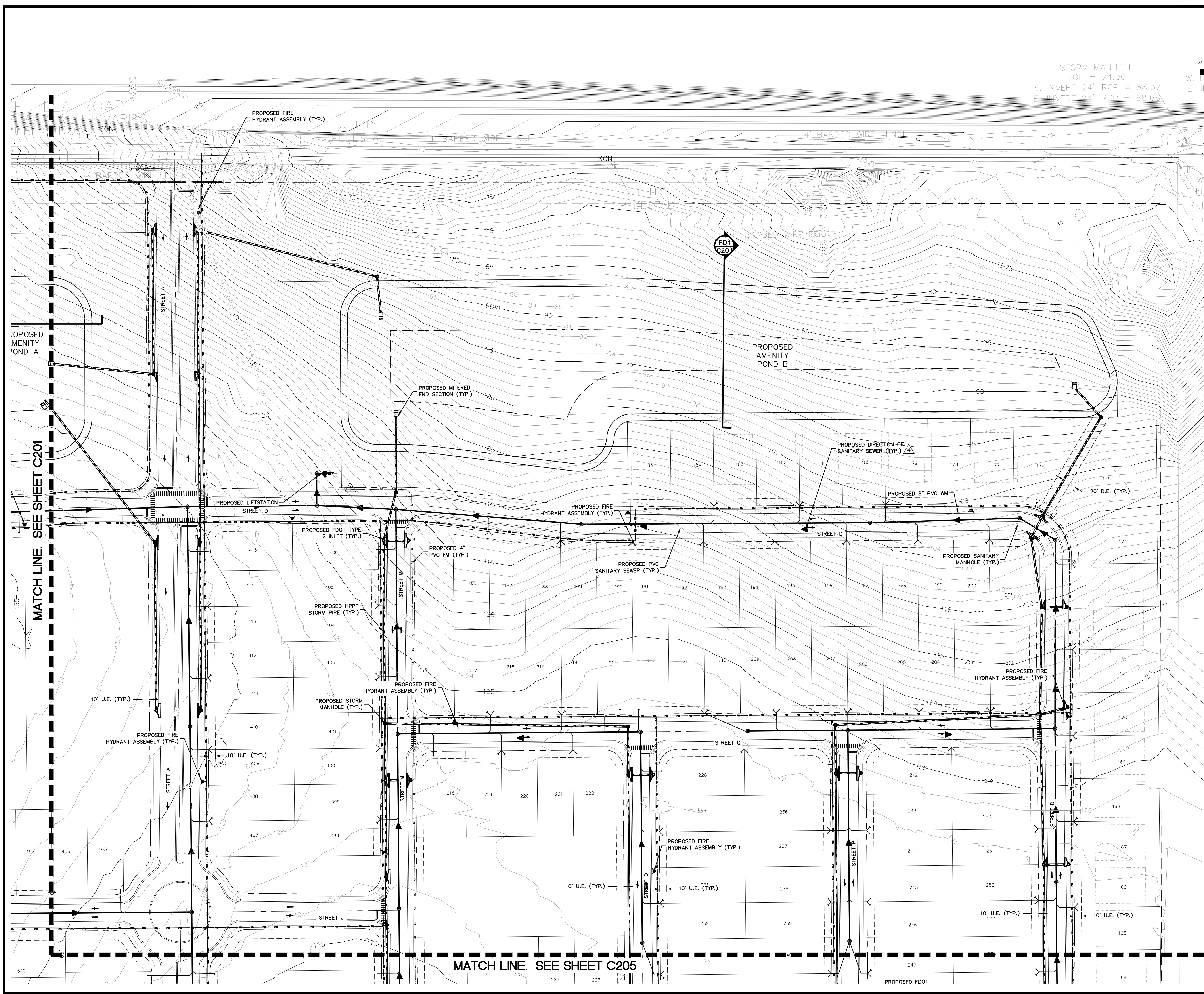


MADDEN
WOODHEAD & STOKES, LLC
CIVIL ENGINEERS
431 E. Horatio Avenue
Suite 260
Maitland, Florida 32751
(407) 629-8330

GRAPHIC SCALE

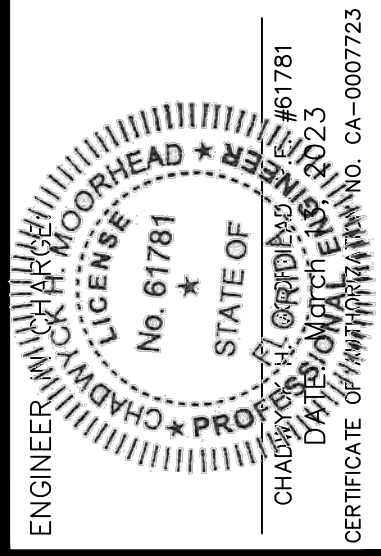


STORM MANHOLE
TOP = 74.30
N. INVERT 24" RCP = 68.37
E. INVERT 24" RCP = 68.68



PRELIMINARY UTILITY / DRAINAGE
FOR
ROLLING ACRES AT LAKE ELLA
CITY OF FRUITLAND PARK, FLORIDA

RESIBUILT HOMES
3630 PEACHTREE ROAD N.E., SUITE 1500
ATLANTA, GA. 30326

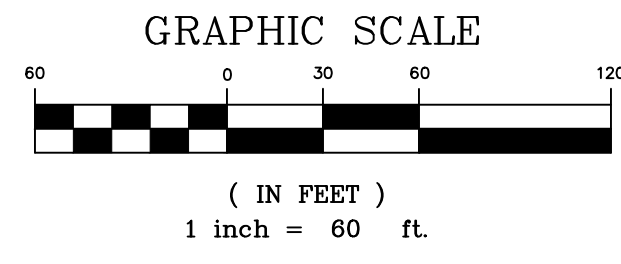
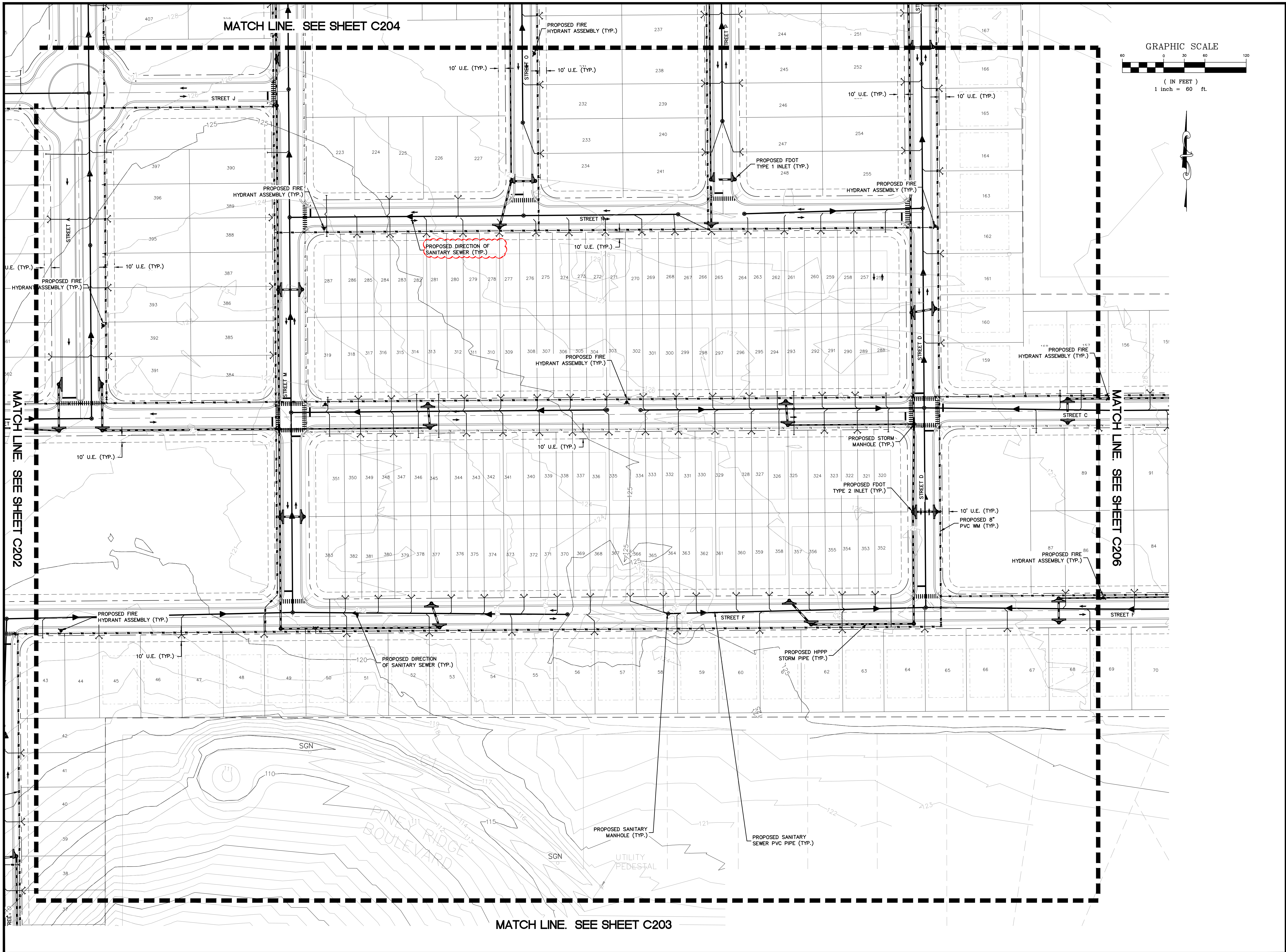


NO.	DATE	REVISIONS
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JOB # 21084
DATE: 08/11/2022
SCALE: 1" = 60'
DESIGNED BY: JAS
DRAWN BY: JAS
APPROVED BY: CHM

C204

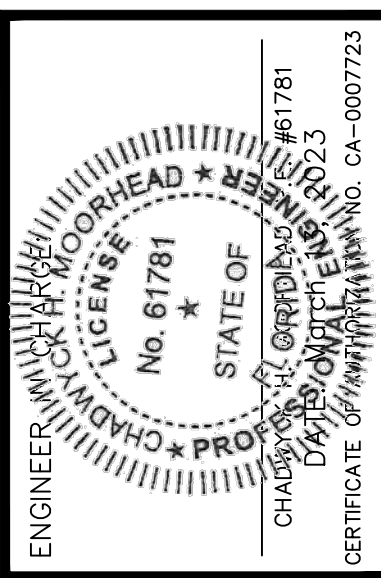
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PRELIMINARY UTILITY / DRAINAGE
FOR
ROLLING ACRES AT LAKE ELLA
CITY OF FRUITLAND PARK, FLORIDA

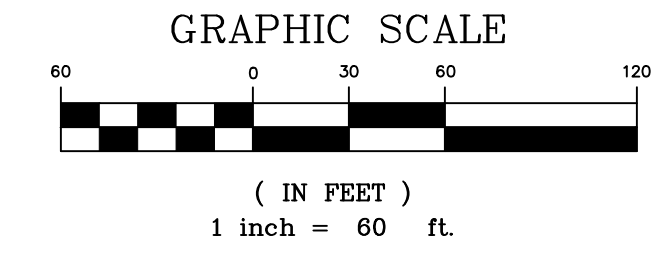
RESIBUILT HOMES
3630 PEACHTREE ROAD N.E., SUITE 1500
ATLANTA, GA. 30326



NO.	DATE	REVISIONS
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APPROVED BY: CHM

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(407) 629-8330

PRELIMINARY UTILITY / DRAINAGE
FOR
ROLLING ACRES AT LAKE ELLA
CITY OF FRUITLAND PARK, FLORIDA

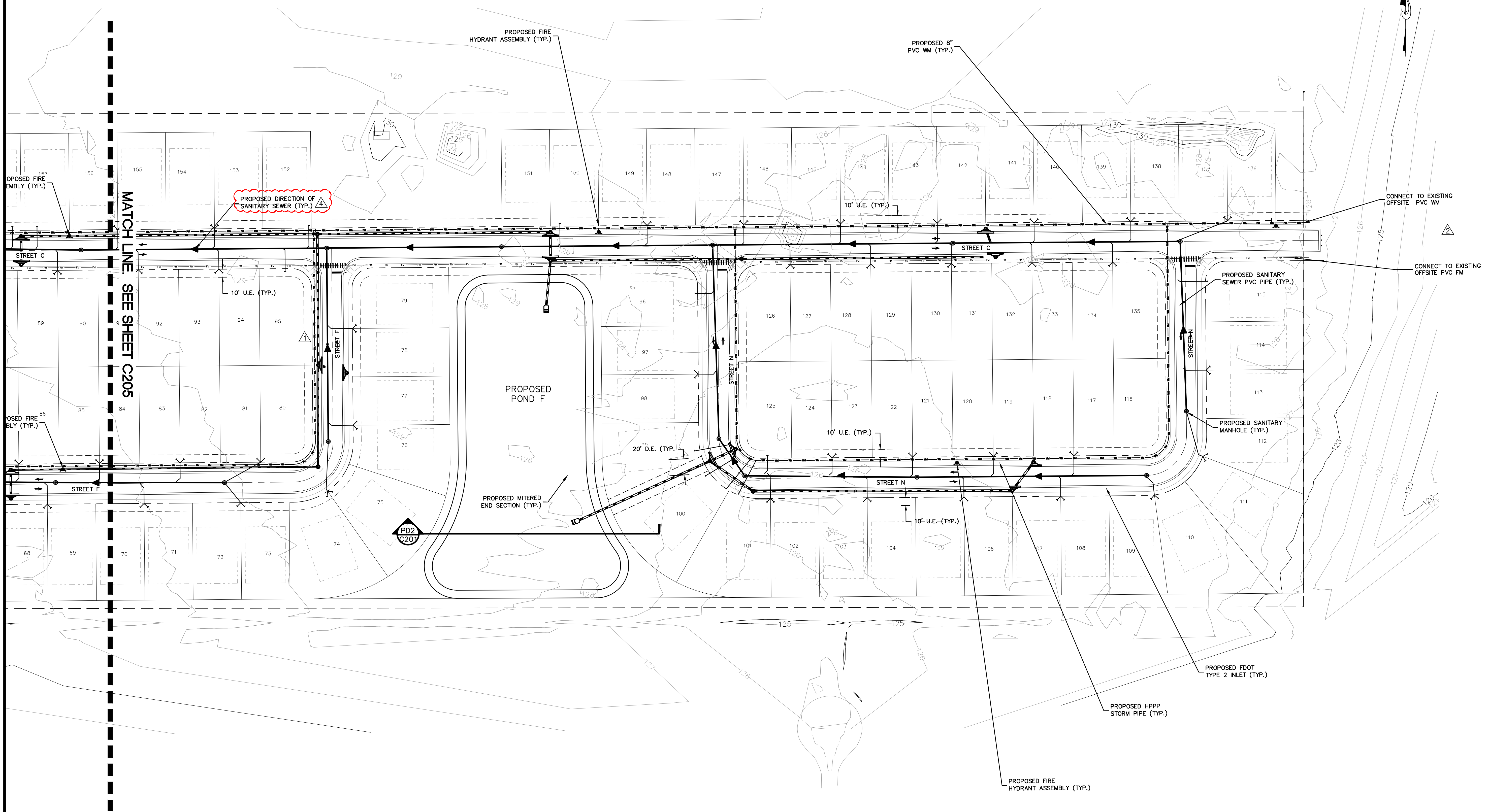
RESIBUILT HOMES
3630 PEACHTREE ROAD N.E., SUITE 1500
ATLANTA, GA. 30326

ENGINEER: CHADWICK MOORHEAD, No. 61781, STATE OF FLORIDA, LICENSE #1781, CHADWICK MOORHEAD & STOKES, LLC, 1100 N. W. 11th St., Ft. Lauderdale, FL 33304, CA-0007723

NO.	DATE	REVISIONS
1	09/19/22	REVISED PER CITY OF FRUITLAND PARK
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JOB # 21084
DATE: 08/11/2022
SCALE: 1" = 60'
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APPROVED BY: CHM

C206



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**CITY OF FRUITLAND PARK
STAFF REPORT BY LPG URBAN & REGIONAL PLANNERS, INC.**

PRELIMINARY PLAT

Owner: Daryl Carter, as Trustee of Lake Ella Road Land Trust

Applicant: ResiBuilt Homes, LLC

General Location: South of Lake Ella Road & East of Rolling Acres Road

Number of Acres: 159.49 ± acres

Existing Zoning: Planned Unit Development (PUD)

Existing Land Use: Multi-Family Low Density (8 units/acre)

Proposed Zoning: PUD Amendment

Date: March 20th, 2023

Description of Project

The applicant is seeking preliminary plan approval of the proposed subdivision consisting of 603 dwelling units of single family and attached single family.

	Surrounding Zoning	Surrounding Land Use
North	Lake County Agriculture (Ag). R-3	Lake County Urban Low (4 units/acre)
South	Lake County Ag & R-3	Lake County Urban Low
East	City PUD & Lake County R-1 & Ag	City MFLD and Lake County Urban Medium (7 units/acre)
West	Lake County Ag	Rural (1 unit/5 acres)

Recommendation

The applicant has addressed all outstanding planning comments. Staff recommends approval subject to engineering and Lake County Public Works approval.



VIA EMAIL swilliams@fruitlandpark.org

March 20, 2023

Sharon Williams
Administrative Assistant
City of Fruitland Park
506 W. Berckman St.
Fruitland Park, FL 34731

RE: Rolling Acres at Lake Ella Preliminary Plan Review #4 (Halff AVO 043866.087)

Dear Ms. Williams:

Per your email request dated March 14th, 2023, I have reviewed the documents which were included in the drop box for the above referenced project. Based on my review, I believe all comments have been satisfied.

Should you have any questions, please feel free to contact our office at 352-343-8481.

Sincerely,
HALFF

A handwritten signature in blue ink, appearing to be "BT", written over a light blue horizontal line.

Brett Tobias, P.E.
Team Leader
btobias@Halff.com

BT:eb