



**506 WEST BERCKMAN STREET
FRUITLAND PARK, FL 34731**

**PHONE: 352 360-6727
FAX: 352 360-6652**

TRC COFP Members:

City Manager Gary La Venia, Chairman
Police Chief Eric Luce, Vice Chair
City Attorney
Building Official
Community Development Director
Code Enforcement Officer
Engineer - Halff
Fire Chief
Fire Inspector
Land Planner LPG
Public Works Director

TRC Members:

City of Leesburg Utilities
Lake County School Board
Lake County Public Works Department
Lake County Economic Development

**AGENDA
TECHNICAL REVIEW COMMITTEE (TRC)
January 3, 2023
10:00AM**

- I. MEETING START TIME:**
- II. MEMBERS PRESENT:**
- III. MEETING NOTES FROM PREVIOUS MEETING:** Meeting minutes from December 6, 2022 included for review/comment.
- IV. OLD BUSINESS: NONE**

NEW BUSINESS:

- A. Arbor Park Phase 2 & 3 – Preliminary Plan/Plat (Alternate Key2: 1289874, 1289904, 1430411, 1639808, 3540468, 3691334, 3900702)**

A preliminary plat for Phase II and Phase III of Arbor Park, formerly known as Leesburg Fruit Company, Inc. Planned Unit Development, a 177 ± acre mixed use planned unit development located south of Urick Street and east of C.R. 468. Phase II & Phase III includes approval for 347 single family detached units on 106.95 ± acres. Lot widths range from 50' to 70', The average lot size is listed as 7,000 square feet and the minimum lot size is listed as 6,250 square feet.

Ordinance 2019-003 requires 80% of the lots be 50' wide, 10 percent of the lots to be 60' wide, and the remaining 10 percent to be 70' wide when the community is fully built out. Phase II and Phase III provide lot widths consistent with the intent of the approved PUD.

BOARD MEMBERS' COMMENTS:

PUBLIC COMMENTS:

This section is reserved for members of the public to bring up matters of concern or opportunities for praise. Note: Pursuant to F.S. 286.0114 and the City of Fruitland Park's Public Participation Policy adopted by Resolution 2013-023, members of the public shall be given a reasonable opportunity to be heard on propositions before the Planning and Zoning Board. Pursuant to Resolution 2013-023, public comments are limited to three minutes.

ADJOURNMENT:



**506 WEST BERCKMAN STREET
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Building Official
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Fire Chief
Fire Inspector
Land Planner LPG
Public Works Director

TRC Members:

City of Leesburg Utilities
Lake County School Board
Lake County Public Works Department
Lake County Economic Development

**MINUTES
TECHNICAL REVIEW COMMITTEE
DECEMBER 6, 2022
10:00AM**

- I. MEETING START TIME: 10:00AM**
- II. MEMBERS PRESENT:** Gary La Venia (City Manager), Anita Geraci-Carver (City Attorney), Michael Rankin (LPG), Hugo Cabrera (Halff), Robb Dicus (Public Works Director), Danny Bass (Building Official), Chuck Hiott (Halff), Angel Rivera (A&B Engineering)
- III. MEETING NOTES FROM PREVIOUS MEETING:** Meeting minutes from November 1, 2022 included for review/comment.
- IV. OLD BUSINESS: NONE**

NEW BUSINESS:

A. Park Square Fruitland Park – Annexation, Rezoning & Small Scale Comp Plan Amendment (SSCPA) - Alternate Keys: 1289691

Application for Annexation, Rezoning and SSCPA submitted by applicant, Vishaal Gupta, on behalf of the owner Kimaya, LLC. The subject site is approximately 19.10 ± acres, located adjacent to the city limits along the northern and western property boundaries, and is within the city's utility service area. The property is eligible for voluntary annexation and would be considered infill development.

The property is currently zoned Agriculture in Lake County. The applicant is proposing a zoning designation to R-15, multi-family high density, along with a small-scale comprehensive plan amendment conducive to the proposed zoning. The proposed zoning is compatible with the adjacent lands. The property to the North is zoned R-15 and to the west the property is zoned MUPUD (6 units/acre). The property to the South is City of Leesburg (appears to be City of Leesburg right of way), and to the east the property is zoned C-3.

Michael Rankin introduced the project. City Manager is not confident that City Commission will annex projects with 15 units/acre max density; a lower density is more likely (such as 8 or 10 – or lower - dwelling units/acre). City Manager will seek Commission comments during next meeting scheduled on December 8th. Chuck Hiott stated that his client desires ‘straight zoning’ as opposed to a Planned Development. City Attorney advised that the client should decide on the density first before coming to the City Commission; if the density is denied, applicant will have to start the application process over. City Attorney recommended the process of annexation and setting a future land use designation; then rezone at a later date. City Attorney suggested correcting their application for the zoning designation change. The City Manager and Mr. Rankin stated that City Commission will look for strict design standards and amenities. Chuck inquired if December 15th P&Z meeting possible. City Attorney responded ‘no’ that it would have to go through to January for P&Z and January-February for City Commission.

Hiott conferred with his client and stated 450 units total required to make the project feasible. They would consider connecting the 20 acres they want to annex with another parcel of 17 acres for a total of 37 acres and a density of 12.7 units per acre. Hiott suggested R-15 zoning but set a conditional maximum at that 12.7 units per acre, if amenable to the city. There were no other comments.

B. Crystal Lake Vista – Preliminary Plan/Plat (Alternate Key: 1288606)

A preliminary plat to request to develop the subject site into 65 single family lots with a minimum living area of 1,200 square feet and with sanitary sewer and central water. The proposed density is 2.71 dwelling units per acre. The property is approximately 24.83 ± acres.

The subject site consists of 24.83 +/- acres currently zoned PUD (Planned Unit Development). A preliminary plat review seeking approval is requested to develop the subject site into a 65 single-family lot subdivision with sanitary sewer and central water.

City Attorney advised Angel Rivera that they need to resolve the issue regarding the private easement before the preliminary plat could move forward. Rivera asked if they could have conditional approval or at the developer’s risk move forward without dealing with the easement so it won’t hold up their project. The private easement is at the sloped part of their planned retention pond which could shift their layout if it was not approved. City Attorney stated they would need an updated boundary survey showing the resolution of the easement and the lift station tract on their preliminary plat application.

BOARD MEMBERS’ COMMENTS: None

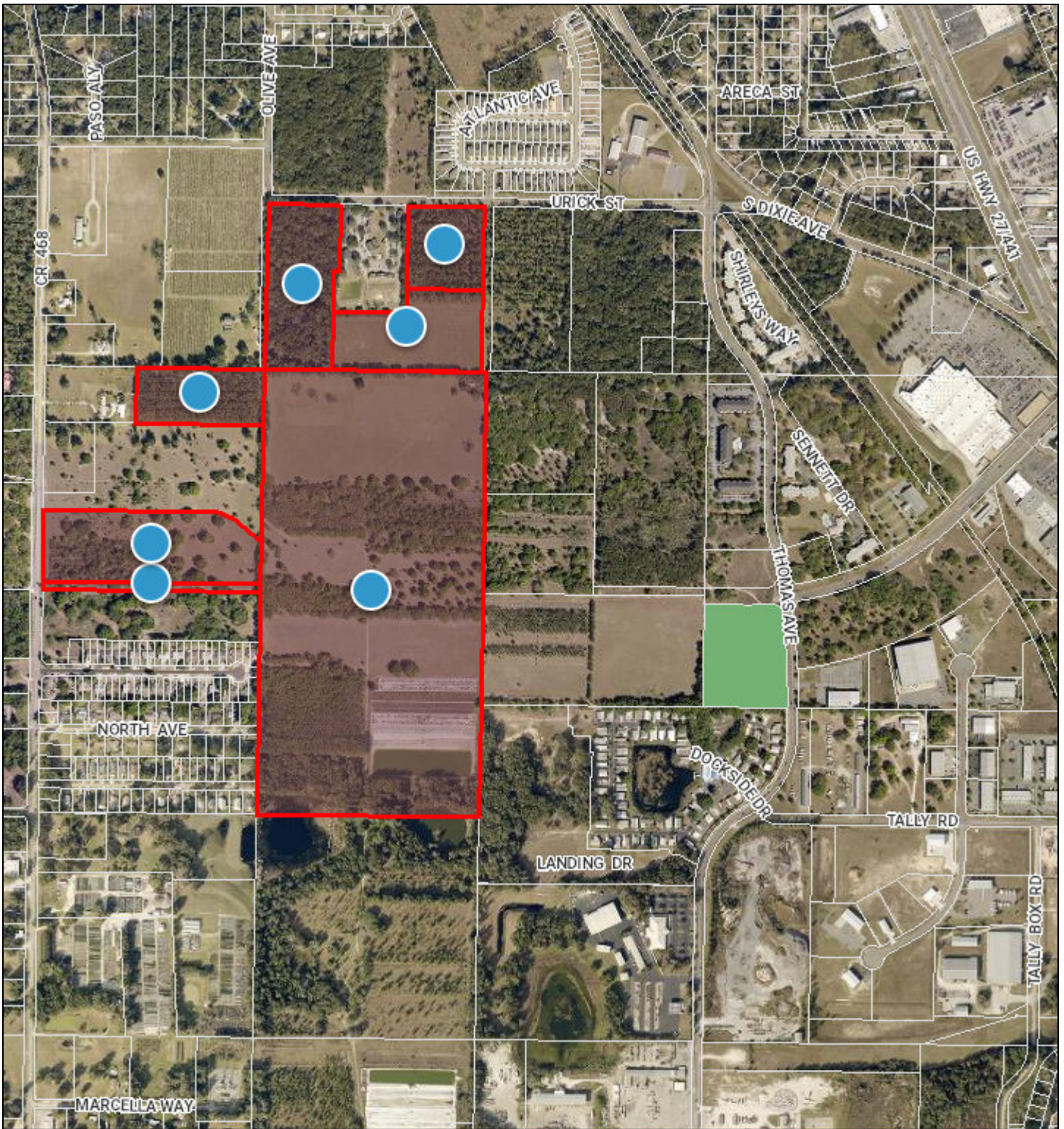
December 6, 2022

PUBLIC COMMENTS:

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ADJOURNMENT: 10:50AM

Arbor Park Phase 2 & 3



September 30, 2022

1:10,000


pointLayer

 Override 1


polygonLayer

 Override 1

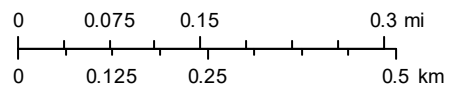
 County Boundary

 Surrounding Counties

 Street Names

 Tax Parcels

 County Owned Property



Lake County Property Appraiser
Lake BCC

PRELIMINARY PLAT

FOR

ARBOR PARK - PHASE 2 & 3

SECTION 16, TOWNSHIP 19 S, RANGE 24 E & SECTION 9, TOWNSHIP 19 S, RANGE 24 E CITY OF FRUITLAND PARK LAKE COUNTY, FLORIDA

OVERALL PROJECT LEGAL DESCRIPTION:

THE NORTH 726 FEET OF THE WEST HALF (W 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND:

THE SOUTH 594 FEET OF THE W 1/2 OF NE 1/4 OF NE 1/4 SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND:

THE EAST 756 FEET OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND:

THE SOUTH 50 FEET OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS RIGHT OF WAY FOR MONTCLAIR ROAD, ALSO KNOWN AS COUNTY ROAD 468.

AND:

THAT PORTION OF BLOCK 46 IN THE TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, DESCRIBED AS: BEGIN AT THE SOUTHWEST CORNER OF BLOCK 46 (S 1/4 OF SECTION 9, TOWNSHIP 19 S, RANGE 24 EAST, LAKE COUNTY, FLORIDA); RUN THENCE SOUTH 89° 48' 00" EAST ALONG THE SOUTH LINE OF BLOCK 46 FOR 400 FEET; RUN THENCE NORTH 00° 26' 10" EAST FOR 396.36 FEET; RUN THENCE NORTH 89° 33' 50" EAST FOR 36 FEET; RUN THENCE NORTH 00° 26' 10" EAST FOR 396.36 FEET TO THE NORTH LINE OF SAID BLOCK 46; RUN THENCE NORTH 89° 29' 50" WEST ALONG NORTH LINE OF SAID BLOCK 46 FOR 433.48 FEET TO THE NORTHWEST CORNER OF SAID BLOCK 46; RUN THENCE SOUTH 00° 35' 00" EAST ALONG WEST LINE OF SAID BLOCK 46 FOR 980.70 FEET TO THE POINT OF BEGINNING.

AND:

A PORTION OF LOTS 1, 2 AND 3, BLOCK 46, TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FROM THE SOUTHWEST CORNER OF BLOCK 46, RUN EAST 400 FEET TO POINT OF BEGINNING; NORTH 582.55 FEET, EAST 36 FEET, NORTH 396.36 FEET TO NORTH LINE OF BLOCK 46, EAST TO NORTHEAST CORNER OF BLOCK 46, SOUTH TO SOUTHEAST CORNER BLOCK 46, WEST TO POINT OF BEGINNING, SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

LESS AND EXCEPT: COMMENCE AT THE SOUTHWEST CORNER OF AFORESAID BLOCK 46 (ALSO BEING THE SOUTH 1/4 CORNER OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST); THENCE SOUTH 89° 43' 16" EAST, ALONG THE SOUTH LINE OF BLOCK 46, A DISTANCE OF 400.00 FEET; THENCE NORTH 00° 26' 56" EAST, 342.53 FEET, FOR THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE NORTH 00° 26' 56" EAST, 239.91 FEET; THENCE SOUTH 89° 33' 50" EAST, 36.00 FEET; THENCE NORTH 00° 25' 26" EAST 396.16 FEET, TO THE SOUTH LINE OF URICK STREET (A 50 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89° 30' 00" EAST, 400.00 FEET; THENCE SOUTH 00° 26' 10" WEST, 629.00 FEET THENCE SOUTH 89° 33' 50" WEST, 436.00 FEET, TO THE POINT OF BEGINNING.

AND:

W 1/2 OF NE 1/4, N 1/2 OF SE 1/4 OF NE 1/4, SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND:

THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 50 FEET THEREOF AND LESS COUNTY ROAD RIGHT OF WAY.

LESS AND EXCEPT:

THAT PORTION OF THE SOUTH 3/4 OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN INTERSECTION WITH THE EAST RIGHT OF WAY LINE OF COUNTY ROAD 468 AS SHOWN ON MAP BOOK 6, PAGE 150, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND THE NORTH LINE OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, RUN S 89° 15' 48" E, ALONG SAID NORTH LINE, A DISTANCE OF 300.00 FEET; THENCE LEAVING SAID NORTH LINE RUN S 00° 51' 09" W, A DISTANCE OF 420.52 FEET; THENCE N 89° 25' 43" W, A DISTANCE OF 300.00 FEET, TO THE SAID EAST RIGHT OF WAY LINE OF COUNTY ROAD 468; THENCE N 00° 51' 09" E, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 421.39 FEET TO THE POINT OF BEGINNING.

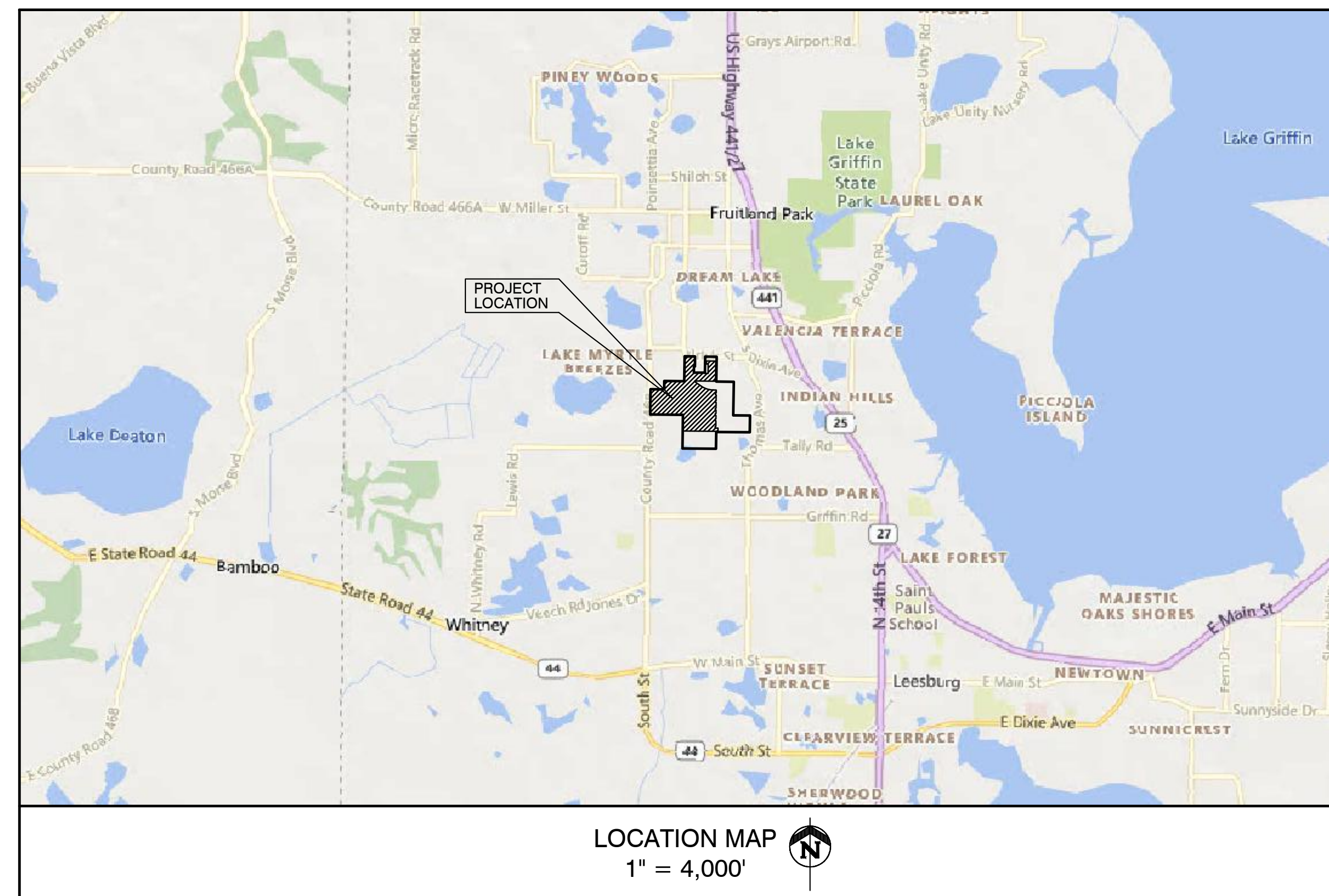
ALSO LESS AND EXCEPT:

THAT PORTION OF THE SOUTH 3/4 OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

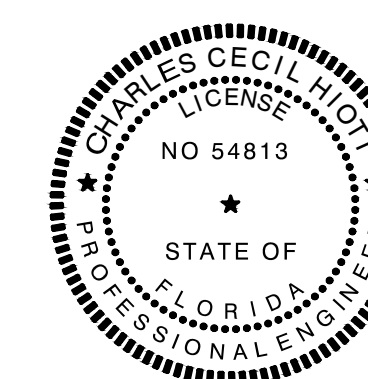
COMMENCING AT AN INTERSECTION WITH THE EAST RIGHT OF WAY LINE OF COUNTY ROAD 468 AS SHOWN ON MAP BOOK 6, PAGE 150, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND THE NORTH LINE OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, RUN S 00° 51' 09" W, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 521.39 FEET TO THE POINT OF BEGINNING; THENCE LEAVING SAID EAST RIGHT OF WAY LINE RUN S 89° 25' 43" E, A DISTANCE OF 988.71 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 200.00 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 38° 11' 51" AN ARC DISTANCE OF 133.33 FEET TO THE POINT A TANGENCY; THENCE S 51° 13' 51" E, A DISTANCE OF 211.21 FEET TO THE EAST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16; THENCE S 00° 58' 09" W, ALONG SAID EAST LINE, A DISTANCE OF 249.11 FEET, TO THE SOUTHEAST CORNER OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999; THENCE LEAVING SAID EAST LINE RUN N 89° 22' 43" W, ALONG THE SOUTH LINE OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999, A DISTANCE OF 1288.71 FEET TO AN INTERSECTION WITH THE SAID EAST RIGHT OF WAY LINE OF COUNTY ROAD 468; THENCE N 00° 51' 09" E, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 421.42 FEET TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPT:

THE SOUTH 50 FEET OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS RIGHT OF WAY FOR MONTCLAIR ROAD, ALSO KNOWN AS COUNTY ROAD 468.



SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C-000	COVER
--	BOUNDARY SURVEY - SHEET 1
--	BOUNDARY SURVEY - SHEET 2
--	BOUNDARY SURVEY - SHEET 3
--	BOUNDARY SURVEY - SHEET 4
--	BOUNDARY SURVEY - SHEET 5
C-001	MASTER PLAN
C-002	VICINITY MAP
C-100	PRE-PLAT
C-101	PRE-PLAT
C-102	PRE-PLAT
C-103	PRE-PLAT
C-104	PRE-PLAT
C-105	PRE-PLAT
C-200	GRADING AND DRAINAGE PLAN
C-201	GRADING AND DRAINAGE PLAN
C-202	GRADING AND DRAINAGE PLAN
C-203	GRADING AND DRAINAGE PLAN
C-300	UTILITIES PLAN
C-301	UTILITIES PLAN
C-302	UTILITIES PLAN
C-303	UTILITIES PLAN
C-500	SIGNAGE & STRIPING PLAN
C-501	SIGNAGE & STRIPING PLAN
C-502	SIGNAGE & STRIPING PLAN
C-503	SIGNAGE & STRIPING PLAN
C-504	SIGNAGE & STRIPING PLAN



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY CHARLES CECIL HIOTT ON 10/14/2022 USING A DIGITAL SIGNATURE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

OWNER/DEVELOPER:

PARK SQUARE ENTERPRISES, LLC
5200 VINELAND ROAD, SUITE 200
ORLANDO, FL 32811
DANIEL ARNETTE

ENGINEER/PLANNER:

HALFF ASSOCIATES, INC.
902 NORTH SINCLAIR AVENUE
TAVARES, FL 32778
(352) 343-8481
CHARLES C. HIOTT, PE

GEOTECHNICAL:

NV5
201 SOUTH BUMBY AVENUE
ORLANDO, FL 3803
(407) 896-3317
MOHAMED ALLOWAIMI, PH.D., PE

SURVEYOR:

HALFF ASSOCIATES, INC.
902 NORTH SINCLAIR AVENUE
TAVARES, FL 32778
(352) 343-8481
JOHN T. MCGLOHORN, PSM



BOUNDARY SURVEY

SCHEDULE B-2 (TITLE EXCEPTIONS)

4. TERM AND CONDITIONS OF THE MASTER DEVELOPMENT AGREEMENT AS CONTAINED IN ORDINANCE 2019-003 RECORDED IN OFFICIAL RECORDS BOOK 5357, PAGE 705, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
(AFFECTS BUT NOT PLOTTABLE) (AMENDS THE ZONING MAP OF THE CITY OF FRUITLAND PARK AND CREATES A MIXED USE PUD)

ACREAGE TABLE

TOTAL PARCEL AREA (PER DESCRIPTIONS).....	160.34± ACRES
LESS WETLANDS (FLAGGED).....	1.93± ACRES
TOTAL LAND AREA.....	158.41± ACRES

LEGEND

ABBREVIATIONS:

ACAD	AUTOCAD	ICV	IRRIGATION CONTROL VALVE
AC	AIR CONDITIONER PAD	JR	JUNCTION
AKA	ALSO KNOWN AS	L	LENGTH
ALT	ALTERNATE	LAT	LATITUDE
ASPH.	ASPHALT	LONG	LONGITUDE
AVE.	AVENUE	LB	LICENSED BUSINESS
B/C	BACK OF CURB	LS	LICENSED SURVEYOR
BP	BEGIN PROJECT	(M)	MEASURED
BFP	BACKFLOW PREVENTER	N/D	NAIL & DISK
B/W	BARBED WIRE	N.T.S.	NOT TO SCALE
(C)	CALCULATED	ORB	OFFICIAL RECORDS BOOK
CCR	CERTIFIED CORNER RECORD	O.P.U.S.	ONLINE POSITIONING USER SERVICE
CLF	CHAIN LINK FENCE	PAGE(S)	PAGE(S)
CB	CHORD BEARING	(P)	PLAT
CH	CHORD DISTANCE	PB	PLAT BOOK
CONC.	CONCRETE	POB	POINT OF BEGINNING
C/B	CONCRETE BLOCK	POC	POINT OF COMMENCEMENT
CM	CONCRETE MONUMENT	PI	POINT OF INTERSECTION
CMP	CORRUGATED METAL PIPE	PC	POINT OF CURVATURE
C.R.	COUNTY ROAD	PCC	POINT OF COMPOUND CURVE
DB	DEED BOOK	PRC	POINT OF REVERSE CURVE
Δ	DELTA OR CENTRAL ANGLE	PRM	PERMANENT REFERENCE MONUMENT
(D)	DESCRIBED	PT	POINT OF TANGENCY
DR	DOCTOR	FSM	PROFESSIONAL SURVEYOR AND MAPPER
EOP	EDGE OF PAVEMENT	PVC	POLYVINYLCHLORIDE
EP	END PROJECT	R	RADIUS
FC	FENCE CORNER	RCP	REINFORCED CONCRETE PIPE
FOUND	FOUND	RR	RAILROAD
FFE	FINISHED FLOOR ELEVATION	RLS	REGISTERED LAND SURVEYOR
FLD	FIELD	ROW	RIGHT OF WAY
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	R/W	RIGHT OF WAY
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY	SB2	SCHEDULE B 2 ITEM
FIRM	FLOOD INSURANCE RATE MAP	SEC	SECTION
ID	IDENTIFICATION	SO. FT.	SQUARE FEET
INV.	INVERT	S.R.	STATE ROAD
IP	IRON PIPE	STA	STATION
IR	IRON ROD	(TYP.)	TYPICAL
IRC	IRON ROD & CAP	W	WITH

SYMBOLS:

	AIR RELEASE VALVE		MONITORING WELL
	BOLLARD		UTILITY POLE
	CATCH BASIN (INLET)		UTILITY POLE WITH LIGHT
	CATEGORY 5 CABLE JUNCTION		FOUND IRON ROD (AS NOTED)
	CENTERLINE		FOUND NAIL AND DISC (AS NOTED)
	CLEAN OUT		RECLAIM WATER VALVE
	CONCRETE POWER POLE		REUSE WATER METER
	ELECTRIC JUNCTION BOX		REUSE WATER VALVE
	ELECTRIC METER		SEWER MANHOLE
	ELECTRIC MARKER		SEWER VALVE
	FIRE HYDRANT		SET 5/8" IRON ROD & CAP (LB 8348) OR AS NOTED
	FLAG POLE		SET 4" X 4" CM (LB 8348) OR AS NOTED
	FIBER OPTIC BOX		SIGN
	FIBER OPTIC MARKER		SPRINKLER
	FOUND CONCRETE MONUMENT (AS NOTED)		STORM MANHOLE
	GAS METER		TELEPHONE JUNCTION BOX
	GAS MARKER (UNDERGROUND)		TREE TYPE AND SIZE (AT BREAST HEIGHT)
	GAS VALVE		TRANSMISSION POWER POLE
	GROUND LIGHT		WATER METER
	GUY WIRE		WATER VALVE
	LIGHT POLE		WATER MARKER
	MAILBOX		WELL

LINETYPES:

	CABLE TV UNDERGROUND		STORM DRAIN LINE
	OVERHEAD UTILITY LINE		TELEPHONE UNDERGROUND
	ELECTRIC UNDERGROUND		WATER LINE
	FIBER OPTIC UNDERGROUND		TOE OF SLOPE
	GAS LINE UNDERGROUND		TOP OF BANK
	SANITARY SEWER LINE (SSL)		RECLAIM WATER
	TRAFFIC SIGNAL WIRES		FENCE LINE (TYPE AS NOTED)

DESCRIPTIONS: (SCHEDULE A - EXHIBIT 'A')

THE NORTH 726 FEET OF THE WEST HALF (W 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND:

THE SOUTH 594 FEET OF THE W 1/2 OF NE 1/4 OF NE 1/4 SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND:

THE EAST 756 FEET OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND:

THE SOUTH 50 FEET OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS RIGHT OF WAY FOR MONTCLAIR ROAD, ALSO KNOWN AS COUNTY ROAD 468.

AND:

THAT PORTION OF BLOCK 46 IN THE TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, DESCRIBED AS: BEGIN AT THE SOUTHWEST CORNER OF BLOCK 46 (S 1/4 OF SECTION 9, TOWNSHIP 19 S., RANGE 24 EAST, LAKE COUNTY, FLORIDA); RUN THENCE SOUTH 89° 46' 00" EAST ALONG THE SOUTH LINE OF BLOCK 46 FOR 400 FEET; RUN THENCE NORTH 00° 26' 10" EAST FOR 982.55 FEET; RUN THENCE NORTH 89° 33' 50" EAST FOR 36 FEET; RUN THENCE NORTH 00° 26' 10" EAST FOR 396.36 FEET TO THE NORTH LINE OF SAID BLOCK 46; RUN THENCE NORTH 89° 29' 50" WEST ALONG NORTH LINE OF SAID BLOCK 46 FOR 433.48 FEET TO THE NORTHWEST CORNER OF SAID BLOCK 46; RUN THENCE SOUTH 00° 35' 00" EAST ALONG WEST LINE OF SAID BLOCK 46 FOR 980.70 FEET TO THE POINT OF BEGINNING.

AND:

A PORTION OF LOTS 1, 2 AND 3, BLOCK 46, TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FROM THE SOUTHWEST CORNER OF BLOCK 46, RUN EAST 400 FEET TO POINT OF BEGINNING; NORTH 582.55 FEET, EAST 36 FEET, NORTH 396.36 FEET TO NORTH LINE OF BLOCK 46, EAST TO NORTHEAST CORNER OF BLOCK 46, SOUTH TO SOUTHEAST CORNER BLOCK 46, WEST TO POINT OF BEGINNING, SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

LESS AND EXCEPT: COMMENCE AT THE SOUTHWEST CORNER OF AFORESAID BLOCK 46 (ALSO BEING THE SOUTH 1/4 CORNER OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST); THENCE SOUTH 89° 43' 16" EAST, ALONG THE SOUTH LINE OF BLOCK 46, A DISTANCE OF 400.00 FEET; THENCE NORTH 00° 26' 56" EAST, 342.53 FEET, FOR THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE NORTH 00° 26' 56" EAST, 239.91 FEET; THENCE SOUTH 89° 33' 50" EAST, 36.00 FEET; THENCE NORTH 00° 25' 26" EAST 396.16 FEET, TO THE SOUTH LINE OF URICK STREET (A 50 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89° 30' 00" EAST, 400.00 FEET; THENCE SOUTH 00° 26' 10" WEST, 629.00 FEET THENCE SOUTH 89° 33' 50" WEST, 436.00 FEET, TO THE POINT OF BEGINNING.

AND:

W 1/2 OF NE 1/4; N 1/2 OF SE 1/4 OF NE 1/4, SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND:

THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 50 FEET THEREOF AND LESS COUNTY ROAD RIGHT OF WAY.

LESS AND EXCEPT:

THAT PORTION OF THE SOUTH 3/4 OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN INTERSECTION WITH THE EAST RIGHT OF WAY LINE OF COUNTY ROAD 468 AS SHOWN ON MAP BOOK 6, PAGE 150, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND THE NORTH LINE OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, RUN S 89° 15' 46" E, ALONG SAID NORTH LINE, A DISTANCE OF 300.00 FEET; THENCE LEAVING SAID NORTH LINE RUN S 00° 51' 09" W, A DISTANCE OF 420.52 FEET; THENCE N 89° 25' 43" E, A DISTANCE OF 300.00 FEET, TO THE SAID EAST RIGHT OF WAY LINE OF COUNTY ROAD 468; THENCE N 00° 51' 09" E, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 421.39 FEET TO THE POINT OF BEGINNING.

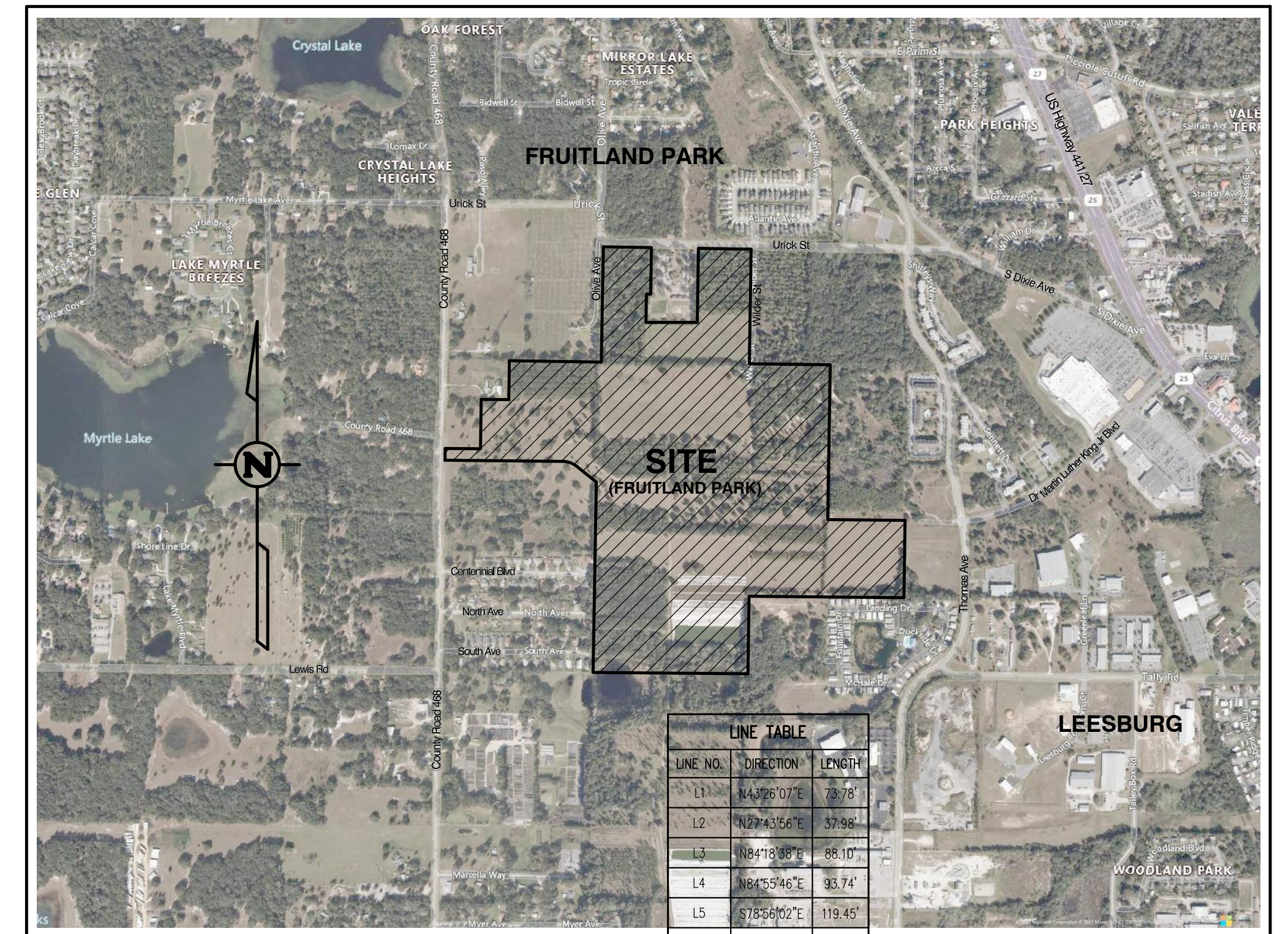
ALSO LESS AND EXCEPT:

THAT PORTION OF THE SOUTH 3/4 OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN INTERSECTION WITH THE EAST RIGHT OF WAY LINE OF COUNTY ROAD 468 AS SHOWN ON MAP BOOK 6, PAGE 150, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND THE NORTH LINE OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, RUN S 00° 51' 09" W, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 521.39 FEET FOR THE POINT OF BEGINNING; THENCE LEAVING SAID EAST RIGHT OF WAY LINE RUN S 89° 25' 43" E, A DISTANCE OF 998.71 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 200.00 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 38° 11' 51" AN ARC DISTANCE OF 133.33 FEET TO THE POINT A TANGENCY; THENCE S 51° 15' 51" E, A DISTANCE OF 211.21 FEET TO THE EAST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16; THENCE S 00° 56' 09" W, ALONG SAID EAST LINE, A DISTANCE OF 249.11 FEET, TO THE SOUTHEAST CORNER OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999; THENCE LEAVING SAID EAST LINE RUN N 89° 22' 43" W, ALONG THE SOUTH LINE OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999, A DISTANCE OF 1288.71 FEET TO AN INTERSECTION WITH THE SAID EAST RIGHT OF WAY LINE OF COUNTY ROAD 468; THENCE N 00° 51' 09" E, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 421.42 FEET TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPT:

THE SOUTH 50 FEET OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS RIGHT OF WAY FOR MONTCLAIR ROAD, ALSO KNOWN AS COUNTY ROAD 468.



VICINITY MAP
SCALE: 1" = 1000'

GENERAL NOTES:

- THE SURVEY MAP (AND/OR) REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- CERTIFICATION IS LIMITED TO PARTIES NAMED HEREON.
- THE PURPOSE OF THIS SURVEY IS TO SHOW THE BOUNDARY AND IMPROVEMENTS, IF ANY, FOR THE SUBJECT PARCELS. SURVEY IS TO BE USED FOR FEE SIMPLE SALE OF PROPERTY.
- HORIZONTAL DATUM AND BEARINGS SHOWN HEREON ARE FLORIDA STATE PLANE COORDINATE EAST ZONE (901) BASED ON FLORIDA PERMANENT REFERENCE NETWORK (FPRN) AS MAINTAINED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION, AND IS BASED ON NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (SPS233-2011) AND REFERENCED TO THE NORTH LINE OF THE NORTHEAST 1/4 IN SECTION 16-19-24 AS BEING S 89° 19' 17" E. ALL DISTANCES SHOWN ARE IN UNITED STATES SURVEY FEET.
- THE POSITION OF SAID ADJOINING PROPERTIES IS APPROXIMATE. RECORDING DATA FOR ADJOINING PROPERTIES IS BASED ON INFORMATION PROVIDED BY A SEARCH OF PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
- THIS SURVEY WAS PREPARED WITH THE BENEFIT OF TITLE BY CHICAGO TITLE INSURANCE COMPANY FILE NO. 4040INC, COMMITMENT NO. 9201835, COMMITMENT DATE: 12/11/2021 AT 5:00 PM.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS, RIGHTS OF WAY, OWNERSHIP OR OTHER MATTERS OF RECORD BY THIS FIRM.
- UNDERGROUND IMPROVEMENTS SUCH AS UTILITIES, FOUNDATIONS, ETC. WERE NOT LOCATED, EXCEPT WHAT IS SHOWN HEREON.
- ONLY THOSE UTILITIES SHOWN HEREON THAT WERE VISIBLE AT THE TIME OF THE SURVEY WERE LOCATED, UNLESS OTHERWISE NOTED. NO ATTEMPT WAS MADE TO LOCATE UNDERGROUND UTILITIES. AN ASCE QUALITY A OR B DESIGNATION WILL BE NECESSARY BEFORE ANY ON SITE WORK TAKES PLACE. CONTACT SUNSHINE ONE CALL AT 811 FOR FURTHER INFORMATION.
- LANDS SHOWN HEREON LIE IN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% CHANCE FLOODPLAIN) AND ZONE "A" (AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL FLOOD CHANCE, NO BASE FLOOD ELEVATION DETERMINED) ACCORDING TO FLOOD INSURANCE RATE MAP: 12069C0306E, 12069C0308 AND 12069C0309, EFFECTIVE DATE: DECEMBER 18, 2012.
- THIS SURVEY HAS BEEN PREPARED UNDER THE DIRECTION AND SUPERVISION OF THE UNDERSIGNED BELOW IN ACCORDANCE WITH THE ADOPTED "STANDARDS OF PRACTICE" FOR LAND SURVEYING AS REQUIRED BY CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATE STATUTES.
- WATER BOUNDARY IS SUBJECT TO CHANGE DUE TO NATURAL CAUSES AND MAY OR MAY NOT REPRESENT ACTUAL LOCATION OF THE LIMIT OF TITLE.
- THE BOUNDARY BETWEEN SOVEREIGN (STATE) OWNERSHIP AND PRIVATE UPLAND OWNERSHIP IS THE ORDINARY HIGH WATER LINE. THE ORDINARY HIGH WATER LINE WAS NOT DETERMINED OR LOCATED BY THIS COMPANY.
- THE DIGITAL DRAWING COMPRISING THIS SURVEY WAS PREPARED WITH AUTOCAD CIVIL 3D 2019.
- SYMBOLS SHOWN HEREON ARE NOT TO SCALE AND ARE FOR INFORMATIONAL PURPOSES ONLY.
- DATE OF FIELD WORK IS REFLECTED IN TITLE BLOCK, NOT THE DATE OF SIGNATURE.
- THIS COMPANY ACCEPTS NO RESPONSIBILITY FOR THE MARKETABLE STATUS OF THIS PROPERTY. THIS PROPERTY IS SUBJECT TO ANY AND/OR ALL CITY, COUNTY, STATE AND FEDERAL PLANNING AND ZONING REGULATIONS.
- OWNERSHIP OF FENCES SHOWN HEREON, IF ANY, WAS NOT DETERMINED BY THIS SURVEY. SAID FENCES WERE LOCATED ONLY WHERE DIMENSIONED AND MAY NOT RUN STRAIGHT.
- THIS SURVEY WAS ORDERED BY CHUCK CAVARETTA, PARK SQUARE HOMES, 5200 VINELAND ROAD, SUITE 200, ORLANDO, FLORIDA.
- THIS SURVEY CONTAINS 5 SHEETS AND IS NOT CONSIDERED FULL AND COMPLETE WITHOUT ALL SHEETS.
- WETLANDS SHOWN HEREON WERE FLAGGED BY AUSTIN ENVIRONMENTAL CONSULTANTS, INC. AND ARE SUBJECT TO GOVERNMENTAL REVIEW.

CERTIFIED TO:

PARK SQUARE ENTERPRISES, LLC
 FLORIDA TITLE AND ABSTRACT, INC.
 CHICAGO TITLE INSURANCE COMPANY
 KRDK INVESTMENTS I, LLC
 LEESBURG FRUIT COMPANY, INC.
 MELVIN BURNESS, P.A.
 LOWMEDES, DROSODICK, DOSTER-KANTOR & REED, P.A.

JOHN T. MCGLOHORN, PROFESSIONAL SURVEYOR & MAPPER
 FLORIDA REGISTRATION NO. 6023

SHEET 1 OF 5

CLIENT	Chuck Cavaretta, Park Square Homes
JOB NO.	211003.0000/AVO 045117.001, PH 2900
ACAD FILE	21103 Park Sq Homes Bndy REV2
DATE	9/9/2022 CHECKED BY: JTM
DRAWN BY	SMB FLD BOOK: 0-19-24/II
REVISIONS	DATE
REVISED DESCRIPTIONS AND GEOMETRY PAGES	12/22/2021
AND ADDED ADDITIONAL NOTES	
ADDED WETLANDS	09/16/2022

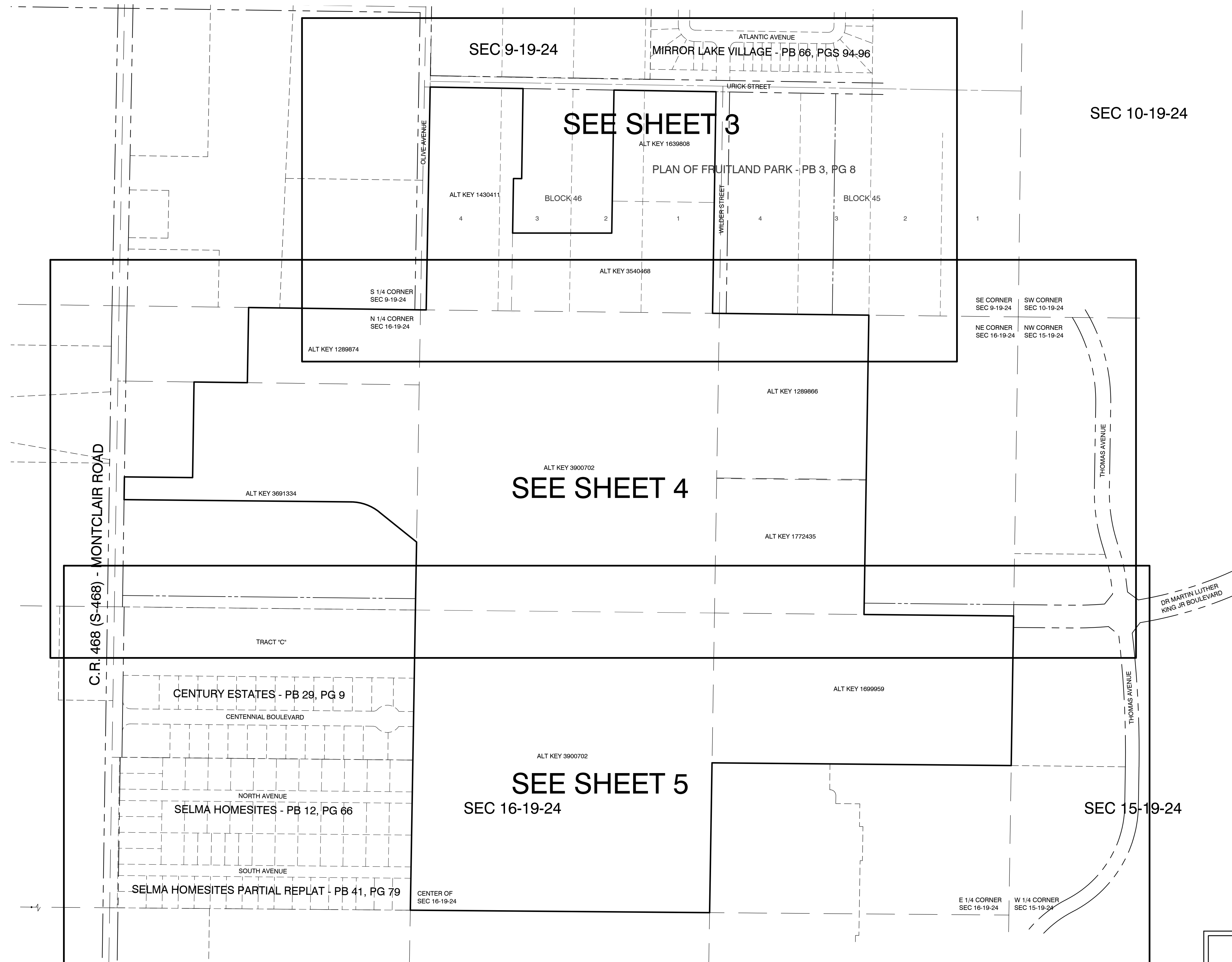
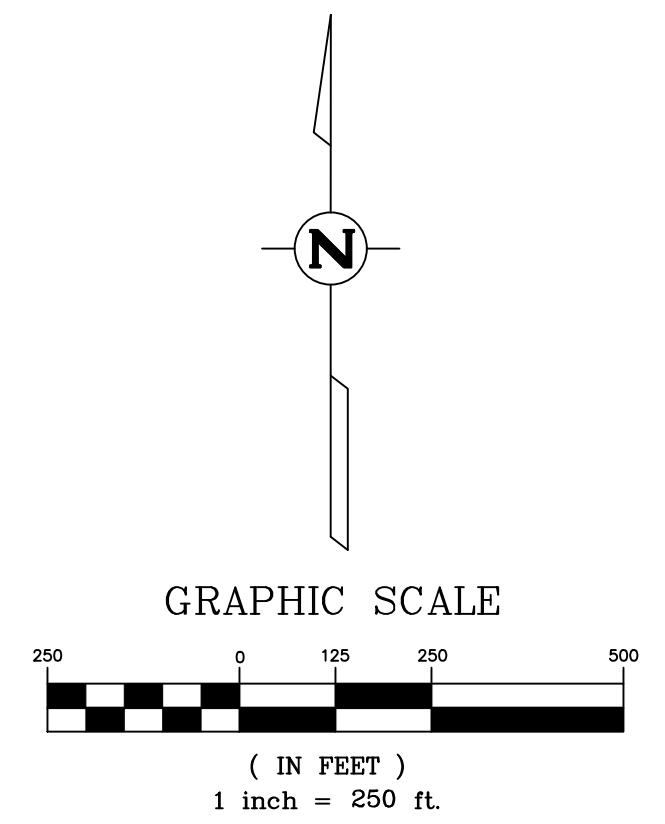
BOUNDARY SURVEY

SECTIONS 9 & 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST
LAKE COUNTY, FLORIDA.

ALTERNATE KEYS 1289866, 1289874, 1430411
 1639808, 1699959, 1772435, 3540468,
 3691334 AND 3900702, FRUITLAND PARK, FL



BOUNDARY SURVEY

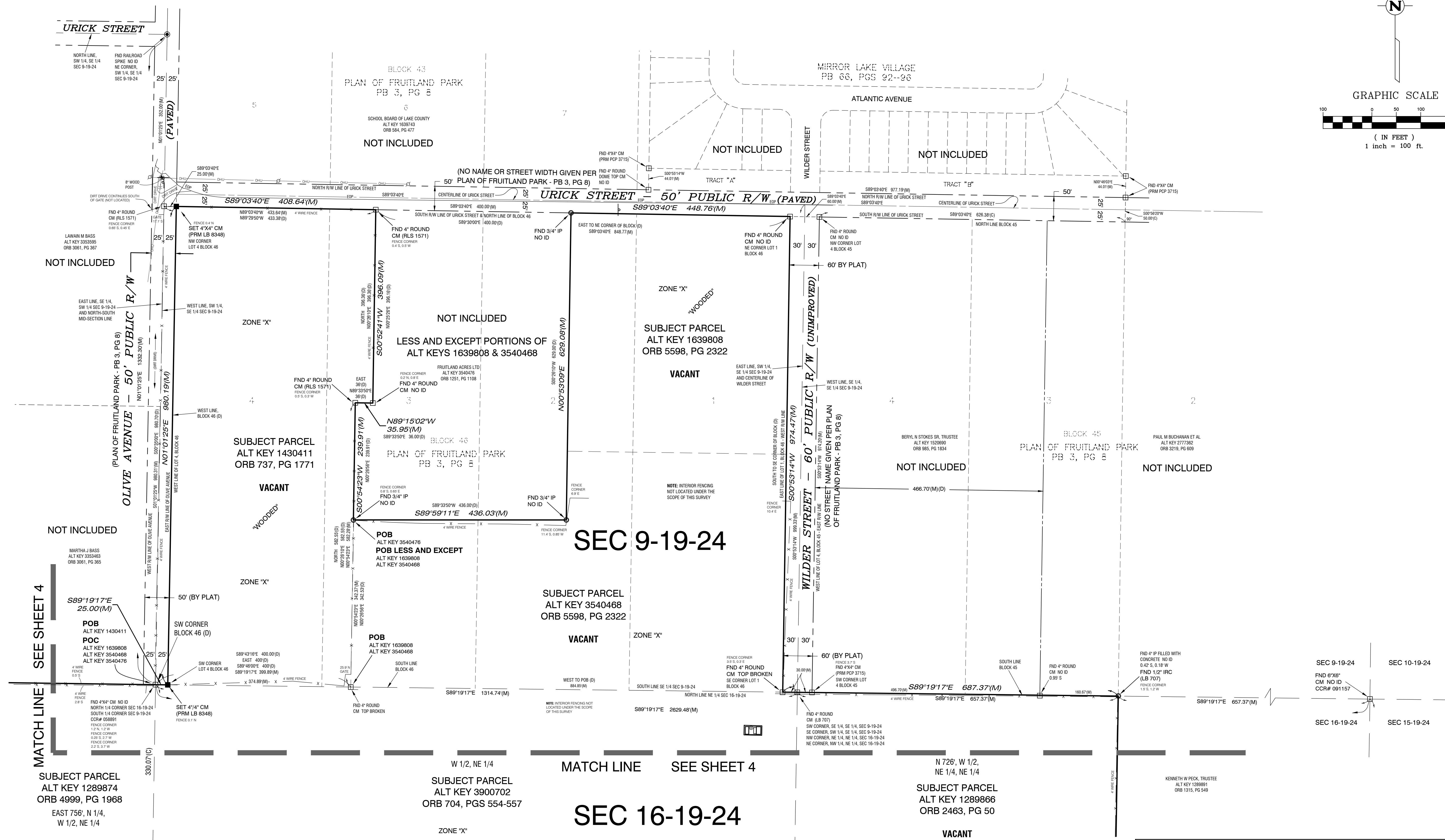
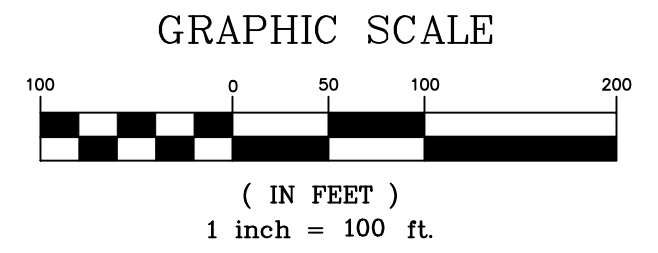
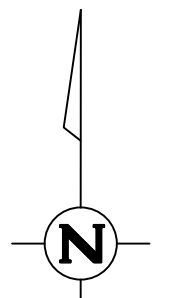


KEY MAP

SHEET 2 OF 5		BOUNDARY SURVEY	
		SECTIONS 9 & 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST LAKE COUNTY, FLORIDA.	
CLIENT: Chuck Cavaretta, Park Square Homes		ALTERNATE KEYS 1289866, 1289874, 1430411 1639808, 1699959, 1772435, 3540468, 3691334 AND 3900702, FRUITLAND PARK, FL	
JOB NO: 211003.0000/AVO 045117.001, PH 2800			
ACAD FILE: 21103 Park Sq Homes Bndy REV2			
DATE: 9/9/2022 CHECKED BY: JTM			
DRAWN BY: SMB FLD BOOK: 9-19-24/II			
REVISIONS		DATE	
REVISED DESCRIPTIONS AND GEOMETRY PAGES		12/22/2021	
AND ADDED ADDITIONAL NOTES			
ADDED WETLANDS		09/16/2022	



BOUNDARY SURVEY



MATCH LINE SEE SHEET 4

MATCH LINE SEE SHEET 4

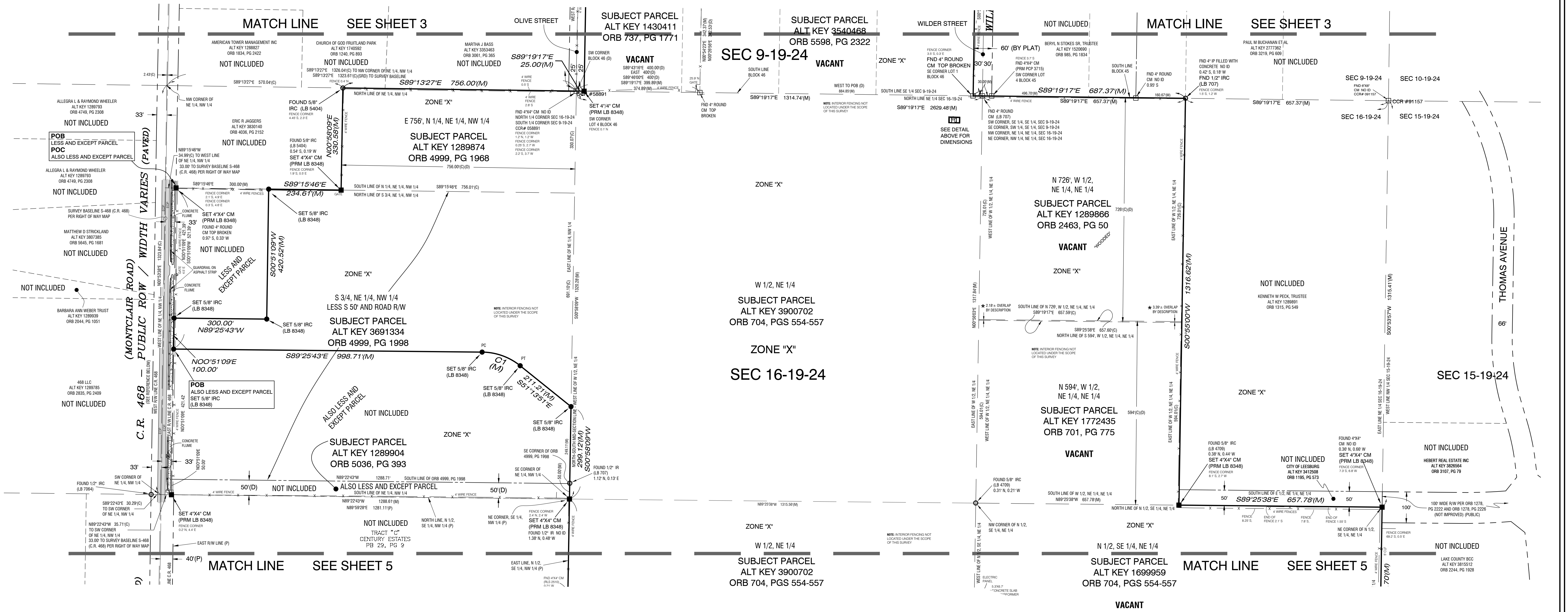
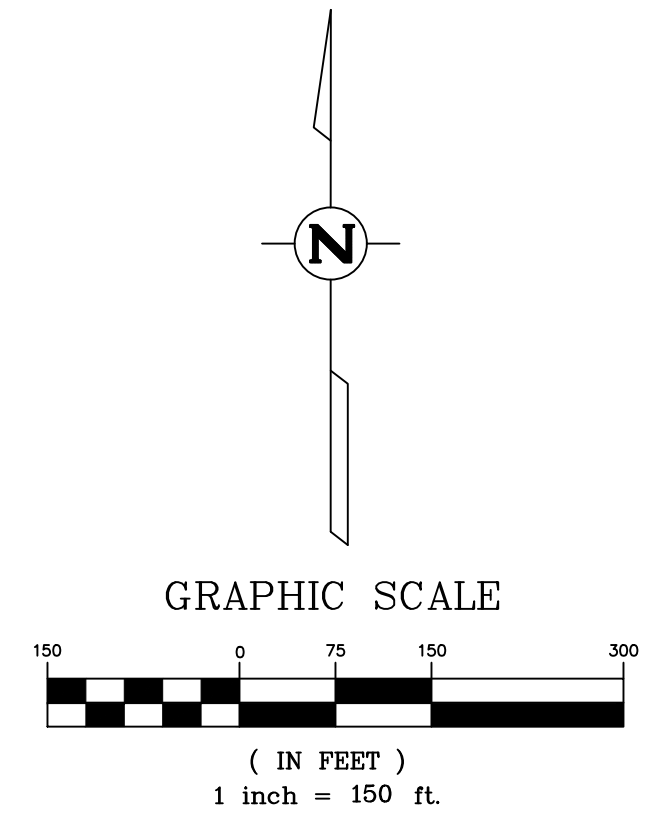
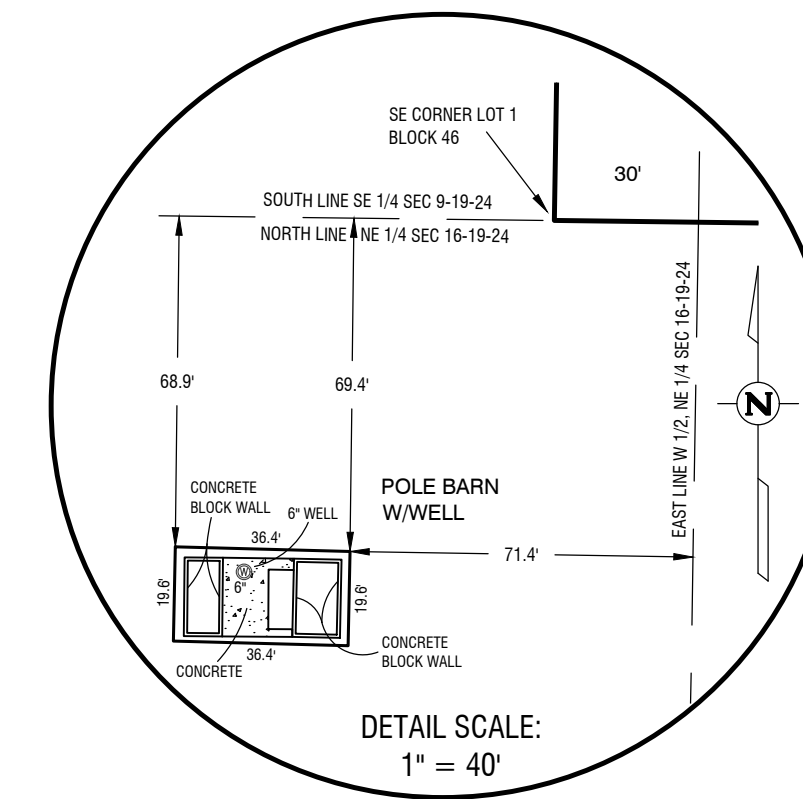
SHEET 3 OF 5		BOUNDARY SURVEY	
CLIENT		Chuck Cavaretta, Park Square Homes	
JOB NO.		211003.0000/AVO 045117.001, PH 2800	
ACAD FILE		21103 Park Sq Homes Brdy REV2	
DATE		9/9/2022	
DRAWN BY		SMB	
CHECKED BY		JTM	
REVISIONS		FLD BOOK: 9-19-24/II	
REVISOR		DATE	
REVISOR DESCRIPTIONS AND GEOMETRY PAGES		12/22/2021	
AND ADDED ADDITIONAL NOTES			
ADDED WETLANDS		09/16/2022	
REVISIONS			
REVISOR		DATE	
REVISOR DESCRIPTIONS AND GEOMETRY PAGES		12/22/2021	
AND ADDED ADDITIONAL NOTES			
ADDED WETLANDS		09/16/2022	
REVISIONS			
REVISOR		DATE	
REVISOR DESCRIPTIONS AND GEOMETRY PAGES		12/22/2021	
AND ADDED ADDITIONAL NOTES			
ADDED WETLANDS		09/16/2022	

SECTIONS 9 & 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST
LAKE COUNTY, FLORIDA.

ALTERNATE KEYS 1289866, 1289874, 1430411
1639808, 1699959, 1772435, 3540468,
3691334 AND 3900702, FRUITLAND PARK, FL



BOUNDARY SURVEY



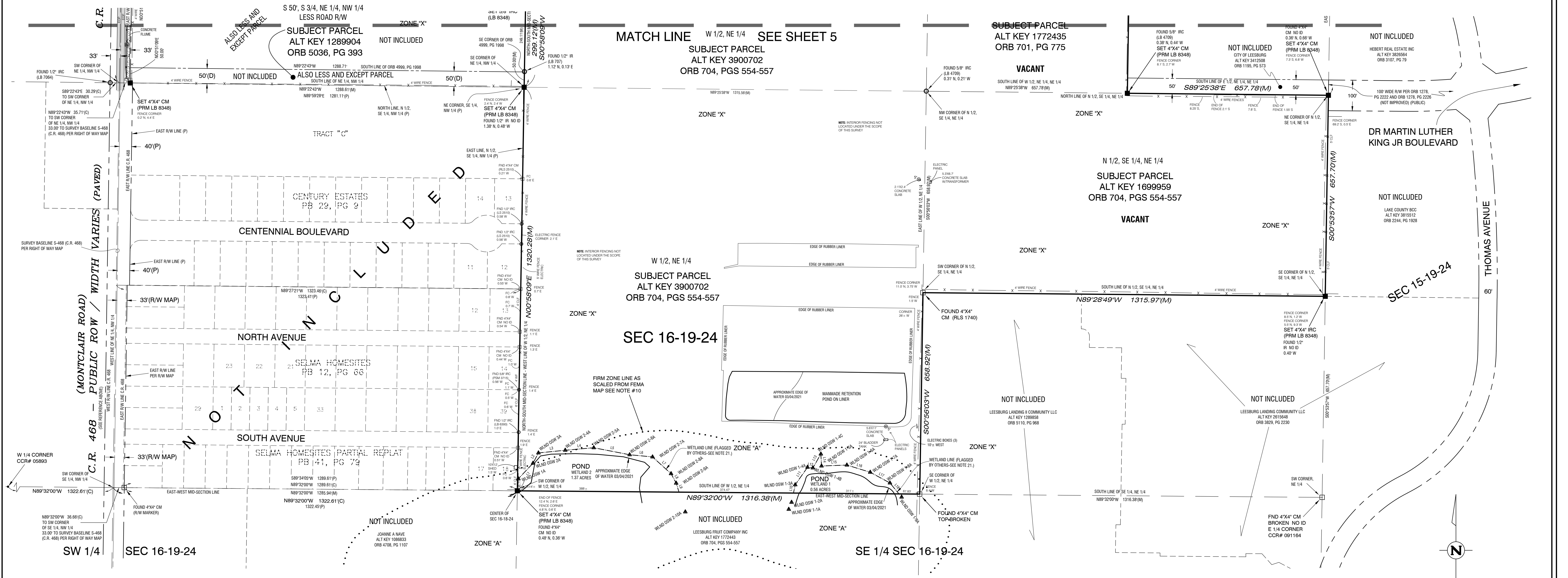
*** NOTE:**
 COUNTY ROAD 468 (S-468) SURVEY BASELINE AND RIGHT OF WAY INFORMATION
 WERE OBTAINED FROM STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF
 WAY MAP OF S-468, SECTION 11650-2150, SHEET 3, DATED 8-25-58.
 MAP BOOK 6, PAGE 150, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

CURVE TABLE					
CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	CHORD BEARING
C1	38°11'51"	200.00'	133.33'	130.88'	S70°19'47"E

SHEET 4 OF 5		BOUNDARY SURVEY SECTIONS 9 & 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST LAKE COUNTY, FLORIDA.	
CLIENT	Chuck Cavaretta, Park Square Homes	ALTERNATE KEYS	1289866, 1289874, 1430411
JOB NO.	211033.0020/AVO 045117.001, PH 2800		
ACAD FILE	211033 Park Sq Homes Bndy REV2		
DATE	9/9/2022	CHECKED BY:	JTM
DRAWN BY:	SMB	FLD. BOOK:	9-19-24/II
REVISIONS		DATE	
REVISED DESCRIPTIONS AND GEOMETRY PAGES		12/22/2021	
AND ADDED ADDITIONAL NOTES			
ADDED WETLANDS		09/16/2022	
HALFF 902 North Sinclair Avenue Tavares, Florida 32778 Office: 352.343.8481 Fax: 352.343.8495 Licensed Business Number: 8349		ALTERNATE KEYS 1289866, 1289874, 1430411 1639808, 1699959, 1772435, 3540468, 3691334 AND 3900702, FRUITLAND PARK, FL	

BOUNDARY SURVEY

*** NOTE:**
 COUNTY ROAD 468 (S-468) SURVEY BASELINE AND RIGHT OF WAY INFORMATION WERE OBTAINED FROM STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP OF S-468, SECTION 11650-2150, SHEET 3, DATED 8-25-58, MAP BOOK 6, PAGE 150, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.



LINE TABLE		
LINE NO.	DIRECTION	LENGTH
L1	N43°26'07"E	73.78'
L2	N27°43'56"E	37.98'
L3	N84°18'38"E	88.10'
L4	N84°55'46"E	93.74'
L5	S78°56'02"E	119.45'
L6	S84°33'23"E	75.37'
L7	S47°51'13"E	81.63'
L8	S28°23'27"E	35.23'
L9	S17°53'38"E	30.83'
L10	N11°47'52"E	27.69'
L11	N35°09'29"E	69.92'
L12	S83°19'31"E	17.55'
L13	N29°56'33"E	52.50'
L14	S37°09'45"E	39.28'
L15	N87°52'43"E	82.99'
L16	S72°53'12"E	79.95'
L17	S61°31'03"E	73.29'
L18	S39°31'45"E	46.56'

SHEET 5 OF 5

CLIENT	Chuck Cavaretta, Park Square Homes
JOB NO.	211003.0000/AVO 045117.001, PH 2800
ACAD FILE	21103 Park Sq Homes Bndy REV2
DATE	9/9/2022
DRAWN BY	SMB
CHECKED BY	JTM
FLD. BOOK	9-19-24/II
REVISIONS	
REVISED DESCRIPTIONS AND GEOMETRY PAGES	12/22/2021
AND ADDED ADDITIONAL NOTES	
ADDED WETLANDS	09/16/2022

BOUNDARY SURVEY

SECTIONS 9 & 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST
LAKE COUNTY, FLORIDA.

ALTERNATE KEYS 1289866, 1289874, 1430411
1639808, 1699959, 1772435, 3540468,
3691334 AND 3900702, FRUITLAND PARK, FL

902 North Sinclair Avenue
Tavares, Florida 32778
Office: 352.343.8481
Fax: 352.343.8495
Licensed Business Number: 8348

PHASE	SINGLE-FAMILY RESIDENTIAL DETACHED (DU)				COMMERCIAL (AC)	INSTITUTIONAL (AC)
	50' WIDE LOT	60' WIDE LOT	70' WIDE LOT	TOTAL		
PHASE 1	147	10	6	163	0	0
PHASE 2	93	21	35	149	0	0
PHASE 3	168	20	10	198	0	0
TOTAL	408	51	51	510	0	0
TOTAL %	80%	10%	10%	100%	-	-

- NOTES:
 1. PER PUD SECTION 4 THE NUMBER OF SINGLE-FAMILY DETACHED LOTS SHALL NOT EXCEED 700 UNITS.
 2. PER PUD SECTION 5 AT LEAST 10% OF SINGLE-FAMILY DETACHED LOTS SHALL BE 60' WIDE AND 10% SHALL BE 70' WIDE.

OVERALL SITE DATA

EXISTING ZONING: CITY OF FRUITLAND PARK MUPUD (ORD# 2019-003)
 LAND USE DESIGNATION: MIXED USE
 TOTAL PROJECT AREA: ± 160.34 AC
 FLOOD PLAIN: ZONE 'X'; ZONE 'A' PER FEMA PANEL 12069C0306E, 12069C0309E, DATED 12/18/2012
 UTILITIES PROVIDERS:
 WATER: CITY OF FRUITLAND PARK
 IRRIGATION: CITY OF FRUITLAND PARK
 SEWER: CITY OF FRUITLAND PARK
 POWER: DUKE ENERGY
 PHONE: CENTURYLINK
 CABLE: COMCAST

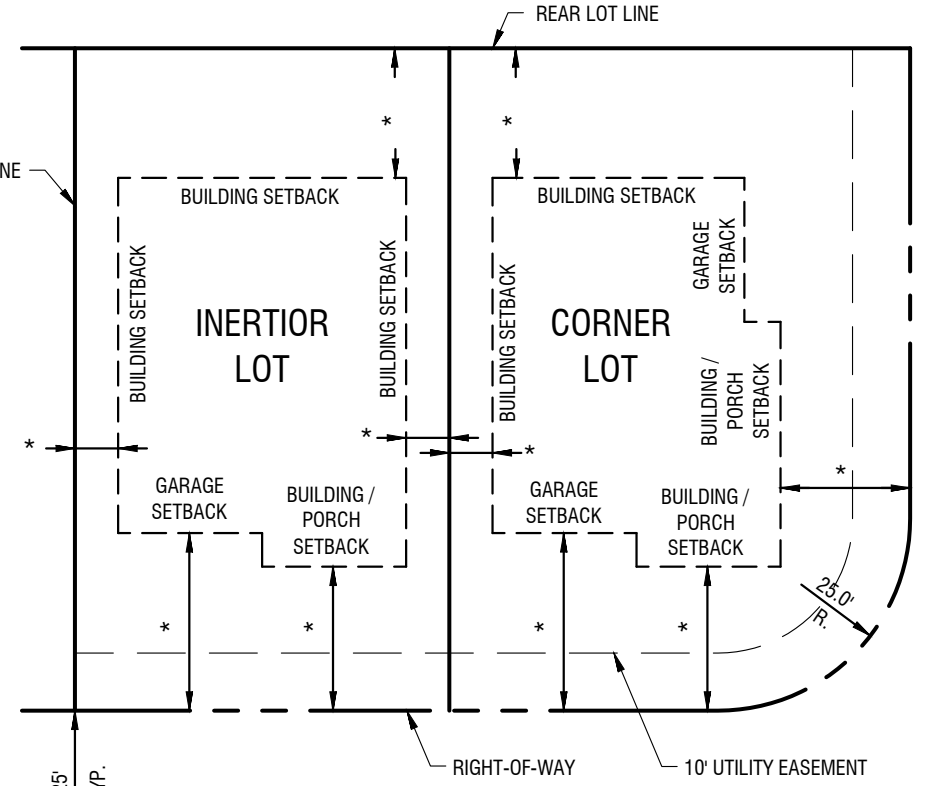
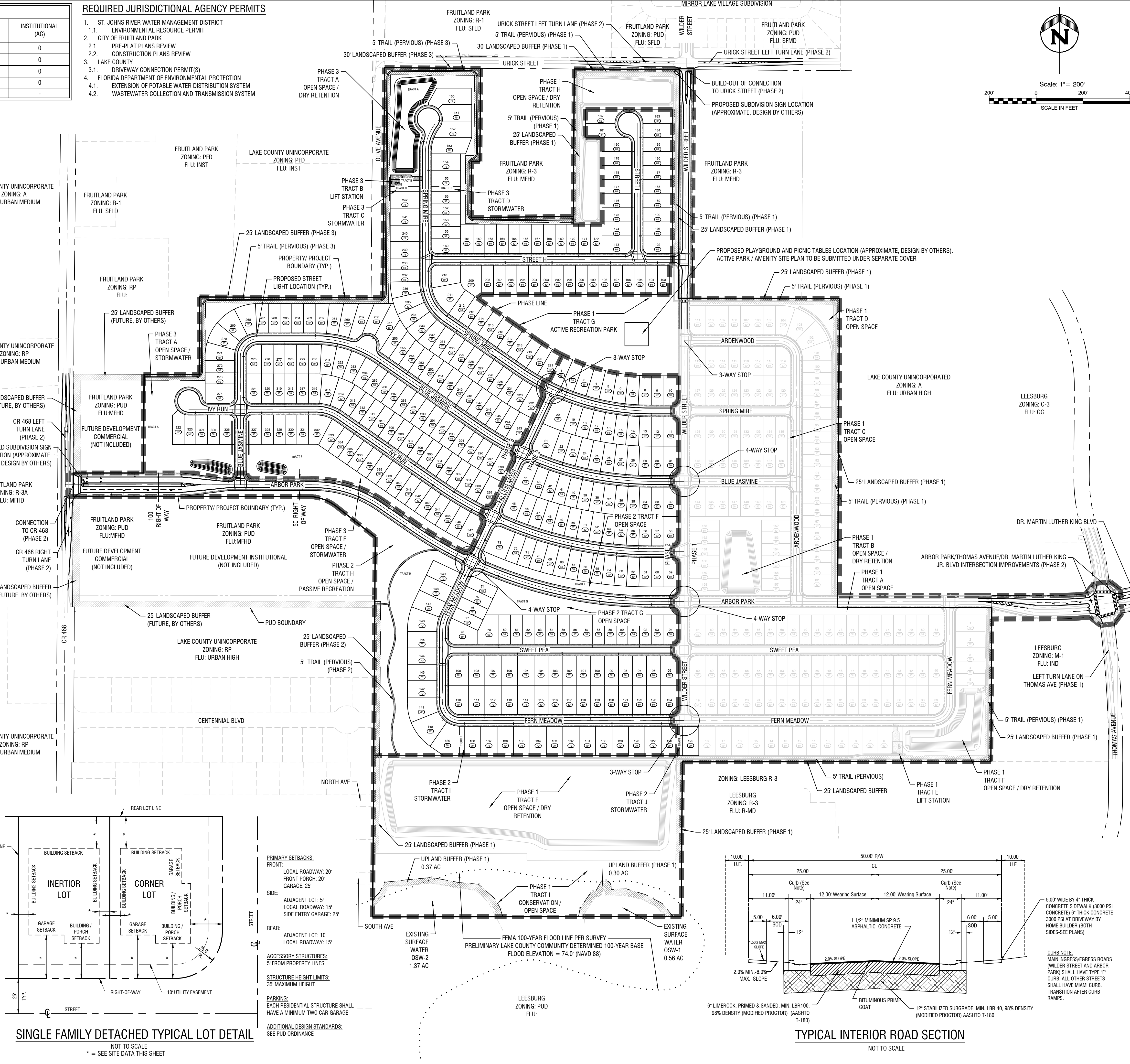
- NOTES:
 1. ON PLAN DENOTES LOT WIDTH.
 2. STORMWATER CONVEYANCE SYSTEM SHALL BE THROUGH SWALES AND STORM PIPE NETWORK TO RETENTION PONDS AND SHALL COMPLY WITH SJRWMD AND CITY OF FRUITLAND PARK STORMWATER DESIGN STANDARDS.
 3. ALL EASEMENTS WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 4. LANDSCAPE BUFFERS ARE SHOWN ON PRELIMINARY PLAT. PLANT SPECIES AND PLANTINGS ARE TO MEET THE CITY OF FRUITLAND PARK LAND DEVELOPMENT REGULATIONS AND THE PUD.
 5. ALL AREAS NOT OTHERWISE DEDICATED TO THE PUBLIC OR THE CITY SHALL BE NOTED PRIVATE AND THE HOA / DEVELOPER WILL BE RESPONSIBLE FOR THEIR INFRASTRUCTURE.
 6. STREET LIGHTING SHALL BE THE DEVELOPERS RESPONSIBILITY.
 7. ALL WORK SHALL CONFORM TO THE CITY OF FRUITLAND PARK STANDARD DETAILS AND APPLICABLE LAND DEVELOPMENT REGULATIONS.

OVERALL PUD DATA	
GROSS AREA	176.76 AC
WATERBODIES	1.33 AC
BASE SITE AREA (DEVELOPABLE AREA)	175.43 AC
ALLOWABLE SINGLE-FAMILY RESIDENTIAL LOTS	700 DU
ALLOWABLE RESIDENTIAL GROSS DENSITY	3.99 DU/AC
LOT MAXIMUM IMPERVIOUS SURFACE RATIO (ISR)	60%
REQUIRED OPEN SPACE	43.86 AC 25.0%
COMMERCIAL AREA (FUTURE)	6.00 AC 3.4%
INSTITUTIONAL AREA (FUTURE)	11.65 AC 6.6%
PROPOSED DEVELOPMENT (PHASE 1, 2 & 3)	
SINGLE-FAMILY RESIDENTIAL LOTS	510
RESIDENTIAL GROSS DENSITY	2.91 DU/AC
AVERAGE LOT SIZE	7,000 SF
AREA OF OPEN SPACE	51.56 AC 29.4%
COMMERCIAL AREA	6.15 AC 3.5%
INSTITUTIONAL AREA	10.27 AC 5.9%

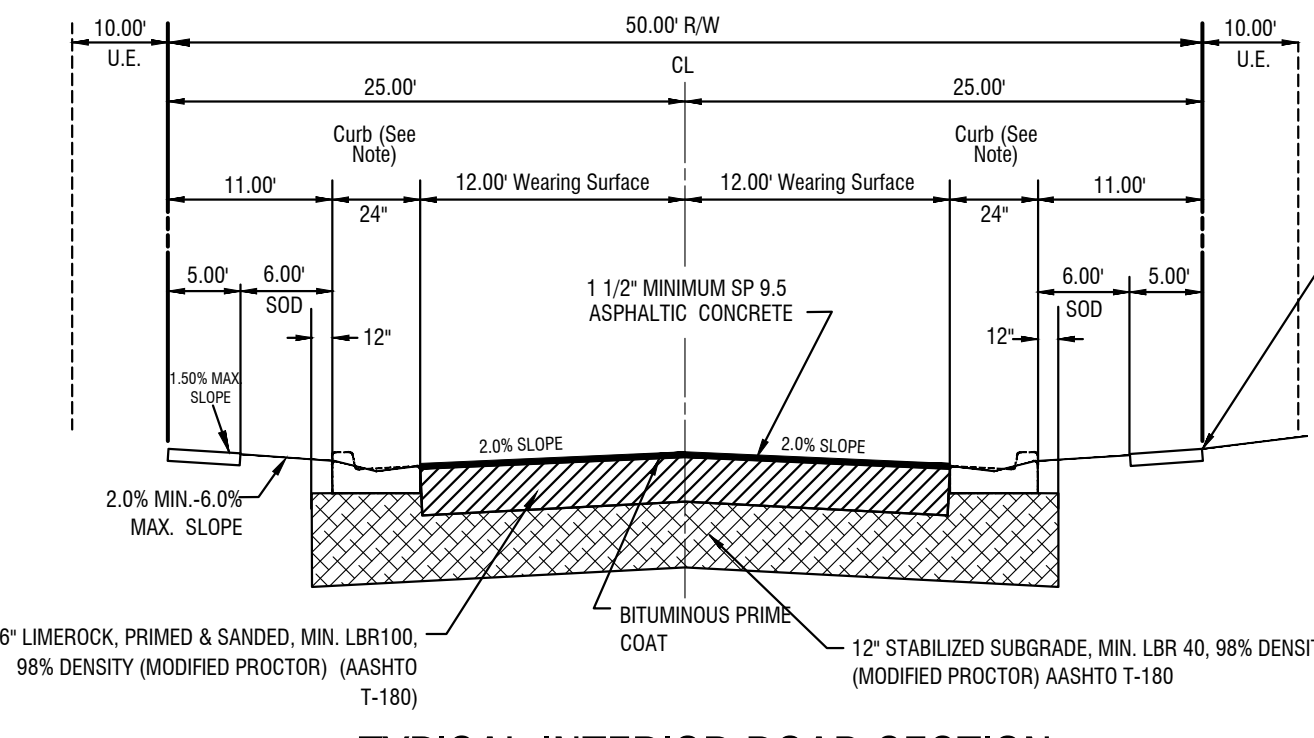
PHASE 2 & 3 PROJECT DATA	
GROSS SITE AREA	90.32 AC
WATERBODIES	0.00 AC
BASE SITE AREA (DEVELOPABLE AREA)	90.32 AC
IMPERVIOUS AREA	47.69 AC
PERVIOUS AREA	42.63 AC
IMPERVIOUS %	52.8%
RESIDENTIAL LOTS	347
PROPOSED GROSS RESIDENTIAL DENSITY	3.84 DU/AC
LOT MAXIMUM IMPERVIOUS SURFACE RATIO (ISR)	60%
MINIMUM LOT SIZE	6,250 SF
AVERAGE LOT SIZE	7,165 SF
AREA OF LOTS	57.07 AC 63.2%
AREA OF RIGHT OF WAY	17.50 AC 19.4%
AREA OF OPEN SPACE	15.60 AC 17.3%
AREA OF WETLANDS	0.00 AC 0.0%
AREA OTHER USES	0.14 AC 0.2%
TOTAL	90.32 AC 100.0%
AREA OF WETLANDS (ON-SITE)	0.00 AC
AREA OF WETLANDS IMPACTED (ON-SITE)	0.00 AC
AREA OF WETLANDS PRESERVED (ON-SITE)	0.00 AC
AREA OF CONSERVATION TRACTS	0.00 AC
AREA OF CONSERVATION EASEMENTS	0.00 AC
TOTAL CONSERVATION AREA	0.00 AC
AREA OF FLOODPLAIN (ON-SITE)	0.00 AC
AREA OF FLOODPLAIN IMPACTED (ON-SITE)	0.00 AC
LENGTH OF ROADS	13,997 FT
LENGTH OF SIDEWALKS	28,564 FT

PHASE 2 & 3 TRACT DATA TABLE				
TRACT	DESCRIPTION	AREA (AC)	OWNED	MAINTAINED
TRACT A	OPEN SPACE/BUFFER/STORMWATER	6.58	HOA	HOA
TRACT B	LIFT STATION	0.14	COFP	COFP
TRACT C	STORMWATER	0.06	HOA	HOA
TRACT D	STORMWATER	0.06	HOA	HOA
TRACT E	OPEN SPACE/STORMWATER	1.92	HOA	HOA
TRACT F	OPEN SPACE	0.73	HOA	HOA
TRACT G	OPEN SPACE	1.31	HOA	HOA
TRACT H	OPEN SPACE/PASSIVE RECREATION	4.83	HOA	HOA
TRACT I	STORMWATER	0.06	HOA	HOA
TRACT J	STORMWATER	0.06	HOA	HOA

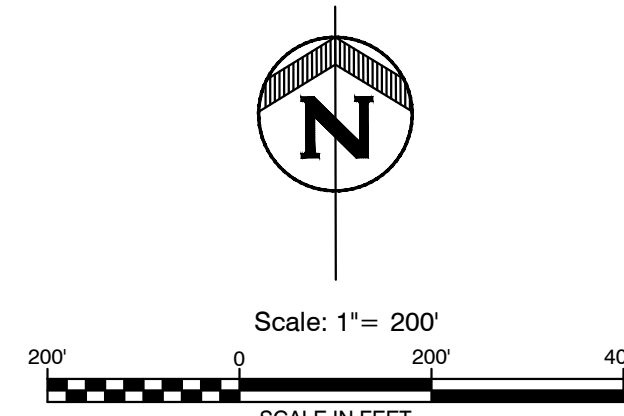
- TABLE NOTES:
 1. HOA = HOME OWNERS ASSOCIATION
 2. COFP = CITY OF FRUITLAND PARK



PRIMARY SETBACKS:
 FRONT: LOCAL ROADWAY: 20' FRONT PORCH: 20' GARAGE: 25'
 SIDE: ADJACENT LOT: 5' LOCAL ROADWAY: 15' SIDE ENTRY GARAGE: 25'
 REAR: ADJACENT LOT: 10' LOCAL ROADWAY: 15'
 ACCESSORY STRUCTURES: 5' FROM PROPERTY LINES
 STRUCTURE HEIGHT LIMITS: 35' MAXIMUM HEIGHT
 PARKING: EACH RESIDENTIAL STRUCTURE SHALL HAVE A MINIMUM TWO CAR GARAGE
 ADDITIONAL DESIGN STANDARDS: SEE PUD ORDINANCE



- REQUIRED JURISDICTIONAL AGENCY PERMITS**
- ST. JOHNS RIVER WATER MANAGEMENT DISTRICT
 - ENVIRONMENTAL RESOURCE PERMIT
 - CITY OF FRUITLAND PARK
 - PRE-PLAT PLANS REVIEW
 - CONSTRUCTION PLANS REVIEW
 - LAKE COUNTY
 - DRIVEWAY CONNECTION PERMIT(S)
 - FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
 - EXTENSION OF POTABLE WATER DISTRIBUTION SYSTEM
 - WASTEWATER COLLECTION AND TRANSMISSION SYSTEM



REVISION	1	2	3	4	5	6	7	8
DATE								

ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL

C-001
MASTER PLAN

HALFF

902 North Sinclair Ave.
Tavares, FL 32780
Office: 352.343.8481
Fax: 352.343.8485
Certificate of Authorization Number: 33580

DATE:	10/14/2022
DESIGNED BY:	CBS
DRAWN BY:	NTD
CHECKED BY:	CBS
JOB NO.:	45117

C-001

CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR CONSTRUCTION



REVISION	DATE
1	
2	
3	
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ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL
 C-002
 VICINITY MAP



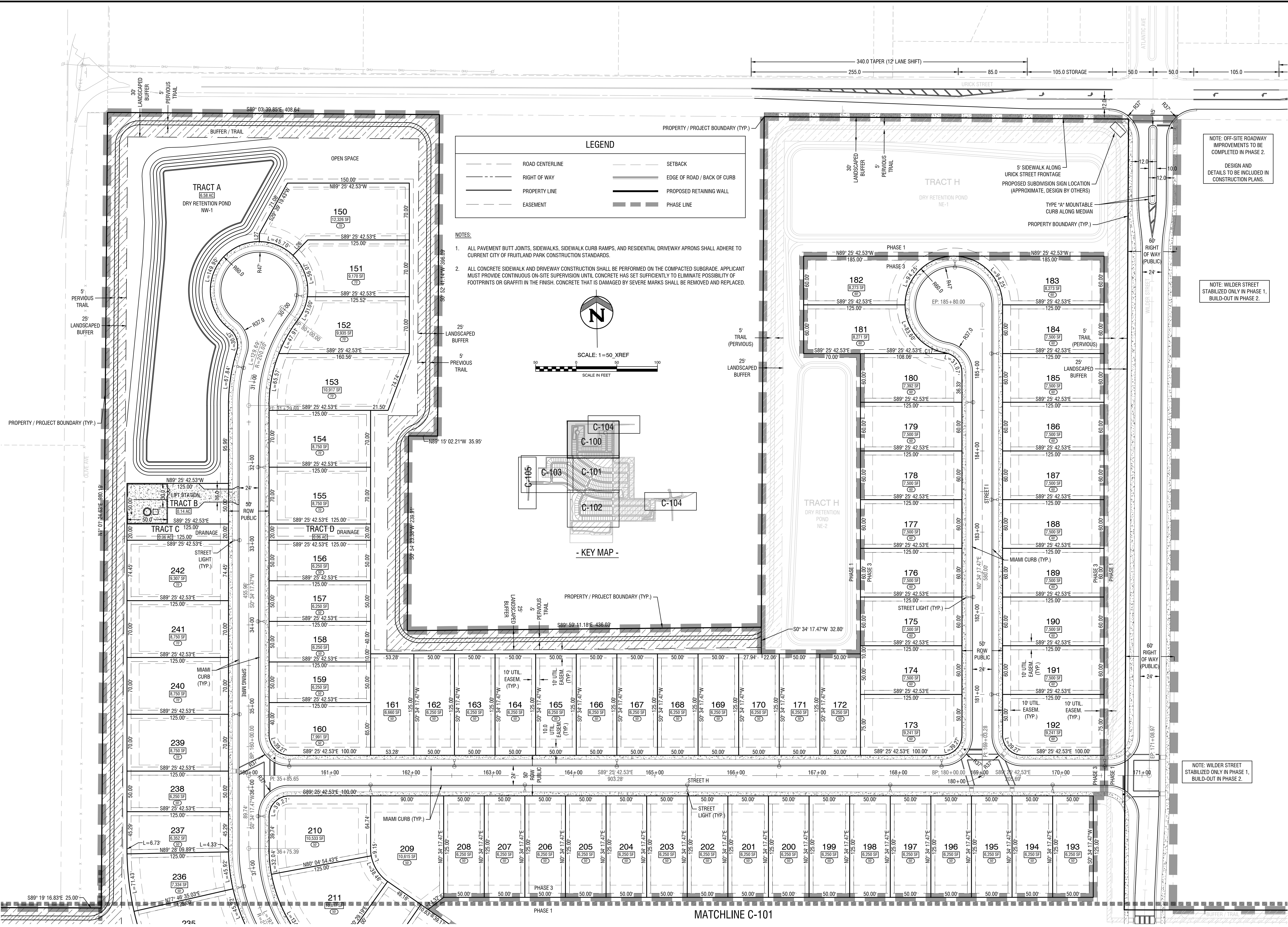
902 North Sinclair Ave.
 Tavares, Florida 32778
 Office: 352.343.8481
 Fax: 352.343.8485
 Certificate of Authorization Number: 33360

DATE:	10/14/2022
DESIGNED BY:	CBS
DRAWN BY:	NTD
CHECKED BY:	CBS
JOB NO.:	45117

C-002

CHARLES C. HIOTT, PE
 LICENSE # 54813
 PRE-PLAT SET - NOT FOR
 CONSTRUCTION

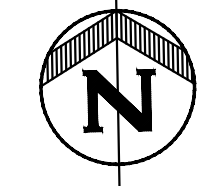
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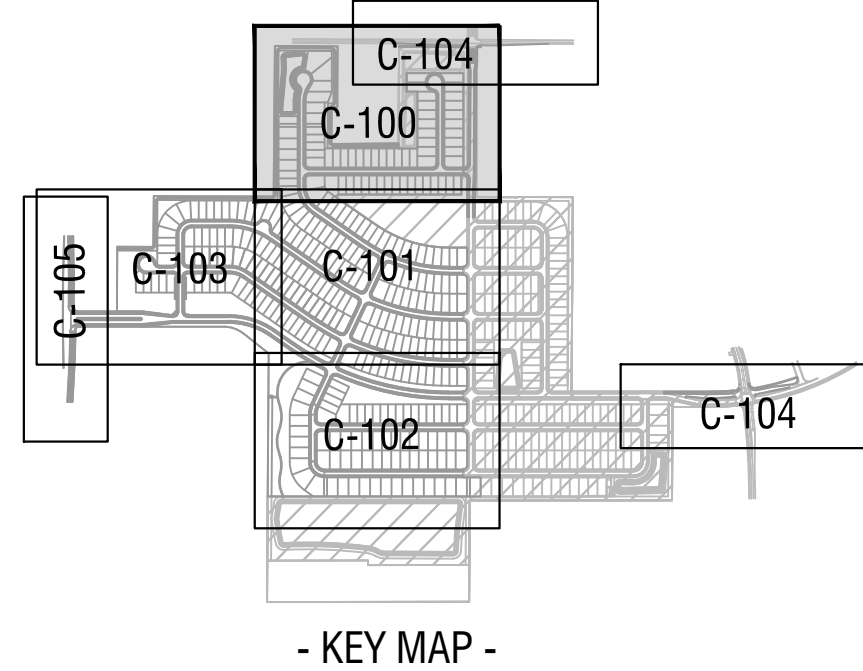
LEGEND

	ROAD CENTERLINE		SETBACK
	RIGHT OF WAY		EDGE OF ROAD / BACK OF CURB
	PROPERTY LINE		PROPOSED RETAINING WALL
	EASEMENT		PHASE LINE

- NOTES:**
1. ALL PAVEMENT BUTT JOINTS, SIDEWALKS, SIDEWALK CURB RAMPS, AND RESIDENTIAL DRIVEWAY APRONS SHALL ADHERE TO CURRENT CITY OF FRUITLAND PARK CONSTRUCTION STANDARDS.
 2. ALL CONCRETE SIDEWALK AND DRIVEWAY CONSTRUCTION SHALL BE PERFORMED ON THE COMPACTED SUBGRADE. APPLICANT MUST PROVIDE CONTINUOUS ON-SITE SUPERVISION UNTIL CONCRETE HAS SET SUFFICIENTLY TO ELIMINATE POSSIBILITY OF FOOTPRINTS OR GRAFFITI IN THE FINISH. CONCRETE THAT IS DAMAGED BY SEVERE MARKS SHALL BE REMOVED AND REPLACED.



SCALE: 1"=50' XREF
SCALE IN FEET



NOTE: OFF-SITE ROADWAY IMPROVEMENTS TO BE COMPLETED IN PHASE 2.
DESIGN AND DETAILS TO BE INCLUDED IN CONSTRUCTION PLANS.

NOTE: WILDER STREET STABILIZED ONLY IN PHASE 1, BUILD-OUT IN PHASE 2.

NOTE: WILDER STREET STABILIZED ONLY IN PHASE 1, BUILD-OUT IN PHASE 2.

REVISION	DATE	BY	DESCRIPTION
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**ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL**

**C-100
PRE-PLAT**

902 North Sinclair Ave.
Tavares, Florida 32778
Office: 352.343.8481
Fax: 352.343.8495
Certificate of Authorization Number: 33580

DATE: 10/14/2022
DESIGNED BY: CBS
DRAWN BY: NTD
CHECKED BY: CBS
JOB NO.: 45117

C-100

CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR CONSTRUCTION



DATE	REVISION
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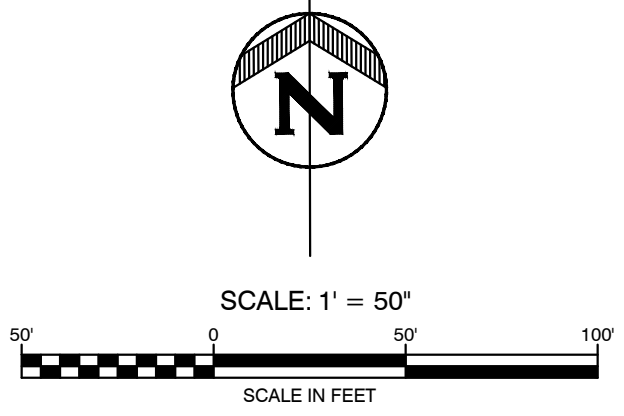
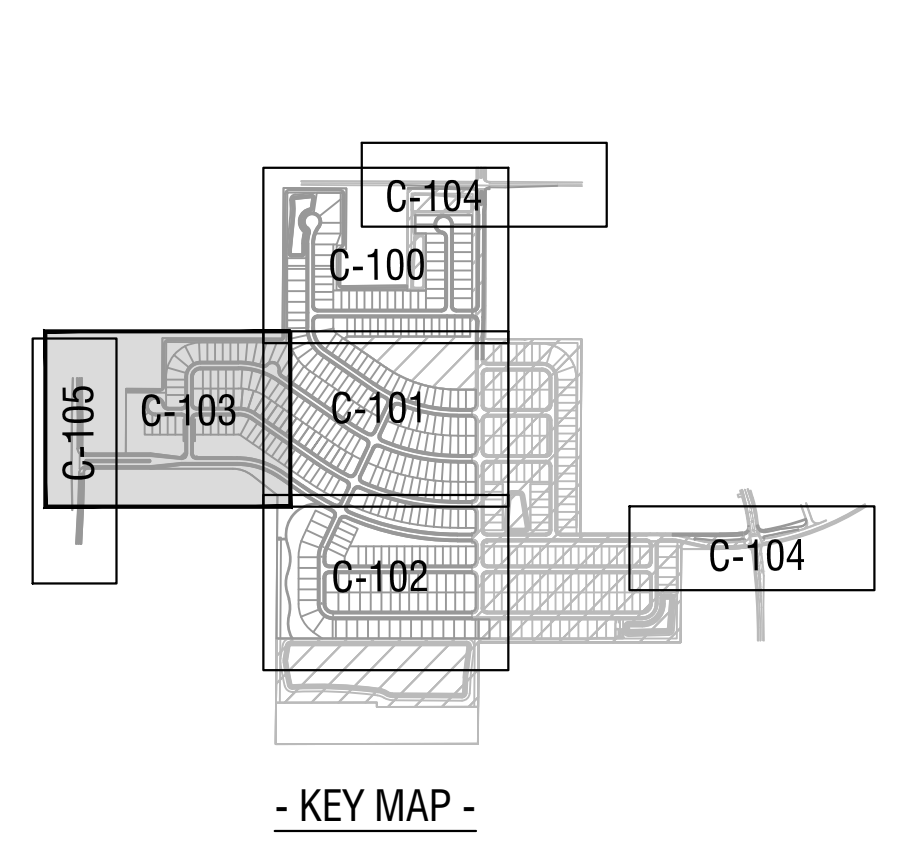
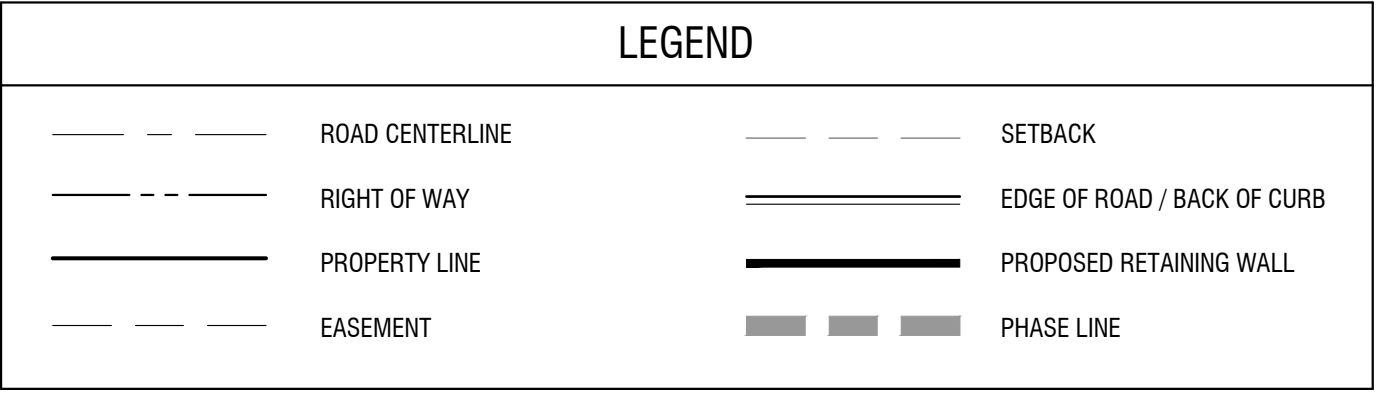
ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL
C-101
PRE-PLAT



DATE: 10/14/2022
DESIGNED BY: CBS
DRAWN BY: NTD
CHECKED BY: CBS
JOB NO.: 45117

C-101
CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR CONSTRUCTION

LINE/CURVE #	LENGTH	BEARING/Delta	RADIUS
C14	2.25	0.74	175.00
C22	11.94	0.55	1250.00
C23	5.24	0.60	500.00
C24	11.82	27.08	25.00
C25	17.25	39.54	25.00
C26	17.46	20.01	50.00
C27	17.43	2.00	500.00
C28	10.47	2.66	225.00
C29	4.65	2.66	100.00
C30	27.43	15.72	100.00
C31	14.46	33.14	25.00
C32	20.39	19.47	60.00
C35	14.49	0.54	1550.00
C36	13.34	3.82	200.00
C37	17.06	4.89	200.00
L1	1.83	S0° 34' 17.47"W	
L2	1.83	S0° 34' 17.47"W	
L3	2.62	N25° 45' 11.00"E	
L4	2.62	N25° 45' 11.00"E	
L5	4.77	N25° 45' 11.00"E	
L6	11.47	S25° 45' 11.00"W	
L8	12.01	N0° 34' 17.47"E	
L10	6.16	S89° 25' 42.53"E	
L12	6.16	N89° 25' 42.53"W	
L18	8.96	S89° 28' 55.04"E	
L19	7.45	S54° 43' 42.89"E	
L20	1.81	S89° 28' 55.04"E	
L22	8.48	S54° 43' 42.89"E	



NOTE: OFF-SITE ROADWAY IMPROVEMENTS TO BE COMPLETED IN PHASE 2.
DESIGN AND DETAILS TO BE INCLUDED IN CONSTRUCTION PLANS.

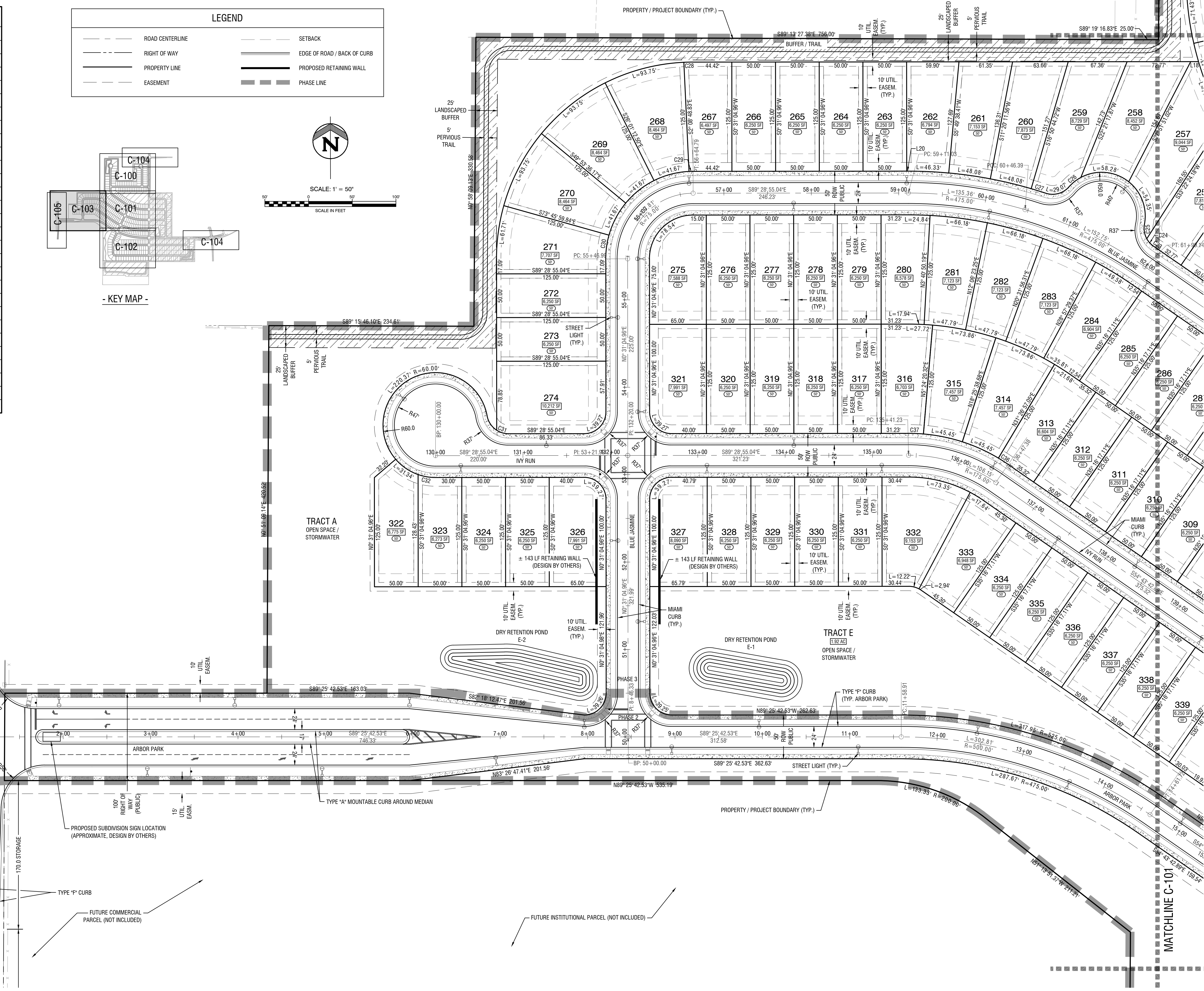
230.0 TAPER

170.0 STORAGE

TYPE 'P' CURB

FUTURE COMMERCIAL PARCEL (NOT INCLUDED)

FUTURE INSTITUTIONAL PARCEL (NOT INCLUDED)



REVISION	1	2	3	4	5	6	7	8
DATE								

ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL

C-103
PRE-PLAT

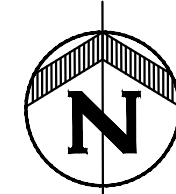
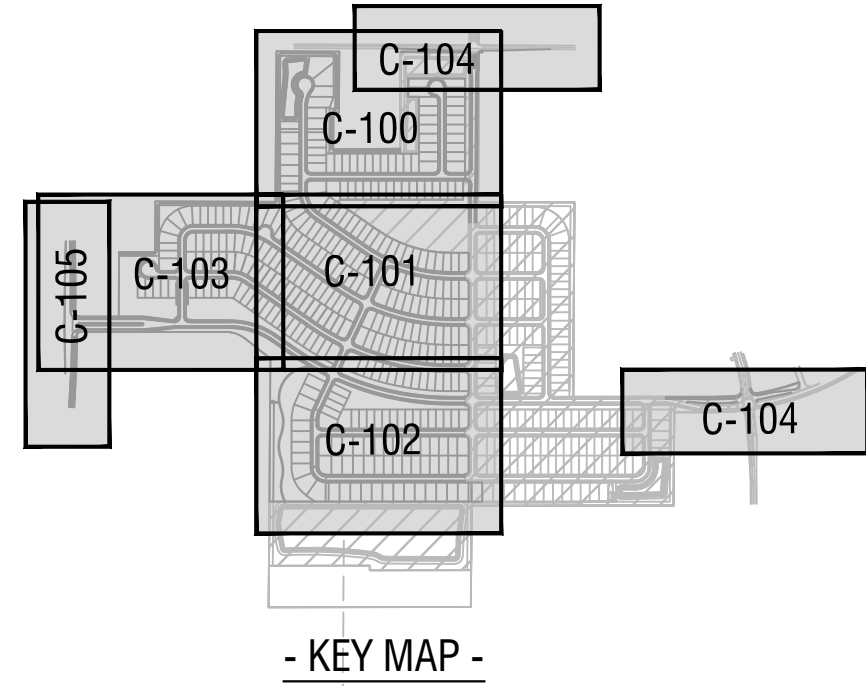
Office: 352.343.8481
Tallahassee, Florida 32378
Fax: 352.343.8485
Certificate of Authorization Number: 33380

902 North Sinclair Ave.
Tallahassee, Florida 32378
Fax: 352.343.8485
Certificate of Authorization Number: 33380

DATE: 10/14/2022
DESIGNED BY: CBS
DRAWN BY: NTD
CHECKED BY: CBS
JOB NO.: 45117

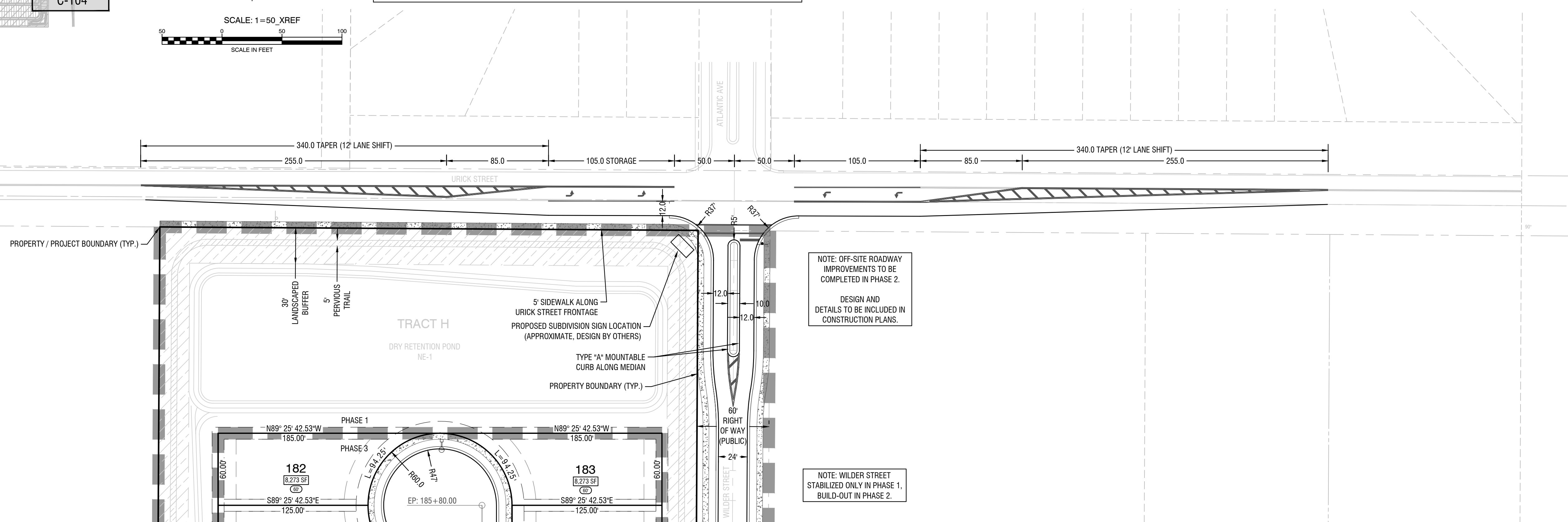
C-103

CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR CONSTRUCTION



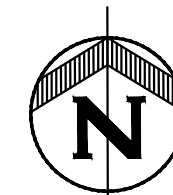
SCALE: 1 = 50_XREF
SCALE IN FEET

LEGEND	
	ROAD CENTERLINE
	RIGHT OF WAY
	PROPERTY LINE
	EASEMENT
	SETBACK
	EDGE OF ROAD / BACK OF CURB
	PROPOSED RETAINING WALL
	PHASE LINE



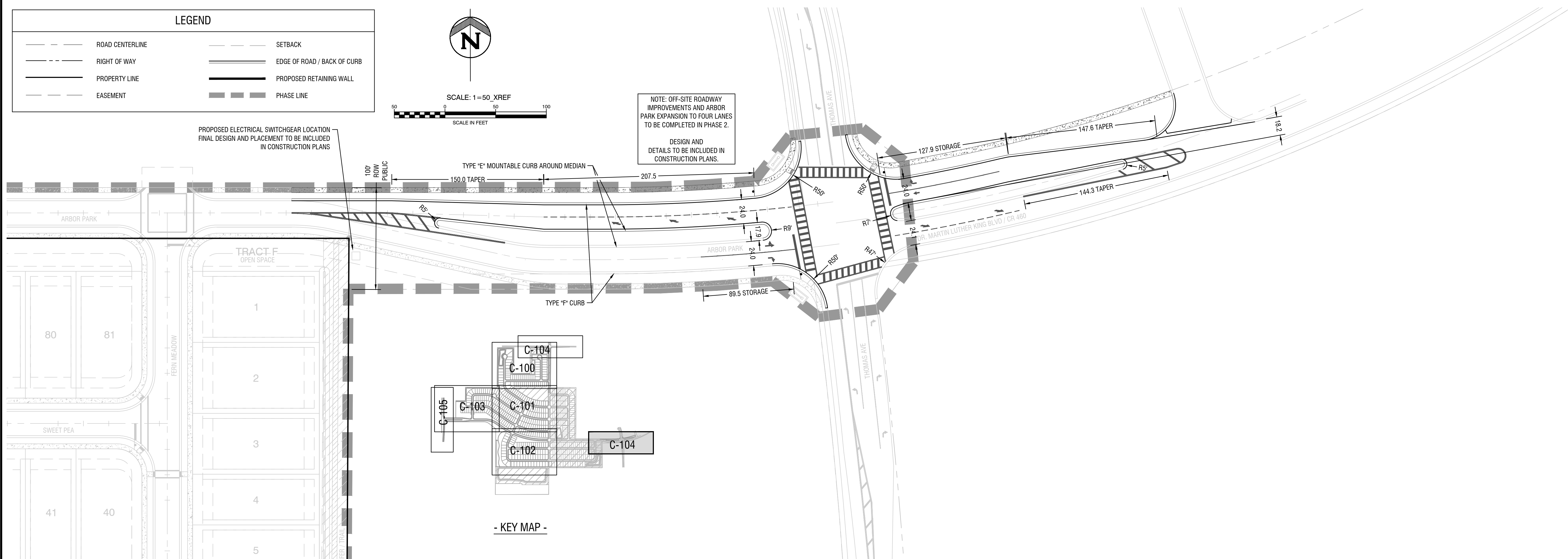
LEGEND

	ROAD CENTERLINE		SETBACK
	RIGHT OF WAY		EDGE OF ROAD / BACK OF CURB
	PROPERTY LINE		PROPOSED RETAINING WALL
	EASEMENT		PHASE LINE



SCALE: 1 = 50_XREF
SCALE IN FEET

NOTE: OFF-SITE ROADWAY IMPROVEMENTS AND ARBOR PARK EXPANSION TO FOUR LANES TO BE COMPLETED IN PHASE 2.
DESIGN AND DETAILS TO BE INCLUDED IN CONSTRUCTION PLANS.



REVISION	DATE
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ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL

C-104
PRE-PLAT



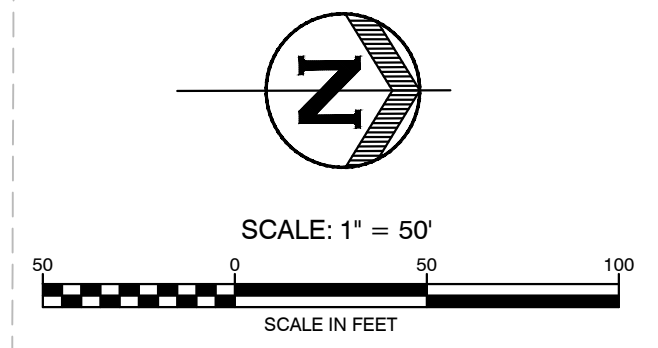
Office: 352.343.8481
Fax: 352.343.8485
Certificate of Authorization Number: 33360

DATE:	10/14/2022
DESIGNED BY:	CBS
DRAWN BY:	NTD
CHECKED BY:	CBS
JOB NO.:	45117

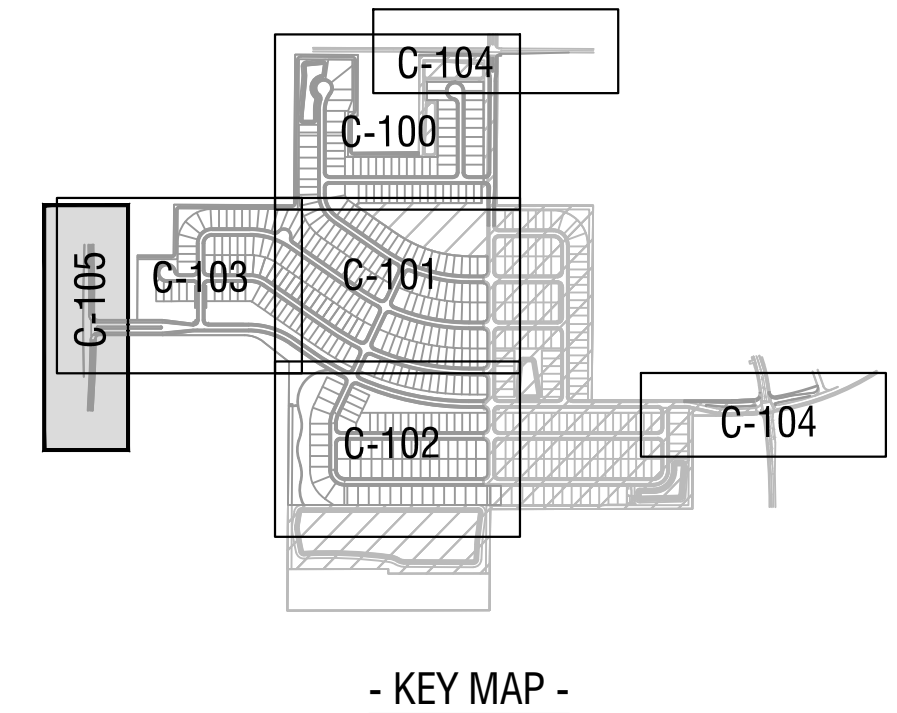
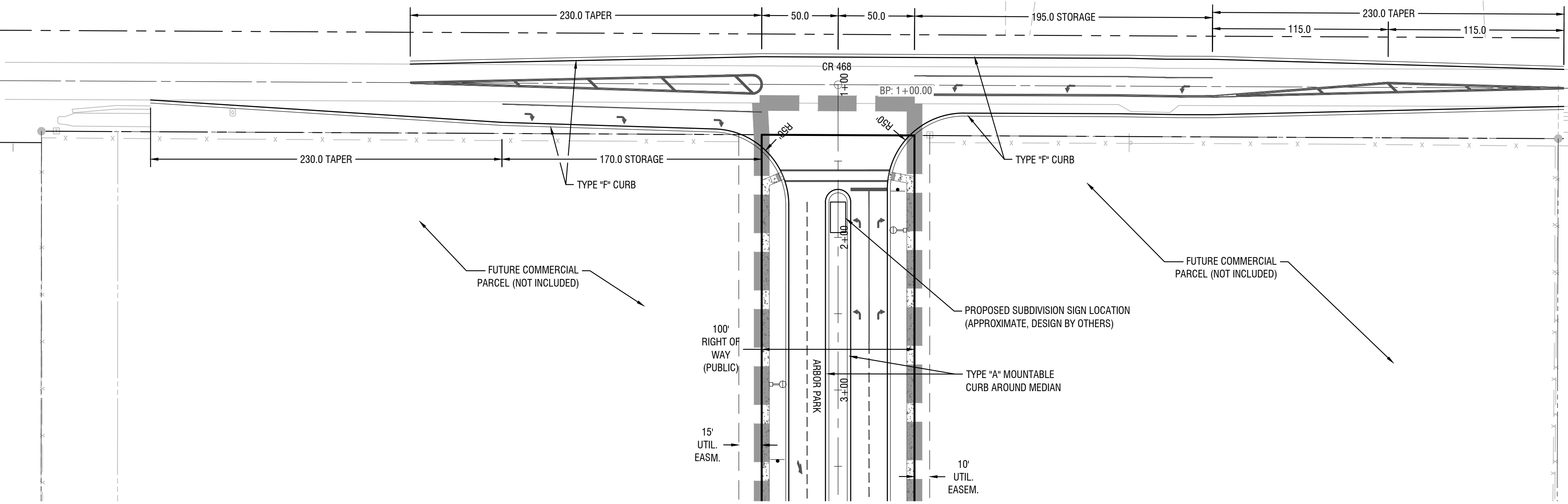
C-104

CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR CONSTRUCTION

LEGEND			
	ROAD CENTERLINE		SETBACK
	RIGHT OF WAY		EDGE OF ROAD / BACK OF CURB
	PROPERTY LINE		PROPOSED RETAINING WALL
	EASEMENT		PHASE LINE



NOTE: OFF-SITE ROADWAY IMPROVEMENTS TO BE COMPLETED IN PHASE 2.
DESIGN AND DETAILS TO BE INCLUDED IN CONSTRUCTION PLANS.



REVISION	DATE
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ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL
C-105
PRE-PLAT

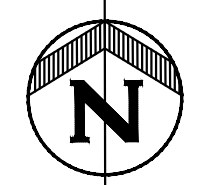
902 North Sinclair Ave.
Tavares, Florida 32778
Office: 352.343.8481
Fax: 352.343.8485
Certificate of Authorization Number: 33360

DATE:	10/14/2022
DESIGNED BY:	CBS
DRAWN BY:	NTD
CHECKED BY:	CBS
JOB NO.:	45117

C-105

CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR CONSTRUCTION

10/14/2022 9:26:29 AM Smith, Cory I:\000045117\000\CADD\Sheet\ARBOR\PHASE 2 & 3\105 PRE-PLAT.dwg 10/14/2022 9:26:29 AM



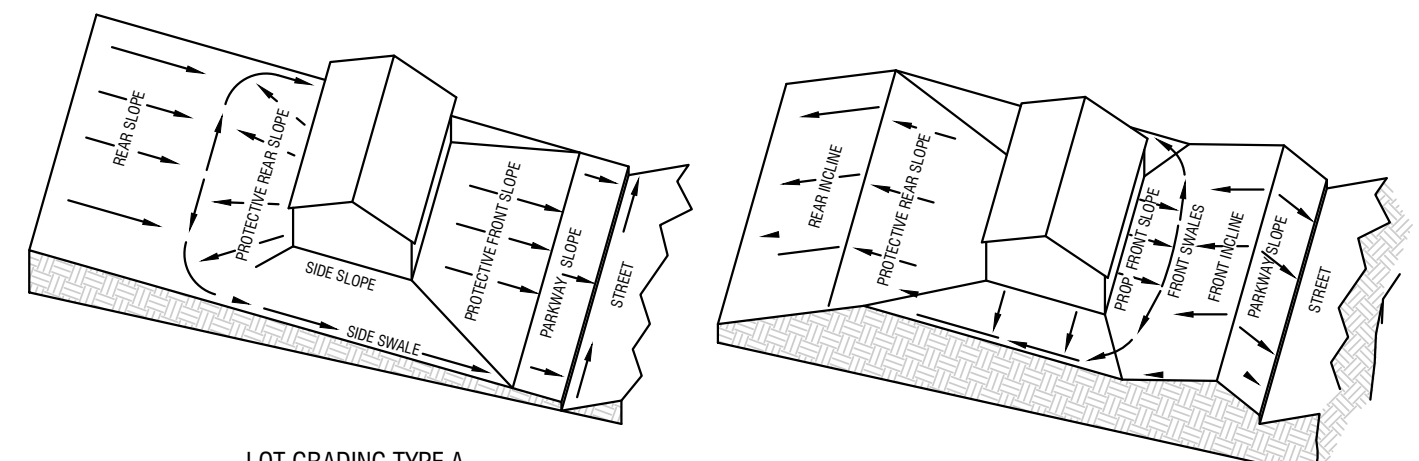
SCALE: 1"=50' XREF
SCALE IN FEET

GRADING AND DRAINAGE GENERAL NOTES:

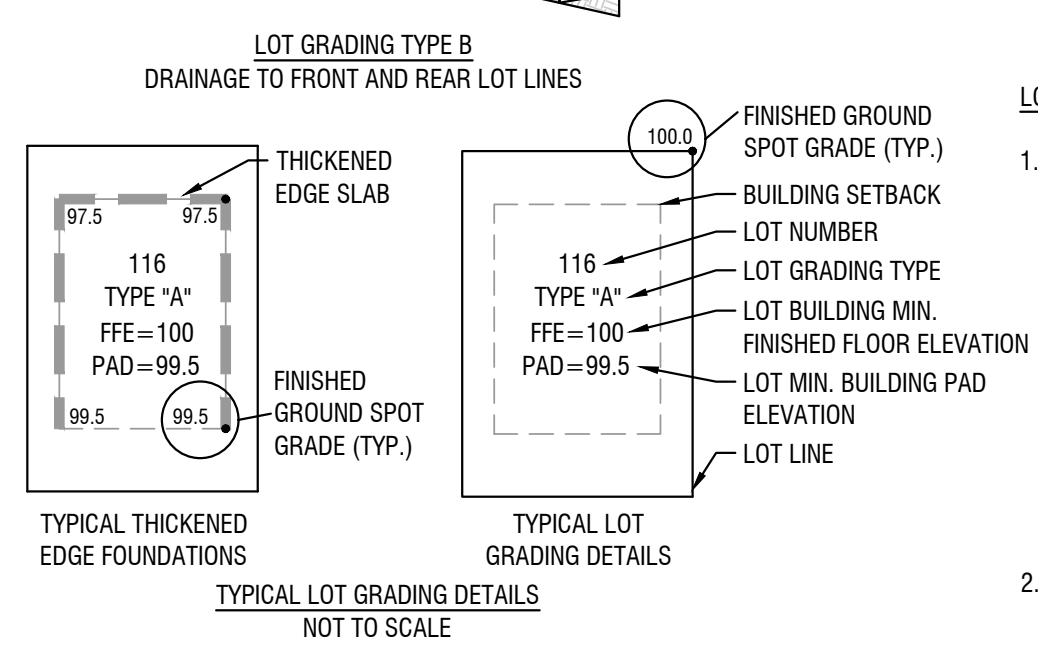
1. ALL RCP SHALL BE CLASS III WALL B REINFORCE CONCRETE DRAINAGE PIPE.
2. ALL HDPE SHALL BE DOUBLE WALL SMOOTH INTERIOR CORRUGATED HDPE PIPE.
3. ALL DRAINAGE PIPE SHALL HAVE FABRIC WRAPPED, WATERTIGHT JOINTS AND STRUCTURE CONNECTIONS.
4. ALL DRAINAGE STRUCTURES SHALL HAVE POURED INVERTS.
5. SPOT ELEVATIONS SHOWN ARE TO FINISHED GRADE.
6. BUILDING PADS AND SIDE YARD SWALES NOT SHOWN IN GRADING/CONTOURS, CONTRACTOR SHALL CONSTRUCT PADS AND SIDE YARD SWALES IN ACCORDANCE WITH THE LOT GRADING SCHEME DETAILS ON THIS SHEET.
7. SEE EROSION AND SEDIMENTATION CONTROL PLAN FOR DETAILS ON STABILIZATION OF DISTURBED AREAS.

LEGEND

	DRAINAGE STRUCTURE NUMBER		FINISHED GRADE SPOT ELEVATION AT TOP OF RETAINING WALL		RETAINING WALL		FINISHED GRADE CONTOUR (MAJOR)
	DRAINAGE PIPE NUMBER		FINISHED GRADE SPOT ELEVATION AT BOTTOM OF RETAINING WALL		FINISHED GRADE SPOT ELEVATION		EXISTING GRADE CONTOUR (MAJOR)
	PROPOSED STORM SEWER		FINISHED GRADE CONTOUR (MAJOR)		EXISTING GRADE SPOT ELEVATION		EXISTING GRADE CONTOUR (MINOR)
	EXISTING STORM SEWER		LIMIT OF DISTURBANCE		PROPOSED SURFACE FLOW DIRECTION		



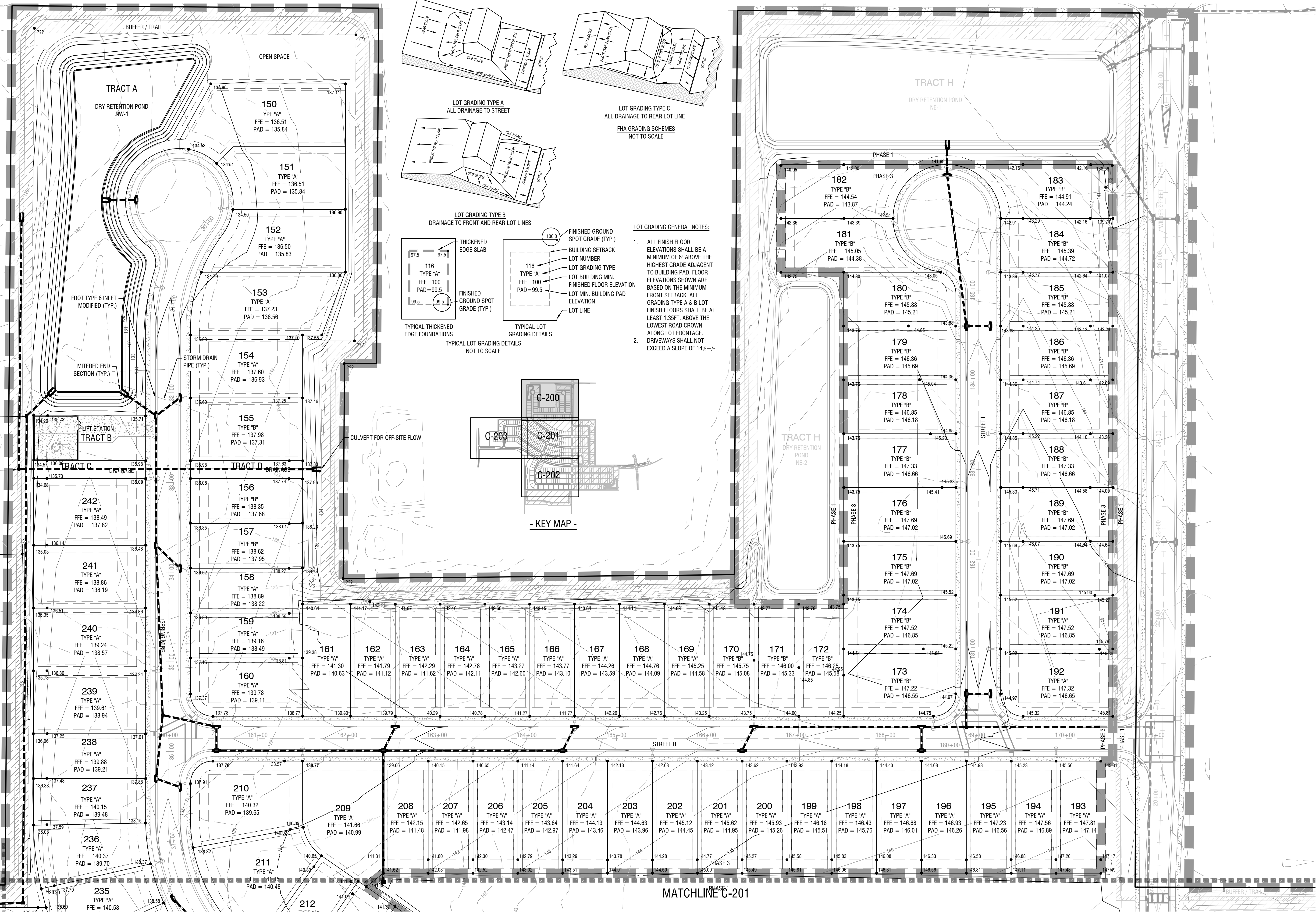
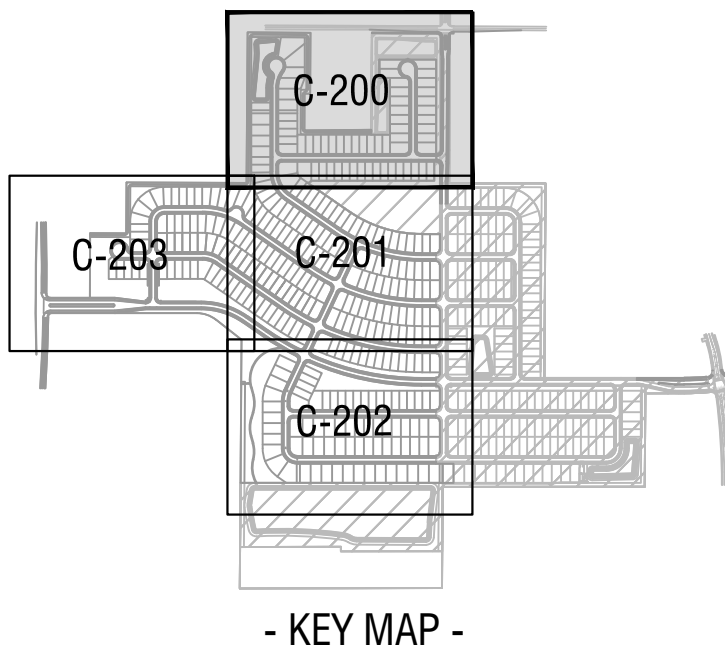
LOT GRADING TYPE A ALL DRAINAGE TO STREET
LOT GRADING TYPE C ALL DRAINAGE TO REAR LOT LINE
FHA GRADING SCHEMES NOT TO SCALE



TYPICAL THICKENED EDGE FOUNDATIONS
TYPICAL LOT GRADING DETAILS NOT TO SCALE

LOT GRADING GENERAL NOTES:

1. ALL FINISH FLOOR ELEVATIONS SHALL BE A MINIMUM OF 6" ABOVE THE HIGHEST GRADE ADJACENT TO BUILDING PAD. FLOOR ELEVATIONS SHOWN ARE BASED ON THE MINIMUM FRONT SETBACK. ALL GRADING TYPE A & B LOT FINISH FLOORS SHALL BE AT LEAST 1.35FT. ABOVE THE LOWEST ROAD CROWN ALONG LOT FRONTAGE. DRIVEWAYS SHALL NOT EXCEED A SLOPE OF 14% +/-



MATCHLINE C-201

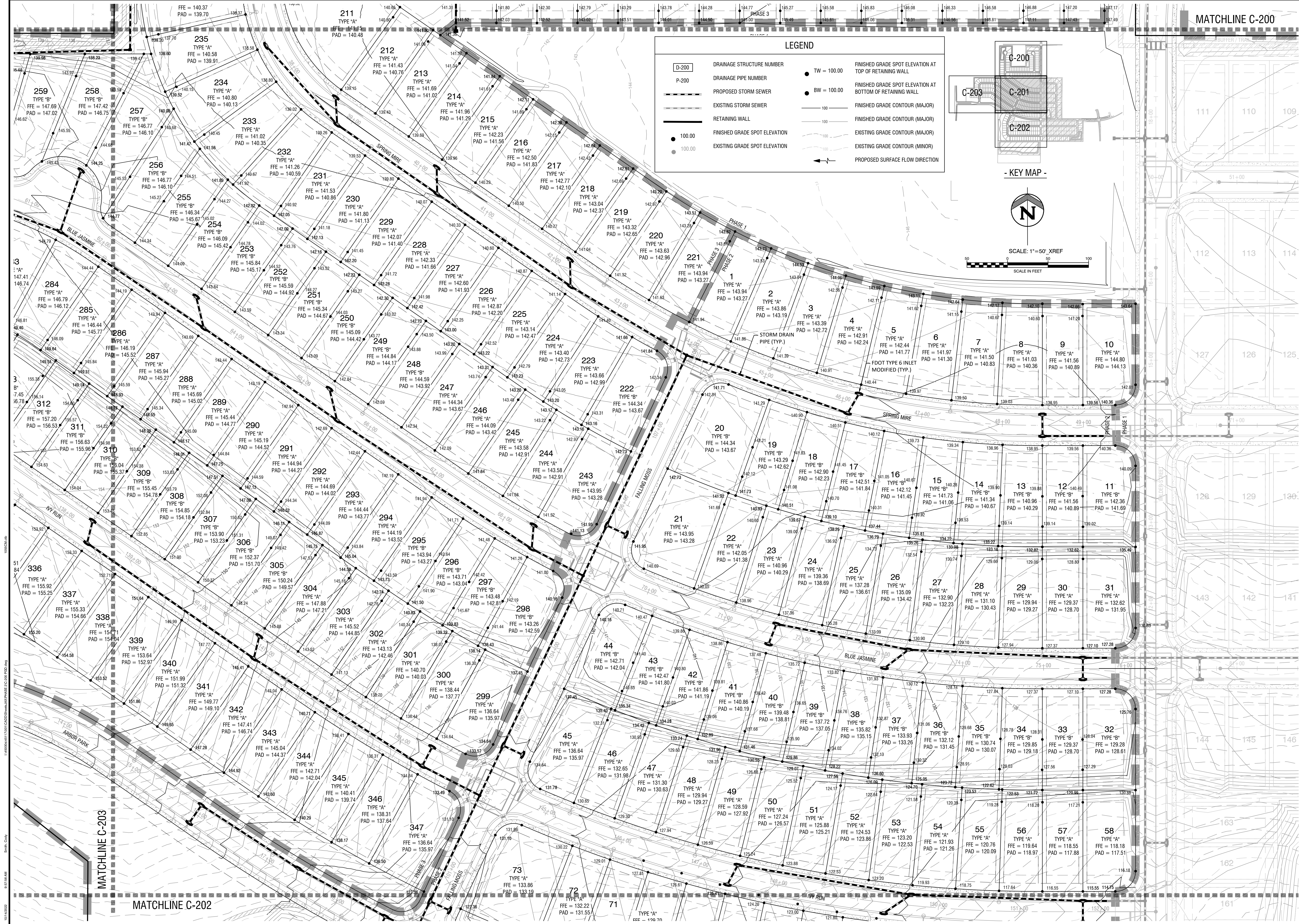
REVISION	DATE	BY	CHKD	APPD
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ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL
C-200
GRADING AND DRAINAGE PLAN

902 North Sinclair Ave.
Tallahassee, Florida 32378
Office: 352.343.8481
Fax: 352.343.8485
Certificate of Authorization Number: 33380

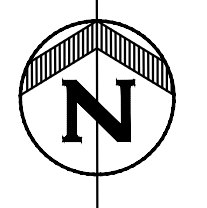
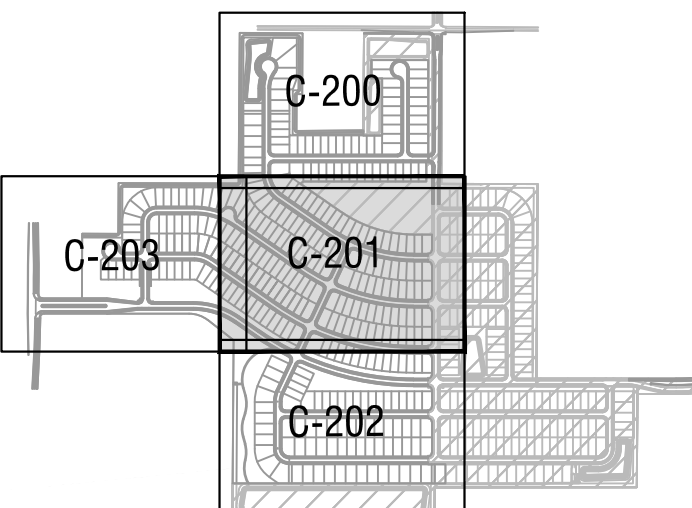
DATE: 10/14/2022
DESIGNED BY: CBS
DRAWN BY: NTD
CHECKED BY: CBS
JOB NO.: 45117

CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR CONSTRUCTION



LEGEND

	DRAINAGE STRUCTURE NUMBER		TW = 100.00		FINISHED GRADE SPOT ELEVATION AT TOP OF RETAINING WALL
	DRAINAGE PIPE NUMBER		BW = 100.00		FINISHED GRADE SPOT ELEVATION AT BOTTOM OF RETAINING WALL
	PROPOSED STORM SEWER		100		FINISHED GRADE CONTOUR (MAJOR)
	EXISTING STORM SEWER		100		FINISHED GRADE CONTOUR (MINOR)
	RETAINING WALL		100		EXISTING GRADE CONTOUR (MAJOR)
	FINISHED GRADE SPOT ELEVATION		100		EXISTING GRADE CONTOUR (MINOR)
	EXISTING GRADE SPOT ELEVATION		←		PROPOSED SURFACE FLOW DIRECTION



SCALE: 1"=50' XREF
SCALE IN FEET

REVISION	DATE	BY	CHKD	APPD

ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL

C-201
GRADING AND DRAINAGE PLAN

902 North Sinclair Ave.
Tavares, Florida 32780
Office: 352.343.8481
Fax: 352.343.8485
Certificate of Authorization Number: 33380

DATE:	10/14/2022
DESIGNED BY:	CBS
DRAWN BY:	NTD
CHECKED BY:	CBS
JOB NO.:	45117

CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR
CONSTRUCTION

MATCHLINE C-202

TRACT H
OPEN SPACE /
PASSIVE RECREATION

TRACT F
OPEN SPACE

TRACT G
OPEN SPACE

149
TYPE "A"
FFE = 126.18
PAD = 125.51

148
TYPE "A"
FFE = 123.54
PAD = 122.87

147
TYPE "A"
FFE = 120.91
PAD = 120.24

146
TYPE "A"
FFE = 118.43
PAD = 117.76

145
TYPE "A"
FFE = 113.75
PAD = 113.08

144
TYPE "A"
FFE = 113.75
PAD = 113.08

143
TYPE "A"
FFE = 111.22
PAD = 110.55

142
TYPE "A"
FFE = 108.70
PAD = 108.03

141
TYPE "A"
FFE = 105.19
PAD = 105.52

140
TYPE "A"
FFE = 104.40
PAD = 103.73

148
TYPE "A"
FFE = 123.54
PAD = 122.87

147
TYPE "A"
FFE = 120.91
PAD = 120.24

146
TYPE "A"
FFE = 118.43
PAD = 117.76

145
TYPE "A"
FFE = 113.75
PAD = 113.08

144
TYPE "A"
FFE = 113.75
PAD = 113.08

143
TYPE "A"
FFE = 111.22
PAD = 110.55

142
TYPE "A"
FFE = 108.70
PAD = 108.03

141
TYPE "A"
FFE = 105.19
PAD = 105.52

140
TYPE "A"
FFE = 104.40
PAD = 103.73

139
TYPE "C"
FFE = 103.33
PAD = 102.66

138
TYPE "C"
FFE = 102.47
PAD = 101.80

137
TYPE "C"
FFE = 102.11
PAD = 101.44

136
TYPE "C"
FFE = 101.76
PAD = 101.09

135
TYPE "C"
FFE = 101.41
PAD = 100.74

134
TYPE "C"
FFE = 101.06
PAD = 100.39

133
TYPE "C"
FFE = 100.71
PAD = 100.04

132
TYPE "C"
FFE = 100.36
PAD = 99.69

131
TYPE "C"
FFE = 100.01
PAD = 99.34

130
TYPE "C"
FFE = 99.66
PAD = 89.99

129
TYPE "C"
FFE = 99.31
PAD = 89.64

128
TYPE "C"
FFE = 98.96
PAD = 89.29

127
TYPE "C"
FFE = 98.61
PAD = 88.94

126
TYPE "C"
FFE = 98.26
PAD = 88.59

125
TYPE "A"
FFE = 100.60
PAD = 99.93

124
TYPE "A"
FFE = 101.51
PAD = 100.84

123
TYPE "A"
FFE = 100.67
PAD = 100.00

122
TYPE "A"
FFE = 100.97
PAD = 100.30

121
TYPE "A"
FFE = 101.27
PAD = 100.60

120
TYPE "A"
FFE = 101.57
PAD = 100.90

119
TYPE "A"
FFE = 101.87
PAD = 101.20

118
TYPE "A"
FFE = 102.17
PAD = 101.50

117
TYPE "A"
FFE = 102.47
PAD = 101.80

116
TYPE "A"
FFE = 102.77
PAD = 102.10

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FFE = 103.07
PAD = 102.40

114
TYPE "A"
FFE = 103.37
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113
TYPE "A"
FFE = 103.67
PAD = 103.00

112
TYPE "A"
FFE = 103.97
PAD = 103.30

111
TYPE "A"
FFE = 104.27
PAD = 103.60

110
TYPE "A"
FFE = 104.57
PAD = 103.90

109
TYPE "B"
FFE = 112.85
PAD = 112.18

108
TYPE "B"
FFE = 112.55
PAD = 111.88

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TYPE "B"
FFE = 112.20
PAD = 111.53

106
TYPE "B"
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PAD = 111.18

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FFE = 111.50
PAD = 110.83

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TYPE "B"
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TYPE "B"
FFE = 110.80
PAD = 110.13

102
TYPE "B"
FFE = 110.45
PAD = 109.78

101
TYPE "B"
FFE = 110.10
PAD = 109.43

100
TYPE "B"
FFE = 109.75
PAD = 109.08

99
TYPE "B"
FFE = 109.40
PAD = 108.73

98
TYPE "B"
FFE = 109.05
PAD = 108.38

97
TYPE "B"
FFE = 108.70
PAD = 108.03

96
TYPE "B"
FFE = 108.35
PAD = 107.68

95
TYPE "B"
FFE = 108.00
PAD = 107.33

94
TYPE "A"
FFE = 108.45
PAD = 107.78

93
TYPE "A"
FFE = 108.65
PAD = 107.98

92
TYPE "A"
FFE = 108.85
PAD = 108.18

91
TYPE "A"
FFE = 109.05
PAD = 108.38

90
TYPE "A"
FFE = 109.25
PAD = 108.58

89
TYPE "A"
FFE = 109.45
PAD = 108.78

88
TYPE "A"
FFE = 109.65
PAD = 108.98

87
TYPE "A"
FFE = 109.85
PAD = 109.18

86
TYPE "A"
FFE = 110.05
PAD = 109.38

85
TYPE "A"
FFE = 110.25
PAD = 109.58

84
TYPE "A"
FFE = 110.45
PAD = 109.78

83
TYPE "A"
FFE = 110.65
PAD = 109.98

82
TYPE "A"
FFE = 110.85
PAD = 110.18

81
TYPE "A"
FFE = 111.05
PAD = 110.38

80
TYPE "A"
FFE = 111.25
PAD = 110.58

79
TYPE "A"
FFE = 111.45
PAD = 110.78

78
TYPE "B"
FFE = 112.35
PAD = 111.68

77
TYPE "B"
FFE = 122.80
PAD = 122.13

76
TYPE "B"
FFE = 124.68
PAD = 124.01

75
TYPE "B"
FFE = 126.56
PAD = 125.89

74
TYPE "B"
FFE = 128.44
PAD = 127.77

73
TYPE "A"
FFE = 133.86
PAD = 133.19

72
TYPE "A"
FFE = 132.22
PAD = 131.55

71
TYPE "A"
FFE = 129.70
PAD = 129.03

70
TYPE "A"
FFE = 127.18
PAD = 126.51

69
TYPE "A"
FFE = 124.66
PAD = 123.99

68
TYPE "A"
FFE = 122.14
PAD = 121.47

67
TYPE "A"
FFE = 119.62
PAD = 118.95

66
TYPE "A"
FFE = 117.10
PAD = 116.43

65
TYPE "A"
FFE = 114.58
PAD = 113.91

64
TYPE "A"
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63
TYPE "A"
FFE = 109.54
PAD = 108.87

62
TYPE "A"
FFE = 107.02
PAD = 106.35

61
TYPE "A"
FFE = 104.50
PAD = 103.83

60
TYPE "A"
FFE = 101.98
PAD = 101.31

59
TYPE "A"
FFE = 99.46
PAD = 89.79

58
TYPE "A"
FFE = 96.94
PAD = 87.27

57
TYPE "A"
FFE = 94.42
PAD = 84.75

56
TYPE "A"
FFE = 91.90
PAD = 82.23

55
TYPE "A"
FFE = 89.38
PAD = 79.71

54
TYPE "A"
FFE = 86.86
PAD = 77.19

53
TYPE "A"
FFE = 84.34
PAD = 74.67

52
TYPE "A"
FFE = 81.82
PAD = 72.15

51
TYPE "A"
FFE = 79.30
PAD = 69.63

50
TYPE "A"
FFE = 76.78
PAD = 67.11

49
TYPE "A"
FFE = 74.26
PAD = 64.59

48
TYPE "A"
FFE = 71.74
PAD = 62.07

47
TYPE "A"
FFE = 69.22
PAD = 59.55

46
TYPE "A"
FFE = 66.70
PAD = 57.03

45
TYPE "A"
FFE = 64.18
PAD = 54.51

44
TYPE "A"
FFE = 61.66
PAD = 51.99

43
TYPE "A"
FFE = 59.14
PAD = 49.47

42
TYPE "A"
FFE = 56.62
PAD = 46.95

41
TYPE "A"
FFE = 54.10
PAD = 44.43

40
TYPE "A"
FFE = 51.58
PAD = 41.91

39
TYPE "A"
FFE = 49.06
PAD = 39.39

38
TYPE "A"
FFE = 46.54
PAD = 36.87

37
TYPE "A"
FFE = 44.02
PAD = 34.35

36
TYPE "A"
FFE = 41.50
PAD = 31.83

35
TYPE "A"
FFE = 38.98
PAD = 29.31

34
TYPE "A"
FFE = 36.46
PAD = 26.79

33
TYPE "A"
FFE = 33.94
PAD = 24.27

32
TYPE "A"
FFE = 31.42
PAD = 21.75

31
TYPE "A"
FFE = 28.90
PAD = 19.23

30
TYPE "A"
FFE = 26.38
PAD = 16.71

29
TYPE "A"
FFE = 23.86
PAD = 14.19

28
TYPE "A"
FFE = 21.34
PAD = 11.67

27
TYPE "A"
FFE = 18.82
PAD = 9.15

26
TYPE "A"
FFE = 16.30
PAD = 6.63

25
TYPE "A"
FFE = 13.78
PAD = 4.11

24
TYPE "A"
FFE = 11.26
PAD = 1.59

23
TYPE "A"
FFE = 8.74
PAD = -0.93

22
TYPE "A"
FFE = 6.22
PAD = -3.45

21
TYPE "A"
FFE = 3.70
PAD = -5.97

20
TYPE "A"
FFE = 1.18
PAD = -8.49

19
TYPE "A"
FFE = -1.34
PAD = -11.01

18
TYPE "A"
FFE = -3.86
PAD = -13.53

17
TYPE "A"
FFE = -6.38
PAD = -16.05

16
TYPE "A"
FFE = -8.90
PAD = -18.57

15
TYPE "A"
FFE = -11.42
PAD = -21.09

14
TYPE "A"
FFE = -13.94
PAD = -23.61

13
TYPE "A"
FFE = -16.46
PAD = -26.13

12
TYPE "A"
FFE = -18.98
PAD = -28.65

11
TYPE "A"
FFE = -21.50
PAD = -31.17

10
TYPE "A"
FFE = -24.02
PAD = -33.69

9
TYPE "A"
FFE = -26.54
PAD = -36.21

8
TYPE "A"
FFE = -29.06
PAD = -38.73

7
TYPE "A"
FFE = -31.58
PAD = -41.25

6
TYPE "A"
FFE = -34.10
PAD = -43.77

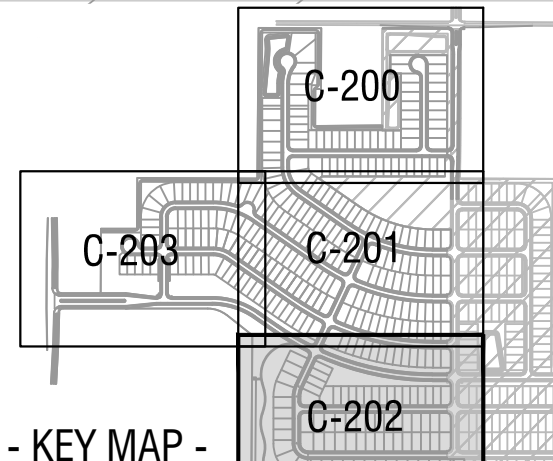
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TYPE "A"
FFE = -36.62
PAD = -46.29

4
TYPE "A"
FFE = -39.14
PAD = -48.81

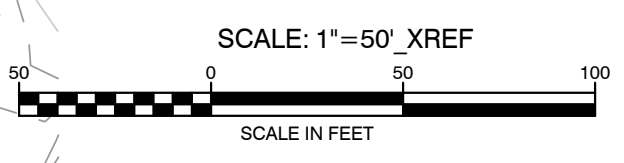
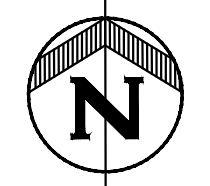
3
TYPE "A"
FFE = -41.66
PAD = -51.33

2
TYPE "A"
FFE = -44.18
PAD = -53.85

1
TYPE "A"
FFE = -46.70
PAD = -56.37



LEGEND table with symbols for drainage structures (D-200, P-200), storm sewers, retaining walls, and spot elevations (TW, BW, FFE, EXISTING).



REVISIONS table with columns for DATE, REVISION, and a grid for tracking changes.

ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL
C-202
GRADING AND DRAINAGE PLAN

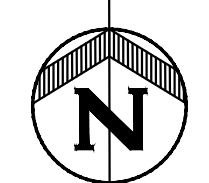
HALFF logo and contact information: 902 North Sinclair Ave., Tallahassee, Florida 32310. Office: 905.343.8481, Fax: 905.343.8485, Certificate of Authorization Number: 33580.

DATE: 10/14/2022
DESIGNED BY: CBS
DRAWN BY: NTD
CHECKED BY: CBS
JOB NO.: 45117

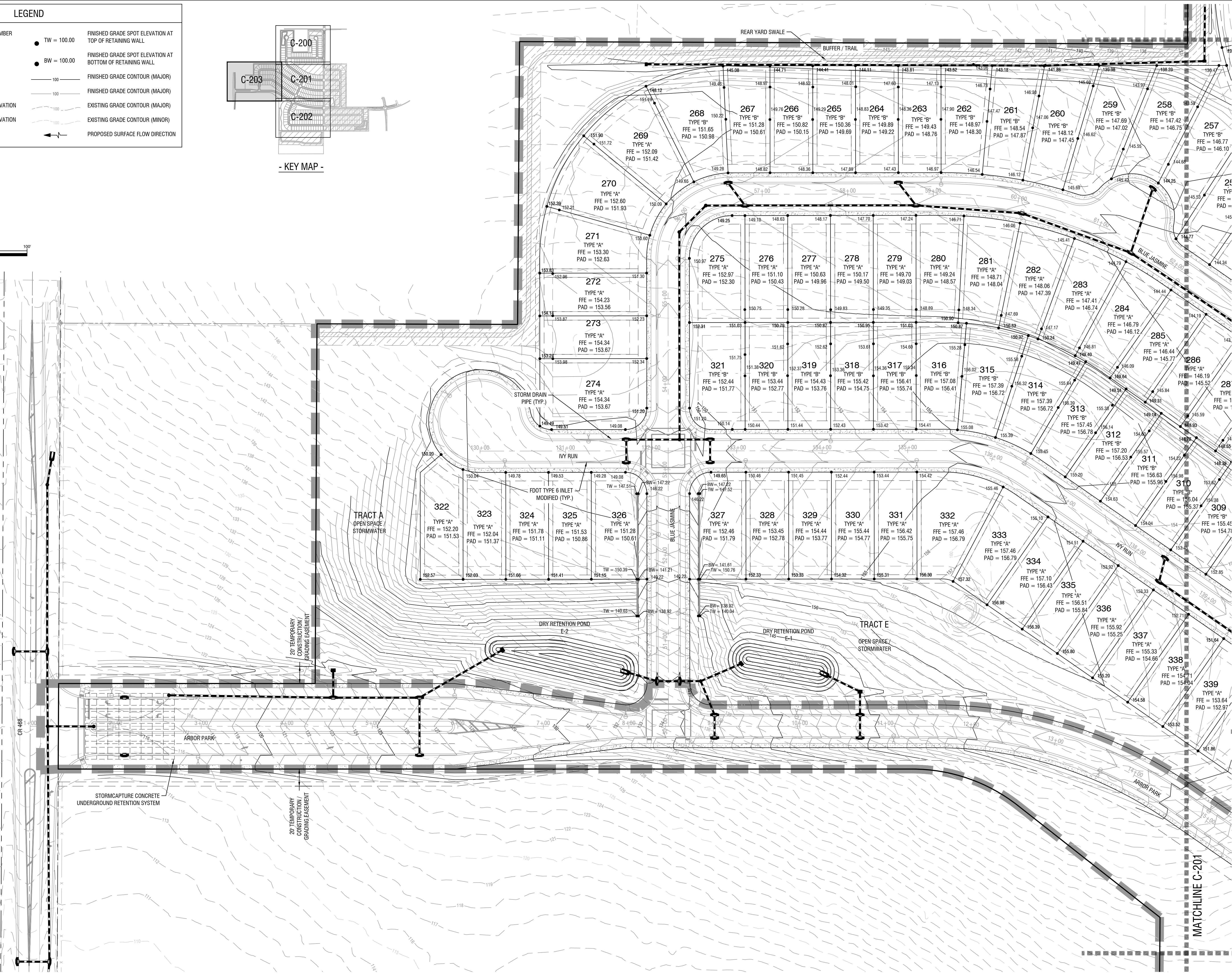
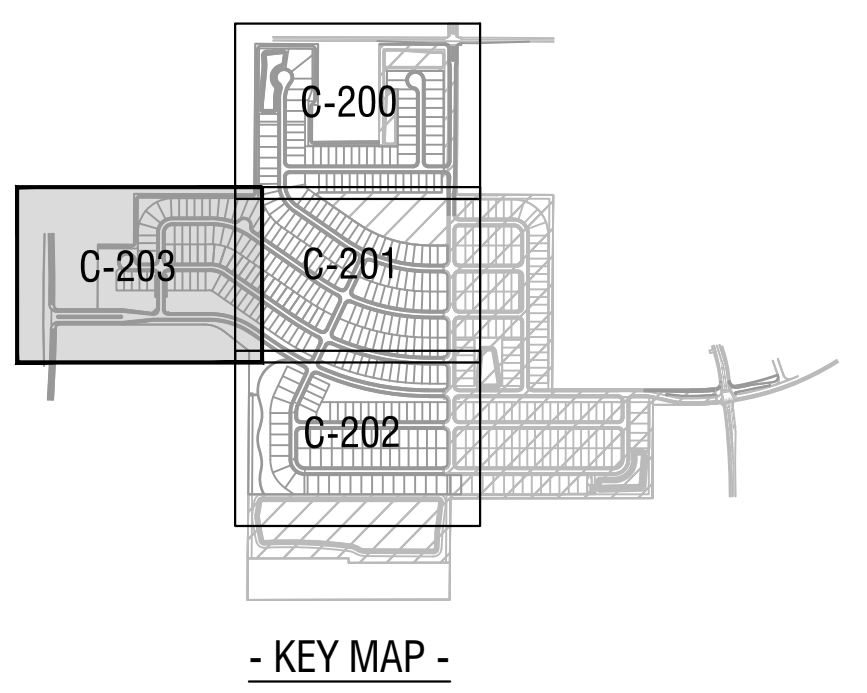
CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR CONSTRUCTION

LEGEND

D-200	DRAINAGE STRUCTURE NUMBER	● TW = 100.00	FINISHED GRADE SPOT ELEVATION AT TOP OF RETAINING WALL
P-200	DRAINAGE PIPE NUMBER	● BW = 100.00	FINISHED GRADE SPOT ELEVATION AT BOTTOM OF RETAINING WALL
---	PROPOSED STORM SEWER	---	FINISHED GRADE CONTOUR (MAJOR)
---	EXISTING STORM SEWER	---	FINISHED GRADE CONTOUR (MAJOR)
---	RETAINING WALL	---	EXISTING GRADE CONTOUR (MAJOR)
● 100.00	FINISHED GRADE SPOT ELEVATION	---	EXISTING GRADE CONTOUR (MINOR)
● 100.00	EXISTING GRADE SPOT ELEVATION	---	EXISTING GRADE CONTOUR (MINOR)
		←	PROPOSED SURFACE FLOW DIRECTION



SCALE: 1" = 50'
SCALE IN FEET



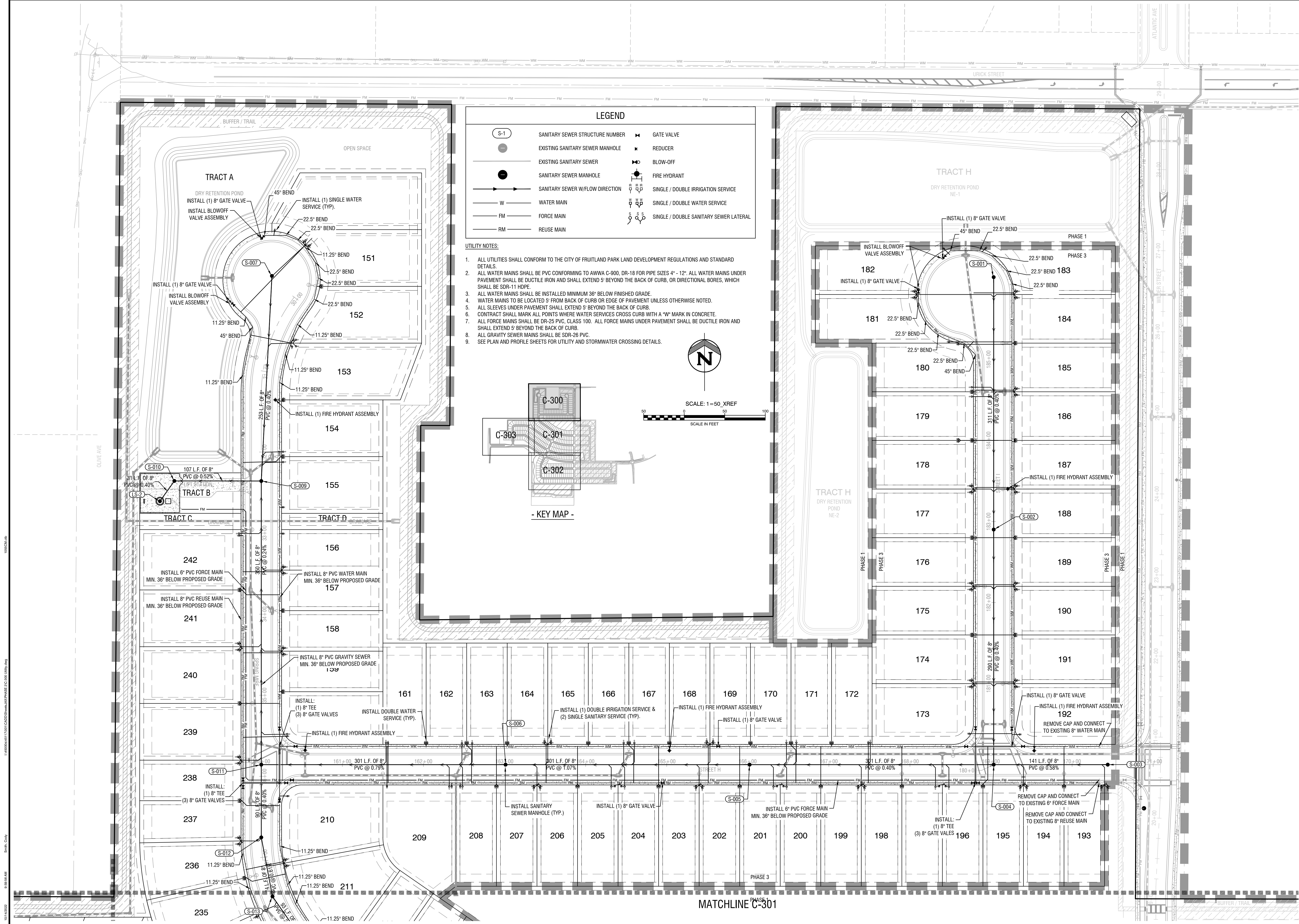
REVISION	DATE	BY	APP
1			
2			
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5			
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7			
8			
9			
10			

ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL
C-203
GRADING AND DRAINAGE PLAN

Office: 352.343.8481
Tallahassee, Florida 32378
Fax: 352.343.8485
Certificate of Authorization Number: 33360

DATE:	10/14/2022
DESIGNED BY:	CBS
DRAWN BY:	NTD
CHECKED BY:	CBS
JOB NO.:	45117

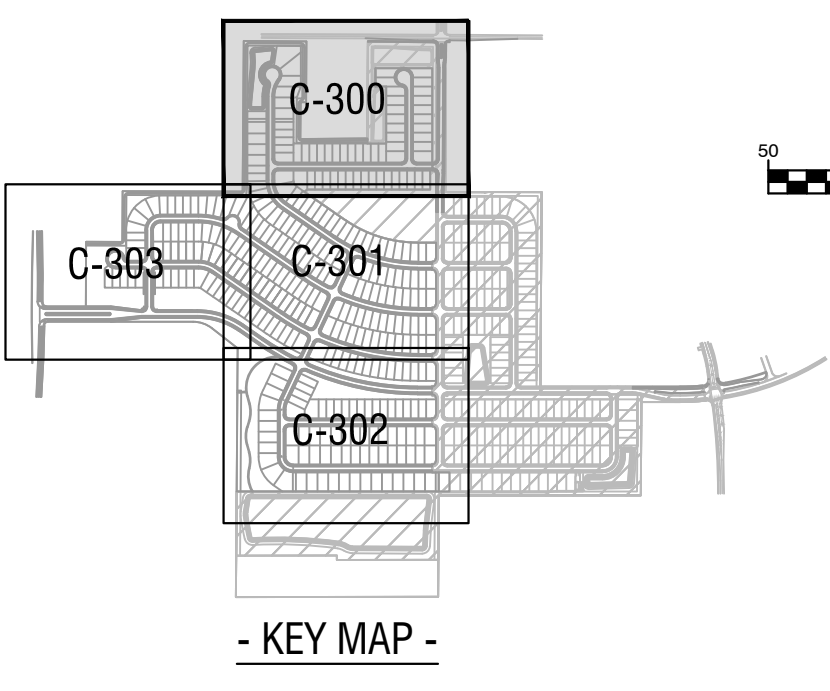
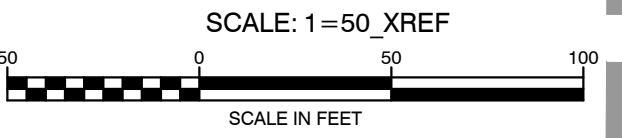
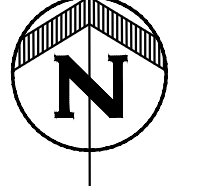
CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR CONSTRUCTION



LEGEND

(S-1)	SANITARY SEWER STRUCTURE NUMBER	⊗	GATE VALVE
●	EXISTING SANITARY SEWER MANHOLE	⊘	REDUCER
—	EXISTING SANITARY SEWER	⊕	BLOW-OFF
●	SANITARY SEWER MANHOLE	⊕	FIRE HYDRANT
→	SANITARY SEWER W/FLOW DIRECTION	⊕	SINGLE / DOUBLE IRRIGATION SERVICE
— W	WATER MAIN	⊕	SINGLE / DOUBLE WATER SERVICE
— FM	FORCE MAIN	⊕	SINGLE / DOUBLE SANITARY SEWER LATERAL
— RM	REUSE MAIN		

- UTILITY NOTES:**
1. ALL UTILITIES SHALL CONFORM TO THE CITY OF FRUITLAND PARK LAND DEVELOPMENT REGULATIONS AND STANDARD DETAILS.
 2. ALL WATER MAINS SHALL BE PVC CONFORMING TO AWWA C-900, DR-18 FOR PIPE SIZES 4" - 12". ALL WATER MAINS UNDER PAVEMENT SHALL BE DUCTILE IRON AND SHALL EXTEND 5' BEYOND THE BACK OF CURB, OR DIRECTIONAL BORES, WHICH SHALL BE SDR-11 HDPE.
 3. ALL WATER MAINS SHALL BE INSTALLED MINIMUM 36" BELOW FINISHED GRADE.
 4. WATER MAINS TO BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 5. ALL SLEEVES UNDER PAVEMENT SHALL EXTEND 5' BEYOND THE BACK OF CURB.
 6. CONTRACT SHALL MARK ALL POINTS WHERE WATER SERVICES CROSS CURB WITH A "W" MARK IN CONCRETE.
 7. ALL FORCE MAINS SHALL BE DR-25 PVC, CLASS 100. ALL FORCE MAINS UNDER PAVEMENT SHALL BE DUCTILE IRON AND SHALL EXTEND 5' BEYOND THE BACK OF CURB.
 8. ALL GRAVITY SEWER MAINS SHALL BE SDR-26 PVC.
 9. SEE PLAN AND PROFILE SHEETS FOR UTILITY AND STORMWATER CROSSING DETAILS.



REVISION	DATE	BY	DESCRIPTION
1			
2			
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6			
7			
8			

**ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL**

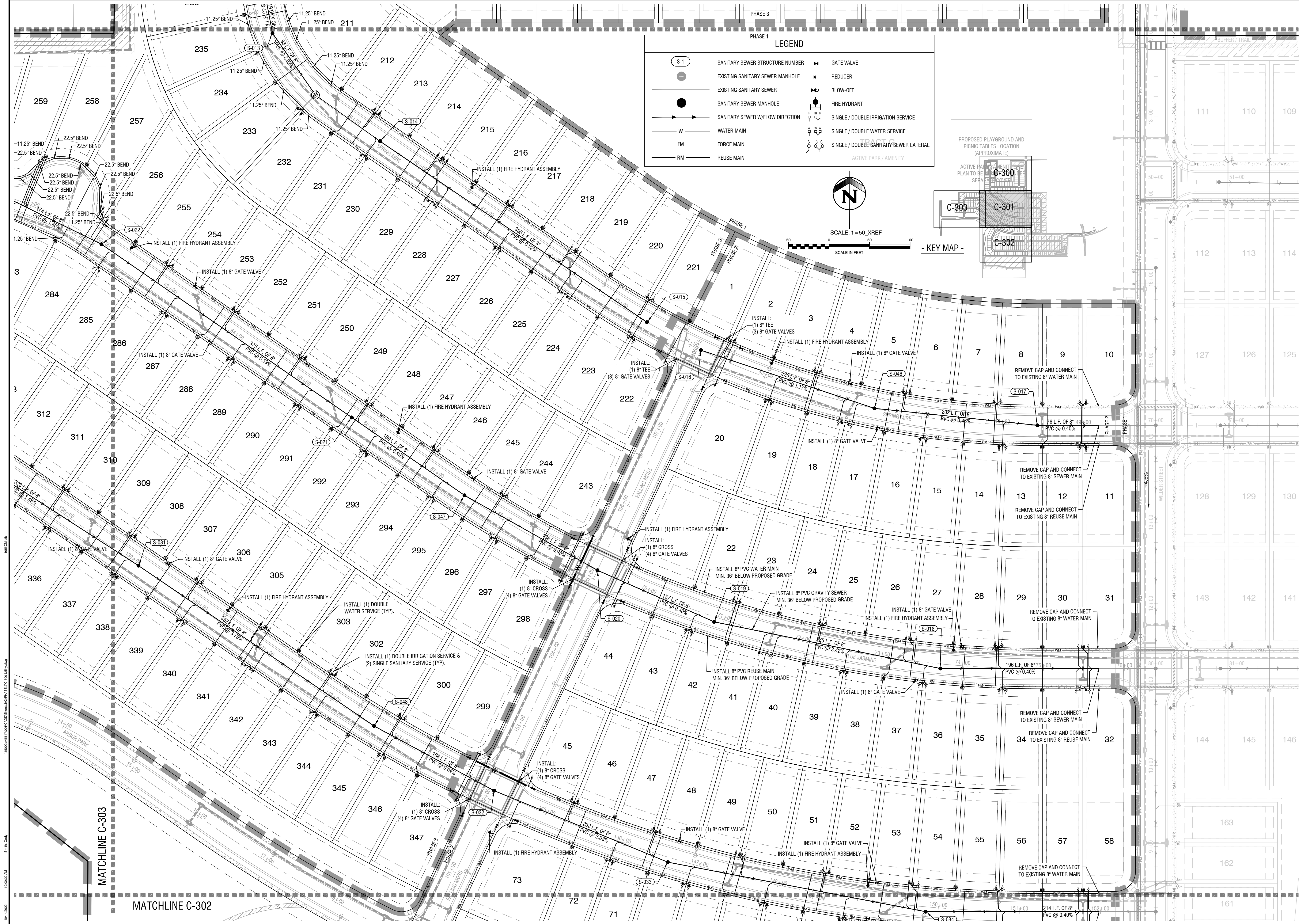
**C-300
UTILITIES PLAN**

902 North Sinclair Ave.
Tavares, Florida 32778
Office: 352.343.8481
Fax: 352.343.8485
Certificate of Authorization Number: 33360

DATE: 10/14/2022
DESIGNED BY: CBS
DRAWN BY: NTD
CHECKED BY: CBS
JOB NO.: 45117

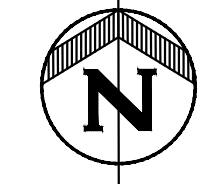
C-300

CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR CONSTRUCTION



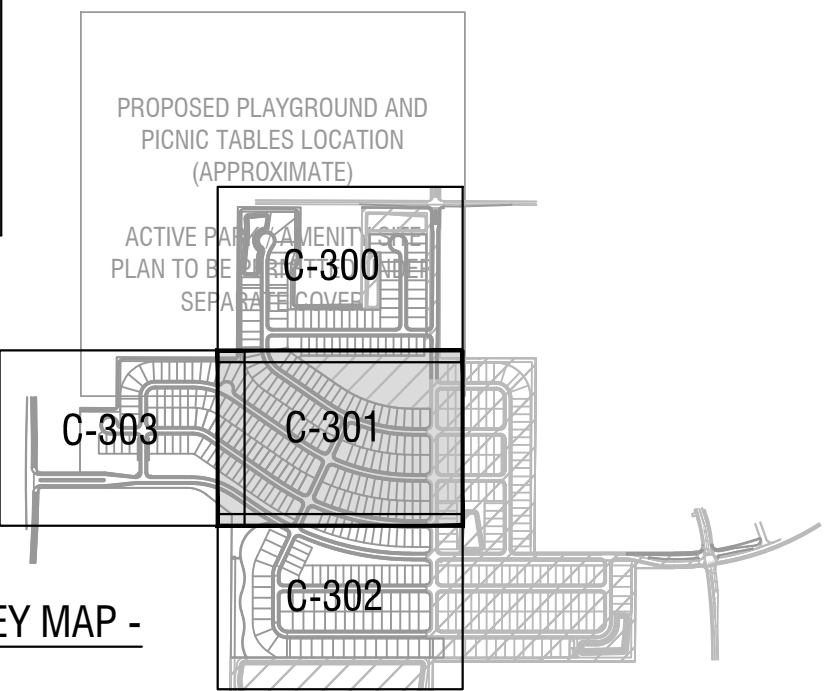
LEGEND

(S-1)	SANITARY SEWER STRUCTURE NUMBER	⌘	GATE VALVE
○	EXISTING SANITARY SEWER MANHOLE	⌘	REDUCER
—	EXISTING SANITARY SEWER	⌘	BLOW-OFF
●	SANITARY SEWER MANHOLE	⌘	FIRE HYDRANT
→	SANITARY SEWER W/FLOW DIRECTION	⌘	SINGLE / DOUBLE IRRIGATION SERVICE
W	WATER MAIN	⌘	SINGLE / DOUBLE SANITARY SERVICE
FM	FORCE MAIN	⌘	SINGLE / DOUBLE SANITARY SEWER LATERAL
RM	REUSE MAIN		



SCALE: 1"=50' XREF
SCALE IN FEET

- KEY MAP -



NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		

**ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL**

**C-301
UTILITIES PLAN**



DATE:	10/14/2022
DESIGNED BY:	CBS
DRAWN BY:	NTD
CHECKED BY:	CBS
JOB NO.:	45117

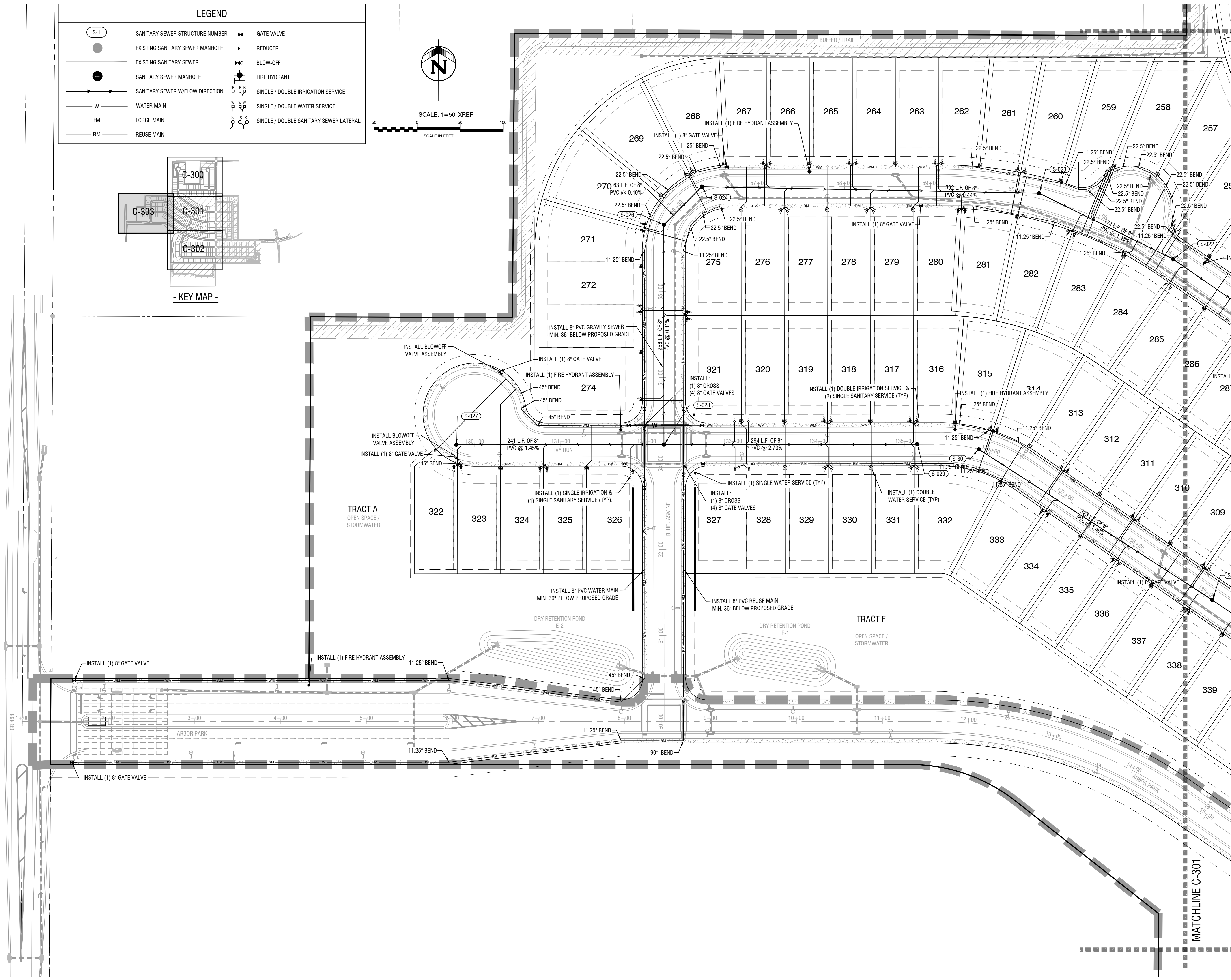
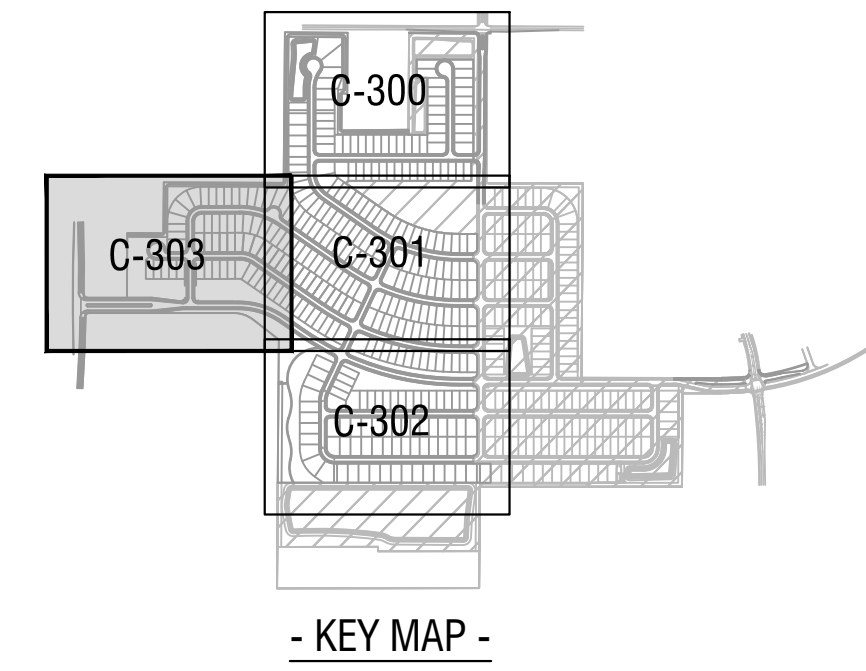
C-301

CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR
CONSTRUCTION

LEGEND

	SANITARY SEWER STRUCTURE NUMBER		GATE VALVE
	EXISTING SANITARY SEWER MANHOLE		REDUCER
	EXISTING SANITARY SEWER		BLOW-OFF
	SANITARY SEWER MANHOLE		FIRE HYDRANT
	SANITARY SEWER W/FLOW DIRECTION		SINGLE / DOUBLE IRRIGATION SERVICE
	WATER MAIN		SINGLE / DOUBLE WATER SERVICE
	FORCE MAIN		SINGLE / DOUBLE SANITARY SEWER LATERAL
	REUSE MAIN		

SCALE: 1 = 50_XREF
SCALE IN FEET



REVISION	DATE	BY	CHKD	APPD

ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL
C-303
UTILITIES PLAN

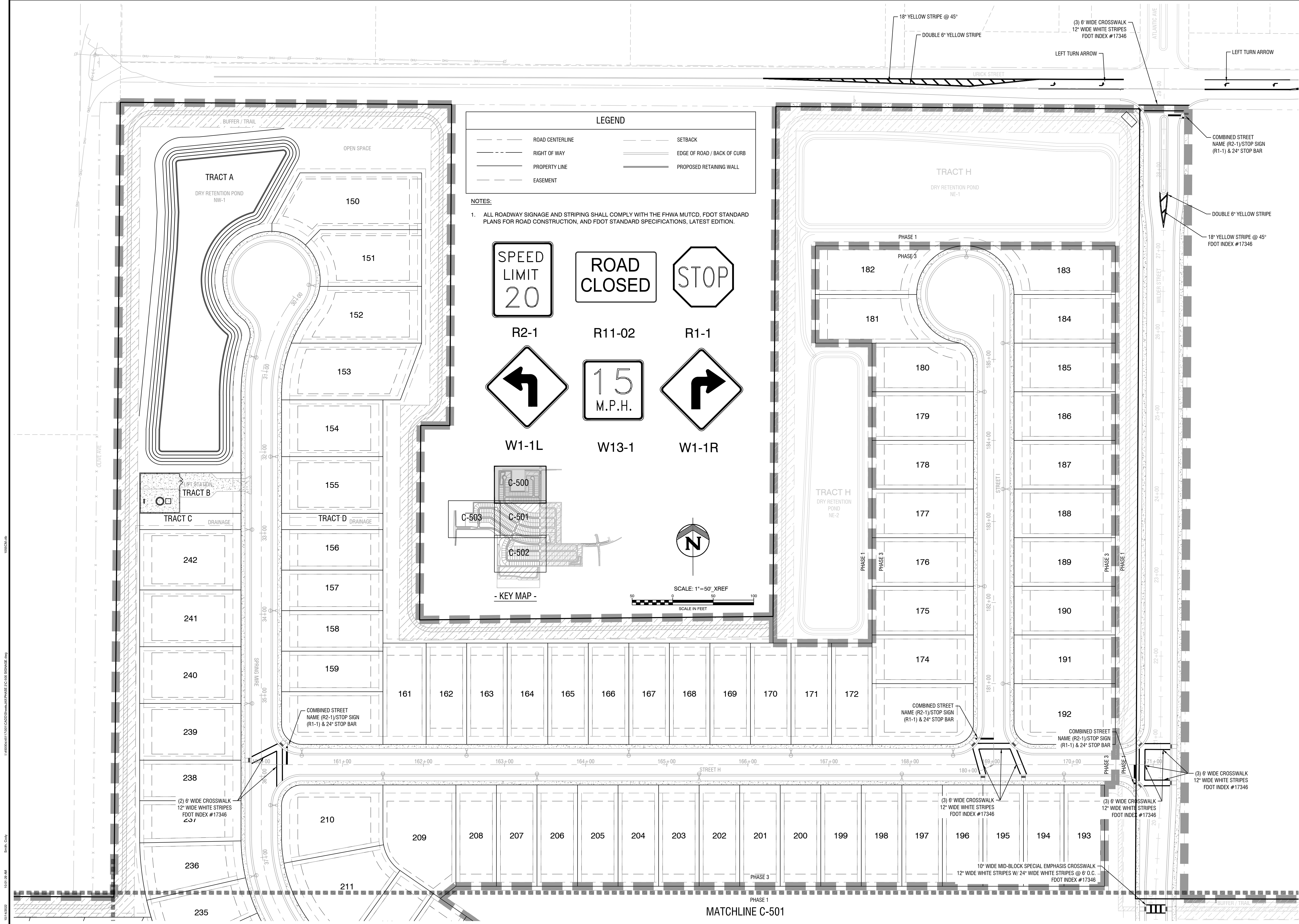
902 North Sinclair Ave.
Tallahassee, Florida 32378
Office: 352.343.8481
Fax: 352.343.8485
Certificate of Authorization Number: 33360

DATE:	10/14/2022
DESIGNED BY:	CBS
DRAWN BY:	NTD
CHECKED BY:	CBS
JOB NO.:	45117

C-303

CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR CONSTRUCTION

10/14/2022 10:11:00 AM Smith, Cory I:\90004517\2022\CADD\DWG\ARBP\PHASE 2&3\303 UTILITY.dwg 10/14/2022 10:11:00 AM

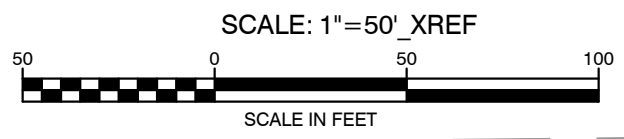
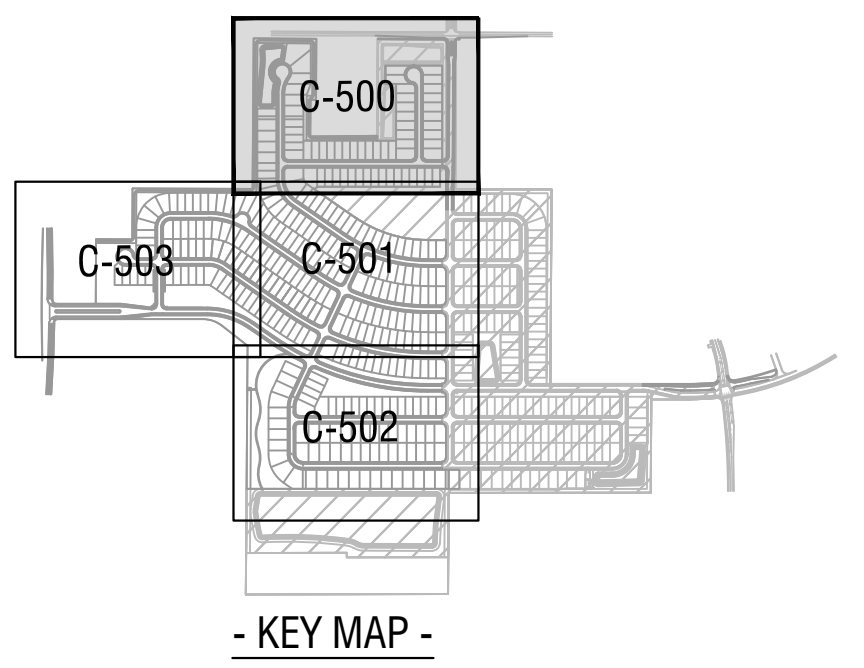


LEGEND

	ROAD CENTERLINE		SETBACK
	RIGHT OF WAY		EDGE OF ROAD / BACK OF CURB
	PROPERTY LINE		PROPOSED RETAINING WALL
	EASEMENT		

NOTES:
 1. ALL ROADWAY SIGNAGE AND STRIPING SHALL COMPLY WITH THE FHWA MUTCD, FDOT STANDARD PLANS FOR ROAD CONSTRUCTION, AND FDOT STANDARD SPECIFICATIONS, LATEST EDITION.

R2-1
 R11-02
 R1-1
 W1-1L
 W13-1
 W1-1R



REVISION	DATE	BY	NO.

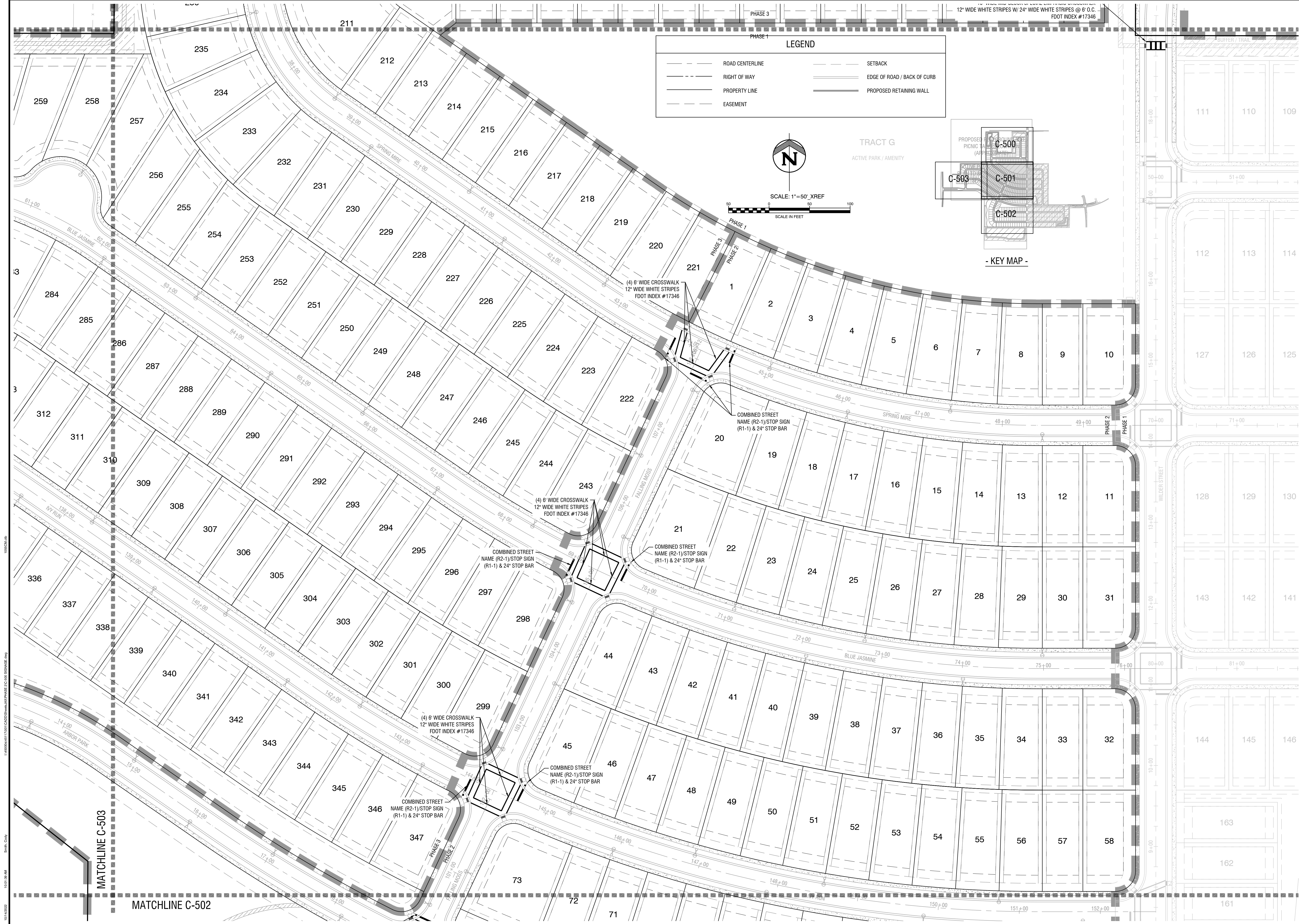
**ARBOR PARK - PHASE 2 & 3
 FRUITLAND PARK, FL
 C-500
 SIGNAGE & STRIPING PLAN**

Office: 352.343.8481
 Tallahassee, Florida 32378
 Fax: 352.343.8485
 Certificate of Authorization Number: 33360

DATE:	10/14/2022
DESIGNED BY:	CBS
DRAWN BY:	NTD
CHECKED BY:	CBS
JOB NO.:	45117

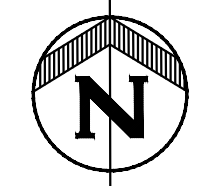
C-500

CHARLES C. HIOTT, PE
 LICENSE # 54813
 PRE-PLAT SET - NOT FOR CONSTRUCTION

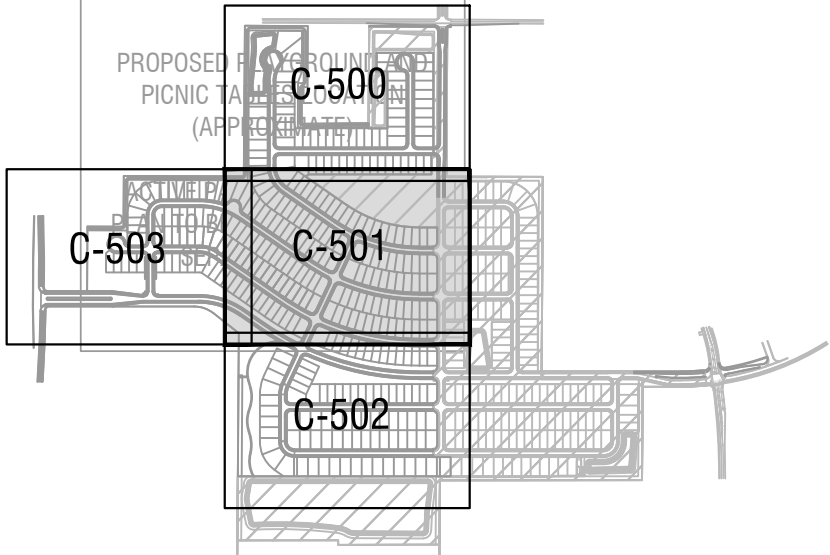


LEGEND

	ROAD CENTERLINE		SETBACK
	RIGHT OF WAY		EDGE OF ROAD / BACK OF CURB
	PROPERTY LINE		PROPOSED RETAINING WALL
	EASEMENT		



SCALE: 1"=50' XREF
SCALE IN FEET



REVISION	DATE
1	
2	
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ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL
C-501
SIGNAGE & STRIPING PLAN



DATE:	10/14/2022
DESIGNED BY:	CBS
DRAWN BY:	NTD
CHECKED BY:	CBS
JOB NO.:	45117

C-501

CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR
CONSTRUCTION

10/14/2022 10:17:39 AM Smith, Cory L:\000045117\000\DRAWING\ARBP\PHASE 2&3\000 STRIPING.dwg 100% 0.00 0.00

MATCHLINE C-502

TRACT H
OPEN SPACE /
PASSIVE RECREATION

(2) COMBINED STREET
NAME (R2-1)/STOP SIGN
(R1-1) & 24" STOP BAR

(4) 6" WIDE CROSSWALK
12" WIDE WHITE STRIPES
FDOT INDEX #17346

(2) COMBINED STREET
NAME (R2-1)/STOP SIGN
(R1-1) & 24" STOP BAR

COMBINED STREET
NAME (R2-1)/STOP SIGN
(R1-1) & 24" STOP BAR

(2) 6" WIDE CROSSWALK
12" WIDE WHITE STRIPES
FDOT INDEX #17346

TRACT G
OPEN SPACE

TRACT F
OPEN SPACE

REVISION	DATE
1	
2	
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ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL
C-502
SIGNAGE & STRIPING PLAN

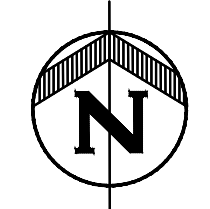
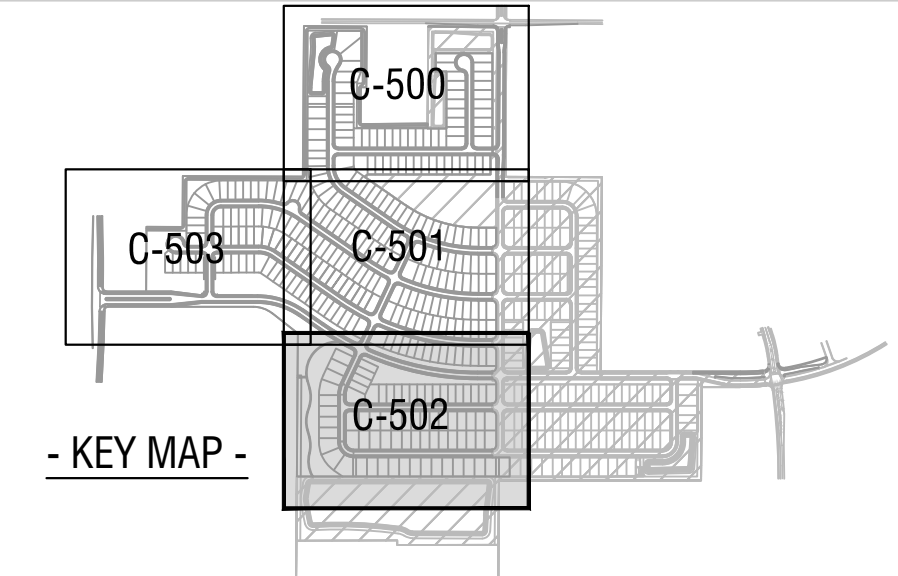


Office: 352.343.8481
Tallahassee, Florida 32378
902 North Sinclair Ave.
Tallahassee, Florida 32378
Certificate of Authorization Number: 33360

DATE: 10/14/2022
DESIGNED BY: CBS
DRAWN BY: NTD
CHECKED BY: CBS
JOB NO.: 45117

C-502

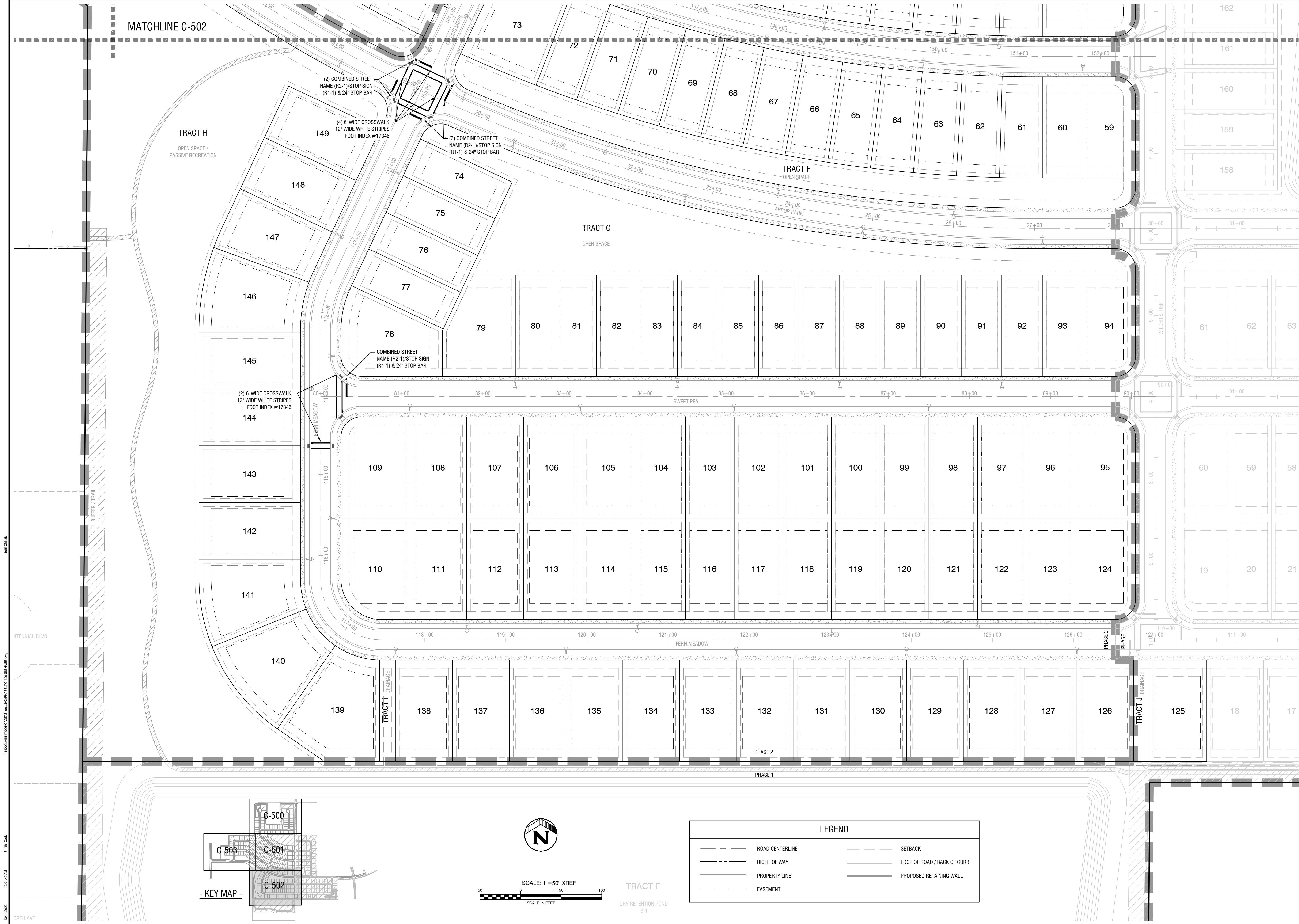
CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR
CONSTRUCTION



SCALE: 1"=50' XREF
SCALE IN FEET

LEGEND			
	ROAD CENTERLINE		SETBACK
	RIGHT OF WAY		EDGE OF ROAD / BACK OF CURB
	PROPERTY LINE		PROPOSED RETAINING WALL
	EASEMENT		

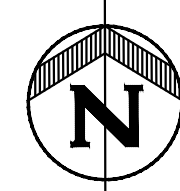
TRACT F
DRY RETENTION POND
S-1



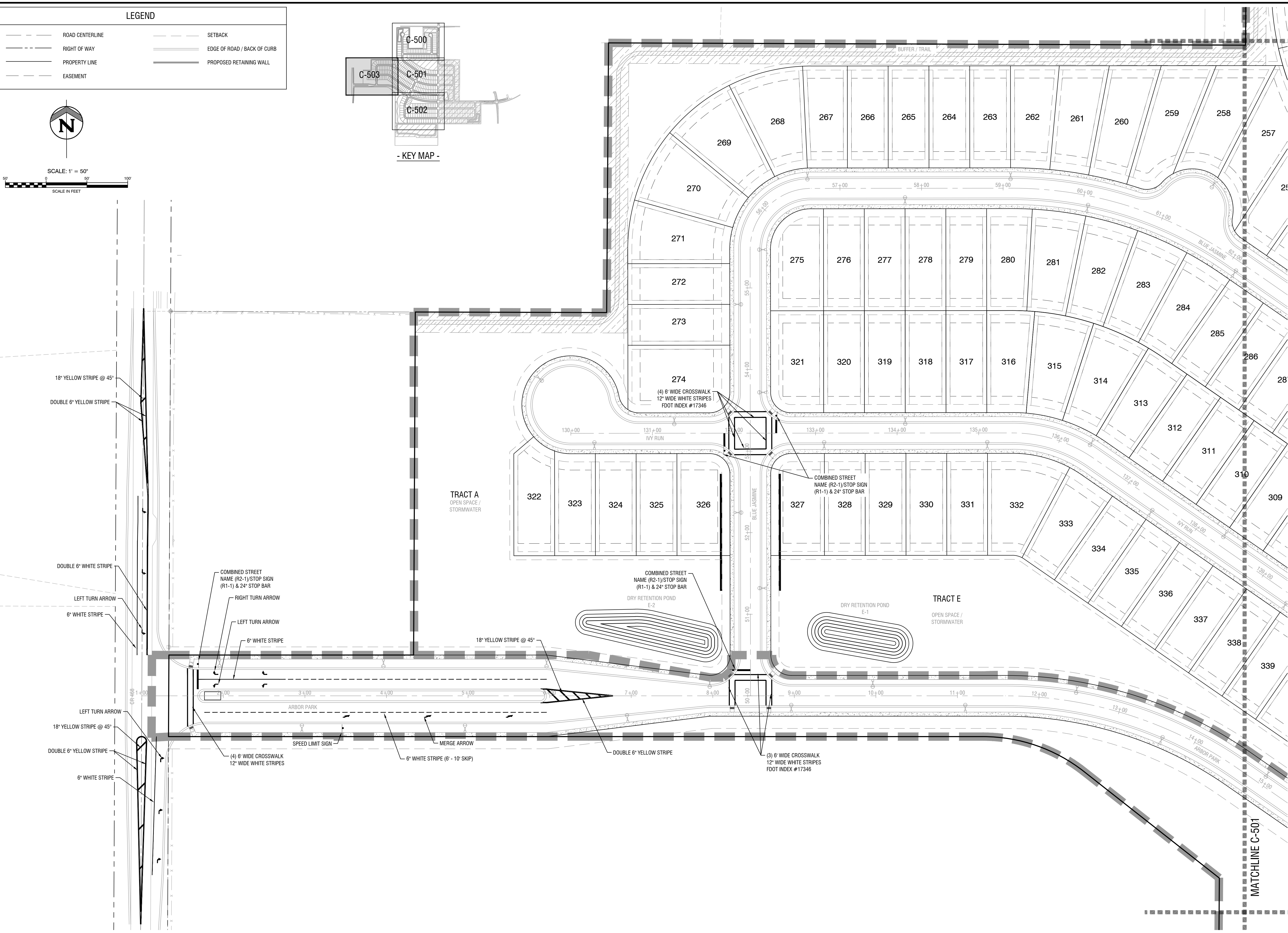
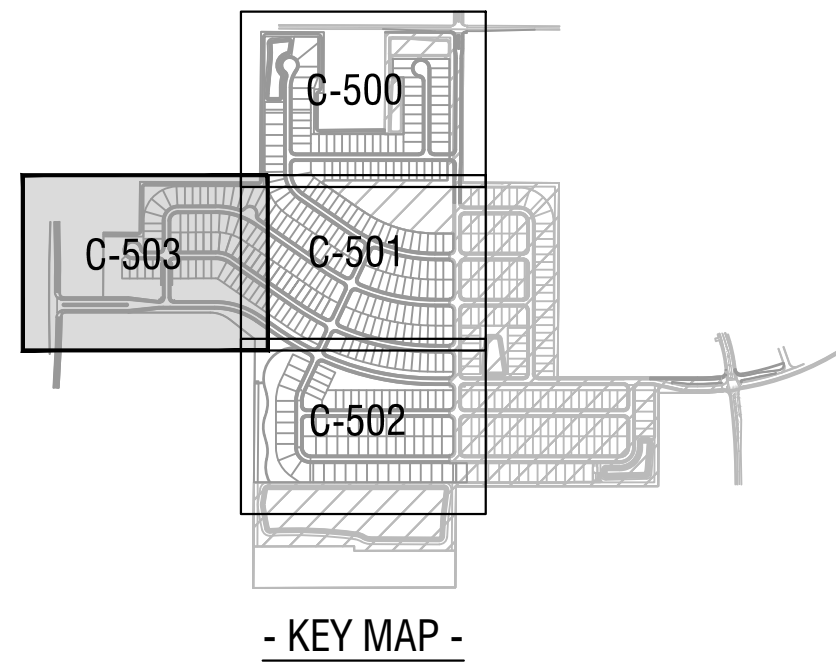
10/14/2022 10:01:49 AM Smith, Cory 1000CM.dwg I:\000045117\000\CADD\Sheet\ARBP\Phase 2\0500 STRIPING.dwg

LEGEND

- ROAD CENTERLINE
- RIGHT OF WAY
- PROPERTY LINE
- EASEMENT
- SETBACK
- EDGE OF ROAD / BACK OF CURB
- PROPOSED RETAINING WALL



SCALE: 1" = 50'
SCALE IN FEET



REVISION	DATE	BY	NO.

ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL

C-503

SIGNAGE & STRIPING PLAN

HALFF

902 North Sinclair Ave.
Tallahassee, Florida 32378
Office: 352.343.8481
Fax: 352.343.8485
Certificate of Authorization Number: 33360

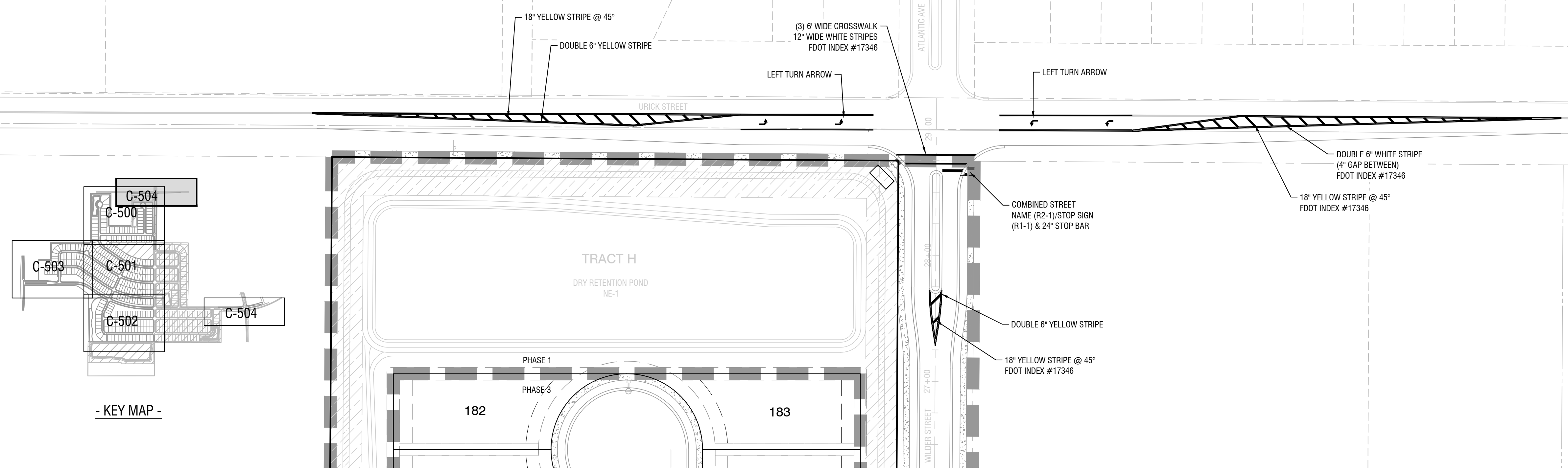
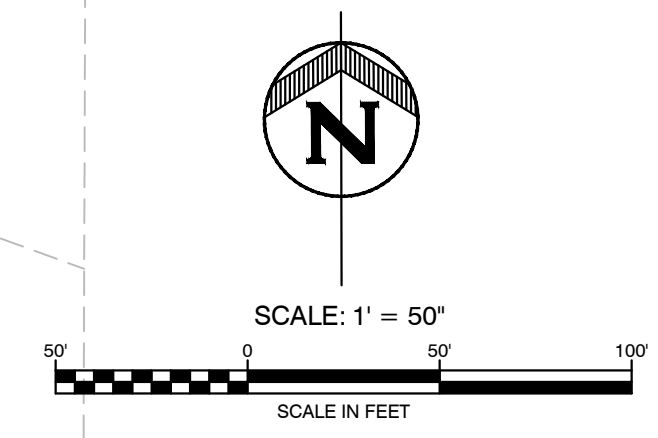
DATE:	10/14/2022
DESIGNED BY:	CBS
DRAWN BY:	NTD
CHECKED BY:	CBS
JOB NO.:	45117
C-503	

CHARLES C. HIOTT, PE
LICENSE # 54813

PRE-PLAT SET - NOT FOR CONSTRUCTION

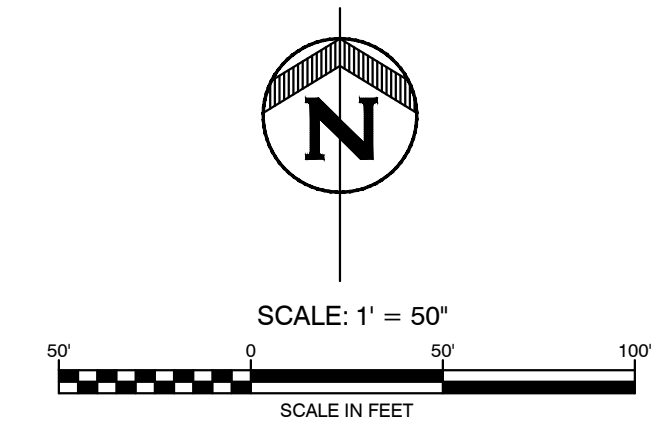
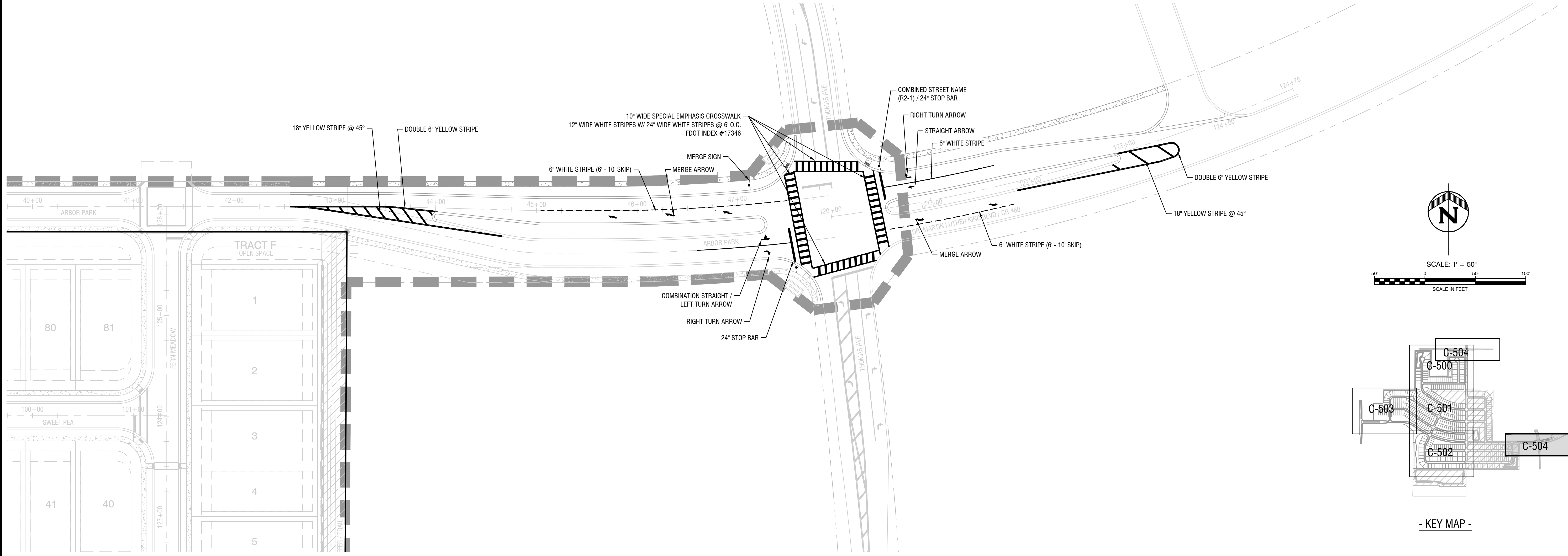
10/14/2022 10:01:39 AM Smith, Doug L:\000045117\000\CADD\DWG\ARBP\ARBP\PHASE 2&3\000 SIGNAGE.dwg 100% zoom

LEGEND	
	ROAD CENTERLINE
	RIGHT OF WAY
	PROPERTY LINE
	EASEMENT
	SETBACK
	EDGE OF ROAD / BACK OF CURB
	PROPOSED RETAINING WALL



REVISION	DATE
1	
2	
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ARBOR PARK - PHASE 2 & 3
FRUITLAND PARK, FL
C-504
SIGNAGE & STRIPING PLAN



HALFF
Office: 352.343.8481
Tallahassee, Florida 32378
Fax: 352.343.8485
Certificate of Authorization Number: 33380

DATE:	10/14/2022
DESIGNED BY:	CBS
DRAWN BY:	NTD
CHECKED BY:	CBS
JOB NO.:	45117

C-504

CHARLES C. HIOTT, PE
LICENSE # 54813
PRE-PLAT SET - NOT FOR CONSTRUCTION

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**CITY OF FRUITLAND PARK
STAFF REPORT BY LPG URBAN & REGIONAL PLANNERS, INC.**

PRELIMINARY PLAT

Owner(s): Park Square Homes – Suresh Gupta

Engineer: Halff Associates, Inc. – Charles Hiott, P.E.

General Location: South of Urick Street and East of CR 468

Number of Acres: 106.95 ± acres Phase II & III (Total Site 177.7 ± acres)

Existing Zoning: MUPUD

Existing Land Use: Mixed Use

Date: October 20th, 2022

Description of Project

A preliminary plat for Phase II and Phase III of Arbor Park, formerly known as Leesburg Fruit Company, Inc. Planned Unit Development, a 177 ± acre mixed use planned unit development located south of Urick Street and east of C.R. 468. The PUD approval includes up to 700 hundred detached single family residential units, assisted living facilities up to 220 beds, a nursing home, commercial uses consistent with C-1 uses, convenience stores with fuel operations, restaurants, banks, recreation, and sport facilities with the total commercial square footage not to exceed 48,000 square feet. Approved single family lot widths varied from 50’-70’. The average lot size is listed as 7,000 square feet and the minimum lot size is listed as 6,250 square feet.

The surrounding uses are provided in Table 1.

	Surrounding Zoning	Surrounding Land Use
North	R-3, R-2, R-1, PFD	SFLD, MFHD, Intuitional
South	County Agriculture	County Urban High Density
East	County Agriculture and Leesburg R-3	County Urban High Density
West	County R-1	County Urban Medium Density

Table 1. Surrounding Property Uses

Phase II & Phase III includes approval for 347 single family detached units on 106.95 ± acres. Lot widths range from 50’ to 70’, Table 2 provided the distribution of the lot widths. Ordinance 2019-003 requires 80% of the lots be 50’ wide, 10 percent of the lots to be 60’ wide, and the remaining 10 percent to be 70’ wide when the community is fully built out. The numbers

reflected from Phase I, II, and III, provide 80% 50' lots, 10% 60' lots, and 10% 70' lots as required in Ordinance 2019-003. Phase II and Phase III provide lot widths consistent with the intent of the approved PUD.

Lot width	Number of Lots in Phase II	Number of Lots in Phase III
50'	93	168
60'	21	20
70'	35	10

Assessment

Review Comments

Landscaping & Tree Preservation Review

A 25-foot landscaping buffer is provided along the perimeter of Phase II and III on all outside boundaries, and a 30' buffer is provided along Urick Street. A 5-foot pervious trail is within the 25-foot landscape buffer. Buffer landscape that is proposed is consistent with Chapter 164.

A tree survey is provided. Tree removal and proposed mitigation is addressed and meets the standards of Chapter 164.

Environmental Assessment

An environmental assessment by Austin Environmental Consultants, Inc, dated January 20, 2021, was submitted that covered 155 acres of the Leesburg Fruit PUD including the 106.95 ± acres of Arbor Square Fruitland Park Phase I and III. No bald eagle nests are located in proximity to proposed development. Active and inactive gopher tortoise's burrows were found on the subject property. It is recommended by the assessment that a 100% pedestrian survey be completed prior any construction activity. A FFWCC permit is required to relocate/trap gopher tortoises. Applicant is responsible to obtain any and all required state agency permits prior to commencing construction. No evidence of sand skinks was found on the property. However, a Sand Skink Coverboard Survey was performed by Austin Environmental Consultants, Inc. May 27th 2021. A 4-week formal coverboard survey detected a total of twenty (20) skink tracks within the project site on suitable habitat. The coverboard survey tracks, detected determined that 7.2 acres of the subject property contains occupied sand skink habitat and mitigation will be required from a USFWS approved Conservation Bank. No evidence of other species was found on the site.

The preliminary plat does not set aside habitat for sand skinks but instead they will be mitigating the impact by purchasing credits within an approved mitigation bank.

Onsite soils consist of four (4) soil types: Apopka sand 0-5 percent slopes), Candler fine sand (0-5 percent slopes), Candle fine sand (5 to 12 percent slopes), and Tavares sand (0-5 percent slopes).

Recommendation

- Staff recommends approval subject to engineering approval.