



506 WEST BERCKMAN STREET  
FRUITLAND PARK, FL 34731

PHONE: 352 360-6727  
FAX: 352 360-6652

<b>Board Members:</b> Al Goldberg, Chairman Daniel Dicus, Vice Chair Carlisle Burch Fred Collins Walter Birriel	<b>Others:</b> Dwayne Williams, Community Dev. Director Sharon Williams, Assistant to the Director Emily Church, Office Assistant
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**AGENDA**  
**PLANNING & ZONING BOARD**  
**MARCH 17, 2022**  
**6:00 PM**

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- I. **INVOCATION AND PLEDGE OF ALLEGIANCE:**
  - II. **ROLL CALL:**
  - III. **MEETING NOTES FROM PREVIOUS MEETING:** Meeting notes from February 1, 2022 included for review/comment.
  - IV. **OLD BUSINESS:** NONE

**NEW BUSINESS:**

**A. Countryside Baptist Church – Annexation (Alternate Key: 1287499)**

Application submitted application on behalf of Countryside Baptist Church Ministries, Inc., by Mr. Jim Richardson “Agent”, ERA Grizzard Real Estate. Owners are seeking to annex approximately 0.973 ± acres currently being utilized by the church for grass overflow parking; site also has an existing single-family residence. The subject site is generally located north of Register Road and east of US Hwy 27/441. The property is adjacent to the city limits and is therefore eligible for annexation.

As a condition of annexation, a “Utility Agreement” was executed to ensure Fruitland Park utility services will be provided to the parcel. An existing fire hydrant is located on private property and not readily accessible to protect the residential parcel. Therefore, it is necessary for the owner to install a fire hydrant as well as extend the city’s existing water main to the easternmost boundary of the residential parcel and connect the church parcel and the residential parcel to the city’s water utility system.

Staff recommends annexation approval.

**B. Countryside Baptist Church – Small Scale Comprehensive Plan Amendment (Alternate Key: 1287499)**

Application submitted on behalf of Countryside Baptist Church Ministries, Inc., by Mr. Jim Richardson "Agent", ERA Grizzard Real Estate. Application for the proposed SSCPA is to amend the property generally located at 2811 Register Road, north of Register Road and east of US Hwy 27/441 from the future land use designation of Lake County Urban Medium Density to Single Family Medium Density (approximately 0.287 ± acres of property, where the home is located); AND from Lake County Urban Medium to Institutional (approximately 0.686 ± acres of property, where grass overflow parking is located) on the Future Land Use Map of the City of Fruitland Park's Comprehensive Plan. The amendment is considered a reduction in density and intensity and considered to have a de minimis effect on public facilities.

Staff recommends small scale comprehensive plan amendment approval.

**C. Countryside Baptist Church – Rezoning (Alternate Key: 1287499)**

Application submitted on behalf of Countryside Baptist Church Ministries, Inc., by Mr. Jim Richardson "Agent", ERA Grizzard Real Estate. Application to rezone 0.973 ± total acres of property generally located at 2811 Register Road. A portion of the site (approximately 0.686 ± acres) currently used for grassed overflow parking associated with the church will be rezoned from R-7 to PFD - Public Facilities District. A second portion of the site (approximately 0.287 ± acres) where an existing single-family residence is located, will be rezoned from Lake County R-1 to R-2 (Single Family Low Density).

Staff recommends rezoning approval.

**D. Countryside Baptist Church – Variance (Alternate Key: 1287499)**

Application submitted on behalf of Countryside Baptist Church Ministries, Inc., by Mr. Jim Richardson "Agent", ERA Grizzard Real Estate. The existing SF residence built in 1962 maintains a front setback of 15' from the property line; the City's LDRs require a front setback of 20'. Additionally, the R-2 zoning designation requires a minimum lot size of 20,000 sq. ft. and a minimum living area of 1,200 sq. ft.

The applicant is requesting a variance to allow for a 15' front setback for the house, a minimum lot size of 12,501.72 ± sq. ft. and a minimum living area of 944 sq. ft. The existing front setback within Lake County is considered a grandfathered non-conforming structure. A variance would be necessary in order to make the existing home conforming and allow for financing. Conditions of the variance may require that if the existing structure is demolished, any new structure would need to comply with the front setback of 20 feet.

Staff recommends approval of variance.

**E. Park Square Homes (Arbor Park) – Preliminary Plan (Alternate Key: 1289866, 1289874, 1289904, 1430411, 1639808, 1699959, 1772435, 3540468, 3691334, 3900702)**

Application submitted on behalf of Park Square Homes by Suresh Gupta and Hiott Engineering (Chuck Hiott). Applicant is requesting approval of Preliminary Plan to construct a total of 163 Single Family Homes on approximately 177.7± acres. The proposed development is expected to be constructed in phases. Phase 1 will encompass approximately 38.7% ± or 68.77 ± acres.

Staff recommends approval of preliminary plan.

**BOARD MEMBERS' COMMENTS:**

**PUBLIC COMMENTS:**

This section is reserved for members of the public to bring up matters of concern or opportunities for praise. Note: Pursuant to F.S. 286.0114 and the City of Fruitland Park's Public Participation Policy adopted by Resolution 2013-023, members of the public shall be given a reasonable opportunity to be heard on propositions before the Planning and Zoning Board. Pursuant to Resolution 2013-023, public comments are limited to three minutes.

**ADJOURNMENT:**



506 WEST BERCKMAN STREET  
FRUITLAND PARK, FL 34731

PHONE: 352 360-6727  
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<b>Board Members:</b> Al Goldberg, Chairman Daniel Dicus, Vice Chair Carlisle Burch Fred Collins Walter Birriel	<b>Others:</b> Dwayne Williams, Community Development Director Sharon Williams, Assistant to the Director Emily Church, Office Assistant
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**MEETING MINUTES**  
**PLANNING & ZONING BOARD**  
**FEBRUARY 17, 2022**  
**6:00PM**

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- I. **INVOCATION AND PLEDGE OF ALLEGIANCE:** Lead by Sharon Williams
- II. **ROLL CALL:** All Board Members were present; present also were staff (CDD Dwayne Williams, LPG Michael Rankin and Assistant to the Director Sharon Williams). City Attorney requested to be excused.
- III. **MINUTES FROM PREVIOUS MEETING:** Approve regular Planning and Zoning Board meeting minutes from December 16, 2021. Motion by Board members Collins and Second by Board member Dicus. Approved 5-0.
- IV. **OLD BUSINESS:** None
- V. **NEW BUSINESS:**

**A. 7-Eleven Site Plan & Minor Lot Split (Alternate Key: 2748770 & 1282896)**

Major Site Plan and minor lot split applications were submitted by William "Bill" Lloyd of 441 Lake Ella, LLC on behalf of Fruitland Lake Ella, LLC. Parcel is currently zoned General Commercial (C-2) and is located west of US Highway 27/441 & Eagle Nest Road. Subject property is part of a larger tract of land ( $\pm 5.49$  acres). A lot split will be processed simultaneously with the site plan as only a portion of the property will be purchased for development. Due to changes in the original site plan submission (previously approved with conditions; see Resolution 2021-045), a new site plan was necessary. The **new** site plan submission includes: (1) drainage changes, (2) retention pond changes, (3) changes to property boundaries sold for development, as well as (4) ingress/egress changes. The proposed plan is to construct a 4,650 SF convenience store (including gas pumps) with associated 980 SF car wash. Permits are anticipated for

FDOT traffic signalization and Lake Ella extension permit, permit for right turn lane from driveway (notice of intent) and drainage permit.

LPG Rankin provided an overview of the development application and introduced, on behalf of the development, Jeremy Anderson, Civil Engineer of Common Oak Engineering, 1209 Edgewater Drive, Orlando, FL.

Mr. Anderson stated the development was back before the P&Z Board due to changes to the [improved] site plan, a lot split and modification to traffic and pedestrian signalizations. As a matter of note, he stated the pedestrian crossing will be stripped for the entire four crossings at the intersection. Public improvements includes force main utility extension and shared access to the adjoining property.

Mr. Anderson further stated the property is located in a closed basin which means they have to hold a greater amount of stormwater. Initially, underground stormwater chambers (as there was insufficient space to add above-ground retention) were planned. The cost of construction, however, was found to be cost prohibitive. Consequently, the developer went back to the seller to expand the property to be purchased. The negotiated expansion of the property allowed an increase to accommodate an above ground stormwater retention pond (the underground stormwater chambers will be removed).

The property is currently under contract and expected to closed in early March. Once approved by Commission, a portion of the property will be deeded to Lake County for right-of-way for the Lake Ella extension.

LPG Rankin recommended approval. Motion to Major site plan and lot split approval made by Board Member Burch and second by Board Member Collins. Approved 5-0.

- VI. **BOARD MEMBERS' COMMENTS:** LPG Rankin thanked the P&Z Board for approval of the LDRs, adopted by Commission on 2/10/22; stated clean copies are forthcoming. He further noted the LPG presentation made at the 2/10/22 Commission meeting involving a potential overlay district for the city. Workshops will determine what is envisioned by City Commission, staff and citizens of the community.

**PUBLIC COMMENTS:** None

This section is reserved for members of the public to bring up matters of concern or opportunities for praise. Note: Pursuant to F.S. 286.0114 and the City of Fruitland Park's Public Participation Policy adopted by Resolution 2013-023, members of the public shall be given a reasonable opportunity to be heard on propositions before the Planning and Zoning Board. Pursuant to Resolution 2013-023, public comments are limited to three minutes.

**ADJOURNMENT:** Meeting adjourned at 6:18 P.M.

**ORDINANCE 2022-008**

**AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, AMENDING THE BOUNDARIES OF THE CITY OF FRUITLAND PARK FLORIDA, IN ACCORDANCE WITH THE PROCEDURE SET FORTH IN SECTION 171.044, FLORIDA STATUTES, TO INCLUDE WITHIN THE CITY LIMITS APPROXIMATELY 0.973 ± ACRES OF LAND GENERALLY LOCATED NORTH OF REGISTER ROAD AND EAST OF U.S. HIGHWAY 27/441; DIRECTING THE CITY MANAGER TO PROVIDE CERTIFIED COPIES OF THIS ORDINANCE AFTER APPROVAL TO THE CLERK OF THE CIRCUIT COURT, THE LAKE COUNTY MANAGER AND THE DEPARTMENT OF STATE OF THE STATE OF FLORIDA; PROVIDING FOR SCRIVENER'S ERRORS, SEVERABILITY AND CONFLICTS; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, a petition has been submitted Jim Richardson – ERA Grizzard Real Estate, as Applicant, on behalf of Countryside Baptist Church Ministries, Incorporated, Owner, requesting that approximately 0.973 ± acres of real property generally located north of Register Road and east of U.S. Highway 27/441 (the “Property”) be annexed to and made a part of the City of Fruitland Park; and

**WHEREAS**, the petition bears the signature of all applicable parties; and

**WHEREAS**, this Ordinance has been advertised as required by law with a copy of said notice sent via certified mail to the Board of County Commissioners of Lake County as provided for by statute; and

**WHEREAS**, the Planning and Zoning Board considered this ordinance at a public meeting; and

**WHEREAS**, the Property is contiguous to the City limits and is reasonably compact; and

**WHEREAS**, the City Commission has determined that the area proposed for annexation meets the requirements of §171.044, Florida Statutes; and

**NOW, THEREFORE, BE IT ORDAINED** by the City Commission of the City of Fruitland Park, Florida, as follows:

Section 1. The recitals set forth above are hereby adopted as legislative findings of the City Commission of the City of Fruitland Park.

Section 2. The following described property consisting of approximately 0.973 acres of land generally located north of Register Road and east of U.S. Highway 27/441, contiguous to the City limits, is hereby incorporated into and made part of the City of Fruitland Park Florida. The property is more particularly described as follows:

**LEGAL DESCRIPTION:**

**The North 239.67 feet of the West 177 feet of the East 531 feet of the Northeast ¼ of the Northeast ¼ of Section 4, Township 19 South, Range 24 East, Lake County, Florida LESS Right of Way to the South.**

**Parcel Alternate Key No. 1287499**

Section 3. Upon this Ordinance becoming effective, the property annexed shall be subject to all laws, ordinances, and regulations enforced in the City of Fruitland Park, and shall be entitled to the same privileges and benefits as other parts of the City of Fruitland Park upon the effective date of the annexation. Except that the property annexed in this Ordinance is subject to the Land Use Plan of the Lake County Comprehensive Plan and county zoning regulations until the City adopts the Comprehensive Plan Amendments to include the property annexed in the City Comprehensive Plan.

Section 4. The City Clerk shall forward a certified copy of this Ordinance to the Clerk of the Circuit Court, the County Manager of Lake County, Florida, and the Department of State of Florida within seven (7) days after its passage on second and final reading. It shall further be submitted to the Office of Economic and Demographic Research within 30 days of approval along with a statement specifying the population census effect and the affected land area. F.S. 171.091, Florida Statutes.

Section 5. Scrivener's errors in the legal description may be corrected without a public hearing or at public meeting, by re-recording the original ordinance or a certified copy of the ordinance and attaching the correct legal description.

Section 6. If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

Section 7. All ordinances and parts of ordinances to the extent in conflict with this Ordinance are hereby repealed.

Section 8. This Ordinance shall become effective immediately upon passage by the City Commission of the City of Fruitland Park.

**PASSED AND ORDAINED** in regular session of the City Commission of the City of Fruitland Park, Lake County, Florida, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Chris Cheshire, Mayor  
City of Fruitland Park, Florida

(SEAL)

ATTEST:

\_\_\_\_\_  
Esther Coulson, CMC, City Clerk

Approved as to Form:

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Anita Geraci-Carver, City Attorney

Vice-Mayor Gunter	_____	(Yes),	_____	(No),	_____	(Abstained),	_____	(Absent)
Commissioner DeGrave	_____	(Yes),	_____	(No),	_____	(Abstained),	_____	(Absent)
Commissioner Mobilian	_____	(Yes),	_____	(No),	_____	(Abstained),	_____	(Absent)
Commissioner Bell	_____	(Yes),	_____	(No),	_____	(Abstained),	_____	(Absent)
Mayor Cheshire	_____	(Yes),	_____	(No),	_____	(Abstained),	_____	(Absent)

Passed First Reading \_\_\_\_\_  
Passed Second Reading \_\_\_\_\_



**EXHIBIT A**  
**Legal Description**



**City of Fruitland Park, Florida**  
**Community Development Department**  
 506 W. Berckman St., Fruitland Park, Florida 34731  
 Tel: (352) 360-6727 Fax: (352) 360-6652  
 www.fruitlandpark.org

Staff Use Only

Case No.: \_\_\_\_\_  
 Fee Paid: \_\_\_\_\_  
 Receipt No.: \_\_\_\_\_

## Development Application

**Contact Information:**

Owner Name: Countryside Baptist Church Ministries, Incorporated     John W. Stricklen - Pastor  
 Address: 2805 Register Rd, Fruitland Park, FL 34731  
 Phone: 352-223-3616     Email: jonasem2002@aol.com

Applicant Name: Jim Richardson - ERA Grizzard Real Estate  
 Address: 1300 Citizens Blvd, Suite 300, Leesburg, FL 34748  
 Phone: 352-874-7606     Email: jrichardson@eragrizzard.com

Engineer Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_     Email: \_\_\_\_\_

**Property and Project Information:**

**PROJECT NAME\*:** Church House Register Rd  
\*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: 2811 Register Rd, Fruitland Park, FL 34731

Parcel Number(s): 04-19-24-0001-000-00701     Section: 04     Township: 19     Range 24

Area of Property: .973 Acres     Nearest Intersection: North Dixie Ave and US HWY 27/441

Existing Zoning: Half is R-7 and half is R-1 (Lake County)     Existing Future Land Use Designation: R-1 (Lake County)

Proposed Zoning: R-1     Proposed Future Land Use Designation: R-1

The property is presently used for: Overflow Church Parking

The property is proposed to be used for: Overflow Church Parking

Do you currently have City Utilities? No

**Application Type:**

- |  |  |   |  |
|--|--|---|--|
| <input checked="" type="checkbox"/> Annexation | <input type="checkbox"/> Comp Plan Amendment   | <input type="checkbox"/> Rezoning               | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance              | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat          |
| <input type="checkbox"/> Minor Lot Split       | <input type="checkbox"/> Preliminary Plan      | <input type="checkbox"/> Construction Plan      | <input type="checkbox"/> ROW/Plat Vacate     |
| <input type="checkbox"/> Site Plan             | <input type="checkbox"/> Minor Site Plan       | <input type="checkbox"/> Replat of Subdivision  |  |

Please describe your request in detail: We would like to annex this property into the City of Fruitland Park.

**Required Data, Documents, Forms & Fees**

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Printed Name: Jim Richardson

Signature:      Date: 5/2/2021

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

## Development Application Checklist

### The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd)     Current Deed     Aerial Photo  
 Property Appraiser Information     Electronic Copy of Application     Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through [www.lakecountyfl.gov/maps/](http://www.lakecountyfl.gov/maps/). Note: All maps are required to depict adjacent properties at a minimum.

**Failure to provide adequate maps may delay the application process.**

### Other Required Analyses and Maps:

#### Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment     Environmental Constraints Map     Requested FLU Map

#### Large Scale Comprehensive Plan Amendment Applications:

Maps:     Environmental Constraints     Soils     Requested FLUM Designation     Requested Zoning Map Designation

Analyses:     Environmental Assessment     Utility Availability Analysis     Urban Sprawl Analysis     School Impact Analysis  
 Traffic Impact Analysis     Consistency with the Comp Plan     Florida Master Site File sign-off or Archaeological Survey

Rezoning Applications:     Requested Zoning Map     Justification for Rezoning

#### Planned Development Applications:

Maps/Plans:     Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G     Environmental Constraints

Analyses:     Environmental Assessment     Traffic Impact Analysis     Preliminary Concurrency Analysis

Variance Applications:     Justification for Variance

Special Exception Use Applications:     Justification for Special Exception Use  
 Site Sketch     List of Special Requirements as Described in LDRs, Chapter 155

Conditional Use Permit Applications:     Proposed List of Conditions and Safeguards  
 Site Plan as Described in LDRs, Chapter 155     Written Statement as Described in LDRs, Chapter 155

Subdivision Applications:     As Described in LDRs, Chapter 157  
(Preliminary Plan, Improvement Plan and Final Plat)

Minor Subdivision Applications:     As Described in LDRs, Chapter 157

Site Plan Applications:     As Described in LDRs, Chapter 160

OWNER'S AFFIDAVIT

STATE OF FLORIDA

COUNTY OF LAKE

Before me the undersigned authority, personally appeared John W. Stricklen - Pastor

\_\_\_\_\_, who being by me first duly sworn on oath deposes and says:

- 1) That he/she is the fee-simple owner of the property legally described on attached page of this application.
- 2) That he/she desires to annex 2811 Register Rd into the City of Fruitland Park to allow \_\_\_\_\_

Rezone the annexed parcel

and split the parcel into two parcels

- 3) That he/she has appointed Jim Richardson - ERA Grizzard Real Estate to act as agent on his/her behalf to accomplish the above. The owner is required to complete the Applicant's Affidavit of this application if no agent is appointed to act on his/her behalf.

*John W. Stricklen*  
 Affiant (Owner's Signature)

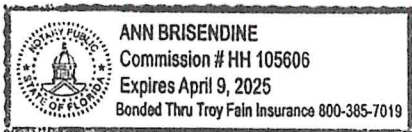
State of Florida

County of Lake

The Foregoing instrument was acknowledged before me this 22 day of April, 20 21,  
 by John W. Stricklen who is personally known to me or has produced  
FL Drivers License as identification and who did or did not take an oath  
 (Notary Seal)

Notary Public - State of Florida  
 Commission No ## 105606  
 My Commission Expires Apr 9, 2025

*Ann Brisendine*  
 Signature  
Ann Brisendine  
 Printed Name



**2021 FLORIDA NOT FOR PROFIT CORPORATION ANNUAL REPORT**

**FILED**  
**Mar 15, 2021**  
**Secretary of State**  
**0217385674CC**

DOCUMENT# N98000003114

**Entity Name:** COUNTRYSIDE BAPTIST CHURCH MINISTRIES,  
INCORPORATED

**Current Principal Place of Business:**

2805 REGISTER ROAD  
FRUITLAND PARK, FL 34731

**Current Mailing Address:**

2805 REGISTER ROAD  
FRUITLAND PARK, FL 34731 US

**FEI Number:** 59-3507931

**Certificate of Status Desired:** No

**Name and Address of Current Registered Agent:**

STRICKLEN, JOHN W  
2805 REGISTER RD  
FRUITLAND PARK, FL 34731 US

*The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.*

**SIGNATURE:**

\_\_\_\_\_  
Electronic Signature of Registered Agent

\_\_\_\_\_  
Date

**Officer/Director Detail :**

Title PASTOR  
Name STRICKLEN, JOHN W  
Address P.O. BOX 636  
City-State-Zip: FRUITLAND PARK FL 34731

Title DEACON  
Name CLARK, EDDIE  
Address 2461 S. U.S.HWY 27/441  
City-State-Zip: FRUITLAND PARK FL 34731

Title DEACON  
Name WALDON, DOT  
Address 36 TREVINO DR.  
City-State-Zip: LADY LAKE FL 32159

Title DEACON  
Name SMITH, ROBERT  
Address 30921 CHEROKEE AVE.  
City-State-Zip: LEESBURG FL 34748

Title TREASURER  
Name CLARK, EDDIE RAY  
Address 29420 DAVID CT.  
City-State-Zip: TAVARES FL 32778

Title SECRETARY  
Name STRICKLEN, JUDY  
Address P.O. BOX 636  
City-State-Zip: FRUITLAND PARK FL 34731

*I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 617, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.*

SIGNATURE: JOHN W. STRICKLEN

PASTOR

03/15/2021

\_\_\_\_\_  
Electronic Signature of Signing Officer/Director Detail

\_\_\_\_\_  
Date

APPLICANT AFFIDAVIT

STATE OF FLORIDA

COUNTY OF LAKE

Before me the undersigned authority, personally appeared Jim Richardson

\_\_\_\_\_, who being by me first duly sworn on oath deposes and says:

- 1) That he/she affirms and certifies that he/she understands and will comply with all ordinances, regulations, and provisions of the City of Fruitland Park, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his/her knowledge and belief, and further that this application and attachments shall become part of the Official Records of the City of Fruitland Park, Florida, and are not returnable.
- 2) That the submittal requirements for the application have been completed and attached hereto as part of that application.
- 3) That he/she desires to annex 2811 Register Rd into the City of Fruitland Park to allow \_\_\_\_\_  
Rezone the annexed parcel  
and split the parcel into two parcels

[Handwritten Signature]

Affiant (Applicant's Signature)

State of Florida  
County of Lake

The Foregoing instrument was acknowledged before me this 22 day of April, 20 21,  
by Jim Richardson who is personally known to me, or has produced  
\_\_\_\_\_ as identification and who did or did not take an oath

(Notary Seal)

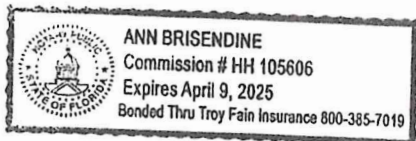
Notary Public - State of Florida  
Commission No HH 105606  
My Commission Expires Apr. 9, 2025

Ann Brisendine

Signature

Ann Brisendine

Printed Name



# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	COUNTRYSIDE BAPTIST CHURCH MINISTRIES INC	<b>Alternate Key:</b>	1287499
<b>Mailing Address:</b>	2805 REGISTER RD FRUITLAND PARK, FL 34731 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b>	04-19-24-0001-000-00701
		<b>Millage Group and City:</b>	0001 (UNINCORPORATED)
		<b>2020 Total Certified Millage Rate:</b>	14.7312
<b>Property Location:</b>	2811 REGISTER RD FRUITLAND PARK FL 34731 <a href="#">Update Property Location</a>	<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a>
		<b>Property Name:</b>	-- <a href="#">Submit Property Name</a>
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> <a href="#">School Boundary Maps</a>
<b>Property Description:</b>	N 239.67 FT OF W 177 FT OF E 531 FT OF NE 1/4 OF NE 1/4 ORB 4483 PG 1971		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	SINGLE FAMILY (0100)	88	114		88	FF	\$0.00	\$6,151.00
2	MANUFACTURED HOME (0230)	177	126		177	FF	\$0.00	\$11,202.00
3	VACANT RESIDENTIAL (0000)	88	114		88	FF	\$0.00	\$5,988.00

[Click here for Zoning Info](#)      [FEMA Flood Map](#)

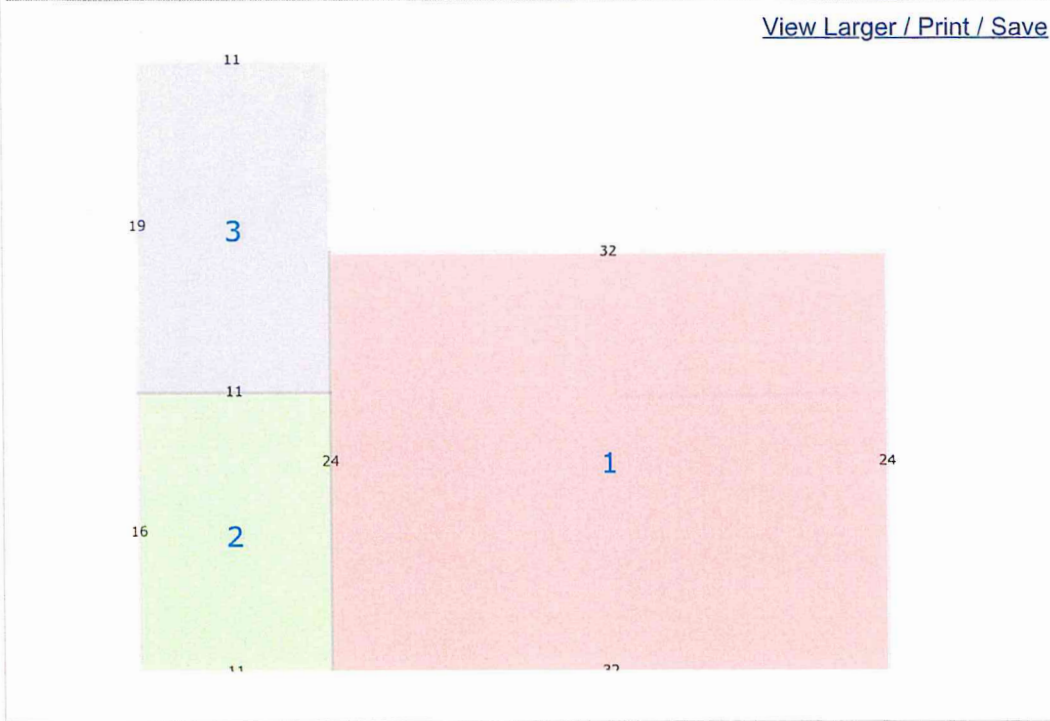
## Residential Building(s)

### Building 001

Residential	Single Family	Building Value: \$27,718.00						
<b>Summary</b>								
Year Built: 1962	Total Living Area: 944	Central A/C: Yes	Attached Garage: No					
Bedrooms: 2	Full Bathrooms: 1	Half Bathrooms: 0	Fireplaces: 0					
<a href="#">Incorrect Bedroom, Bath, or other information?</a>								
<b>Section(s)</b>								
Section No.	Section Type	Ext. Wall Type	No. Stories	Floor Area	Finished Attic	Basement	Basement Map Finished	Color
1	FINISHED LIVING AREA (FLA)	Block (002)	1	768	N	0%	0%	
2	FINISHED LIVING AREA (FLA)	Block (002)	1	176	N	0%	0%	

3 UTILITY / STORAGE Block 1 209 N 0% 0%  
 FINISHED BLOCK (SBF) (002)

[View Larger / Print / Save](#)



**Miscellaneous Improvements**

No.	Type	No. Units	Unit Type	Year	Depreciated Value
0001	CARPORT/POLE SHED - UNFINISHED (UCP)	190	SF	2010	\$416.00

**Sales History**

**NOTE:** This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">4483 / 1971</a>	5/28/2014	Warranty Deed	Unqualified	Improved	\$58,000.00
<a href="#">1395 / 458</a>	9/1/1995	Quit Claim Deed	Unqualified	Improved	\$0.00

[Click here to search for mortgages, liens, and other legal documents.](#)

**Values and Estimated Ad Valorem Taxes**

Values shown below are 2021 WORKING VALUES that are subject to change until certified. The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$51,475	\$51,475	\$51,475	5.03270	\$259.06
LAKE COUNTY MSTU AMBULANCE	\$51,475	\$51,475	\$51,475	0.46290	\$23.83
LAKE COUNTY MSTU FIRE	\$51,475	\$51,475	\$51,475	0.47040	\$24.21
SCHOOL BOARD STATE	\$51,475	\$51,475	\$51,475	3.70100	\$190.51
SCHOOL BOARD LOCAL	\$51,475	\$51,475	\$51,475	2.99800	\$154.32
LAKE COUNTY MSTU STORMWATER	\$51,475	\$51,475	\$51,475	0.49570	\$25.52
ST JOHNS RIVER FL WATER MGMT DIST	\$51,475	\$51,475	\$51,475	0.22870	\$11.77



LAKE COUNTY VOTED DEBT SERVICE	\$51,475	\$51,475	\$51,475	0.11000	\$5.66
LAKE COUNTY WATER AUTHORITY	\$51,475	\$51,475	\$51,475	0.33680	\$17.34
NORTH LAKE HOSPITAL DIST	\$51,475	\$51,475	\$51,475	0.89500	\$46.07
				<b>Total:</b>	<b>Total:</b>
				14.7312	\$758.29

### Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

### Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: \$0.00


### Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

NOTE: Should a determination be made that a property no longer meets the criteria for a bona fide agricultural purpose, a formal denial will be mailed on or before July 1 of the applicable tax year.

## Assessment Reduction Savings

The assessment reductions marked with a  above are providing a tax dollar savings of: **\$0.00**

---

**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

Copyright © 2014 Lake County Property Appraiser. All rights reserved.  
Property data last updated on April 4, 2021.

**Site Notice**

Prepared by and Return to:  
Ann Gibbs  
Liberty Title Mt. Dora  
3800 Lake Center Loop, Ste B5  
Mount Dora, Florida 32757

File Number: 34028  
Sales Price: \$



### General Warranty Deed

Made this May 28, 2014 A.D. By **Bertha A. Perry, AKA Bertha Lee Perry, an unmarried woman**, whose post office address is: 2811 Register Rd., Fruitland Park, Fl. 34731, hereinafter called the grantor, to **Countryside Babbist Church Ministries, Inc., a Florida Corporation**, whose post office address is: 2805 Register Rd., Fruitland Park, Fl. 34731, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Lake County, Florida, viz:

The North 239.67 feet of the West 177 feet of the East 531 feet of the Northeast 1/4 of the Northeast 1/4 of Section 4, Township 19 South, Range 24 East, Lake County, Florida LESS Right of Way to the South.

Parcel ID Number: 0419240001-000-00701

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2013.

**In Witness Whereof**, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Ann Gibbs  
Witness Signature  
Witness Printed Name **Ann Gibbs**

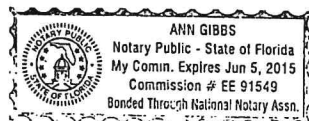
Bertha A. Perry, AKA Bertha Lee Perry, Rodney Wofford <sup>Attorney in fact</sup> (Seal) <sub>rw</sub>  
Bertha A. Perry, AKA Bertha Lee Perry by Rodney Wofford,  
her attorney in fact  
Address: 2811 Register Rd., Fruitland Park, Fl. 34731

Tom GIZZARD  
Witness Signature  
Witness Printed Name **Tom GIZZARD**

State of Florida  
County of Lake

The foregoing instrument was acknowledged before me this May 28, 2014, by Rodney Wofford <sup>rw</sup>, attorney in fact for Bertha A. Perry, AKA Bertha Lee Perry, an unmarried woman, who is/are personally known to me or who has produced a valid drivers license as identification.

(Seal)



Ann Gibbs  
Notary Public  
Print Name:

My Commission Expires: **Ann Gibbs**

## Legal Descriptions

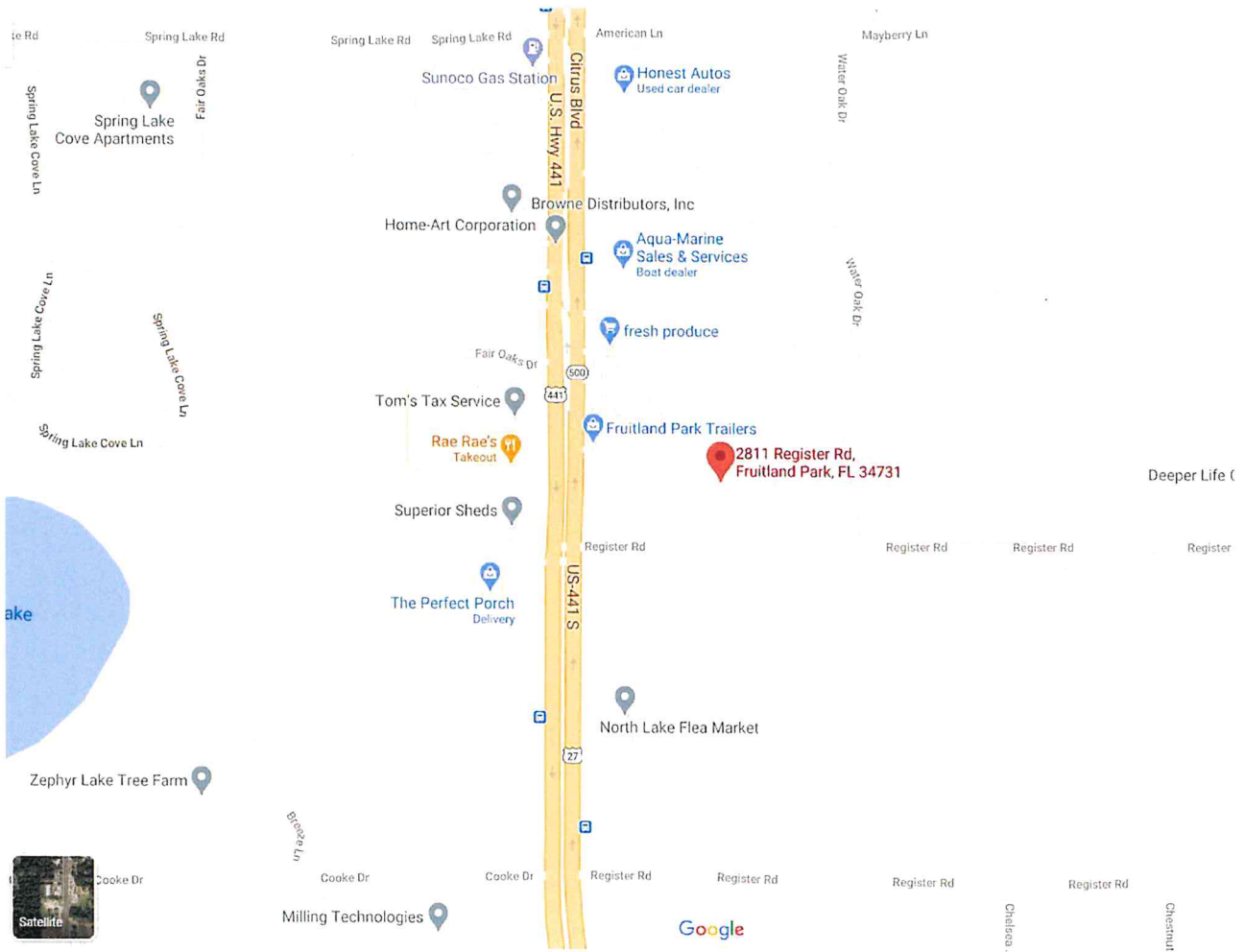
### **Parcel 1** (Vacant Land) – “Exhibit A”

The North 239.67 Feet of the West 177 feet of the East 531 feet of the Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  of Section 4, Township 19 South, Range 24 East, Lake County, Florida. Less and except the South 119 feet of the East 92 feet; less right of way to the South.

### **Parcel 2** (House) – “Exhibit B”

The South 119 feet of the East 92 feet of the following described parcel; The North 239.67 Feet of the West 177 feet of the East 531 feet of the Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  of Section 4, Township 19 South, Range 24 East, Lake County, Florida less right of way to the South.

# LOCATION MAP



**ORDINANCE 2022-004**

**AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA PROVIDING FOR A SMALL SCALE COMPREHENSIVE PLAN AMENDMENT BY AMENDING THE FUTURE LAND USE DESIGNATION FROM LAKE COUNTY URBAN MEDIUM TO SINGLE FAMILY MEDIUM DENSITY ON THE FUTURE LAND USE MAP OF THE CITY OF FRUITLAND PARK'S COMPREHENSIVE PLAN FOR APPROXIMATELY 0.287 ± ACRES OF PROPERTY LOCATED AT 2811 REGISTER ROAD GENERALLY LOCATED NORTH OF REGISTER ROAD AND EAST OF U.S. HIGHWAY 27/441; DIRECTING THE CITY CLERK TO TRANSMIT THE AMENDMENT TO THE APPROPRIATE GOVERNMENTAL AGENCIES PURSUANT TO CHAPTER 163, FLORIDA STATUTES; AUTHORIZING THE CITY MANAGER TO AMEND SAID COMPREHENSIVE PLAN; PROVIDING FOR SEVERABILITY AND SCRIVENER'S ERRORS; REPEALING ALL ORDINANCES IN CONFLICT HEREWITH; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, a petition has been received from Jim Richardson – ERA Grizzard Real Estate. as applicant, on behalf of Countryside Baptist Church Ministries, Incorporated, as Owner, requesting that real property within the city limits of the City of Fruitland Park be assigned a land use designation of “Institutional” under the Comprehensive Plan for the City of Fruitland Park; and

**WHEREAS**, the required notice of the proposed small scale comprehensive plan amendment has been properly published as required by Chapter 163, Florida Statutes; and

**WHEREAS**, the Planning and Zoning Commission of the City of Fruitland Park and the Local Planning Agency for the City of Fruitland Park have reviewed the proposed amendment to the Comprehensive Plan and have made recommendations to the City Commission of the City of Fruitland Park.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF FRUITLAND PARK, FLORIDA, AS FOLLOWS:**

**Section 1:** The following described property consisting of approximately 0.287 ± acres located at 2811 Register Road, north of Register Road and east of U.S. Hwy27/441 as described on Exhibit “A” shall be assigned a land use designation of Single Family Medium Density under the City of Fruitland Park Comprehensive Plan as depicted on the map attached hereto as Exhibit “B” and incorporated herein by reference.

**Section 2:** A copy of said Land Use Plan Amendment is filed in the office of the City Manager of the City of Fruitland Park as a matter of permanent record of the City, matters and contents therein are made a part of this ordinance by reference as fully and completely as if set forth herein, and such copy shall remain on file in said office available for public inspection.

**Section 3. Direction to the City Manager.**

Upon the Effective Date of this ordinance, the City Manager is hereby authorized to amend the comprehensive plan and future land-use map as identified herein after compliance with F.S. 163.3187 and F.S. 163.3184(11).

**Section 4. Severability**

Upon a determination that by a court of competent jurisdiction that a portion of this ordinance or the comprehensive plan adopted hereby is void, unconstitutional or unenforceable, all remaining portions shall remain in full force and effect.

**Section 5. Scrivener's Errors.**

Scrivener's errors in the legal description may be corrected without a public hearing or at public meeting, by re-recording the original ordinance or a certified copy of the ordinance and attaching the correct legal description.

**Section 6. Conflicts.**

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

**Section 7. Adoption**

After adoption, a copy hereof shall be forwarded to the Department of Economic Opportunity.

**Section 8. Effective Date**

This ordinance shall become effective upon the 31<sup>st</sup> day after adoption unless timely challenged, and then will become effective upon the date a final order is issued by the Department of Economic Opportunities or Administration Commission finding the amendment in compliance in accordance with Section 163.3187, Florida Statutes. No development permits or land uses dependent on this amendment may be issued or commence before it has become effective.

**PASSED AND ORDAINED** in regular session of the City Commission of the City of Fruitland Park, Lake County, Florida, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Chris Cheshire, Mayor  
City of Fruitland Park, Florida

(SEAL)

ATTEST:

Approved as to Form:

\_\_\_\_\_  
Esther Coulson, CMC, City Clerk

\_\_\_\_\_  
Anita Geraci-Carver, City Attorney

Mayor Cheshire

Commissioner DeGrave

Commissioner Mobilian

Commissioner Gunter

Commissioner Bell

\_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)  
\_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)  
\_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)  
\_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)  
\_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)

Passed First Reading \_\_\_\_\_

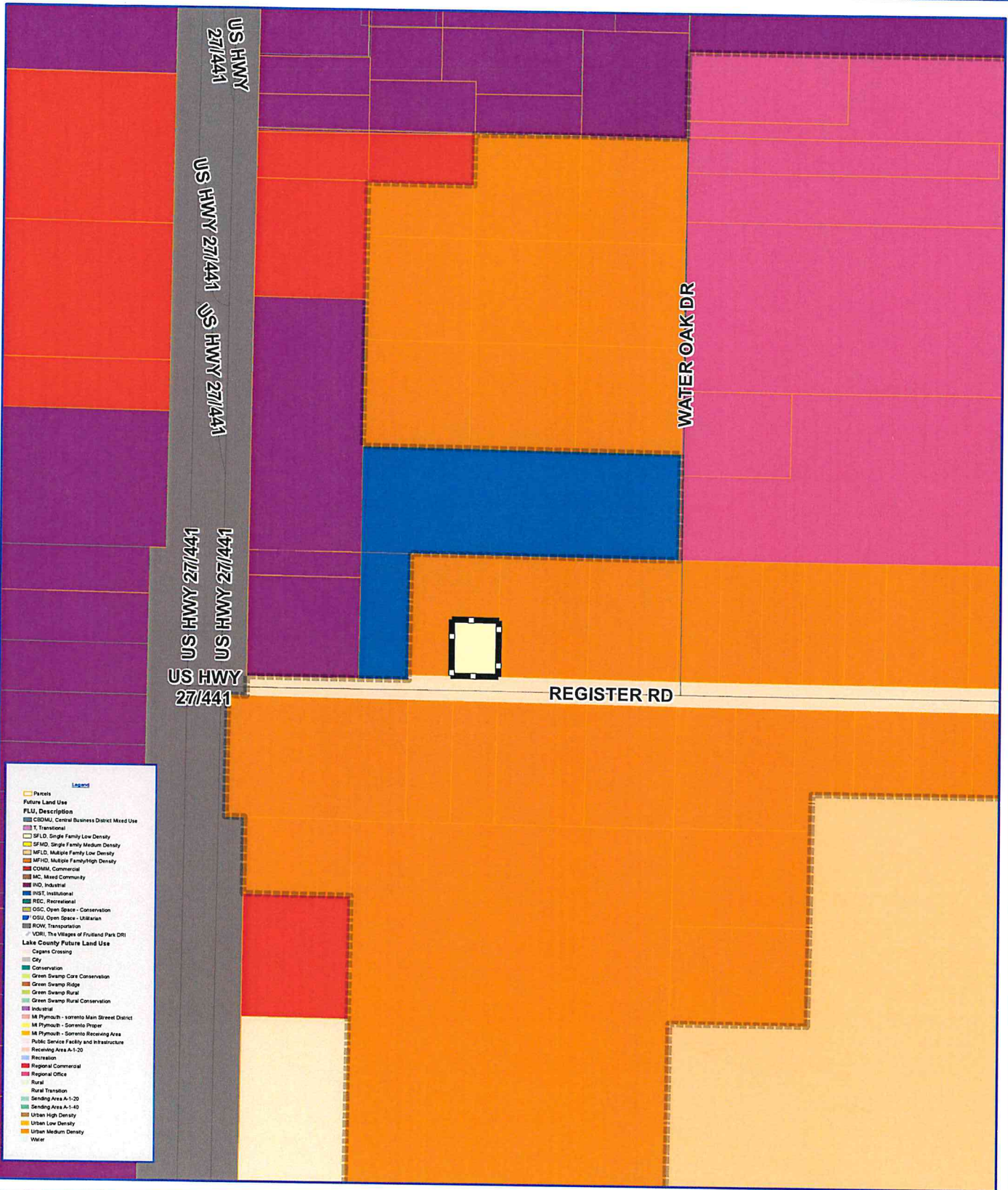
Passed Second Reading \_\_\_\_\_



**EXHIBIT A  
LEGAL DESCRIPTION**

The South 119 feet of the East 92 feet of the following described parcel; The North 239.67 Feet of the West 177 feet of the East 531 feet of the Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  of Section 4, Township 19 South, Range 24 East, Lake County, Florida less right of way to the South.

**EXHIBIT B**  
**MAP**



- Legend**
- FLU, Description**
- CBDDM, Central Business District Mixed Use
  - T, Transitional
  - SF.LD, Single Family Low Density
  - SF.MD, Single Family Medium Density
  - MF.LD, Multiple Family Low Density
  - MF.HD, Multiple Family High Density
  - COMM, Commercial
  - MC, Mixed Community
  - IND, Industrial
  - INST, Institutional
  - REC, Recreational
  - OSC, Open Space - Conservation
  - OSS, Open Space - Urban
  - ROW, Transportation
  - VORI, The Villages of Fruitland Park DR
  - Lake County Future Land Use
  - Capex Crossing
  - City
  - Conservation
  - Green Swamp Core Conservation
  - Green Swamp Ridge
  - Green Swamp Rural
  - Green Swamp Rural Conservation
  - Industrial
  - M Plymouth - Sorrento Main Street District
  - M Plymouth - Sorrento Proper
  - M Plymouth - Sorrento Receiving Area
  - Public Service Facility and Infrastructure
  - Receiving Area A-1-20
  - Recreation
  - Regional Commercial
  - Regional Office
  - Rural
  - Rural Transition
  - Sending Area A-1-20
  - Sending Area A-1-40
  - Urban High Density
  - Urban Low Density
  - Urban Medium Density
  - Water



1 inch = 258 feet

### Countryside Baptist Church

Lake County, Florida  
Proposed Future Land Use

Project: 398-13-03  
File: PropFLU.mxd  
Name: CBP  
PM: Sherie Lindh  
Date: Feb. 11th, 2021  
Created By: C.Manno

Urban & Regional Planners, Inc.  
1162 CAMP AVENUE - MT. DORA, FL 32757  
(352)385-1940 / FAX (352)383-4824

## ORDINANCE 2022-005

**AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA PROVIDING FOR A SMALL SCALE COMPREHENSIVE PLAN AMENDMENT BY AMENDING THE FUTURE LAND USE DESIGNATION FROM LAKE COUNTY URBAN MEDIUM TO INSTITUTIONAL ON THE FUTURE LAND USE MAP OF THE CITY OF FRUITLAND PARK'S COMPREHENSIVE PLAN FOR APPROXIMATELY 0.686 ± ACRES OF PROPERTY LOCATED AT 2811 REGISTER ROAD GENERALLY LOCATED NORTH OF REGISTER ROAD AND EAST OF U.S. HIGHWAY 27/441; DIRECTING THE CITY CLERK TO TRANSMIT THE AMENDMENT TO THE APPROPRIATE GOVERNMENTAL AGENCIES PURSUANT TO CHAPTER 163, FLORIDA STATUTES; AUTHORIZING THE CITY MANAGER TO AMEND SAID COMPREHENSIVE PLAN; PROVIDING FOR SEVERABILITY AND SCRIVENER'S ERRORS; REPEALING ALL ORDINANCES IN CONFLICT HEREWITH; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, a petition has been received from Jim Richardson – ERA Grizzard Real Estate. as applicant, on behalf of Countryside Baptist Church Ministries, Incorporated, as Owner, requesting that real property within the city limits of the City of Fruitland Park be assigned a land use designation of “Institutional” under the Comprehensive Plan for the City of Fruitland Park; and

**WHEREAS**, the required notice of the proposed small scale comprehensive plan amendment has been properly published as required by Chapter 163, Florida Statutes; and

**WHEREAS**, the Planning and Zoning Commission of the City of Fruitland Park and the Local Planning Agency for the City of Fruitland Park have reviewed the proposed amendment to the Comprehensive Plan and have made recommendations to the City Commission of the City of Fruitland Park.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF FRUITLAND PARK, FLORIDA, AS FOLLOWS:**

**Section 1:** The following described property consisting of approximately 0.686 ± acres located at 2811 Register Road, north of Register Road and east of U.S. Hwy27/441 as described on Exhibit “A” shall be assigned a land use designation of Institutional under the City of Fruitland Park Comprehensive Plan as depicted on the map attached hereto as Exhibit “B” and incorporated herein by reference.

**Section 2:** A copy of said Land Use Plan Amendment is filed in the office of the City Manager of the City of Fruitland Park as a matter of permanent record of the City, matters and contents therein are made a part of this ordinance by reference as fully and completely as if set forth herein, and such copy shall remain on file in said office available for public inspection.

**Section 3. Direction to the City Manager.**

Upon the Effective Date of this ordinance, the City Manager is hereby authorized to amend the comprehensive plan and future land-use map as identified herein after compliance with F.S. 163.3187 and F.S. 163.3184(11).

**Section 4. Severability**

Upon a determination that by a court of competent jurisdiction that a portion of this ordinance or the comprehensive plan adopted hereby is void, unconstitutional or unenforceable, all remaining portions shall remain in full force and effect.

**Section 5. Scrivener’s Errors.**

Scrivener’s errors in the legal description may be corrected without a public hearing or at public meeting, by re-recording the original ordinance or a certified copy of the ordinance and attaching the correct legal description.

**Section 6. Conflicts.**

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

**Section 7. Adoption**

After adoption, a copy hereof shall be forwarded to the Department of Economic Opportunity.

**Section 8. Effective Date**

This ordinance shall become effective upon the 31<sup>st</sup> day after adoption unless timely challenged, and then will become effective upon the date a final order is issued by the Department of Economic Opportunities or Administration Commission finding the amendment in compliance in accordance with Section 163.3187, Florida Statutes. No development permits or land uses dependent on this amendment may be issued or commence before it has become effective.

**PASSED AND ORDAINED** in regular session of the City Commission of the City of Fruitland Park, Lake County, Florida, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Chris Cheshire, Mayor  
City of Fruitland Park, Florida

(SEAL)

ATTEST:

Approved as to Form:

\_\_\_\_\_  
Esther Coulson, CMC, City Clerk

\_\_\_\_\_  
Anita Geraci-Carver, City Attorney

Mayor Cheshire \_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)

Commissioner DeGrave  
Commissioner Mobilian  
Commissioner Gunter  
Commissioner Bell

\_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)  
\_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)  
\_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)  
\_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)

Passed First Reading \_\_\_\_\_

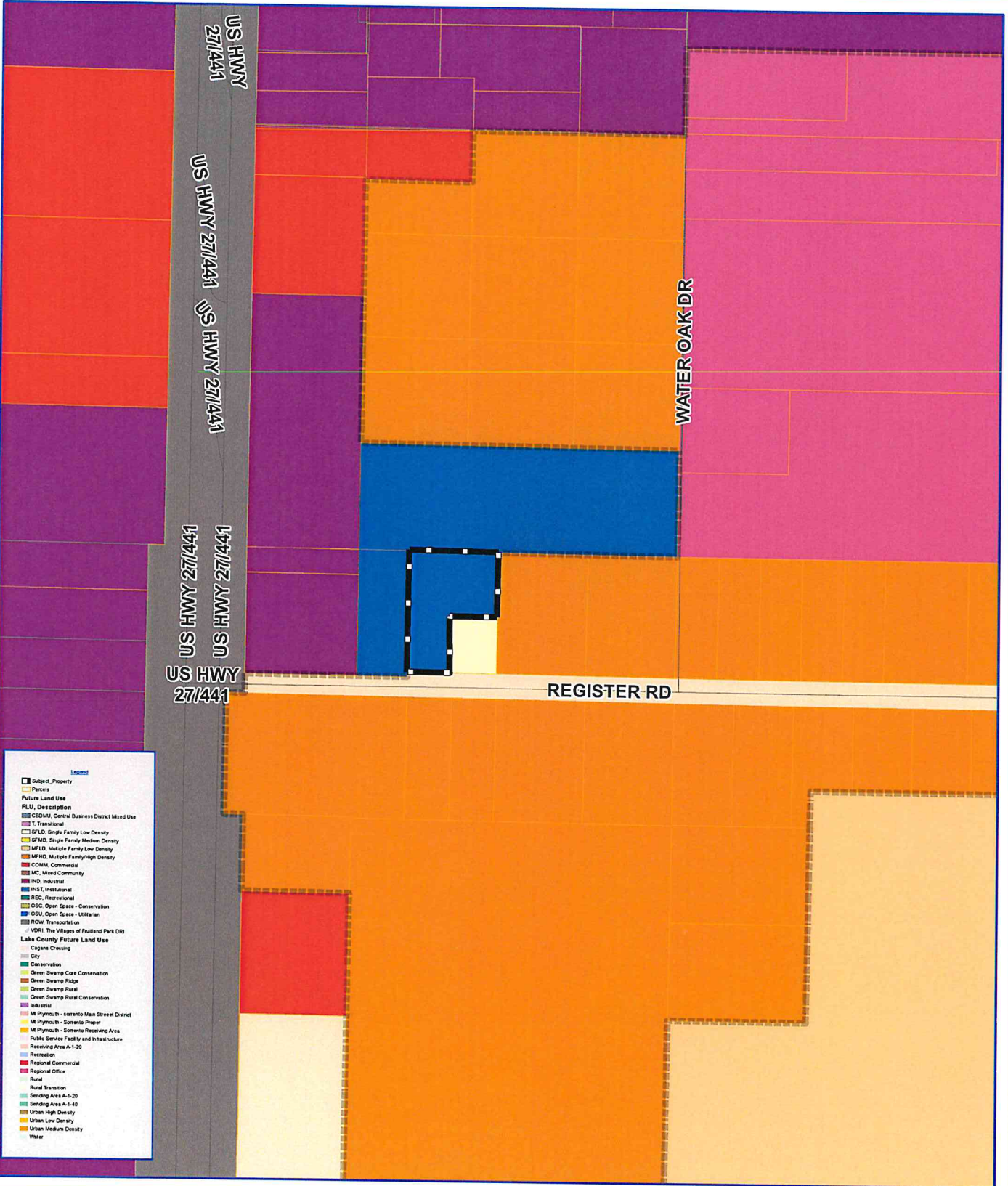
Passed Second Reading \_\_\_\_\_

**EXHIBIT A  
LEGAL DESCRIPTION**

The North 239.67 Feet of the West 177 feet of the East 531 feet of the Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  of Section 4, Township 19 South, Range 24 East, Lake County, Florida. Less and except the South 119 feet of the East 92 feet; less right of way to the South.

**EXHIBIT B**  
**MAP**





US HWY 27/441  
 US HWY 27/441  
 US HWY 27/441  
 US HWY 27/441  
 US HWY 27/441  
 US HWY 27/441

WATER OAK DR

REGISTER RD

**Legend**

- Subject\_Property
- Parcels
- Future Land Use
- FLU, Description
- CBDDMU, Central Business District Mixed Use
- T, Transitional
- SF.LD, Single Family Low Density
- SF.MD, Single Family Medium Density
- MF.LD, Multiple Family Low Density
- MF.HD, Multiple Family High Density
- COMM, Commercial
- MC, Mixed Community
- IND, Industrial
- INST, Institutional
- REC, Recreational
- OSC, Open Space - Conservation
- OSG, Open Space - Lakeshore
- ROW, Transportation
- VDR, The Villages of Fruitland Park DRI
- Lake County Future Land Use
- Cogens Crossing
- City
- Conservation
- Green Swamp Core Conservation
- Green Swamp Ridge
- Green Swamp Rural
- Green Swamp Rural Conservation
- Industrial
- M Plymouth - Sorrento Main Street District
- M Plymouth - Sorrento Proper
- M Plymouth - Sorrento Receiving Area
- Public Service Facility and Infrastructure
- Receiving Area A-1-20
- Recreation
- Regional Commercial
- Regional Office
- Rural
- Rural Transition
- Sending Area A-1-20
- Sending Area A-1-40
- Urban High Density
- Urban Low Density
- Urban Medium Density
- Water



1 inch = 258 feet

### Countryside Baptist Church

Lake County, Florida  
 Proposed Future Land Use

Project: 398-13-03  
 File: PropFLU.mxd  
 Name: CBP  
 PM: Sherie Lindh  
 Date: Feb. 11th, 2021  
 Created By: C.Manno

Urban & Regional Planners, Inc.  
 1162 CAMP AVENUE - MT. DORA, FL 32757  
 (352)385-1940 / FAX (352)383-4824



**City of Fruitland Park, Florida**  
**Community Development Department**  
 506 W. Berckman St., Fruitland Park, Florida 34731  
 Tel: (352) 360-6727 Fax: (352) 360-6652  
 www.fruitlandpark.org

*Staff Use Only*

Case No.: \_\_\_\_\_  
 Fee Paid: \_\_\_\_\_  
 Receipt No.: \_\_\_\_\_

**Development Application**

Contact Information:

Owner Name: Countryside Baptist Church Ministries, Incorporated John W. Stricklen - Pastor  
 Address: 2805 Register Rd, Fruitland Park, FL 34731  
 Phone: 352-223-3616 Email: jonasem2002@aol.com  
 Applicant Name: Jim Richardson - ERA Grizzard Real Estate  
 Address: 1300 Citizens Blvd, Suite 300, Leesburg, FL 34748  
 Phone: 352-874-7606 Email: jrichardson@eragrizzard.com  
 Engineer Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Property and Project Information:

**PROJECT NAME\*:** Church House Register Rd  
\*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.  
 Property Address: 2811 Register Rd, Fruitland Park, FL 34731  
 Parcel Number(s): 04-19-24-0001-000-00701 Section: 04 Township: 19 Range 24  
 Area of Property: .973 Acres Nearest Intersection: North Dixie Ave and US HWY 27/441  
 Existing Zoning: Half is R-7 and half is R-1 (Lake County) Existing Future Land Use Designation: R-1 (Lake County)  
 Proposed Zoning: R-1 Proposed Future Land Use Designation: R-1  
 The property is presently used for: Overflow Church Parking  
 The property is proposed to be used for: Overflow Church Parking  
 Do you currently have City Utilities? No

Application Type:

- |  |   |   |  |
|--|---|---|--|
| <input type="checkbox"/> Annexation      | <input checked="" type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Rezoning               | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance        | <input type="checkbox"/> Special Exception Use          | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat          |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan               | <input type="checkbox"/> Construction Plan      | <input type="checkbox"/> ROW/Plat Vacate     |
| <input type="checkbox"/> Site Plan       | <input type="checkbox"/> Minor Site Plan                | <input type="checkbox"/> Replat of Subdivision  |  |

Please describe your request in detail: We would like to amend the Comp Plan to include this parcel.  
urch.

**Required Data, Documents, Forms & Fees**

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Printed Name: Jim Richardson

Signature:  Date: 5/3/2021

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

## Development Application Checklist

### The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd)     Current Deed     Aerial Photo  
 Property Appraiser Information     Electronic Copy of Application     Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through [www.lakecountyfl.gov/maps/](http://www.lakecountyfl.gov/maps/). Note: All maps are required to depict adjacent properties at a minimum.

**Failure to provide adequate maps may delay the application process.**

### Other Required Analyses and Maps:

#### Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment     Environmental Constraints Map     Requested FLU Map

#### Large Scale Comprehensive Plan Amendment Applications:

Maps:     Environmental Constraints     Soils     Requested FLUM Designation     Requested Zoning Map Designation

Analyses:     Environmental Assessment     Utility Availability Analysis     Urban Sprawl Analysis     School Impact Analysis  
 Traffic Impact Analysis     Consistency with the Comp Plan     Florida Master Site File sign-off or Archaeological Survey

Rezoning Applications:     Requested Zoning Map     Justification for Rezoning

#### Planned Development Applications:

Maps/Plans:     Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G     Environmental Constraints

Analyses:     Environmental Assessment     Traffic Impact Analysis     Preliminary Concurrency Analysis

Variance Applications:     Justification for Variance

Special Exception Use Applications:     Justification for Special Exception Use  
 Site Sketch     List of Special Requirements as Described in LDRs, Chapter 155

Conditional Use Permit Applications:     Proposed List of Conditions and Safeguards  
 Site Plan as Described in LDRs, Chapter 155     Written Statement as Described in LDRs, Chapter 155

Subdivision Applications:  
(Preliminary Plan, Improvement Plan and Final Plat)     As Described in LDRs, Chapter 157

Minor Subdivision Applications:     As Described in LDRs, Chapter 157

Site Plan Applications:     As Described in LDRs, Chapter 160

## **JUSTIFICATION FOR COMP PLAN AMENDMENT**

Parcel is being annexed into the City of Fruitland Park and the Comp Plan needs to be amended to reflect the new parcel(s).

**ORDINANCE 2022-006**

**AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, REZONING APPROXIMATELY 0.686 ± ACRES OF PROPERTY LOCATED AT 2811 REGISTER ROAD, FRUITLAND PARK, FLORIDA FROM LAKE COUNTY R-7 ZONING TO THE CITY OF FRUITLAND PARK DESIGNATION OF PUBLIC FACILITIES DISTRICT WITHIN THE CITY LIMITS OF FRUITLAND PARK; DIRECTING THE CITY MANAGER TO AMEND THE ZONING MAP OF THE CITY OF FRUITLAND PARK; PROVIDING FOR SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT HEREWITH; PROVIDING FOR SCRIVENER'S ERRORS AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, a petition has been submitted by Jim Richardson – ERA Grizzard Real Estate as applicant, on behalf of the owner, Countryside Baptist Church Ministries Incorporated requesting that approximately 0.686 ± acres of real property located at 2811 Register Road (the “Property”) be rezoned from Lake County R-7 to City of Fruitland Park Community Facilities District; and

**WHEREAS**, the property has a future land use designation of Institutional as shown on the City of Fruitland Park Comprehensive Plan Future Land Use Map; and

**WHEREAS**, the proposed zoning is consistent with the future land use designation; and

**WHEREAS**, the petition bears the signature of all applicable parties; and

**WHEREAS**, the required notice of the proposed rezoning has been properly published; and

**WHEREAS**, the City Commission reviewed said petition, the recommendations of the Planning and Zoning Board, staff report and any comments, favorable or unfavorable, from the public and surrounding property owners at a public hearing duly advertised;

**NOW, THEREFORE, BE IT ORDAINED** by the City Commission of the City of Fruitland Park, Florida, as follows:

Section 1. The following described property consisting of approximately 0.686 ± acres of land located at 2811 Register Road, Fruitland Park shall hereafter be designated as Community Facilities District, as defined in the Fruitland Park Land Development Regulations. The property is more particularly described as:

**LEGAL DESCRIPTION: See Exhibit A.**

**Parcel Alternate Key No. 1287499**

and depicted in **Exhibit B.**

Section 2. That the City Manager, or designee, is hereby directed to amend, alter, and implement the official zoning maps of the City of Fruitland Park, Florida to include said designation consistent with this Ordinance.

Section 3. That the zoning classification is consistent with the Comprehensive Plan of the City of Fruitland Park, Florida.

Section 4. If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

Section 5. Scrivener’s errors in the legal description may be corrected without a public hearing or at public meeting, by re-recording the original ordinance or a certified copy of the ordinance and attaching the correct legal description.

Section 6. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 7. This Ordinance shall become effective in accordance with law.

**PASSED AND ORDAINED** in regular session of the City Commission of the City of Fruitland Park, Lake County, Florida, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Chris Cheshire, Mayor  
City of Fruitland Park, Florida

ATTEST:

Approved as to Form:

\_\_\_\_\_  
Esther Coulson, CMC, City Clerk  
(SEAL)

\_\_\_\_\_  
Anita Geraci-Carver, City Attorney

Mayor Cheshire	_____ (Yes),	_____ (No),	_____ (Abstained),	_____ (Absent)
Vice Mayor Gunter	_____ (Yes),	_____ (No),	_____ (Abstained),	_____ (Absent)
Commissioner Bell	_____ (Yes),	_____ (No),	_____ (Abstained),	_____ (Absent)
Commissioner DeGrave	_____ (Yes),	_____ (No),	_____ (Abstained),	_____ (Absent)
Commissioner Mobilian	_____ (Yes),	_____ (No),	_____ (Abstained),	_____ (Absent)

Passed First Reading \_\_\_\_\_

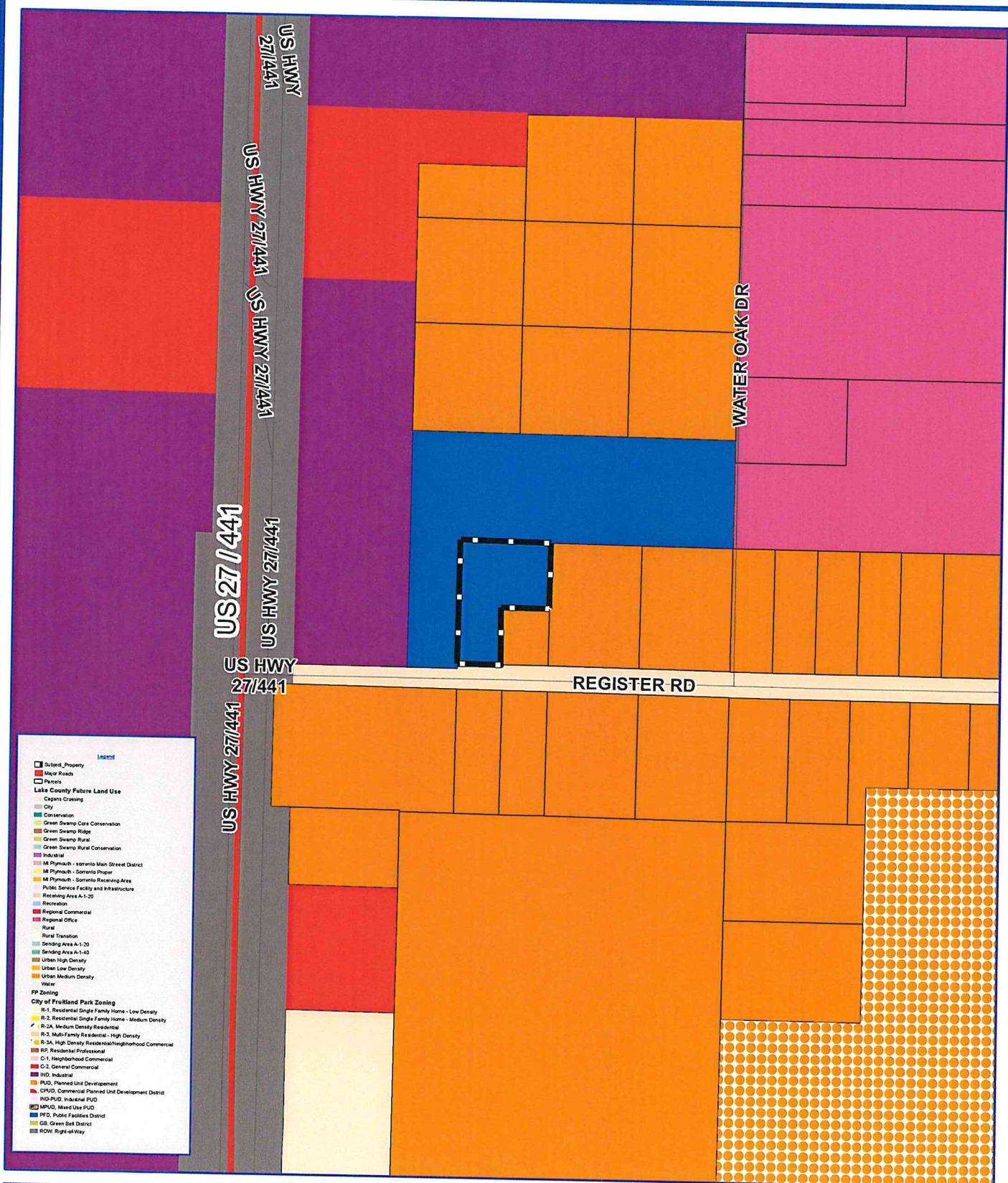
Passed Second Reading \_\_\_\_\_

**EXHIBIT A**  
**Legal Description**

The North 239.67 Feet of the West 177 feet of the East 531 feet of the Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  of Section 4, Township 19 South, Range 24 East, Lake County, Florida. Less and except the South 119 feet of the East 92 feet; less right of way to the South.

**EXHIBIT B**  
**Map**





- Legend**
- Subdiv\_Property
  - Major Roads
  - Parcels
  - Lake County Future Land Use
  - Capers Crossing
  - City
  - Conservation
  - Green Swamp Core Conservation
  - Green Swamp Ridge
  - Green Swamp Rural
  - Green Swamp Rural Conservation
  - Industrial
  - M Plymouth - Sorrento Main Street District
  - M Plymouth - Sorrento Proper
  - M Plymouth - Sorrento Receiving Area
  - Public Service Facility and Infrastructure
  - Receiving Area A-1-20
  - Recreation
  - Regional Commercial
  - Regional Office
  - Rural
  - Rural Transition
  - Sending Area A-1-20
  - Sending Area A-1-40
  - Urban High Density
  - Urban Low Density
  - Urban Medium Density
  - Water
  - FP Zoning
  - City of Fruitland Park Zoning
  - R-1, Residential Single Family Home - Low Density
  - R-2, Residential Single Family Home - Medium Density
  - R-2A, Medium Density Residential
  - R-3, Multi-Family Residential - High Density
  - R-3A, High Density Residential/Neighborhood Commercial
  - RD, Residential Professional
  - C-1, Neighborhood Commercial
  - C-2, General Commercial
  - RD, Industrial
  - PUD, Planned Unit Development
  - CPUD, Commercial Planned Unit Development District
  - RID-PUD, Industrial PUD
  - MPUD, Mixed Use PUD
  - PFD, Public Facilities District
  - GB, Green Belt District
  - ROW, Right-of-Way



1 inch = 250 feet

### Countryside Baptist Church

Lake County, Florida  
Proposed Zoning Map

Project: 398-13-03  
File: PropZoning.mxd  
Name: CBP  
PM: Sherie Lindh  
Date: Feb. 11th, 2021  
Created By: C.Manno

Urban & Regional Planners, Inc.  
1162 CAMP AVENUE - MT. DORA, FL 32757  
(352)385-1990 / FAX (352)383-4824

**ORDINANCE 2022-007**

**AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, REZONING APPROXIMATELY 0.287 ± ACRES OF PROPERTY LOCATED AT 2811 REGISTER ROAD, FRUITLAND PARK, FLORIDA FROM LAKE COUNTY R-1 ZONING TO THE CITY OF FRUITLAND PARK DESIGNATION OF R-2 WITHIN THE CITY LIMITS OF FRUITLAND PARK; DIRECTING THE CITY MANAGER TO AMEND THE ZONING MAP OF THE CITY OF FRUITLAND PARK; PROVIDING FOR SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT HEREWITH; PROVIDING FOR SCRIVENER'S ERRORS AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, a petition has been submitted by Jim Richardson – ERA Grizzard Real Estate as applicant, on behalf of the owner, Countryside Baptist Church Ministries Incorporated requesting that approximately 0.287 ± acres of real property located at 2811 Register Road (the “Property”) be rezoned from Lake County R-7 to City of Fruitland Park Community Facilities District; and

**WHEREAS**, the property has a future land use designation of Single Family Medium Density as shown on the City of Fruitland Park Comprehensive Plan Future Land Use Map; and

**WHEREAS**, the proposed zoning is consistent with the future land use designation; and

**WHEREAS**, the petition bears the signature of all applicable parties; and

**WHEREAS**, the required notice of the proposed rezoning has been properly published; and

**WHEREAS**, the City Commission reviewed said petition, the recommendations of the Planning and Zoning Board, staff report and any comments, favorable or unfavorable, from the public and surrounding property owners at a public hearing duly advertised;

**NOW, THEREFORE, BE IT ORDAINED** by the City Commission of the City of Fruitland Park, Florida, as follows:

Section 1. The following described property consisting of approximately 0.287 ± acres of land located at 2811 Register Road, Fruitland Park shall hereafter be designated as R-2, as defined in the Fruitland Park Land Development Regulations. The property is more particularly described as:

**LEGAL DESCRIPTION: See Exhibit A.**

**Parcel Alternate Key No. 1287499**

and depicted in **Exhibit B.**

Section 2. That the City Manager, or designee, is hereby directed to amend, alter, and implement the official zoning maps of the City of Fruitland Park, Florida to include said designation consistent with this Ordinance.

Section 3. That the zoning classification is consistent with the Comprehensive Plan of the City of Fruitland Park, Florida.

Section 4. If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

Section 5. Scrivener's errors in the legal description may be corrected without a public hearing or at public meeting, by re-recording the original ordinance or a certified copy of the ordinance and attaching the correct legal description.

Section 6. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 7. This Ordinance shall become effective in accordance with law.

**PASSED AND ORDAINED** in regular session of the City Commission of the City of Fruitland Park, Lake County, Florida, this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Chris Cheshire, Mayor  
City of Fruitland Park, Florida

ATTEST:

Approved as to Form:

\_\_\_\_\_  
Esther Coulson, CMC, City Clerk  
(SEAL)

\_\_\_\_\_  
Anita Geraci-Carver, City Attorney

Mayor Cheshire	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Vice Mayor Gunter	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner Bell	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner DeGrave	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner Mobilian	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)

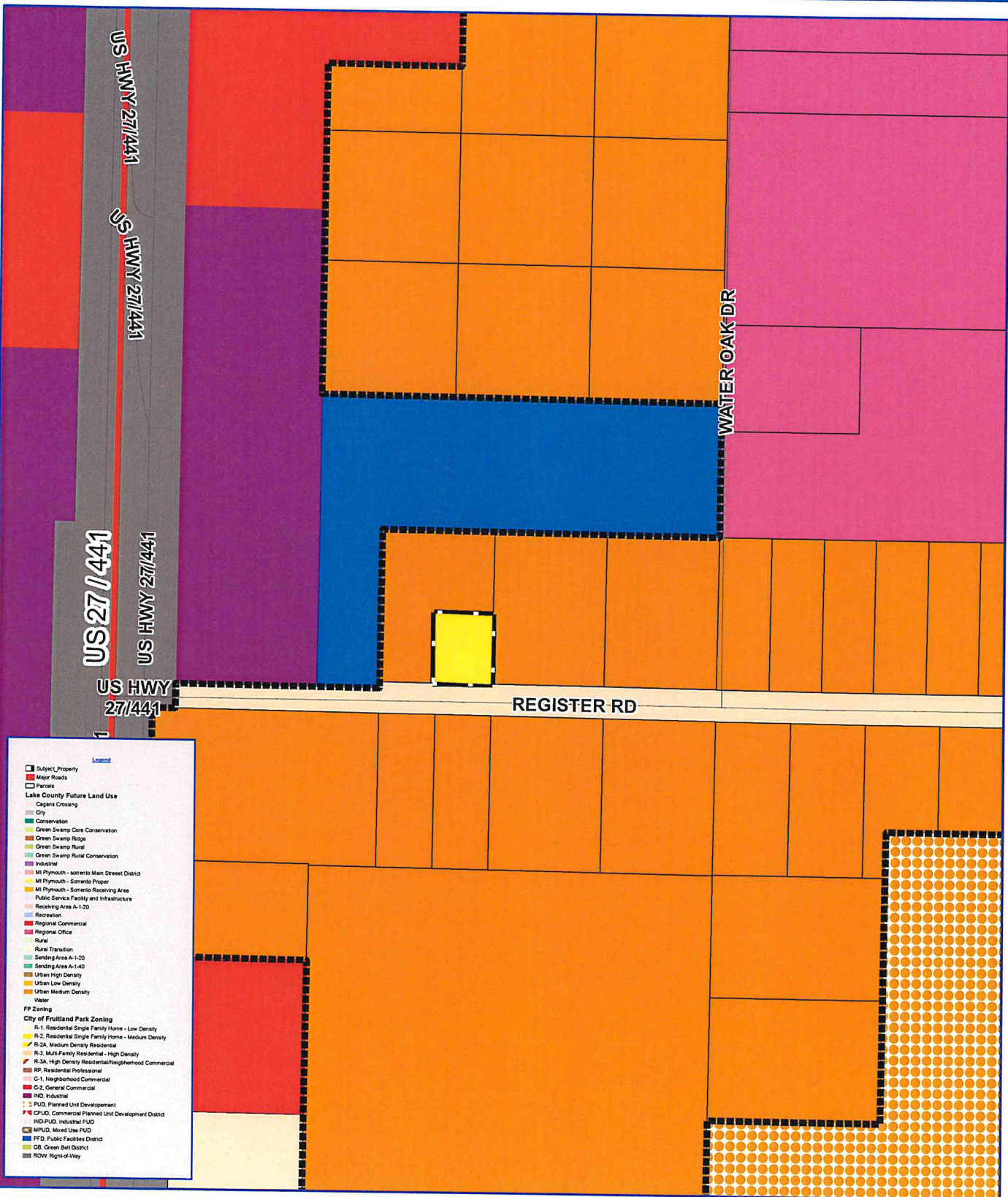
Passed First Reading \_\_\_\_\_

Passed Second Reading \_\_\_\_\_

**EXHIBIT A**  
**Legal Description**

The South 119 feet of the East 92 feet of the following described parcel; The North 239.67 Feet of the West 177 feet of the East 531 feet of the Northeast  $\frac{1}{4}$  of the Northeast  $\frac{1}{4}$  of Section 4, Township 19 South, Range 24 East, Lake County, Florida less right of way to the South.

**EXHIBIT B**  
**Map**



- Legend**
- Subject Property
  - Major Roads
  - Parcels
  - Lake County Future Land Use
  - Calders Crossing
  - City
  - Conservation
  - Green Swamp Core Conservation
  - Green Swamp Ridge
  - Green Swamp Rural
  - Green Swamp Rural Conservation
  - Industrial
  - MI Plymouth - Sorrento Main Street District
  - MI Plymouth - Sorrento Proper
  - MI Plymouth - Sorrento Receiving Area
  - Public Service Facility and Infrastructure
  - Receiving Area A-1-20
  - Recreation
  - Regional Commercial
  - Regional Office
  - Rural
  - Rural Transition
  - Sending Area A-1-20
  - Sending Area A-1-40
  - Urban High Density
  - Urban Low Density
  - Urban Medium Density
  - Water
  - PP Zoning
  - City of Fruitland Park Zoning
  - R-1, Residential Single Family Home - Low Density
  - R-2, Residential Single Family Home - Medium Density
  - R-2A, Medium Density Residential
  - R-3, Multi-Family Residential - High Density
  - R-3A, High Density Residential/Neighborhood Commercial
  - RP, Residential Professional
  - C-1, Neighborhood Commercial
  - C-2, General Commercial
  - IND, Industrial
  - PUD, Planned Unit Development
  - FC PUD, Commercial Planned Unit Development District
  - IND-PUD, Industrial PUD
  - MPUD, Mixed Use PUD
  - PFD, Public Facilities District
  - GB, Green Belt District
  - ROW, Right-of-Way



1 inch = 207 feet

### Countryside Baptist Church

Lake County, Florida  
Proposed Zoning Map

Project: 398-13-03  
File: ExistingZoning.mxd  
Name: CBP  
PM: Sherie Lindh  
Date: Feb. 11th, 2021  
Created By: C.Manno

Urban & Regional Planners, Inc.  
1162 CAMP AVENUE - MT. DORA, FL 32757  
(352)385-1940 / FAX (352)383-4824



**City of Fruitland Park, Florida**  
**Community Development Department**  
 506 W. Berckman St., Fruitland Park, Florida 34731  
 Tel: (352) 360-6727 Fax: (352) 360-6652  
 www.fruitlandpark.org

<i>Staff Use Only</i>	
Case No.:	_____
Fee Paid:	_____
Receipt No.:	_____

## Development Application

Contact Information:

Owner Name: Countryside Baptist Church Ministries, Incorporated      John W. Stricklen - Pastor  
 Address: 2805 Register Rd, Fruitland Park, FL 34731  
 Phone: 352-223-3616      Email: jonasem2002@aol.com

Applicant Name: Jim Richardson - ERA Grizzard Real Estate  
 Address: 1300 Citizens Blvd, Suite 300, Leesburg, FL 34748  
 Phone: 352-874-7606      Email: jrichardson@eragrizzard.com

Engineer Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_      Email: \_\_\_\_\_

Property and Project Information:

**PROJECT NAME\*:** Church House Register Rd  
\*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: 2811 Register Rd, Fruitland Park, FL 34731  
 Parcel Number(s): 04-19-24-0001-000-00701      Section: 04      Township: 19      Range 24  
 Area of Property: .973 Acres      Nearest Intersection: North Dixie Ave and US HWY 27/441  
 Existing Zoning: Half is R-7 and half is R-1 (Lake County)      Existing Future Land Use Designation: R-1 (Lake County)  
 Proposed Zoning: R-1      Proposed Future Land Use Designation: R-1

The property is presently used for: Overflow Church Parking  
 The property is proposed to be used for: Overflow Church Parking  
 Do you currently have City Utilities? No

Application Type:


- |  |  |   |  |
|--|--|---|--|
| <input type="checkbox"/> Annexation      | <input type="checkbox"/> Comp Plan Amendment   | <input checked="" type="checkbox"/> Rezoning    | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance        | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat          |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan      | <input type="checkbox"/> Construction Plan      | <input type="checkbox"/> ROW/Plat Vacate     |
| <input type="checkbox"/> Site Plan       | <input type="checkbox"/> Minor Site Plan       | <input type="checkbox"/> Replat of Subdivision  |  |

Please describe your request in detail: This property is being annexed into the City of Fruitland Park and we are requesting that the parcels be zoned R-1

**Required Data, Documents, Forms & Fees**

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Printed Name: Jim Richardson

Signature:       Date: 5/3/2021

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

# Development Application Checklist

## The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd)     Current Deed     Aerial Photo  
 Property Appraiser Information     Electronic Copy of Application     Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through [www.lakecountyfl.gov/maps/](http://www.lakecountyfl.gov/maps/). Note: All maps are required to depict adjacent properties at a minimum.

**Failure to provide adequate maps may delay the application process.**

## Other Required Analyses and Maps:

### Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment     Environmental Constraints Map     Requested FLU Map

### Large Scale Comprehensive Plan Amendment Applications:

Maps:     Environmental Constraints     Soils     Requested FLUM Designation     Requested Zoning Map Designation

Analyses:     Environmental Assessment     Utility Availability Analysis     Urban Sprawl Analysis     School Impact Analysis  
 Traffic Impact Analysis     Consistency with the Comp Plan     Florida Master Site File sign-off or Archaeological Survey

Rezoning Applications:     Requested Zoning Map     Justification for Rezoning

### Planned Development Applications:

Maps/Plans:     Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G     Environmental Constraints

Analyses:     Environmental Assessment     Traffic Impact Analysis     Preliminary Concurrency Analysis

Variance Applications:     Justification for Variance

### Special Exception Use Applications:

- Site Sketch     Justification for Special Exception Use  
 List of Special Requirements as Described in LDRs, Chapter 155

### Conditional Use Permit Applications:

- Site Plan as Described in LDRs, Chapter 155     Proposed List of Conditions and Safeguards  
 Written Statement as Described in LDRs, Chapter 155

### Subdivision Applications:

(Preliminary Plan, Improvement Plan and Final Plat)

- As Described in LDRs, Chapter 157

### Minor Subdivision Applications:

- As Described in LDRs, Chapter 157

### Site Plan Applications:

- As Described in LDRs, Chapter 160



## **JUSTIFICATION FOR REZONING**

Parcel is being annexed into the City of Fruitland Park and needs a City of Fruitland Park zoning designation.

# AERIAL



Return to:  
City Clerk  
City of Fruitland Park  
506 W. Berckman St.  
Fruitland Park, FL 34131

**RESOLUTION 2022-012**

**A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, GRANTING A VARIANCE TO THE LAND DEVELOPMENT REGULATION (LDR) REQUIREMENTS PERTAINING TO SETBACK STANDARDS FROM 20' TO 15', AND REQUIREMENT PERTAINING TO THE MINIMUM LIVING AREA FROM 1200 SQUARE FEET TO 944 SQUARE FEET FOR AN EXISTING RESIDENCE ON THE SUBJECT PROPERTY LOCATED AT 2811 REGISTER ROAD AND OWNED BY COUNTRYSIDE BAPTIST CHURCH INCORPORATED, PROVIDING FOR AN EXPIRATION DATE; PROVIDING FOR SCRIVENER'S ERRORS; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, Jim Richardson – ERA Grizzard Real Estate has petitioned for variances for property owned by Countryside Baptist Church Ministries, Incorporated located at 2811 Register Road, in the City of Fruitland Park, Florida; and

**WHEREAS**, an existing home is located on the Property, as more particularly described below, and the Property is being annexed into the City of Fruitland Park; and

**WHEREAS**, the existing home has a front setback of 15', has 944 square feet of total living area and the lot size will be less than the minimum of 20,000 square feet; and

**WHEREAS**, the owner requests a variance to the following LDR requirements for a R-2 zoning which require a minimum lot size of 20,000 square feet, a front setback of 20 feet, and a minimum living area of 1,200 square feet:

- Chapter 154, Section 154.030 d) 1) E)

**WHEREAS**, this request has met the public notice requirements set forth in Chapter 168 of the City of Fruitland Park Land Development Regulations; and

**WHEREAS**, the City Commission has considered the petition in accordance with standards for the granting of variances contained in Chapter 168, City of Fruitland Park Land Development Regulations and

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA**, as follows:

1. The City Commission has determined that the existing single family residence constructed in 1962 lying within the 20' front setback, on a lot less than 20,000 square feet and having a living area less than the minimum of 1,200 square feet is not detrimental to the character of the area or inconsistent with the trends of development in the area.

2. The City Commission has determined that a reduction of the front setback of twenty feet to fifteen feet, that an existing residence of less than 1,200 square feet on a lot less than 20,000 square feet for an existing residence constructed in 1962 does not and will not have an unduly adverse effect on surrounding property.

3. Special conditions and circumstances exist which are peculiar to the Property which are not applicable to other land and structures.

4. A variance of 5 feet from the existing code for front setback is the minimum variance to accommodate the Applicant's request as it relates to the existing residence constructed in 1962. A variance of 256 square feet of living space of an existing residence constructed in 1962 is the minimum variance to accommodate the Applicant's request as it relates to the minimum living area. A variance of 7,488.09 square feet from the minimum lot size requirement is the minimum variance to accommodate the Applicant's request.

5. The City Commission has further determined that the variance is consistent with the Comprehensive Plan for the City of Fruitland Park and Code, and will not adversely affect the public interest.

6. The variance will not adversely affect the public health, safety and general welfare of the citizens of the City of Fruitland Park.

7. The petition for variance filed by Jim Richardson - ERA Grizzard Real Estate for property located at 2811 Register Road, in the City of Fruitland Park, Florida, more particularly described as:

**LEGAL DESCRIPTION:** The South 136 feet of the East 92 feet of the following described parcel; The North 239.67 Feet of the West 177 feet of the East 531 feet of the Northeast ¼ of the Northeast ¼ of Section 4, Township 19 South, Range 24 East, Lake County, Florida less right of way to the South.

is GRANTED as follows:

1. Variance to Chapter 154, Section 154.030 d) 1) E) from a minimum lot size of 20,000 square feet, a front setback of 20 feet, and a minimum living area of 1,200 square feet for the existing single family residence.
2. If the existing residence ceases to exist for any reason, including but not limited to removal or demolition, then the variances from front setback and minimum living area shall cease to exist and future improvements must comply with the requirements in effect at the time of construction.
3. Scrivener's errors in the legal description may be corrected without a public hearing or at public meeting, by re-recording the original resolution or a certified copy of the resolution and attaching the correct legal description.
4. This variance shall become effective immediately on its approval and adoption by the City Commission of the City of Fruitland Park, Florida.

**PASSED AND ORDAINED** in regular session of the City Commission of the City of Fruitland Park, Lake County, Florida, this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

---

Chris Cheshire, Mayor  
City of Fruitland Park, Florida

ATTEST:

Resolution 2022 -  
Rector Variance

Approved as to Form:

\_\_\_\_\_  
Esther Coulson, CMC, City Clerk

\_\_\_\_\_  
Anita Geraci-Carver, City Attorney

Vice-Mayor Gunter	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner DeGrave	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner Mobilian	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner Bell	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Mayor Cheshire	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)

Passed First Reading \_\_\_\_\_

(SEAL)



**City of Fruitland Park, Florida**  
**Community Development Department**  
 506 W. Berckman St., Fruitland Park, Florida 34731  
 Tel: (352) 360-6727 Fax: (352) 360-6652  
 www.fruitlandpark.org

<i>Staff Use Only</i>	
Case No.:	_____
Fee Paid:	_____
Receipt No.:	_____

## Development Application

Contact Information:

Owner Name: Countryside Baptist Church Ministries, Incorporated     John W. Stricklen - Pastor  
 Address: 2805 Register Rd, Fruitland Park, FL 34731  
 Phone: 352-223-3616     Email: jonasem2002@aol.com

Applicant Name: Jim Richardson - ERA Grizzard Real Estate  
 Address: 1300 Citizens Blvd, Suite 300, Leesburg, FL 34748  
 Phone: 352-874-7606     Email: jrichardson@eragrizzard.com

Engineer Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_     Email: \_\_\_\_\_

Property and Project Information:

**PROJECT NAME\*:** Church House Register Rd

\*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: 2811 Register Rd, Fruitland Park, FL 34731

Parcel Number(s): 04-19-24-0001-000-00701     Section: 04     Township: 19     Range 24

Area of Property: .973 Acres     Nearest Intersection: North Dixie Ave and US HWY 27/441

Existing Zoning: Half is R-7 and half is R-1 (Lake County)     Existing Future Land Use Designation: R-1 (Lake County)

Proposed Zoning: R-1     Proposed Future Land Use Designation: R-1

The property is presently used for: Overflow Church Parking

The property is proposed to be used for: Overflow Church Parking

Do you currently have City Utilities? No

Application Type:

- |  |  |   |  |
|--|--|---|--|
| <input type="checkbox"/> Annexation          | <input type="checkbox"/> Comp Plan Amendment   | <input type="checkbox"/> Rezoning               | <input type="checkbox"/> Planned Development |
| <input checked="" type="checkbox"/> Variance | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat          |
| <input type="checkbox"/> Minor Lot Split     | <input type="checkbox"/> Preliminary Plan      | <input type="checkbox"/> Construction Plan      | <input type="checkbox"/> ROW/Plat Vacate     |
| <input type="checkbox"/> Site Plan           | <input type="checkbox"/> Minor Site Plan       | <input type="checkbox"/> Replat of Subdivision  |  |

Please describe your request in detail: This property is being annexed into the City of Fruitland Park and does not meet the 30' setback for the front of the property.

**Required Data, Documents, Forms & Fees**

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Printed Name: Jim Richardson

Signature:      Date: 5/3/2021

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

# Development Application Checklist

## The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd)     Current Deed     Aerial Photo  
 Property Appraiser Information     Electronic Copy of Application     Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through [www.lakecountyfl.gov/maps/](http://www.lakecountyfl.gov/maps/). Note: All maps are required to depict adjacent properties at a minimum.

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## Other Required Analyses and Maps:

### Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment     Environmental Constraints Map     Requested FLU Map

### Large Scale Comprehensive Plan Amendment Applications:

Maps:     Environmental Constraints     Soils     Requested FLUM Designation     Requested Zoning Map Designation

Analyses:     Environmental Assessment     Utility Availability Analysis     Urban Sprawl Analysis     School Impact Analysis  
 Traffic Impact Analysis     Consistency with the Comp Plan     Florida Master Site File sign-off or Archaeological Survey

Rezoning Applications:     Requested Zoning Map     Justification for Rezoning

### Planned Development Applications:

Maps/Plans:     Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G     Environmental Constraints

Analyses:     Environmental Assessment     Traffic Impact Analysis     Preliminary Concurrency Analysis

Variance Applications:     Justification for Variance

### Special Exception Use Applications:

- Site Sketch     Justification for Special Exception Use  
 List of Special Requirements as Described in LDRs, Chapter 155

### Conditional Use Permit Applications:

- Site Plan as Described in LDRs, Chapter 155     Proposed List of Conditions and Safeguards  
 Written Statement as Described in LDRs, Chapter 155

### Subdivision Applications:

(Preliminary Plan, Improvement Plan and Final Plat)

- As Described in LDRs, Chapter 157

### Minor Subdivision Applications:

- As Described in LDRs, Chapter 157

### Site Plan Applications:

- As Described in LDRs, Chapter 160

## **JUSTIFICATION FOR VARIANCE**

Parcel is being annexed into the City of Fruitland Park and does not meet the 30' setback in the front of the home from the property line, so a variance is required.

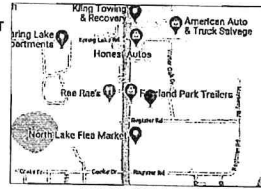


**LEGAL DESCRIPTION**

THE SOUTH 119 FEET OF THE EAST 92 FEET OF THE FOLLOWING DESCRIBED PARCEL:  
 THE NORTH 239.67 FEET OF THE WEST 177 FEET OF THE EAST 531 FEET OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 4, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA LESS RIGHT OF WAY TO THE SOUTH.

**LEGEND**

A/C	AIR CONDITIONER	P.R.M.	PERMANENT REFERENCE MONUMENT
B.E.P.	BACKFLOW PREVENTER	P.S.	PAGE
C.B.S.	CONCRETE BLOCK STRUCTURE	P.B.	PLAT BOOK
E.L.	ELEVATION	P.K.	PARKER KYLON NAIL
F.F.	FINISHED FLOOR	R.	RADIUS
I.D.	IDENTIFICATION	R.C.	RADIUS CENTERLINE
L.	LENGTH	C.	CENTERLINE
L.B.	LICENSED BUSINESS	A.N.	AND NUMBER
M.	MEASURED	A.	ANGLE
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM	Δ	DELTA OR CENTRAL ANGLE
N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM	—	CONCRETE
O.R.B.	OFFICIAL RECORDS BOOK	—	CHAIN LINK FENCE
P.	PLAT	—	WOOD FENCE
PSM	PROFESSIONAL SURVEYOR AND MAPPER	—	MISCELLANEOUS FENCE

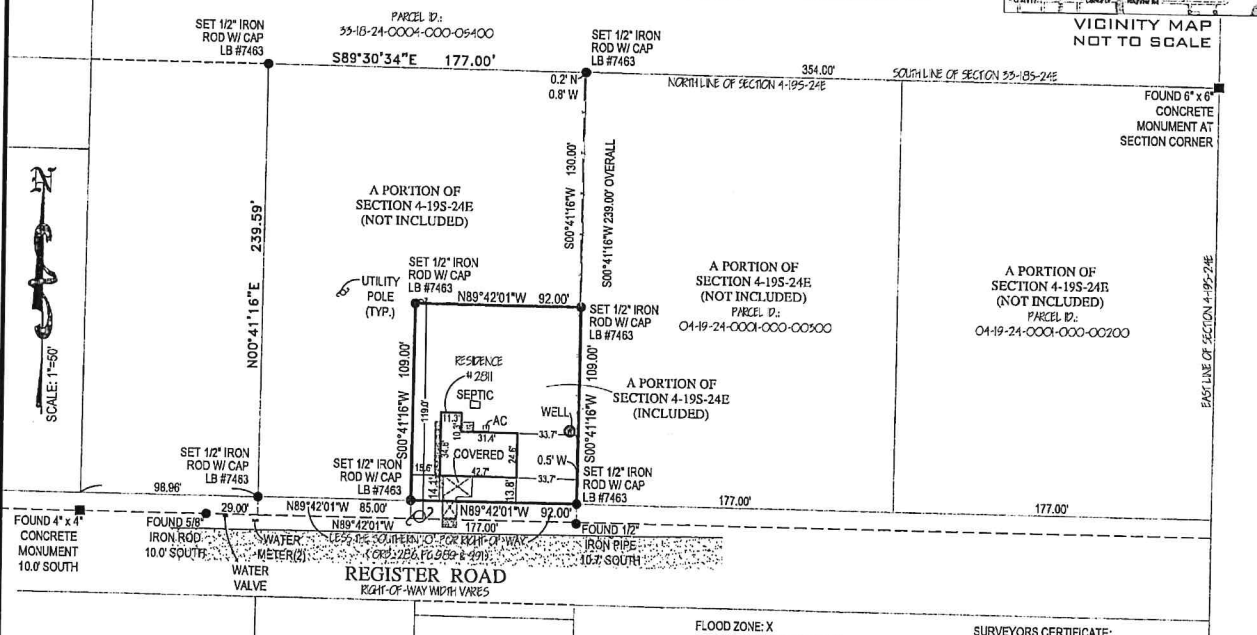


VICINITY MAP  
NOT TO SCALE

SPECIFIC PURPOSE SURVEY PROPOSED LOT SPLIT OF  
 2811 REGISTER ROAD  
 FRUITLAND PARK, FL 34731  
 PREPARED FOR  
 JIM RICHARDSON

C-2007  
 10-12-2020  
 1"=50'

6250 N. MILITARY TRAIL  
 SUITE 102  
 WEST PALM BEACH, FL 33407  
 www.compassurveying.net  
**COMPASS SURVEYING**  
 PHONE: 561.640.4800 FAX: 561.640.0576  
 LB. 7463



**NOTES:**

- LEGAL DESCRIPTION CREATED BY THIS OFFICE FOR PURPOSE OF LOT SPLIT.
- NO SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE
- NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
- ALL ANGLES OR BEARINGS AND DISTANCES SHOWN HEREON ARE BOTH RECORDED AND MEASURED UNLESS OTHERWISE NOTED
- SOME FEATURES MAY NOT BE AT SCALE IN ORDER TO SHOW DETAIL.
- THE BEARINGS SHOWN HEREON ARE BASED UPON THE NORTHERN BOUNDARY LINE, HAVING A BEARING OF S89°42'01\"/>

FLOOD ZONE: X  
 COMMUNITY NUMBER: 120421  
 PANEL: 12069C0307  
 SUFFIX: E  
 BASE FLOOD ELEVATION: NAVD88  
 FIRM DATE: 12/18/2012  
 FIRM EFFECTIVE DATE: 12/18/2012  
 DATE OF FIELD WORK: 10/12/2020  
 DATE OF MAP: 03/30/2021

SURVEYORS CERTIFICATE:  
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION, NOT VALID WITHOUT A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED) *Kenneth J. Osborne*  
 KENNETH J. OSBORNE  
 PROFESSIONAL SURVEYOR AND MAPPER #6415

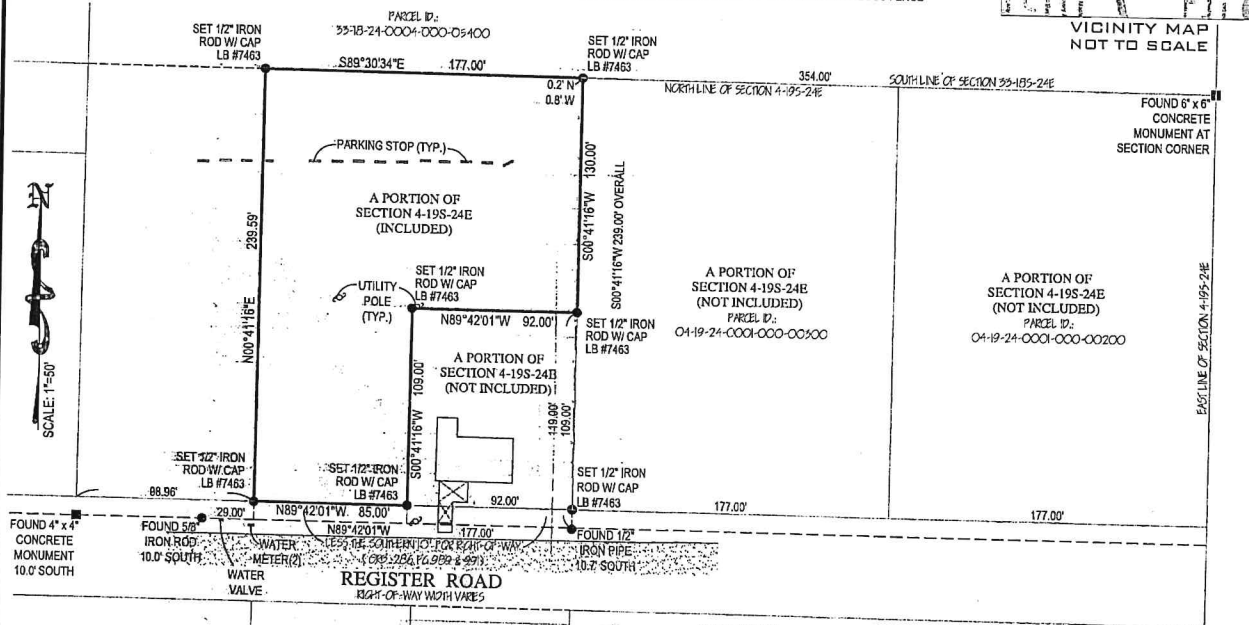
**LEGAL DESCRIPTION**

THE NORTH 239.67 FEET OF THE WEST 177 FEET OF THE EAST 531 FEET OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 4, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

LESS AND EXCEPT THE SOUTH 119 FEET OF THE EAST 92 FEET; LESS RIGHT OF WAY TO THE SOUTH.

**LEGEND**

A/C	AIR CONDITIONER	P.R.M.	PERMANENT REFERENCE MONUMENT
B.F.P.	BACKFLOW PREVENTER	P.G.	PAGE
C.B.S.	CONCRETE BLOCK STRUCTURE	P.L.B.	PLAT BOOK
E.L.	ELEVATION	P.K.	PARKER KYLON NAIL
F.F.	FINISHED FLOOR	R.	RADIUS
I.D.	IDENTIFICATION	C.L.	CENTERLINE
L.	LENGTH	A.N.	AND NUMBER
L.B.	LICENSED BUSINESS MEASURED	Δ	DELTA OR CENTRAL ANGLE
M.	MEASURED	C	CONCRETE
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM	—	CHAIN LINK FENCE
N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM	—	WOOD FENCE
O.R.B.	OFFICIAL RECORDS BOOK	—	MISCELLANEOUS FENCE
P.	PLAT		
PSM	PROFESSIONAL SURVEYOR AND MAPPER		



SPECIFIC PURPOSE SURVEY PROPOSED LOT SPLIT OF  
**XXX REGISTER ROAD**  
 FRUITLAND PARK, FL 34731  
 PREPARED FOR  
**JIM RICHARDSON**

C-20207  
 10-12-2020  
 1"=50'  
**1 of 1**

6250 N. MILITARY TRAIL  
 SUITE 102  
 WEST PALM BEACH, FL 33407  
 www.compassurveying.net  
**COMPASS SURVEYING**  
 PHONE: 561.640.4800 FAX: 561.640.0576



**NOTES:**

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- SOME FEATURES MAY NOT BE AT SCALE IN ORDER TO SHOW DETAIL.
- THE BEARINGS SHOWN HEREON ARE BASED UPON THE NORTHERN BOUNDARY LINE, HAVING A BEARING OF S89°30'34"E.

FLOOD ZONE: X  
 COMMUNITY NUMBER: 120421  
 PANEL: 12069C0307  
 SUFFIX: E  
 BASE FLOOD ELEVATION: NAVD88  
 FIRM DATE: 12/18/2012  
 FIRM EFFECTIVE DATE: 12/18/2012  
 DATE OF FIELD WORK: 10/12/2020  
 DATE OF MAP: 03/30/2021

**SURVEYORS CERTIFICATE:**  
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION, NOT VALID WITHOUT A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED) *Kenneth J. Osborne*

**KENNETH J. OSBORNE**  
 PROFESSIONAL SURVEYOR AND MAPPER #8415

**RESOLUTION 2022-013**

**A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, GRANTING PRELIMINARY PLAN APPROVAL OF ARBOR PARK - PHASE 1 GENERALLY LOCATED WEST OF U.S. HWY 27/441, EAST OF COUNTY ROAD 468, NORTH OF GRIFFIN ROAD AND SOUTH OF URICK STREET, FRUITLAND PARK, FLORIDA; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the applicant has petitioned for preliminary plan approval of Arbor Park – Phase 1 consisting of 163 single family residential lots and tracts for future development; and

**WHEREAS**, the subject property consisting of 160.34 +/- acres is zoned MIX USE PUD and has a future land use of MIXED COMMUNITY; and

**WHEREAS**, the Planning and Zoning Board and the City Commission have considered the application in accordance with Sec. 157.060(d) of the City of Fruitland Park Land Development Code and made recommendation to the City Commission; and

**WHEREAS**, the City Commission of the City of Fruitland Park has considered the application in accordance with the procedures for granting preliminary plan approval set forth in Sec. 157.060(d) of the City of Fruitland Park Land Development Code; and

**WHEREAS**, the City Commission finds that the Preliminary Plan for Arbor Park – Phase 1 is in compliance with the City’s land development regulations.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, LAKE COUNTY, FLORIDA, AS FOLLOWS:**

**Section 1. Granting of Minor Subdivision Approval.**

Approval of the Preliminary Plan for Arbor Park - Phase 1, a copy of which is attached hereto, is **GRANTED**.

**Section 2. Effective Date.**

This resolution shall become effective immediately upon its passage.

PASSED AND RESOLVED this \_\_\_\_\_ day of \_\_\_\_\_, 2022, by the City Commission of the City of Fruitland Park, Florida.

SEAL

CITY COMMISSION OF THE CITY OF  
FRUITLAND PARK, FLORIDA

ATTEST:

\_\_\_\_\_  
CHRIS CHESHIRE, MAYOR

\_\_\_\_\_  
ESTHER COULSON, CITY CLERK

Mayor Cheshire	____(Yes),	____(No),	____(Abstained),	____(Absent)
Vice Mayor Gunter	____(Yes),	____(No),	____(Abstained),	____(Absent)
Commissioner Bell	____(Yes),	____(No),	____(Abstained),	____(Absent)
Commissioner DeGrave	____(Yes),	____(No),	____(Abstained),	____(Absent)
Commissioner Mobilian	____(Yes),	____(No),	____(Abstained),	____(Absent)

Approved as to form:

\_\_\_\_\_  
Anita Geraci-Carver, City Attorney



CHICAGO TITLE  
INSURANCE COMPANY

File No.: 4040INC

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

THE NORTH 726 FEET OF THE WEST HALF (W 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND

THE SOUTH 594 FEET OF THE W 1/2 OF NE 1/4 OF NE 1/4 SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND

THE EAST 756 FEET OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND

THE SOUTH 50 FEET OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS RIGHT OF WAY FOR MONTCLAIR ROAD, ALSO KNOWN AS COUNTY ROAD 468.

AND

THAT PORTION OF BLOCK 46 IN THE TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, DESCRIBED AS: BEGIN AT THE SOUTHWEST CORNER OF BLOCK 46 (S 1/4 OF SECTION 9, TOWNSHIP 19 S., RANGE 24 EAST, LAKE COUNTY, FLORIDA); RUN THENCE SOUTH 89° 46' 00" EAST ALONG THE SOUTH LINE OF BLOCK 46 FOR 400 FEET; RUN THENCE NORTH 00° 26' 10" EAST FOR 582.55 FEET; RUN THENCE NORTH 89° 33'50" EAST FOR 36 FEET; RUN THENCE NORTH 00°26'10" EAST FOR 396.36 FEET TO THE NORTH LINE OF SAID BLOCK 46; RUN THENCE NORTH 89° 29' 50" WEST ALONG NORTH LINE OF SAID BLOCK 46 FOR 433.48 FEET TO THE NORTHWEST CORNER OF SAID BLOCK 46; RUN THENCE SOUTH 00° 35' 00" EAST ALONG WEST LINE OF SAID BLOCK 46 FOR 980.70 FEET TO THE POINT OF BEGINNING.

AND

A PORTION OF LOTS 1, 2 AND 3, BLOCK 46, TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FROM THE SOUTHWEST CORNER OF BLOCK 46, RUN EAST 400 FEET TO POINT OF BEGINNING; NORTH 582.55 FEET, EAST 36 FEET, NORTH 396.36 FEET TO NORTH LINE OF BLOCK 46, EAST TO NORTHEAST CORNER OF BLOCK 46, SOUTH TO SOUTHEAST CORNER OF BLOCK 46, WEST TO POINT OF BEGINNING, SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

LESS AND EXCEPT: COMMENCE AT THE SOUTHWEST CORNER OF AFORESAID BLOCK 46 (ALSO BEING THE SOUTH 1/4 CORNER OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST); THENCE SOUTH 89°43' 16" EAST, ALONG THE SOUTH LINE OF BLOCK 46, A DISTANCE

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CHICAGO TITLE  
INSURANCE COMPANY

OF 400.00 FEET; THENCE NORTH 00°26'56" EAST, 342.53 FEET, FOR THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE NORTH 00°26'56" EAST, 239.91 FEET; THENCE SOUTH 89°33'50" EAST, 36.00 FEET; THENCE NORTH 00°25'26" EAST 396.16 FEET, TO THE SOUTH LINE OF URICK STREET (A 50 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89°30'00" EAST, 400.00 FEET; THENCE SOUTH 00°26'10" WEST, 629.00 FEET THENCE SOUTH 89°33'50" WEST, 436.00 FEET, TO THE POINT OF BEGINNING.

AND

W 1/2 of NE 1/4; N 1/2 of SE 1/4 of NE 1/4, Section 16, Township 19 South, Range 24 East, Lake County, Florida.

AND

THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 50 FEET THEREOF AND LESS COUNTY ROAD RIGHT OF WAY.

LESS AND EXCEPT:

THAT PORTION OF THE SOUTH 3/4 OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN INTERSECTION WITH THE EAST RIGHT OF WAY LINE OF COUNTY ROAD 468 AS SHOWN ON MAP BOOK 6, PAGE 150, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND THE NORTH LINE OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, RUN S 89°15'46" E, ALONG SAID NORTH LINE, A DISTANCE OF 300.00 FEET; THENCE LEAVING SAID NORTH LINE RUN S 00°51'09" W, A DISTANCE OF 420.52 FEET; THENCE N 89°25'43" W, A DISTANCE OF 300.00 FEET, TO THE SAID EAST RIGHT OF WAY LINE OF COUNTY ROAD 468; THENCE N 00°51'09" E, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 421.39 FEET TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPT:

THAT PORTION OF THE SOUTH 3/4 OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN INTERSECTION WITH THE EAST RIGHT OF WAY LINE OF COUNTY ROAD 468 AS SHOWN ON MAP BOOK 6, PAGE 150, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND THE NORTH LINE OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, RUN S 00°51'09" W, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 521.39 FEET FOR THE POINT OF BEGINNING; THENCE LEAVING SAID EAST RIGHT OF WAY LINE RUN S 89°25'43" E, A DISTANCE OF 998.71 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 200.00 FEET; THENCE RUN SOUTHEASTERLY ALONG

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ALTA Commitment for Title Insurance 8-1-16 with Florida Modifications



CHICAGO TITLE  
INSURANCE COMPANY

THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $38^{\circ}11'51''$  AN ARC DISTANCE OF 133.33 FEET TO THE POINT A TANGENCY; THENCE S  $51^{\circ}13'51''$  E, A DISTANCE OF 211.21 FEET TO THE EAST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16; THENCE S  $00^{\circ}58'09''$  W, ALONG SAID EAST LINE, A DISTANCE OF 249.11 FEET, TO THE SOUTHEAST CORNER OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999; THENCE LEAVING SAID EAST LINE RUN N  $89^{\circ}22'43''$  W, ALONG THE SOUTH LINE OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999, A DISTANCE OF 1288.71 FEET TO AN INTERSECTION WITH THE SAID EAST RIGHT OF WAY LINE OF COUNTY ROAD 468; THENCE N  $00^{\circ}51'09''$  E, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 421.42 FEET TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPT:

THE SOUTH 50 FEET OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS RIGHT OF WAY FOR MONTCLAIR ROAD, ALSO KNOWN AS COUNTY ROAD 468.

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ALTA Commitment for Title Insurance 8-1-16 with Florida Modifications



CHICAGO TITLE  
INSURANCE COMPANY

## SCHEDULE B-II

### AMERICAN LAND TITLE ASSOCIATION COMMITMENT

#### Exceptions

File No.: 4040INC

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this form.
2. Taxes and assessments for the year 2022 and subsequent years, which are not yet due and payable.
3. Standard Exceptions:
  - A. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land.
  - B. Rights or claims of parties in possession not shown by the public records.
  - C. Any lien, or right to a lien, for services, labor, or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.
  - D. Taxes or assessments which are not shown as existing liens in the public records.
4. Terms and conditions of the Master Development Agreement as contained in Ordinance 2019-003 recorded in Official Records Book 5357, Page 705.
5. Rights of tenants occupying all or part of the insured land under unrecorded leases or rental agreements.

NOTE: All recording references in this form shall refer to the public records of Lake County, Florida, unless otherwise noted.

NOTE: Exception 1 above shall be deemed deleted as of the time the settlement funds or proceeds of the loan to be secured by the insured mortgage, as applicable, are disbursed by the Company or its authorized agent. Neither the Company nor its agent shall, however, be under any duty to disburse any sum except upon a determination that no such adverse intervening matters have appeared of record or occurred.

#### NOTES ON STANDARD EXCEPTIONS:

Item 3A will be deleted from the policy(ies) upon receipt of an accurate survey of the Land acceptable to the Company. Exception will be made for any encroachment, setback line violation, overlap, boundary line dispute or other adverse matter disclosed by the survey.

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CHICAGO TITLE  
INSURANCE COMPANY

Items 3B, 3C, and 3D will be deleted from the policy(ies) upon receipt of an affidavit acceptable to the Company, affirming that, except as disclosed therein (i) no parties in possession of the Land exist other than the record owner(s); (ii) no improvements have been made to the Land within 90 days prior to closing which have not have been paid for in full; and (iii) no unpaid taxes or assessments are against the Land which are not shown as existing liens in the public records. Exception will be made for matters disclosed in the affidavit.

**END OF SCHEDULE B – SECTION II**

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**CITY OF FRUITLAND PARK  
STAFF REPORT BY LPG URBAN & REGIONAL PLANNERS, INC.**

**PRELIMINARY PLAT**

**Owner(s):** Rufus M Holloway, Jr. Family Trust, Holloway Properties Inc., & Leesburg Fruit Company Inc.

**Applicant:** Park Square Homes – Suresh Gupta

**General Location:** 3460 S. US Hwy 27/441, Fruitland Park, Florida

**Number of Acres:** 68.77 ± acres Phase I (Total Site 177.7 ± acres)

**Existing Zoning:** MUPUD

**Existing Land Use:** Mixed Use

**Date:** January 12, 2022

**Description of Project**

A preliminary plat for Phase I of Park Square, formerly known as Leesburg Fruit Company, Inc Planned Unit Development, a 177 ± acres mixed planned unit development located south of Urick Street and east of C.R. 468. The PUD approval includes up to 700 hundred detached single family residential units, assisted living facilities up to 220 beds, a nursing home, commercial uses consistent with C-1 uses, convenience stores with fuel operations, restaurants, banks, recreation and sport facilities with the total commercial square footage not to exceed 48,000 square feet. Approved single family lot widths varied from 50'-70'.

The surrounding uses are provided in Table 1.

	<b>Surrounding Zoning</b>	<b>Surrounding Land Use</b>
<b>North</b>	R-3, R-2, R-1, PFD	SFLD, MFHD, Intuitional
<b>South</b>	County Agriculture	County Urban High Density
<b>East</b>	County Agriculture and LeesburhgR-3	County Urban High Density
<b>West</b>	County R-1	County Urban Medium Density

**Table 1. Surrounding Property Uses**

Phase 1 includes approval for 163 single family detached single family units on 68.77 ± acres. Lot widths range from 50' to 70', Table 2 provided the distribution of the lot widths. Ordinance 2019-003 requires 80% of the lots to be 50' wide, 10 percent of the lots to be 60' wide and the remaining 10 percent to be 70' wide when the community is fully built out. Since this is the initial development phase for the community, the percentages differ slightly from the

percentages required at build out. Phase I provides lot widths consistent with the intent of the approved PUD.

Lot width	Number of Lots in Phase I
50'	141
60'	15
70'	7

**Assessment**

**Review Comments**

The applicant has addressed all previous outstanding planning issues. Review of the preliminary plat indicates that some of the proposed block lengths do not meet the minimum standards of Chapter 157, Section 157.080. Minimum block length is 600' and the maximum block length is 1200'. Please provide an exhibit showing the proposed block lengths. Should a variance be requested, the application may be amended to include the variance with justification.

**Recommendation**

Please provide exhibit showing compliance with block lengths or amend application and request variance with justification.

Please note that evidence of sand skink mitigation credits for impacting sank skinks shall be provided prior to commencing construction.



**City of Fruitland Park, Florida**  
**Community Development Department**  
 506 W. Berckman St., Fruitland Park, Florida 34731  
 Tel: (352) 360-6727 Fax: (352) 360-6652  
 www.fruitlandpark.org

<i>Sta Use Only</i>	
Case No.:	_____
Fee Paid:	_____
Receipt No.:	_____

## Development Application

Contact Information:

Owner Name: Rufus M. Holloway Jr  
 Address: 1616 Lake Shore Drive, Orlando, FL 32803  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_  
 Applicant Name: Park Square Homes - Suresh Gupta  
 Address: 5200 Vineland Road, Suite 200, Orlando, FL 32811  
 Phone: 407-529-3043 Email: darnette@parksquarehomes.com  
 Engineer Name: Halff Associates, Inc. - Charles C. Hiott  
 Address: 902 N. Sinclair Ave., Tavares, FL 32778  
 Phone: 352-343-8481 Email: chiott@halff.com

Property and Project Information:

**PROJECT NAME\*:** Park Square Homes Fruitland Park Phase 1  
\*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.  
 Property Address: Urick Street  
 Parcel Number(s): 1289865, 1289874, 1289904, 1490411, 1639808, 1699959, 1772435, 3540468, 3691334, 39000702 Section: 16 / 9 Township: 19 Range 24  
 Area of Property: 177.7 acres (68.77 - Phase 1) Nearest Intersection: Thomas Avenue and Urick Street  
 Existing Zoning: MUPUD Existing Future Land Use Designation: Mixed Use  
 Proposed Zoning: MUPUD Proposed Future Land Use Designation: Mixed Use  
 The property is presently used for: Agriculture  
 The property is proposed to be used for: 163 lot subdivision  
 Do you currently have City Utilities? yes

Application Type:


- |  |  |   |  |
|--|--|---|--|
| <input type="checkbox"/> Annexation      | <input type="checkbox"/> Comp Plan Amendment         | <input type="checkbox"/> Rezoning               | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance        | <input type="checkbox"/> Special Exception Use       | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat          |
| <input type="checkbox"/> Minor Lot Split | <input checked="" type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Construction Plan      | <input type="checkbox"/> ROW/Plat Vacate     |
| <input type="checkbox"/> Site Plan       | <input type="checkbox"/> Minor Site Plan             | <input type="checkbox"/> Replat of Subdivision  |  |

Please describe your request in detail: Construct 163 single family lot subdivision

**Required Data, Documents, Forms & Fees**

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Printed Name: Suresh Gupta

Signature:  Date: 9/1/2021

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

# Development Application Checklist

## The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd)     Current Deed     Aerial Photo  
 Property Appraiser Information     Electronic Copy of Application     Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through [www.lakecountyfl.gov/maps/](http://www.lakecountyfl.gov/maps/). Note: All maps are required to depict adjacent properties at a minimum.

**Failure to provide adequate maps may delay the application process.**

## Other Required Analyses and Maps:

### Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment     Environmental Constraints Map     Requested FLU Map

### Large Scale Comprehensive Plan Amendment Applications:

Maps:     Environmental Constraints     Soils     Requested FLUM Designation     Requested Zoning Map Designation

Analyses:     Environmental Assessment     Utility Availability Analysis     Urban Sprawl Analysis     School Impact Analysis  
 Traffic Impact Analysis     Consistency with the Comp Plan     Florida Master Site File sign-off or Archaeological Survey

Rezoning Applications:     Requested Zoning Map     Justification for Rezoning

### Planned Development Applications:

Maps/Plans:     Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G     Environmental Constraints

Analyses:     Environmental Assessment     Traffic Impact Analysis     Preliminary Concurrency Analysis

Variance Applications:     Justification for Variance

### Special Exception Use Applications:

- Site Sketch     Justification for Special Exception Use  
 List of Special Requirements as Described in LDRs, Chapter 155

### Conditional Use Permit Applications:

- Site Plan as Described in LDRs, Chapter 155     Proposed List of Conditions and Safeguards  
 Written Statement as Described in LDRs, Chapter 155

### Subdivision Applications:

(Preliminary Plan, Improvement Plan and Final Plat)

- As Described in LDRs, Chapter 157

### Minor Subdivision Applications:

- As Described in LDRs, Chapter 157

### Site Plan Applications:

- As Described in LDRs, Chapter 160

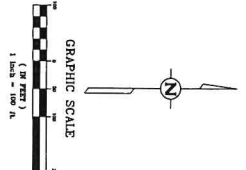
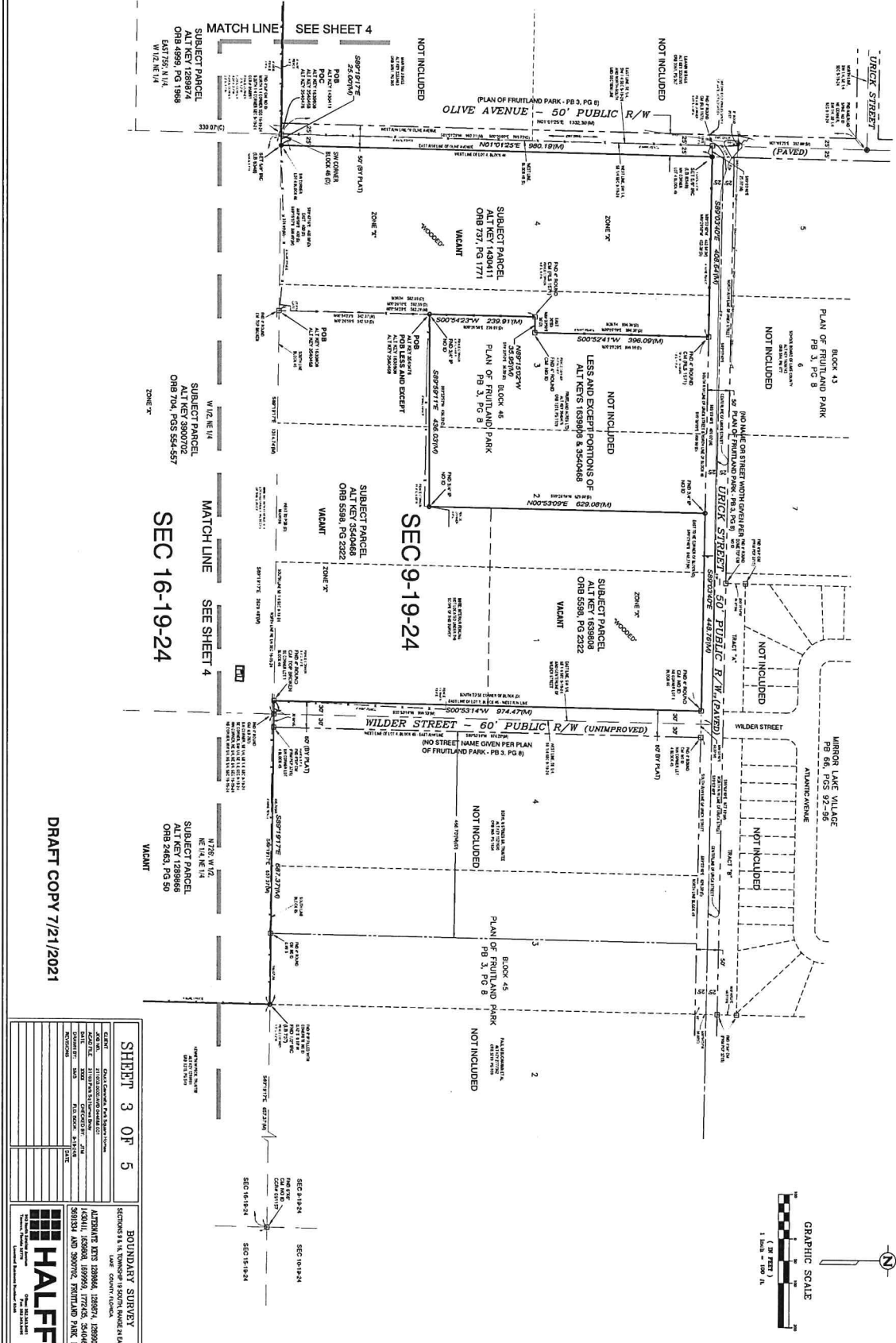









# BOUNDARY SURVEY



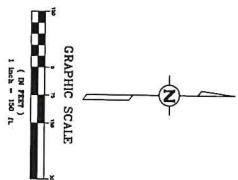
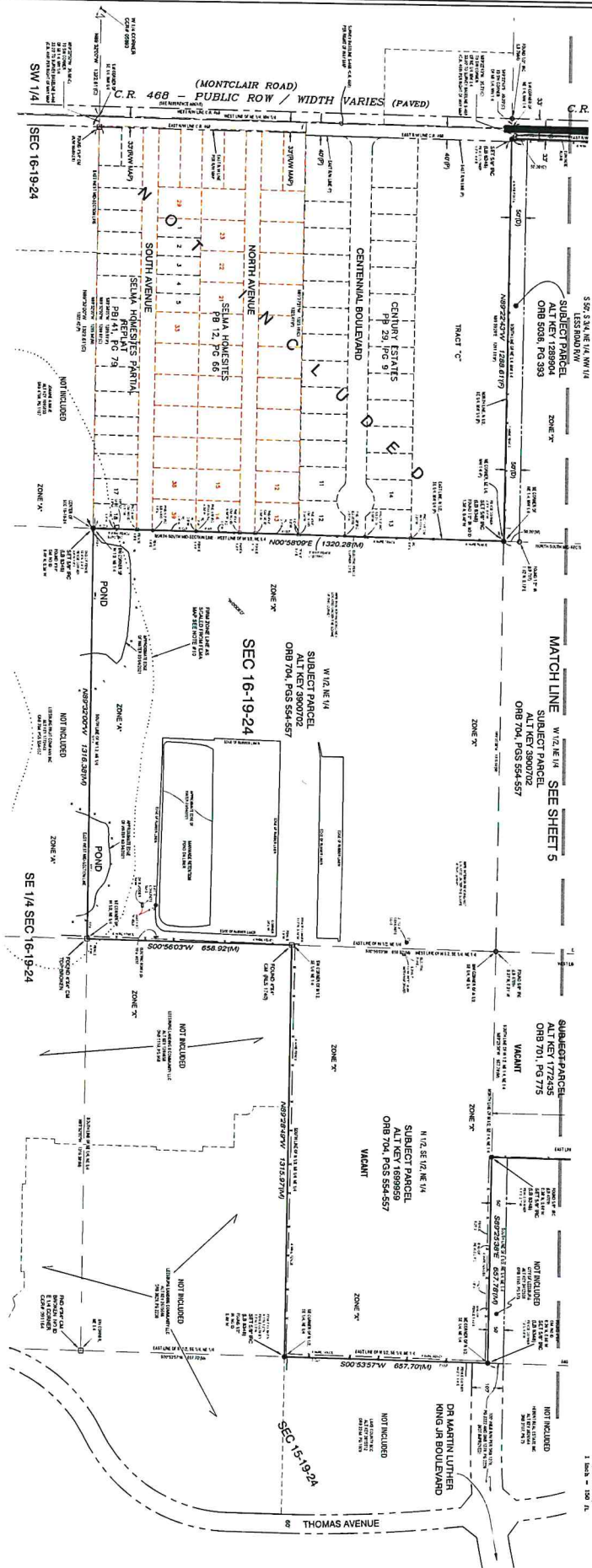
DRAFT COPY 7/21/2021

<b>SHEET 3 OF 5</b>	
<p style="text-align: center;"><b>BOUNDARY SURVEY</b></p> <p style="text-align: center;">SECTION 9 &amp; 10, TOWNSHIP 19 SOUTH, RANGE 24 EAST LAKE COUNTY, ILLINOIS</p> <p>ALTERNATE KEYS 128964, 128974, 128984, 143011, 143084, 163995, 177405, 350464, 599134 AND 599702, FRUITLAND PARK, IL</p>	<p>CLIENT: FRUITLAND PARK DISTRICT</p> <p>DATE: 11/10/2020</p> <p>PROJECT: BOUNDARY SURVEY</p> <p>SCALE: AS SHOWN</p> <p>DATE: 7/21/2021</p>
	



# BOUNDARY SURVEY

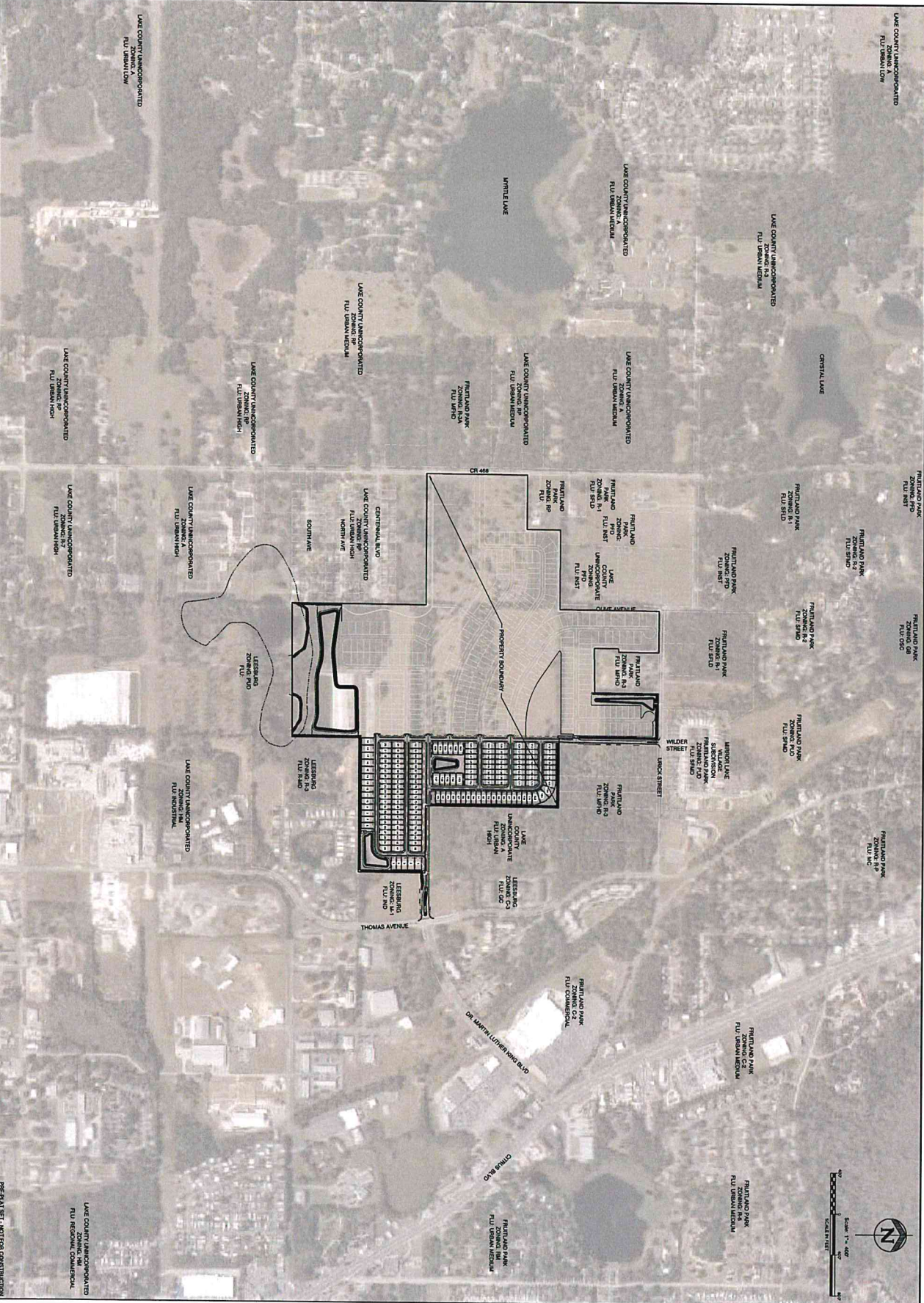
**\* NOTE**  
 COUNTY ROAD 468 (G-468) SURVEY BASELINE AND RIGHT OF WAY INFORMATION  
 COUNTY ROAD 468 (G-468) SURVEY BASELINE AND RIGHT OF WAY INFORMATION  
 W/1/2 NE 1/4, SECTION 16-19-24, SHEET 5 OF 5  
 MAP BOOK 6, PAGE 158. PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.



DRAFT COPY 7/21/2021

<b>SHEET 5 OF 5</b>		<b>BOUNDARY SURVEY</b>	
CLIENT: DATE: LOCATION: COUNTY: TOWNSHIP: RANGE: SECTION:	ALTHOFF, ALI ALTHOFF, ALI ALTHOFF, ALI ALTHOFF, ALI ALTHOFF, ALI ALTHOFF, ALI	SECTION: 16-19-24 TOWNSHIP: 19N RANGE: 19W COUNTY: LAKE STATE: FLORIDA	PROJECT NO.: DRAWN BY: CHECKED BY: DATE:
		THE SURVEYING COMPANY 1000 W. UNIVERSITY AVENUE, SUITE 100 GAITHERSBURG, MD 20878	

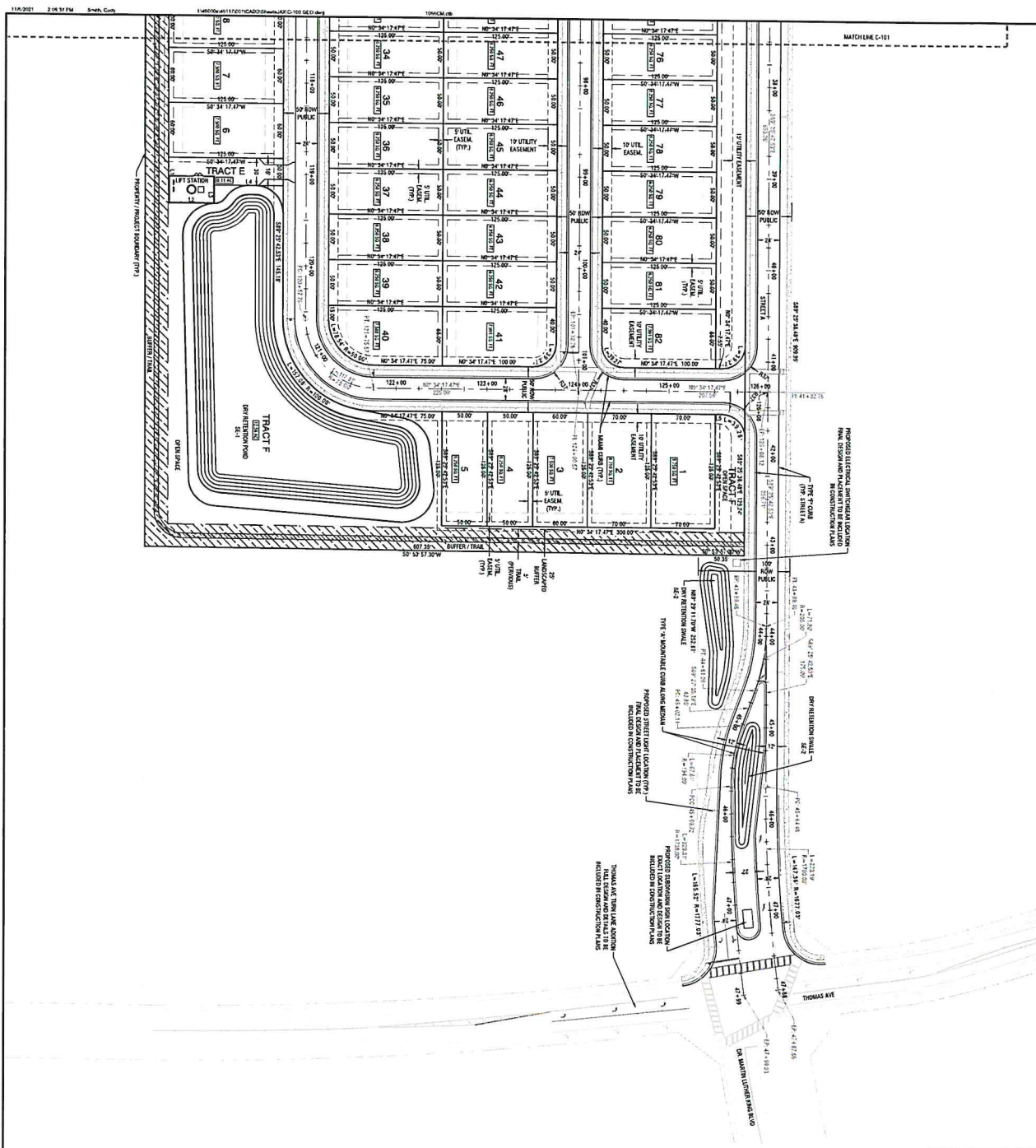




<p>DATE: 11/16/2021                  DESIGNED BY: CSE                  DRAWN BY: TOWNT                  CHECKED BY: JMC                  JOB NO.: 045117201</p>	<p>902 North Sinclair Ave.                  Tavares, Florida 32770                  Office: 352-743-8461                  Fax: 352-743-8495                  Certificate of Authorization Number: 33392</p>	<p><b>ARBOR PARK - PHASE 1</b>  <b>FRUITLAND PARK, FL</b></p> <p>C-002                  VICINITY MAP</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>REVISION</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>	DATE	REVISION																				
DATE	REVISION																								

CHARLES C. HIGHT, P.E.  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 35210

C-002



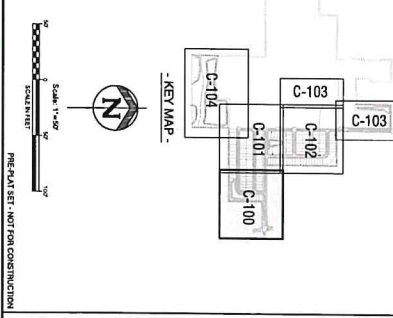
**LEGEND -**

ROAD CENTERLINE	EXISTENT
RIGHT OF WAY	ROADWAY NETWORK
RIGHT OF WAY (EXISTING)	EDGE OF ROAD / PROPOSED ROAD
PROPERTY LINE	RETAINING WALL

- NOTES:**
1. ALL DIMENSIONS SHOWN ARE BASED ON THE ORIGINAL SURVEY AND RESIDENTIAL CROWNWAY.
  2. ALL CONCRETE STRUCTURES AND DRIVEWAY CONCRETE SHALL BE FINISHED ON THE EXISTING GRADE UNLESS OTHERWISE NOTED.
  3. ALL DIMENSIONS SHOWN ARE BASED ON THE ORIGINAL SURVEY AND RESIDENTIAL CROWNWAY.
  4. ALL DIMENSIONS SHOWN ARE BASED ON THE ORIGINAL SURVEY AND RESIDENTIAL CROWNWAY.
  5. ALL DIMENSIONS SHOWN ARE BASED ON THE ORIGINAL SURVEY AND RESIDENTIAL CROWNWAY.

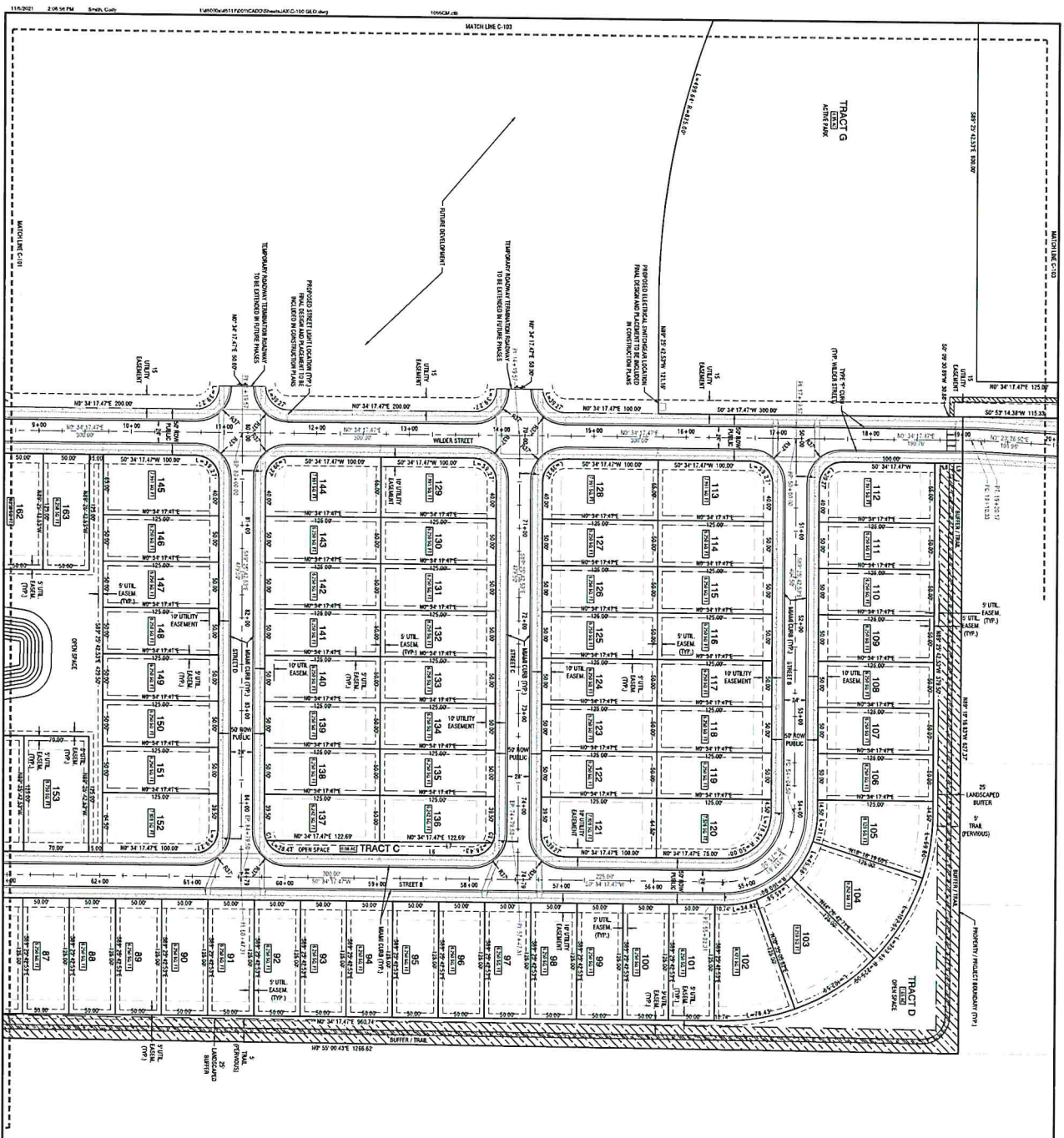
**PARCEL LINE AND CURVE TABLE**

LINE/CURVE#	LENGTH	BEARING/DELTA	ADIUS
L1	50.00	S87°25'42.52"W	
L2	50.00	S87°25'42.52"W	
L3	20.00	S87°25'42.52"E	
L4	75.00	S87°25'42.52"W	
L5	382.55	S87°25'42.52"W	



<p>DATE: 11/14/2021          DESIGNED BY: CSB          DRAWN BY: TDM/ML          CHECKED BY: MAC          JOB NO.: 043117001</p>	<p>802 North Sinclair Ave.          Tallahassee, Florida 32310          Office: 352.343.8441          Fax: 352.343.8495          Certificate of Authorization Number: 33280</p>	<p><b>ARBOR PARK - PHASE 1</b>  <b>FRUITLAND PARK, FL</b></p> <p><b>C-100</b>  <b>PRE-PLAT</b></p>	<p>CHARLES C. HORTON, P.E.          LICENSE NO. 12543          PROFESSIONAL SEAL</p>
--	---	--	--



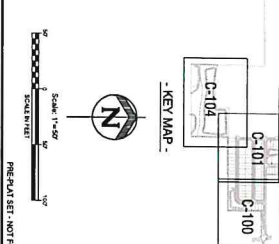


**PARCEL LINE AND CURVE TABLE**

LINE/ARC/CHORD	LENGTH	BEARING/CURVE DATA	RADIUS
C1	10.84	24.83	25.00
C2	10.84	24.83	25.00
C3	200.00	90° 00' 00"	-
L1	345.33	90° 00' 00"	-
L2	307.78	90° 00' 00"	-
L3	378	90° 00' 00"	-

**LEGEND**

- ROAD CENTERLINE
- ROAD RIGHT-OF-WAY (PROPOSED)
- ROAD RIGHT-OF-WAY (EXISTING)
- PRIORITY LINE
- DESCRIPT
- BUILDING SETBACK
- EDGE OF ROAD / SIDE OF CURB
- RETAINING WALL



DATE: 11/15/2023  
 DESIGNED BY: CSB  
 DRAWN BY: TRODENT  
 CHECKED BY: JMC  
 JOB NO.: 24117201  
**C-102**

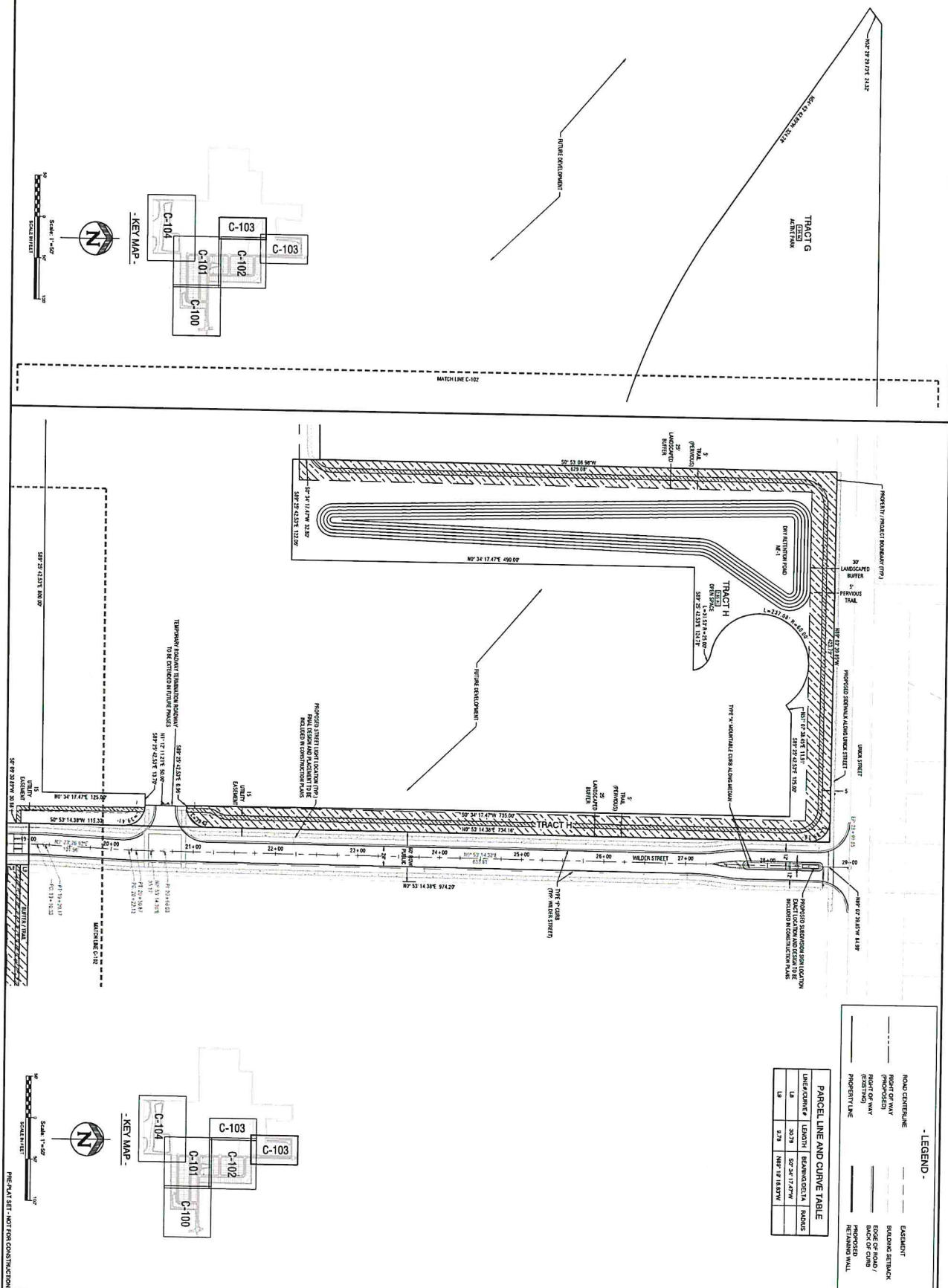
902 North Sinclair Ave.  
 Tallahassee, Florida 32310  
 Office: 904.342.8481  
 Fax: 904.342.8495  
 Certificate of Authorization Number: 31262

**ARBOR PARK - PHASE 1  
 FRUITLAND PARK, FL**  
**C-102  
 PRE-PLAT**

NO.	REVISION	DATE

CHARLES C. HORTON, P.E.  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 LICENSE NO. 12512





**LEGEND**

- ROAD CENTERLINE
- RIGHT OF WAY (PROPOSED)
- RIGHT OF WAY (EXISTING)
- PROPOSED LINE
- EASEMENT
- BUILDING SETBACK
- EDGE OF ROAD / PROPOSED
- RETAINMENT WALL

**PARCEL LINE AND CURVE TABLE**

LINE/CURVE #	LENGTH	BEARING/DELTA	RADIUS
1A	307.78	S 87° 24' 17" W	
1B	9.78	S 89° 17' 18.87" W	

DATE: 11/6/2021  
 DESIGNED BY: GRS  
 DRAWN BY: TRACENT  
 CHECKED BY: JAC  
 JOB NO.: 043117201

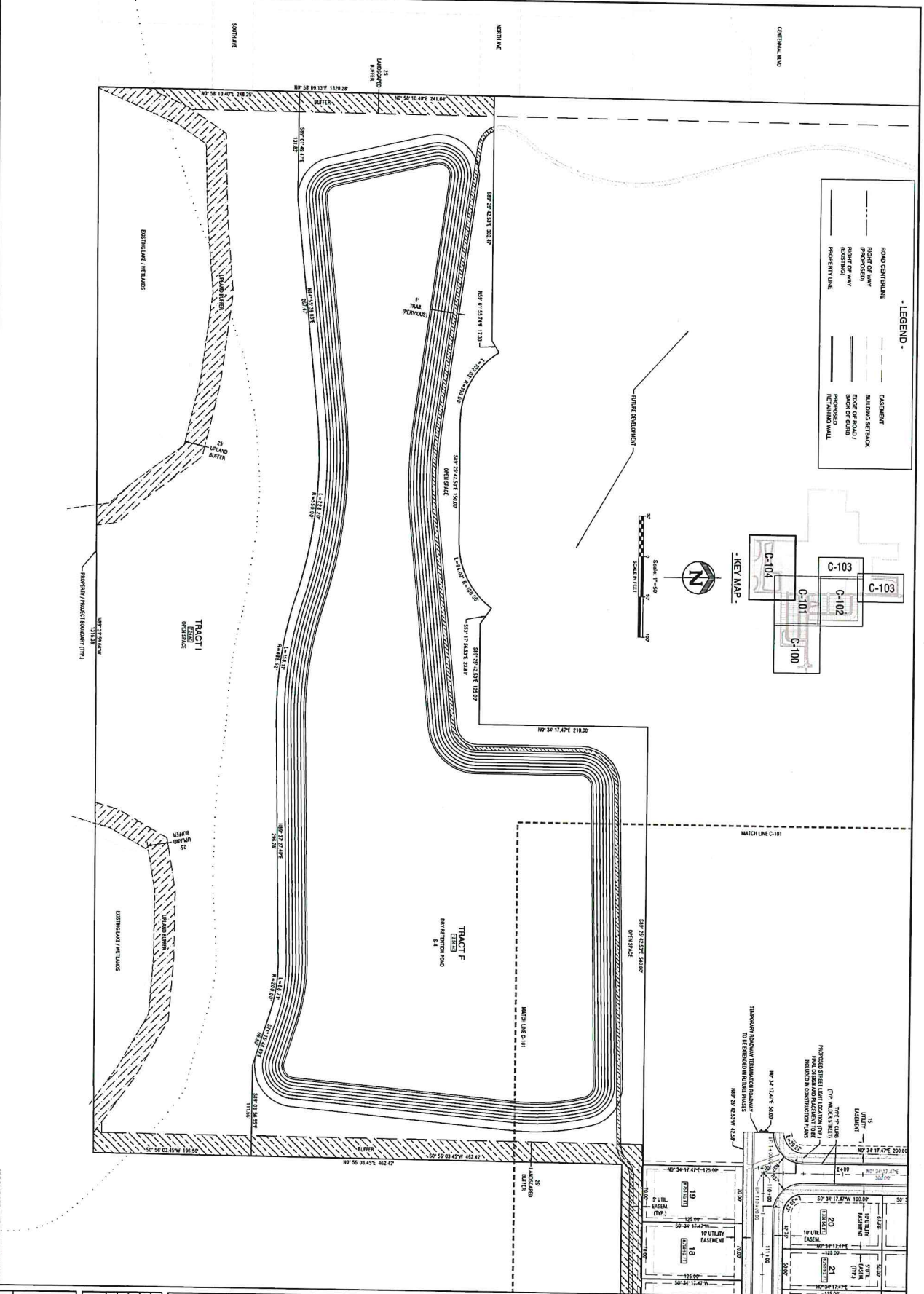
**C-103**

902 North Sinclair Ave.  
 Tallahassee, Florida 32310  
 Office: 323-543-8481  
 Fax: 323-542-5499  
 Certificate of Authorization Number: 32280

**ARBOR PARK - PHASE 1  
 FRUITLAND PARK, FL**

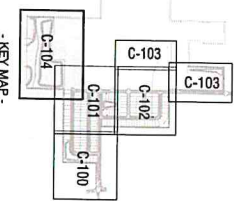
**C-103  
 PRE-PLAT**

NO.	DESCRIPTION
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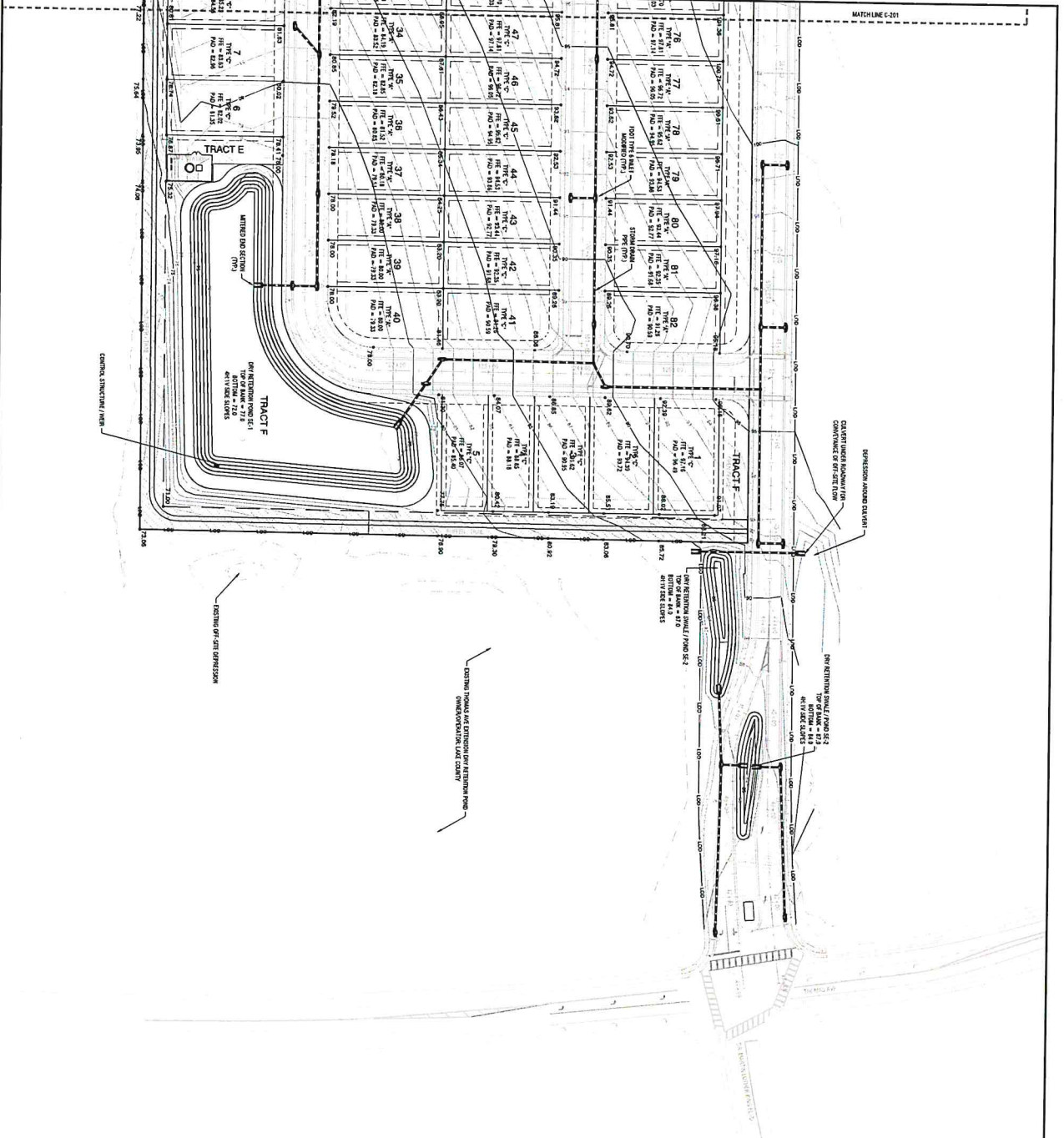


- LEGEND -

	ROAD CENTERLINE		EASEMENT
	RIGHT OF WAY PROPOSED		BUILDING SETBACK
	RIGHT OF WAY EXISTING		ROAD OF WAY PROPOSED
	PROPERTY LINE		RETAINING WALL

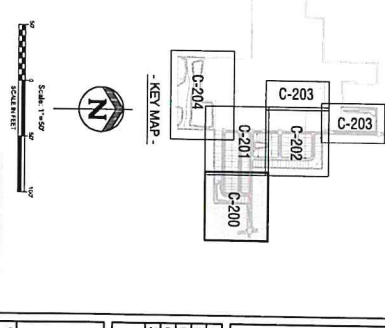
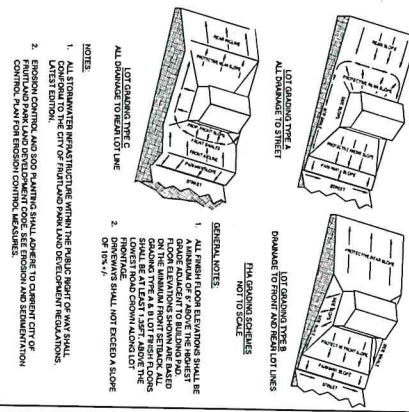


<p>DATE: 11/5/2021 DESIGNED BY: CSB DRAWN BY: TDM/NTG CHECKED BY: MLC JOB NO.: 045117001 <b>C-104</b></p>	 902 North Sinclair Ave. Office: 352.543.8481 Tallahassee, Florida 32378 Fax: 352.561.9459 Certificate of Authorization Number: 33388	<p><b>ARBOR PARK - PHASE 1 FRUITLAND PARK, FL</b></p> <p><b>C-104 PRE-PLAT</b></p>
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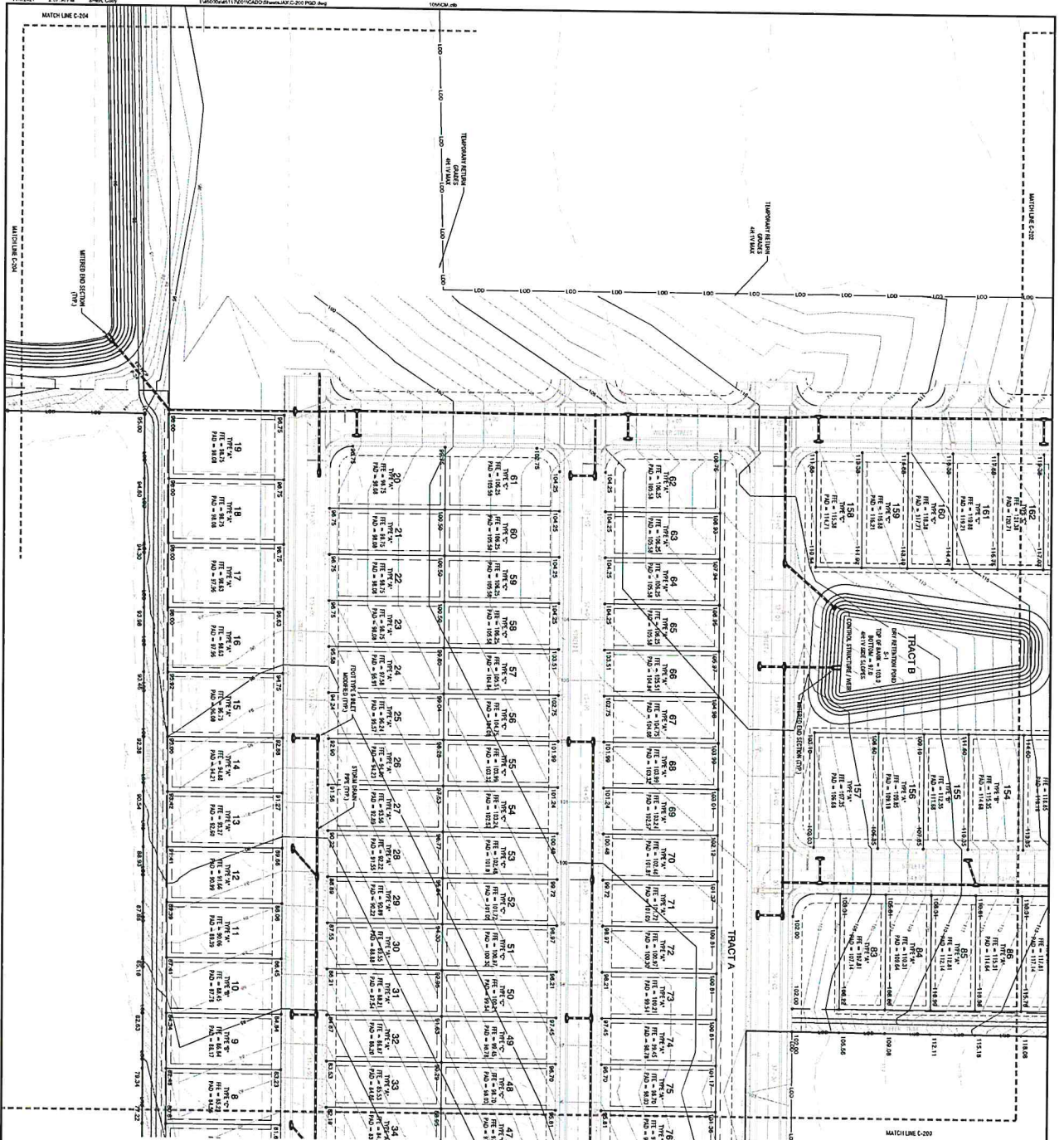
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[Symbol]	RIGHT OF WAY	[Symbol]	SETBACK
[Symbol]	PROPOSED	[Symbol]	EDGE OF ROAD /
[Symbol]	EXISTING	[Symbol]	BACK OF CURB
[Symbol]	PROPERTY LINE	[Symbol]	PROPOSED
[Symbol]	PROPOSED STRUCTURE	[Symbol]	EXISTING WALL
[Symbol]	PROPOSED PERIMETER	[Symbol]	EXISTING GRADE
[Symbol]	P-200	[Symbol]	SPOT ELEVATION
[Symbol]	EXISTING STORM SEWER	[Symbol]	FINISHED GRADE SPOT
[Symbol]	EXISTING GRADE CONTROL	[Symbol]	RETAINING WALL
[Symbol]	EXISTING GRADE CONTROL	[Symbol]	STEPS WALL
[Symbol]	EXISTING GRADE CONTROL	[Symbol]	EXISTING GRADE CONTROL
[Symbol]	EXISTING GRADE CONTROL	[Symbol]	FINISHED GRADE CONTROL (MAJOR)
[Symbol]	EXISTING GRADE CONTROL	[Symbol]	LIMIT OF DISTURBANCE



DATE: 11/6/2021  
 DESIGNED BY: [Name]  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 JOB NO.: 001117001  
**C-200**

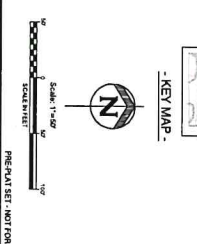
963 North Snodgrass Ave.  
 Tallahassee, Florida 32310  
 Phone: 904.243.8461  
 Fax: 904.243.8466  
 Certificate of Authorization Number: 52380

ARBOR PARK - PHASE 1 FRUITLAND PARK, FL	
C-200	
GRADING AND DRAINAGE PLAN	
DATE:	11/6/2021
DESIGNED BY:	[Name]
DRAWN BY:	[Name]
CHECKED BY:	[Name]
JOB NO.:	001117001



**LEGEND**

ROAD CENTERLINE	DASHED	BORROW
PROPOSED NEW	SOLID	SETBACK
PROPOSED EXISTING	DASHED	EDGE OF ROAD /
PROPERTY LINE	SOLID	BACK OF CURB
PROPOSED	SOLID	PROPOSED WALL
EXISTING	DASHED	PROPOSED DRAIN
PROPOSED	SOLID	SPOT ELEVATION
DRAINAGE PIPE NUMBER	1500	ELEVATION
PROPOSED STORM SEWER	1500	REMAINING WALL
EXISTING STORM SEWER	1500	FINISHED GRADE
EXISTING DRAINAGE CONTROL	1500	CONTROLLING GRADE
EXISTING DRAINAGE CONTROL	1500	(PAVING)
EXISTING DRAINAGE CONTROL	1500	LIMIT OF SUBMITTANCE



DATE: 11/02/21  
DESIGNED BY: CSB  
DRAWN BY: TOMMYD  
CHECKED BY: AAC  
JOB NO.: 045117261

C-201

912 North Kendrick Ave.  
Tampa, Florida 33776  
Certificate of Authorization Number: 53390

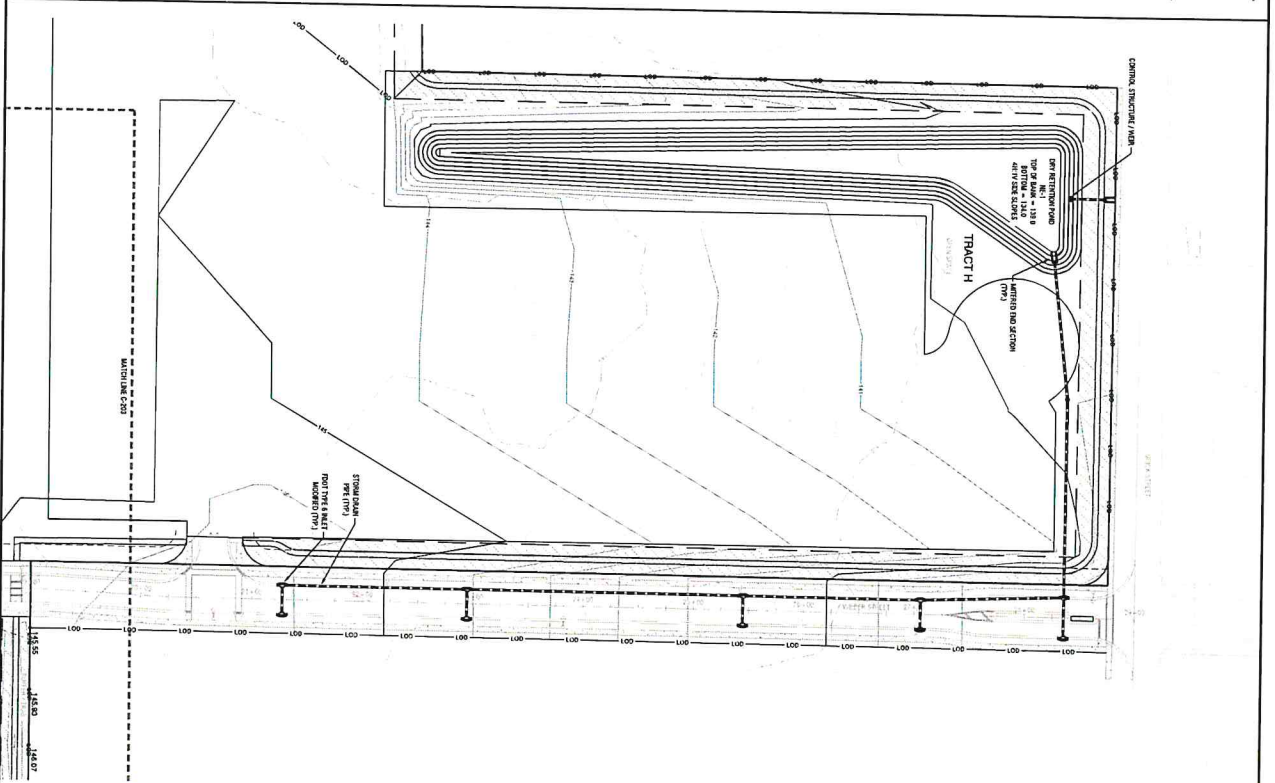
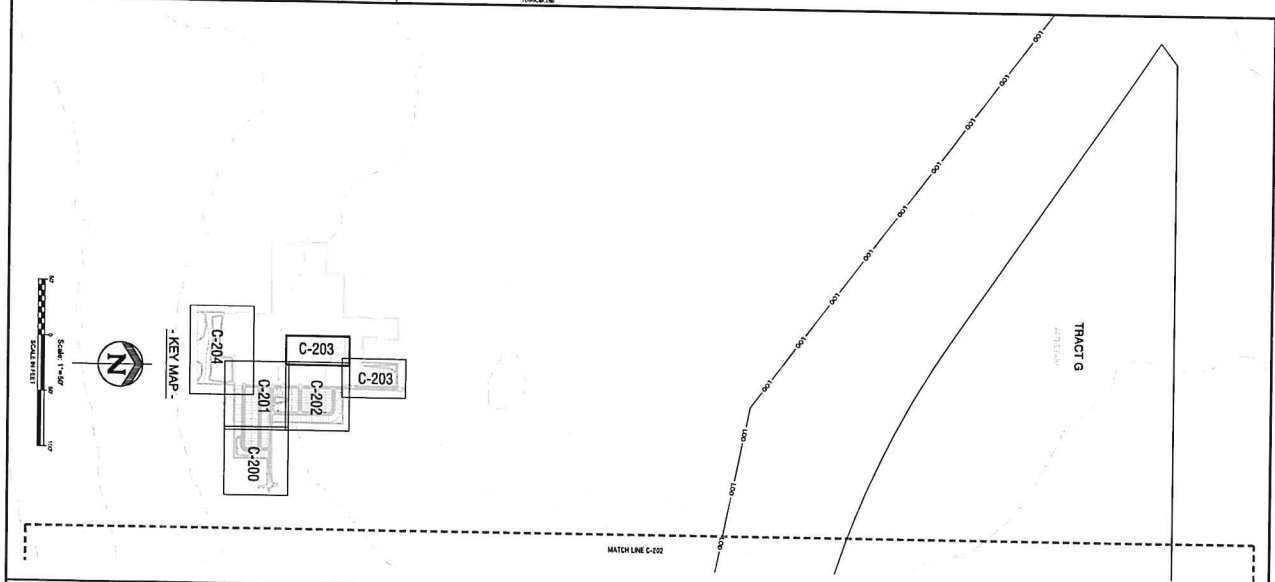
Office: 813.243.8661  
Fax: 813.243.8695

ARBOR PARK - PHASE 1  
FRUITLAND PARK, FL

C-201

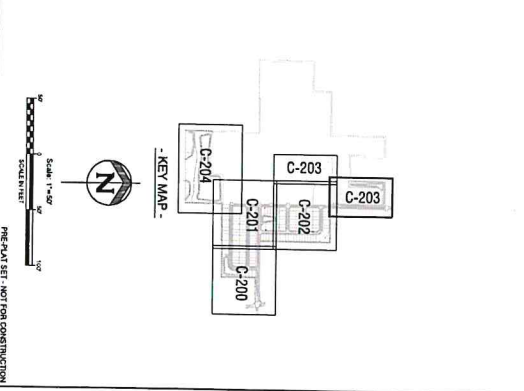
GRADING AND DRAINAGE PLAN



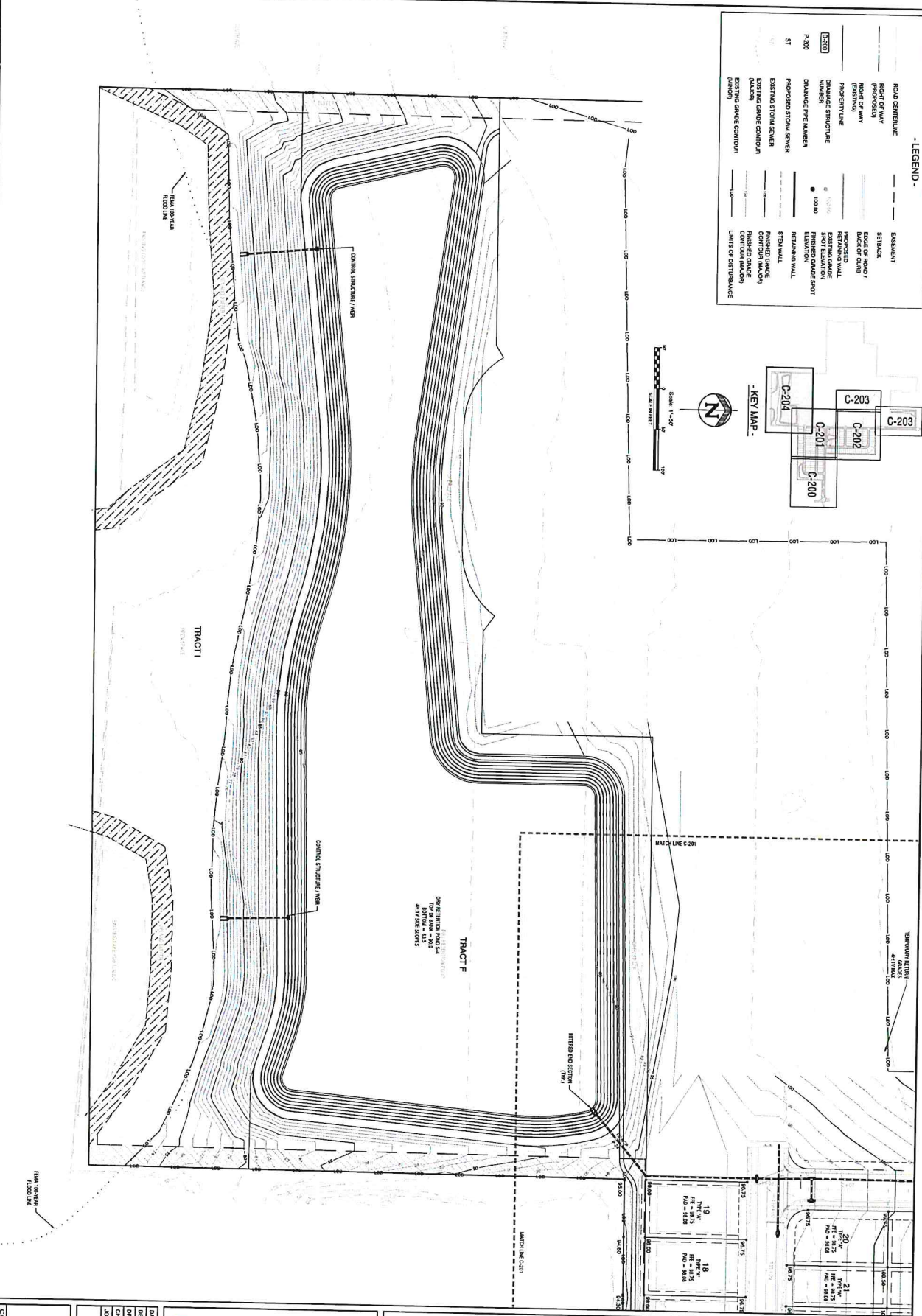


**- LEGEND -**

ROAD CENTERLINE	EXISTENT
RIGHT OF WAY (PROPOSED)	SETBACK
RIGHT OF WAY (EXISTING)	EDGE OF ROAD/PROPOSED
PROPERTY LINE	RETAINING WALL
DRAINAGE STRUCTURE NUMBER	FINISHED GRADE (CONTOUR RAINFALL)
DRAINAGE PIPE NUMBER	FINISHED GRADE (CONTOUR SPOT ELEVATION)
PROPOSED STORM SEWER	RETAINING WALL
EXISTING STORM SEWER	FINISHED GRADE (CONTOUR RAINFALL)
EXISTING STORM SEWER	FINISHED GRADE (CONTOUR SPOT ELEVATION)
EXISTING GRADE CONTROL	LIMIT OF OCCUPANCE
EXISTING GRADE CONTROL	

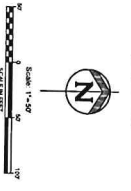
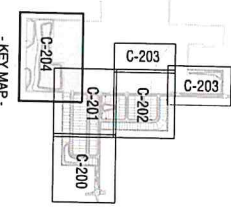


<p>CHARLES C. HORTON &amp; FLS</p> <p>REGISTERED PROFESSIONAL ENGINEER</p> <p>NO. 12583</p>	<p>DATE: 11/02/21</p> <p>DESIGNED BY: CHS</p> <p>DRAWN BY: TDM/ND</p> <p>CHECKED BY: JMC</p> <p>JOB NO.: 06117/201</p>	<p><b>HALFF</b></p> <p>992 North Sinclair Ave. Tampa, Florida 33678</p> <p>Office: 352.343.8461 Fax: 352.343.8493</p> <p>Certificate of Authorization Number: 32360</p>	<p>ARBOR PARK - PHASE 1 FRUITLAND PARK, FL</p> <p>C-203</p> <p>GRADING AND DRAINAGE PLAN</p>	<p>NO. 1</p> <p>NO. 2</p> <p>NO. 3</p> <p>NO. 4</p> <p>NO. 5</p> <p>NO. 6</p> <p>NO. 7</p> <p>NO. 8</p> <p>NO. 9</p> <p>NO. 10</p>
				<p>C-203</p>



**- LEGEND -**

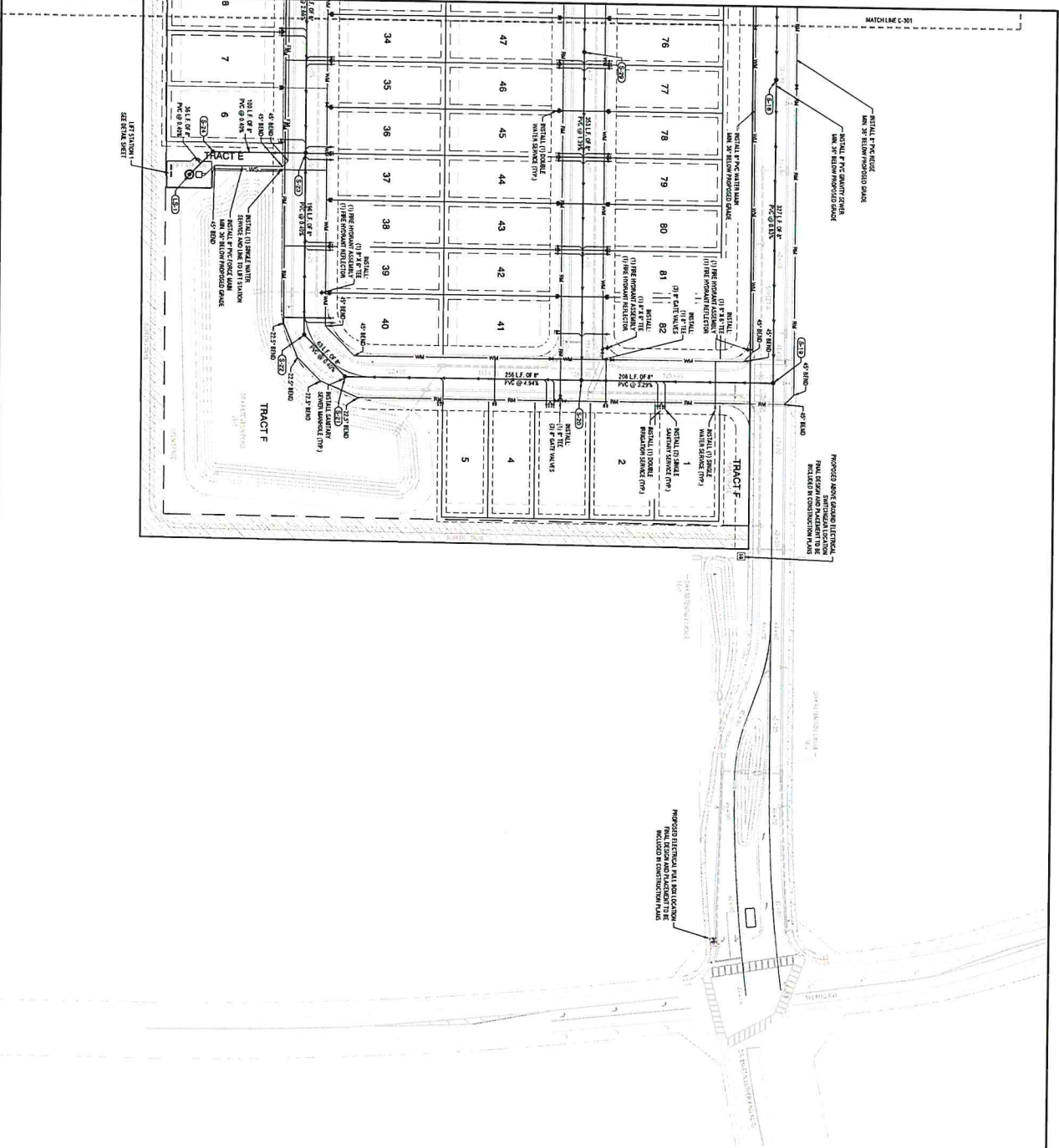
--- ROAD CENTERLINE	--- EASEMENT
--- RIGHT OF WAY (PROPOSED)	--- SIDEWALK
--- RIGHT OF WAY (EXISTING)	--- EDGE OF ROAD / BACK OF CURB
--- PROPERTY LINE	--- RETAINED WALL
--- PROPOSED STRUCTURE NUMBER	--- RETAINED WALL WITH SLOPE
--- EXISTING PIPE NUMBER	--- FINISHED GRADE SPOT ELEVATION
--- PROPOSED STORM SEWER	--- RETAINED WALL
--- EXISTING STORM SEWER	--- STORM WALL
--- EXISTING GRADE CONTROL MARKER	--- FINISHED GRADE SPOT ELEVATION
--- EXISTING GRADE CONTROL MARKER	--- FINISHED GRADE CONTROL MARKER
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--- EXISTING GRADE CONTROL MARKER	--- FINISHED GRADE CONTROL MARKER
--- EXISTING GRADE CONTROL MARKER	--- FINISHED GRADE CONTROL MARKER
--- EXISTING GRADE CONTROL MARKER	--- FINISHED GRADE CONTROL MARKER



**TRAJECT F**  
 DRAINAGE STRUCTURE NO. 14  
 FINISHED GRADE SPOT ELEVATION: 113.10  
 FINISHED GRADE CONTROL MARKER: 113.10  
 FINISHED GRADE CONTROL MARKER: 113.10

NO.	DESCRIPTION
18	18'-0" x 24'-0" PRECAST CONCRETE BOX CULVERT
19	18'-0" x 24'-0" PRECAST CONCRETE BOX CULVERT
20	18'-0" x 24'-0" PRECAST CONCRETE BOX CULVERT
21	18'-0" x 24'-0" PRECAST CONCRETE BOX CULVERT

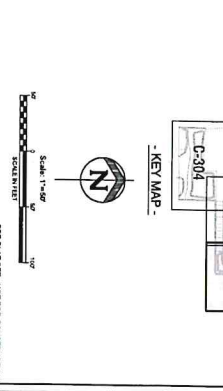
<p><b>QUALIFIED PROFESSIONAL ENGINEER</b>                  STATE OF FLORIDA                  LICENSE NO. 12021</p>	<p><b>HALFF</b>                  800 North Boulder Ave.                  Tallahassee, Florida 32309                  Phone: (904) 833-3333                  Fax: (904) 833-3378                  Certificate of Authorization Number: 33290</p>	<p>ARBOR PARK - PHASE 1                  FRUITLAND PARK, FL</p> <p>C-204</p> <p>GRADING AND DRAINAGE PLAN</p>		<p>DATE: 11/5/2021                  DESIGNED BY: CHS                  DRAWN BY: TDWNTD                  CHECKED BY: JAC                  XREF NO.: 04117/201</p> <p align="right"><b>C-204</b></p>
<p>DATE: 11/5/2021                  DESIGNED BY: CHS                  DRAWN BY: TDWNTD                  CHECKED BY: JAC                  XREF NO.: 04117/201</p>		<p>DATE: 11/5/2021                  DESIGNED BY: CHS                  DRAWN BY: TDWNTD                  CHECKED BY: JAC                  XREF NO.: 04117/201</p>		



**LEGEND**

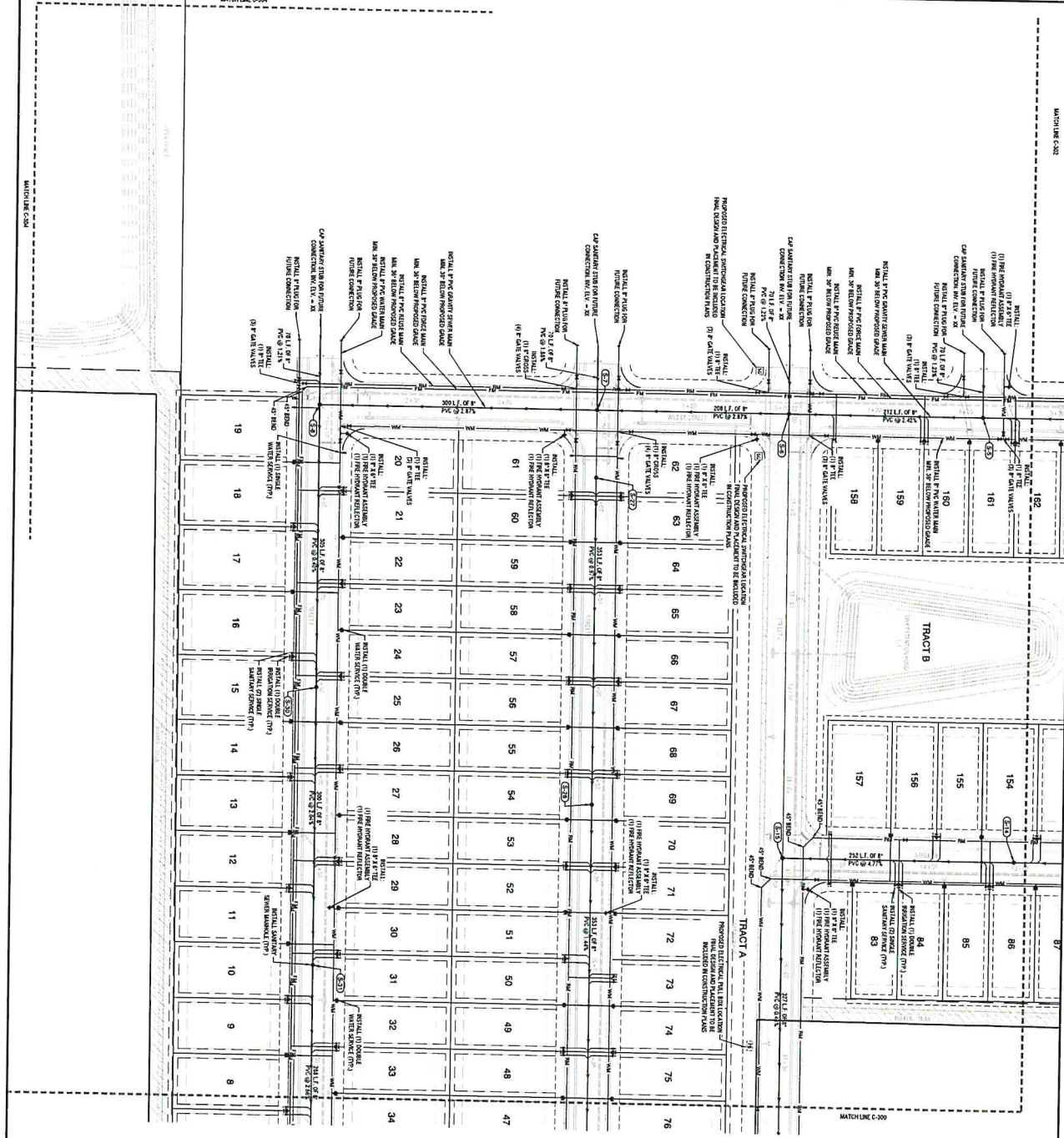
ROAD CENTERLINE	EASEMENT
RIGHT OF WAY	SETBACK
PROPOSED	EDGE OF ROAD /
EXISTING	BACK OF CURB
PROPOSED	PROPOSED
PROPERTY LINE	EXISTING

- NOTES**
1. ALL UTILITIES SHALL CONFORM TO THE CITY OF FRUITLAND PARK LAND DEVELOPMENT REGULATIONS AND STANDARD DETAILS.
  2. ALL WATER MAINS SHALL BE PVC CONFORMING TO AWWA C900, DN-18 FOR PIPE SIZES 4" - 18" ALL OF CURB. ON DIRECTIONAL BODIES, WHICH SHALL BE DN-11 HOPE.
  3. ALL WATER MAINS SHALL BE INSTALLED MINIMUM 6" BELOW FINISHED GRADE.
  4. WATER MAINS TO BE LOCATED 5' FROM BACK OF CURB ON EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  5. ALL SLEEVES UNDER PAVEMENT SHALL EXTEND 5' BEYOND THE BACK OF CURB.
  6. CONTRACT SHALL MARK ALL POINTS WHERE WATER SERVICES CROSS CURB WITH A "W" MARK IN CONCRETE.
  7. ALL FORCE MAINS SHALL BE DN-24 PVC CLASS 100. ALL FORCE MAINS UNDER PAVEMENT SHALL BE 30" OVER THE TOP AND SHALL EXTEND 5' BEYOND THE BACK OF CURB.
  8. ALL GALLEY SEWER MAINS SHALL BE DN-24 PVC.



<p><b>CHARLES C. HOUGHTON</b> Professional Engineer 25413</p>	<p><b>HALFF</b> 902 North Sinclair Ave. Tampa, Florida 33678 Office: 352.243.8481 Fax: 352.243.8495 Certificate of Authorization Number: 23390</p>	<p>DATE: 11/6/2011</p>
		<p>DESIGNED BY: TMD/TG</p> <p>CHECKED BY: LMC</p> <p>JOB NO.: 041117001</p>
<p><b>ARBOR PARK - PHASE 1 FRUITLAND PARK, FL</b></p>		<p>SCALE: AS SHOWN</p>
<p><b>C-300 UTILITIES PLAN</b></p>		<p>PROJECT SET - NOT FOR CONSTRUCTION</p>





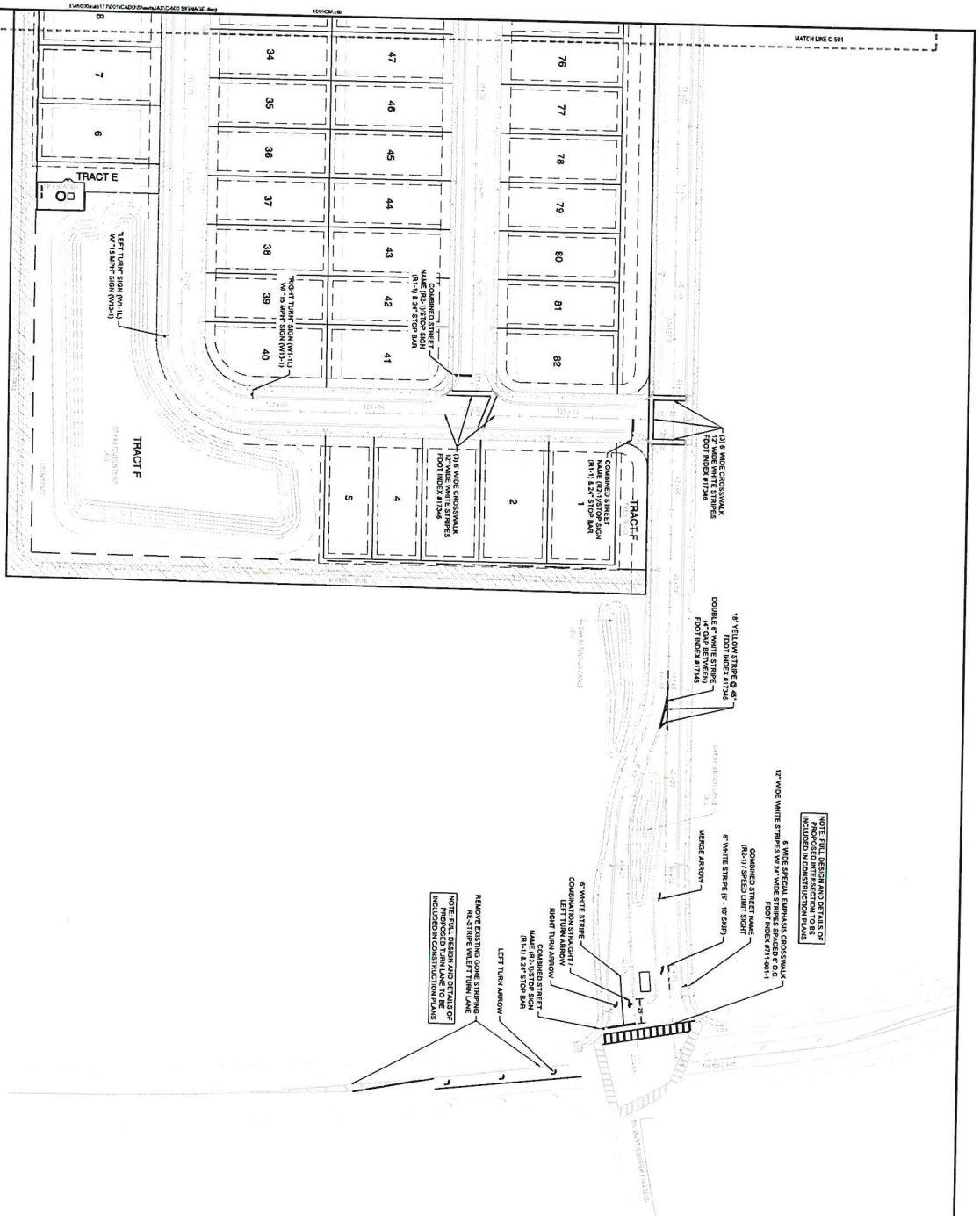
**LEGEND**

- ROAD CENTRELINE
- RIGHT OF WAY (PROPOSED)
- RIGHT OF WAY (EXISTING)
- PROPERTY LINE
- EASEMENT
- SETBACK
- EDGE OF ROAD / PROPOSED
- PROPOSED RETAINING WALL

<p>DATE: 1/15/2021          DESIGNED BY: CHS          DRAWN BY: TDM/TN          CHECKED BY: JMG          JOB NO.: 045117/01</p> <p style="text-align: center;"><b>C-301</b></p>	<p>193 North Boulder Ave.          Tampa, Florida 33678          Office: 813.243.6881          Fax: 813.243.7278          Certificate of Authorization Number: 32280</p>	<p><b>ARBOR PARK - PHASE 1</b>  <b>FRUITLAND PARK, FL</b></p> <p><b>C-301</b>  <b>UTILITIES PLAN</b></p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>REVISION</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	NO.	REVISION								
NO.	REVISION												







NOTE: ALL SIGNAGE AND DETAILS OF PROPOSED INTERSECTION TO BE INCLUDED IN CONSTRUCTION PLANS

8" WIDE SPECIAL EMPHASIS CROSSWALK

COMBINED STREET NAME (R-11) 12" STOP BAR

6" WHITE STRIPING (4" - 12" ARROW)

6" WHITE STRIPING (4" - 12" ARROW)

6" WHITE STRIPING (4" - 12" ARROW)

6" WHITE STRIPING (4" - 12" ARROW)

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6" WHITE STRIPING (4" - 12" ARROW)

6" WHITE STRIPING (4" - 12" ARROW)

**LEGEND**

- ROAD CENTERLINE
- RIGHT OF WAY (PROPOSED)
- RIGHT OF WAY (EXISTING)
- PROPERTY LINE
- EASEMENT
- BUILDING SETBACK
- EDGE OF ROAD (PROPOSED)
- EDGE OF ROAD (EXISTING)
- RETAINING WALL

NOTE: 1. ALL ROADWAY SIGNAGE AND STRIPING SHALL CORRELATE WITH THE FINAL UTILITY FOOT STANDARDS PLANS FOR ROAD CONSTRUCTION AND FOOT STANDARDS SIGNAGE SYSTEM DESIGN.

W1-1L

W1-3-1

W1-1R

SPEED LIMIT 20

R2-1

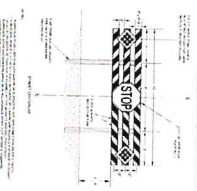
R11-02

R1-1

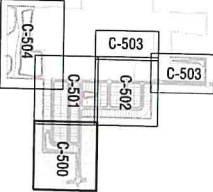
ROAD CLOSED

STOP

15 M.P.H.



**SIGNAGE DETAILS**

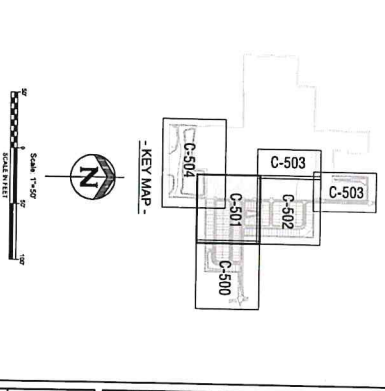
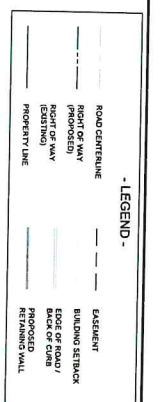
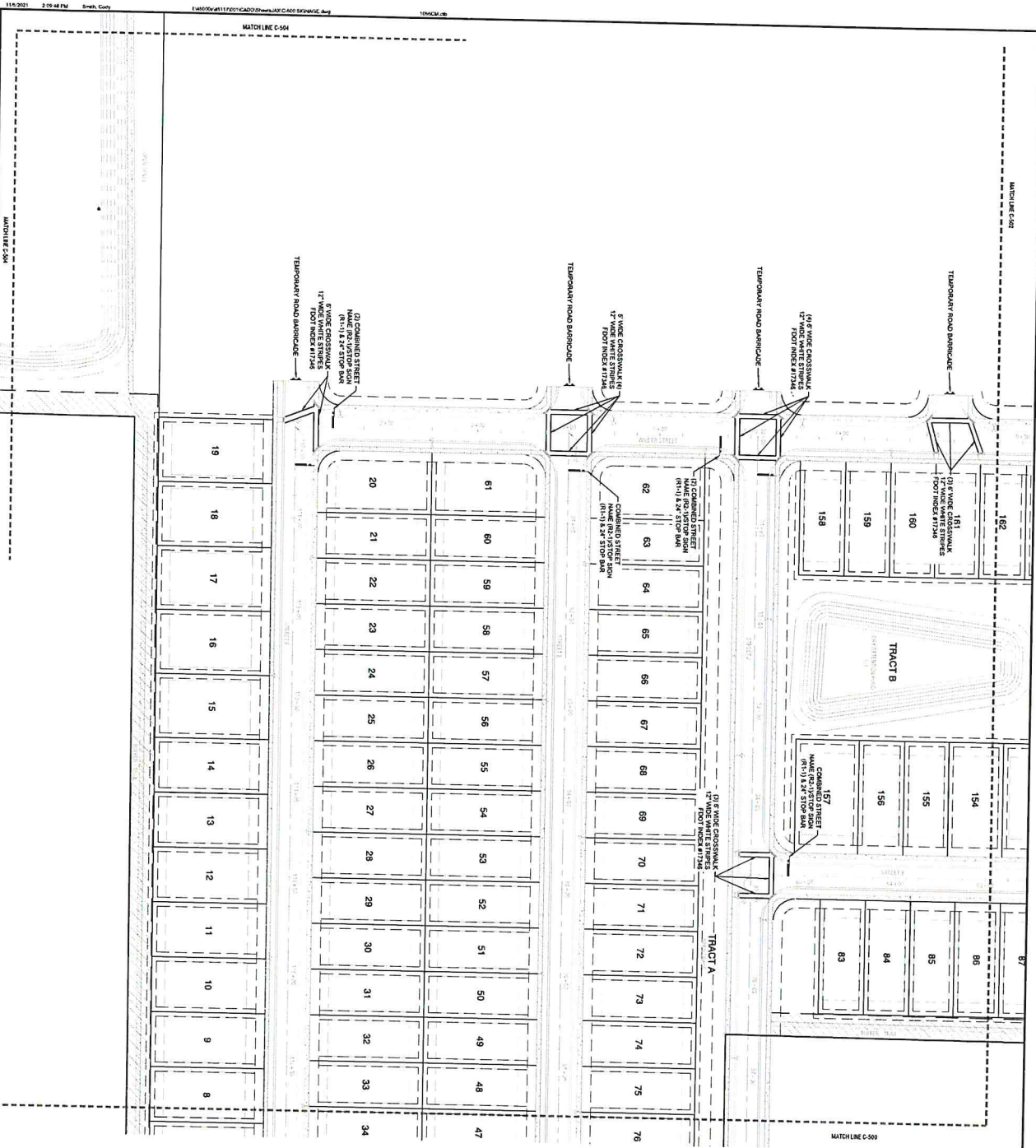


Scale: 1"=40'

North Arrow

KEY MAP

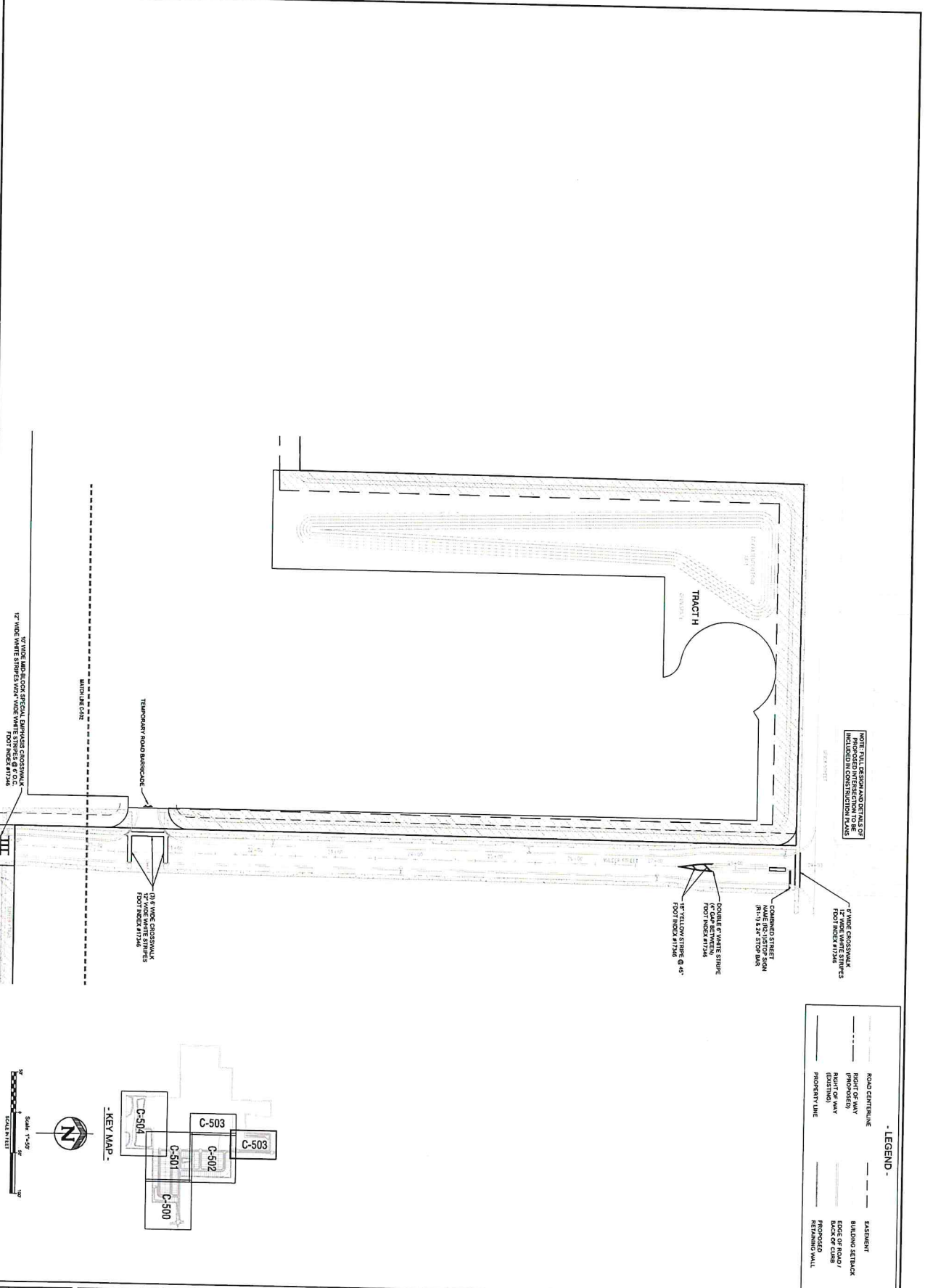
<p>DATE: 11/02/21</p> <p>DESIGNED BY: CBS</p> <p>DRAWN BY: TDK/NTD</p> <p>CHECKED BY: JMC</p> <p>JOB NO.: 04517/201</p>	<p><b>HALFF</b></p> <p>902 North Sinclair Ave. Tampa, Florida 33678</p> <p>Office: 352-343-8461 Fax: 352-343-8466</p> <p>Certificate of Authorization Number: 33290</p>	<p>ARBOR PARK - PHASE 1 FRUITLAND PARK, FL</p> <p>C-500</p> <p>SIGNAGE &amp; STRIPING PLAN</p>	<p>DATE</p> <p>REVISION</p>
			<p>CHARLES C. HIGHTT, PE</p> <p>REGISTERED PROFESSIONAL ENGINEER</p> <p>FLORIDA LICENSE NO. 12483</p>



**ARBOR PARK - PHASE 1**  
**FRUITLAND PARK, FL**  
**C-501**  
**SIGNAGE & STRIPING PLAN**

		993 North Sinder Ave. Tallahassee, Florida 32310 Certificate of Authorization Number 3338	Office: 912.543.8461 Fax: 912.543.8495
		DATE: 11/16/2011 DESIGNED BY: GSB DRAWN BY: TIGARD CHECKED BY: JMC JOB NO.: 043171001	
<b>C-501</b>		CHARLES C. HIGHT, P.E. LICENSE NO. 12543	

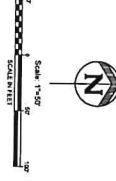
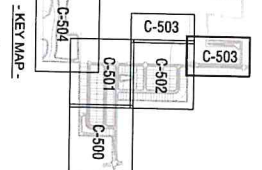




NOT ALL SIGNAGE DETAILS OR PREVIOUS INTERSECTION PLANS INCLUDED IN CONSTRUCTION PLANS

**- LEGEND -**

ROAD CENTERLINE	EASEMENT
RIGHT OF WAY (PROPOSED)	BUILDING SETBACK
RIGHT OF WAY (EXISTING)	EDGE OF ROAD
PROPERTY LINE	BACK OF CURB
	PROPOSED RETAINING WALL



PLEASE SEE -NOT FOR CONSTRUCTION-

<p><b>DATE:</b> 11/02/11  <b>DESIGNED BY:</b> CSB  <b>DRAWN BY:</b> TOWNIE  <b>CHECKED BY:</b> MAC  <b>JOB NO.:</b> 04017201</p> <p style="text-align: center;"><b>C-503</b></p>	<p>992 North Sinclair Ave. Tampa, Florida 33618 Office: 813.243.8481 Fax: 813.243.8493 Certificate of Authorization Number: 32280</p>	<p><b>ARBOR PARK - PHASE 1</b>  <b>FRUITLAND PARK, FL</b></p> <p><b>C-503</b></p> <p><b>SIGNAGE &amp; STRIPING PLAN</b></p>	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td>NO.</td> <td>REVISION</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	NO.	REVISION												
NO.	REVISION																
<p><b>DESIGNED BY:</b> TOWNIE  <b>DATE:</b> 11/02/11</p>		<p><b>SCALE:</b> AS SHOWN</p>															

OWNER'S AFFIDAVIT

STATE OF FLORIDA

COUNTY OF LAKE

Before me the undersigned authority, personally appeared Rufus M. Holloway Jr

\_\_\_\_\_, who being by me first duly sworn on oath deposes and says:

- 1) That he/she is the fee-simple owner of the property legally described on attached page of this application.
- 2) That he/she desires \_\_\_\_\_ to allow Suresh Gupta  
to act as Agent and/or Applicant in their behalf
- 3) That he/she has appointed \_\_\_\_\_ to act as agent on his/her behalf to accomplish the above. The owner is required to complete the Applicant's Affidavit of this application if no agent is appointed to act on his/her behalf.

Rufus M. Holloway Jr  
Affiant (Owner's Signature)

State of Florida  
County of Lake

The foregoing instrument was acknowledged before me this 1 day of September, 20 21 by Rufus M. Holloway Jr who is personally known to me or has produced \_\_\_\_\_ as identification and who did or did not take an oath  
(Notary Seal)

Notary Public - State of Florida  
Commission No HH108368  
My Commission Expires June 20, 2025

Amy M. Spivey  
Signature  
Amy M. Spivey  
Printed Name





# APPLICANT AFFIDAVIT

STATE OF FLORIDA

COUNTY OF LAKE

Before me the undersigned authority, personally appeared Suresh Gupta

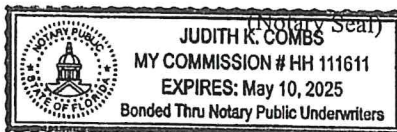
\_\_\_\_\_, who being by me first duly sworn on oath deposes and says:

- 1) That he/she affirms and certifies that he/she understands and will comply with all ordinances, regulations, and provisions of the City of Fruitland Park, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his/her knowledge and belief, and further that this application and attachments shall become part of the Official Records of the City of Fruitland Park, Florida, and are not returnable.
- 2) That the submittal requirements for the application have been completed and attached hereto as part of that application.
- 3) That he/she desires \_\_\_\_\_ to allow \_\_\_\_\_

[Signature]  
\_\_\_\_\_  
Affiant (Applicant's Signature)

State of Florida  
County of Orange

The Foregoing instrument was acknowledged before me this 31 day of August, 2021,  
by Suresh Gupta who is personally known to me or has produced  
\_\_\_\_\_ as identification and who did or did not take an oath



Notary Public - State of Florida  
Commission No HH 111611  
My Commission Expires 5/10/2025

[Signature]  
\_\_\_\_\_  
Signature  
Judith Combs  
\_\_\_\_\_  
Printed Name

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	HOLLOWAY RUFUS M JR TRUSTEE	<b>Alternate Key:</b>	1289866
<b>Mailing Address:</b>	1616 LAKESHORE DR ORLANDO, FL 32803 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b>	16-19-24-0001-000-00200
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a>
<b>Property Location:</b>	WILDER ST LEESBURG FL 34748 <a href="#">Update Property Location</a>	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a>
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> <a href="#">School Boundary Maps</a>
<b>Property Description:</b>	N 726 FT OF W 1/2 OF NE 1/4 OF NE 1/4 ORB 2463 PG 50		
<p><small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small></p>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	NATIVE PASTURE 1 (6500)	0	0	CATTLE	10	AC		\$1,500.00	\$130,000.00

[Click here for Zoning Info](#)
[FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">2463 / 50</a>	12/1/2003	Warranty Deed	Qualified	Vacant	\$100,000.00
<a href="#">1462 / 1318</a>	9/1/1996	Warranty Deed	Unqualified	Vacant	\$0.00
<a href="#">1465 / 2485</a>	9/1/1996	Warranty Deed	Unqualified	Vacant	\$0.00
<a href="#">1053 / 951</a>	4/1/1990	Warranty Deed	Qualified	Vacant	\$27,500.00
<a href="#">741 / 2072</a>	1/1/1982	Personal Rep Deed	Unqualified	Vacant	\$1.00
<a href="#">807 / 2457</a>	1/1/1982	Personal Rep Deed	Unqualified	Vacant	\$1.00

[Click here to search for mortgages, liens, and other legal documents.](#)

## Values and Estimated Ad Valorem Taxes

Values shown below are 2021 WORKING VALUES that are subject to change until certified. The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market	Assessed	Taxable	Millage	Estimated
---------------	--------	----------	---------	---------	-----------

## Property Details : Lake County Property Appraiser

	Value	Value	Value		Taxes
LAKE COUNTY BCC GENERAL FUND	\$130,000	\$1,500	\$1,500	5.03270	\$7.55
LAKE COUNTY MSTU AMBULANCE	\$130,000	\$1,500	\$1,500	0.46290	\$0.69
SCHOOL BOARD STATE	\$130,000	\$1,500	\$1,500	3.70100	\$5.55
SCHOOL BOARD LOCAL	\$130,000	\$1,500	\$1,500	2.99800	\$4.50
CITY OF FRUITLAND PARK	\$130,000	\$1,500	\$1,500	3.91340	\$5.87
ST JOHNS RIVER FL WATER MGMT DIST	\$130,000	\$1,500	\$1,500	0.22870	\$0.34
LAKE COUNTY VOTED DEBT SERVICE	\$130,000	\$1,500	\$1,500	0.11000	\$0.17
LAKE COUNTY WATER AUTHORITY	\$130,000	\$1,500	\$1,500	0.33680	\$0.51
NORTH LAKE HOSPITAL DIST	\$130,000	\$1,500	\$1,500	0.89500	\$1.34
				<b>Total:</b> 17.6785	<b>Total:</b> \$26.52

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

**Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)**

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

### Assessment Reduction Savings ⓘ

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$2,271.69**

**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on January 18, 2021.  
**Site Notice**

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	HOLLOWAY RUFUS M JR TRUSTEE	<b>Alternate Key:</b>	1289874
<b>Mailing Address:</b>	1616 LAKESHORE DR ORLANDO, FL 32803 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b>	16-19-24-0002-000-00600
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a>
<b>Property Location:</b>	COUNTY ROAD 468 LEESBURG FL 34748 <a href="#">Update Property Location</a>	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a>
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> <a href="#">School Boundary Maps</a>
<b>Property Description:</b>	E 756 FT OF N 1/4 OF NE 1/4 OF NW 1/4 ORB 4998 PG 1829 ORB 4999 PG 1968		
<p><small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small></p>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	TIMBER S I 70 (5400)	0	0	TIMBER	5.73	AC		\$2,006.00	\$74,490.00

[Click here for Zoning Info](#) [FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">4999 / 1968</a>	9/7/2017	Warranty Deed	Unqualified	Vacant	\$100.00
<a href="#">4998 / 1829</a>	9/6/2017	Warranty Deed	Unqualified	Vacant	\$100.00
<a href="#">2710 / 656</a>	10/1/2004	Warranty Deed	Qualified	Vacant	\$50,000.00
<a href="#">2252 / 1986</a>	1/29/2003	Warranty Deed	Qualified	Improved	\$200,000.00
<a href="#">1017 / 1895</a>	6/1/1989	Warranty Deed	Qualified	Improved	\$125,000.00

[Click here to search for mortgages, liens, and other legal documents.](#)

## Values and Estimated Ad Valorem Taxes

Values shown below are 2021 WORKING VALUES that are subject to change until certified. The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$74,490	\$2,006	\$2,006	5.03270	\$10.10

LAKE COUNTY MSTU AMBULANCE	\$74,490	\$2,006	\$2,006	0.46290	\$0.93
SCHOOL BOARD STATE	\$74,490	\$2,006	\$2,006	3.70100	\$7.42
SCHOOL BOARD LOCAL	\$74,490	\$2,006	\$2,006	2.99800	\$6.01
CITY OF FRUITLAND PARK	\$74,490	\$2,006	\$2,006	3.91340	\$7.85
ST JOHNS RIVER FL WATER MGMT DIST	\$74,490	\$2,006	\$2,006	0.22870	\$0.46
LAKE COUNTY VOTED DEBT SERVICE	\$74,490	\$2,006	\$2,006	0.11000	\$0.22
LAKE COUNTY WATER AUTHORITY	\$74,490	\$2,006	\$2,006	0.33680	\$0.68
NORTH LAKE HOSPITAL DIST	\$74,490	\$2,006	\$2,006	0.89500	\$1.80
				<b>Total:</b> 17.6785	<b>Total: \$35.47</b>

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Assessment Reduction Savings

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$1,281.41**

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**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on January 18, 2021.

[Site Notice](#)

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	LEESBURG FRUIT CO INC	<b>Alternate Key:</b>	1289904
<b>Mailing Address:</b>	161 LAKE SHORE DR ORLANDO, FL 32803 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b>	16-19-24-0002-000-01300
		<b>Millage Group and City:</b>	0001 (UNINCORPORATED)
		<b>2020 Total Certified Millage Rate:</b>	14.7312
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a>
<b>Property Location:</b>	COUNTY ROAD 488 LEESBURG FL 34788 <a href="#">Update Property Location</a>	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a>
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> <a href="#">School Boundary Maps</a>
<b>Property Description:</b>	S 50 FT OF NE 1/4 OF NW 1/4 ORB 5036 PG 393		
<p><small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small></p>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	PASTURE IMPROVED HAY AVERAGE (6300)	0	0	CATTLE	1.48	AC	\$518.00	\$19,240.00
<a href="#">Click here for Zoning Info</a>		<a href="#">FEMA Flood Map</a>						

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">5036 / 393</a>	11/13/2017	Quit Claim Deed	Unqualified	Vacant	\$100.00
<a href="#">1006 / 1006</a>	3/6/1989	Warranty Deed	Unqualified	Vacant	\$0.00
<a href="#">985 / 1842</a>	10/1/1988	Warranty Deed	Multi-Parcel	Vacant	\$1.00
<a href="#">555 / 987</a>	1/1/1974	Misc Deed/Document	Qualified	Vacant	\$103,200.00
<a href="#">Click here to search for mortgages, liens, and other legal documents.</a>					

## Values and Estimated Ad Valorem Taxes

Values shown below are 2021 WORKING VALUES that are subject to change until certified. The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL	\$19,240	\$518	\$518	5.03270	\$2.61



## FUND

LAKE COUNTY MSTU AMBULANCE	\$19,240	\$518	\$518	0.46290	\$0.24
LAKE COUNTY MSTU FIRE	\$19,240	\$518	\$518	0.47040	\$0.24
SCHOOL BOARD STATE	\$19,240	\$518	\$518	3.70100	\$1.92
SCHOOL BOARD LOCAL	\$19,240	\$518	\$518	2.99800	\$1.55
LAKE COUNTY MSTU STORMWATER	\$19,240	\$518	\$518	0.49570	\$0.26
ST JOHNS RIVER FL WATER MGMT DIST	\$19,240	\$518	\$518	0.22870	\$0.12
LAKE COUNTY VOTED DEBT SERVICE	\$19,240	\$518	\$518	0.11000	\$0.06
LAKE COUNTY WATER AUTHORITY	\$19,240	\$518	\$518	0.33680	\$0.17
NORTH LAKE HOSPITAL DIST	\$19,240	\$518	\$518	0.89500	\$0.46
				<b>Total:</b> 14.7312	<b>Total:</b> \$7.63

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

**This property is benefitting from the following assessment reductions with a checkmark ✓**

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

### Assessment Reduction Savings ⓘ

**The assessment reductions marked with a ✓ above are providing a tax dollar savings of: \$275.80**

**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on January 18, 2021.  
[Site Notice](#)

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	LEESBURG FRUIT COMPANY INC	<b>Alternate Key:</b>	1430411
<b>Mailing Address:</b> 1616 LAKE SHORE DR ORLANDO, FL 32803-1307 <a href="#">Update Mailing Address</a>		<b>Parcel Number:</b> ⓘ	09-19-24-0400-046-00000
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a> ⓘ
<b>Property Location:</b> URICK ST FRUITLAND PARK FL 34731 <a href="#">Update Property Location</a> ⓘ		<b>Property Name:</b>	-- <a href="#">Submit Property Name</a> ⓘ
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> ⓘ <a href="#">School Boundary Maps</a> ⓘ
<b>Property Description:</b>	FRUITLAND PARK BEG SW COR BLK 46, E 400 FT, N 582.55 FT, E 36 FT, N 396.36 FT TO N LINE BLK 46, W TO NW COR BLK 46, S TO POB PB 3 PG 8-9 ORB 737 PGS 1771		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	TIMBER S I 70 (5400)	0	0		9.3	AC		\$3,255.00	\$120,900.00

[Click here for Zoning Info](#) ⓘ      [FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">737 / 1771</a>	11/1/1981	Warranty Deed	Unqualified	Vacant	\$1.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

## Values and Estimated Ad Valorem Taxes ⓘ

Values shown below are 2021 WORKING VALUES that are subject to change until certified. The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$120,900	\$3,255	\$3,255	5.03270	\$16.38
LAKE COUNTY MSTU AMBULANCE	\$120,900	\$3,255	\$3,255	0.46290	\$1.51

1/21/2021

## Property Details : Lake County Property Appraiser

SCHOOL BOARD STATE	\$120,900	\$3,255	\$3,255	3.70100	\$12.05
SCHOOL BOARD LOCAL	\$120,900	\$3,255	\$3,255	2.99800	\$9.76
CITY OF FRUITLAND PARK	\$120,900	\$3,255	\$3,255	3.91340	\$12.74
ST JOHNS RIVER FL WATER MGMT DIST	\$120,900	\$3,255	\$3,255	0.22870	\$0.74
LAKE COUNTY VOTED DEBT SERVICE	\$120,900	\$3,255	\$3,255	0.11000	\$0.36
LAKE COUNTY WATER AUTHORITY	\$120,900	\$3,255	\$3,255	0.33680	\$1.10
NORTH LAKE HOSPITAL DIST	\$120,900	\$3,255	\$3,255	0.89500	\$2.91
				<b>Total:</b>	<b>Total: \$57.55</b>
				17.6785	

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>

1/21/2021

Property Details : Lake County Property Appraiser

Non-Homestead Assessment Limitation (10% assessed value cap)

[Learn More](#) [View the Law](#)

Conservation Classification Assessment Limitation

[Learn More](#) [View the Law](#)

✓ Agricultural Classification

[Learn More](#) [View the Law](#)

### Assessment Reduction Savings

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$2,079.79**

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**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on January 18, 2021.

**Site Notice**

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	RUFUS M HOLLOWAY JR FAMILY TRUST	<b>Alternate Key:</b>	1639808
<b>Mailing Address:</b>	1616 LAKE SHORE DR ORLANDO, FL 32803 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b>	09-19-24- 0400-046- 00002
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a>
<b>Property Location:</b>	WILDER ST FRUITLAND PARK FL 34731 <a href="#">Update Property Location</a>	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a>
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> <a href="#">School Boundary Maps</a>
<b>Property Description:</b>	FRUITLAND PARK FROM SW COR OF BLK 46 RUN S 89DEG 43MIN 16SEC E 400 FT, N 00DEG 26MIN 56SEC E 582.55 FT, E 36 FT, N 396.36 FT TO N LINE OF BLK 46, E ALONG SAID N LINE OF BLK 46 A DIST OF 400 FT FOR POB, RUN S 00DEG 26MIN 10SEC W 489 FT, S 89DEG 30MIN 00SEC E 448.9 FT TO E LINE OF BLK 46, N 00DEG 26MIN 10SEC E ALONG SAID E LINE OF BLK 46 TO N LINE OF BLK 46, W TO POB PB 3 PG 8-9 ORB 4647 PG 957 ORB 5598 PG 2322		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	TIMBER S I 70 (5400)	0	0	STEWARD	5.04	AC		\$1,764.00	\$65,520.00

[Click here for Zoning Info](#)

[FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">5598 / 2322</a>	12/9/2020	Quit Claim Deed	Multi-Parcel	Vacant	\$100.00
<a href="#">4647 / 957</a>	6/25/2015	Warranty Deed	Multi-Parcel	Vacant	\$142,000.00
<a href="#">2045 / 712</a>	12/18/2001	Warranty Deed	Multi-Parcel	Vacant	\$1.00
<a href="#">1102 / 2465</a>	3/1/1991	Warranty Deed	Multi-Parcel	Vacant	\$1.00
<a href="#">1102 / 2467</a>	3/1/1991	Warranty Deed	Multi-Parcel	Vacant	\$1.00

[Click here to search for mortgages, liens, and other legal documents.](#)

### Values and Estimated Ad Valorem Taxes

Values shown below are 2021 WORKING VALUES that are subject to change until certified. The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$65,520	\$1,764	\$1,764	5.03270	\$8.88
LAKE COUNTY MSTU AMBULANCE	\$65,520	\$1,764	\$1,764	0.46290	\$0.82
SCHOOL BOARD STATE	\$65,520	\$1,764	\$1,764	3.70100	\$6.53
SCHOOL BOARD LOCAL	\$65,520	\$1,764	\$1,764	2.99800	\$5.29
CITY OF FRUITLAND PARK	\$65,520	\$1,764	\$1,764	3.91340	\$6.90
ST JOHNS RIVER FL WATER MGMT DIST	\$65,520	\$1,764	\$1,764	0.22870	\$0.40
LAKE COUNTY VOTED DEBT SERVICE	\$65,520	\$1,764	\$1,764	0.11000	\$0.19
LAKE COUNTY WATER AUTHORITY	\$65,520	\$1,764	\$1,764	0.33680	\$0.59
NORTH LAKE HOSPITAL DIST	\$65,520	\$1,764	\$1,764	0.89500	\$1.58
				<b>Total:</b> 17.6785	<b>Total:</b> \$31.18

### Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

### Exemption Savings

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

### Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

### Assessment Reduction Savings ⓘ

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$1,127.11**

**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on January 18, 2021.

**Site Notice**



# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	LEESBURG FRUIT COMPANY INC	<b>Alternate Key:</b>	1699959
<b>Mailing Address:</b>	1616 LAKE SHORE DR ORLANDO, FL 32803-1307 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b>	16-19-24-0001-000-00400
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a>
<b>Property Location:</b>	LANDING DR LEESBURG FL 34748 <a href="#">Update Property Location</a>	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a>
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> <a href="#">School Boundary Maps</a>
<b>Property Description:</b>	N 1/2 OF SE 1/4 OF NE 1/4 ORB 704 PGS 554 556		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	PASTURE IMPROVED HAY AVERAGE (6300)	0	0	CATTLE	20	AC	\$7,000.00	\$130,000.00
2	NATIVE PASTURE 1 (6500)	0	0	CATTLE	3.36	AC	\$504.00	\$21,840.00

[Click here for Zoning Info](#)      [FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

There is no sales history information to display.

[Click here to search for mortgages, liens, and other legal documents.](#)

## Values and Estimated Ad Valorem Taxes

Values shown below are 2021 WORKING VALUES that are subject to change until certified. The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$151,840	\$7,504	\$7,504	5.03270	\$37.77
LAKE COUNTY MSTU AMBULANCE	\$151,840	\$7,504	\$7,504	0.46290	\$3.47

SCHOOL BOARD STATE	\$151,840	\$7,504	\$7,504	3.70100	\$27.77
SCHOOL BOARD LOCAL	\$151,840	\$7,504	\$7,504	2.99800	\$22.50
CITY OF FRUITLAND PARK	\$151,840	\$7,504	\$7,504	3.91340	\$29.37
ST JOHNS RIVER FL WATER MGMT DIST	\$151,840	\$7,504	\$7,504	0.22870	\$1.72
LAKE COUNTY VOTED DEBT SERVICE	\$151,840	\$7,504	\$7,504	0.11000	\$0.83
LAKE COUNTY WATER AUTHORITY	\$151,840	\$7,504	\$7,504	0.33680	\$2.53
NORTH LAKE HOSPITAL DIST	\$151,840	\$7,504	\$7,504	0.89500	\$6.72
				<b>Total:</b>	<b>Total:</b>
				17.6785	\$132.68

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>

1/21/2021

Property Details : Lake County Property Appraiser

Non-Homestead Assessment Limitation (10% assessed value cap)

[Learn More](#) [View the Law](#)

Conservation Classification Assessment Limitation

[Learn More](#) [View the Law](#)

✓ Agricultural Classification

[Learn More](#) [View the Law](#)

### Assessment Reduction Savings

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$2,551.64**

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**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on January 18, 2021.

**Site Notice**

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	HOLLOWAY PROPERTIES INC	<b>Alternate Key:</b>	1772435
<b>Mailing Address:</b>	1616 LAKESHORE DR ORLANDO, FL 32803 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b>	16-19-24-0001-000-00401
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a>
<b>Property Location:</b>	SILVER POINTE CIR LEESBURG FL 34748 <a href="#">Update Property Location</a>	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a>
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a>
			<a href="#">School Boundary Maps</a>
<b>Property Description:</b>	S 594 FT OF W 1/2 OF NE 1/4 OF NE 1/4 ORB 701 PG 775		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	NATIVE PASTURE 1 (6500)	0	0	CATTLE	10	AC	\$1,500.00	\$130,000.00

[Click here for Zoning Info](#)
[FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

There is no sales history information to display.

[Click here to search for mortgages, liens, and other legal documents.](#)

## Values and Estimated Ad Valorem Taxes

Values shown below are 2021 WORKING VALUES that are subject to change until certified. The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$130,000	\$1,500	\$1,500	5.03270	\$7.55
LAKE COUNTY MSTU AMBULANCE	\$130,000	\$1,500	\$1,500	0.46290	\$0.69
SCHOOL BOARD STATE	\$130,000	\$1,500	\$1,500	3.70100	\$5.55

1/21/2021

Property Details : Lake County Property Appraiser

SCHOOL BOARD LOCAL	\$130,000	\$1,500	\$1,500	2.99800	\$4.50
CITY OF FRUITLAND PARK	\$130,000	\$1,500	\$1,500	3.91340	\$5.87
ST JOHNS RIVER FL WATER MGMT DIST	\$130,000	\$1,500	\$1,500	0.22870	\$0.34
LAKE COUNTY VOTED DEBT SERVICE	\$130,000	\$1,500	\$1,500	0.11000	\$0.17
LAKE COUNTY WATER AUTHORITY	\$130,000	\$1,500	\$1,500	0.33680	\$0.51
NORTH LAKE HOSPITAL DIST	\$130,000	\$1,500	\$1,500	0.89500	\$1.34
				<b>Total:</b>	
				17.6785	<b>Total: \$26.52</b>

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>

Conservation Classification Assessment Limitation

[Learn More](#) [View the Law](#)

✓ Agricultural Classification

[Learn More](#) [View the Law](#)

### Assessment Reduction Savings

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$2,271.69**

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Property data last updated on January 18, 2021.

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# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	RUFUS M HOLLOWAY JR FAMILY TRUST	<b>Alternate Key:</b>	3540468
<b>Mailing Address:</b>	1616 LAKE SHORE DR ORLANDO, FL 32803 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b>	09-19-24- 0400-046- 00100
		<b>Millage Group and City:</b>	00F2 (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a>
<b>Property Location:</b>	WILDER ST FRUITLAND PARK FL 34731 <a href="#">Update Property Location</a>	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a>
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> <a href="#">School Boundary Maps</a>
<b>Property Description:</b>	FRUITLAND PARK FROM SW COR OF BLK 46 RUN S 89DEG 43MIN 16SEC E 400 FT FOR POB, RUN N 00DEG 26MIN 56SEC E 342.53 FT, N 89DEG 33MIN 50SEC E 436 FT, N 00DEG 26MIN 10SEC E 140 FT, S 89DEG 30MIN 00SEC E 448.9 FT TO E LINE OF BLK 46, S 00DEG 26MIN 10SEC W 485.8 FT TO S LINE OF BLK 46, N 89DEG 46MIN 00SEC W 884.95 FT TO POB PB 3 PG 8-9 ORB 4647 PG 957 ORB 5598 PG 2322		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	TIMBER S I 70 (5400)	0	0	STEWARD	7.98	AC		\$2,793.00	\$103,740.00

[Click here for Zoning Info](#)      [FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">5598 / 2322</a>	12/9/2020	Quit Claim Deed	Multi-Parcel	Vacant	\$100.00
<a href="#">4647 / 957</a>	6/25/2015	Warranty Deed	Multi-Parcel	Vacant	\$142,000.00
<a href="#">2045 / 712</a>	12/18/2001	Warranty Deed	Multi-Parcel	Vacant	\$124,800.00

[Click here to search for mortgages, liens, and other legal documents.](#)

## Values and Estimated Ad Valorem Taxes

Values shown below are 2021 WORKING VALUES that are subject to change until certified.  
The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$103,740	\$2,793	\$2,793	5.03270	\$14.06
LAKE COUNTY MSTU AMBULANCE	\$103,740	\$2,793	\$2,793	0.46290	\$1.29
SCHOOL BOARD STATE	\$103,740	\$2,793	\$2,793	3.70100	\$10.34
SCHOOL BOARD LOCAL	\$103,740	\$2,793	\$2,793	2.99800	\$8.37
CITY OF FRUITLAND PARK	\$103,740	\$2,793	\$2,793	3.91340	\$10.93
ST JOHNS RIVER FL WATER MGMT DIST	\$103,740	\$2,793	\$2,793	0.22870	\$0.64
LAKE COUNTY VOTED DEBT SERVICE	\$103,740	\$2,793	\$2,793	0.11000	\$0.31
LAKE COUNTY WATER AUTHORITY	\$103,740	\$2,793	\$2,793	0.33680	\$0.94
NORTH LAKE HOSPITAL DIST	\$103,740	\$2,793	\$2,793	0.89500	\$2.50
				<b>Total:</b> 17.6785	<b>Total:</b> \$49.38

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**



### Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

### Assessment Reduction Savings

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$1,784.59**

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Property data last updated on January 18, 2021.  
**Site Notice**

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	HOLLOWAY RUFUS M JR TRUSTEE	<b>Alternate Key:</b>	3691334
<b>Mailing Address:</b>	1616 LAKESHORE DR ORLANDO, FL 32803 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b> ⓘ	16-19-24-0002-000-05400
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a> ⓘ
<b>Property Location:</b>	COUNTY ROAD 468 LEESBURG FL 34748 <a href="#">Update Property Location</a> ⓘ	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a> ⓘ
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> ⓘ <a href="#">School Boundary Maps</a> ⓘ
<b>Property Description:</b>	S 3/4 OF NE 1/4 OF NW 1/4--LESS S 50 FT & LESS RD R/W--ORB 4998 PG 1831 ORB 4999 PG 1998		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	PASTURE IMPROVED HAY AVERAGE (6300)	0	0	CATTLE	17.47	AC	\$6,115.00	\$113,555.00
2	NATIVE PASTURE 1 (6500)	0	0	CATTLE	10.3	AC	\$1,545.00	\$66,950.00

[Click here for Zoning Info](#) ⓘ      [FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">4999 / 1998</a>	9/7/2017	Warranty Deed	Unqualified	Vacant	\$0.00
<a href="#">4998 / 1831</a>	9/6/2017	Warranty Deed	Unqualified	Vacant	\$100.00
<a href="#">1420 / 364</a>	3/1/1996	Trustees Deed	Unqualified	Vacant	\$234,800.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

## Values and Estimated Ad Valorem Taxes ⓘ

Values shown below are 2021 WORKING VALUES that are subject to change until certified. The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL	\$180,505	\$7,660	\$7,660	5.03270	\$38.55

FUND					
LAKE COUNTY MSTU AMBULANCE	\$180,505	\$7,660	\$7,660	0.46290	\$3.55
SCHOOL BOARD STATE	\$180,505	\$7,660	\$7,660	3.70100	\$28.35
SCHOOL BOARD LOCAL	\$180,505	\$7,660	\$7,660	2.99800	\$22.96
CITY OF FRUITLAND PARK	\$180,505	\$7,660	\$7,660	3.91340	\$29.98
ST JOHNS RIVER FL WATER MGMT DIST	\$180,505	\$7,660	\$7,660	0.22870	\$1.75
LAKE COUNTY VOTED DEBT SERVICE	\$180,505	\$7,660	\$7,660	0.11000	\$0.84
LAKE COUNTY WATER AUTHORITY	\$180,505	\$7,660	\$7,660	0.33680	\$2.58
NORTH LAKE HOSPITAL DIST	\$180,505	\$7,660	\$7,660	0.89500	\$6.86
				<b>Total:</b>	<b>Total:</b>
				17.6785	\$135.42

### Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

### Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

### Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

1/21/2021

Property Details : Lake County Property Appraiser

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

### Assessment Reduction Savings

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$3,055.64**

**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on January 18, 2021.

[Site Notice](#)

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	LEESBURG FRUIT COMPANY INC	<b>Alternate Key:</b>	3900702
<b>Mailing Address:</b>	1616 LAKE SHORE DR ORLANDO, FL 32803-1307 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b>	16-19-24-0001-000-06500
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a>
<b>Property Location:</b>	GRIFFIN RD LEESBURG FL 34748 <a href="#">Update Property Location</a>	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a>
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> <a href="#">School Boundary Maps</a>
<b>Property Description:</b>	W 1/2 OF NE 1/4 ORB 704 PGS 554 556		

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	PASTURE IMPROVED HAY AVERAGE (6300)	0	0		38.7	AC	\$13,545.00	\$251,550.00
2	NATIVE PASTURE 1 (6500)	0	0		11.3	AC	\$1,695.00	\$73,450.00
3	TIMBER S I 70 (5400)	0	0		30	AC	\$10,500.00	\$195,000.00

[Click here for Zoning Info](#) [FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

There is no sales history information to display.

[Click here to search for mortgages, liens, and other legal documents.](#)

## Values and Estimated Ad Valorem Taxes

Values shown below are 2021 WORKING VALUES that are subject to change until certified. The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$520,000	\$25,740	\$25,740	5.03270	\$129.54
LAKE COUNTY MSTU	\$520,000	\$25,740	\$25,740	0.46290	\$11.92

AMBULANCE					
SCHOOL BOARD STATE	\$520,000	\$25,740	\$25,740	3.70100	\$95.26
SCHOOL BOARD LOCAL	\$520,000	\$25,740	\$25,740	2.99800	\$77.17
CITY OF FRUITLAND PARK	\$520,000	\$25,740	\$25,740	3.91340	\$100.73
ST JOHNS RIVER FL WATER MGMT DIST	\$520,000	\$25,740	\$25,740	0.22870	\$5.89
LAKE COUNTY VOTED DEBT SERVICE	\$520,000	\$25,740	\$25,740	0.11000	\$2.83
LAKE COUNTY WATER AUTHORITY	\$520,000	\$25,740	\$25,740	0.33680	\$8.67
NORTH LAKE HOSPITAL DIST	\$520,000	\$25,740	\$25,740	0.89500	\$23.04
				<b>Total:</b>	<b>Total:</b>
				17.6785	\$455.05

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a>	<a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a>	<a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a>	<a href="#">View the Law</a>
--	----------------------------	------------------------------

1/21/2021

Property Details : Lake County Property Appraiser

Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

### Assessment Reduction Savings

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$8,737.78**

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**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

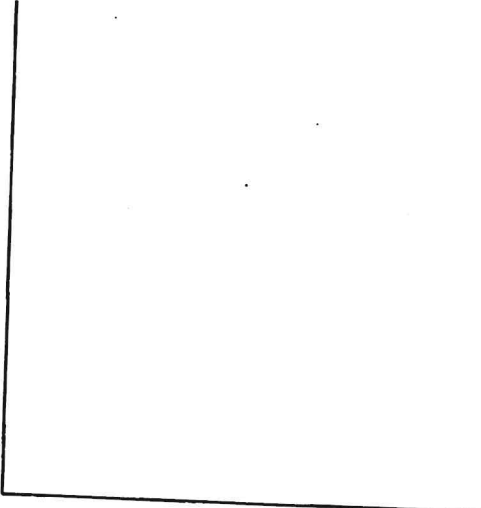
Copyright © 2014 Lake County Property Appraiser. All rights reserved.  
Property data last updated on January 18, 2021.

[Site Notice](#)

THIS INSTRUMENT PREPARED BY & RETURN TO:  
Fred A. Morrison  
McLin Burns P.A.  
P.O. Box 491357  
Leesburg, Florida 34749 - 1357



**Quitclaim Deed**



RESERVED FOR RECORDING

THIS QUIT CLAIM DEED, executed this 13<sup>th</sup> day of November, 2017, by THE CITY OF LEESBURG, FLORIDA, whose address is P.O. Box 490630, Leesburg, Florida 34749, first party, to LEESBURG FRUIT COMPANY, INC., whose address is 161 Lake Shore Drive, Orlando, Florida 32803, second party:

(Wherever used herein, the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so requires.)

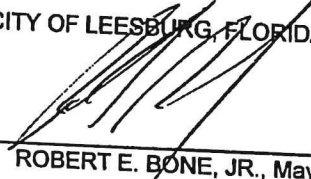
**WITNESSETH**, That the said first party, for and in consideration of the sum of TEN AND NO/100-  
—(\$10.00)—Dollars, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Lake, State of Florida, to-wit:

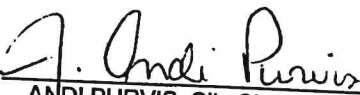
The South 50 feet of the South 3/4 of the Northeast 1/4 of the Northwest 1/4 of Section 16, Township 19 South, Range 24 East, Lake County, Florida, LESS right of way for Montclair Road, also known as County Road 468.

**TO HAVE AND TO HOLD** the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien equity and claim whatsoever of the said first party, either in law or in equity, to the only proper use, benefit and behoof of the said second party forever.

**IN WITNESS WHEREOF**, the said first party has signed and sealed these presents the day and year first above written.

THE CITY OF LEESBURG, FLORIDA

BY:   
ROBERT E. BONE, JR., Mayor

ATTEST:   
ANDI PURVIS, City Clerk

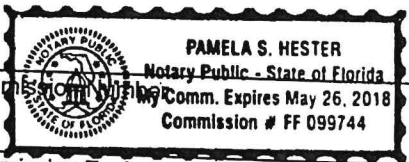


STATE OF FLORIDA  
COUNTY OF LAKE

BEFORE ME, the undersigned Notary Public, personally appeared Robert E. Bone, Jr. as Mayor, and Andi Purvis, as City Clerk, respectively, of the City of Leesburg, Florida, who acknowledged before me on the 14 day of November, 2017, that they executed the foregoing instrument, and who were either {CHECK ONE}  personally known to me, or who  produced \_\_\_\_\_ as identification.

Pamela S. Hester  
NOTARY PUBLIC SIGNATURE

\_\_\_\_\_  
Type or print name of Notary

  
Commission Expires \_\_\_\_\_  
Commission Expiration Date



THIS INSTRUMENT PREPARED BY:  
Richard P. Newman/dr  
McLin & Burnsed P.A.  
Post Office Box 491357  
Leesburg, Florida 34749-1357

**QUIT CLAIM DEED**

THIS QUIT CLAIM DEED, executed this <sup>9</sup> day of December, 2020, by Rufus M. Holloway, Jr., whose address is 1616 Lakeshore Drive, Orlando, FL 32803, first party, to Rufus M. Holloway, Jr., as Trustee of the Rufus M. Holloway, Jr. Family Trust dated December 15, 1995, as amended and restated September 24, 2014, as amended from time to time, whose address is 1616 Lakeshore Drive, Orlando, FL 32803, with full power to protect, conserve, sell, lease, encumber or otherwise manage and dispose of said property, second party:

(Wherever used herein, the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH: That the said first party, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00), and other valuable considerations, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release, convey and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in Lake County, Florida, to-wit:

Property I.D. Number: 0919240400-046-00002 and 0919240400-046-00100

See attached Exhibit "A"

**GRANTOR WARRANTS AT THE TIME OF THIS CONVEYANCE, THE SUBJECT PROPERTY IS NOT THE GRANTORS' HOMESTEAD WITHIN THE MEANING SET FORTH IN THE CONSTITUTION OF THE STATE OF FLORIDA, NOR IS IT CONTIGUOUS TO OR A PART OF HOMESTEAD PROPERTY.**

THIS DEED WAS PREPARED WITHOUT A TITLE SEARCH, AND THE LEGAL DESCRIPTION WAS SUPPLIED BY THE PARTIES; THE PREPARER OF THIS INSTRUMENT ASSUMES NO LIABILITY FOR THE STATE OF THE TITLE OR AN INACCURACY OF THE LEGAL DESCRIPTION.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first above written.

Witnesses:

Donna D. Richey  
(Signature of Witness)

Donna D. Richey  
(Print Name of Witness)

Eranna Boyles  
(Signature of Witness)

Eranna Boyles  
(Print Name of Witness)

Rufus M. Holloway, Jr.  
RUFUS M. HOLLOWAY, JR.

STATE OF FLORIDA  
COUNTY OF Lake

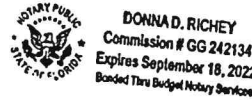
The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 14<sup>th</sup> day of December, 2020, by Rufus M. Holloway, Jr., [CHECK ONE]  who is personally known to me or  produced \_\_\_\_\_ as identification.

Donna D. Richey  
NOTARY PUBLIC - STATE OF FLORIDA  
(Signature of Notary Public)  
Donna D. Richey  
(Print Name of Notary Public)

[NOTARY SEAL]

My Commission Expires: 9/18/2022

GG 242134  
(Serial/Commission Number)



## EXHIBIT "A"

A portion of Lots 1, 2 and 3, Block 46, TOWN OF FRUITLAND PARK, FLORIDA, according to the plat thereof, as recorded in Plat Book 3, Page 8, of the Public Records of Lake County, Florida, all being more particularly described as follows: From the Southwest corner of Block 46, run East 400 feet to Point of Beginning; North 582.55 feet, East 36 feet, North 396.36 feet to North line of Block 46, East to Northeast corner of Block 46, South to Southeast corner Block 46, West to Point of Beginning, Section 9, Township 19 South, Range 24 East, Lake County, Florida.

LESS AND EXCEPT: Commence at the Southwest corner of aforesaid Block 46 (also being the South 1/4 corner of Section 9, Township 19 South, Range 24 East); thence South 89°43'16" East, along the South line of Block 46, a distance of 400.00 feet; thence North 00°26'56" East, 342.53 feet, for the point of beginning; from said point of beginning continue North 00°26'56" East, 239.91 feet; thence South 89°33'50" East, 36.00 feet; thence North 00°25'26" East 396.16 feet, to the South line of Urick Street (a 50 foot right-of-way); thence along said South right-of-way line, South 89°30'00" East, 400.00 feet; thence South 00°26'10" West, 629.00 feet thence South 89°33'50" West, 436.00 feet, to the Point of Beginning.



**THIS INSTRUMENT PREPARED BY:**

Richard P. Newman/dr  
McLin & Burnsed P.A.  
Post Office Box 491357  
Leesburg, Florida 34749-1357

**QUIT CLAIM DEED**

**THIS QUIT CLAIM DEED**, executed this <sup>9<sup>th</sup></sup> day of December, 2020, by Rufus M. Holloway, Jr., whose address is 1616 Lakeshore Drive, Orlando, FL 32803, first party, to Rufus M. Holloway, Jr., as Trustee of the Rufus M. Holloway, Jr. Family Trust dated December 15, 1995, as amended and restated September 24, 2014, as amended from time to time, whose address is 1616 Lakeshore Drive, Orlando, FL 32803, with full power to protect, conserve, sell, lease, encumber or otherwise manage and dispose of said property, second party:

(Wherever used herein, the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

**WITNESSETH:** That the said first party, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00), and other valuable considerations, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release, convey and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in Lake County, Florida, to-wit:

Property I.D. Number: 0919240400-046-00002 and 0919240400-046-00100

See attached Exhibit "A"

**GRANTOR WARRANTS AT THE TIME OF THIS CONVEYANCE, THE SUBJECT PROPERTY IS NOT THE GRANTORS' HOMESTEAD WITHIN THE MEANING SET FORTH IN THE CONSTITUTION OF THE STATE OF FLORIDA, NOR IS IT CONTIGUOUS TO OR A PART OF HOMESTEAD PROPERTY.**

**THIS DEED WAS PREPARED WITHOUT A TITLE SEARCH, AND THE LEGAL DESCRIPTION WAS SUPPLIED BY THE PARTIES; THE PREPARER OF THIS INSTRUMENT ASSUMES NO LIABILITY FOR THE STATE OF THE TITLE OR AN INACCURACY OF THE LEGAL DESCRIPTION.**

**TO HAVE AND TO HOLD** the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

**IN WITNESS WHEREOF**, the said first party has signed and sealed these presents the day and year first above written.

Witnesses:

Donna D. Richey  
(Signature of Witness)

Donna D. Richey  
(Print Name of Witness)

Branna Boyles  
(Signature of Witness)

Branna Boyles  
(Print Name of Witness)

Rufus M. Holloway, Jr.  
RUFUS M. HOLLOWAY, JR.

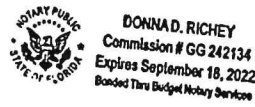
STATE OF FLORIDA  
COUNTY OF Lake

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 4<sup>th</sup> day of December, 2020, by Rufus M. Holloway, Jr., [CHECK ONE]  who is personally known to me or  produced \_\_\_\_\_ as identification.

Donna D. Richey  
NOTARY PUBLIC - STATE OF FLORIDA  
(Signature of Notary Public)  
Donna D. Richey  
(Print Name of Notary Public)

[NOTARY SEAL]

My Commission Expires: 9/18/2022  
GG 242134  
(Serial/Commission Number)



**EXHIBIT "A"**

A portion of Lots 1, 2 and 3, Block 46, TOWN OF FRUITLAND PARK, FLORIDA, according to the plat thereof, as recorded in Plat Book 3, Page 8, of the Public Records of Lake County, Florida, all being more particularly described as follows: From the Southwest corner of Block 46, run East 400 feet to Point of Beginning; North 582.55 feet, East 36 feet, North 396.36 feet to North line of Block 46, East to Northeast corner of Block 46, South to Southeast corner Block 46, West to Point of Beginning, Section 9, Township 19 South, Range 24 East, Lake County, Florida.

LESS AND EXCEPT: Commence at the Southwest corner of aforesaid Block 46 (also being the South 1/4 corner of Section 9, Township 19 South, Range 24 East); thence South 89°43'16" East, along the South line of Block 46, a distance of 400.00 feet; thence North 00°26'56" East, 342.53 feet, for the point of beginning; from said point of beginning continue North 00°26'56" East, 239.91 feet; thence South 89°33'50" East, 36.00 feet; thence North 00°25'26" East 396.16 feet, to the South line of Urick Street (a 50 foot right-of-way); thence along said South right-of-way line, South 89°30'00" East, 400.00 feet; thence South 00°26'10" West, 629.00 feet thence South 89°33'50" West, 436.00 feet, to the Point of Beginning.

**PREPARED BY AND AFTER RECORDING**

**RETURN TO:**

Thomas D. Sims, Esquire  
Johnson Pope Bokor Ruppel & Burns, LLP  
333 Third Avenue North, Suite 200  
St. Petersburg, Florida 33701  
Property Appraisers Identification  
16-19-24-0002-000-00600

[Space Above This Line For Recording Data]

**SPECIAL WARRANTY DEED**

THIS INDENTURE is made effective this 7<sup>th</sup> day of September, 2017, by and among the following parties:

**GRANTOR:** Rufus M. Holloway, Jr., a married man, whose address is 1616 Lakeshore Drive, Orlando, Florida 32803

**GRANTEE:** Rufus M. Holloway, Jr., as Trustee of the Rufus M. Holloway, Jr. Family Trust dated December 15, 1995, as amended and restated September 24, 2014, as amended from time to time, whose address is 1616 Lakeshore Drive, Orlando, Florida 32803

**WITNESSETH:**

The Grantor, herein for and in consideration for the sum of Ten Dollars (\$10.00), and other good and valuable consideration in hand paid by Grantee, the receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, releases, conveys and confirms to the Grantee, and to its successors and assigns forever, all of Grantor's right, title and interest in and to that certain real property situate, lying and being in Lake County, more particularly described as follows:

**THE EAST 756 FEET OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.**

**SUBJECT** to easements, reservations, and restrictions of record, if any, which are specifically not reimposed or extended hereby and to taxes for the year 2017 and subsequent years, which are not yet due and payable.

This deed is prepared without survey or title examination, based on information provided by the parties to this transaction.

This is not the homestead of the Grantor.

This is a conveyance to Trustee not pursuant to a sale, and only minimum documentary stamp tax is required.

Full power and authority is granted to Grantee and all Successor Trustees, to protect, conserve, sell, lease, encumber or otherwise to manage and dispose of the land or any part of it; no person dealing with the Trustee or all Successor Trustees shall be bound to see to the application of



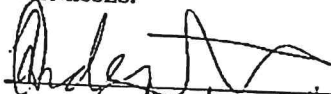
any purchase money or to inquire into the validity, expediency or propriety of any such sale or other disposition.

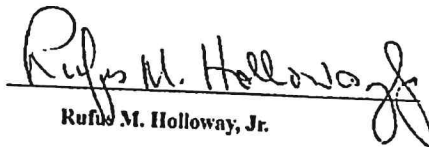
TOGETHER with all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder and easement thereto belonging or in anywise appertaining, and the Grantor does hereby covenant that Grantor does fully warrant the title to the above described real estate so hereby conveyed and will defend the same against the lawful claims, arising out of events occurring prior to the recording of this Deed, of all persons claiming by, through or under the Grantor, but against none other.

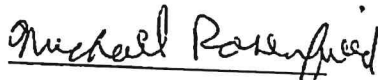
TO HAVE AND TO HOLD the same to the Grantee, its successors and assigns in fee simple, forever.

IN WITNESS WHEREOF, the Grantor has set his hand and seal on the day and year first above written.

WITNESSES:

  
Print Name: Andrea Atkins

  
Rufus M. Holloway, Jr.

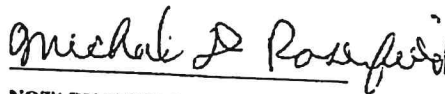
  
Print Name: MICHAEL ROSENFELD

STATE OF FLORIDA  
COUNTY OF ORANGE

I HEREBY CERTIFY that on this 26 day of August, 2017, before me appeared Rufus M. Holloway, Jr., who is personally known to me or who has produced a DRIVER'S LICENSE as identification, and he acknowledged the execution of this Special Warranty Deed for the uses and purposes expressed therein.

WITNESS my signature and official seal in the County and State last aforesaid.



  
NOTARY PUBLIC

4179095

1

**PREPARED BY AND AFTER RECORDING**

**RETURN TO:**

Thomas D. Sims, Esquire  
Johnson Pope Bokor Ruppel & Burns, LLP  
333 Third Avenue North, Suite 200  
St. Petersburg, Florida 33701  
Property Appraisers Identification  
16-19-24-0002-000-05400

[Space Above This Line For Recording Data]

**SPECIAL WARRANTY DEED**

THIS INDENTURE is made effective this 7<sup>th</sup> day of August, 2017, by and among the following parties:

**GRANTOR:** Rufus M. Holloway, Jr., a married man, whose address is 1616 Lakeshore Drive, Orlando, Florida 32803

**GRANTEE:** Rufus M. Holloway, Jr., as Trustee of the Rufus M. Holloway, Jr. Family Trust dated December 15, 1995, as amended and restated September 24, 2014, as amended from time to time, whose address is 1616 Lakeshore Drive, Orlando, Florida 32803

**WITNESSETH:**

The Grantor, herein for and in consideration for the sum of Ten Dollars (\$10.00), and other good and valuable consideration in hand paid by Grantee, the receipt whereof is hereby acknowledged, hereby grants, bargains, sells, allens, releases, conveys and confirms to the Grantee, and to its successors and assigns forever, all of Grantor's right, title and interest in and to that certain real property situate, lying and being in Lake County, more particularly described as follows:

**THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 50 FEET THEREOF AND LESS COUNTY ROAD RIGHT OF WAY.**

**SUBJECT** to easements, reservations, and restrictions of record, if any, which are specifically not reimposed or extended hereby and to taxes for the year 2017 and subsequent years, which are not yet due and payable.

This deed is prepared without survey or title examination, based on information provided by the parties to this transaction.

This is not the homestead of the Grantor.

This is a conveyance to Trustee not pursuant to a sale, and only minimum documentary stamp tax is required.

Full power and authority is granted to Grantee and all Successor Trustees, to protect,


conserve, sell, lease, encumber or otherwise to manage and dispose of the land or any part of it; no person dealing with the Trustee or all Successor Trustees shall be bound to see to the application of any purchase money or to inquire into the validity, expediency or propriety of any such sale or other disposition.

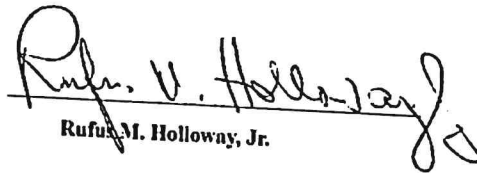
TOGETHER with all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder and easement thereto belonging or in anywise appertaining, and the Grantor does hereby covenant that Grantor does fully warrant the title to the above described real estate so hereby conveyed and will defend the same against the lawful claims, arising out of events occurring prior to the recording of this Deed, of all persons claiming by, through or under the Grantor, but against none other.

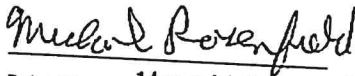
TO HAVE AND TO HOLD the same to the Grantee, its successors and assigns in fee simple, forever.

IN WITNESS WHEREOF, the Grantor has set his hand and seal on the day and year first above written.

WITNESSES:

  
Print Name: Andrea Atkins

  
Rufus M. Holloway, Jr.

  
Print Name: MICHAEL ROSENFELD

STATE OF FLORIDA  
COUNTY OF ORANGE

I HEREBY CERTIFY that on this 26 day of August, 2017, before me appeared Rufus M. Holloway, Jr., who is personally known to me or who has produced a DRIVER'S LICENSE as identification, and he acknowledged the execution of this Special Warranty Deed for the uses and purposes expressed therein.

WITNESS my signature and official seal in the County and State last aforesaid.



  
NOTARY PUBLIC

CFN 2003156521  
BK 02463 Pg 0050; (1pg)  
DATE: 12/04/2003 10:04:16 AM  
JAMES C. WATKINS, CLERK OF COURT  
LAKE COUNTY  
RECORDING FEES 5.00  
TRUST FUND 1.00  
DEED DOC 700.00

This instrument was prepared by  
and return to:  
Robert R. Cyrus  
Attorney and Counselor at Law  
Post Office Box 491635  
Leesburg, Florida 34749-1635

Property Appraiser's Parcel ID#:  
16-19-24-0001-000-00200

**WARRANTY DEED**  
(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture, made this 1st day of December, 2003, between, JACK BOYD SELF as Trustee of Sara Horton Self Revocable Trust, whose address is 123 St. Andrews Street, Jackson, Mississippi 39211 of the County of Hinds, State of Mississippi, grantor, and RUFUS M. HOLLOWAY JR, Trustee of the RUFUS M. HOLLOWAY, JR. FAMILY TRUST, dated December 15, 1995, as amended and restated March 13, 2001, RUFUS M. HOLLOWAY, JR., Settlor and Trustee, whose address is 1616 Lakeshore Drive, Orlando, Florida 32803, of the County of Orange, State of Florida, grantee,

Witnesseth, that said grantor, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Lake County, Florida, to-wit:

The North 726 feet of the West Half (W 1/2) of the Northeast Quarter (NE 1/4) of the Northeast Quarter (NE 1/4) of Section 16, Township 19 South, Range 24 East, Lake County, Florida, containing eleven (11) acres.

THE FOREGOING PROPERTY IS NOT THE HOMESTEAD OF THE GRANTOR NOR CONTIGUOUS THERETO AND THE GRANTOR RESIDES AT 123 St. Andrews Dr., Jackson, Mississippi 39211.

Together with the power and authority to protect, conserve, sell, lease, encumber or otherwise to manage and dispose of the above described property.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

"Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

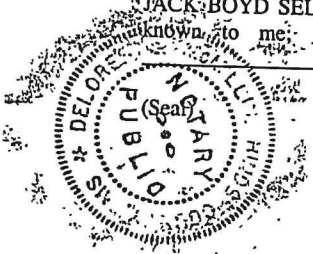
Signed, sealed, and delivered in our presence.

[Signature]  
Witness Signature  
FRED ADAMS JR.  
Witness Printed Name  
Alberta Pitt  
Witness Signature  
ALBERTA P.H.S  
Witness Printed Name

[Signature]  
JACK BOYD SELF as Trustee  
of Sara Horton Self Revocable Trust

STATE OF MISSISSIPPI  
COUNTY OF HINDS

The foregoing instrument was acknowledged before me this 1st day of December, 2003, by JACK BOYD SELF as Trustee of Sara Horton Self Revocable Trust, X who is personally known to me; \_\_\_\_\_ who produced identification Type of identification produced: \_\_\_\_\_



Delores McMillon  
Notary Public  
Exp. date: 9/27/05

Rec 4.00  
Doc. 45

WARRANTY DEED FROM INDIVIDUAL TO CORPORATION RAMCO FORM 34

81 31009

OR. 737 PAGE 1771

This Warranty Deed Made the 4th day of November A. D. 19 81 by RUFUS M. HOLLOWAY, JR., as Trustee of the Rufus M. Holloway, Jr. Revocable Trust, dated January 20, 1978, as amended. hereinafter called the grantor,

LEESBURG FRUIT COMPANY, INC. a corporation existing under the laws of the State of Florida address at 1616 Lake Shore Drive, Orlando, Florida 32803 with its permanent postoffice hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, releases, conveys and confirms unto the grantee, all that certain land situate in Lake County, Florida, viz: An undivided seven-ninths interest in and to:

That portion of Block 46 in the Town of Fruitland Park, Florida, according to the plat thereof as recorded in Plat Book 3, page 8, of the Public Records of Lake County, Florida, described as: Begin at the Southwest corner of Block 46 (S 1/4 of Section 9, Township 19 S., Range 24 East, Lake County, Florida); run thence South 89° 46' 00" East along the South line of Block 46 for 400 feet; run thence North 00° 26' 10" East for 582.55 feet; run thence North 89° 33' 50" East for 36 feet; run thence North 00° 26' 10" East for 396.36 feet to the North line of said Block 46; run thence North 89° 29' 50" West along North line of said Block 46 for 433.48 feet to the Northwest corner of said Block 46; run thence South 00° 35' 00" East along West line of said Block 46 for 980.70 feet to the Point of Beginning.

The above real estate being part of the same real estate conveyed to Grantor as shown by Deed recorded ORB 704, page 554, of the Public Records of Lake County.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 19 80, and easements and restrictions of record, if any, but this reference thereto shall not operate to reimpose the same.

In Witness Whereof, the said grantor has hereunto set his hand and seal the day and first above written.

Signed, sealed and delivered in our presence:

P. C. Gorman  
Betty E. Galbraith

Rufus M. Holloway, Jr.  
RUFUS M. HOLLOWAY, JR., as Trustee

RECORDED AND RECORDED  
CLERK  
JAMES SCREVIN  
LAKE COUNTY, FLORIDA

Nov 12 10 20 AM '81

STATE OF FLORIDA, COUNTY OF Lake

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared RUFUS M. HOLLOWAY, JR., as Trustee

to me known to be the person described in and who executed the foregoing instrument and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 4th day of November, A. D. 19 81.

Betty E. Galbraith

This Instrument prepared by: P. C. Gorman, Attorney  
Address P.O. Box 837, Leesburg, FL 32748

NOTARY PUBLIC STATE OF FLORIDA AT LARGE  
MY COMMISSION EXPIRES MAY 23 1983  
BONDED THROUGH GENERAL INS UNDERWRITERS

STATE OF FLORIDA DOCUMENTARY STAMP TAX DEPT. OF REVENUE NOV 12 1981 P. O. 10511 00.45

P. C. GORMAN, 59-0267520 Attorney at Law, P.O. Box 837 Leesburg, Florida 32748

ON RECEIPT RETURN TO



CHICAGO TITLE  
INSURANCE COMPANY

SCHEDULE A

AMERICAN LAND TITLE ASSOCIATION COMMITMENT

Transaction Identification Data for reference only:  
Issuing Agent: **Florida Title & Abstract, Inc., 1600 E Amelia Street, Orlando, FL 32803**  
Issuing Office:  
ALTA Universal ID: None  
Loan ID Number: None  
Commitment Number: **9201835**  
Issuing Office File Number: **4040INC**  
Property Address: **Vacant Land, Fruitland Park, FL**  
Revision Number: None

File No.: **4040INC**

1. Commitment Date: **12/11/2021@ 5:00 PM**

2. Policy to be issued:

Proposed Amount of Insurance:

a. ALTA Owner's Policy 2006 (with Florida Modifications): **\$5,676,000.00**

Proposed Insured:

**Park Square Enterprises, LLC, a Delaware limited liability company**

b. ALTA Loan Policy 2006 (with Florida Modifications):

Proposed Insured:

3. The estate or interest in the Land described or referred to in this Commitment is: **Fee Simple**

4. Title to the estate or interest in the Land is at the Effective Date vested in:

5. **Leesburg Fruit Company Inc., a Florida corporation, Holloway Properties, Inc., a Florida corporation, and Rufus M. Holloway, Jr., as Trustee of the Rufus M. Holloway, Jr. Family Trust dated December 15, 1995, as amended and restated September 24, 2014, as amended from time to time, as their respective interests may appear**

6. The Land is described as follows:

**SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF**

Countersigned: **Florida Title & Abstract, Inc.**

By:   
Authorized Officer or Agent

This page is only a part of a 2016 ALTA® Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions.

ALTA Commitment for Title Insurance 8-1-16 with Florida Modifications

Our File No.: **4040INC**

Page 1 of 10



CHICAGO TITLE  
INSURANCE COMPANY

## Schedule B-I

### AMERICAN LAND TITLE ASSOCIATION COMMITMENT

#### Requirements

File No.: **4040INC**

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
  - A. Duly executed Warranty Deed from Leesburg Fruit Company Inc., a Florida corporation, Grantor, to KRDK Investments I, LLC, a Florida limited liability company, Grantee, conveying the land described on Schedule A hereof.

Together with proof that Leesburg Fruit Company Inc., a Florida corporation is currently in good standing under the laws of the State of Florida. If the current transaction involves: (i) the disposition of substantially all of a corporation's property or assets; (ii) the conveyance of corporate property to an officer, director or agent who is also a signatory; (iii) conveyance of property for minimum consideration; or (iv) the execution of documents incident to the transaction by a person other than the president, chief executive officer or any vice-president with a corporate seal, then a recordable resolution of the corporation's Board of Directors, Shareholders and/or Members must be obtained.

B. Intentionally deleted

- C. Duly executed Warranty Deed from Rufus M. Holloway, Jr., individually and as Trustee of the Rufus M. Holloway, Jr. Family Trust dated December 15, 1995, as amended and restated September 24, 2014, as amended from time to time, Grantor, to KRDK Investments I, LLC, a Florida limited liability company, Grantee, conveying the land described on Schedule A hereof.

NOTE: Spouse(s) of individual(s), if any, are required to join in the execution of the above required instruments in the event the land is the homestead of the grantor. In addition, confirmation of marital status and non-homestead, where applicable, of grantor(s) must be reflected on the instrument vesting the estate to be insured.

- D. Record a Certification of Trust for the Rufus M. Holloway, Jr. Family Trust dated December 15, 1995, as amended and restated September 24, 2014, as amended from time to time, meeting the requirements of Section 736.1017, Florida Statutes, executed by the current

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CHICAGO TITLE  
INSURANCE COMPANY

trustee. The Certification of Trust shall contain the following:

- A. A statement confirming the existence of the trust and its execution date.
- B. Identity of the settlor.
- C. The identity and address of the currently acting trustee.
- D. The trustee's powers.
- E. The revocability or irrevocability of the trust and the identity of any person holding a power to revoke the trust.
- F. The authority of co-trustees to sign or otherwise authenticate and whether all or less than all are required in order to exercise powers of the trustee.
- G. The manner of taking title to trust property.
- H. The certification must state the trust has not been revoked, modified, or amended in any manner that would cause the representations contained in the certification of trust to be incorrect.

Note: 1. If the current trustee(s) is not named as trustee(s) on the vesting deed, the pertinent pages of the trust and such other supporting documentation as is necessary to establish the successor trustee's authority must be attached as an exhibit.

2. If the settlor of a revocable trust is deceased and the property was his/her homestead, the Certification of Trust must recite that he/she was not survived by a spouse or minor child. Or, if a deceased settlor is survived by a spouse or minor child, please contact the underwriting department for additional requirements.

- E. Duly executed Warranty Deed from KRDK Investments I, LLC, a Florida limited liability company, Grantor, to Park Square Enterprises, LLC, a Delaware limited liability company, Grantee, conveying the land described on Exhibit A hereof.

The Company will require the following as to KRDK Investments I, LLC: ("LLC"):

- i. Proof that the LLC was in existence in its state of organization at the time it acquired title and that the LLC is currently in good standing.
- ii. Present for review a true and complete copy of the articles of organization and operating agreement of the LLC and any amendments thereto.
- iii. Record an affidavit from the person executing the proposed deed on behalf of the LLC certifying: (a) the name and state of organization of the LLC; (b) whether the LLC is member-managed or manager-managed; (c) the identity of the member or manager and the person authorized to execute the deed; and (d) neither the LLC nor any member signing the deed have filed bankruptcy since the LLC acquired title.
- iv. If the member or manager of the LLC is also a business entity, present proof of the entity's good standing and the appropriate entity documents to establish signing authority.

If the proposed deed will be executed by anyone other than a member or manager, those portions Order of the operating agreement or other documentation evidencing the authority of the signatory must be attached as an exhibit to the affidavit.

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ALTA Commitment for Title Insurance 8-1-16 with Florida Modifications





CHICAGO TITLE  
INSURANCE COMPANY

- F. Proof satisfactory to the Company must be furnished of the good standing of Park Square Enterprises, LLC, a Delaware limited liability company, under the laws of the state of its incorporation.
5. No open mortgage(s) were found of record. Agent must confirm with the owner that the property is free and clear.
  6. Record in the public records an affidavit stating that Rufus M. Holloway, grantee in Warranty Deed recorded in Official Records Book 4647, Page 957, is one and the same as Rufus M. Holloway, Jr, grantor in Quit Claim Deed recorded in Official Records Book 5598, Page 2322, Public Records of Lake County, Florida.
  7. Satisfactory survey, in conformity with the minimum technical standards for land surveys, certified to the Company, and/or its agent, dated no more than 90 days prior to the closing of the subject transaction, disclosing the nature and extent of any encroachment, encumbrance, violation, variation or adverse circumstance affecting the Title to the Land. The Company reserves the right to amend the legal description of this commitment and to make any additional requirements and/or exceptions for any such matters disclosed.
  8. An Affidavit in form acceptable to Chicago Title Insurance Company ("Company") and executed by or on behalf of the current record owner(s) of the subject property stating: (1) that there are no parties in possession of the subject property other than said current record owner(s); (2) that there are no encumbrances upon the subject property other than as may be set forth in this Commitment and (3) there are no unrecorded assessments which are due and payable to Lake County, Florida, and if located within a municipality, service charges for water, sewer, waste and gas, if any, are in fact paid through the date of this Affidavit; and (4) that there have been no improvements made to or upon the subject property within the ninety (90) day period last past (from the date of such affidavit) for which there remain any outstanding and unpaid bills for labor, materials or supplies for which a lien or liens may be claimed must be furnished to Chicago Title Insurance Company, or, in lieu thereof, an exception to those matters set forth in said Affidavit which are inconsistent with or deviate from the foregoing requirements will appear in the policy or policies to be issued pursuant to this Commitment.
  9. Proof of payment, satisfactory to the Company, of taxes for the year(s) 2020 in the gross amount of \$7.63 under Tax Folio Number: 16-19-24-0002-000-01300.
  10. This is a preliminary commitment that requires the review and approval by the underwriting department for the company and/or state underwriting counsel. Accordingly, this commitment is not effective to bind the Company until the necessary approval is obtained from the underwriting department and/or state underwriting counsel. The company reserves the right to add additional requirements and/or exceptions as deemed necessary upon said review.
  11. Proof of payment, satisfactory to the Company, of taxes for the year(s) 2021 under the following:
    - Tax ID No. 16-19-24-0002-000-05400; gross tax amount is \$7.13
    - Tax ID No. 16-19-24-0002-000-00600; gross tax amount is \$34.44;
    - Tax ID No. 09-19-24-0400-046-00000; gross tax amount is \$55.89;
    - Tax ID No. 09-19-24-0400-046-00002; gross tax amount is \$30.29;
    - Tax ID No. 09-19-24-0400-046-00100; gross tax amount is \$47.95;
    - Tax ID No. 16-19-24-0001-000-00200; gross tax amount is \$25.75;
    - Tax ID No. 16-19-24-0001-000-06500; gross tax amount is \$441.92;
    - Tax ID No. 16-19-24-0001-000-00400; gross tax amount is \$128.84;

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ALTA Commitment for Title Insurance 8-1-16 with Florida Modifications



CHICAGO TITLE  
INSURANCE COMPANY

Tax ID No. 16-19-24-0001-000-00401; gross tax amount is \$25.75.

12. Duly authorized Quitclaim Deed from Holloway Properties, Inc., an Inactive Florida Corporation, grantors, to Leesburg Fruit Company Inc, a Florida Corporation, grantees which Deed must be in compliance with F.S. Section 607.1405.

**END OF SCHEDULE B – SECTION I**

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ALTA Commitment for Title Insurance 8-1-16 with Florida Modifications

Our File No.: 4040INC

Page 5 of 10

LTF



CHICAGO TITLE  
INSURANCE COMPANY

File No.: 4040INC

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

THE NORTH 726 FEET OF THE WEST HALF (W 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND

THE SOUTH 594 FEET OF THE W 1/2 OF NE 1/4 OF NE 1/4 SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND

THE EAST 756 FEET OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND

THE SOUTH 50 FEET OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS RIGHT OF WAY FOR MONTCLAIR ROAD, ALSO KNOWN AS COUNTY ROAD 468.

AND

THAT PORTION OF BLOCK 46 IN THE TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, DESCRIBED AS: BEGIN AT THE SOUTHWEST CORNER OF BLOCK 46 (S 1/4 OF SECTION 9, TOWNSHIP 19 S., RANGE 24 EAST, LAKE COUNTY, FLORIDA); RUN THENCE SOUTH 89° 46' 00" EAST ALONG THE SOUTH LINE OF BLOCK 46 FOR 400 FEET; RUN THENCE NORTH 00° 26' 10" EAST FOR 582.55 FEET; RUN THENCE NORTH 89° 33'50" EAST FOR 36 FEET; RUN THENCE NORTH 00°26'10" EAST FOR 396.36 FEET TO THE NORTH LINE OF SAID BLOCK 46; RUN THENCE NORTH 89° 29' 50" WEST ALONG NORTH LINE OF SAID BLOCK 46 FOR 433.48 FEET TO THE NORTHWEST CORNER OF SAID BLOCK 46; RUN THENCE SOUTH 00° 35' 00" EAST ALONG WEST LINE OF SAID BLOCK 46 FOR 980.70 FEET TO THE POINT OF BEGINNING.

AND

A PORTION OF LOTS 1, 2 AND 3, BLOCK 46, TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FROM THE SOUTHWEST CORNER OF BLOCK 46, RUN EAST 400 FEET TO POINT OF BEGINNING; NORTH 582.55 FEET, EAST 36 FEET, NORTH 396.36 FEET TO NORTH LINE OF BLOCK 46, EAST TO NORTHEAST CORNER OF BLOCK 46, SOUTH TO SOUTHEAST CORNER OF BLOCK 46, WEST TO POINT OF BEGINNING, SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

LESS AND EXCEPT: COMMENCE AT THE SOUTHWEST CORNER OF AFORESAID BLOCK 46 (ALSO BEING THE SOUTH 1/4 CORNER OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST); THENCE SOUTH 89°43' 16" EAST, ALONG THE SOUTH LINE OF BLOCK 46, A DISTANCE

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OF 400.00 FEET; THENCE NORTH 00°26'56" EAST, 342.53 FEET, FOR THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE NORTH 00°26'56" EAST, 239.91 FEET; THENCE SOUTH 89°33'50" EAST, 36.00 FEET; THENCE NORTH 00°25'26" EAST 396.16 FEET, TO THE SOUTH LINE OF URICK STREET (A 50 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89°30'00" EAST, 400.00 FEET; THENCE SOUTH 00°26'10" WEST, 629.00 FEET THENCE SOUTH 89°33'50" WEST, 436.00 FEET, TO THE POINT OF BEGINNING.

AND

W 1/2 of NE 1/4; N 1/2 of SE 1/4 of NE 1/4, Section 16, Township 19 South, Range 24 East, Lake County, Florida.

AND

THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 50 FEET THEREOF AND LESS COUNTY ROAD RIGHT OF WAY.

LESS AND EXCEPT:

THAT PORTION OF THE SOUTH 3/4 OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN INTERSECTION WITH THE EAST RIGHT OF WAY LINE OF COUNTY ROAD 468 AS SHOWN ON MAP BOOK 6, PAGE 150, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND THE NORTH LINE OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, RUN S 89°15'46" E, ALONG SAID NORTH LINE, A DISTANCE OF 300.00 FEET; THENCE LEAVING SAID NORTH LINE RUN S 00°51'09" W, A DISTANCE OF 420.52 FEET; THENCE N 89°25'43" W, A DISTANCE OF 300.00 FEET, TO THE SAID EAST RIGHT OF WAY LINE OF COUNTY ROAD 468; THENCE N 00°51'09" E, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 421.39 FEET TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPT:

THAT PORTION OF THE SOUTH 3/4 OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT AN INTERSECTION WITH THE EAST RIGHT OF WAY LINE OF COUNTY ROAD 468 AS SHOWN ON MAP BOOK 6, PAGE 150, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND THE NORTH LINE OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, RUN S 00°51'09" W, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 521.39 FEET FOR THE POINT OF BEGINNING; THENCE LEAVING SAID EAST RIGHT OF WAY LINE RUN S 89°25'43" E, A DISTANCE OF 998.71 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 200.00 FEET; THENCE RUN SOUTHEASTERLY ALONG

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THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF  $38^{\circ}11'51''$  AN ARC DISTANCE OF 133.33 FEET TO THE POINT A TANGENCY; THENCE  $S 51^{\circ}13'51'' E$ , A DISTANCE OF 211.21 FEET TO THE EAST LINE OF THE NORTHEAST  $1/4$  OF THE NORTHWEST  $1/4$  OF SAID SECTION 16; THENCE  $S 00^{\circ}58'09'' W$ , ALONG SAID EAST LINE, A DISTANCE OF 249.11 FEET, TO THE SOUTHEAST CORNER OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999; THENCE LEAVING SAID EAST LINE RUN  $N 89^{\circ}22'43'' W$ , ALONG THE SOUTH LINE OF SAID LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 4999, PAGES 1998-1999, A DISTANCE OF 1288.71 FEET TO AN INTERSECTION WITH THE SAID EAST RIGHT OF WAY LINE OF COUNTY ROAD 468; THENCE  $N 00^{\circ}51'09'' E$ , ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 421.42 FEET TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPT:

THE SOUTH 50 FEET OF THE SOUTH  $3/4$  OF THE NORTHEAST  $1/4$  OF THE NORTHWEST  $1/4$  OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS RIGHT OF WAY FOR MONTCLAIR ROAD, ALSO KNOWN AS COUNTY ROAD 468.

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## SCHEDULE B-II

### AMERICAN LAND TITLE ASSOCIATION COMMITMENT

#### Exceptions

File No.: 4040INC

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this form.
2. Taxes and assessments for the year 2022 and subsequent years, which are not yet due and payable.
3. Standard Exceptions:
  - A. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land.
  - B. Rights or claims of parties in possession not shown by the public records.
  - C. Any lien, or right to a lien, for services, labor, or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.
  - D. Taxes or assessments which are not shown as existing liens in the public records.
4. Terms and conditions of the Master Development Agreement as contained in Ordinance 2019-003 recorded in Official Records Book 5357, Page 705.
5. Rights of tenants occupying all or part of the insured land under unrecorded leases or rental agreements.

NOTE: All recording references in this form shall refer to the public records of Lake County, Florida, unless otherwise noted.

NOTE: Exception 1 above shall be deemed deleted as of the time the settlement funds or proceeds of the loan to be secured by the insured mortgage, as applicable, are disbursed by the Company or its authorized agent. Neither the Company nor its agent shall, however, be under any duty to disburse any sum except upon a determination that no such adverse intervening matters have appeared of record or occurred.

#### NOTES ON STANDARD EXCEPTIONS:

Item 3A will be deleted from the policy(ies) upon receipt of an accurate survey of the Land acceptable to the Company. Exception will be made for any encroachment, setback line violation, overlap, boundary line dispute or other adverse matter disclosed by the survey.

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Items 3B, 3C, and 3D will be deleted from the policy(ies) upon receipt of an affidavit acceptable to the Company, affirming that, except as disclosed therein (i) no parties in possession of the Land exist other than the record owner(s); (ii) no improvements have been made to the Land within 90 days prior to closing which have not have been paid for in full; and (iii) no unpaid taxes or assessments are against the Land which are not shown as existing liens in the public records. Exception will be made for matters disclosed in the affidavit.

**END OF SCHEDULE B – SECTION II**

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