

506 WEST BERCKMAN STREET FRUITLAND PARK, FL 34731

TRC COFP Members:

City Manager, Chairman Police Chief, Vice Chair

Attorney

Building Official

CDD

Code Enforcement Officer

Engineer Halff

Fire Chief

Fire Inspector

Land Planner LPG

Public Works Director

TRC Members:

City of Leesburg Utilities

Lake County School Board

Lake County Public Works Department Lake County Economic Development

PHONE: 352 360-6727

FAX: 352 360-6652

Lake County Economic Development

AGENDA TECHNICAL REVIEW COMMITTEE October 5, 2021 10:00AM

- I. MEETING START TIME:
- II. MEMBERS PRESENT:
- III. MEETING NOTES FROM PREVIOUS MEETING: Meeting notes from September 7, 2021 included for review/comment.
- IV. OLD BUSINESS: NONE

NEW BUSINESS:

A. <u>Bill Bryan Chrysler - Minor Site Plan (Alternate Key: 1740673)</u>

Application submitted by F. Williams Bryan II, registered agent for FWB Investments, Ltd (owner), for proposed shop expansion consisting of approximately 4,980 sf along the eastern property boundary. A portion of the building is proposed over existing asphalt. The total proposed impervious area of the entire site including the proposed expansion is 55.90% which is less than the maximum allowed of 70%.

B. School Board of Lake County - Rezoning (Alternate Key: 1639743)

Application submitted by the School Board of Lake County (Diane S. Kornegay, Lake County Schools Superintendent) to re-zone approximately 19 acres from R-1, Single Family Low Density Residential to PFD, Public Facilities District. The School Board is seeking to construct and replace an elementary school and accessory uses on areas located on the northeast corner of the intersection of Urick Street and Olive Avenue.

C. <u>Park Square Homes – Preliminary Plan (Alternate Keys: 1289866, 1289874, 1289904, 1430411, 1639808, 1699959, 17722435, 3540468, 3691334, 3900702)</u>

Application submitted by Suresh Gupta of Park Square Homes, on behalf of owner, Rufus M. Holloway Jr. for proposed development of an 163 lot subdivision. Phase I of the proposed project will develop 68.77 acres of 177.7 total [approximate] acres. Property currently zoned Mixed Use PUD and presently used for agriculture. The property is located near Thomas Avenue and Urick Street.

MEMBERS' COMMENTS:

ADJOURNMENT:



506 WEST BERCKMAN STREET FRUITLAND PARK, FL 34731

TRC COFP Members:

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Attorney

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City of Leesburg Utilities

Lake County School Board

Lake County Public Works Department Lake County Economic Development

PHONE: 352 360-6727

FAX: 352 360-6652

MINUTES TECHNICAL REVIEW COMMITTEE September 7, 2021 10:00AM

- I. **MEETING START TIME: 10:00 am**
- II. MEMBERS PRESENT: All members present except City Attorney, Fire Chief, Fire Inspector and Lake County - City of Leesburg Utilities, Lake County School Board, Lake County Public Works Department and Lake County Economic Development. Present on behalf of the Development: James Senatore.
- MEETING NOTES FROM PREVIOUS MEETING: Meeting notes from August 3, 2021 included for III. review/comment.
- IV. **OLD BUSINESS: NONE**

NEW BUSINESS:

A. Terra Promessa - Variance (Alternate Key: 1289785)

Application submitted by James P. Senatore (owner) for proposed development consisting of 18.78 +/acres currently zoned R-3A (Multi-Family High Density Residential - maximum of 4 dwelling units/acre as utilities are not available). Applicant seeking to develop 11 individual lots with well and septic. The subject site is generally located north of Lewis Road on the west side of CR 468. During August 3rd 2021 TRC meeting, applicant advised 'variance' required and should precede Preliminary Plan application. Chapter 157, Section 157.080(a)(1)(F) states cul-de-sac streets shall not exceed 600' in length. The proposed cul-de-sac is 861'.

Technical Review Committee Minutes, Page 2

Mr. Dwayne Williams stated that the applicant, James Senatore, was present on behalf of the Terra Promessa development requesting consideration of the variance. He further noted City Attorney's TRC comment that the LDRs proof of hardship for the variance was not addressed per Section 157.110.

Halff Brett Tobias stated no objection to approval of the variance from an engineering standpoint. City Manager LaVenia stated would be up to the applicant to sell the hardship aspect to City Commission.

Halff Tobias stated traffic study required per LDRs although the road belongs to the county. Applicant advised to coordinate with Seth Lynch of Lake County for clarification whether a traffic impact study (TIS) would be required by the county. Applicant should provide copy of TIS to city, if required by the county, or record from the county stating aforementioned not required, if applicable.

Applicant advised that next steps would entail the aforementioned as well as addressing preliminary plan comments from TRC before moving forward to P&Z. Both applications can then run concurrently.

With no further discussion, meeting was dismissed.

MEMBERS' COMMENTS: N/A

ADJOURNMENT: 10:14 am



City of Fruitland Park, Florida Community Development Department Sity of Gruilland Gark 506 W. Berckman St., Fruitland Park, Florida 34731

Tel: (352) 360-6727 Fax: (352) 360-6652 www.fruitlandpark.org

	Sta	Use Only	
Case No.:			
Fee Paid: _			
Receipt No.:			

Development Application						
Contact Information:	Develop	JIIICITA	Application			
Owner Name: FWB Investments, Ltd.						
Address: 9039 US Highway 441, Leesbu	urg, FL 34788					
Phone: (352) 615-1371		bbryancdjs@	aol.com			
Applicant Name: F. Williams Bryan, II, Registered Agent for FWB Investments, Ltd.						
Address: 9039 US Highway 441, Leesbu						
Phone: (352) 615-1371 Email: bbryancdjs@aol.com						
Engineer Name: Keith E. Riddle, P.E.				9		
Address: 115 North Canal Street, Leesb	urg, FL 34748					
Phone: 352-787-7482	Email: k	keith@riddle	newman.com			
Property and Project Information:						×
	lana Dadaa Dama Shor	n Evnancion	Puilding			er.
PROJECT NAME*: Bill Bryan Chrysler J *A project name is required for all submissions.				reference.	- 0	•
Property Address: 3401 US Highway 24			and the second s			*
Parcel Number(s): 10-19-24-0003-000-0			Section: 10	Township	o: 19	Range 24
Area of Property: 8.47 acres		Nearest Intersection: US 24/441 & Grizzard Street				
Existing Zoning: C-2		Existing Future Land Use Designation: General Commercial				cial
Proposed Zoning: C-2		Proposed	Future Land Use D	esignation: _	General Comm	nercial
The property is presently used for: Auto	omotive Dealership Sale	es & Service)			
The property is proposed to be used for	or: No Change in Use.					
Do you currently have City Utilities? Ye	es					
Application Type:						
Annexation Comp	Plan Amendment	. [Rezoning	90	Planned	d Development
☐ Variance ☐ Specia	l Exception Use		Conditional Use	Permit	Final Pla	at
Minor Lot Split Prelim	inary Plan		Construction Pla	ın	ROW/PI	at Vacate
Site Plan Minor	Site Plan	. [Replat of Subdiv	ision		
Please describe your request in detail: New Shop Expansion Building - partially constructed on existing asphalt and partially on grass area.					ially on grass area.	
New building = 4980 sf; New Impervious = 2980 sf (0.83% increase); Therefore this is a Minor Site Plan Submittal.						
Required Data, Documents, Forms & Fees Attached to this application is a list of REQUIRED data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package INCOMPLETE and will not be processed for review.						
Printed Name: F. William Bryan, II						
Signature: Willand				Date: <u>65</u>	7-08-0	8021
				6 5 53	22.7	

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

APPLICANT AFFIDAVIT

STATE OF FLORIDA

COUNTY OF LAKE

	Before me the undersigned authority, personally appeared F. William Bryan, II
	, who being by me first duly sworn on oath deposes and says:
1)	That he/she affirms and certifies that he/she understandings and will comply with all ordinances, regulations, and provisions of the City of Fruitland Park, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his/her knowledge and belief, and further that this application and attachments shall become part of the Official Records of the City of Fruitland Park, Florida, and are not returnable.
2)	That the submittal requirements for the application have been completed and attached hereto as part of that application.
3)	That he/she desires Minor Site Plan Approval to allow Shop Expansion Building on existing Bill Bryan Chrysler Jeep Dodge Site.
	Millan Beyon H
	Affiant (Applicant's Signature)
	State of Florida County of LAKE
	The Foregoing instrument was acknowledged before me this
	by F. William Brigan II who is personally known to me or has produced
	as identification and who did or did not take an oath
	(Notary Seal)
	NANCY LEE ROBERTS MY COMMISSION # GG 350401 EXPIRES: October 28, 2023 Bonded Thru Notary Public Underwriters
	Notary Public - State of Florida Rangue Follow
	Commission No GG 3504D Signature
	My Commission Expires 10/28/23 NAMEY LET KOLDERTS
	Printed Name

OWNER'S AFFIDAVIT

STATE OF FLORIDA COUNTY OF LAKE

Before me the undersigned authority, personally appeared	ed F. William Bryan, II
, who being b	y me first duly sworn on oath deposes and says:
That he/she is the fee-simple owner of the property legal	ly described on attached page of this application.
That he/she desires Minor Site Plan Approval	to allow_Shop Expansion Building
That he/she has appointed Keith E. Riddle	to act as agent on his/he
behalf to accomplish the above. The owner is requir	ed to complete the Applicant's Affidavit of this
application if no agent is appointed to act on his/her beha	alf.
	Well for Bayan It
Aſ	fiant (Owner's Signature)
State of Florida	
County of LAKE	0
The Foregoing instrument was acknowledged before me	
	ersonally known to me or has produced ation and who did or did not take an oath
25 /40/11/20	(Notary Seal)
MY COMMISSION EXPIRES: O	E ROBERTS ON # GG 350401 tober 28, 2023
A THE PARTY OF THE	Public Underwriters
Notary Public - State of Florida Commission No GG 350401 Signa	ature ()
My Commission Expires 10/28/23	LANDY LEE KOBERTS

Development Application Checklist The Following are Required for ALL Development Applications: ✓ Current Deed ✓ Aerial Photo ✓ Legal Description (Word file req'd) ✓ Location Map Property Appraiser Information ✓ Electronic Copy of Application Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through www.lakecountyfl.gov/maps/. Note: All maps are required to depict adjacent properties at a minimum. Failure to provide adequate maps may delay the application process. Other Required Analyses and Maps: Small Scale Comprehensive Plan Amendment Applications: ☐ Justification for Amendment ☐ Environmental Constraints Map ☐ Requested FLU Map Large Scale Comprehensive Plan Amendment Applications: Environmental Constraints Soils Requested FLUM Designation Requested Zoning Map Designation Maps: Analyses: Environmental Assessment Utility Availability Analysis Urban Sprawl Analysis School Impact Analysis Traffic Impact Analysis Consistency with the Comp Plan Florida Master Site File sign-off or Archaeological Survey Rezoning Applications: ☐ Justification for Rezoning Requested Zoning Map Planned Development Applications: Maps/Plans: Conceptual Plan as Described in LDRs Chapter 154, Environmental Constraints Section 154.030,10,G Traffic Impact Analysis Preliminary Concurrency Analysis Variance Applications: Justification for Variance Special Exception Use Applications: Justification for Special Exception Use List of Special Requirements as Described in LDRs, Chapter 155 Site Sketch **Conditional Use Permit Applications:** Proposed List of Conditions and Safeguards Site Plan as Described in LDRs, Chapter 155 Written Statement as Described in LDRs, Chapter 155 Subdivision Applications: As Described in LDRs, Chapter 157 (Preliminary Plan, Improvement Plan and Final Plat) Minor Subdivision Applications: As Described in LDRs, Chapter 157

✓ As Described in LDRs, Chapter 160

Site Plan Applications:

PROPERTY RECORD CARD

General Information

Name:	FWB INVESTMENTS LTD	Alternate Key:	1740673		
Mailing Address:	8644 US HIGHWAY 441	Parcel Number: 0	10-19-24-0003- 000-03003		
	LEESBURG, FL 34788 <u>Update Mailing Address</u>	Millage Group and City:	00F2 (FRUITLAND PARK)		
		2020 Total Certified Millage Rate:	18.1489		
		Trash/Recycling/Water/Info:	My Public Services Map 1		
Property 3401 US HIGHWAY 27/441 FRUITLAND PARK FL 34731		Property Name:	BILL BRYAN DODGE Submit Property Name (1)		
	Update Property Location	School Information:	School Locator & Bus Stop Map (1) School Boundary Maps (1)		
Property Description:	BEG AT MOST SW'LY COR OF LOT 13, VALENCIA TERRACE SUB, RUN W TO PT 300 FT E OF E'LY LINE OF HWY 27, NW'LY PARALLEL TO E'LY LINE OF HWY 27 110 FT, W 300 FT TO HWY, NW'LY ALONG HWY TO A POINT 1125 FT S OF INTERSECTION OF S'LY LINE OF				

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Lin	e Land Use	Frontage	Depth Notes	No. Units	Туре	Class Value	Land Value
1	AUTO SALES/STORAGE (2700)	0	0	353832	SF	\$0.00	\$1,362,253.00
C	ick here for Zoning Info 0		E	EMA FI	ood N	<u>lap</u>	

Commercial Building(s)

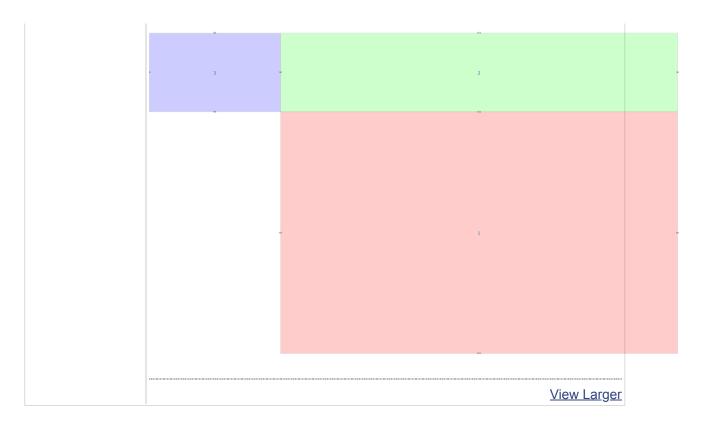
Building 1

Commercia	al	Building Value: \$725,624.00							
Summ	ary				Sect	ion(s)			
Year Built: Total	2000	Section No.	Section Type	Wall Height	No. Stories	Ground Floor Area	Basement	Basement Finished	Map Color
Square Footage:	12672	1	FINISHED LIVING AREA	20	1	12672	0%	0%	
Full	3		(FLA)						

Bathrooms:	Interior Finish	Percent	Sprinkler	A/C
Half Bathrooms: 0	(27C)	100.00 %	No	Yes
Elevators: 0		176		
Elevator 0 Landings:				
Escalators: 0				
Residential ₀ Units:				
Kitchens: 0	2	1		
Fireplaces: 0				
Structure Type: Concrete Block or Masonry Walls				
Exterior Walls:		325		
04 : 50.00 % 06 : 50.00 %				
			<u> </u>	√iew Larger

Building 2

Commercial Summary		Bu	ilding Value: \$601,9	12.00						
			Section(s)							
Year Built: Total	2000	Sec No.	ction Section Type	Wall Height	No. Stories	Ground Floor Area	Basement	Basement Finished	Map Color	
Square Footage:	19922	1	FINISHED LIVING AREA (FLA)	20	1	13892	0%	0%		
Full	0		Interior Finish		Perc	ent	Sprinkle	r	A/C	
Bathrooms:			(27B)		77.0	0 %	No		No	
Half Bathrooms:	2		(11C) FINISHED		23.0	0 %	No		Yes	
Elevators:	0	2	LIVING AREA	16	1	4530	0%	0%		
Elevator	0		(FLA)		D	4	0		A 10	
_andings:	0		Interior Finish (49C)		100.0		Sprinkl No	er	A/C No	
Escalators: Residential Units:		3	FINISHED LIVING AREA	16	1	1500	0%	0%	INO	
Kitchens:	0		(FLA)						A (O	
Fireplaces:	0		Interior Finish		Perce	-	Sprinkl	er	A/C	
Structure Ty Concrete Bl Masonry Wa	/pe: ock or alls		(49C)		100.0	U 70	No		No	
Exterior Wa	lls:									
04 : 50.00 9 06 : 50.00 9										
	, ,									



Miscellaneous Improvements

No.	Туре	No. Units	Unit Type	Year	Depreciated Value
0001	PAVING (PAV)	3220	SF	2001	\$4,508.00
0002	PAVING (PAV)	117500	SF	2001	\$95,175.00
0003	FENCING (FEN)	9104	SF	2001	\$5,244.00
	PARKING LOT LIGHT FIXTURE (PFL)	27	UT	2001	\$9,990.00
0005	CARPORT/POLE SHED - UNFINISHED (UCP)	520	SF	2020	\$2,675.00

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted Site Notice.

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Site Notice



Department of State / Division of Corporations / Search Records / Search by Entity Name /

Detail by Entity Name

Florida Limited Partnership FWB INVESTMENTS, LTD.

Filing Information

 Document Number
 A99000000352

 FEI/EIN Number
 59-3561441

 Date Filed
 03/05/1999

State FL

Status ACTIVE

Principal Address
1125 SOLANA AVE

WINTER PARK, FL 32789

Changed: 02/18/2010

Mailing Address

9039 US HWY 441 LEESBURG, FL 34788

Changed: 03/14/2011

Registered Agent Name & Address

BRYAN, II, F. WILLIAM 9039 US HIGHWAY 441 LEESBURG, FL 34788

Name Changed: 04/28/2004

Address Changed: 03/14/2011

General Partner Detail

Name & Address

Document Number H36465

F.W.B. LEASING, INC. 9039 US HIGHWAY 441 LEESBURG, FL 34788

Annual Reports

Report Year Filed Date

2019	03/26/2019
2020	02/19/2020
2021	02/04/2021

Document Images

02/04/2021 ANNUAL REPORT	View image in PDF format
02/19/2020 ANNUAL REPORT	View image in PDF format
03/26/2019 ANNUAL REPORT	View image in PDF format
02/19/2018 ANNUAL REPORT	View image in PDF format
02/24/2017 ANNUAL REPORT	View image in PDF format
02/02/2016 ANNUAL REPORT	View image in PDF format
02/26/2015 ANNUAL REPORT	View image in PDF format
03/13/2014 ANNUAL REPORT	View image in PDF format
02/20/2013 ANNUAL REPORT	View image in PDF format
03/21/2012 ANNUAL REPORT	View image in PDF format
03/14/2011 ANNUAL REPORT	View image in PDF format
02/18/2010 ANNUAL REPORT	View image in PDF format
03/16/2009 ANNUAL REPORT	View image in PDF format
03/20/2008 ANNUAL REPORT	View image in PDF format
02/22/2007 ANNUAL REPORT	View image in PDF format
03/29/2006 ANNUAL REPORT	View image in PDF format
04/25/2005 ANNUAL REPORT	View image in PDF format
04/28/2004 ANNUAL REPORT	View image in PDF format
03/20/2003 ANNUAL REPORT	View image in PDF format
04/22/2002 ANNUAL REPORT	View image in PDF format
06/04/2001 ANNUAL REPORT	View image in PDF format
04/13/2000 ANNUAL REPORT	View image in PDF format
03/05/1999 Domestic LP	View image in PDF format

The proposed rezoning change is consistent with the Comprehensive Plan.

The requested rezoning and the proposed development of the property are consistent with the Goals, Policies, and Objectives of the Comprehensive Plan.

The existing future land use designation permits or supports public facilities pursuant to Policy 1-5.1, if criteria are met.

Policy 1-5.1: Public Facilities. Necessary Public Facilities shall be permitted as Institutional Land Uses within any Future Land Use Designation if such facility satisfies the following criteria:

- 1) Serves the majority of the population. The elementary school will serve the student population of Fruitland Park. The existing students are anticipated to attend the new replacement school. The proposed school will also serve the elementary students estimated to be generated by recently approved new development within the current attendance boundary.
- 2) Located in close proximity to the main user group. The main user group or student population is located within the City and in close proximity to the proposed public school site. The new school site is located approximately a mile from the existing school. The students currently attending the existing Fruitland Park Elementary are expected to attend the new school.

Additionally, the recently approved Holloway Planned Unit Development (PUD) is located directly south of the proposed school site, across Urick Street. The Holloway PUD is estimated to generate 110 elementary students. These students will be assigned to attend the new school in the future.

Also, the Tara Oaks residential development located further south is under construction. The Tara Oaks development was approved for 1,168 dwelling units. The estimated students to be generated by this residential development is 183.

Both of these residential developments are located in the Fruitland Park Elementary attendance boundary. The students generated by the new residential developments are assigned to Fruitland Park Elementary.

3) Buffers will be provided along the perimeter property boundary and the width of such buffers shall be determined by the adjacent land used and the proposed land use.

The school district intends to comply, to the extent possible, in providing the required perimeter buffers.

4) Landscaping will be provided based on the adjacent land use and the proposed land use.

The intent is to preserve existing trees and vegetation to the extent possible. The district will utilize design elements of CPTED for a secure site perimeter. These CPTED elements will include, but not be limited to, fencing, gates and landscaping.

The City's Land Development Code does provide a credit for utilizing existing vegetation/trees on site. Per Section 164, Landscape Requirements: The applicant is encouraged to utilize existing vegetation within the property for Buffer landscaping in lieu of planting materials. However, the existing vegetation on-site must be an upland community as defined in the Appendix to the City of Fruitland Park Code.

The approved public facility use will comply, to the extent possible, with the landscaping and buffering requirements and access management requirements. The District intends to provide the perimeter buffers and preserve the existing natural vegetation as much as possible.

IV. PFD Zoning Criteria

Pursuant to the City's Code, the purpose of the PFD district is to provide for the development of public facilities. *Public facilities/services shall include but not be limited to, public and private utilities, governmental, religious, and educational land uses.*

The proposed public school is a public facility use and is permitted in the PFD zoning district.

PFD zoning district locational criteria:

The approved use shall front on an arterial or collector roadway.

The subject property has frontage on Olive Avenue, which is a local road, and Urick Street, which is a County Road. The main access is proposed on Olive Avenue, in order to provide sufficient stacking on site. The bus loop is a separate access on Olive Avenue, north of the main access. The existing roadway infrastructure is in place to serve the proposed public school.

ii) Approved uses shall comply with appropriate landscaping and buffering requirements and access management requirements.

The school district intends to comply with the buffering and access management requirements. The district anticipates preserving, to the extent possible, existing vegetation/trees.

iii) The site must be located in proximity to the main user group.

The subject property that will support the new replacement school is located within approximately one mile of the existing Fruitland Park Elementary. The students that currently attend Fruitland Park are anticipated to also attend the new Fruitland Park Elementary.

Two recently approved (large) residential developments are located within close proximity to the new school location. Holloway PUD is located directly south across Urick Street. This PUD consists of 700 dwelling units and is estimated to generate 110 elementary students. The Tara Oaks residential development, located further south and approved for 1,168 dwelling units, is estimated to generate 183 elementary students. The Tara Oaks development has started site development. Both of these residential developments are located in the Fruitland Park Elementary attendance boundary.

iv) The approved use must serve the majority of the population.

The new school will serve the student population within the City of Fruitland Park and the surrounding area. As stated previously, the students currently attending the existing school are expected to attend the new school. Additionally, there is new residential development approved just south of the new school site. The combined estimated elementary students generated from these recently approved developments is 293. The new developments are located with the Fruitland Park Elementary attendance boundary. The school district does not plan to adjust this attendance boundary for the new school.

V. Conclusion

The rezoning and the proposed development of the property are consistent with the Goals, Policies, and Objectives of the Comprehensive Plan. Quality schools are key elements of neighborhoods and communities. This school will be a benefit to the Fruitland Park community for many years to come.

THIS INSTRUMENT PREPARED BY AND IS TO BE RETURNED TO:

H. D. Robuck, Jr., Esquire 610 E. Main Street Leesburg, FL 34748

Warranty Deed

Book 1700 Page 1298

(Reserved for Recording)

THIS INDENTURE, made this 24th day of March, 1999, between Lake County Service Corporation, a Florida corporation, of P. O. Box 490420, Leesburg, FL 34749-0420, the "Grantor", and FWB Investments, Ltd., a Florida Limited Partnership, whose mailing address is 1001 North Orlando Avenue, Winter Park, FL 32789, the "Grantee";

WITNESSETH: That said Grantor, for and in consideration of the sum of \$10.00 and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in Lake County, Florida, to-wit:

Begin at the most Southwesterly corner of Lot 13 of Valencia Terrace Subdivision, according to the plat thereof as recorded in Plat Book 20, Pages 11 and 12 of the Public Records of Lake County, Florida; run thence N. 89°53'40" W. on an extension of the South line of said Valencia Terrace Subdivision, 269.73 feet, more or less, to a point that is S. 89°53'40" E., 300.00 feet from the Easterly right-of-way of Highway No. 441 and 27; thence N. 24°00'40" W., parallel with said Easterly right-of-way of Highway No. 441/27 a distance of 110.0 feet; thence N. 89°53'40" W. 300.00 feet to a point on said right-of-way of Highway No. 441/27; thence N. 24°00'40" W. along said Easterly right-of-way 541.11 feet to a point that is 1125.0 feet Southeasterly along said right-of-way from the intersection of the Southerly right-of-way line of County Road #1-5508 (Picciola Cutoff Rd.) and the Easterly right-of-way of Highway No. 441/27; thence leaving said right-of-way, run N. 65°59'20" E., 520 feet, more or less, to a point on the Westerly line of Valencia Terrace Subdivision; thence S. 24°00'40" E. along said Westerly line of Valencia Terrace Subdivision 883.90 feet, more or less, to the point of beginning.

and said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

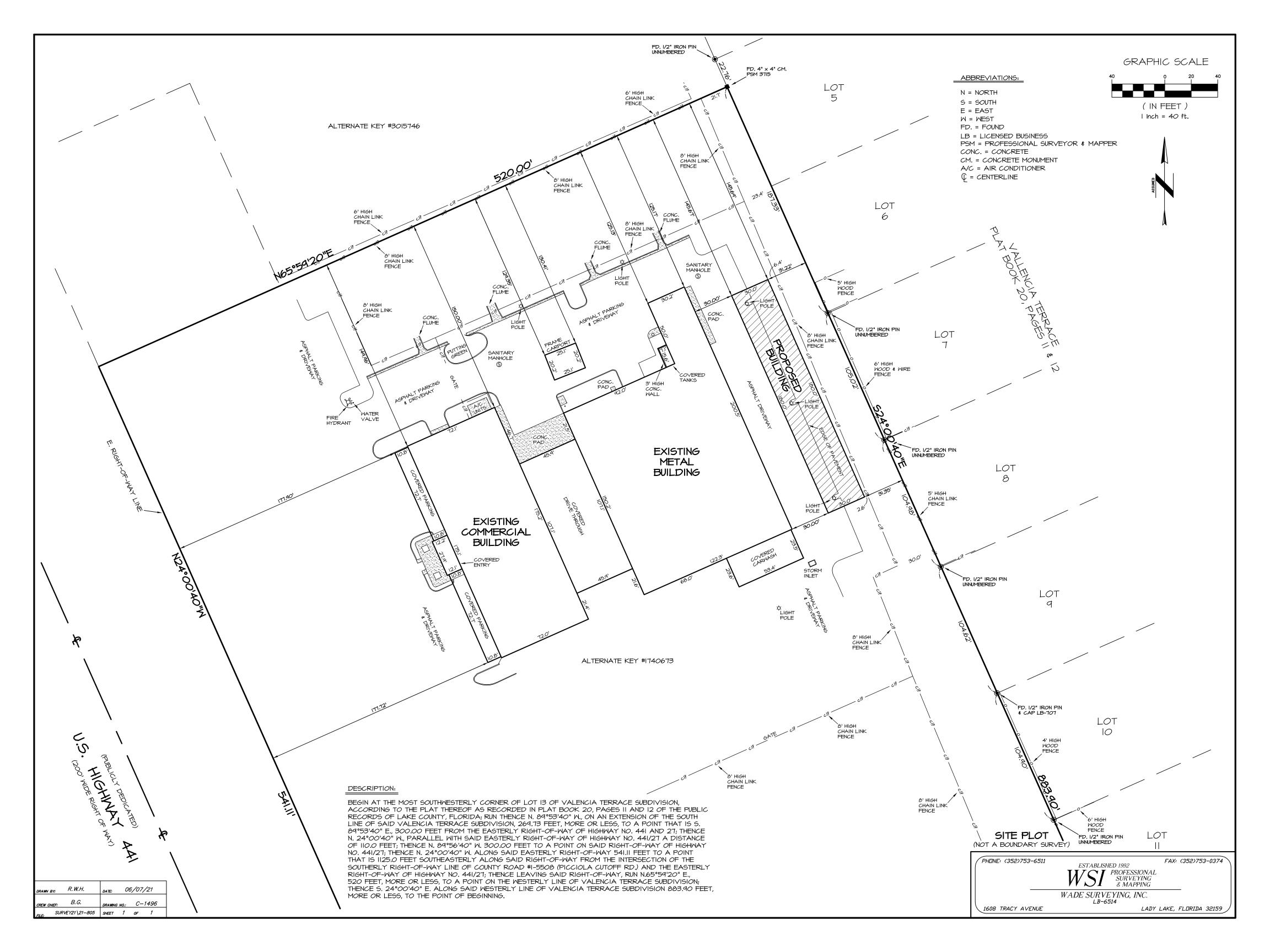
In Witness Whereof, Grantor has hereunto set Grantor's hands and seals the day and year first above written.

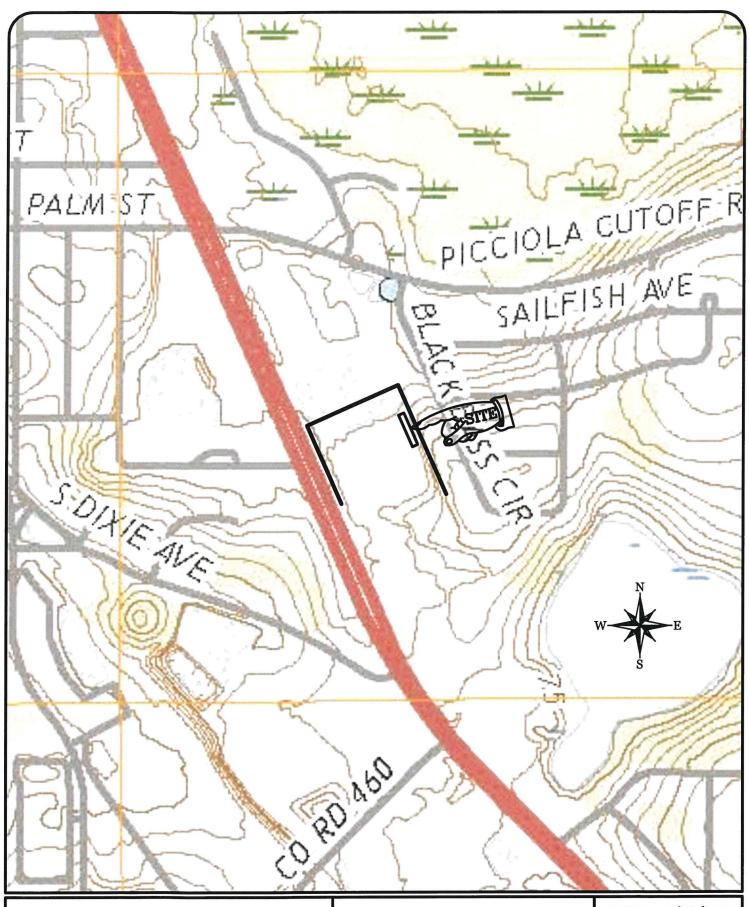
Sign: Karen A. Davis

Print name of witness: Hugh A. Davis II

Lake County Service Corporation

By: Paul K. Mueller, Vice President





RIDDLE RIDD
NEWMAN
ENGINEERING INC.

RIDDLE - NEWMAN ENGINEERING, INC. 115 NORTH CANAL STREET LEESBURG, FLORIDA 34748 PHONE (352) 787-7482 FAX (352) 787-7412 **BILL BRYAN CHRYSLER**

QUAD MAP

DATE: 6/16/2021 SCALE: 1"=500'

FILE: 21.20 SHEET: 1 of 1



RIDDLE - NEWMAN ENGINEERING, INC.

115 NORTH CANAL STREET
LEESBURG, FLORIDA 34748

ENGINEERING INC.

PHONE (352) 787-7482
FAX (352) 787-7412

BILL BRYAN CHRYSLER

AERIAL MAP

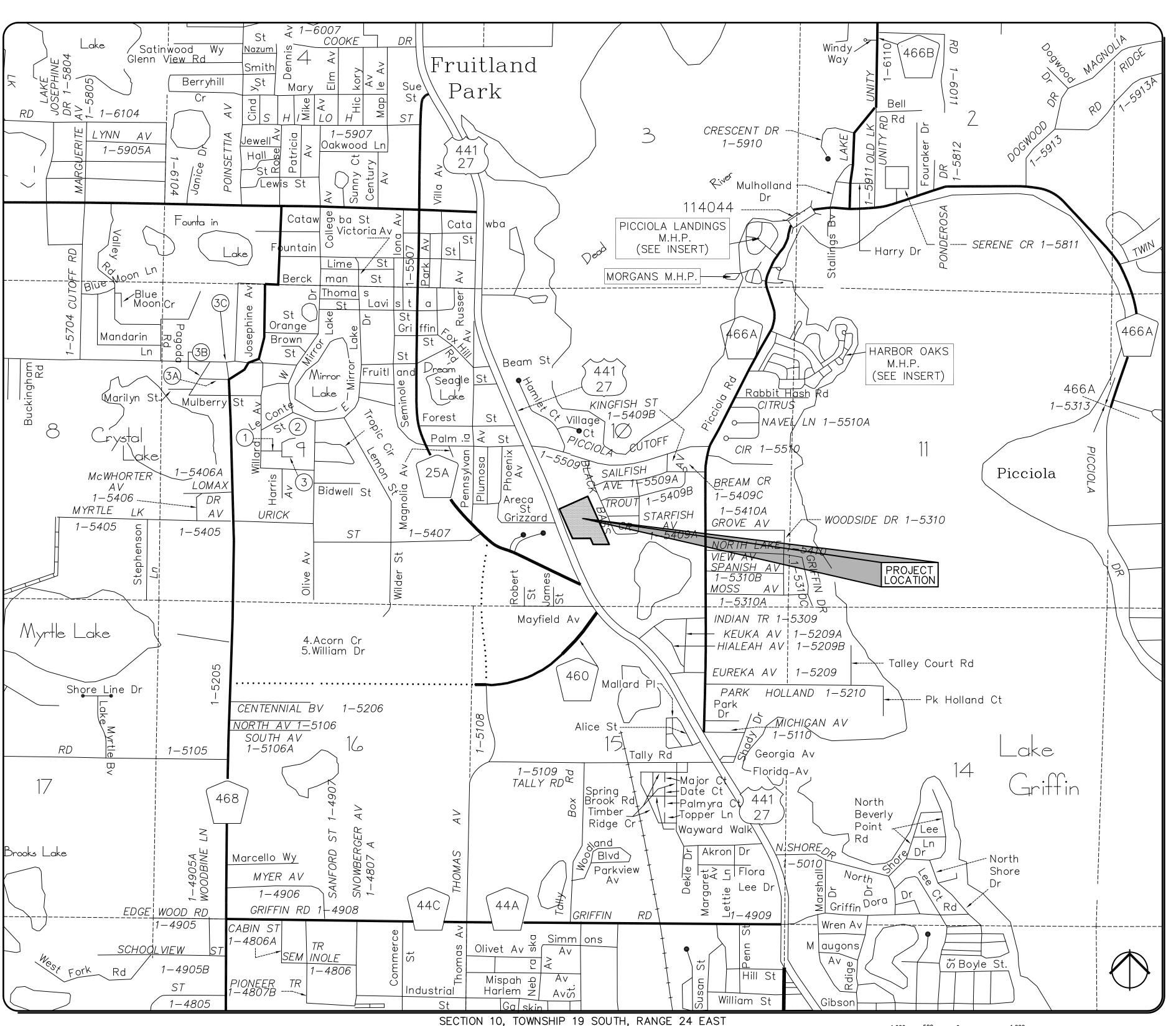
6/16/2021 DATE:

SCALE: 1"=200'

FILE: 21.20 SHEET: 1 of 1

BILL BRYAN CHRYSLER

FRUITLAND PARK, FLORIDA



GENERAL NOTES

- 1. BOUNDARY AND TOPOGRAPHICAL INFORMATION SHOWN ARE PER DRAWINGS PREPARED BY WADE SURVEYING, INC., DATED 6/7/2021. SURVEY BASED ON NGVD29 DATUM TO BE CONSISTENT WITH PREVIOUS PLANS.
- 2. CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER OR ARCHITECT.
- 3. CONTRACTOR SHALL LOCATE AND MAINTAIN IN GOOD WORKING ORDER ALL ABOVE GROUND AND BELOW GROUND UTILITIES. CONTRACTOR SHALL COORDINATE THE RELOCATION OR ALTERATION OF EXISTING UTILITIES AS MAY BE REQUIRED. CONTRACTOR SHALL CALL 811 FOR UTILITY LOCATES PRIOR TO DIGGING.
- 4. ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF FRUITLAND PARK, LAKE COUNTY PUBLIC SERVICES, FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE CODES.
- 5. ALL DISTURBED OPEN AREAS SHALL BE SODDED OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING COMPLETION OF THE BUILDING CONSTRUCTION AS SHOWN ELSEWHERE IN THESE PLANS.
- 6. CONTRACTOR SHALL SUPPLY THE ENGINEER WITH "AS-BUILT" CONDITIONS OF ACTUAL CONSTRUCTION.
- 7. CONSTRUCTION SURVEYING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.

LEGAL DESCRIPTION

BEGIN AT THE MOST SOUTHWESTERLY CORNER OF LOT 13 OF VALENCIA TERRACE SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, PAGES 11 AND 12 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; RUN THENCE N. 89°53'40" W., ON AN EXTENSION OF THE SOUTH LINE OF SAID VALENCIA TERRACE SUBDIVISION, 269.73 FEET, MORE OR LESS, TO A POINT THAT IS S. 89°53'40" E., 300.00 FEET FROM THE EASTERLY RIGHT—OF—WAY OF HIGHWAY NO. 441/27 A DISTANCE OF 110.0 FEET; THENCE N. 89°56'40" W. 300.00 FEET TO A POINT ON SAID RIGHT—OF—WAY OF HIGHWAY NO. 441/27; THENCE N. 24°00'40" W. ALONG SAID EASTERLY RIGHT—OF—WAY 541.11 FEET TO A POINT THAT IS 1125.0 FEET SOUTHEASTERLY ALONG SAID RIGHT—OF—WAY FROM THE INTERSECTION OF THE SOUTHERLY RIGHT—OF—WAY LINE OF COUNTY ROAD #1—5508 (PICCIOLA CUTOFF RD.) AND THE EASTERLY RIGHT—OF—WAY OF HIGHWAY NO. 441/27; THENCE LEAVING SAID RIGHT—OF—WAY, RUN N.65°59'20" E., 520 FEET, MORE OR LESS, TO A POINT ON THE WESTERLY LINE OF VALENCIA TERRACE SUBDIVISION; THENCE S. 24°00'40" E. ALONG SAID WESTERLY LINE OF VALENCIA TERRACE SUBDIVISION; THENCE S.

SHEET INDEX	
C1.1	COVER SHEET
C1.2	STORMWATER POLLUTION PREVENTION PLAN
C2.1	SITE PLAN

SITE DATA

TOTAL AREA = 368,953 sq.ft. (8.47 ac.)

PROJECT AREA = 5,400 sq.ft. (0.12 ac.)

EXISTING IMPERVIOUS AREA = 203,381 sq.ft. (4.67 ac.)

PROPOSED NEW IMPERVIOUS AREA = 2,890 sq.ft. (0.07 ac.)

TOTAL IMPERVIOUS AREA = 206,271 sq.ft. (4.74 ac.)

PERCENT IMPERVIOUS AREA = 55.90% (of total area)

OPEN SPACE = 44.10%

FLOOD ZONE = "X"

ZONING = "C-2"

FUTURE LAND USE = "COMM" (COMMERCIAL)

EXISTING USE OF SITE = CAR DEALERSHIP

PROPOSED USE OF SITE = CAR DEALERSHIP

PROPOSED NEW BUILDING SQUARE FOOTAGE = 4,980 sq.ft.

OWNER

F. William Bryan, II FWB Investments, Ltd. 9039 US Hwy 441 Leesburg, Florida 34788

CONTRACTOR

Scott Sumner Beeline Development, Inc. 4701 NE 36th Avenue Ocala, Florida 34479

ENGINEER

Keith E. Riddle, P.E. Riddle - Newman Engineering, Inc. 115 North Canal Street Leesburg, Florida 34748 Phone (352) 787-7482 Fax (352) 787-7412

SURVEYOR

Ronald W. Herr
Wade Surveying, Inc.
1608 Tracy Avenue
Lady Lake, Florida 32159
Phone (352) 753-6511
Fax (352) 753-0374

LOCATION PLAN

SCALE: 1"=1,000'

1,000

1 inch = 1,000 ft.

GRAPHIC SCALE

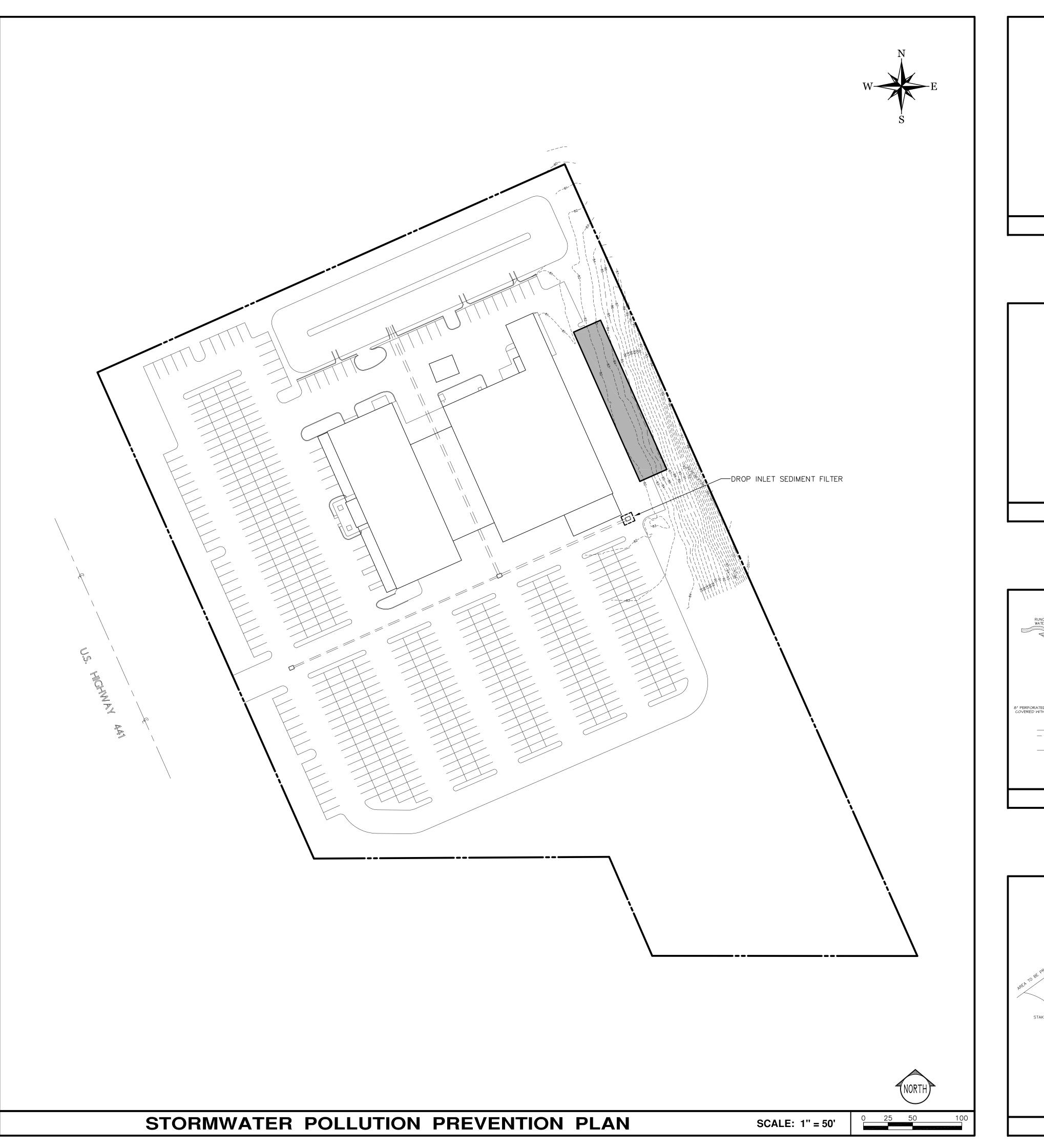
SHEET NO.

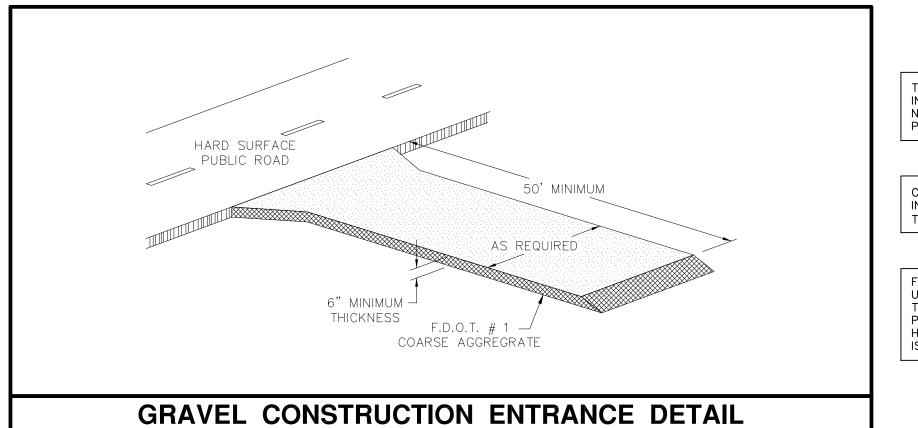
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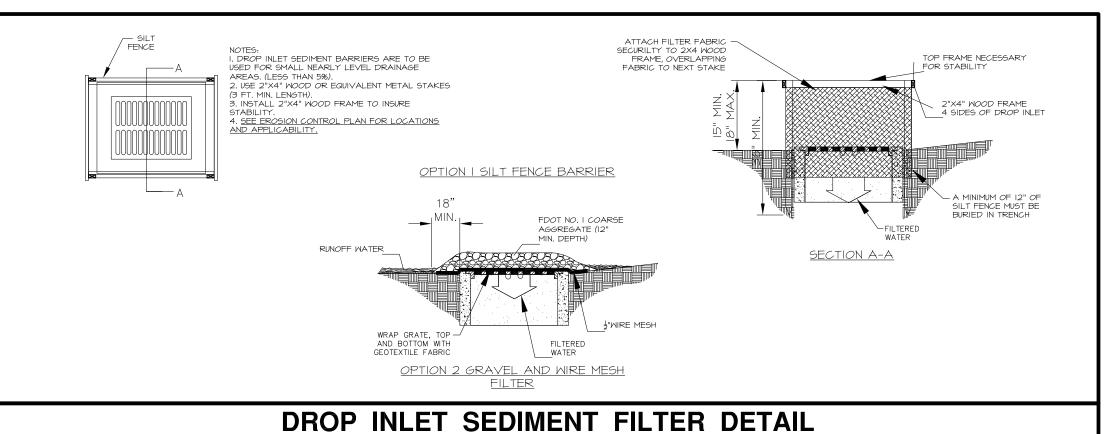


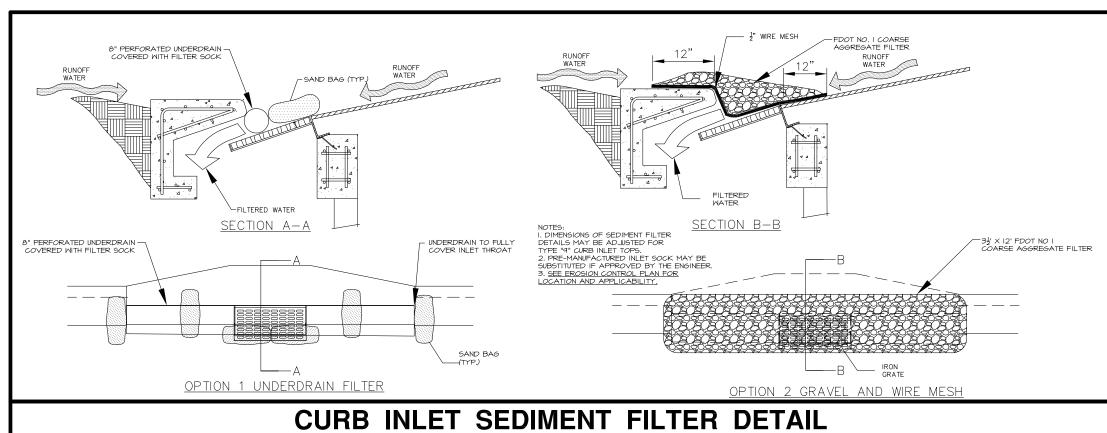
THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH FDEP NPDES STORMWATER POLLUTION PREVENTION PLAN REQUIREMENTS.

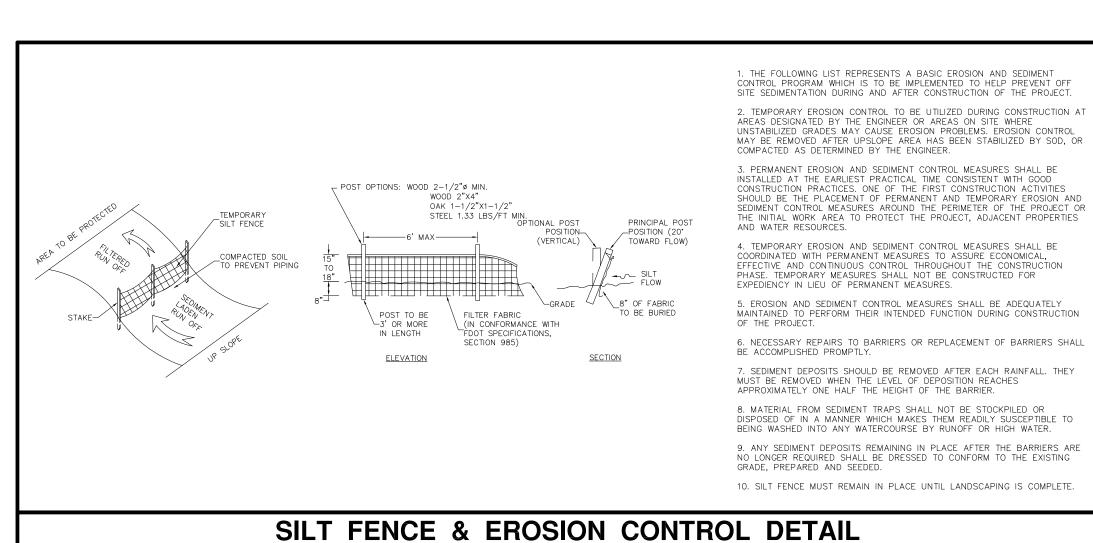
CONTRACTOR TO INSTALL DROP INLET SEDIMENT FILTER ON ALL TYPE "F" INLETS.

FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR HAY BALES, UNTIL LIMEROCK BASE IS FINISHED AND PRIMED.

WMAN ENGINEERING



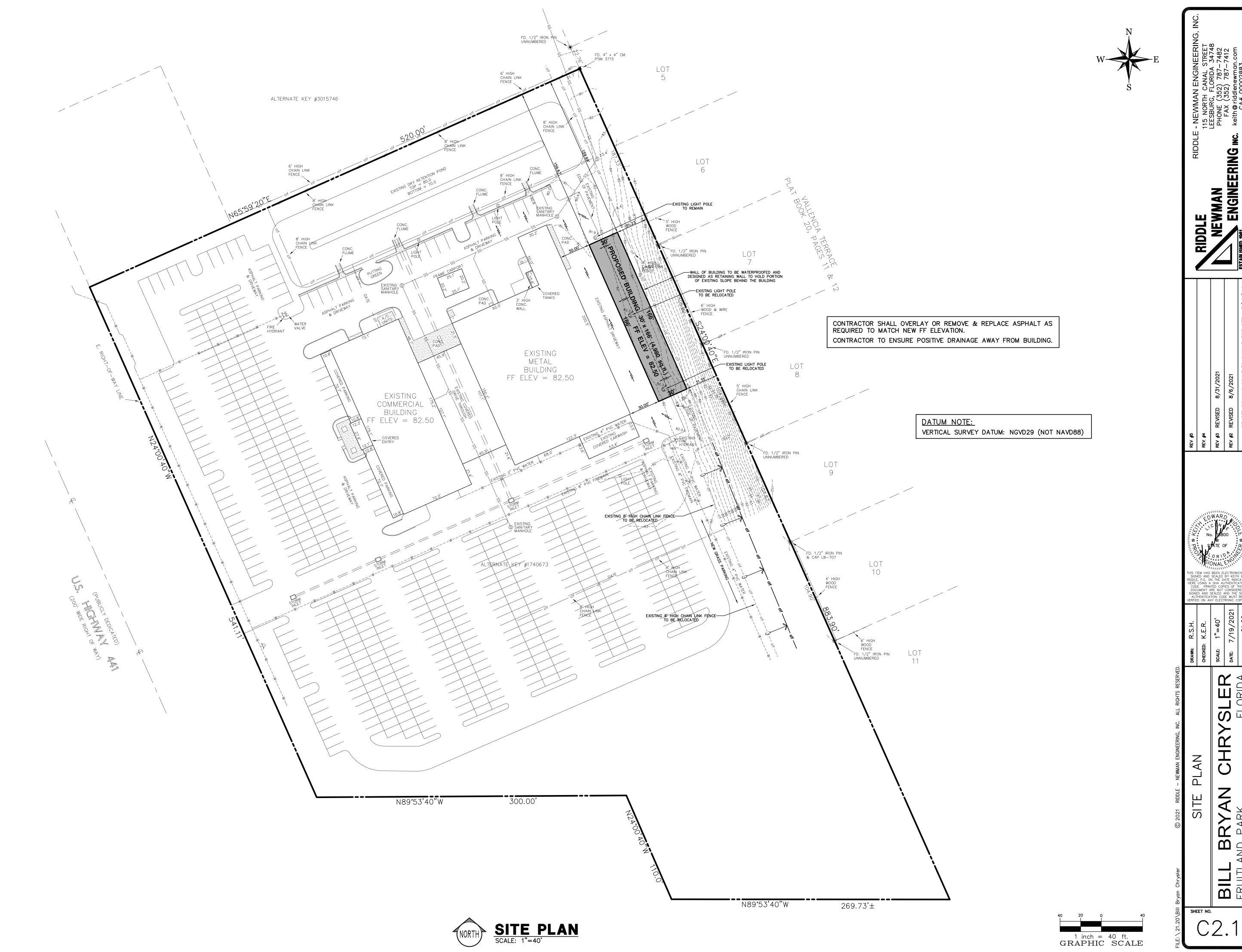




Bryan Chrysler © 2021 RIDDLE – NEWMAN ENGINEERING, INC. ALL RIGHTS RE

SHEET NO.

YSLER



CHRYSLER BRYAN ND PARK

ST. JOHNS RIVER WATER MANAGEMENT DISTRICT STORMWATER MANAGEMENT DATA For a Letter Modification to ERP #42-069-56519-1

Bill Bryan Chrysler Fruitland Park, Florida

Prepared For:

FWB Investments, Ltd. 9039 US HWY 441 Leesburg, Florida 34788 F. William Bryan, II

Prepared By:

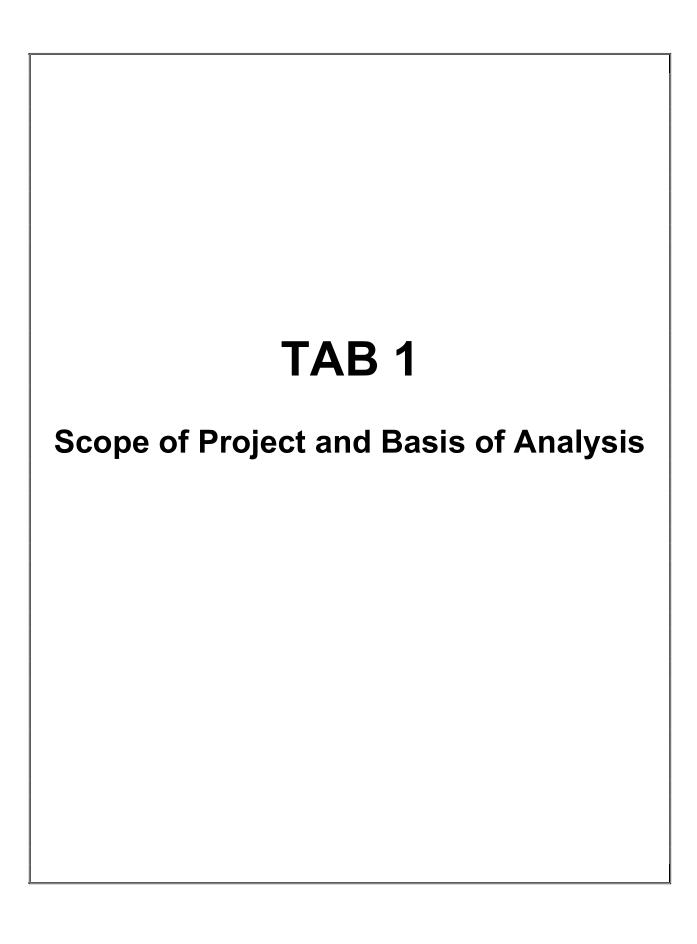
RIDDLE-NEWMAN ENGINEERING, INC. 115 North Canal Street Leesburg, Florida 34748 Phone (352) 787-7482

July 4th, 2021

Bill Bryan Chrysler Fruitland Park, Florida

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 - A. APPROVED SITE CONSTRUCTION PLANS
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BILL BRYAN CHRYSLER CITY OF FRUITLAND PARK, FLORIDA LAKE COUNTY, FLORIDA STORMWATER MANAGEMENT DATA

SCOPE OF PROJECT:

This report contains previously approved drainage basin calculations for a 8.47 -acre Commercial development containing more than 50% impervious. The parcel lies within a closed drainage basin and the project has been designed for projects less than 100 acres and more than 40% impervious.

The applicant requested a letter modification to Permit Number 42-069-56519-1. The proposed modification consists of an additional 0.07 Ac. (3,152 S.F) of impervious surface for existing pavement modifications and for a new Vehicle maintenance / service building.

Permit History:

The proposed project site has one previous permit, Permit Number 42-069-56519-1 The proposed project site is located at 903 North Boulevard West US Hwy 27 in the City of Fruitland Park, Lake County.

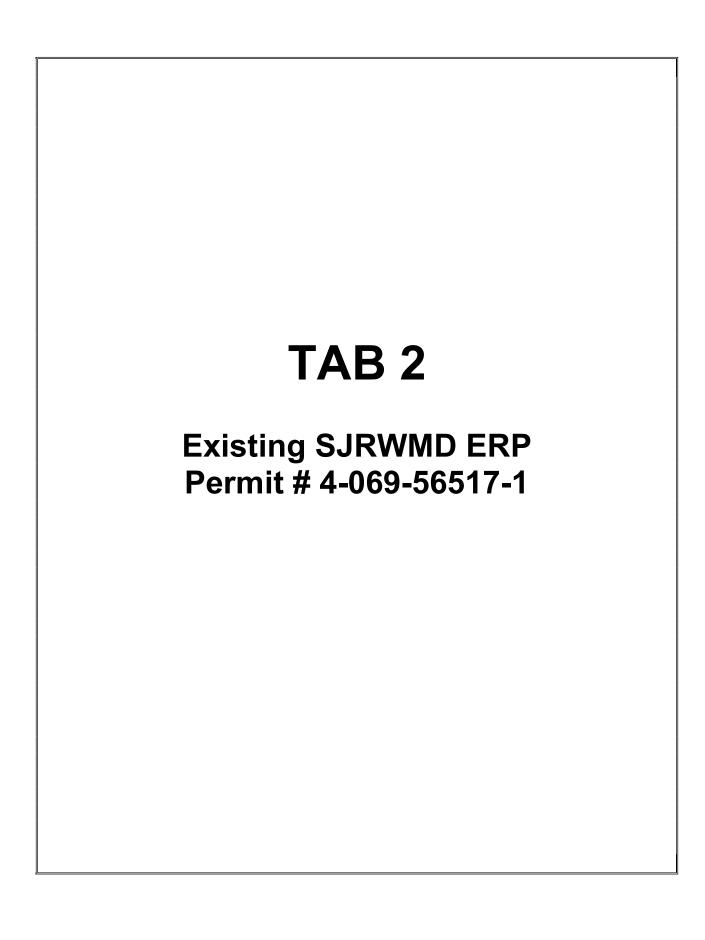
BASIS OF ANALYSIS:

A. RUNOFF CURVE NUMBERS

Soil Conservation Service (SCS) runoff Curve Numbers (CN), were developed considering soil types and land use. The soil type for this development consists of Type A soils. The existing land cover is open space. The post-developed curve numbers are based on the proposed land uses within each drainage basin and take into account any directly connected impervious areas. (DCIA).

The original calculations permitted with ERP # 42-069-56519-1 anticipated future impervious area and the stormwater management system has been designed for an additional 1.00 acres of impervious area.

The attached new curve number calculations show compliance with the original assumed post-developed land use breakdown.



Permit with conditions 1728



POST OFFICE BOX 1429

PALATKA, FLORIDA 32178-1429

TELEPHONE 904-329-4500 SUNCOM 904-860-4500 TDD SUNCOM 860-4450

TDD 904-329-4450 (Legal) 329-4485

(Administration/Finance) 329-4508 (Permitting) 329-4315

SERVICE CENTERS

618 E. South Street Oriendo, Florida 32801 407-897-4300 TDD 407-897-5960

7775 Baymeadows Way Suite 102 Jacksonville, Florida 32256 904-730-6270 TDD 904-448-7900

PERMITTING: 305 East Drive Melbourne, Florida 32904 407-984-4940 TDD 407-722-5368

2133 N. Wickham Road Melbourne, Florida 32935-8109 407-752-3100 TDD 407-752-3102

REGULATION OF STORMWATER MANAGEMENT SYSTEMS CHAPTER 40C-42, F.A.C.

FAX (Executive) 329-4125

PERMIT NO. 42-069-56519-1

DATE ISSUED Oct. 27, 1999

AUTHORIZATION:

A stormwater management system with stormwater treatment by one dry retention pond to serve Bill Bryan Chrysler, Plymouth, Dodge, a 8.47 acre project to be constructed as per plans received by the District on October 12, 1999.

LOCATION

Section: 10 Township: 19 Range: 24

County Name: Lake

ISSUED TO:

Bill Bryan Chrysler, Plymouth, Dodge

Attn: Mr. Bill Bryan

903 N. Boulevard West/US HWY 27

Leesburg, FI 34748

This document shall serve as the formal permit for construction and operation of stormwater management system in accordance with Chapter 40C-42, F.A.C., issued by the staff of the St. Johns River Water Management District on Oct. 27, 1999. This permit is subject to the standard limiting conditions and other special conditions approved by the staff. These conditions are enclosed.

This permit is a legal document and should be kept with your other important records. The permit requires the submittal of an As-built certification and may require submittal of other documents. All information provided in compliance with permit conditions should be submitted to the District office from which the permit was issued. An As-built certification form is attached. Complete this form within 30 days of completion of construction of the permitted system, including all site work. Upon receipt of the As-built certification, staff will inspect the project site. Once the project is found to be in compliance with all permit requirements, the permit may be converted to its operation phase and responsibility transferred to the operation and maintenance entity in accordance with chapter 40C-42.028, F.A.C.

Permit issuance does not relieve you from the responsibility for obtaining permits from any federal, state, and/or local agencies asserting concurrent jurisdiction over this work. Please note that if

dewatering is to occur during any phase of construction or thereafter and the surface water pump(s), wells, or facilities are capable of withdrawing one million gallons of water per day or more, or an average of 100,000 gallons per day or more over a year, and any discharge is to be off-site, you must apply for and obtain a Consumptive Use Permit (40C-2) from the District prior to starting the dewatering. Please contact the District if you need additional information or application materials.

This permit does not convey to Permittee any property rights nor any rights or privileges other than those specified herein, nor relieve the Permittee from complying with any law, regulation or requirement affecting the rights of other bodies or agencies. All structures and works installed by Permittee hereunder shall remain the property of the Permittee

Permittee agrees to hold and save the St. Johns River Water Management District and its successors harmless from any and all damages, claims, or liabilities which may arise from permit issuance. Said application, including all plans and specifications attached thereto, is by reference made a part hereof.

This Permit may be revoked, modified, or transferred at any time pursuant to the appropriate provisions of Chapter 373, Florida Statutes. In the event you sell your property, the permit will be transferred to the new owner, if we are notified by you within thirty days of the sale. Please assist us in this matter so as to maintain a valid permit for the new property owner.

Thank you for your cooperation and if this office can be of any further assistance to you, please do not hesitate to contact us.

Joan B. Budzynski

Joan B. Budzynski, Lead Engineer - Department of Resource Management

Enclosures:

As-built Certification Form

Limiting Conditions

Special Condition Sheet, if applicable

CC:

District Permit File

International Engineering Consultants, Inc.

Attn: Kenneth J. Leeming, P.E.

5740 Old Cheney Highway

Orlando, Fl 32807

Bill Bryan Chrysler, Plymouth, Dodge Oct. 27, 1999 42-069-56519-1

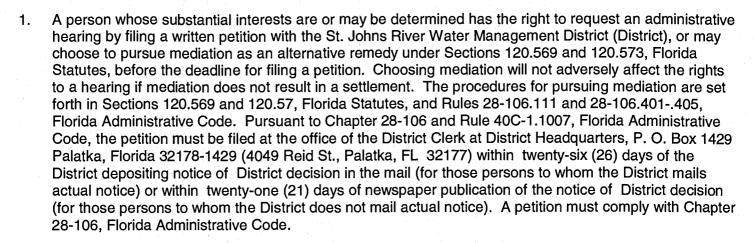
- 1. This permit for construction will expire 5 years from the date of issuance unless otherwise specified by a special condition of the permit.
- 2. Permittee must obtain a permit from the District prior to beginning construction of subsequent phases of any other work associated with this project not specifically authorized by this permit.
- 3. Stormwater retention and detention storage must be excavated to rough grade prior to building construction or placement of impervious surface within the area served by those systems. Adequate measures must be taken to prevent siltation of these treatment systems and control structures during construction or siltation must be removed prior to final grading and stabilization.
- 4. The permittee must maintain a copy of this permit complete with all conditions, attachments, exhibits, and permit modifications in good condition at the construction site. The complete permit must be available for review upon request by District representatives. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.
- 5. All activities shall be implemented as set forth in the plans, specifications, and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall be considered a violation of this permit.
- 6. District authorized staff, upon proper identification, must be granted permission to enter, inspect, and observe the system to insure conformity with the plans and specifications approved by the permit.
- 7. Prior to and during construction, the permittee shall implement and maintain all erosion and sediment control measures (best management practices) required to retain sediment on-site and to prevent violations of state water quality standards. All practices must be in accordance with the guidelines and specifications in Chapter 6 of the Florida Land Development Manual: A Guide to Sound Land and Water Management (Florida Department of Environmental Regulation 1988), which are hereby incorporated by reference, unless a project specific erosion and sediment control plan is approved as part of the permit, in which case the practices must be in accordance with the plan. If site specific conditions require additional measures during any phases of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion and sediment control plan, the permittee shall implement additional best management practices as necessary, in accordance with the specifications in Chapter 6 of the Florida Lane Development Manual: A Guide to Sound Land and Water Management (Florida Department of Environmental Regulation 1988). The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.
- 8. If the permitted system was designed by a registered professional, within 30 days after completion of the stormwater system, the permittee must submit to the District the following: District Form EN-45 (As Built Certification By a Registered Professional), signed and sealed by an appropriate professional registered in the State of Florida, and two sets of "As Built" drawings when a) required by a special condition of this permit, b) the professional uses "As Built" drawings to support the As Built Certification, or c) when the completed system substantially differs from permitted plans. This submittal will serve to notify the District staff that the system is ready for inspection and approval.

- 9. If the permitted system was not designed by a registered professional within 30 days after completion of the stormwater system, the permittee must submit to the District the following: District Form EN-44 (As Built Certification), signed by the permittee and two sets of "As Built" drawings when required by a special condition of this permit, or when the completed system substantially differs from permitted plans. This submittal will serve to notify the District staff that the system is ready for inspection and approval.
- 10. Stabilization measures shall be initiated for erosion and sediment control on disturbed areas as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than seven (7) days after the construction activity in that part of the site has temporarily or permanently ceased.
- 11. Should any other regulatory agency require changes to the permitted system, the permittee shall provide written notification to the District of the changes prior to implementation so that a determination can be made whether a permit modification is required.
- 12. Within thirty days after sale or conveyance of the permitted stormwater management system or the real property on which the system is located, the owner in whose name the permit was granted shall notify the District of such change of ownership. Transfer of this permit shall be in accordance with the provisions of Section 40C-1.612, Florida Administrative Code. All terms and conditions of this permit shall be binding upon the transferee. The permittee transferring the permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to such sale, conveyance of other transfer.
- 13. The stormwater management system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure. The system must be complete in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of the stormwater management system to a local government or other responsible entity.
- 14. The operation phases of the permit shall not become effective until the requirements of Conditions No. 8 or 9 have been met, the District determines that the system complies with the permitted plans, and the entity approved by the District in accordance with Section 40C-42.027, F.A.C., accepts responsibility for operation and maintenance of the system. The permit cannot be transferred to such an approved responsible operation and maintenance entity until the requirements of Section 40C-42.028, F.A.C., are met and the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District in accordance with Section 40C-42.0-28, F.A.C., the permittee shall request transfer of the permit to the responsible approved operation and maintenance entity, if different from the permittee. Until the permit is transferred pursuant to Subsection 40C-42.028(4), F.A.C., the permittee shall be liable for compliance with the terms of the permit.
- 15. Prior to lot or unit sales, or upon completion of construction of the system, whichever occurs first, the District must receive a final operation and maintenance document(s) approved by the District and recorded, if the latter is appropriate. For those systems which are proposed to be maintained by county or municipal entities, final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local government entity. Failure to submit the appropriate final document will result in the permittee remaining personally liable for carrying out maintenance and operation of the permitted system.

- 16. This permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and Chapter 40C-42, F.A.C.
- 17. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the activities, authorized by the permit or any use of the permitted system.
- 18. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.
- 19. Activities approved by this permit shall be conducted in a manner which do not cause violations of state water quality standards.
- 20. The operation and maintenance entity shall submit inspection reports to the District two years after the operation phase permit becomes effective and every two years thereafter on District form EN-46. The inspection form must be signed and sealed by an appropriate registered professional.

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NOTICE OF RIGHTS



- 2. If the Governing Board takes action which substantially differs from the notice of District decision, a person whose substantial interests are or may be determined has the right to request an administrative hearing or may choose to pursue mediation as an alternative remedy as described above. Pursuant to District Rule 40C-1.1007, Florida Administrative Code, the petition must be filed at the office of the District Clerk at the address described above, within twenty-six (26) days of the District depositing notice of final District decision in the mail (for those persons to whom the District mails actual notice) or within twenty-one (21) days of newspaper publication of the notice of its final agency action (for those persons to whom the District does not mail actual notice). Such a petition must comply with Rule Chapter 28-106, Florida Administrative Code.
- 3. A substantially interested person has the right to a formal administrative hearing pursuant to Sections 120.569 and 120.57(1), Florida Statutes, where there is a dispute between the District and the party regarding an issue of material fact. A petition for formal hearing must comply with the requirements set forth in Rule 28-106.201, Florida Administrative Code.
- 4. A substantially interested person has the right to an informal hearing pursuant to Sections 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.
- 5. A petition for an administrative hearing is deemed filed upon delivery of the petition to the District Clerk at the District Headquarters in Palatka, Florida.
- 6. Failure to file a petition for an administrative hearing, within the requisite time frame shall constitute a waiver of the right to an administrative hearing (Section 28-106.111, Florida Administrative Code).
- 7. The right to an administrative hearing and the relevant procedures to be followed are governed by Chapter 120, Florida Statutes, and Chapter 28-106, Florida Administrative Code, and Section 40C-1.1007, Florida Administrative Code.
- 8. An applicant with a legal or equitable interest in real property who believes that a District permitting action is unreasonable or will unfairly burden the use of his property, has the right to, within 30 days of receipt of notice of the District's written decision regarding a permit application, apply for a special master proceeding under Section 70.51, Florida Statutes, by filling a written request for relief at the office of the District Clerk located at District headquarters, P. O. Box 1429, Palatka, FL 32178-1429 (4049 Reid St., Palatka, FL 32177). A request for relief must contain the information listed in Subsection 70.51(6), Florida Statutes.
- 9. A timely filed request for relief under Section 70.51, Florida Statutes, tolls the time to request an administrative hearing under paragraph no. 1 or 2 above (Paragraph 70.51(10)(b), Florida Statutes).

- However, the filing of a reques an administrative hearing under part uph no. 1 or 2 above waives the right to a special master proceeding (Subsection 70.51(10)(b), Florida Statutes).
- 10. Failure to file a request for relief within the requisite time frame shall constitute a waiver of the right to a special master proceeding (Subsection 70.51(3), Florida Statutes).
- 11. Any substantially affected person who claims that final action of the District constitutes an unconstitutional taking of property without just compensation may seek review of the action in circuit court pursuant to Section 373.617, Florida Statutes, and the Florida Rules of Civil Procedures, by filing an action in circuit court within 90 days of rendering of the final District action, (Section 373.617, Florida Statutes).
- 12. Pursuant to Section 120.68, Florida Statutes, a person who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to the Florida Rules of Appellate Procedure within 30 days of the rendering of the final District action.
- 13. A party to the proceeding before the District who claims that a District order is inconsistent with the provisions and purposes of Chapter 373, Florida Statutes, may seek review of the order pursuant to Section 373.114, Florida Statutes, by the Florida Land and Water Adjudicatory Commission, by filing a request for review with the Commission and serving a copy on the Department of Environmental Protection and any person named in the order within 20 days of adoption of a rule or the rendering of the District order.
- 14. For appeals to the District Courts of Appeal, a District action is considered rendered after it is signed on behalf of the District, and is filed by the District Clerk.
- 15. Failure to observe the relevant time frames for filing a petition for judicial review described in paragraphs #11 and #12, or for Commission review as described in paragraph #13, will result in waiver of that right to review.

CERTIFICATE OF SERVICE

I hereby certify that copy of the foregoing notice of rights has been sent by U.S. Mail to:

Bill Bryan Chrysler, Plymouth, Dodge Attn: Mr. Bill Bryan 903 N. Boulevard West/ US Hwy 27 Leesburg, Fl 34748

At 4:00 p.m. this 27th day of October, 1999

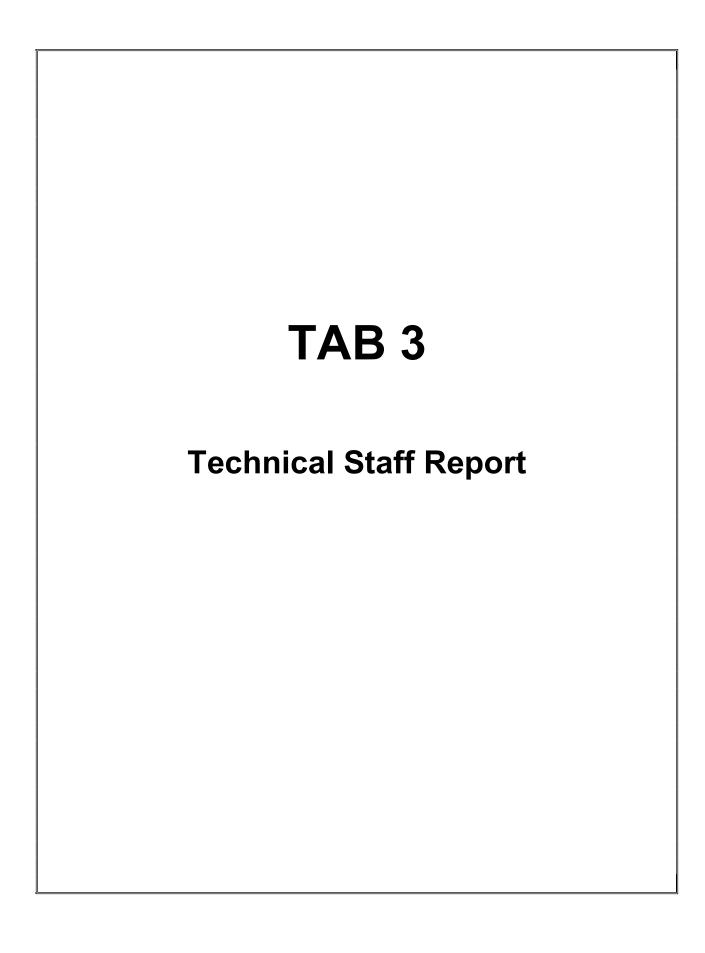
Permit Data Services

HO Director, Gloria Jean Lewis

St. Johns River Water Management District Post Office Box 1429 Palatka, FL 32178-1429 (904) 329-4500

Permit Number: 42-069-56519-1

NOR.DOC.001 Revised 7/17/98



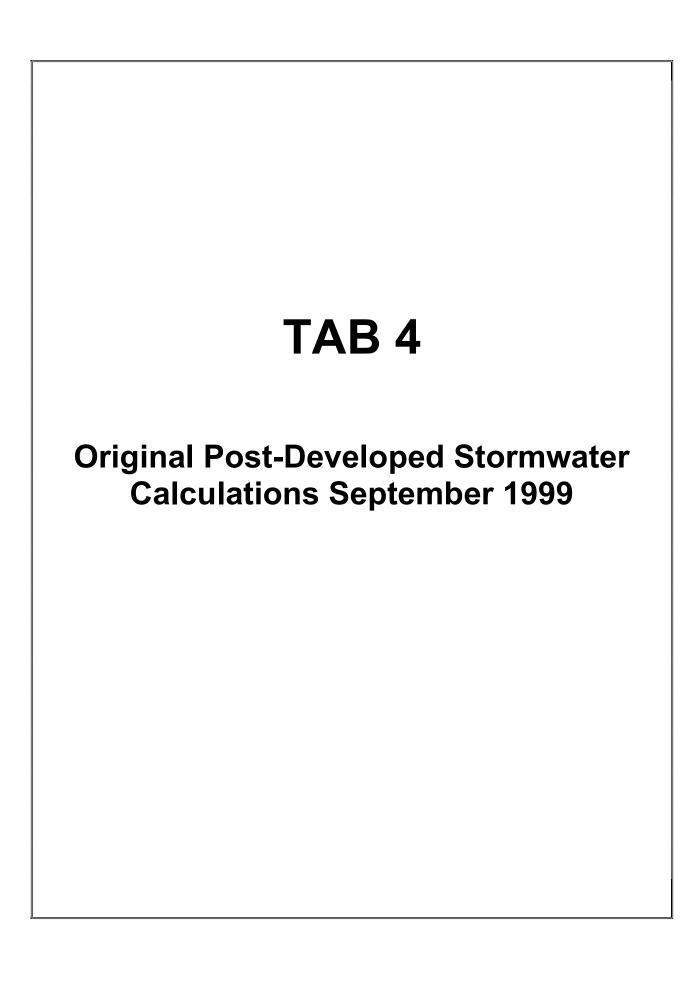


Technical Staff Report 1729

DRAFT - 10 October 1995

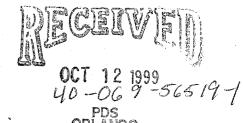
Standard General Environmental Resource Stormwater Permit Technical Staff Report

Date Received: 7/30/99	21st Day: <u>11/11/99</u>	28th Day: 11/18/9	<u>9</u>
Project Name: Bill Bryan Chrysler.	, Plymouth Dodge		
Application Number: 42-069-56519	<u>P-1</u> Project	et Area: <u>8.47</u> (acres)	
Receiving Water Body: Lake Griff	<u>in</u> Class: III		
Hydrologic Basin(s): Ocklawaha R	<mark>River Hydrologic Basi</mark>	<u>n</u>	
O&M Documents Submitted to Ger	neral Counsel N/A	Easements/Deed I	Restrictions <u>N/A</u>
Correct Fee Submitted Yes			
General Permit Category: (Check only 40C-42.024(2)(a) Connection int system 40C-42.024(2)(b) Retention, Undoposition, Swales, or Dry Detent 40C-42.024(2)(c) Governmental 40C-42.024(2)(d) Paving of Publish	o a prior approved derdrain, Exfiltration, Vion Modification	Type of Development Residential Single (1) Multifa Wet Recreational (3) Commercial (4) Industrial (5)	Agricultural (6)
Type of Treatment: (Check all applicable Retention (1) Dry Detention w/Underdrain (2) Exfiltration Trench (5) Wet Detention (6) Swales (7) Swales w/ditch blocks (8)	Pervious Concrete	New Discharge P New Regional Sy Modification to E	System (1) Point (2) Postem (3) Existing System (4)
Comments: ERP Stormwater General Condition September 25, 1991 Special Condit Number of Other Conditions	ions: 14,28		
Authorizing Statement: A stormwa pond to serve Bill Bryan Chrysler, by the District on 10/12/99.			
This project as proposed in submitt 40C-42, F.A.C. implemented Octob	ed plans, is consistent per-3, 1995.	with the rules and regulatio	ns as set forth in Chapter
Reviewer: MOW	fally	Date: (0/15/99
Supervising Professional Engineer:	Joan & Buo	Date: De	Tober 23, 1999
Forms to be included with permit	•	_	
Completion Forms:	· · · · · · · · · · · · · · · · · · ·	Inspection Forms:	□ EN 21 (T''' 157 \
☑ EN-44 (Non-registered)☑ EN-45 (Registered Professiona	1)	 EN-47 (Non-reg.)∑ EN-46 (Reg. Prof.)	☐ EN-31 (Littoral Zone) Other:
		EN-33 (Karst)	





Bound Reports 1720



International Engineering Consultants, Inc.

STORMWATER CALCULATIONS (REVISED)

BILL BRYAN CHRYSLER, PLYMOUTH, DODGE, INC.

FRUITLAND PARK, FLORIDA

PREPARED FOR:

BILL BRYAN CHRYSLER, PLYMOUTH,

DODGE, INC.

903 NORTH BLVD. WEST

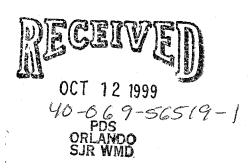
LEESBURG, FLORIDA 34748

PREPARED BY:

INTERNATIONAL ENGINEERING CONSULTANTS, INC. 5740 OLD CHENEY HIGHWAY ORLANDO, FLORIDA 32807 PHONE: 407.281.1775 FAX: 407.281.1790

SEPTEMBER 1999

10/199



STORMWATER CALCULATIONS (REVISED)

PROJECT INFORMATION

The **Bill Bryan Chrysler Project Site** is located a distance of approximately 1 mile south of the downtown area of the City of Fruitland Park, on the east side of US Highway 27/441, abutting Fruitland Park Plaza at the north property line. The Project is in Section 10, Township 19, Range 24 East, within the limits of the City of Fruitland Park in Lake County, Florida.

The existing site is a vacant parcel of land, which was mass graded as a part of a larger commercial subdivision. The Site drains to the west-northwest into an existing Florida Department of Transportation (FDOT) roadside drainage ditch located at the front of the property, with a final destination into Lake Griffin.

The proposed improvements consist of two office/showroom and vehicle maintenance facility buildings, with parking, a car display parking area, and a stormwater management system. Also, accounted for in the stormwater calculations, is an estimated 1.0 ac. of future impervious developable area.

A dry retention pond was designed to accommodate the runoff volume and provide water quality treatment for the project site as well as a 1.23 ac. Offsite contributing area from the Valencia Terrace Subdivision. The pond will discharge into the existing FDOT ditch via a control structure equipped with a skimming device to prevent floating oils and debris from leaving the site.

PRE-DEVELOPMENT CONDITIONS

BILL BRYAN CHRYSLER

STORMWATER CALCULATIONS

PRE - DEVELOPMENT CONDITIONS:

Project Acreage = 8.47 acres (onsite) + 1.23 acres (offsite) = 9.70 acres

SOIL INFORMATION: Obtained from the "Lake County Soil Survey"

Soil Symbol	Soil Name	Acreage	Soil %_	Hydrologic Group
Fm / 2	Arents	0.93 ac.	9.59 %	'A'
AtD / 15	Candler Sand (5 to 12%)	8.77 ac.	90.41 %	'A'
		9.70 ac.	100.00 %	

CURVE NUMBER (CN):

Soil Symbol	Cover Type	Hydrologic Group	Soil %	<u>CN</u>	<u>~CN</u>
Fm / 2	Grass/Wood	'A',	9.59 %	43	4.12
AtD / 15	Grass/Wood	'A'	90.41 %	43	<u>38.88</u>
			100.00 %		43.00

Therefore,

Use CN = 43.00 for Pre-development Condition.

TIME OF CONCENTRATION(TC):

- Use Kinematic Wave Formula (KWF) for overland runoff up to 300 ft. in distance.
- Use Shallow Concentrated Flow (SCF) for remainder runoff above the 300 ft. in distance.

$$Tc = \sum T_t = Tt_{1+} Tt_{2+} Tt_{3+...+} Tt_n$$

$\underline{\text{Tt}_1}$ (KWF₁)

Length (L) = 134 ft. (offsite) Slope (S) = 2.00 % or 0.020 ft./ft. n = 0.24 (short grass) i = 5.70 in./hr. Tt_1 (kwf₁) = 11.02 minutes

PRE- DEVELOPMENT CONDITIONS: (CONT'S.)

TIME OF CONCENTRATION(TC): (CONT'S.)

Tt_2 (KWF₂)

Length (L) = 166 ft.

Slope (S) = 100.0 ft. -75.0 ft. (100) / 975 ft. = 2.56%

or 0.0256 ft./ft.

n = 0.5 (grass)

i = 5.70 in./hr.

 Tt_2 (kwf₂)= 19.73 minutes

Tt₃ (SCF)

Length (L) = 753 ft.

Slope (S) = 2.56 % or 0.0256 ft./ft.

Velocity (V) = 2.53 ft./sec. (Figure 3.1 - 210-VI-TR-55, Second Ed., June 1986)

 Tt_3 (SCF) = (753 ft./2.53 ft./sec.) / 60 sec./min. = 4.96 minutes

Total TC = $T_{t1} + T_{t2} + T_{t3} = 11.02 + 19.73 + 4.96 = 35.71$ minutes or 0.60 hrs

Pre - Development Summary:

Project Acreage – 9.70 acres

Curve Number (CN) – 43.00

Time of Concentration (TC) – 35.71 minutes

POST-DEVELOPMENT CONDITIONS

BILL BRYAN CHRYSLER

STORMWATER CALCULATIONS

POST - DEVELOPMENT CONDITIONS:

Project Acreage = 8.47 acres (onsite) + 1.23 acres (offsite) = 9.70 acres

CURVE NUMBER (CN):

Conditions	Acreage	Acreage Percentage	CN	<u>~CN</u>
Prop. Buildings (27,750 sf.)	0.64 acres	6.60 %	98	6.47
Pavement / Walks	4.03 acres	41.55 %	98	40.72
Future Impervious Areas	1.00 acres	10.31 %	98	10.10
Retention Pond (Dry)	0.51 acres	5.26 %	43	2.26
Green Areas	2.29 acres	23.61 %	43	10.15
Offsite Area (Residential)	1.23 acres	12.68%	57	7.23_
	9.70 acres	100.00 %		76.93

Therefore,

CN = 76.93 for post-development

Impervious Area = 58.46 %Pervious Area = 41.54 %

TIME OF CONCENTRATION (TC):

- * Use Kinematic Wave Formula (KWF) for overland runoff up to 300ft. in distance.
- * Use Shallow Concentrated Flow (SCF) for remainder runoff above the 300ft. in distance.

$$Tc = \sum T_t = Tt_{1+} Tt_{2+} Tt_{3+....+} Tt_n$$

$\underline{Tt_1}(\underline{KWF_1})$

Length (L) = 134 ft. (offsite) n = 0.24 (short grass) Slope (S) = 2.00 % or 0.020 ft./ft.

 Tt_1 (kwf₁) = 11.02 minutes

i = 5.70 in./hr.

POST- DEVELOPMENT CONDITIONS: (CONT'S.)

TIME OF CONCENTRATION (TC): (CONT'S.)

Tt₂ (SCF)

Length (L) = 410 ft. Slope (S) = 2.00 % or 0.0200 ft./ft.Velocity (V) = 2.90 ft./sec. (Figure 3.1 - 210 -VI-TR-55, Second Ed., June 1986) Tt₂ (SCF) = (410 ft./ 2.90 ft./sec.) / 60 sec./min. = <math>2.36 minutes

<u>**Tt**</u>₃ (Pipe flow)

Length (L) = 515 ft. Velocity (V) = 3.00 ft./sec.

 Tt_3 (Pipe flow) = (515 ft./3.00 ft./sec.) / 60 sec./min. = 2.86 minutes

Total TC = $T_{t1} + T_{t2} + T_{t3} = 11.02 + 2.36 + 2.86 = 16.24$ minutes or 0.60 hrs

Therefore use,

16.24 minutes (minimum) or 0.27 hours

Post - Development Summary:

Project Acreage – 9.70 acres Curve Number (CN) – 76.93 Time of Concentration (TC) – 16.24 minutes

POST- DEVELOPMENT CONDITIONS: (CONT'S.)

STORMWATER TREATMENT CRITERIA: Dry Retention

I. Compute the half inch of Runoff plus half inch over developed project Vr = 0.5 in. (9.70 ac.) / 12 ins./ ft. = 0.808 ac. - ft.

or

II. Compute 1.25 inches times the percentage of imperviousness plus half inch: Vr = (1.25 in.(5.67 ac.) + 0.5 in. (8.47 ac.)) / 12 ins. / ft. = 0.995 ac. - ft.

therefore, use <u>0.995 ac.- ft.</u> as the required treatment volume.(as per SJRWMD)

STAGE \ STORAGE CALCULATIONS: NODE # POND

Stage (ftmsl.)	Area (acres)	Ave. Area (acres)	<u>H (ft.)</u>	Storage (acft.)	Accum. Storage	(acft.)
70.00	0.071				0.000	
71.00	0.115	0.093	1.0	0.093	0.093	
72.00	0.159	0.137	1.0	0.137	0.230	
73.00	0.203	0.181	1.0	0.181	0.411	•
		0.225	1.0	0.225		
74.00	0.247	0.270	1.0	0.270	0.636	
75.00	0.292	0.314	1.0	0.314	0.906	> 0.995
76.00	0.336				1.220	
77.00	0.380	0.358	1.0	0.358	1.578	$\Delta 1 \text{ ft} = 0.314$ $\Delta x \text{ ft} = 0.225$
78.00	0.424	0.402	1.0	0.402	1.980	x = 0.72 or $76 - 0.72 = 75.28$
79.00	0.468	0.446	1.0	0.446	2.426	
80.00		0.490	1.0	0.490		
80.00	0.512				2.916	

WEIR CONTROL ELEVATION:

Required Weir Elevation = 75.28 ft-msl.; in order to not exceed pre-development peak discharge for the 2.3yr 24hr mean annual storm (SJRWMD) the weir will be raised to elevation 77.35 ft-msl., providing water quality storage above and beyond the required by the Water Management District. Therefore, proposed Weir Elev. = 77.35 ft-msl. @ 1.719 ac-ft.





Oversized Drawings 1723

SITE CONSTRUCTION PLANS

FOR

BILL BRYAN CHRYSLER LAKE COUNTY, FLORIDA

PREPARED FOR:

BILL BRYAN CHRYSLER, PLYMOUTH, DODGE, INC.

903 NORTH BOULEVARD WEST

LEESBURG, FLORIDA 34748

SHEET INDEX

C-O COVER SHEET

C-1 GEOMETRY AND UTILITY PLAN

C-2 PAVING, GRADING & DRAINAGE PLAN

C-3 DETAILS

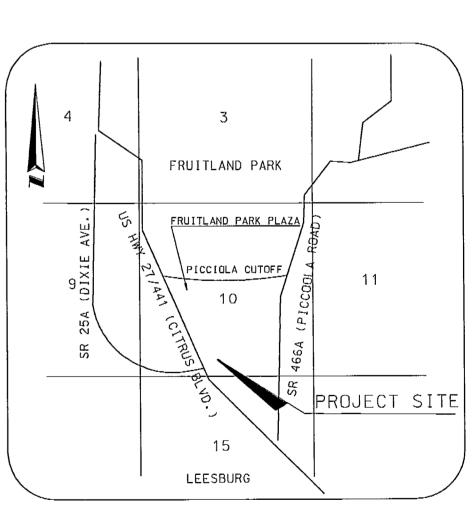
L-1 LANDSCAPE PLAN

PREPARED BY:



5740 OLD CHENEY HIGHWAY ORLANDO, FLORIDA 32807

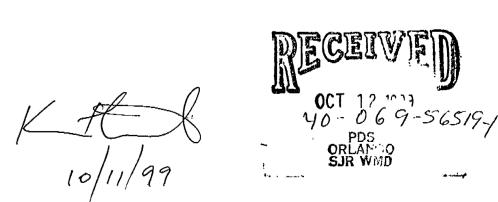
PHONE: (407) 281-1775 FAX: (407) 281-1790

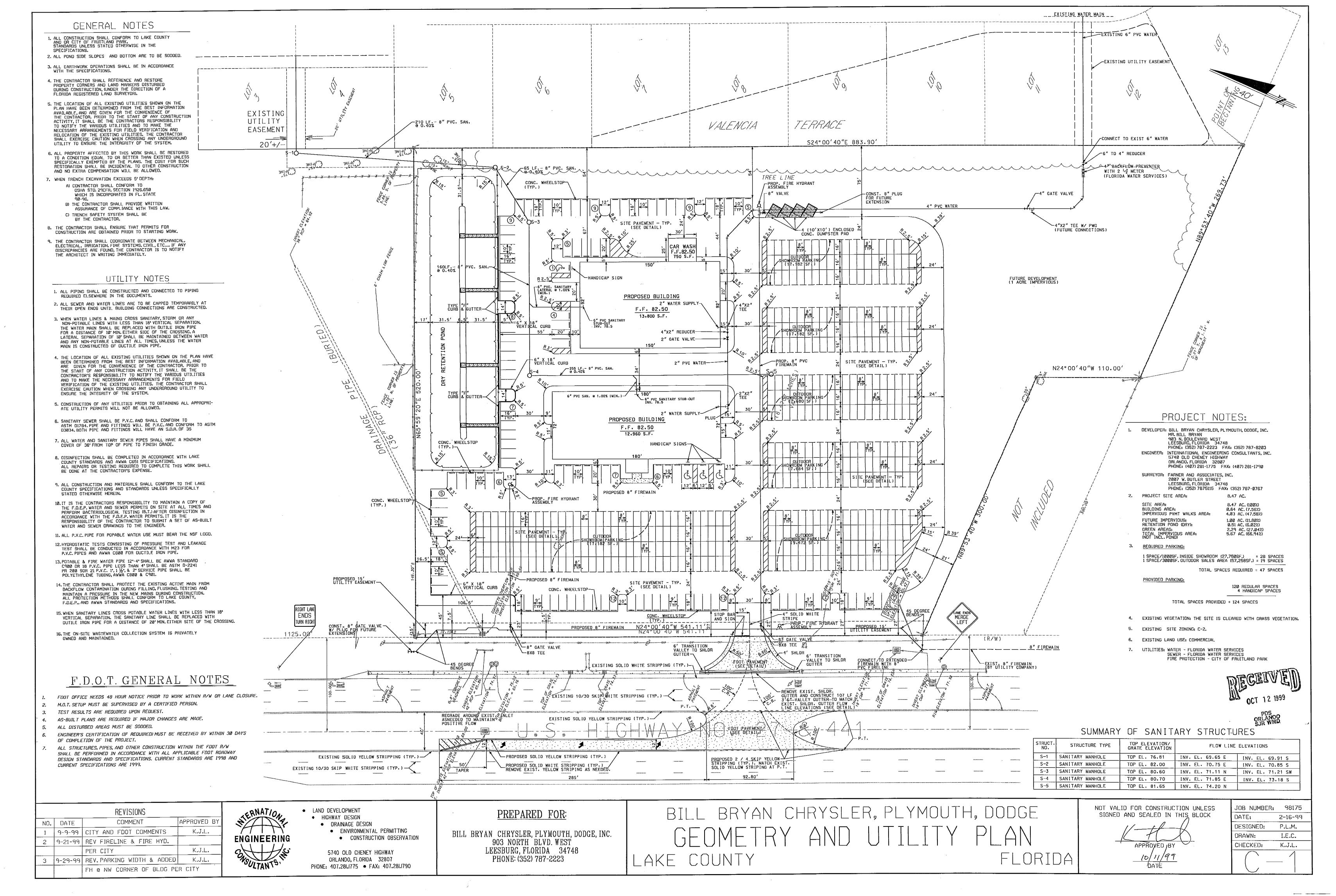


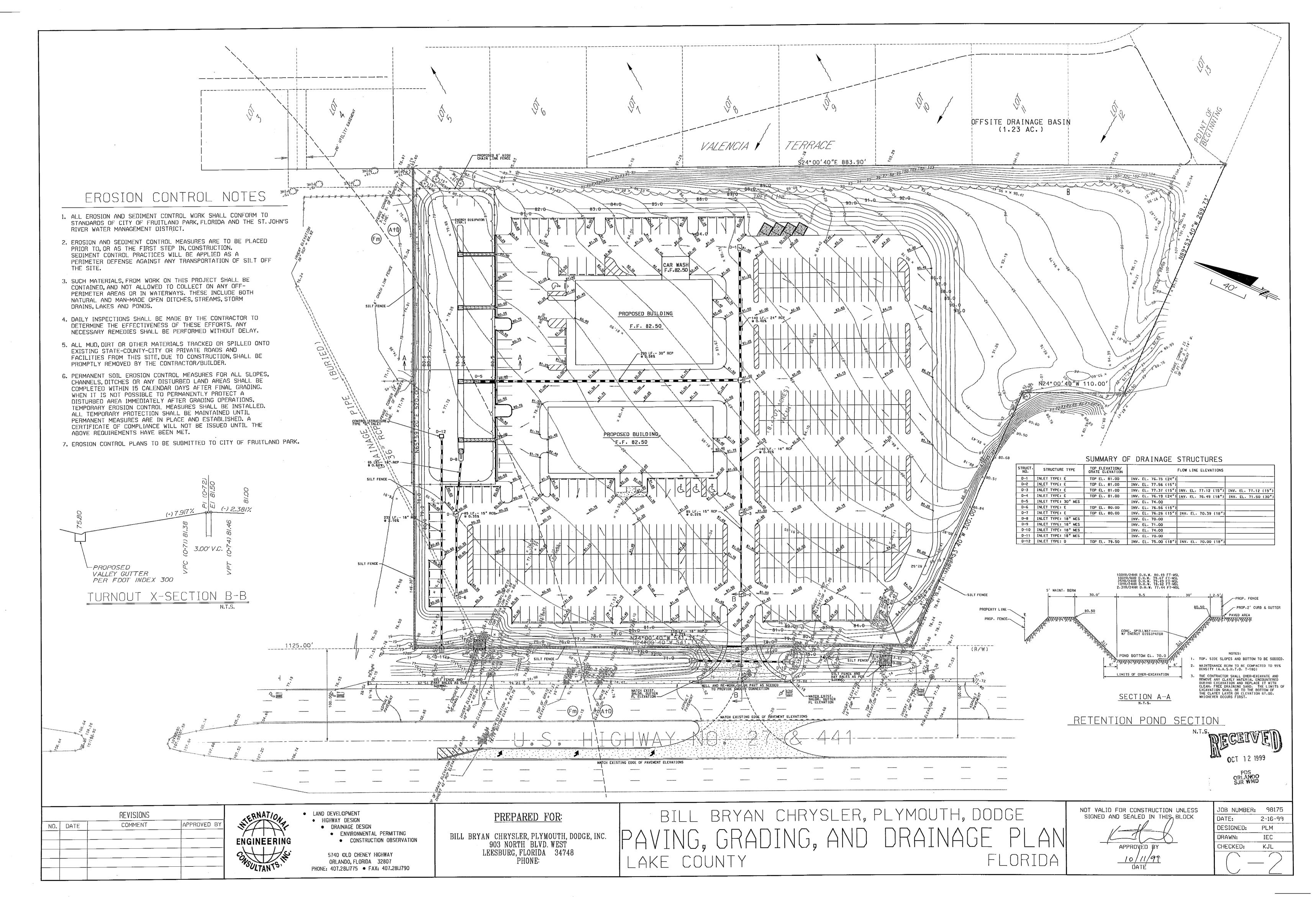
LOCATION MAP

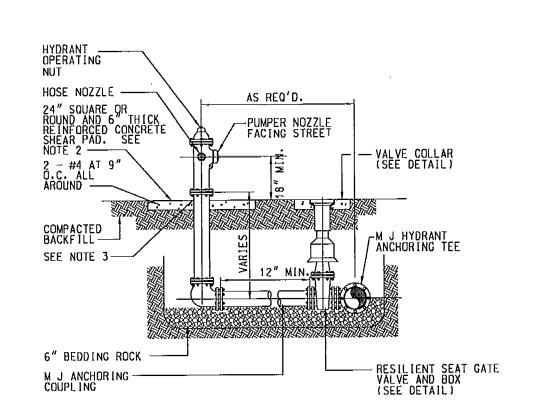
NOT TO SCALE

SECTION 10, T 19 S, R 24 E



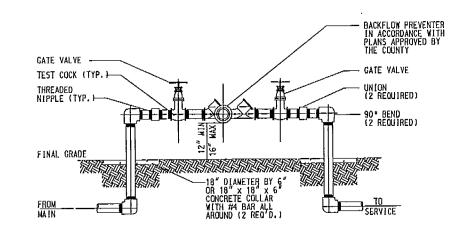






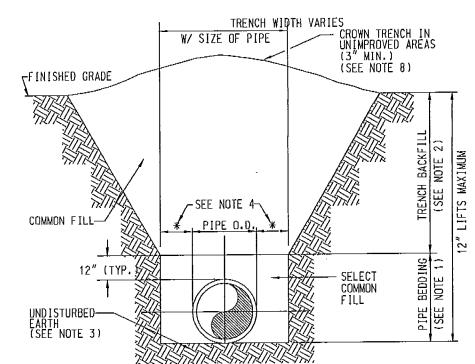
1. FIRE HYDRANT SHALL BE SUPPLIED WITHOUT A WEEP HOLE, OR WITH A PERMANENTLY PLUGGED WEEP HOLE. 2. THE DEVELOPER MAY INSTALL THE SHEAR PAD RECESSED UP TO 4 INCHES BELOW FINISHED GRADE AND SOD THE RECESSED SECTION. 3. CLEARANCE BETWEEN BOTTOM OF BOLTS AND TOP OF SHEAR PAD

SHALL BE A 6" MINIMUM.



1. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE THREADED SCHEDULE 40 GALVANIZED STEEL OR BRASS.

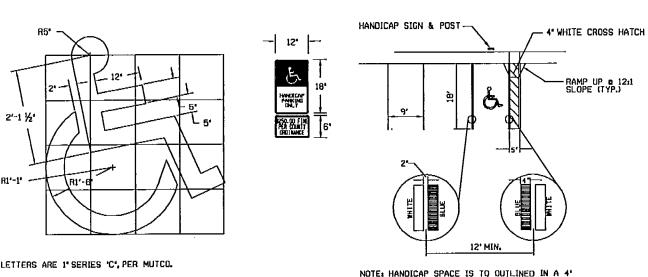
REDUCED PRESSURE BACKFLOW PREVENTER



- 1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180. 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- 3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE COUNTY.
- 4. (*): 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER. 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION. 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE
- DIRECTION OF THE FLOW. 7. REFER TO SECTION 32.5 OF THE MANUAL FOR SHEETING AND BRACING IN EXCAVATIONS. 8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH
- ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN ORANGE COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS AND ROAD CONSTRUCTION SPECIFICATIONS.

TYPE B BEDDING AND TRENCHING DETAIL

WHEN WATER LINES & MAINS CROSS SANITARY, STORM OR ANY NON-POTABLE LINES WITH LESS THAN 18" VERTICALLY SEPARATION. THE WATER MAIN SHALL BE REPLACED WITH DUTILE IRON PIPE FOR A DISTANCE OF 10' MIN. EITHER SIDE OF THE CROSSING, A LATERAL SEPARATION OF 10' SHALL BE MAINTAINED BETWEEN WATER AND ANY NON-POTABLE LINES AT ALL TIMES, UNLESS THE WATER MAIN IS CONSTRUCTED OF DUCTILE IRON PIPE.

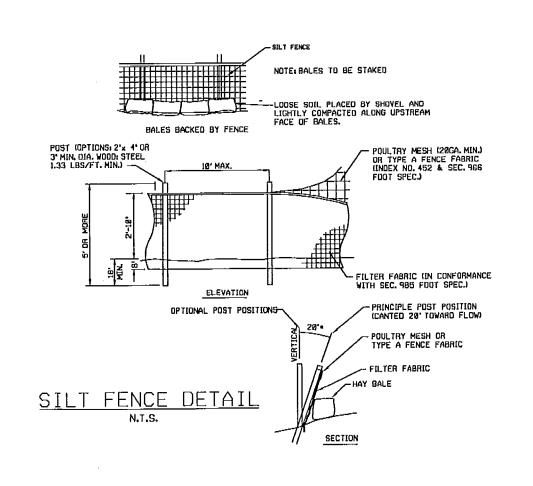


1. ALL LETTERS ARE 1' SERIES 'C', PER MUTCO. 2. TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.

4. ONE (1) SIGN IS REQUIRED FOR EACH PARKING SPACE. 5. HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 2A-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCO).

3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.

HANDICAP PARKING SYMBOL N.T.S.



STUCCO CAP

DUMPSTER GATE

~4" SQ. STEEL POST

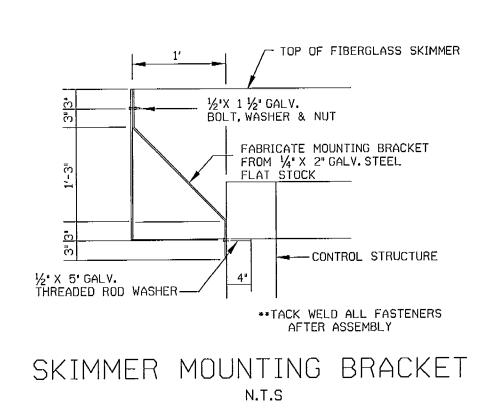
CHEAVY DUTY HINGE

USE DARK GREEN VINYL COATED CHAIN LINK FENCING

AND INTERWOVEN VINYL SLATS. CONTRACTOR SHALL SUBMIT

SHOP DRAWING TO ARCHITECT

NOTE: OR APPROVED EQUIVALENT.



1. TYPE "A-1" & "B-1" BOLIED WATERTIGHT RING AND COVER: US FOUNDRY NO. 227-AS-BYT ITYPE "A-1") & NO. 1295-AS-BYT (TYPE "B-1") OR APPROVED EQUAL. 2. TYPE "A" & "B" NON-BOLTED WATERTIGHT RING & COVER US FOUNDRY NO. 227-AS-ORS (TYPE "A") & NO. 1295-AS-ORS (TYPE "B") OR APPROVED EQUAL. MANHOLE COVERS ARE TO LABELED AS SHOWN ABOVE.

(WITHOUT SS BOLTS)

GROOVE & O-RING

32 1/2"

25 3/4"

FRAME & COVER

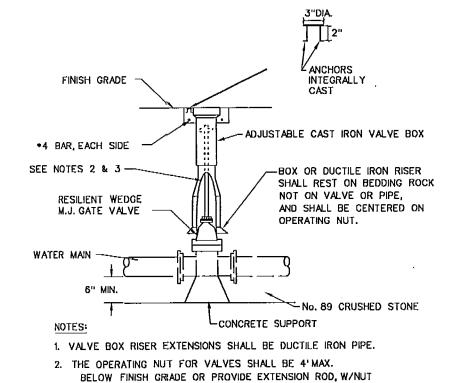
TYPE "A" MANHOLE FRAME

(WITHOUT SS BOLTS)

FLAT GASKEF

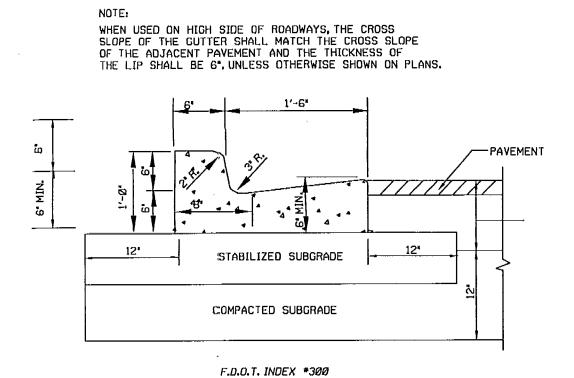
25 3/4"

MANHOLE FRAME & COVER Fig. 2-018

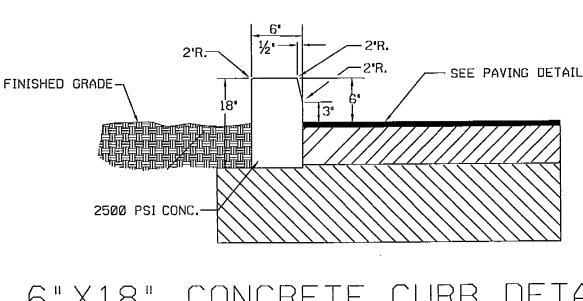


- 3. OPERATING NUT EXITENSION ROD SHALL BE FABRICATED FROM STEEL 1-1/2" SCHED. 40 PIPE, W/4" DIA. x 1/4" PLATE WELDED BENEATH TOP NUT. (OR APPROVED EQUAL)
- 4. IN PAVED AREAS BRONZE DISC SHALL BE EMBEDDED IN A 4"x 4"x18" CONCRETE POST INSTALLED ADJACENT TO, AND FLUSH WITH, VALVE BOX.

GATE VALVE AND BOX DETAIL



F.D.O.T. TYPE F CURB & GUTTER N.T.S.



CONCRETE CURB DETAIL N.T.S.

-ROUNDED STUCCO TOP

COMPACTED SUBGRADE

12" COMPACTED SUBGRADE

DUMPSTER SCREEN WALL & PAD

6" LIMEROCK BASE

(A.A.S.H.T.O.-T 180)

FDOT STD. SPEC. 160

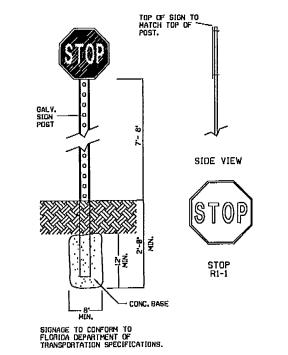
FOOT STD. SPEC. 200

95% MAX DENSITY ASTM D-1557

" MIN. COVERAGE

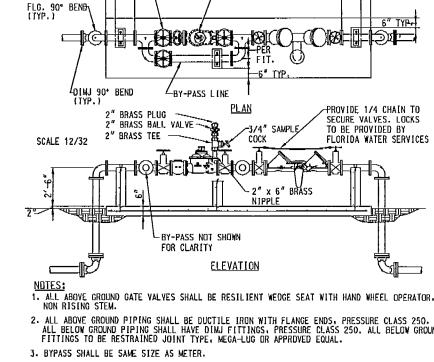
DUMPSTER ENCLOSURE DETAIL

N.T.S.



STOP SIGN DETAIL REMOVABLE PLUG CLEAN-OUT NEE NOTE 1 TATE O--ROTATE 30° (TYP.) --- SEWER MAIN **PROFILE** 1. CLEAN-OUT (SHOWN SHADED) SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH STANDARD PLUMBING CODE.
2. INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN

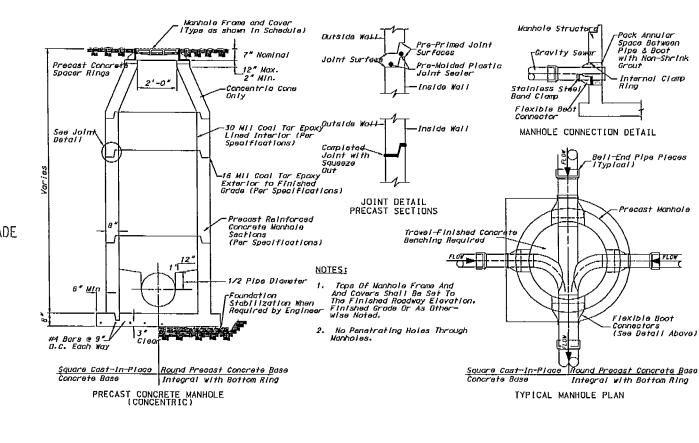
SERVICE LATERAL DETAIL



2. ALL ABOVE GROUND PIPING SHALL BE DUCTILE IRON WITH FLANGE ENDS, PRESSURE CLASS 250. ALL BELOW GROUND PIPING SHALL HAVE DIMJ FITTINGS, PRESSURE CLASS 250. ALL BELOW GROUND FITTINGS TO BE RESTRAINED JOINT TYPE, MEGA—LUG OR APPROVED EQUAL. 4. METER ASSEMBLIES MAY REQUIRE FENCE ENCLOSURE, SEE FIG. NO 2-001, 2-002 FOR DETAILS.

5. ALL METERS SHALL BE FIELD TESTED AFTER INSTALLATION. AND CERTIFIED BY A MANUFACTURERS REPRESENTATIVE INDICATING METER ACCURACY IS WITHIN MANUFACTURERS GUIDELINES. 6. ALL VALVES TO BE CHAINED. 7. METER TYPE TO BE DETERMINED BY FLORDA WATER SERVICES'.

METER ASSEMBLY, 3" & LARGER FIG. 15-019



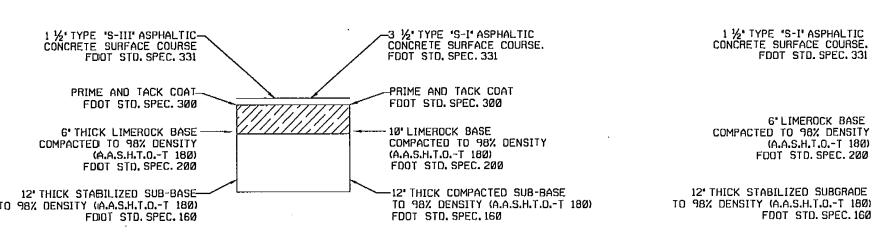
SITE PAVEMENT SECTION

FDOT PAVEMENT SPECIFICATIONS SHOULDER PAVEMENT DRIVEWAY SECTION

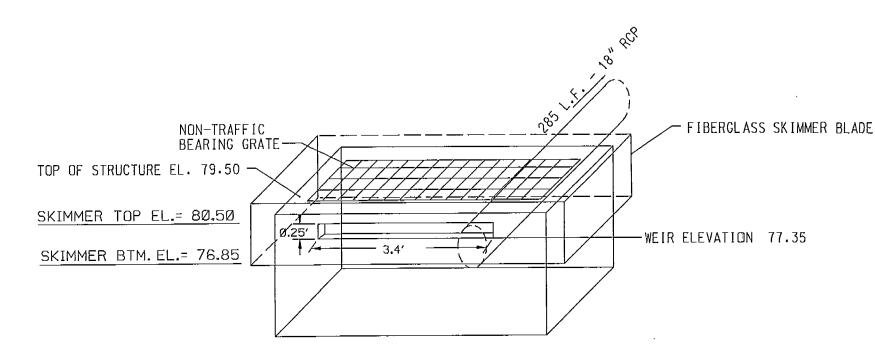
<u>MAINTAIN LEVEL</u>

EXPANSION JOINT -

DUMPSTER PAD-



TYPICAL PAVEMENT SECTION



STANDARD MANHOLE DETAIL (TYPE I)

CONTROL STRUCTURE - TYPE "D" MODIFIED INLET

FIG. 2-017

REVISIONS COMMENT APPROVED BY NO. DATE

ENGINEERING

 Land Development Highway Design • Drainage Design Hydrologic Modeling 5740 Old Cheney Highway

•Environmental Permitting

Orlando, Florida 32807

903 NORTH BLVD. WEST LEESBURG, FLORIDA 34748 PHONE: (352) 787-2223 Phone: 407.281.1775 • Fax: 407.281.1790

N.T.S.

PREPARED FOR:

BILL BRYAN CHRYSLER, PLYMOUTH, DODGE, INC.

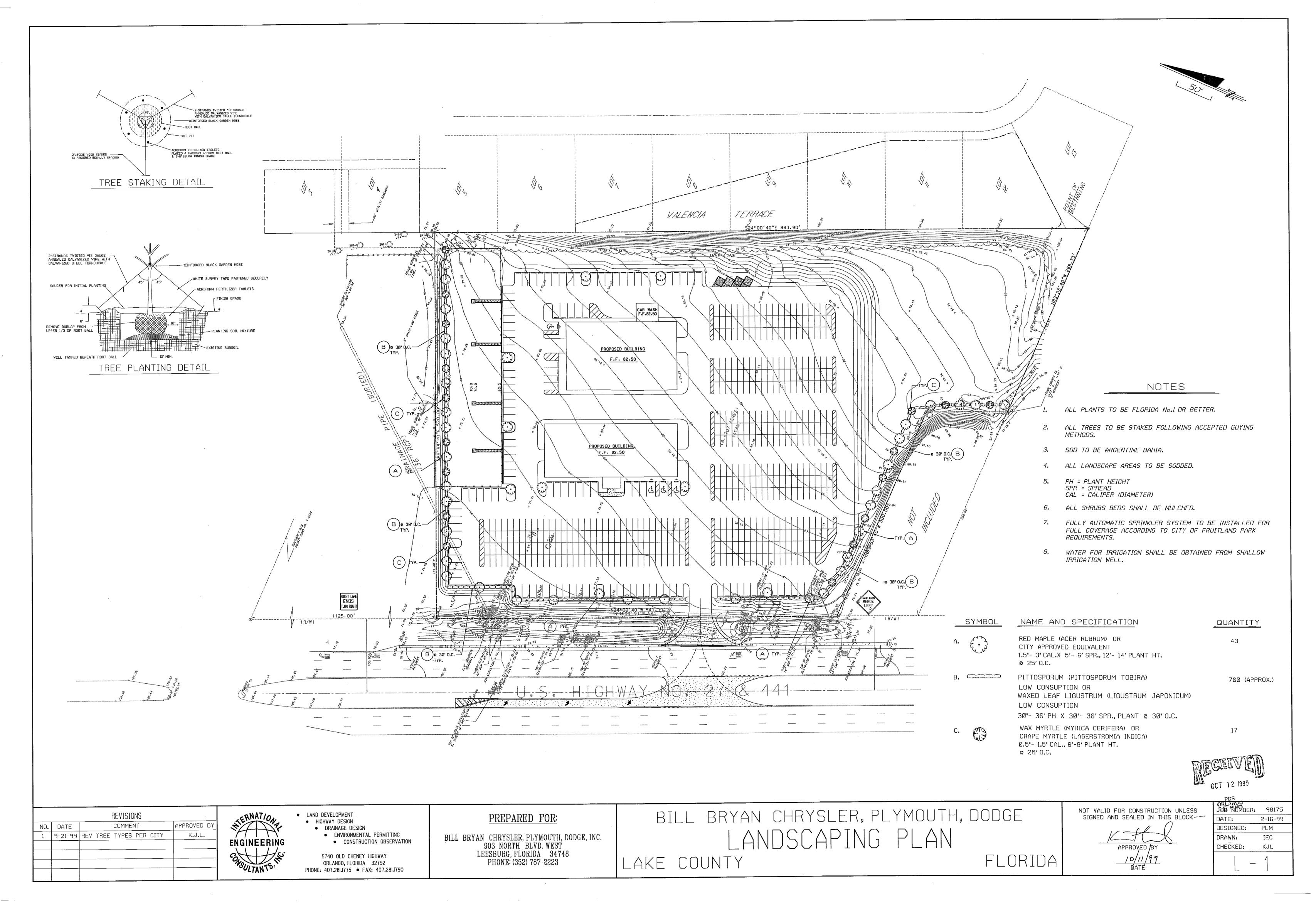
BILL BRYAN CHRYSLER, PLYMOUTH, DODGE DETAIL SHEET

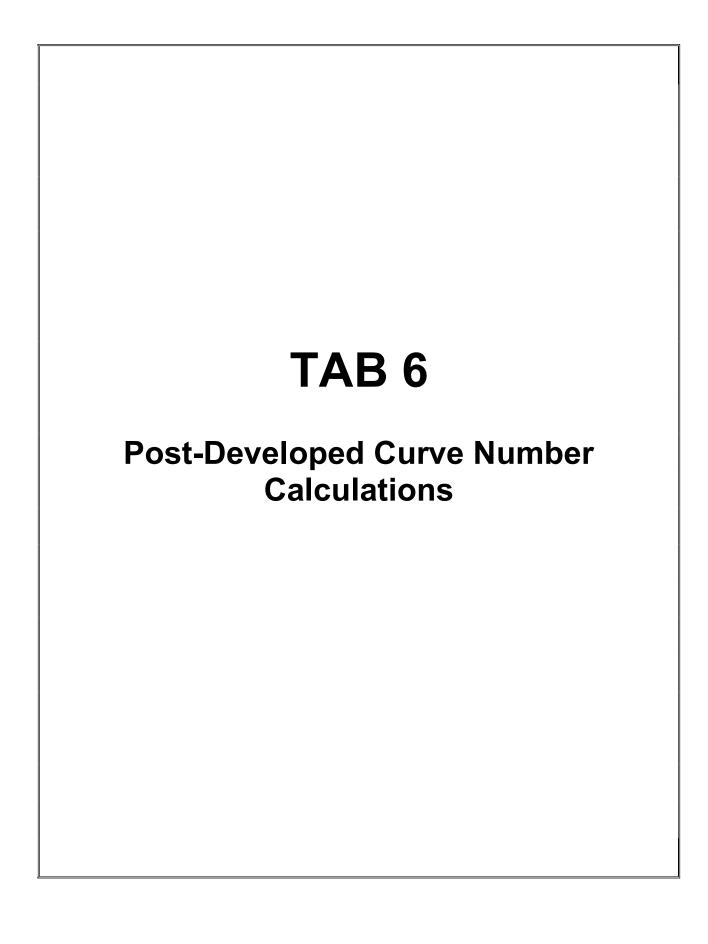
LAKE COUNTY

N.T.S.

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED IN THIS BLOCK

JOB NUMBER: DATE: 2-16-99 P.L.M. DESIGNED: DRAWN: I.E.C. CHECKED: K.J.L. _





DRAINAGE BASIN No. 1 PERMITTED POST DEVELOPED CURVE NUMBER CALCULATIONS

Total Area: 9.70 AC
Total DCIA Area: 5.67 AC
Percent (%) DCIA of Area: 58.45%
Total Weighted CN Area: 4.03 AC
Weighted Curve Number: 47.27

Land Use Description	Area		% DCIA	% Impervious	% Pervious
Proposed Buildings (27,750 SF)	0.64	AC	100%	0%	0%
Pavement / Walks	4.03	AC	100%	0%	0%
Future Impervious Areas	1.00	AC	100%	0%	0%
Proposed Impervious Areas	0.00	AC	100%	0%	0%
Retention Pond (Dry)	0.51	AC	0%	0%	100%
Green Area (Open Space)	2.29	AC	0%	0%	100%
Offsite (Residential)	1.23	AC	0%	0%	100%
TOTAL AREA>	9.70	AC		_	

	% LAND	DCIA AREA		
	USED	(AC)	C.N.	
Proposed Buildings (27,750 SF)	100%	0.64	98	
Pavement / Walks	100%	4.03	98	
Future Impervious Areas	100%	1.00	98	
Proposed Impervious Areas	100%	0.00	98	Percent (%) DCIA
TOTAL>		5.67		of Area = 58.45%

	WEIGHTED C.N.				
	% LAND	AREA	%		
	USED	(AC)	AREA	C.N.	%XC.N.
Retention Pond (Dry)	100%	0.51	12.7%	43	5.44
Green Area (Open Space)	100%	2.29	56.8%	43	24.43
Offsite (Residential)	100%	1.23	30.5%	57	17.40
TOTAL	·>	4.03	100%		47.27

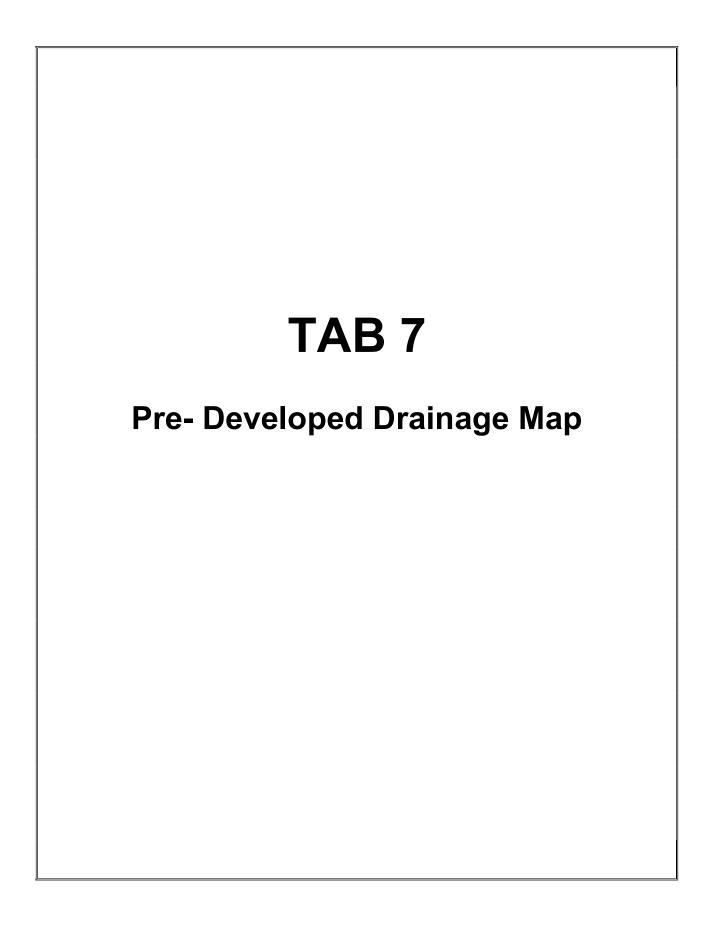
DRAINAGE BASIN No. 1 PROPOSED POST DEVELOPED CURVE NUMBER CALCULATIONS

Total Area: 9.70 AC
Total DCIA Area: 5.67 AC
Percent (%) DCIA of Area: 58.45%
Total Weighted CN Area: 4.03 AC
Weighted Curve Number: 47.27

Land Use Description	Area		% DCIA	% Impervious	% Pervious
Proposed Buildings (27,750 SF)	0.64	AC	100%	0%	0%
Pavement / Walks	4.03	AC	100%	0%	0%
Future Impervious Areas	0.93	AC	100%	0%	0%
Proposed Impervious Areas	0.07	AC	100%	0%	0%
Retention Pond (Dry)	0.51	AC	0%	0%	100%
Green Area (Open Space)	2.29	AC	0%	0%	100%
Offsite (Residential)	1.23	AC	0%	0%	100%
TOTAL AREA>	9.70	AC		_	

	% LAND	DCIA AREA		
	USED	(AC)	C.N.	
Proposed Buildings (27,750 SF)	100%	0.64	98]
Pavement / Walks	100%	4.03	98	
Future Impervious Areas	100%	0.93	98	
Proposed Impervious Areas	100%	0.07	98	Percent (%) DCIA
TOTAL>		5.67		of Area = 58.45%

	WEIGHTED C.N.				
	% LAND	AREA	%		
	USED	(AC)	AREA	C.N.	%XC.N.
Retention Pond (Dry)	100%	0.51	12.7%	43	5.44
Green Area (Open Space)	100%	2.29	56.8%	43	24.43
Offsite (Residential)	100%	1.23	30.5%	57	17.40
TOTAL	>	4.03	100%		47.27







RIDDLE - NEWMAN ENGINEERING, INC.

115 NORTH CANAL STREET
LEESBURG, FLORIDA 34748

ENGINEERING INC.

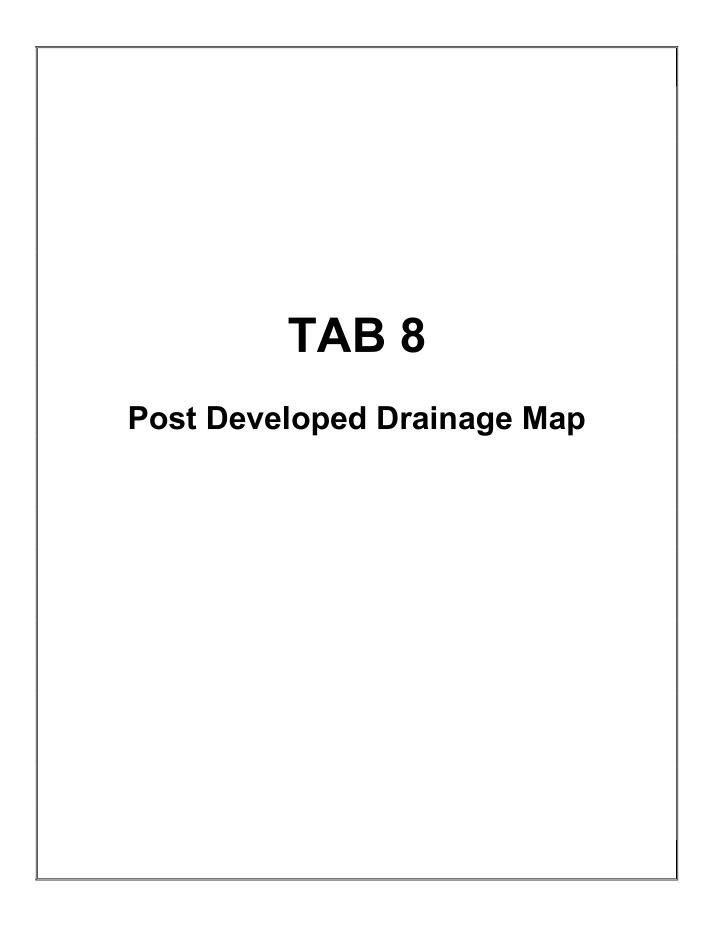
PHONE (352) 787-7482
FAX (352) 787-7412

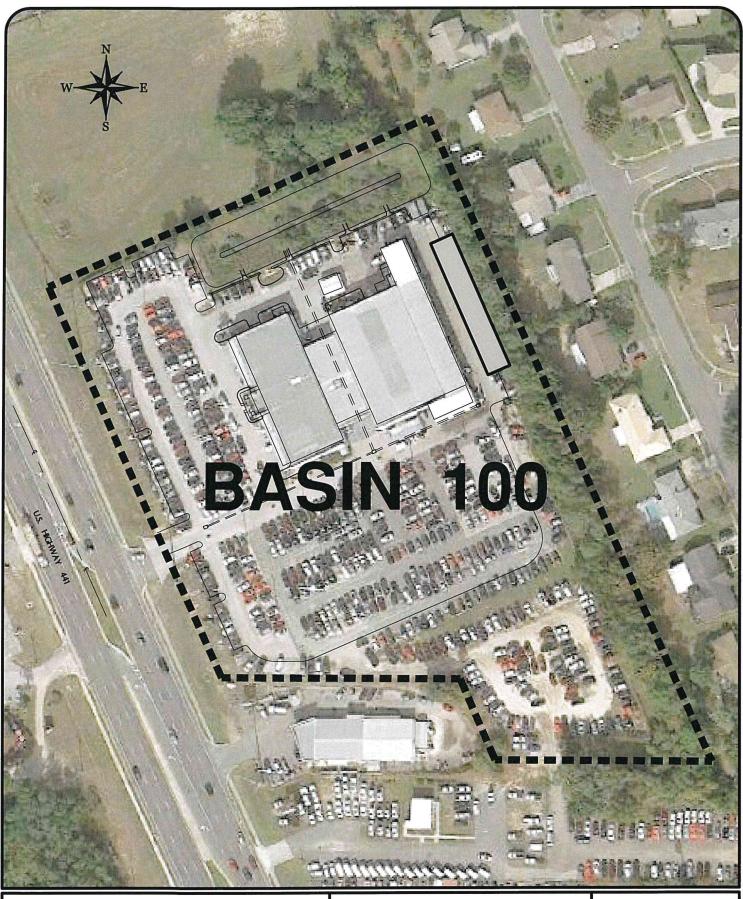
BILL BRYAN CHRYSLER

PRE - DEVELOPMENT DRAINAGE BASIN MAP

7/6/2021 DATE: SCALE: 1"=120' FILE: 21.20

SHEET: 1 of 1







RIDDLE - NEWMAN ENGINEERING, INC.

115 NORTH CANAL STREET
LEESBURG, FLORIDA 34748

ENGINEERING INC.

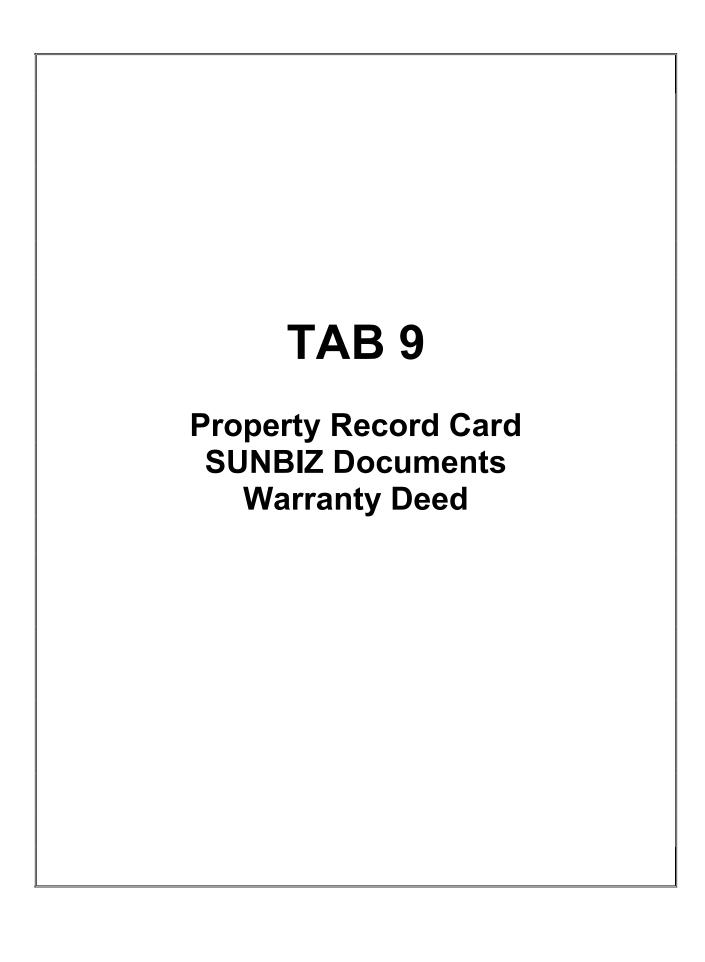
PHONE (352) 787-7482
FAX (352) 787-7412

BILL BRYAN CHRYSLER

POST - DEVELOPMENT DRAINAGE BASIN MAP

7/6/2021 DATE: SCALE: 1"=120' FILE: 21.20

SHEET: 1 of 1



PROPERTY RECORD CARD

General Information

Name:	FWB INVESTMENTS LTD	Alternate Key:	1740673		
Mailing Address:	8644 US HIGHWAY 441	Parcel Number: 0	10-19-24-0003- 000-03003		
	LEESBURG, FL 34788 <u>Update Mailing Address</u>	Millage Group and City:	00F2 (FRUITLAND PARK)		
		2020 Total Certified Millage Rate:	18.1489		
		Trash/Recycling/Water/Info:	My Public Services Map 1		
Property Location:	3401 US HIGHWAY 27/441 FRUITLAND PARK FL 34731	Property Name:	BILL BRYAN DODGE Submit Property Name (1)		
	Update Property Location	School Information:	School Locator & Bus Stop Map (1) School Boundary Maps (1)		
BEG AT MOST SW'LY COR OF LOT 13, VALENCIA TERRACE SUB, RUN W TO PT 300 FT E OF E'LY LINE OF HWY 27, NW'LY PARALLEL TO E'LY LINE OF HWY 27 110 FT, W 300 FT TO HWY, NW'LY ALONG HWY Property TO A POINT 1125 FT S OF INTERSECTION OF S'LY LINE OF COUNTY RD NO 105508 & NE'LY R/W LINE OF HWY 27/441, N 65DEG 59MIN 20SEC E 520 FT TO W'LY LINE OF VALENCIA TERRACE SUBSIVISION, SE'LY ALONG W'LY LINE OF SAID SUBSIVISION TO POB ORB 1700 PG 1298					

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Lin	e Land Use	Frontage	Depth Notes	No. Units	Туре	Class Value	Land Value
1	AUTO SALES/STORAGE (2700)	0	0	353832	SF	\$0.00	\$1,362,253.00
C	ick here for Zoning Info 0		E	EMA FI	ood N	<u>lap</u>	

Commercial Building(s)

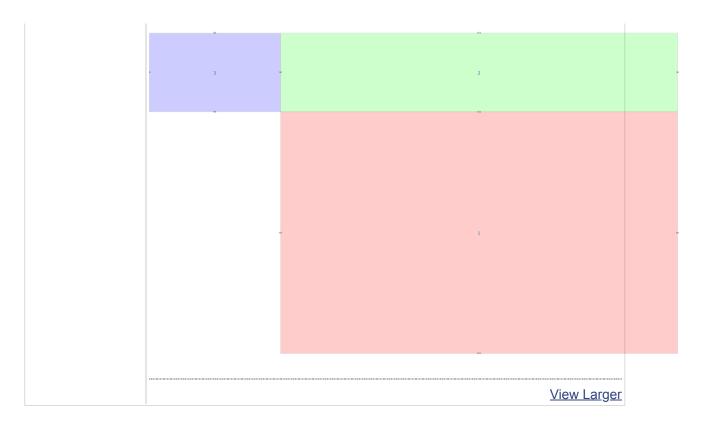
Building 1

Commercial Summary		Buildin	g Value: \$725,6	24.00					
		Section(s)							
Year Built: Total	e 12672	Section No.	Section Type	Wall Height	No. Stories	Ground Floor Area	Basement	Basement Finished	Map Color
Square Footage:		1	FINISHED LIVING AREA	20	1	12672	0%	0%	
Full	3		(FLA)						

Bathrooms:	Interior Finish	Percent	Sprinkler	A/C
Half Bathrooms: 0	(27C)	100.00 %	No	Yes
Elevators: 0		176		
Elevator 0 Landings:				
Escalators: 0				
Residential ₀ Units:				
Kitchens: 0	2	1		
Fireplaces: 0				
Structure Type: Concrete Block or Masonry Walls				
Exterior Walls:		325		
04 : 50.00 % 06 : 50.00 %				
			<u> </u>	√iew Larger

Building 2

Commercial Summary		Bu	ilding Value: \$601,9	12.00					
		Section(s)							
Year Built: Total	2000	Sec No.	ction Section Type	Wall Height	No. Stories	Ground Floor Area	Basement	Basement Finished	Map Color
Square Footage:	19922	1	FINISHED LIVING AREA (FLA)	20	1	13892	0%	0%	
Full	0		Interior Finish		Perc	ent	Sprinkle	r	A/C
Bathrooms:			(27B)		77.0	0 %	No		No
Half Bathrooms:	2		(11C) FINISHED		23.0	0 %	No		Yes
Elevators:	0	2	LIVING AREA	16	1	4530	0%	0%	
Elevator	0		(FLA)		D	4	0		A 10
_andings:	0		Interior Finish (49C)		100.0		Sprinkl No	er	A/C No
Escalators: Residential Units:		3	FINISHED LIVING AREA	16	1	1500	0%	0%	140
Kitchens:	0		(FLA)		_				
Fireplaces:	0		Interior Finish		Perce	-	Sprinkl	er	A/C
Structure Ty Concrete Bl Masonry Wa	/pe: ock or alls		(49C)		100.0	U %	No		No
Exterior Wa	lls:								
04 : 50.00 9 06 : 50.00 9									
	, •								



Miscellaneous Improvements

No.	Туре	No. Units	Unit Type	Year	Depreciated Value
0001	PAVING (PAV)	3220	SF	2001	\$4,508.00
0002	PAVING (PAV)	117500	SF	2001	\$95,175.00
0003	FENCING (FEN)	9104	SF	2001	\$5,244.00
	PARKING LOT LIGHT FIXTURE (PFL)	27	UT	2001	\$9,990.00
0005	CARPORT/POLE SHED - UNFINISHED (UCP)	520	SF	2020	\$2,675.00

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted Site Notice.

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Site Notice



Department of State / Division of Corporations / Search Records / Search by Entity Name /

Detail by Entity Name

Florida Limited Partnership FWB INVESTMENTS, LTD.

Filing Information

 Document Number
 A99000000352

 FEI/EIN Number
 59-3561441

 Date Filed
 03/05/1999

State FL

Status ACTIVE

Principal Address
1125 SOLANA AVE

WINTER PARK, FL 32789

Changed: 02/18/2010

Mailing Address

9039 US HWY 441 LEESBURG, FL 34788

Changed: 03/14/2011

Registered Agent Name & Address

BRYAN, II, F. WILLIAM 9039 US HIGHWAY 441 LEESBURG, FL 34788

Name Changed: 04/28/2004

Address Changed: 03/14/2011

General Partner Detail

Name & Address

Document Number H36465

F.W.B. LEASING, INC. 9039 US HIGHWAY 441 LEESBURG, FL 34788

Annual Reports

Report Year Filed Date

2019	03/26/2019
2020	02/19/2020
2021	02/04/2021

Document Images

02/04/2021 ANNUAL REPORT	View image in PDF format
02/19/2020 ANNUAL REPORT	View image in PDF format
03/26/2019 ANNUAL REPORT	View image in PDF format
02/19/2018 ANNUAL REPORT	View image in PDF format
02/24/2017 ANNUAL REPORT	View image in PDF format
02/02/2016 ANNUAL REPORT	View image in PDF format
02/26/2015 ANNUAL REPORT	View image in PDF format
03/13/2014 ANNUAL REPORT	View image in PDF format
02/20/2013 ANNUAL REPORT	View image in PDF format
03/21/2012 ANNUAL REPORT	View image in PDF format
03/14/2011 ANNUAL REPORT	View image in PDF format
02/18/2010 ANNUAL REPORT	View image in PDF format
03/16/2009 ANNUAL REPORT	View image in PDF format
03/20/2008 ANNUAL REPORT	View image in PDF format
02/22/2007 ANNUAL REPORT	View image in PDF format
03/29/2006 ANNUAL REPORT	View image in PDF format
04/25/2005 ANNUAL REPORT	View image in PDF format
04/28/2004 ANNUAL REPORT	View image in PDF format
03/20/2003 ANNUAL REPORT	View image in PDF format
04/22/2002 ANNUAL REPORT	View image in PDF format
06/04/2001 ANNUAL REPORT	View image in PDF format
04/13/2000 ANNUAL REPORT	View image in PDF format
03/05/1999 Domestic LP	View image in PDF format

THIS INSTRUMENT PREPARED BY AND IS TO BE RETURNED TO:

H. D. Robuck, Jr., Esquire 610 E. Main Street Leesburg, FL 34748

Warranty Deed

Book 1700 Page 1298

(Reserved for Recording)

THIS INDENTURE, made this 24th day of March, 1999, between Lake County Service Corporation, a Florida corporation, of P. O. Box 490420, Leesburg, FL 34749-0420, the "Grantor", and FWB Investments, Ltd., a Florida Limited Partnership, whose mailing address is 1001 North Orlando Avenue, Winter Park, FL 32789, the "Grantee";

WITNESSETH: That said Grantor, for and in consideration of the sum of \$10.00 and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in Lake County, Florida, to-wit:

Begin at the most Southwesterly corner of Lot 13 of Valencia Terrace Subdivision, according to the plat thereof as recorded in Plat Book 20, Pages 11 and 12 of the Public Records of Lake County, Florida; run thence N. 89°53'40" W. on an extension of the South line of said Valencia Terrace Subdivision, 269.73 feet, more or less, to a point that is S. 89°53'40" E., 300.00 feet from the Easterly right-of-way of Highway No. 441 and 27; thence N. 24°00'40" W., parallel with said Easterly right-of-way of Highway No. 441/27 a distance of 110.0 feet; thence N. 89°53'40" W. 300.00 feet to a point on said right-of-way of Highway No. 441/27; thence N. 24°00'40" W. along said Easterly right-of-way 541.11 feet to a point that is 1125.0 feet Southeasterly along said right-of-way from the intersection of the Southerly right-of-way line of County Road #1-5508 (Picciola Cutoff Rd.) and the Easterly right-of-way of Highway No. 441/27; thence leaving said right-of-way, run N. 65°59'20" E., 520 feet, more or less, to a point on the Westerly line of Valencia Terrace Subdivision; thence S. 24°00'40" E. along said Westerly line of Valencia Terrace Subdivision 883.90 feet, more or less, to the point of beginning.

and said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantor has hereunto set Grantor's hands and seals the day and year first above written.

Sign: Karen A. Davis

Print name of witness: Hugh A. Davis II

Lake County Service Corporation

By: Paul K. Mueller, Vice President



City of Fruitland Park, Florida Community Development Department

506 W. Berckman St., Fruitland Park, Florida 34731 Tel: (352) 360-6727 Fax: (352) 360-6652 www.fruitlandpark.org

	Sta	Use Only	
Case No.:			
Fee Paid: _			
Receipt No.: _			

Control laformation	Deve	lopment	Application			
Contact Information:						
Owner Name: School Boa	rd of Lake County Boulevard, Tavares, FL 32778					
Phone: 352-253-6698		nail:				
Applicant Name: School Bo						
	Boulevard, Tavares, FL 32778					
Phone: 352-253-6694		nail:				
Engineer Name: TBD						
Address:						
Phone:		nail:				
Property and Project Inforr	nation:					
PROJECT NAME*: Fruitland	l Park Elementary Replacemer	nt				
*A project name is required for all	submissions. Please choose a nam	e representative	of the project for ease of refe	erence.		
Property Address: TBD - va	cant property					
Parcel Number(s): 09-19-24	-0400-043-00102		Section: 09	Township	:19	Range 24
Area of Property: Approx. 19	9 acres	Nearest	Intersection: NEC Olive	e Avenue and	d Urick Street	
Existing Zoning: R1 - reside	ntial single family low	Existing	g Future Land Use Desig	nation: SFL	D-single famil	y low density
Proposed Zoning: Public Fa	cilities District (PFD)	Propos	ed Future Land Use Des	ignation: N	I/A	
The property is presently u	sed for: vacant					
The property is proposed to	o be used for: Educational Ins	titution use - F	Public Elementary School			
Do you currently have City	Utilities?no					
Application Type:						
Annexation	Comp Plan Amendmen	it	✓ Rezoning		Planned	Development
Variance	Special Exception Use		Conditional Use Pe	ermit	Final Pla	t
Minor Lot Split	Preliminary Plan		Construction Plan		ROW/Pla	at Vacate
Site Plan	Minor Site Plan		Replat of Subdivisi	ion		
Please describe your reque	st in detail: <u>rezone the prope</u>	erty from R1 to	Public Facilities District ((PFD) for the	purpose of co	nstructing a public
elementary school						
schedule. These items must	s, Forms & Fees n is a list of REQUIRED data, t be included when submitti NCOMPLETE and will not be	ng the applic	ation package. Failure t			
Printed Name: Kelly	C. Randall					
Signature: Killy	C. Randall C. Randall		Da	te:	31/21	
If application is being submitted owner to submit application.	ed by any person other than the	e legal owner(s)	of the property, the appl	licant must ha	ave written au	thorization from the

Development Application Checklist The Following are Required for ALL Development Applications: ✓ Current Deed ✓ Legal Description (Word file req'd) ✓ Aerial Photo ✓ Location Map **✓** Electronic Copy of Application **✓** Property Appraiser Information Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through www.lakecountyfl.gov/maps/. Note: All maps are required to depict adjacent properties at a minimum. Failure to provide adequate maps may delay the application process. Other Required Analyses and Maps: Small Scale Comprehensive Plan Amendment Applications: ☐ Justification for Amendment ☐ Environmental Constraints Map ☐ Requested FLU Map Large Scale Comprehensive Plan Amendment Applications: Environmental Constraints Soils Requested FLUM Designation Requested Zoning Map Designation Maps: ☐ Environmental Assessment ☐ Utility Availability Analysis ☐ Urban Sprawl Analysis ☐ School Impact Analysis Traffic Impact Analysis Consistency with the Comp Plan Florida Master Site File sign-off or Archaeological Survey **✓** Justification for Rezoning **Rezoning Applications:** ✓ Requested Zoning Map Planned Development Applications: ☐ Environmental Constraints Maps/Plans: Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G Preliminary Concurrency Analysis Traffic Impact Analysis Variance Applications: ☐ Justification for Variance **Special Exception Use Applications:** Justification for Special Exception Use List of Special Requirements as Described in LDRs, Chapter 155 Site Sketch **Conditional Use Permit Applications:** Proposed List of Conditions and Safeguards Written Statement as Described in LDRs, Chapter 155 Site Plan as Described in LDRs, Chapter 155 **Subdivision Applications:** As Described in LDRs, Chapter 157 (Preliminary Plan, Improvement Plan and Final Plat) Minor Subdivision Applications: As Described in LDRs, Chapter 157 Site Plan Applications: As Described in LDRs, Chapter 160

APPLICANT AFFIDAVIT

STATE OF FLORIDA COUNTY OF LAKE

	Before me the undersigned authority, personally appeared Kelly Randall, Lake County
	Supervisor of Growth
	Schools Superintendent Planning, who being by me first duly sworn on oath deposes and says:
1)	That he/she affirms and certifies that he/she understandings and will comply with all ordinances, regulations,
	and provisions of the City of Fruitland Park, Florida, and that all statements and diagrams submitted herewith
	are true and accurate to the best of his/her knowledge and belief, and further that this application and
	attachments shall become part of the Official Records of the City of Fruitland Park, Florida, and are not
	returnable.
2)	That the submittal requirements for the application have been completed and attached hereto as part of that
	application.
	a rezoning the construction of a
3)	That he/she desires a rezoning to allow the construction of a public elementary school (Fruitland Park Elementary)
	public elementary school (Fruitiand Fark Elementary)
	1/00 C Pa 2/200
	Kelly C. Karetal
	Affiant (Applicant's Signature)
	State of Florida
	County of Lake
	The Foregoing instrument was acknowledged before me this $3rd$ day of $4ugust$, 2021
	by Kelly Kandall who is personally known to me or has produced
	as identification and who did or did not take an oath
	(Notary Seal)
	Notary Public - State of Florida
	Commission No 66954883
	My Commission Expires 6/4/2024 Printed Name
	PATRICIA JO PAINTER MY COMMISSION # GG 954883
	EXPIRES: June 4, 2024
	Bonded Thru Notary Public Underwriters

OWNER'S AFFIDAVIT

STATE OF FLORIDA COUNTY OF LAKE

Before me the undersigned authority, pe	ersonally appeared Diane S. Kornegay, Lake County
Schools Superintendent	, who being by me first duly sworn on oath deposes and says:
That he/she is the fee-simple owner of the	he property legally described on attached page of this application.
That he/she desires a rezoning	to allow the construction of a
a public elementary school. (Fruitland Park E	Elementary)
That he/she has appointed Kelly Randall,	
-	owner is required to complete the Applicant's Affidavit of thi
application if no agent is appointed to ac	Affiant (Owner's Signature)
State of Florida	
County of Lake The Foregoing instrument was acknowled by Diane Kornegay	edged before me this 3rd day of August, 2021 who is personally known to me or has produced as identification and who did or did not take an oath (Notary Seal)
Notary Public - State of Florida Commission No 40 954883 My Commission Expires 6/4/2024	Printed Name

PATRICIA JO PAINTER
MY COMMISSION # GG 954883
EXPIRES: June 4, 2024
Bonded Thru Notary Public Underwriters

PROPERTY RECORD CARD

General Information

Name:	SCHOOL BOARD OF LAKE COUNTY	Alternate Key:	1639743
Mailing Address:	201 W BURLEIGH BLVD TAVARES, FL 32778	Parcel Number: 0	09-19-24-0400- 043-00102
	<u>Update Mailing Address</u>	Millage Group and City:	000F (FRUITLAND PARK)
		2020 Total Certified Millage Rate:	18.1489
		Trash/Recycling/Water/Info:	My Public Services Map 1
Property Location:	OLIVE AVE FRUITLAND PARK FL 34731	Property Name:	Submit Property Name
	Update Property Location	School Information:	School Locator & Bus Stop Map © School Boundary Maps ©
Property Description:	E 941.02 FT, S 30-16-0 E 2 W 965.1 FT TO POB, BEIN 6, 7LESS FROM SW COI FT FOR POB, CONT N 0-1	T SW COR LOT 5 BLK 43, RUI 298.55 FT, W 125.6 FT, S 634.4 IG PART OF LOTS 1 THRU 4 I R LOT 5 BLK 43 RUN N 0-18-2 8-20 E 125 FT, S 89-51-30 E 3 I-30 W 350 FT TO POBPB 3 I	1 FT, NCL, LOTS 5, 20 E 760.44 550 FT, S

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Line	e Land Use	Frontage	Depth Not	es No. Units	Туре	Class Value	Land Value
1	PUBLIC SCHOOL (8300)	0	0	18.99	AC	\$0.00	\$142,425.00
Cli	ck here for Zoning Info	0		FEMA F	lood	<u>Мар</u>	

Miscellaneous Improvements

There is no improvement information to display.	

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. Follow this link to search all documents by owner's name.

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<u>584 / 477</u>	1/1/1975	Misc Deed/Document	Qualified	Vacant	\$60,000.00
Click here to	search for n	nortgages, liens, and oth	er legal documents. 🕡		

Values and Estimated Ad Valorem Taxes o

Values shown below are 2021 CERTIFIED VALUES (July 1 Preliminary Tax Roll Certification).

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL	\$142,425	\$142,425	\$0	5.05290	\$0.00

				Total: 18.1784	Total: \$0.00
NORTH LAKE HOSPITAL DIST	\$142,425	\$142,425	\$0	1.00000	\$0.00
LAKE COUNTY WATER AUTHORITY	\$142,425	\$142,425	\$0	0.32290	\$0.00
LAKE COUNTY VOTED DEBT SERVICE	\$142,425	\$142,425	\$0	0.09180	\$0.00
ST JOHNS RIVER FL WATER MGMT DIST	\$142,425	\$142,425	\$0	0.22870	\$0.00
CITY OF FRUITLAND PARK	\$142,425	\$142,425	\$0	3.91340	\$0.00
SCHOOL BOARD LOCAL	\$142,425	\$142,425	\$0	2.99800	\$0.00
SCHOOL BOARD STATE	\$142,425	\$142,425	\$0	3.59400	\$0.00
LAKE COUNTY MSTU FIRE	\$142,425	\$142,425	\$0	0.51380	\$0.00
LAKE COUNTY MSTU AMBULANCE	\$142,425	\$142,425	\$0	0.46290	\$0.00
FUND					

Exemptions Information

This property is benefitting from the following exemptions with a checkmark $\sqrt{\ }$

Homestead Exemption (first exemption up to \$25,000)	Learn More	View the Law
Additional Homestead Exemption (up to an additional \$25,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	Learn More	View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More	View the Law
Widow / Widower Exemption (up to \$500)	<u>Learn More</u>	View the Law
Blind Exemption (up to \$500)	<u>Learn More</u>	View the Law
Disability Exemption (up to \$500)	<u>Learn More</u>	View the Law
Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Veteran's Disability Exemption (\$5000)	<u>Learn More</u>	View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Veteran's Combat Related Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Deployed Servicemember Exemption (amount varies)	<u>Learn More</u>	View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Surviving Spouse of First Responder Exemption (amount varies)	<u>Learn More</u>	View the Law
Conservation Exemption (amount varies)	<u>Learn More</u>	View the Law
Tangible Personal Property Exemption (up to \$25,000)	<u>Learn More</u>	View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)		View the Law
Economic Development Exemption	<u>Learn More</u>	View the Law
Government Exemption (amount varies)	<u>Learn More</u>	View the Law

Exemption Savings 0

The exemptions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$2,589.07

Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark \checkmark

Save Our Homes Assessment Limitation (3% assessed value cap)	<u>Learn More</u> <u>View the Law</u>
Save Our Homes Assessment Transfer (Portability)	Learn More View the Law
Non-Homestead Assessment Limitation (10% assessed value cap)	Learn More View the Law
Conservation Classification Assessment Limitation	<u>Learn More</u> <u>View the Law</u>
Agricultural Classification	<u>Learn More</u> <u>View the Law</u>

NOTE: Should a determination be made that a property no longer meets the criteria for a bona fide agricultural purpose, a formal denial will be mailed on or before July 1 of the applicable tax year.

Assessment Reduction Savings o

The assessment reductions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$0.00

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Site Notice

Legal Description:

From the SW corner of the SE 1/4 of Section 9, Township 19 South, Range 24 East, Lake County, Florida, run North 0°35′00″ East along the West line of the SE 1/4 a distance of 1029.53 feet, Thence South 89°28′30″ East 26.51 feet to the SW corner of Lot 5, Block 43, Town of Fruitland Park, Florida, and the Point of Beginning of this Description; Run Thence North 0°18′20″ East885.44 feet, Thence South 89°51′30″ East 941.02 feet, Thence South 30°16′00″ East 298.55 feet, Thence North 89°51′30″ West 125.60 feet, Thence South 0°30′10″ West 634.41 feet, Thence North 89°28′30″ West 965.10 feet to the POB, containing 20.00 acres. (ORB584, PG 477)

LESS

From the SW corner of the SE 1/4 of Section 9, Township 19 South, Range 24 East, Lake County, Florida, run North 0°35′00″ East along the West line of the SE 1/4 a distance of 1029.53 feet, Thence South 89°28′30″ East 26.51 feet to the SW corner of Lot 5, Block 43, Town of Fruitland Park, Florida, Thence North 0°18′20″ East 760.44 feet to the POB of this Description; Run Thence North 0°18′20″ East 125.00 feet, Thence South 89°51′30″ East 250 feet along the South line of Mirror Lake Manor as recorded PB 23, PG 51 of Public Records of Lake County, Florida; Then South 00°08′30″ West 125.00 feet, Thence North 89°51′30″ West 250 feet to the POB. (ORB 5139, PG 2470)

ALSO LESS

Fruitland Park from SW corner of Lot 5, Block 43 run North 885.44 feet, South 89°51'30" East 250 feet to POB, Continue on same line 100 feet, South 00°08'30" West 125 feet, North 89°51'30" West 100 feet, North 00°08'30" East 125 feet to POB PB 3 PGS 8-9. (Lake County Property Appraiser)

FRUITLAND PARK ELEMENTARY REPLACEMENT/MODERNIZATION JUSTIFICATION STATEMENT FOR REZONING



Background Information

The subject Property is located at the northeast corner of Olive Avenue and Urick Street and identified by alternate key 1639743. The Property is currently zoned Residential Low Density (R1) and the Future Land Use Designation is Single Family Low Density (SFLD). The Property is approximately 19 acres and currently undeveloped.

The School District is replacing the existing Fruitland Park Elementary school on this subject property. The existing elementary school is now over 50 years old, having opened in 1965, and has reached the end of its useful lifecycle. It has subsequently been scheduled for a modernized replacement. The replacement school is included in the District's Five Year Capital Plan and scheduled to open in 2024.

A replacement school is designed to address the school facility as an integrated system and considers issues such as instructional program delivery, student circulation, relationship of core facilities, security concerns, and site access. The new Fruitland Park Elementary replacement school will provide a safe, secure and updated modern school facility for the students.

II. Proposed Changes

The request is an official zoning map amendment from R-1 (Residential low density) to PFD (Public Facilities District). The current R-1 zoning does not permit educational institution uses. The rezoning to the PFD zoning district would permit educational institution uses. Therefore, the rezoning to PFD is required in order to allow for the construction of a public elementary school.

III. Consistency with surrounding land uses

The proposed changes are compatible with the adjacent land use. The property is surrounded by residential, institutional and agricultural zoned properties and land uses. See table below:

Adjacent Property	FLU Designation	Zoning District	Land Use
East	SFLD/SFMD	PUD	Residential Development (Mirror Lake Village Phs 1 & 2)
North	SFLD	PFD/R-1	City Parcels and Residential Development (Mirror Lake Manor)
West	SFLD/INST/AG	PFD/R-1	Vacant parcels, Church, Residential and Agricultural uses
South	MFHD	PUD/R-3	Residential Uses (Holloway PUD and Fruitland Acre Apartments

The proposed rezoning change is consistent with the Comprehensive Plan.

The requested rezoning and the proposed development of the property are consistent with the Goals, Policies, and Objectives of the Comprehensive Plan.

The existing future land use designation permits or supports public facilities pursuant to Policy 1-5.1, if criteria are met.

Policy 1-5.1: Public Facilities. Necessary Public Facilities shall be permitted as Institutional Land Uses within any Future Land Use Designation if such facility satisfies the following criteria:

- 1) Serves the majority of the population. The elementary school will serve the student population of Fruitland Park. The existing students are anticipated to attend the new replacement school. The proposed school will also serve the elementary students estimated to be generated by recently approved new development within the current attendance boundary.
- 2) Located in close proximity to the main user group. The main user group or student population is located within the City and in close proximity to the proposed public school site. The new school site is located approximately a mile from the existing school. The students currently attending the existing Fruitland Park Elementary are expected to attend the new school.

Additionally, the recently approved Holloway Planned Unit Development (PUD) is located directly south of the proposed school site, across Urick Street. The Holloway PUD is estimated to generate 110 elementary students. These students will be assigned to attend the new school in the future.

Also, the Tara Oaks residential development located further south is under construction. The Tara Oaks development was approved for 1,168 dwelling units. The estimated students to be generated by this residential development is 183.

Both of these residential developments are located in the Fruitland Park Elementary attendance boundary. The students generated by the new residential developments are assigned to Fruitland Park Elementary.

3) Buffers will be provided along the perimeter property boundary and the width of such buffers shall be determined by the adjacent land used and the proposed land use.

The school district intends to comply, to the extent possible, in providing the required perimeter buffers.

4) Landscaping will be provided based on the adjacent land use and the proposed land use.

The intent is to preserve existing trees and vegetation to the extent possible. The district will utilize design elements of CPTED for a secure site perimeter. These CPTED elements will include, but not be limited to, fencing, gates and landscaping.

The City's Land Development Code does provide a credit for utilizing existing vegetation/trees on site. Per Section 164, Landscape Requirements: The applicant is encouraged to utilize existing vegetation within the property for Buffer landscaping in lieu of planting materials. However, the existing vegetation on-site must be an upland community as defined in the Appendix to the City of Fruitland Park Code.

The approved public facility use will comply, to the extent possible, with the landscaping and buffering requirements and access management requirements. The District intends to provide the perimeter buffers and preserve the existing natural vegetation as much as possible.

IV. PFD Zoning Criteria

Pursuant to the City's Code, the purpose of the PFD district is to provide for the development of public facilities. *Public facilities/services shall include but not be limited to, public and private utilities, governmental, religious, and educational land uses.*

The proposed public school is a public facility use and is permitted in the PFD zoning district.

PFD zoning district locational criteria:

The approved use shall front on an arterial or collector roadway.

The subject property has frontage on Olive Avenue, which is a local road, and Urick Street, which is a County Road. The main access is proposed on Olive Avenue, in order to provide sufficient stacking on site. The bus loop is a separate access on Olive Avenue, north of the main access. The existing roadway infrastructure is in place to serve the proposed public school.

ii) Approved uses shall comply with appropriate landscaping and buffering requirements and access management requirements.

The school district intends to comply with the buffering and access management requirements. The district anticipates preserving, to the extent possible, existing vegetation/trees.

iii) The site must be located in proximity to the main user group.

The subject property that will support the new replacement school is located within approximately one mile of the existing Fruitland Park Elementary. The students that currently attend Fruitland Park are anticipated to also attend the new Fruitland Park Elementary.

Two recently approved (large) residential developments are located within close proximity to the new school location. Holloway PUD is located directly south across Urick Street. This PUD consists of 700 dwelling units and is estimated to generate 110 elementary students. The Tara Oaks residential development, located further south and approved for 1,168 dwelling units, is estimated to generate 183 elementary students. The Tara Oaks development has started site development. Both of these residential developments are located in the Fruitland Park Elementary attendance boundary.

iv) The approved use must serve the majority of the population.

The new school will serve the student population within the City of Fruitland Park and the surrounding area. As stated previously, the students currently attending the existing school are expected to attend the new school. Additionally, there is new residential development approved just south of the new school site. The combined estimated elementary students generated from these recently approved developments is 293. The new developments are located with the Fruitland Park Elementary attendance boundary. The school district does not plan to adjust this attendance boundary for the new school.

V. Conclusion

The rezoning and the proposed development of the property are consistent with the Goals, Policies, and Objectives of the Comprehensive Plan. Quality schools are key elements of neighborhoods and communities. This school will be a benefit to the Fruitland Park community for many years to come.

INSTRUMENT#: 2018082117 OR BK 5139 PG 2470 PAGES: 2 7/16/2018 3:50:13 PM GARY J. COONEY, CLERK OF THE CIRCUIT COURT & COMPTROLLER, LAKE COUNTY, FLORIDA REC FEES: \$18.50

THIS INSTRUMENT PREPARED BY:
Fred A. Morrison
P.O. Box 491357
Leesburg, Florida 34749 – 1357

Quitclaim Deed

RESERVED FOR RECORDING

THIS QUIT CLAIM DEED, executed this 23 day of Quid , 2018, by THE SCHOOL BOARD OF LAKE COUNTY, FLORIDA, whose address is 201 West Burleigh Boulevard, Tavares, Florida 32778, first party, to THE CITY OF FRUITLAND PARK, FLORIDA, whose address is 506 West Berckman Street, Fruitland Park, Florida 34731, second party:

(Wherever used herein, the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so requires.)

WITNESSETH, That the said first party, for and in consideration of the sum of TEN AND NO/100----(\$10.00)-----(\$10.00)-----Dollars, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Lake, State of Florida, to-wit:

From the SW corner of the SE ¼ of Section 9, Township 19 South, Range 24 East, Lake County, Florida, run North 0°35′00″ E. along the west line of the SE ¼ a distance of 1029.53 ft, thence South 89°28′30″ E. 26.51 ft. to the SW corner of Lot 5, Block 43, Town of Fruitland Park, Florida, thence North 0°18′20″ E. 760.44 ft. to the Point of Beginning of this description; run thence North 0°18′20″ E. 125.00 ft., thence S 89°51′30″ E. 250.00 ft. along the South Line of Mirror Lake Manor as recorded P.B. 23, Pg. 51 of the Public Records of Lake County, Florida; then S 00°08′30″ W. 125.00 ft., thence N. 89°51′30″ W. 250.00 ft. to the POB

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien equity and claim whatsoever of the said first party, either in law or in equity, to the only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first above written.

WITNESSES (two required):

GRANTOR: THE SCHOOL BOARD OF LAKE COUNTY, FLORIDA

STEPHANIE LUKE, Chair

(Type or print name of witness)

Type or print name of witness)

STATE OF FLORIDA COUNTY OF LAKE

BEFORE ME, the undersigned Notary Public, personally appeared Stephanie Luke, as Chair of the School Board of Lake County, Florida, who acknowledged before me on the 3 day of 4, 2018, that she executed the foregoing instrument, and who was either {CHECK ONE} personally known to me, or who produced as identification.

OTARY PUBLIC SIGNATURE

Type or print name of Notary

FF 957682

Commission Number

Commission Expiration Date

PATRICIA JO PAINTER
MY COMMISSION # FF 957682
EXPIRES: June 4, 2020
Bonded Thru Notary Public Underwriters

grantee,

WARRANTY DEED

This Indenture, Made this \mathcal{A}^{tt} day of February, 1975, $oldsymbol{^{2}B}$ etween CLYDE ROGERS, joined by his wife, ESTHER ROGERS, GLENN ROGERS, joined by his wife, LOIS J. ROGERS, and REGENT R. WEBER, a woman, of the county of Lake, State of Florida, grantors, and THE SCHOOL BOARD OF LAKE COUNTY, whose post office address is 201 West Burleigh Boulevard, Tavares, Florida,

WITNESSETH, That said grantors, for and in consideration of the sum of TEN AND NO/100 DOLLARS, and other good and valuable considerations to said grantors in hand paid by said grantee, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in the County of Lake, State of Florida, to-wit:

From the SW corner of the SE 1/4 of Section 9, Township 19 South, Range 24 East, Lake County, Florida, run North 0°35'00" E. along the West line of the SE 1/4 a distance of 1029.53 ft., thence South 89°28'30" E. 26.51 ft. to the SW corner of Lot 5, Block 43, Town of Fruitland Park, Florida, and the Point of Beginning of this description; run thence North 0°18'20" E. 885.44 ft., thence South 89°51'30" E. 941.02 ft., thence South 30°16'00" E. 298.55 ft., thence North 89°51'30" W. 125.60 ft., thence South 0°30'10" W. 634.41 ft., thence N. 89°28'30" West 965.10 ft., to the P.O.B., containing 20.00 acres.

and said grantors do hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, grantors have hereunto set grantors' hands and seals the day and year first above written.

Signed, sealed and deliwered in our presence:

As to Clyde Rogers and wife,

Esther Rogers

(SEAL)

ROGERS

CLYDE

This Instrument Was Prepared By ARTHUR E. ROBERTS, Attorney P. O. Box 57, Groveland, Florida

As to Glenn Rogers and wife,

Lois J. Rogers

As to Regent R. Weber

Jun Logers (SEAL)

LOIS J. ROGERS

Kint K. Wilserseal;

STATE OF FLORIDA COUNTY OF LAKE

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared CLYDE ROGERS and wife, ESTHER ROGERS; GLENN ROGERS and wife, LOIS J. ROGERS; and REGENT R. WEBER, to me known to be the persons described in and who executed the foregoing instrument and acknowledged before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 36th day of February, 1975.

Notary Public

My Commission Expires:

Notary Public, State of Florida at Large My Commission Expires March 26, 1976 Bonded By American Fire & Casualty Co.





City of Fruitland Park Aerial Map (Existing School/New Site) Fruitland Park Elementary



Conceptual Site Plan

Site Plan Information
Site Size: 18.96 Acres

Parking Spaces: 200

Car Stacking:

110 cars single stacked 205 cars double stacked

School Information
Two-Story Elementary

Administration

Media

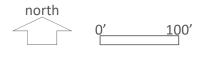
Multi-Purpose/Dining/Kitchen

Academics/Classrooms

ESE Programs

Art & Music Classrooms

Flex & Collaborative Learning Spaces





TRAFFIC IMPACT ANALYSIS

FRUITLAND PARK ELEMENTARY SCHOOL LAKE COUNTY, FLORIDA



Prepared for:

Klima Weeks Civil Engineering, Inc. 385 Douglas Avenue, Suite 2100 Altamonte Springs, Florida 32714

Prepared by:

Traffic Planning and Design, Inc. 535 Versailles Drive Maitland, Florida 32751 407-628-9955

June 2021

TPD № 5456

PROFESSIONAL ENGINEERING CERTIFICATION

I hereby certify that I am a Professional Engineer properly registered in the State of Florida practicing with Traffic Planning & Design, Inc., a corporation authorized to operate as an engineering business, EB-3702, by the State of Florida Department of Professional Regulation, Board of Professional Engineers, and that I have prepared or approved the evaluations, findings, opinions, conclusions, or technical advice attached hereto for:

PROJECT: Fruitland Park Elementary School

LOCATION: Fruitland Park, Lake County

CLIENT: Klima Weeks Civil Engineering, Inc.

I hereby acknowledge that the procedures and references used to develop the results contained in these computations are standard to the professional practice of Transportation Engineering as applied through professional judgment and experience.

NAME:

P.E. No.:

DATE:

SIGNATURE:

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INTRODUCTION

This traffic analysis was undertaken in order to assess the traffic impact of the proposed Fruitland

Park Elementary School in Fruitland Park, Lake County. The project site is located on the

northeast quadrant of the intersection of Olive Avenue and Urick Street and will consist of an

elementary school with a capacity of 1,000 students. The school is anticipated to be built by 2024.

Access to the site is proposed via full access driveways on Urick Street and on Olive Avenue.

Figure 1 depicts the location of the project site and the surrounding roadway network and the

preliminary site plan is provided in Figure 2.

<u>Methodology</u>

This analysis was conducted in accordance with the Lake-Sumter Metropolitan Planning

Organization (MPO) Traffic Impact Study (TIS) Guidelines. A traffic study methodology was

submitted to and approved by the County. The study methodology and correspondence are

included in **Appendix A**. Based on the trip generation of the proposed project, as discussed later

in this report, a Tier 2 traffic Impact Study (TIS) is required. Data utilized in the analysis consisted

of a preliminary site plan provided by Project Engineers, traffic volume data and Level of Service

standards obtained from the Lake County Transportation Management System (TMS)

Spreadsheets, and intersection turning movement counts obtained by TPD Inc.

Study Area

As per Lake-Sumter MPO's Traffic Impact Study Methodology and Guidelines, the study area for

a Tier 2 TIS includes roadway segments listed in the Lake County TMS. These guidelines require

an area within a minimum of one-mile radius from the main access point of the proposed project

plus all roadways where the project's peak hour trips consume 5% or more of a roadway's two-

way peak hour LOS, and one-half the total trip length associated with the land use of the proposed

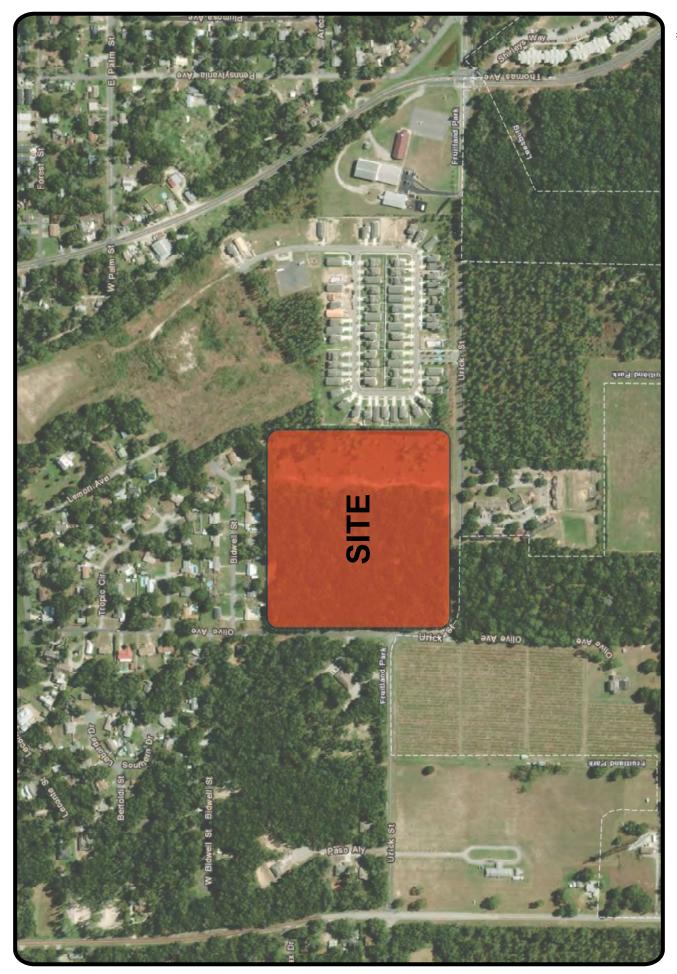
development.

Fruitland Park Elementary School Project № 5456 Page 1 The roadway segments included in the analysis are:

- CR 468, from CR 466A to Pine Ridge Dairy Road
- CR 468, from Pine Ridge Dairy Road to Griffin Road
- CR 468, from Griffin Road to SR 44
- CR 25A, from CR 466A To US 27/US 441

The intersections included in the analysis are:

- Urick Street & Olive Avenue
- CR 468 & Urick Street
- CR 25A (S. Dixie Avenue/Thomas Avenue) & Urick Street
- Site Access Driveways









Fruitland Park Elementary School Project № 5456 Figure 2

EXISTING CONDITIONS ANALYSIS

An existing conditions analysis was conducted for the study roadway segments and intersections utilizing existing traffic volumes and roadway geometry to establish their current operating conditions.

Roadway Segment Analysis

The study roadway roadways were analyzed by comparing the existing traffic volumes of each segment with the adopted LOS/capacity values for the P.M. peak hour. The existing traffic volumes and the adopted capacities for each segment were obtained from the County's Annual Traffic Counts database. The existing P.M. peak hour roadway capacity analysis is summarized in **Table 1**. Relevant information on existing traffic volumes and roadway capacities is included in the Lake County Annual Traffic Counts in **Appendix B**. As shown, the existing conditions analysis of P.M. peak hour traffic conditions indicated that all the study roadway segments currently operate within their adopted Level of Service capacities.

Table 1
Existing Roadway Capacity Analysis

Seg ID	Roadway	Segment	Lanes	LOS Std ⁽¹⁾	PH Dir Capacity ⁽²⁾	Dir	Existing Vol ⁽³⁾	Existing V/C	Existing LOS
490	CR 468	CR 466A to Pine Ridge	2LU	D	530	NB/EB	177	0.33	С
100	011100	Dairy Rd	220		000	SB/WB	178	0.34	С
480	CR 468	Pine Ridge Dairy Rd to	2LU	D	680	NB/EB	282	0.41	С
400	CIX 400	Griffin Rd	ZLO		000	SB/WB	297	0.44	C
436	CR 468	Griffin Rd to SR 44	2LU	D	620	NB/EB	406	0.65	С
430	CR 400	Gillili Ru to SR 44	ZLU		020	SB/WB	333	0.54	С
482	CR 25A	CR 466A to US 27/441	2LU	D	530	NB/EB	286	0.54	D
402	CR 25A	CR 400A (0 US 27/44)	ZLU	ט ן	530	SB/WB	250	0.47	С

⁽¹⁾ Based on Lake County's "Concurrency Management Data, Inventory and Analysis"

⁽²⁾ Based on FDOT's Generalized Service Volume Tables

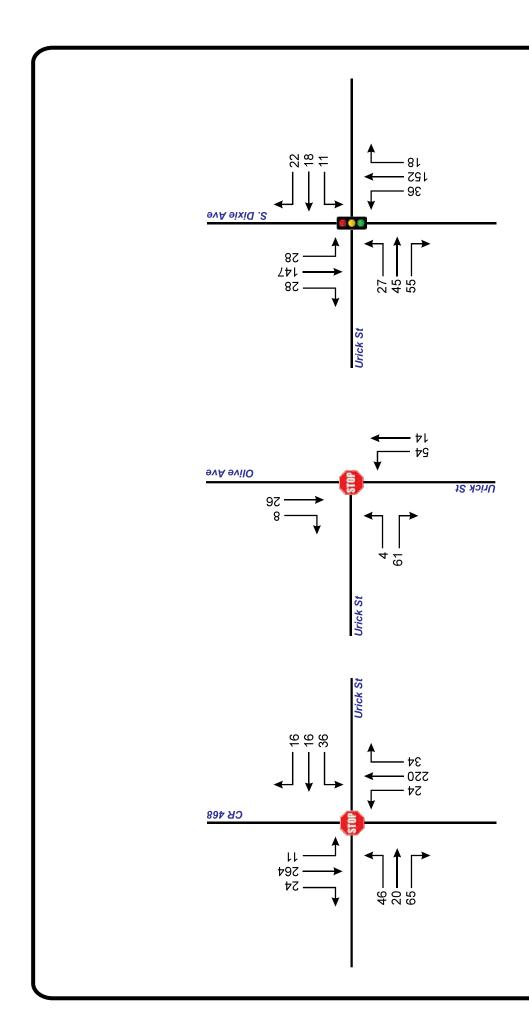
⁽³⁾ From 2020 Lake County Annual Traffic Counts

Intersection Analysis

The study intersections were analyzed in accordance with the procedures of the *Highway Capacity Manual (HCM)* using *Synchro* software. The capacity analysis at the intersections was performed using the existing intersection geometry and traffic volumes during the A.M. peak hours. **Figure 3** depicts the A.M. peak hour traffic volumes at the study intersections. The traffic counts were taken in May 2021 when the seasonal factor was 1.07 based on the FDOT seasonal factor report. Therefore, the counts were adjusted accordingly. The raw intersection counts are included in **Appendix C** along with FDOT's seasonal factor report and signal timings obtained from the County. The intersection capacity analysis results are summarized in **Table 2** which indicate that the study intersections currently operate within the adopted Levels of Service standards. Detailed intersection capacity worksheets are included in **Appendix D**.

Table 2
Existing Intersection Capacity Analysis

#	Intersection	Control	E	3	W	В	NI	В	SI	3	Ove	rall
#	Intersection	Control	Delay	LOS								
1	Urick St & Olive St	TWSC	0.5	Α		-	0.0	Α	9.3	Α	2.1	Α
2	Urick St & CR 468	TWSC	15.4	С	16.5	С	0.7	Α	0.3	Α	4.4	Α
3	Urick St & S Dixie Ave	Signal	19.3	В	19.1	В	13.4	В	14.0	В	15.4	В







PROPOSED DEVELOPMENT AND TRIP GENERATION

To determine the impact of the proposed development, an analysis of its trip generation characteristics was conducted. This included the determination of the trips to be generated as well as their distribution and assignment to the area roadways.

Trip Generation

Trip generation rates were obtained from the 10th Edition of the Institute of Transportation Engineers (ITE) *Trip Generation Manual*. **Table 3** provides a summary of the trip generation for the proposed school. As indicated, the project is expected to generate a total of 1,890 new daily trips of which 670 will occur during the A.M. peak hour and 340 will occur during P.M. peak hour. Copies of the ITE trip generation worksheets are included in the Study Methodology (Appendix A).

Table 3
Trip Generation Summary

ITE	Land Use	Size	Da	aily	,	A.M. Pea	ak Hou	r		P.M. Pea	ak Hou	r
Code	Land 000	Size	Rate	Trips	Rate	Enter	Exit	Total	Rate	Enter	Exit	Total
520	Elementary School	1,000 Students	1.89	1,890	0.67	362	308	670	0.34	153	187	340
		Tota	al Trips	1,890		362	308	670	-	153	187	340

<u>Trip Distribution / Trip Assignment</u>

The trip distribution pattern for the proposed project was estimated using the currently adopted Central Florida Regional Planning Model (CFRPM 6.4). A Select Zone Analysis (SZA) was conducted by modifying the 2030 interim year model network to include a Traffic Analysis Zone (TAZ) representing the proposed project and the model's socio-economic data updated to reflect the proposed project buildout. The trip distribution was manually adjusted in the project vicinity in consideration of the access configuration. The trip distribution model plot is included in the Study Methodology (Appendix A). The trip distribution in the impact area is illustrated in **Figure 4.** Utilizing this distribution, the development project trips were assigned to the area roadways.





PROJECTED TRAFFIC CONDITIONS

Projected traffic conditions were assessed in order to evaluate the impact of the proposed

development within its area of influence. The projected conditions were estimated by combining

the P.M. peak hour project trips with background traffic volumes.

Background Traffic Projections

Projected traffic volumes consist of background traffic combined with site generated traffic.

Typically, background traffic volumes are determined by expanding existing peak hour traffic

volumes to the buildout year using an annual growth rate. A historical trend analysis was

conducted based on the Annual Average Daily Traffic (AADT) data obtained from the Lake County

TMS Database for the surrounding roadway segments in the vicinity of the project (see Appendix

E). Based on this historical trend analysis, an average annual growth rate of 0.40% was

calculated. Therefore, a minimum of 2% annual growth rate was used in the analysis This growth

rate was applied to the existing traffic volumes as appropriate in order to determine the projected

background volumes in the project buildout year.

Roadway Segment Analysis

The projected roadway segment analysis was performed by comparing the total projected P.M.

peak hour traffic volume of each segment with the respective capacity at the adopted LOS

standard. The P.M. peak hour analysis, as summarized in **Table 4**, revealed that all the study

roadway segments will continue to operate within the adopted LOS standards upon the addition

of project trips.

Fruitland Park Elementary School Project № 5456 Page 10

Table 4
Projected Roadway Capacity Analysis

Seg	Roadway	Segment	Lns	LOS	PH Dir Capacity	Dir	Backg'd Vol	Backg'd V/C	Backd'd LOS	Trip Dist	Project Vol	Total	Projected V/C	Projected LOS
5	70 460	CR 466A to	-	٥	003	NB/EB	188	0.35	O	7 00/	13	201	0.38	O
9	7.7 60 60 7.0	Pille Riuge Dairy Rd	2F.0	ב	OSC C	SB/WB	189	0.36	Э	%0.7	11	200	0.38	ပ
001	70 460	Pine Ridge	- 10	٥	000	NB/EB	299	0.44	Э	/80/20	41	340	05.0	D
04	77 400 804 400	Dally Rd to Griffin Rd	7F0	۵	000	SB/WB	315	0.46	O	%0.72	50	365	0.54	O
90,4	700	Griffin Rd to	-	۵	OC 3	NB/EB	430	69'0	S	/80 80	37	467	0.75	O
024	77 400 400	SR 44	7F0	ב	020	SB/WB	353	0.57	O	24.0%	45	398	0.64	O
707		CR 466A to US	- 10	٥	003	NB/EB	303	0.57	D	/80/20	20	353	29.0	O
407	HC2 HO	27/441	7F0	ם	OSC.	SB/WB	265	0.50	O	%O'.72	41	306	0.58	٥



Intersection Analysis

To assess the projected operating conditions at the study intersections, intersection capacity analyses were conducted using *Synchro* software. The total A.M. peak hour traffic volumes were determined by combining background traffic and project trips as previously discussed. **Figure 5** shows the projected A.M. peak hour intersection turning movement volumes for the study intersections. The projected Levels of Service, with project trips included, are summarized in **Table 5**. The results indicate that the study intersections and site access driveways are projected to operate at satisfactory Levels of Service upon the addition of project trips, similar to existing conditions. It should be noted that the intersection of Urick Street/Olive Street which will serve the school's main entrance was analyzed as an All-Way Stop Control in place of the existing Two-Way Stop Control on the southbound approach on Olive Street. Detailed printouts of each intersection capacity analysis are included in **Appendix F**.

Table 5
Projected Intersection Capacity Analysis

#	Intersection	Control	E	3	W	В	NI	3	SE	3	Ove	rall
#	Intersection		Delay	LOS								
1	Urick St & Olive St / School Ent	AWSC	10.8	В	13.7	В	11.0	В	9.6	Α	11.9	В
2	Urick St & CR 468	TWSC	20.9	С	41.3	Е	0.5	Α	0.9	Α	10.5	В
3	Urick St & S Dixie Ave	Signal	20.8	С	23.8	С	15.1	В	18.8	В	19.3	В



Fruitland Park Elementary School Project № 5456 **Figure 5**



Turn Lane Analysis

As indicated earlier, the site is proposed to be served by a full access driveway on the east leg of the Olive Street/Urick Street intersection in addition to a bus entrance on Olive Street and a secondary entrance on Urick Street. The main entrance will be used as a parent access for drop-off/pick-up time periods.

An analysis was conducted to assess the need for a northbound right turn lane at the main entrance at the Urick Street/Olive Street intersection using information from the FDOT, *Driveway Information Guide* 2008. Excerpts from the guide are provided in **Appendix G**. The report recommends that an exclusive right turn lane is warranted when there are 80 or more right turning vehicles per hour for roadways with speed limit of 45 mph or less. The projected entering right turn volumes at this location (posted speed limit 30 mph) are more than 80 vehicles per hour. Therefore, an exclusive entering right turn lane is recommended. The length of this turn lane is recommended to be 185 feet based on FDOT's Index 301 deceleration distance.

STUDY CONCLUSIONS

This traffic analysis was undertaken in order to assess the traffic impact of the proposed Fruitland

Park Elementary School in Fruitland Park, Lake County. The project is located on the northeast

quadrant of the intersection of Olive Avenue and Urick Street and will consists of an elementary

school with a capacity of 1,000 students. The school is anticipated to be built by 2024. The results

of the study as documented herein are summarized below:

• The proposed development is projected to generate 1,890 new daily trips, of which 670

will occur in the A.M peak hour and 340 will occur in the P.M. peak hour.

The roadway segment analysis indicated that all the study roadway segments currently

operate at acceptable Levels of Service. The study roadway segments are projected to

operate at acceptable Levels of Service, similar to existing conditions, upon the addition

of project trips.

• The intersection analysis indicated that all the study intersections currently operate at

satisfactory Levels of Service and will continue to do so upon the addition of project trips.

Access to the site is proposed via a full access driveway on the east leg of the Urick

Street/Olive Street intersection. Additionally, the site will have a bus access on Olive Street

and a secondary access on Urick Street. The main entrance will be used as a parent

access for drop-off/pick-up time periods. A northbound right turn lane is recommended at

this intersection to adequately serve the project trips. Additionally, the site access is

recommended to have an All-Way Stop Control in place of the existing Two-Way Stop

Control on the southbound approach on Olive Street.



APPENDIX A

Study Methodology and Correspondence

Mina Atassi

From: Lewis, Sharon E <SELewis@lakecountyfl.gov>

Sent: Tuesday, May 11, 2021 12:53 PM

To: Mina Atassi

Cc: Earhart, Jeffrey; Gadiel, George; Lynch, Seth

Subject: RE: Fruitland Park Elementary School TIA Methodology

Mina,

Please use the Lake County Annual 2020 Traffic data

Annual traffic counts at the link below

ftp://ftp.co.lake.fl.us/Public_Works/Engineering/Annual%20Counts/2020/



SHARON E LEWIS, MSCTM Traffic Project Engineer

PUBLIC WORKSEngineering

A P.O Box 7800, Tavares, FL 32778

P 352-253-9050 | F 352-253-6016

E selewis@lakecountyfl.gov | W www.lakecountyfl.gov

NOTE: Florida has a very broad public records law. Your email communications may be subject to public disclosure.

From: Mina Atassi <mina@tpdtraffic.com> Sent: Monday, May 10, 2021 3:57 PM

To: Lewis, Sharon E <SELewis@lakecountyfl.gov>

Cc: Rita Merhi <rita@tpdtraffic.com>

Subject: FW: Fruitland Park Elementary School TIA Methodology

CAUTION: This email originated from outside of your organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good Afternoon Sharon,

I wanted to follow up regarding the methodology for the elementary school project in Fruitland Park. Please let me know if you have any questions or comments.

Thank you for your time.

Mina Atassi, El

Traffic Planning and Design, Inc. 535 Versailles Drive Maitland, Florida 32751 (407) 628-9955 mina@tpdtraffic.com



MEMORANDUM

DATE: April 27th, 2021

TO: Sharon Lewis, MS

Lake County Public Works

FROM: Mina Atassi, E.I.

Turgut Dervish, P.E. /

RE: Traffic Impact Analysis Methodology

Fruitland Park Elementary School

TPD No. 5456

The following is an outline of the proposed methodology for the Traffic Impact Study for the Fruitland Elementary School in Lake County, Florida. The project site is located on the northeast quadrant of the intersection of Olive Avenue and Urick Street. **Figure 1** depicts the site location and the area roadways.

1. Proposed Development

The proposed development will consist of an elementary school with a capacity of 850 students. The school is anticipated to be built by 2024.

2. Trip Generation

Trip generation data from the 10th Edition of the Institute of Transportation Engineers (ITE) *Trip Generation Manual* will be used for the trip generation estimation of the development. **Table 1** provides a summary of the trip generation for the proposed development calculated with the ITE data. The project is expected to generate a total of 1,607 new daily trips of which 553 will occur during the A.M. peak hour and 289 will occur during P.M. peak hour. The ITE trip generation worksheets are included in **Attachment A**.

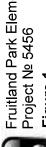
Table 1: Trip Generation Calculation Summary

		I GOIO II	p	on or a c	011 00	Journan	<u> </u>	······································	<u>J</u>			
ITE	Land Use	Size	Da	aily		A.M. Pea	ak Hou	r		P.M. Pea	ık Hou	r
Code	Land Use	Size	Rate	Trips	Rate	Enter	Exit	Total	Rate	Enter	Exit	Total
520	Elementary School	850 Students	1.89	1,607	0.67	308	262	570	0.34	130	159	289
		Tota	Trips	1,607		308	262	570		130	159	289

Note:

The ITE equation rates were where the R-squared correlation coefficient was greater than 0.75







Fruitland Park ES TIA Methodology TPD № 5456 April 27, 2021 Page 3

3. Trip Distribution

The trip distribution pattern for the proposed project was estimated using the currently adopted Central Florida Regional Planning Model (CFRPM). A Select Zone Analysis (SZA) was conducted by modifying the 2020 interim year model network to include a Traffic Analysis Zone (TAZ) representing the proposed project and the model's socio-economic data updated to reflect the proposed project buildout. The trip distribution was manually adjusted in the project vicinity in consideration of the access configuration. The model is shown in **Figure 2.** The model distribution plot is included in **Attachment B**.

4. Impact Area

As per Lake-Sumter MPO's Traffic Impact Study Methodology and Guidelines, the study area for a Tier 2 TIS includes roadway segments listed in the Lake County CMP Database. These guidelines require that the impact area of the development include an area within a minimum of one-mile radius from the main access point of the proposed project plus all roadways where the project's peak hour trips consume 5% or more of a roadway's two-way peak hour LOS, and one-half the total trip length associated with the land use of the proposed development. Based on a significance test shown in **Table 2**, the following roadway segments and intersections are proposed to be included in the analysis:

The roadway segments to be included in the analysis:

- o CR 468, from CR 466A to Pine Ridge Dairy Road
- o CR 468, from Pine Ridge Dairy Road to Griffin Road
- o CR 468, from Griffin Road to SR 44
- o CR 25A, from CR 466! To US 27/US 441

The intersections to be included in the area analysis are:

- Urick Street & Olive Avenue
- o CR 468 & Urick Street
- o CR 25A (S. Dixie Avenue/Thomas Avenue) & Urick Street
- Site Access Driveways





Figure 2

Fruitland Park ES TIA Methodology TPD № 5456 April 27, 2021 Page 5

Table 2: Significance Analysis

Seg ID	Roadway	Segment	Lns	LOS Std	PH Dir Capacity	Dir	Trip Dist	Project Vol	% Sig.
10	CR 468	CR 466A to Pine	2LU	D	530	NB/EB	7.0%	11	2.08%
	CIV 400	Ridge Dairy Rd	ZLO	D	330	SB/WB	7.070	9	1.70%
12	CR 468	Pine Ridge Dairy Rd	2LU	D	680	NB/EB	27.0%	35	5.15%
12	011 400	to Griffin Rd	ZLO		000	SB/WB	27.070	43	6.32%
14	CR 468	Griffin Rd to SR 44	2LU	D	620	NB/EB	24.0%	31	5.00%
17	CIV 400	3111111 TX4 to 31X 44	ZLU	D	020	SB/WB	24.070	38	6.13%
189	CR 25A	CR 466A to US	2LU	D	530	NB/EB	27.0%	43	8.11%
103	CIV 25A	27/441	ZLO	D	330	SB/WB	27.070	35	6.60%
98	CR 460	Thomas Rd to US 27	2LD	D	710	NB/EB	0.0%	0	0.00%
30	(MLK Blvd)	Thomas No to 00 27	ZLD	D	7 10	SB/WB	0.070	0	0.00%
190	Thomas Ave	CR 460 to CR 44A	2LU	D	530	NB/EB	7.0%	11	2.08%
130	Thomas Ave	CIV 400 to CIV 44A	ZLO	D	330	SB/WB	7.070	9	1.70%
171	CR 466A	CR 468 / Rose Ave to	4LD	D	1,470	NB/EB	1.0%	2	0.14%
171	OIX 400A	US 27	760	D	1,470	SB/WB	1.070	1	0.07%
3720	US 27	Lake Ella Rd to CR	6LD	D	3,020	NB/EB	24.0%	38	1.26%
3720	00 27	466A (Miller Blvdv)	OLD		3,020	SB/WB	27.070	31	1.03%
3730	US 27	CR 466A (Miller Blvd)	6LD	D	3,020	NB/EB	0.0%	0	0.00%
3730	00 27	to CR 460 (MLK Blvd)	OLD	D	3,020	SB/WB	0.070	0	0.00%
3740	US 27	CR 460 (Miller Blvd)	6LD	D	3,020	NB/EB	27.0%	35	1.16%
3740	00 27	to CR 466A (Lee Rd)	OLD	D D	3,020	SB/WB	27.070	43	1.42%
3190	SR 44	Sumter County Line	4LD	D	2,000	NB/EB	13.0%	17	0.85%
3190	31\44	to CR 468	460	D	2,000	SB/WB	13.076	21	1.05%
3200	SR 44	CR 468 to S Lone	4LD	D	2,000	NB/EB	9.0%	14	0.70%
3200	31\ 44	Oak Dr	460	נ	2,000	SB/WB	9.070	12	0.60%

5. Traffic Impact Assessment

a) Roadway

- Obtain existing traffic volumes on study roadway segment from Lake County for use in the traffic analysis.
- Determine background traffic will be determined with the use of an annual growth rate obtained from historical AADT in the vicinity of the project. Alternatively, vested trips added to existing traffic to obtain background traffic.
- Combine project traffic with background traffic to obtain total traffic volumes.
- Perform daily and PM peak hour/peak direction roadway analyses utilizing Lake County LOS standards.

Fruitland Park ES TIA Methodology TPD № 5456 April 27, 2021 Page 6

b) Intersections

- Conduct intersection counts or use factors to adjust intersection data during the PM peak period at the study intersections.
- Determine background traffic by combining existing traffic counts with committed trips to be provided by the County or with the use of an annual growth rate obtained from historical AADT.
- Combine project traffic with background traffic to obtain total traffic.
- Perform intersection capacity analysis utilizing the HCS or Synchro operational analysis procedures for the A.M. peak hour.

6. Traffic Report

Prepare traffic report summarizing study procedures, analyses and recommendations. If you have any questions or concerns, please contact us at (407) 628-9955.



Elementary School (520)

Vehicle Trip Ends vs: Students

On a: Weekday

Setting/Location: General Urban/Suburban

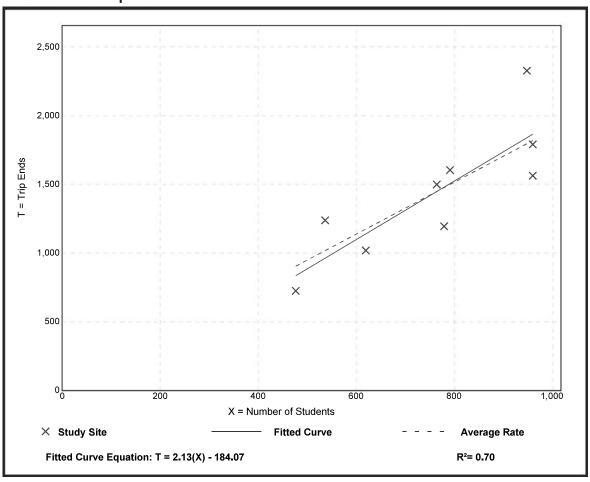
Number of Studies: 9 Avg. Num. of Students: 760

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Student

Average Rate	Range of Rates	Standard Deviation
1.89	1.51 - 2.45	0.34

Data Plot and Equation



Trip Generation Manual, 10th Edition ● Institute of Transportation Engineers

Elementary School (520)

Vehicle Trip Ends vs: Students

On a: Weekday,

Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

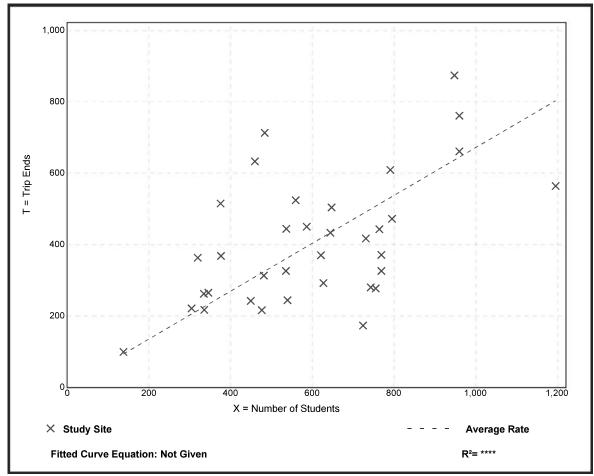
Number of Studies: 35 Avg. Num. of Students: 603

Directional Distribution: 54% entering, 46% exiting

Vehicle Trip Generation per Student

Average Rate	Range of Rates	Standard Deviation
0.67	0.24 - 1.47	0.27

Data Plot and Equation



Trip Generation Manual, 10th Edition ● Institute of Transportation Engineers

Elementary School

(520)

Vehicle Trip Ends vs: Students

On a: Weekday,

PM Peak Hour of Generator

Setting/Location: General Urban/Suburban

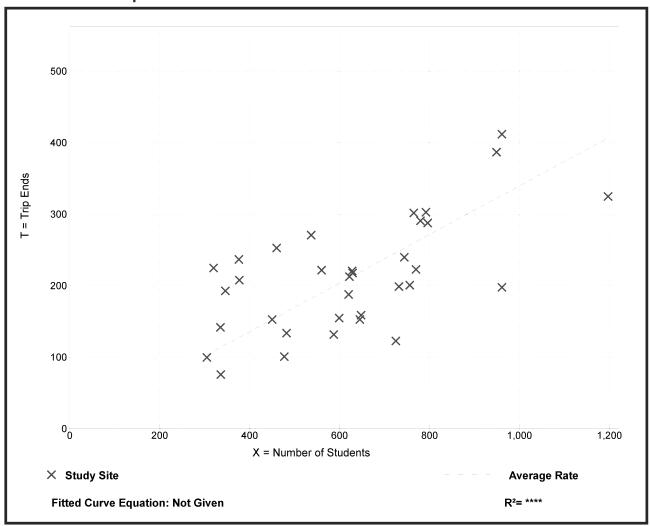
Number of Studies: 34 Avg. Num. of Students: 626

Directional Distribution: 45% entering, 55% exiting

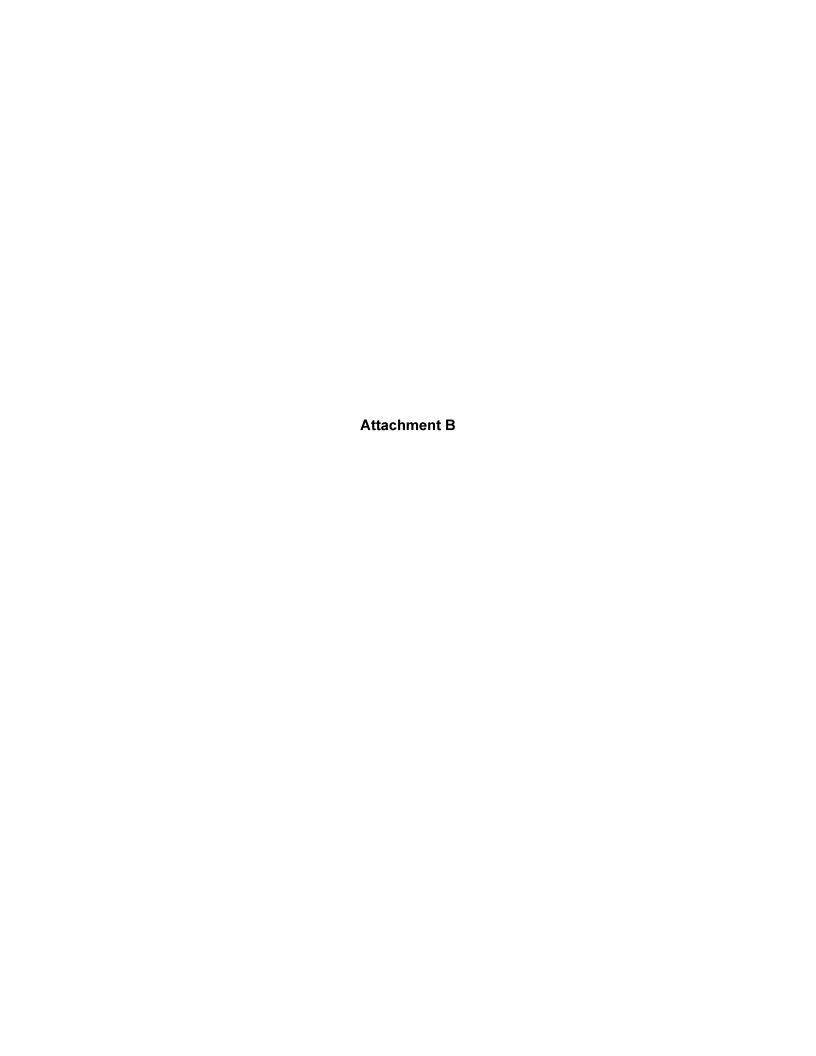
Vehicle Trip Generation per Student

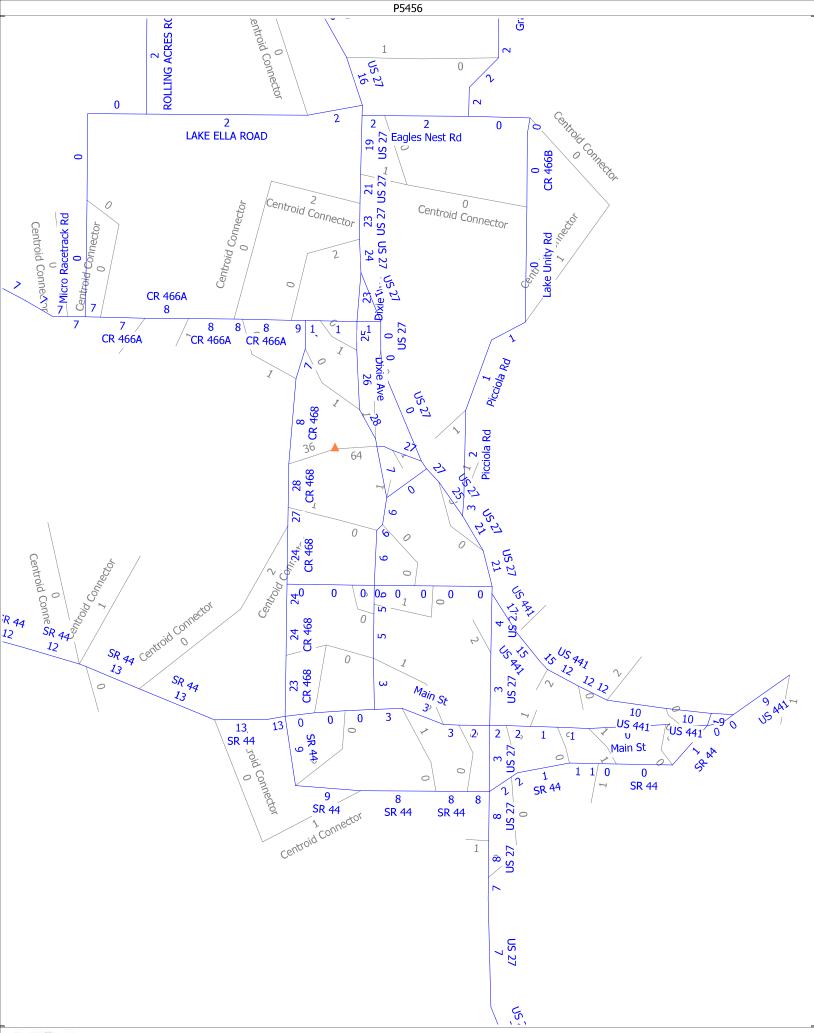
Average Rate	Range of Rates	Standard Deviation
0.34	0.17 - 0.70	0.11

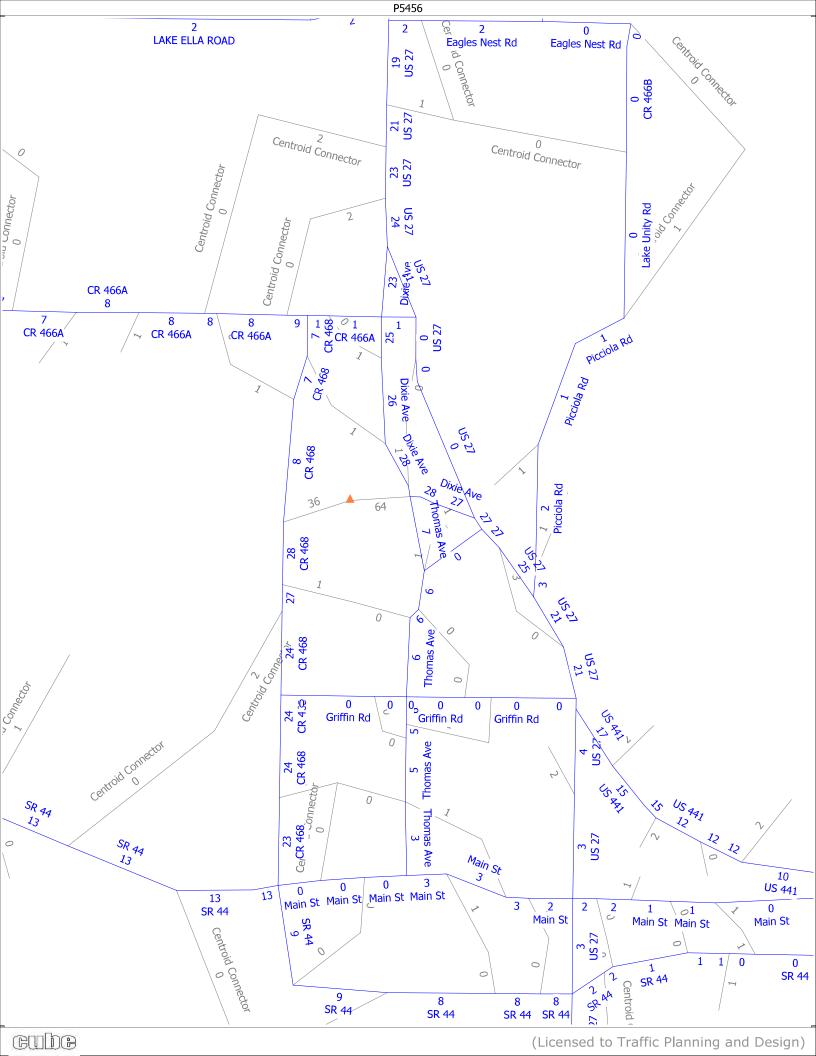
Data Plot and Equation



Trip Generation Manual, 10th Edition • Institute of Transportation Engineers







APPENDIX B

Lake County TMS Database and FDOT Counts

2020 Lake County Annual Traffic Counts

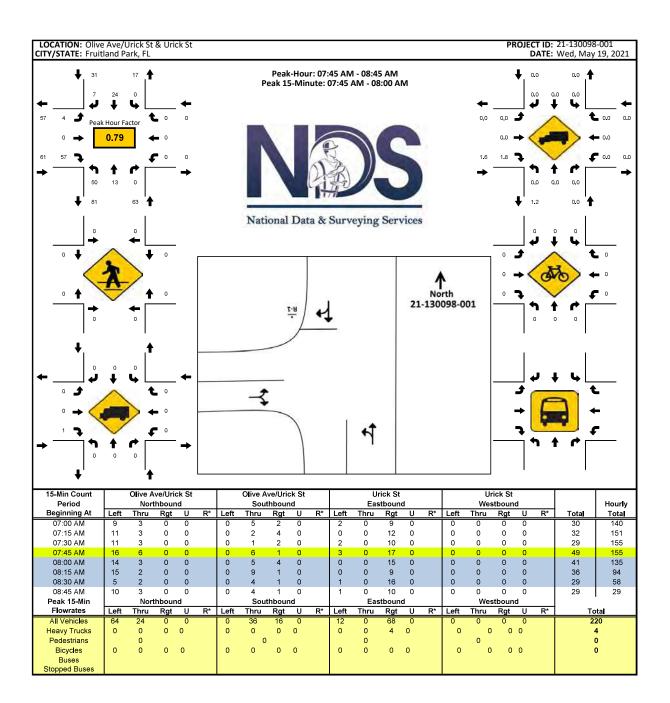
			<u>s</u>	-						ANNUAL	ADJUSTED			OC CETED	AD IN DEA	AN HISTED 2020 BM BEAK HOLLB VOLLIME	I WI
	VAME	LOCATION	Map Sheet C	≥ ₽		ANNUAL ADJUSTED DAILY TRAFFIC (AADT)	'ED DAIL'Y	' TRAFFIC		AVERAGE GROWTH RATE	PEAK HR VOLUME 2019			(3-7 PM r	eported as	(3-7 PM reported as 15:00-18:45)	
					2016	2017	2018	2019	П	PERCENI			Tota	NB/EB	SB/WB	Pk Dir	Time
	0	0.2 Mi S OF HOLLY DR	C 26	19	26 8,126	8,672	8,313	8,328	8,973	7.68%	760	16:15	Н	391	368	NB	16:15
	0.	0.098 Mi S OF MAIN ST	C 25	19		3,352	3,423	3,235	3,235	-1.70%	252	10:45	4	114	126	NB	16:15
-	.0	0.035 MI S OF MAIN ST	T	19	_	3,417	3,312	3,169	3,169	-17.12%	280	11:45	5 254	135	119	NB	15:00
	0.	0.15 Mi S OF W MAIN ST		19	24 3,230	3,263	3,015	3,227	3,227	-0.21%	363	15:45	_	170	193	NB	15:45
		0.051 Mi E OF CANAL ST	┪	19		_	5,805	4,943	4,943	2.62%	451	16:30	-	_	237	EB	16:30
		0.09 Mi S OF MAIN ST (S.R. 44)	C-1 25	19	24 3,363	+	3,979	3,945	4,348	5.30%	424	17:30	424	150	274	SB	17:30
_		0.10 Mi W OF U.S. 27/14th ST	\dashv	19		_	12,307	10,677	11,458	6.15%	1,028	16:30	+	4	540	EB	16:30
		0.08 Mi E OF U.S. 27/14th ST	C-1 26	5 19 2	9,652	10,377	11,362	9,965	10,474	5.71%	976	16:45	976	537	438	8	16:45
432 MAIN ST	o C	0.05 MI E OF 3 K 44 (10 0.5, 441)	5 c	19 24	3 967	5,249	5,143	4,95/	5,3/5	5.00%	529	16:30	_	384 151	763	2 2	16:30
	10	0.026 Mi N OF MAIN ST	C C	-		4,335	4,188	3,765	3,765	14 11%	317	11:15	╀	189	129	8	16:00
	0	0.064 Mi N OF MAIN ST	C 25	5 19 2	24 2,635	2,915	2,835	3,074	3,074	2.72%	240	16:15	╀	109	131	SB	16:15
	0.0	0.09 Mi N OF S R. 44	C 28	8 19 2	7,071	7,492	7,773	7,658	8,136	7.66%	739	17:15		406	333	NB	17:15
	0.	0.05 Mi E OF DRUID PL.	C 21	1 19 2	26 4,610	5,065	4,919	5,011	5,403	1.71%	497	16:45		234	263	WB	16:45
	o o	0.115 Mi S OF U.S. 441	C 23	3 19 2	3,070	4	2,788	2,533	2,533	-8.27%	278	7:30	-	4	129	8	16:30
		0.12 Mi S OF U S 441	C-1	3 19 2	26 14,108	-	15,000	14,469	15,223	0.89%	1,295	16:15	1,295	673	623	8 E	16:15
		0.32 MI S OF U.S. 441	2 2	7 19 2	9,468	10,516	9,548	9,533	10,305	0.33%	823	16:45	+	4	423	9 E	16:45
		0.155 MI N OF U.S. 441		2 6 6	7 642		2,342	2,244	2,244	7 28%	747	7.30	+	4	100	9 S	16:30
442 DAVID WALNER DR 443 C.R. 473		0.20 MI S OF U.S. 441	C-1	19 2	7,012	15 208	14 151	13 629	14 556	2.41%	1 308	17:00	1 308	814	494	g R	17:00
		0.05 Mi S OF U.S. 441	+	1 19 2	237	╀	262	249	260	1 23%	34	12:30	╄	╄	6	BB.	15:15
		95 Ft E OF KURT ST	C-1 23	3 19 2	26 2,967	4,140	3,711	3,858	3,990	-0.06%	349	11:45	Н	Н	153	WB	16:15
		0.05 Mi E OF E CROOKED LK RD	C 18	9 19 2	1,659	1,696	2,024	1,362	1,334	-2.70%	126	12:15	Ì	49	64	EB	16:45
		0.05 Mi W OF E CROOKED LAKE RD	C-1 2	4 19 2	1,540	1,562	1,735	782	782	11 10%	72	16:30		22	15	WB	16:30
		0.1 Mi N OF U.S. 441	C-1 21	1 19 2	6,049	6,854	6,831	6,821	7,205	5.54%	685	7:30	4	444	170	æ	16:45
449 DAVID WALKER DR		0.05 Mi N OF U.S. 441/S.R. 500	C-1	19 2	26 5,459	5,928	8,224	5,694	5,694	2.01%	475	16:15	475	212	263	8 B	16:15
		0.14 MIN OF 0.3.441	2 0	19 2	3 531	3.943	4.263	3.819	4 022	3.64%	352	17.00	╀	189	163	2 2	17:00
		0.2 Mi N OF U.S. 441	C 57	4 19 2	3,055	3,123	3,166	2,998	2,998	1 79%	274	13:15		135	135	PB B	16:00
		0.12 Mi N OF U.S. 441/S.R. 500	C 23	3 19 2	25 6,658	7,207	7,365	7,650	8,534	4.27%	989	17:00	Ц	388	298	SB	17:00
		0.08 Mi N OF U.S. 441	C 4	9 19 2	27 4,180	4,943	5,790	5,192	5,052	3.26%	469	17:00	4	275	194	BB I	17:00
455 KURT ST		0.06 Mi S OF HUFFSTETLER DR	C C	3 19 2	26 4,818	5,682	5,308	5,512	5,512	1.92%	200	15:15	200	241	259	SB	15:15
		0.003 MI E OF DAVID WALKER DR	7 0	10 2	7 163	7.871	7 993	7,696	1,109	9.39% -6.06%	689	16.13	4	360	320		16.15
_	Ö	0.55 Mi N OF U.S. 441	C C	19 2	10,903	_	11,194	11,399	12,572	3.70%	1,063	7:15	Ľ	╀	388	98	16:30
		0 11 Mi W OF EUDORA RD	C 23	3 19 2	26 4,485	H	4,964	5,030	5,156	0.03%	503	16:45	\vdash	\vdash	259	WB	16:45
		0.165 Mi W OF U.S. 27 (14th ST)	C 22	2 19 2	24 6,845	9,222	9,157	8,722	8,612	-3.58%	808	17:15		475	334	WB	17:15
		0.061 Mi E OF C.R. 468	C-1 16	19 2	5,348	5,944	5,817	5,664	6,028	0.92%	528	17:15	4	276	251	8	17:15
	0	0.123 Mi E OF U.S. 27/U.S. 441	C-1 17	4 19 2	2,469	2,163	2,141	2,061	2,061	31.32%	347	7:30		78	86	WB	16:45
	o l	0.1 Mi W OF KURT ST	1-0	5 19 2	3,782	3,730	3,885	3,771	3,970	-0.46%	442	16:30	4	245	198	8	16:30
	0.0	0.05 MI E OF KURT ST	C-1	3 19 2	4,567	+	5,226	5,162	5,162	-2.35%	484	15:00	4	221	264	MB.	15:00
465 GROVE SI	0 0	0.02 MIN OF CIP MI DORA RD		9 9	7 630	8.087	8,500	3,733	3,733	0.01%	360	17:15	360	129	231	8 8 8	17:00
	0	0 10 Mi NW OF U.S. 441			1,304		1.248	1.290	1.416	1.38%	154	14:15		44	06	EB	15:00
		0.37 Mi S OF MORNINGSIDE DR	Н		25 2,078	L	2,298	2,112	2,266	1.01%	210	17:15	L	157	53	EB	17:15
469 KURT ST		0.1 Mi S OF W GOLFLINKS AV		19	10	4,138	3,817	4,334	4,334	1.92%	392	15:45	Ľ	165	227	NB	15:45
470 W GOLFLINKS AV		0.1 Mi E OF KURT ST	C 14	4 19 26	923	982	1,277	940	940	4.41%	66	14:15	87	41	46	EB	16:15

2020 Lake County Annual Traffic Counts

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MAP STA#	AND NAME	NOTACO	Map Sheet	νшο	αzυ	ANNUAL	ADJUSTE	ANNUAL ADJUSTED DAILY TRAFFIC (AADT)	TRAFFIC		5-YEAR ANNUAL AVERAGE GROWTH RATE	ADJUSTED PEAK HR VOLUME 2019		BEGIN PEAK HOUR 2019	ADJUSTED (3-7 P	ADJUSTED 2020 PM PEAK HOUR VOLUME (3-7 PM reported as 15:00-18:45)	EAK HOUI as 15:00-1	אטרטא א 8:45)	ш
						2016	2017	2018	2019	2020	PERCENT			ř	\vdash	NB/EB SB/WB	B Pk Dir	ir Time	ne
471	DAVID WALKER DR	0.05 Mi W OF KURT ST (EUSTIS)	၁	15 19		5,651	5,099	5,205	5,553	5,553	3.40%	49		Н	495 317	Ŀ	EB		15
472		0.1 Mi N OF GOLFLINKS AV		14 19		2,801	2,863	2,569	2,561	2,561	-4 73%	22		_		158 70	NB		30
473		0.1 Mi N OF W GOLFLINKS AV	<u>-</u>		5 26	7,163	9,144	8,394	8,710	8,710	1.83%	772	1	\dashv	4	33 269			30
4/4		0.20 MI N OF PICCIOLA CUI OFF	<u>.</u>	10 13		, U63	8,100	7,298	6,347	6,945	-6.50%	20 1	t	+	909	224 386	+		ت ا
478	C.R. 46/	0.33 MI W OF 0.5 27/0.5 441	<u>.</u>	10 19		0,000	2,916	7 361	2,728	0,630	1 87%	200		16:15	+	+		16:15	ט ג
477		12 Mi F OF S B 19		14 19		4 003	4 627	****	2,689	2,689	9 42%	286		+					5 5
478		01 Mi W OF HASELTON ST	<u>.</u>	13 19		3,073	3,370	2,119	(const)	(const)	#N/A	0		L	H	H	L	H	00
479		0.1 Mi N OF LAKEVIEW AV	Н	14 19		1,217	1,523	1,181	1,475	1,475	-2.07%	131		H	H	H	L		15
480		0.08 Mi S OF MYRTLE LAKE/URICK ST	C-1	9 19		5,484	6,150	6,280	6,169	6,169	0.45%	579	Н	Н	Н	Н	Н	Н	30
481		0.1 Mi E OF HASELTON ST	C-1	12 19	36	2,358	2,489	2,188	1,980	1,980	-5.73%	218		Н	189 7	76 113			15
482		0.103 Mi N OF C.R. 25A/URICK ST	C-1	9 19		5,215	5,549	5,125	4,780	5,087	-22.71%	53		16:45 5					45
483		0.10 Mi S OF TREASURE ISLAND RD	<u>-</u>	9 15	_	9,633	10,184	10,812	10,699	4,216	17.52%			4		4			45
484		0.09 Mi E OF KING ST	<u>.</u>	11 19		5,273	6,950	6,078	5,874	6,822	10.59%	29		4	584 32	329 255		1	8
485		0.17 Mi S OF E ORANGE AV	- -	12 19	26	2,059	1,810	1,831	1,646	1,646	2 43%	16		4	+	+	SB :	1	15
486		0.06 Mi S OF S R. 44	<u>?</u>	7 19		4,565	4,807	5,151	5,145	5,419	3.42%	52		4	4	_			30
487		0.161 Mi E OF S.R. 19 (EUSTIS)	ပ	11 19	5 26	11,192	11,233	7,735	12,986	13,180	2.55%	1,167		`+	_	12 555			15
488		0.12 MIN OF E ORANGE AV		11 19		410	515	573	562	562	1.82%	<u>ک</u>	1	4	+	\dashv	4	+	45
489		0.1 MI E OF PRESCOTI SI	- -	1 19		934	1,027	1,428	1,320	1,320	3.21%	11/	†	+	+	52 65	+	+	45
490	_	0.04 Mi N OF BERCKMAN ST	5	4 19	_	3,113	4,080	3,991	3,637	3,731	10.55%	9	+	4	355 17	+	4	\dagger	8
491		0.10 Mi W OF U.S. 27/U.S. 441	<u>.</u>	4 19	24	6,399	6,453	6,512	6,474	6,803	1.22%	53	1	4	+	+		+	၁၈
492		AI SUMIER CO LINE	ی د	9 19		17,820	18,230	18,968	13,377	3,504	42.43%	ري ا		4	316 18	3/ 129	+		3
493		0.098 MI N OF C.R. 466A	ی د	9 6		6,942	8,714	9,14/	9,401	8,073	4.41%	752	1	+	+	335 402	_	\dagger	9 8
494	C R 25A (FRIIIT PK.)	0.004 MI S OF U.R. 44	ی د	υ 4	24	8,029	8,209	7.858	7.541	8.053	0.15%	200	t	+	+	+	+	17:00	200
496		0.15 M: W OF S P 19) C	10	26	11 123	13.140	13.386	13 376	14 937	4 91%	1 1 1	t	16:30	ļ,,	510	2 2	t	8 %
497		0.20 Mi S OF FMMAUS RD	0	1 6		4 415	4 843	4 615	4 585	4 824	0.13%	. 4		+	+				45
498		0.13 Mi W OF C.R. 44/C.R. 44A	<u>-</u> 5	6 19	27	11,150	10,518	12,009	10,974	12,318	5.91%	1,007		Ė	L	H	L		8
499		0.083 Mi S OF C.R. 44	၁	2 19		990'9	6,893	7,355	7,042	7,337	5.27%	629		L	629 37	379 250			30
200		0.07 Mi E OF C.R. 473	၁			12,492	14,287	18,397	17,453	19,726	7.73%	1,6	Н	Ĥ	7	_	Н	Н	45
501		0.05 Mi N OF C.R. 44	_			3,284	3,626	3,704	3,673	4,216	4.36%	394	+	4	4	+	4		45
503	C.R. 44	0.13 MI W OF SR 19 0.14 MI F OF SR 19	5 5	35 18	2 6	12 183	12,550	13,310	12.089	13 328	5.54%	1 105		17:15	1 105 45	452 653	WB	17:15	5 4
504		0 16 MIN OF C.R. 44	+			13,836	9.468	10.541	9.788	9.788	3.35%	8	t	⊢	┖	╀	ļ	t	8
505		0.048 Mi E OF U.S. 27/U.S. 441	t	34 18		902	799	770	786	786	-48.87%	3/	H	⊢	L	┝		H	45
506		0.39 Mi W OF GRAND ISLAND SHORES RD	Н		3 26	13,739	13,343	13,678	13,073	15,294	5.30%	1,232		Н	0.1	Н	Ĺ	Н	8
202		0.05 Mi W OF S.R. 19		35 18		3,109	3,356	2,973	2,872	3,509	5.49%	33		Н					00
208		0.097 Mi N OF C.R. 44	╗			1,423	1,368	1,393	1,505	1,546	2.86%	137		Ц			_		15
509	LAKE ELLA RD	0.20 Mi W OF MICRO RACETRACK RD	1	31 18	24	1,262	1,768	1,821	1,912	1,912	10.83%	192		16:15 1	192 12	126 66	8 2	16:15	15
010		0.045 MI E OF U.S. 27/U.S. 44	†	20 10		3,113	3,733	3,477	3,730	3,730 1004	4.09%	S 6	\dagger	4	+	+	_	\dagger	3 8
511		0.169 MI W OF U.S. 27/U.S. 441	1			Z,U54	2,190	1,85,1	1,949	108,1	-1.2U%	- 6	T	4	+	+	0 0		3 ;
512	GRAYS AIRPORT RD	0.10 MIN OF EAGLESNEST RD		27 18	24	1,800	2,314	2,136	2,225	2,586	7.91%	229		15:15 2	229 12	123 107 269 340	S S	15:15	5 ک
513	ROLLING ACKES RU	0.053 MI N OF LAKE ELLA KD	ی د			0,343	2,363	7,833	0.763	9,735	6 80%	3 8	\dagger	+	+	+	+	\dagger	3 4
515		0.08 Mi E OF U.S. 27/U.S. 441	J U	21 18	2 2	4,137	4,466	3,967	3,579	3,770	9.27%	353	T	+	353 24	+	+	t	3 8
516	GRIFFIN VIEW DR	0.12 Mi E OF GRAYS AIRPORT RD	S	-		1,623	1,892	1,728	1,715	1,715	1.05%	176	t	╀	\vdash	H	_	t	8
517	GRAYS AIRPORT RD	0.10 Mi N OF GRIFFIN VIEW DR	ပ			2,212	2,649	2,419	2,425	2,680	4.36%	24			243 15				45

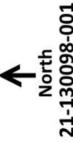
APPENDIX C

Intersection Traffic Counts, Signal Timings and FDOT's Seasonal Factors

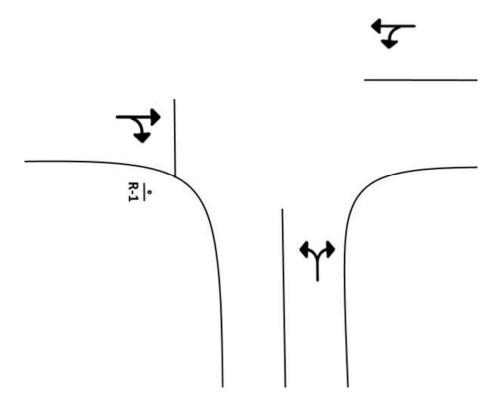


E/W Street: Urick St

Speed: 30 MPH







1-Way Stop(SB)

Control:

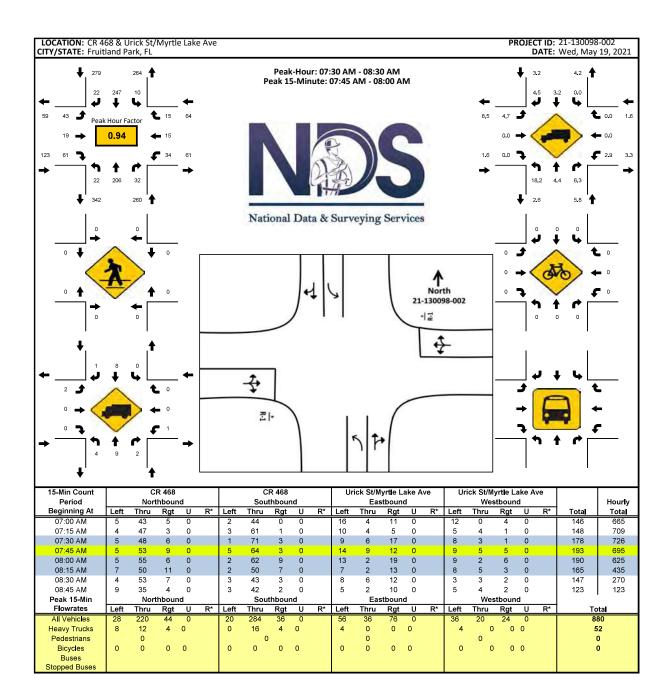
Count Times: **07:00 - 09:00**



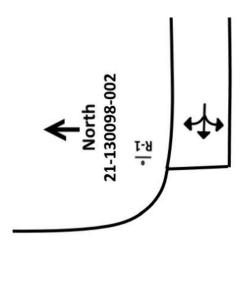
N/S Street: Olive Ave/Urick St

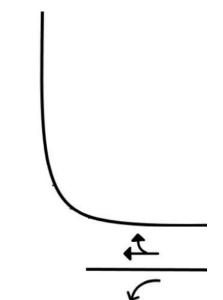


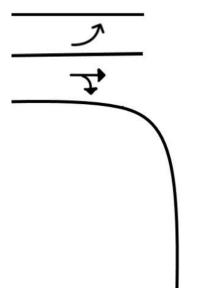
National Data & Surveying Services 21-130098-001 **Fruitland Park** 05/19/2021 Sunny Lake Site Code: Weather: County: Date: City:

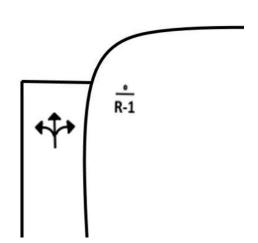


Speed: 30 MPH











N/S Street: CR 468



21-130098-002

05/19/2021 Site Code: Date:

Sunny Weather:

Fruitland Park City:

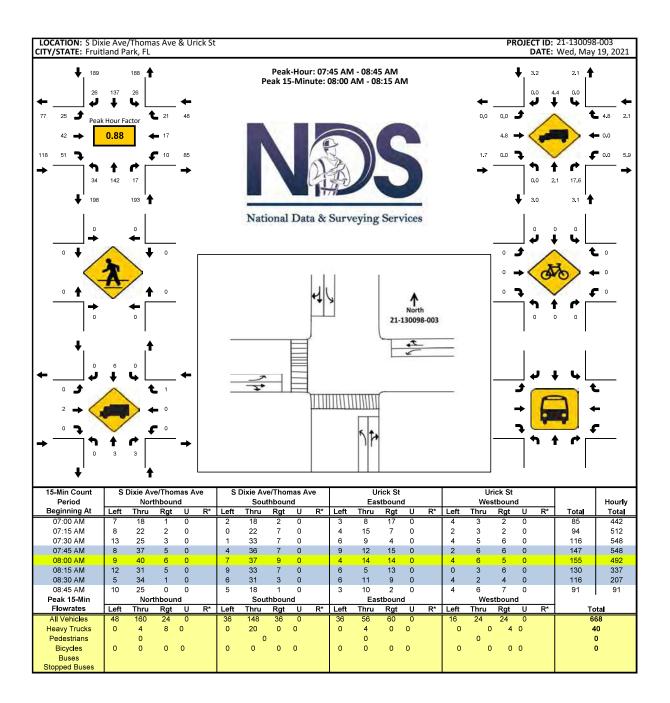
Count Times: **07:00 - 09:00**

Lake

County:

Control:

2-Way Stop(EB/WB)



E/W Street: Urick St

↑ North 21-130098-003

Speed: 30 MPH

National Data & Surveying Services

21-130098-003 Site Code:

05/19/2021 Date:

Fruitland Park Sunny Weather: City:

Count Times: **07:00 - 09:00**

Lake

County:

Signalized Control:

SIGNAL TIMING

PHASES	Н	7	က
NT/ST	00:26	00:24	00:24
ET/WT	00:24	00:23	00:24

DATE: 07/31/2015 CARTEGRAPH ID: FP-S-390 INTERSECTION NAME AND ID#:THOMAS AVE (CR 25A) & URICK ST 2 PHASE 3 4 5 6 7 **SBL** NB **EBL** WB NBL SB WBL EB **INITIAL** 5 15 5 8 5 15 5 8 3 3 3 3 3 **PASSAGE** 3 3 3 YELLOW 3.7 4.0 3.7 3.7 4.0 3.7 3.7 3.7 2.5 2.5 2.2 2.3 2.2 2.1 2.6 2.1 RED CLEAR MAX 1 15 50 15 20 15 **50** 15 20 MAX 2 WALK DON'T WALK 16 17 RECALL MIN MIN DET. FUNC. L L SYSTEM TIMING BASE DAY 1 BASE DAY 2 CYCLE **OFFSET** COORDINATED Mon.- Fri. **PATTERN** Sec. Sec. Sequence Sat.- Sun. **SPLIT ALLOCATION - Sec.** 6 8 **PHASE** 3

NOTES: Naztec 980

1) Stop in Walk feature activated.

2020 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL CATEGORY: 1100 LAKE COUNTYWIDE

CATEGO	RY: 1100 LAKE COUNTYWIDE		
WEEK	DATES	SF	MOCF: 0.93 PSCF
* 1	01/01/2020 - 01/04/2020	0.99	1.06
* 2	01/05/2020 - 01/11/2020	0.95	1.02
* 3	01/12/2020 - 01/18/2020	0.91	0.98
* 4	01/19/2020 - 01/25/2020	0.90	0.97
* 5	01/26/2020 - 02/01/2020	0.88	0.95
* 6	02/02/2020 - 02/08/2020	0.87	0.94
* 7	02/09/2020 - 02/15/2020	0.86	0.92
* 8	02/16/2020 - 02/22/2020	0.89	0.96
* 9	02/23/2020 - 02/29/2020	0.91	0.98
*10	03/01/2020 - 03/07/2020	0.94	1.01
*11	03/08/2020 - 03/14/2020	0.97	1.04
*12 *13	03/15/2020 - 03/21/2020 03/22/2020 - 03/28/2020	0.99 1.08	1.06 1.16
14	03/22/2020 - 03/28/2020 03/29/2020 - 04/04/2020	1.16	1.25
15	04/05/2020 - 04/11/2020	1.24	1.33
16	04/12/2020 - 04/18/2020	1.32	1.42
17	04/19/2020 - 04/25/2020	1.26	1.35
18	04/26/2020 - 05/02/2020	1.20	1.29
19	05/03/2020 - 05/09/2020	1.14	1.23
20	05/10/2020 - 05/16/2020	1.08	1.16
21	05/17/2020 - 05/23/2020	1.07	1.15
22	05/24/2020 - 05/30/2020	1.05	1.13
23	05/31/2020 - 06/06/2020	1.04	1.12
24	06/07/2020 - 06/13/2020	1.03	1.11
25	06/14/2020 - 06/20/2020	1.01	1.09
26	06/21/2020 - 06/27/2020	1.02	1.10
27	06/28/2020 - 07/04/2020	1.03	1.11
28	07/05/2020 - 07/11/2020	1.04	1.12
29	07/12/2020 - 07/18/2020	1.04	1.12
30 31	07/19/2020 - 07/25/2020 07/26/2020 - 08/01/2020	1.04 1.03	1.12 1.11
32	08/02/2020 - 08/01/2020	1.03	1.10
33	08/09/2020 - 08/15/2020	1.02	1.10
34	08/16/2020 - 08/22/2020	1.01	1.09
35	08/23/2020 - 08/29/2020	1.01	1.09
36	08/30/2020 - 09/05/2020	1.01	1.09
37	09/06/2020 - 09/12/2020	1.00	1.08
38	09/13/2020 - 09/19/2020	1.00	1.08
39	09/20/2020 - 09/26/2020	0.99	1.06
40	09/27/2020 - 10/03/2020	0.98	1.05
41	10/04/2020 - 10/10/2020	0.97	1.04
42	10/11/2020 - 10/17/2020	0.96	1.03
43	10/18/2020 - 10/24/2020	0.96	1.03
44	10/25/2020 - 10/31/2020	0.96	1.03
45	11/01/2020 - 11/07/2020	0.97	1.04
46	11/08/2020 - 11/14/2020	0.97	1.04
47	11/15/2020 - 11/21/2020	0.97	1.04
48 49	11/22/2020 - 11/28/2020 11/29/2020 - 12/05/2020	0.98 0.98	1.05 1.05
50	12/06/2020 - 12/05/2020	0.98	1.05
51	12/13/2020 - 12/12/2020	0.99	1.06
52	12/20/2020 - 12/26/2020	0.95	1.02
53	12/27/2020 - 12/31/2020	0.91	0.98
	,,	- ·	

APPENDIX D

Existing Intersection Capacity Analysis Worksheets

Intersection						
Int Delay, s/veh	2.1					
		CDT	WDT	WIDE	CDI	CDD
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		4 61	54	4.4	**	0
Traffic Vol, veh/h	4			14	26	8
Future Vol, veh/h	4	61	54	14	26	8
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-		-		-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage,	,# -	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	4	66	59	15	28	9
Major/Minor	Maia=1		Maiora		Minora	
	Major1		Major2		Minor2	^-
Conflicting Flow All	74	0	-	0	141	67
Stage 1	-	-	-	-	67	-
Stage 2	-	-	-	-	74	-
Critical Hdwy	4.12	-	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	-	0.0.0	3.318
Pot Cap-1 Maneuver	1526	-	-	-	852	997
Stage 1	-	-	-	-	956	-
Stage 2	-	-	-	-	949	-
Platoon blocked, %		-	-	-		
Mov Cap-1 Maneuver	1526	-	-	-	849	997
Mov Cap-2 Maneuver	-	-	-	-	849	-
Stage 1	_	-	_	-	953	_
Stage 2	_	_	_	_	949	_
Jugo L					3.3	
Approach	EB		WB		SB	
HCM Control Delay, s	0.5		0		9.3	
HCM LOS					Α	
Minor Lane/Major Mvmt	4	EBL	EBT	WBT	WBR S	CDI n1
	<u>. </u>	1526				
Capacity (veh/h)			-	-	-	880
HCM Cantrol Dalay (a)		0.003	-	-		0.042
HCM Control Delay (s)		7.4	0	-	-	9.3
HOME						
HCM Lane LOS HCM 95th %tile Q(veh)		A 0	A -	-	-	A 0.1

Intersection												
Int Delay, s/veh	4.4											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		a L			a L		-	T.		*	T.	
Traffic Vol, veh/h	46	20	65	36	16	16	24	220	34	11	264	24
Future Vol, veh/h	46	20	65	36	16	16	24	220	34	11	264	24
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	355	-	-	355	-	-
Veh in Median Storage	e,# -	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	94	94	94	94	94	94	94	94	94	94	94	94
Heavy Vehicles, %	5	2	2	3	2	2	18	4	6	2	3	5
Mvmt Flow	49	21	69	38	17	17	26	234	36	12	281	26
Major/Minor	Minor2			Minor1			Major1			Major2		
Conflicting Flow All	639	640	294	667	635	252	307	0	0	270	0	0
Stage 1	318	318	-	304	304	-	-	-	-	-	-	-
Stage 2	321	322	_	363	331	_	_	_	_	_	_	_
Critical Hdwy	7.15	6.52	6.22	7.13	6.52	6.22	4.28	_	_	4.12	_	-
Critical Hdwy Stg 1	6.15	5.52	-	6.13	5.52	-		_	_		_	_
Critical Hdwy Stg 2	6.15	5.52	_	6.13	5.52	_	_	-	_	_	_	-
Follow-up Hdwy	3.545		3.318	3.527	4.018	3.318	2.362	_	_	2.218	_	_
Pot Cap-1 Maneuver	385	393	745	371	396	787	1168	_	_	1293	_	-
Stage 1	687	654	-	703	663	-	-	_	_	-	_	_
Stage 2	684	651	_	654	645	_	_	_	_	_	_	_
Platoon blocked, %	- 551	-001			0.0			_	_		_	_
Mov Cap-1 Maneuver	355	381	745	315	384	787	1168	_	-	1293	-	-
Mov Cap-2 Maneuver	355	381	-	315	384	-	-	_	_	-	_	_
Stage 1	672	648	_	688	648	_	_	_	_	_	_	-
Stage 2	637	637	_	568	639	_	_	_	_	_	_	_
J.G.30 Z	50,	301		300	300							
Approach	EB			WB			NB			SB		
HCM Control Delay, s	15.4			16.5			0.7			0.3		
HCM LOS	13.4 C			10.5 C			0.7			0.0		
1.0.0. 200	J			J								
Minor Lane/Major Mvm	nt	NBL	NBT	NRR	EBLn1V	VBI n1	SBL	SBT	SBR			
Capacity (veh/h)		1168	-		486	386	1293	-	- ODIT			
HCM Lane V/C Ratio		0.022	-	_		0.187	0.009	-	_			
HCM Control Delay (s)		8.2		_	15.4	16.5	7.8	_	_			
HCM Lane LOS		0.2 A	_	_	13.4 C	10.5 C	7.6 A	_	_			
HCM 95th %tile Q(veh)	0.1		_	1.2	0.7	0		_			
HOW SOUL WILL CALLACT)	0.1	-	_	1.2	0.7	U					

	٨	-	•	•		•	1	†	1	1	ļ	1
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	1	To		-	T.		*	Ta		1	to	
Traffic Volume (veh/h)	27	45	55	11	18	22	36	152	18	28	147	28
Future Volume (veh/h)	27	45	55	11	18	22	36	152	18	28	147	28
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	29	49	60	12	20	24	39	165	20	30	160	30
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	365	124	152	305	111	133	474	505	61	480	455	85
Arrive On Green	0.03	0.16	0.16	0.02	0.14	0.14	0.04	0.31	0.31	0.03	0.30	0.30
Sat Flow, veh/h	1781	765	937	1781	774	929	1781	1636	198	1781	1532	287
Grp Volume(v), veh/h	29	0	109	12	0	44	39	0	185	30	0	190
Grp Sat Flow(s),veh/h/ln	1781	0	1702	1781	0	1703	1781	0	1835	1781	0	1819
Q Serve(g_s), s	0.7	0.0	2.9	0.3	0.0	1.1	0.7	0.0	3.9	0.6	0.0	4.1
Cycle Q Clear(g_c), s	0.7	0.0	2.9	0.3	0.0	1.1	0.7	0.0	3.9	0.6	0.0	4.1
Prop In Lane	1.00		0.55	1.00		0.55	1.00		0.11	1.00		0.16
Lane Grp Cap(c), veh/h	365	0	277	305	0	243	474	0	567	480	0	540
V/C Ratio(X)	0.08	0.00	0.39	0.04	0.00	0.18	0.08	0.00	0.33	0.06	0.00	0.35
Avail Cap(c_a), veh/h	627	0	465	602	0	466	713	0	1588	741	0	1574
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	17.4	0.0	18.9	18.0	0.0	19.0	11.5	0.0	13.4	11.6	0.0	13.9
Incr Delay (d2), s/veh	0.1	0.0	0.9	0.1	0.0	0.4	0.1	0.0	0.3	0.1	0.0	0.4
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.3	0.0	1.1	0.1	0.0	0.4	0.3	0.0	1.5	0.2	0.0	1.5
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	17.5	0.0	19.8	18.1	0.0	19.4	11.5	0.0	13.7	11.7	0.0	14.3
LnGrp LOS	В	A	В	В	A	В	В	A	В	В	A	B
Approach Vol, veh/h		138			56			224			220	
Approach Delay, s/veh		19.3			19.1			13.4			14.0	
Approach LOS		В			В			В			В	
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	7.6	21.9	7.6	13.4	8.2	21.3	6.6	14.4				
Change Period (Y+Rc), s	5.9	* 6.3	5.9	* 6.2	6.1	* 6.3	* 5.8	* 6.2				
Max Green Setting (Gmax), s	9.1	* 44	9.1	* 14	8.9	* 44	* 9.2	* 14				
Max Q Clear Time (g_c+I1), s	2.6	5.9	2.7	3.1	2.7	6.1	2.3	4.9				
Green Ext Time (p_c), s	0.0	1.1	0.0	0.1	0.0	1.2	0.0	0.3				
Intersection Summary												
HCM 6th Ctrl Delay			15.4									
HCM 6th LOS			В									

User approved pedestrian interval to be less than phase max green.
* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.

APPENDIX E

Trends Analysis Worksheets

Traffic Trends - V03.a CR 468 -- CR 466A to Pine Ridge Dairy Rd FIN# Location

Observed Count

Average Daily Traffic (Vehicles/Day)

<u> </u>	Year 2014 2015 2017 2018 2019	Traffic (AD Count* 3200 5100 4100 4000 3600	T/AADT) Trend** 3900 3900 3800 3800 3800
2034	2024 C 2024 2 2028 2 2034 2 2034 TRANPL	2024 Opening Year 24 N/A 2029 Mid-Year Tre 29 N/A 2034 Design Year T N/A N/A S4 N/A SANPLAN Forecasts.	r Trend 3800 Frend 3700 Trend 3700 sts/Trends

rth Rate: -0.51% yn Year): -0.18% Printed: 11-Jun-21	Rate: (ear): nted:	Trend Annual Historic Grown Trend Growth Rate (2019 to Design Straight Line Growth Option
11-Jun-21	nted: `	
-0.18%	ear):	Trend Growth Rate (2019 to Design Year):
-0.51%	Rate:	Trend Annual Historic Growth Rate:
0.05%	ared:	Trend R-squared:
တု	ease:	** Annual Trend Increase:

Year

*Axle-Adjusted

Cou Stati High CR 468 -- Pine Ridge Dairy Rd to Griffin Rd Traffic Trends - V03.a 1234 Location #<u>#</u>

20000

18000

16000

14000

12000

10000

Average Daily Traffic (Vehicles/Day)

8000

0009

4000

2000

ounty:		Lake (11)	
tion #:		11	
jhway:		CR 468	
		Traffic (ADT/AADT)	T/AADT)
	Year	Count*	Trend**
	2014	15300	17300
	2015	17800	17200
	2016	17800	17000
	2017	18200	16800
	2018	19000	16600
	2019	13300	16500

		Traffic (ADT/AADT)	T/AADT)
	Year	Count*	Trend**
Observed Count	2014 2015	15300 17800	17300 17200
בווופת כתו אפ	2016 2017	17800 18200	17000 16800
	2018	19000	16600
	2019	13300	16500
			-
2029 2034	2024	ZUZ4 Opening Year 24 N/A	r Irena 15600
	2000	2029 Mid-Year T	rend
	2029	2034 Design Year	14800 Trend
-171	2034	N/A	
2.21%	TRAN	TRANPLAN Forecasts/Trends	ts/Trends
-0.92%			
-1.05%			
11-Jun-21			

*Axle-Adjusted

** Annual Trend Increase:

Trend R-squared:

Printed:

Trend Growth Rate (2019 to Design Year):

Straight Line Growth Option

Trend Annual Historic Growth Rate:

2024

2019

2014

0

Year

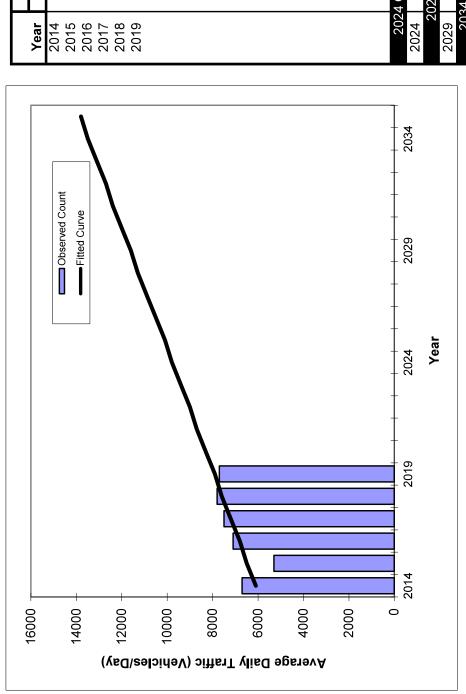
Traffic Trends - V03.a
CR 468 -- Griffin Rd to SR 44

Location

Lake (11)

County: Station #: Highway:

14 CR 468



(ADT/AADT)	Trend**	6100 6500 6800 7200 7600 7900	ar Trend 9800 Trend 11600 r Trend 13500 sts/Trends
Traffic (AD	Count*	6700 5300 7100 7500 7700	4 Opening Year N/A
	Year	2014 2015 2017 2018 2019	2024 2024 202 2029 2034 TRANPL

*Axle-Adjusted

54.42% 5.90% 4.73%

** Annual Trend Increase:

Trend R-squared:

11-Jun-21

Printed:

Trend Growth Rate (2019 to Design Year):

Straight Line Growth Option

Trend Annual Historic Growth Rate:

Station #: County: Highway: CR 460 (MLK Blvd) -- Thomas Rd to US 27 Traffic Trends - V03.a 1234 Location #NI4

7000

4000

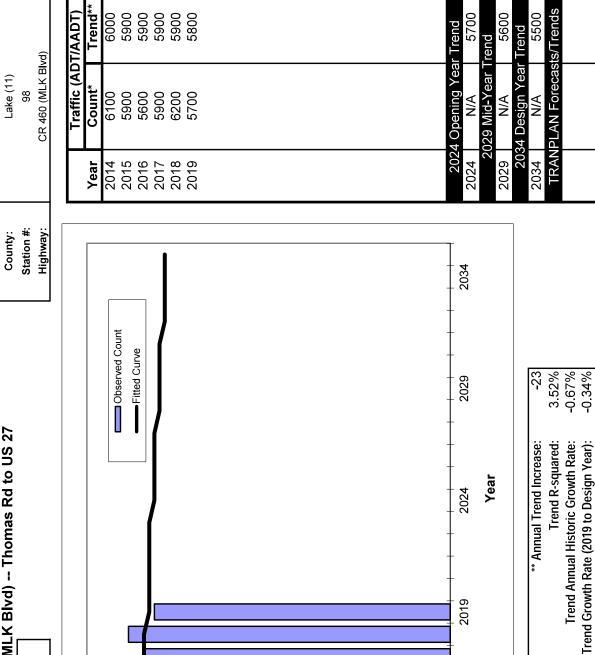
5000

2000

1000

3000

Average Daily Traffic (Vehicles/Day)



*Axle-Adjusted

11-Jun-21

Printed:

Straight Line Growth Option

2014

0

Station #: CR 25A -- CR 466 A to US 27/441 Traffic Trends - V03.a 1234 Location #NI4

5000

4000

3000

Average Daily Traffic (Vehicles/Day)

2000

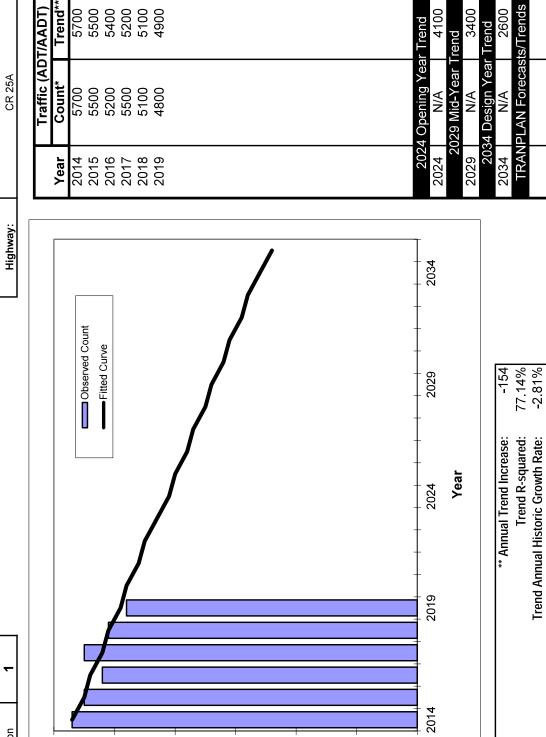
1000

0

Lake (11)

County:

189



5700 5500 5400 5200 5100 4900

3400

rend

*Axle-Adjusted

-3.13% 11-Jun-21

Trend Growth Rate (2019 to Design Year):

Straight Line Growth Option

Printed:

4100

Traffic Trends - V03.a THOMAS AVE -- CR 460 to CR 44A FIN# Location

Average Daily Traffic (Vehicles/Day)

Lake (11) 190 THOMAS AVE	Traffic (ADT/AADT)	Count	7400 7500 7600 8100 8100	2024 Opening Year Trend 24 N/A 9400 2029 Mid-Year Trend 2029 Mid-Year Trend)34 Design Year Tr N/A NPLAN Forecasts/
County: Station #: Highway:		Year	2014 2015 2016 2017 2018 2019	20 20 20	2034 2034 TRA
<u> </u>			— Dbserved Count Fitted Curve	2029 2034	200 75.00% 2.70% 2.38%

	Straight Line Growth Ontion
Printed: 11-Jun-21	Printed:
2.38%	Trend Growth Rate (2019 to Design Year):
2.70%	Trend Annual Historic Growth Rate:
%00 52	Trend R-squared:
200	** Annual Trend Increase:

Year

*Axle-Adjusted

APPENDIX F

Projected Intersection Capacity Analysis Worksheets

mersection												
Intersection Delay, s/veh	11.9											
Intersection LOS	В											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		4			4			্র	7		4	
Traffic Vol, veh/h	4	131	65	191	111	6	57	15	224	7	28	9
Future Vol, veh/h	4	131	65	191	111	6	57	15	224	7	28	9
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	4	142	71	208	121	7	62	16	243	8	30	10
NT 1 CT												

Number of Lanes	0	1	0	0	1	0	0	1	1	0	1	0
Approach	EB			WB			NB			SB		
Opposing Approach	WB			EB			SB			NB		
Opposing Lanes	1			1			1			2		
Conflicting Approach Left	SB			NB			EB			WB		
Conflicting Lanes Left	1			2			1			1		
Conflicting Approach Right	NB			SB			WB			EB		
Conflicting Lanes Right	2			1			1			1		
HCM Control Delay	10.8			13.7			11			9.6		
HCM LOS	В			В			В			Α		

Lane	NBLn1	NBLn2	EBLn1	WBLn1	SBLn1
Vol Left, %	79%	0%	2%	62%	16%
Vol Thru, %	21%	0%	66%	36%	64%
Vol Right, %	0%	100%	33%	2%	20%
Sign Control	Stop	Stop	Stop	Stop	Stop
Traffic Vol by Lane	72	224	200	308	44
LT Vol	57	0	4	191	7
Through Vol	15	0	131	111	28
RT Vol	0	224	65	6	9
Lane Flow Rate	78	243	217	335	48
Geometry Grp	7	7	2	2	5
Degree of Util (X)	0.141	0.364	0.318	0.5	0.08
Departure Headway (Hd)	6.494	5.382	5.267	5.376	6.003
Convergence, Y/N	Yes	Yes	Yes	Yes	Yes
Cap	553	667	683	670	595
Service Time	4.231	3.119	3.306	3.411	4.056
HCM Lane V/C Ratio	0.141	0.364	0.318	0.5	0.081
HCM Control Delay	10.3	11.2	10.8	13.7	9.6
HCM Lane LOS	В	В	В	В	A
HCM 95th-tile Q	0.5	1.7	1.4	2.8	0.3

Synchro 10 Report Page 1 TPD, Inc. 06/14/2021

T												
Intersection	10.5											
Int Delay, s/veh	10.5											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		A.			AT.		-	T.		*	T.	
Traffic Vol, veh/h	49	28	69	121	23	39	25	233	134	37	280	25
Future Vol, veh/h	49	28	69	121	23	39	25	233	134	37	280	25
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	355	-	-	355	-	-
Veh in Median Storage	e,# -	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	94	94	94	94	94	94	94	94	94	94	94	94
Heavy Vehicles, %	5	2	2	3	2	2	18	4	6	2	3	5
Mvmt Flow	52	30	73	129	24	41	27	248	143	39	298	27
Major/Minor	Minor2			Minor1			Major1			Major2		
Conflicting Flow All	796	835	312	815	777	320	325	0	0	391	0	0
Stage 1	390	390	-	374	374	-	-	-	-	-	-	-
Stage 2	406	445	_	441	403	-	-	_	-	-	_	_
Critical Hdwy	7.15	6.52	6.22	7.13	6.52	6.22	4.28	-	-	4.12	_	-
Critical Hdwy Stg 1	6.15	5.52	-	6.13	5.52	-	-	-	-		-	-
Critical Hdwy Stg 2	6.15	5.52	_	6.13	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.545	4.018	3.318	3.527	4.018	3.318	2.362	-	-	2.218	-	-
Pot Cap-1 Maneuver	301	304	728	295	328	721	1150	-	-	1168	-	-
Ŝtage 1	628	608	-	645	618	-	-	-	-	-	-	-
Stage 2	616	575	-	593	600	-	-	-	-	-	-	-
Platoon blocked, %								-	-		-	-
Mov Cap-1 Maneuver	255	287	728	234	310	721	1150	-	-	1168	-	-
Mov Cap-2 Maneuver	255	287	-	234	310	-	-	-	-	-	-	-
Stage 1	614	588	-	630	604	-	-	-	-	-	-	-
Stage 2	544	562	-	489	580	-	-	-	-	-	-	-
Approach	EB			WB			NB			SB		
HCM Control Delay, s	20.9			41.3			0.5			0.9		
HCM LOS	20.9 C			41.5 E			0.0			0.0		
TIOM LOO				E								
Minor Long /Material	-4	NIDI	NDT	MDD	DDI 11	VDI 1	CDI	СРТ	CDD			
Minor Lane/Major Mvn	It	NBL	NBT		EBLn1V		SBL	SBT	SBR			
Capacity (veh/h)		1150	-	-	380	284	1168	-	-			
HCM Cart ID 1		0.023	-	-	0.409	0.685	0.034	-	-			
HCM Long LOS		8.2	-	-	20.9	41.3	8.2	-	-			
HCM Lane LOS	,	A 0.1	-	-	C 1.9	E 4.6	A	-	-			
HCM 95th %tile Q(veh	l)	0.1	-	-	1.9	4.6	0.1	-	-			

	٠	→	•	1	1	•	1	†	1	1	ļ	1
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations	1	To		*	T.		*	Ta		1	Ta	
Traffic Volume (veh/h)	112	134	80	12	120	23	63	161	19	30	156	128
Future Volume (veh/h)	112	134	80	12	120	23	63	161	19	30	156	128
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach		No			No			No			No	
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	122	146	87	13	130	25	68	175	21	33	170	139
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	354	231	138	262	221	42	357	489	59	449	259	212
Arrive On Green	0.08	0.21	0.21	0.02	0.14	0.14	0.06	0.30	0.30	0.04	0.27	0.27
Sat Flow, veh/h	1781	1098	654	1781	1524	293	1781	1638	197	1781	952	778
Grp Volume(v), veh/h	122	0	233	13	0	155	68	0	196	33	0	309
Grp Sat Flow(s), veh/h/ln	1781	0	1753	1781	0	1818	1781	0	1835	1781	0	1730
Q Serve(g_s), s	3.1	0.0	6.7	0.3	0.0	4.4	1.5	0.0	4.6	0.7	0.0	8.7
Cycle Q Clear(g_c), s	3.1	0.0	6.7	0.3	0.0	4.4	1.5	0.0	4.6	0.7	0.0	8.7
Prop In Lane	1.00		0.37	1.00		0.16	1.00		0.11	1.00		0.45
Lane Grp Cap(c), veh/h	354	0	369	262	0	263	357	0	547	449	0	471
V/C Ratio(X)	0.34	0.00	0.63	0.05	0.00	0.59	0.19	0.00	0.36	0.07	0.00	0.66
Avail Cap(c_a), veh/h	505	0	439	530	0	455	540	0	1454	679	0	1371
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	18.0	0.0	19.8	19.6	0.0	22.0	13.6	0.0	15.2	13.5	0.0	17.8
Incr Delay (d2), s/veh	0.6	0.0	2.2	0.1	0.0	2.1	0.3	0.0	0.4	0.1	0.0	1.6
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.2	0.0	2.7	0.1	0.0	1.9	0.5	0.0	1.8	0.3	0.0	3.3
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	18.5	0.0	22.0	19.7	0.0	24.1	13.8	0.0	15.6	13.6	0.0	19.4
LnGrp LOS	В	A	С	В	A	С	В	A	В	В	A	В
Approach Vol, veh/h		355			168			264			342	
Approach Delay, s/veh		20.8			23.8			15.1			18.8	
Approach LOS		С			С			В			В	
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	7.9	22.8	10.3	14.2	9.3	21.3	6.7	17.8				
Change Period (Y+Rc), s	5.9	* 6.3	5.9	* 6.2	6.1	* 6.3	* 5.8	* 6.2				
Max Green Setting (Gmax), s	9.1	* 44	9.1	* 14	8.9	* 44	* 9.2	* 14				
Max Q Clear Time (g_c+I1), s	2.7	6.6	5.1	6.4	3.5	10.7	2.3	8.7				
Green Ext Time (p_c), s	0.0	1.2	0.1	0.4	0.0	2.1	0.0	0.6				
Intersection Summary												
HCM 6th Ctrl Delay			19.3									
HCM 6th LOS			В									

User approved pedestrian interval to be less than phase max green.
* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.



owner to submit application.

City of Fruitland Park, Florida Community Development Department

City of Fruitland Park 506 W. Berckman St., Fruitland Park, Florida 34731 Tel: (352) 360-6727 Fax: (352) 360-6652 www.fruitlandpark.org

	Sta	Use Only	
Case No.:			
Fee Paid:			
Receipt No.: _			

	Develop	ment	Application						
Contact Information:									
	Owner Name: Rufus M. Holloway Jr								
Address: 1616 Lake Shore Drive, Orlando, FL 32803 Phone: Email:									
Phone: Email: Applicant Name: Park Square Homes - Suresh Gupta									
• •	iare Homes - Suresh Gupta Road, Suite 200, Orlando, FL (22811							
Phone: 407-529-3043			parksquarehomes.co	om					
Engineer Name: Halff Associates, Inc Charles C. Hiott									
Address: 902 N. Sinclair Ave., Tavares, FL 32778									
Phone: 352-343-8481 Email: chiott@halff.com									
Property and Project Inform	aation:								
5	nation. Quare Homes Fruitland Park F	Phase 1							
	submissions. Please choose a name repr		of the project for ease of refere	nce.					
Property Address: Urick St	reet								
Parcel Number(s): 1289866, 1289874, 1289904, 1430411, 1639808, 1699959, 1772435, 3540468, 3691334, 39000702 Section: 16 / 9 Township: 19 Range 24									
Area of Property: 177.7 acres (68.77 - Phase 1) Nearest Intersection: Thomas Avenue and Urick Street									
Existing Zoning: MUPUD		Existing	Future Land Use Design	ation: Mixe	ed Use				
Proposed Zoning: MUPUE)	Propose	d Future Land Use Desig	nation: M	lixed Use				
The property is presently us	sed for: Agriculture								
The property is proposed to	o be used for: 163 lot subdivisio	on							
Do you currently have City	Utilities? yes				· · · · · · · · · · · · · · · · · · ·				
Application Type:									
Annexation	Comp Plan Amendment		Rezoning		☐ Planned Development				
Variance	Special Exception Use		Conditional Use Per	mit	Final Plat				
Minor Lot Split	✓ Preliminary Plan		Construction Plan		ROW/Plat Vacate				
Site Plan	Minor Site Plan		Replat of Subdivisio	n					
Please describe your reque	st in detail: Construct 163 sir	ngle fami	ily lot subdivision						
Required Data, Documents, Forms & Fees Attached to this application is a list of REQUIRED data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package INCOMPLETE and will not be processed for review.									
Printed Name: Suresh	Supta /				r 1				
Signature:			Date	e:	1/2021				
If application is being submitt	ed by any person other than the legs	al ownor(s)	of the property the applic	cant must b	ava written authorization from the				

Development Application Checklist The Following are Required for ALL Development Applications: Legal Description (Word file req'd) Current Deed ☐ Aerial Photo Property Appraiser Information ☐ Electronic Copy of Application ☐ Location Map Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through www.lakecountyfl.gov/maps/. Note: All maps are required to depict adjacent properties at a minimum. Failure to provide adequate maps may delay the application process. Other Required Analyses and Maps: Small Scale Comprehensive Plan Amendment Applications: ☐ Justification for Amendment ☐ Environmental Constraints Map ☐ Requested FLU Map Large Scale Comprehensive Plan Amendment Applications: Maps: ☐ Environmental Constraints ☐ Soils ☐ Requested FLUM Designation ☐ Requested Zoning Map Designation ☐ Traffic Impact Analysis ☐ Consistency with the Comp Plan ☐ Florida Master Site File sign-off or Archaeological Survey Rezoning Applications: Requested Zoning Map ☐ Justification for Rezoning **Planned Development Applications:** Maps/Plans: Conceptual Plan as Described in LDRs Chapter 154, ☐ Environmental Constraints Section 154.030,10,G ☐ Traffic Impact Analysis Preliminary Concurrency Analysis Variance Applications: ☐ Justification for Variance Special Exception Use Applications: ☐ Justification for Special Exception Use Site Sketch List of Special Requirements as Described in LDRs, Chapter 155 Conditional Use Permit Applications: Proposed List of Conditions and Safeguards Site Plan as Described in LDRs, Chapter 155 Written Statement as Described in LDRs, Chapter 155 **Subdivision Applications:** As Described in LDRs, Chapter 157 (Preliminary Plan, Improvement Plan and Final Plat) Minor Subdivision Applications: As Described in LDRs, Chapter 157 Site Plan Applications:

As Described in LDRs, Chapter 160

APPLICANT AFFIDAVIT

STATE OF FLORIDA COUNTY OF LAKE

	Before me the undersigned authority, personally appeared Suresh Gupta
	, who being by me first duly sworn on oath deposes and says:
1)	That he/she affirms and certifies that he/she understandings and will comply with all ordinances, regulations, and provisions of the City of Fruitland Park, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his/her knowledge and belief, and further that this application and attachments shall become part of the Official Records of the City of Fruitland Park, Florida, and are not returnable.
2)	That the submittal requirements for the application have been completed and attached hereto as part of that application.
3)	That he/she desires to allow
	Affiant (Applicant's Signature) State of Florida County of Orange
	The Foregoing instrument was acknowledged before me this
	Commission No HH 111611 Signature
	My Commission Expires 5/10/2025 Judith Combs Printed Name

OWNER'S AFFIDAVIT

STATE OF FLORIDA

COUNTY OF LAKE

	Before me the undersigned authority, personally appeared Rufus M. Holloway Jr
	, who being by me first duly sworn on oath deposes and says:
1)	That he/she is the fee-simple owner of the property legally described on attached page of this application.
2)	That he/she desires to allow_Suresh Gupta
	to act as Agent and/or Applicant in their behalf
3)	That he/she has appointed to act as agent on his/her
	behalf to accomplish the above. The owner is required to complete the Applicant's Affidavit of this
	application if no agent is appointed to act on his/her behalf.
	Affiant (Owner's Signature)
	Tithan (Owner o Signature)
	State of Florida
	County of halle
	The Foregoing instrument was acknowledged before me this day of September 20 21, by Rufus M. Holloway JR who is personally known to me or has produced as identification and who did or did not take an oath (Notary Seal)
	Notary Public - State of Florida Commission No HH108308 My Commission Expires June 20, 2025 My M. Spires Printed Name Printed Name

General Information

Name:	HOLLOWAY RUFUS M JR TRUSTEE	Alternate Key:	1289866
Mailing Address:	ORLANDO, FL 32803 <u>Update Mailing Address</u>	Parcel Number: 0	16-19-24-0001- 000-00200
		Millage Group and City:	000F (FRUITLAND PARK)
		2020 Total Certified Millage Rate:	17.6785
		Trash/Recycling/Water/Info:	My Public Services Map 1
Property Location:	WILDER ST LEESBURG FL 34748 Update Property Location 1	Property Name:	 Submit Property Name 1
		School Information:	School Locator & Bus Stop Map School Boundary Maps
Property Description:	N 726 FT OF W 1/2 OF NE ORB 2463 PG 50	1/4 OF NE 1/4	

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Lin	e Land Use	Frontage	Depth	Notes	No. Units	Туре	Class Value	Land Value
1	NATIVE PASTURE 1 (6500)	0	0	CATTLE	10	AC	\$1,500.00	\$130,000.00
CI	ick here for Zoning Info	<u>)</u>		<u> </u>	EMA F	lood N	<u>lap</u>	

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. Follow this link to search all documents by owner's name.

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
2463 / 50	12/1/2003	Warranty Deed	Qualified	Vacant	\$100,000.00
1462 / 1318	9/1/1996	Warranty Deed	Unqualified	Vacant	\$0.00
1465 / 2485	9/1/1996	Warranty Deed	Unqualified	Vacant	\$0.00
1053 / 951	4/1/1990	Warranty Deed	Qualified	Vacant	\$27,500.00
741 / 2072	1/1/1982	Personal Rep Deed	Unqualified	Vacant	\$1.00
807 / 2457	1/1/1982	Personal Rep Deed	Unqualified	Vacant	\$1.00
Click here to s	search for m	ortgages, liens, and ot	her legal documents.		

Values and Estimated Ad Valorem Taxes o

Values shown below are 2021 WORKING VALUES that are subject to change until certified.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority Market Assessed Taxable Millage Estimated

	-Value	Value	Value		- Taxes
LAKE COUNTY BCC GENERAL FUND	\$130,000	\$1,500	\$1,500	5.03270	\$7.55
LAKE COUNTY MSTU AMBULANCE	\$130,000	\$1,500	\$1,500	0.46290	\$0.69
SCHOOL BOARD STATE	\$130,000	\$1,500	\$1,500	3.70100	\$5.55
SCHOOL BOARD LOCAL	\$130,000	\$1,500	\$1,500	2.99800	\$4.50
CITY OF FRUITLAND PARK	\$130,000	\$1,500	\$1,500	3.91340	\$5.87
ST JOHNS RIVER FL WATER MGMT DIST	\$130,000	\$1,500	\$1,500	0.22870	\$0.34
LAKE COUNTY VOTED DEBT SERVICE	\$130,000	\$1,500	\$1,500	0.11000	\$0.17
LAKE COUNTY WATER AUTHORITY	\$130,000	\$1,500	\$1,500	0.33680	\$0.51
NORTH LAKE HOSPITAL DIST	\$130,000	\$1,500	\$1,500	0.89500	\$1.34
				Total: 17.6785	Total: \$26.52

Exemptions Information

This property is benefitting from the following exemptions with a checkmark \checkmark

Homestead Exemption (first exemption up to \$25,000)	<u>Learn More</u>	View the Law
Additional Homestead Exemption (up to an additional \$25,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	Learn More	View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<u>Learn More</u>	View the Law
Widow / Widower Exemption (up to \$500)	Learn More	View the Law
Blind Exemption (up to \$500)	Learn More	View the Law
Disability Exemption (up to \$500)	Learn More	View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Veteran's Disability Exemption (\$5000)	Learn More	View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More	View the Law
Deployed Servicemember Exemption (amount varies)	Learn More	View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More	View the Law
Conservation Exemption (amount varies)	Learn More	View the Law
Tangible Personal Property Exemption (up to \$25,000)	<u>Learn More</u>	View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)		<u>View the Law</u>
Economic Development Exemption	Learn More	View the Law
Government Exemption (amount varies)	<u>Learn More</u>	View the Law

Exemption Savings 0

The exemptions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$0.00

Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark \checkmark

Save Our Homes Assessment Limitation (3% assessed value cap)	<u>Learn More</u> <u>View the Law</u>
Save Our Homes Assessment Transfer (Portability)	<u>Learn More</u> <u>View the Law</u>
Non-Homestead Assessment Limitation (10% assessed value cap)	<u>Learn More</u> <u>View the Law</u>
Conservation Classification Assessment Limitation	<u>Learn More</u> <u>View the Law</u>
✓ Agricultural Classification	<u>Learn More</u> <u>View the Law</u>

Assessment Reduction Savings o

The assessment reductions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$2,271.69

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted Site Notice.

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Property data last updated on January 18, 2021.

Site Notice

General Information

Name:	HOLLOWAY RUFUS M JR TRUSTEE	Alternate Key:	1289874
Mailing Address:	ORLANDO, FL 32803 <u>Update Mailing Address</u>	Parcel Number: 0	16-19-24-0002- 000-00600
		Millage Group and City:	000F (FRUITLAND PARK)
		2020 Total Certified Millage Rate:	17.6785
		Trash/Recycling/Water/Info:	My Public Services Map 1
Property Location:	COUNTY ROAD 468 LEESBURG FL 34748 Update Property Location	Property Name:	 Submit Property Name 1
		School Information:	School Locator & Bus Stop Map (1) School Boundary Maps (1)
Property Description:	E 756 FT OF N 1/4 OF NE ORB 4998 PG 1829 ORB 4		,

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Туре	Class Value	Land Value
1	TIMBER S I 70 (5400)	0	0	TIMBER	5.73	AC	\$2,006.00	\$74,490.00
Cli	ck here for Zoning Ir	nfo 0	FEMA Flood Map					

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. Follow this link to search all documents by owner's name..

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
4999 / 1968	9/7/2017	Warranty Deed	Unqualified	Vacant	\$100.00
4998 / 1829	9/6/2017	Warranty Deed	Unqualified	Vacant	\$100.00
2710 / 656	10/1/2004	Warranty Deed	Qualified	Vacant	\$50,000.00
2252 / 1986	1/29/2003	Warranty Deed	Qualified	Improved	\$200,000.00
1017 / 1895	6/1/1989	Warranty Deed	Qualified	Improved	\$125,000.00
Click here to s	earch for mo	<u>ortgages, liens, and</u>	d other legal documents.		

Values and Estimated Ad Valorem Taxes o

Values shown below are 2021 WORKING VALUES that are subject to change until certified.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$74,490	\$2,006	\$2,006	5.03270	\$10.10

17.6785

				Total:	Total: \$35.47
NORTH LAKE HOSPITAL DIST	\$74,490	\$2,006	\$2,006	0.89500	\$1.80
LAKE COUNTY WATER AUTHORITY	\$74,490	\$2,006	\$2,006	0.33680	\$0.68
LAKE COUNTY VOTED DEBT SERVICE	\$74,490	\$2,006	\$2,006	0.11000	\$0.22
ST JOHNS RIVER FL WATER MGMT DIST	\$74,490	\$2,006	\$2,006	0.22870	\$0.46
CITY OF FRUITLAND PARK	\$74,490	\$2,006	\$2,006	3.91340	\$7.85
SCHOOL BOARD LOCAL	\$74,490	\$2,006	\$2,006	2.99800	\$6.01
SCHOOL BOARD STATE	\$74,490	\$2,006	\$2,006	3.70100	\$7.42
LAKE COUNTY MSTU AMBULANCE	\$74,490	\$2,006	\$2,006	0.46290	\$0.93

Exemptions Information

This property is benefitting from the following exemptions with a checkmark $\sqrt{\ }$

Homestead Exemption (first exemption up to \$25,000)	<u>Learn More</u>	View the Law
Additional Homestead Exemption (up to an additional \$25,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<u> Learn More</u>	View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More	View the Law
Widow / Widower Exemption (up to \$500)	<u>Learn More</u>	View the Law
Blind Exemption (up to \$500)	<u>Learn More</u>	View the Law
Disability Exemption (up to \$500)	<u>Learn More</u>	View the Law
Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Veteran's Disability Exemption (\$5000)	<u>Learn More</u>	View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Veteran's Combat Related Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Deployed Servicemember Exemption (amount varies)	<u>Learn More</u>	View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Surviving Spouse of First Responder Exemption (amount varies)	<u>Learn More</u>	View the Law
Conservation Exemption (amount varies)	<u>Learn More</u>	View the Law
Tangible Personal Property Exemption (up to \$25,000)	<u>Learn More</u>	View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amounvaries)		View the Law
Economic Development Exemption	<u>Learn More</u>	View the Law
Government Exemption (amount varies)	<u>Learn More</u>	View the Law

Exemption Savings •

The exemptions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$0.00

Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark √

Save Our Homes Assessment Limitation (3% assessed value cap)	<u>Learn More</u> <u>View the Law</u>
Save Our Homes Assessment Transfer (Portability)	<u>Learn More</u> <u>View the Law</u>
Non-Homestead Assessment Limitation (10% assessed value cap)	<u>Learn More</u> <u>View the Law</u>
Conservation Classification Assessment Limitation	<u>Learn More</u> <u>View the Law</u>
✓ Agricultural Classification	<u>Learn More</u> <u>View the Law</u>

Assessment Reduction Savings o

The assessment reductions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$1,281.41

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Property data last updated on January 18, 2021.
Site Notice

General Information

Name:	LEESBURG FRUIT CO INC	Alternate Key:	1289904
Mailing Address:	161 LAKE SHORE DR	Parcel Number: 0	16-19-24-0002-000- 01300
	ORLANDO, FL 32803 <u>Update Mailing</u> <u>Address</u>	Millage Group and City:	0001 (UNINCORPORATED)
		2020 Total Certified Millage Rate:	14.7312
		Trash/Recycling/Water/Info:	My Public Services Map 0
Property Location:	COUNTY ROAD 488 LEESBURG FL 34788 Update Property Location 1	Property Name:	 Submit Property Name
		School Information:	School Locator & Bus Stop Map () School Boundary Maps ()
Property Description:	S 50 FT OF NE 1/4 ORB 5036 PG 393	OF NW 1/4	

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Land Data

Lin	e Land Use	Frontage	Depth	Notes	No. Units	Туре	Class Value	Land Value
1	PASTURE IMPROVED HAY AVERAGE (6300)	0	0	CATTLE	1.48	AC	\$518.00	\$19,240.00
CI	ick here for Zoning Info			FEMA I	lood	<u>Map</u>		

Miscellaneous Improvements

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. Follow this link to search all documents by owner's name..

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price		
5036 / 393	11/13/2017	Quit Claim Deed	Unqualified	Vacant	\$100.00		
1006 / 1006	3/6/1989	Warranty Deed	Unqualified	Vacant	\$0.00		
985 / 1842	10/1/1988	Warranty Deed	Multi-Parcel	Vacant	\$1.00		
555 / 987	1/1/1974	Misc Deed/Document	Qualified	Vacant	\$103,200.00		
Click here to search for mortgages, liens, and other legal documents. 🕡							

Values and Estimated Ad Valorem Taxes o

Values shown below are 2021 WORKING VALUES that are subject to change until certified.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL	\$19,240	\$518	\$518	5.03270	\$2.61

FUND					
LAKE COUNTY MSTU AMBULANCE	\$19,240	\$518	\$518	0.46290	\$0.24
LAKE COUNTY MSTU FIRE	\$19,240	\$518	\$518	0.47040	\$0.24
SCHOOL BOARD STATE	\$19,240	\$518	\$518	3.70100	\$1.92
SCHOOL BOARD LOCAL	\$19,240	\$518	\$518	2.99800	\$1.55
LAKE COUNTY MSTU STORMWATER	\$19,240	\$518	\$518	0.49570	\$0.26
ST JOHNS RIVER FL WATER MGMT DIST	\$19,240	\$518	\$518	0.22870	\$0.12
LAKE COUNTY VOTED DEBT SERVICE	\$19,240	\$518	\$518	0.11000	\$0.06
LAKE COUNTY WATER AUTHORITY	\$19,240	\$518	\$518	0.33680	\$0.17
NORTH LAKE HOSPITAL DIST	\$19,240	\$518	\$518	0.89500	\$0.46
				Total: 14.7312	Total: \$7.63

Exemptions Information

This property is benefitting from the following exemptions with a checkmark $\sqrt{\ }$

Homestead Exemption (first exemption up to \$25,000)	<u>Learn More</u>	View the Law
Additional Homestead Exemption (up to an additional \$25,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000) \P	Learn More	View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More	View the Law
Widow / Widower Exemption (up to \$500)	Learn More	View the Law
Blind Exemption (up to \$500)	Learn More	View the Law
Disability Exemption (up to \$500)	Learn More	View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Veteran's Disability Exemption (\$5000)	Learn More	View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More	View the Law
Deployed Servicemember Exemption (amount varies)	Learn More	View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More	View the Law
Conservation Exemption (amount varies)	Learn More	View the Law
Tangible Personal Property Exemption (up to \$25,000)	Learn More	View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)		View the Law
Economic Development Exemption	<u>Learn More</u>	View the Law
Government Exemption (amount varies)	<u>Learn More</u>	View the Law

Exemption Savings •

The exemptions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$0.00

Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark \checkmark

Save Our Homes Assessment Limitation (3% assessed value cap)	<u>Learn More</u> <u>View the Law</u>
Save Our Homes Assessment Transfer (Portability)	<u>Learn More</u> <u>View the Law</u>
Non-Homestead Assessment Limitation (10% assessed value cap)	Learn More View the Law
Conservation Classification Assessment Limitation	Learn More View the Law
√ Agricultural Classification	Learn More View the Law

Assessment Reduction Savings o

The assessment reductions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$275.80

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Property data last updated on January 18, 2021.

Site Notice

General Information

Name:	LEESBURG FRUIT COMPANY INC	Alternate Key:	1430411
Mailing Address:	1616 LAKE SHORE DR ORLANDO, FL 32803-	Parcel Number: 0	09-19-24-0400- 046-00000
	1307 <u>Update Mailing Address</u>	Millage Group and City:	000F (FRUITLAND PARK)
		2020 Total Certified Millage Rate:	17.6785
		Trash/Recycling/Water/Info:	My Public Services Map 0
Property Location:	_ · · · · ·		 Submit Property Name 1
	Update Property Location	School Information:	School Locator & Bus Stop Map School Boundary Maps
Property Description:		SW COR BLK 46, E 400 FT, N LINE BLK 46, W TO NW COR	

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Туре	Class Value	Land Value
1	TIMBER S I 70 (5400)	0	0		9.3	AC	\$3,255.00	\$120,900.00
Click here for Zoning Info					<u>FEMA</u> I	Flood	<u>Map</u>	

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. Follow this link to search all documents by owner's name.

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
737 / 1771	11/1/1981	Warranty Deed	Unqualified	Vacant	\$1.00
Click here to s	search for mo				

Values and Estimated Ad Valorem Taxes o

Values shown below are 2021 WORKING VALUES that are subject to change until certified.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$120,900	\$3,255	\$3,255	5.03270	\$16.38
LAKE COUNTY MSTU AMBULANCE	\$120,900	\$3,255	\$3,255	0.46290	\$1.51

				Total: 17.6785	Total: \$57.55
NORTH LAKE HOSPITAL DIST	\$120,900	\$3,255	\$3,255	0.89500	\$2.91
LAKE COUNTY WATER AUTHORITY	\$120,900	\$3,255	\$3,255	0.33680	\$1.10
LAKE COUNTY VOTED DEBT SERVICE	\$120,900	\$3,255	\$3,255	0.11000	\$0.36
ST JOHNS RIVER FL WATER MGMT DIST	\$120,900	\$3,255	\$3,255	0.22870	\$0.74
CITY OF FRUITLAND PARK	\$120,900	\$3,255	\$3,255	3.91340	\$12.74
SCHOOL BOARD LOCAL	\$120,900	\$3,255	\$3,255	2.99800	\$9.76
SCHOOL BOARD STATE	\$120,900	\$3,255	\$3,255	3.70100	\$12.05
				,	,

Exemptions Information

This property is benefitting from the following exemptions with a checkmark $\sqrt{\ }$

Homestead Exemption (first exemption up to \$25,000)	<u>Learn More</u>	View the Law
Additional Homestead Exemption (up to an additional \$25,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	Learn More	View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<u>Learn More</u>	View the Law
Widow / Widower Exemption (up to \$500)	Learn More	View the Law
Blind Exemption (up to \$500)	Learn More	View the Law
Disability Exemption (up to \$500)	Learn More	View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Veteran's Disability Exemption (\$5000)	Learn More	View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Veteran's Combat Related Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Deployed Servicemember Exemption (amount varies)	<u>Learn More</u>	View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Surviving Spouse of First Responder Exemption (amount varies)	<u>Learn More</u>	View the Law
Conservation Exemption (amount varies)	<u>Learn More</u>	View the Law
Tangible Personal Property Exemption (up to \$25,000)	<u>Learn More</u>	View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)		View the Law
Economic Development Exemption	<u>Learn More</u>	View the Law
Government Exemption (amount varies)	Learn More	View the Law

Exemption Savings 0

The exemptions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$0.00

Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark \checkmark

Save Our Homes Assessment Limitation (3% assessed value cap)	Learn More View the Law
Save Our Homes Assessment Transfer (Portability)	<u>Learn More</u> <u>View the Law</u>

	Non-Homestead Assessment Limitation (10% assessed value cap)	<u>Learn More</u>	View the Law
	Conservation Classification Assessment Limitation	Learn More	View the Law
√	Agricultural Classification	Learn More	View the Law

Assessment Reduction Savings o

The assessment reductions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$2,079.79

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Site Notice

General Information

Name:	RUFUS M HOLLOWAY JR FAMILY TRUST	Alternate Key:	1639808		
Mailing Address:	1616 LAKE SHORE DR ORLANDO, FL 32803 <u>Update Mailing Address</u>	Parcel Number: 0	09-19-24- 0400-046- 00002		
		Millage Group and City:	000F (FRUITLAND PARK)		
		2020 Total Certified Millage Rate:	17.6785		
		Trash/Recycling/Water/Info:	My Public Services Map 1		
Property Location:	WILDER ST FRUITLAND PARK FL 34731 Update Property Location ()	Property Name:	 Submit Property Name		
		School Information:	School Locator & Bus Stop Map School Boundary Maps		
FRUITLAND PARK FROM SW COR OF BLK 46 RUN S 89DEG 43MIN 16SEC E 400 FT, N 00DEG 26MIN 56SEC E 582.55 FT, E 36 FT, N 396.36 FT TO N LINE OF BLK 46, E ALONG SAID N LINE OF BLK 46 A DIST OF 400 FT FOR POB, RUN S 00DEG 26MIN 10SEC W 489 FT, S 89DEG 30MIN 00SEC E 448.9 FT TO E LINE OF BLK 46, N 00DEG 26MIN 10SEC E ALONG SAID E LINE OF BLK 46 TO N LINE OF BLK 46, W TO POB PB 3 PG 8-9 ORB 4647 PG 957 ORB 5598 PG 2322					

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Туре	Class Value	Land Value
1	TIMBER S I 70 (5400)	0	0	STEWARD	5.04	AC	\$1,764.00	\$65,520.00
Clic	ck here for Zoning li	nfo 0			FEMA FI	ood N	<u>lap</u>	

Miscellaneous Improvements

There is	no improvem	ent information	on to	display.
11161613		iciil iiiioiiiiali	JII W	uioniav.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. Follow this link to search all documents by owner's name.

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
5598 / 2322	12/9/2020	Quit Claim Deed	Multi-Parcel	Vacant	\$100.00
4647 / 957	6/25/2015	Warranty Deed	Multi-Parcel	Vacant	\$142,000.00
2045 / 712	12/18/2001	Warranty Deed	Multi-Parcel	Vacant	\$1.00
1102 / 2465	3/1/1991	Warranty Deed	Multi-Parcel	Vacant	\$1.00
1102 / 2467	3/1/1991	Warranty Deed	Multi-Parcel	Vacant	\$1.00
		-			

Click here to search for mortgages, liens, and other legal documents.

Values and Estimated Ad Valorem Taxes o

Values shown below are 2021 WORKING VALUES that are subject to change until certified.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$65,520	\$1,764	\$1,764	5.03270	\$8.88
LAKE COUNTY MSTU AMBULANCE	\$65,520	\$1,764	\$1,764	0.46290	\$0.82
SCHOOL BOARD STATE	\$65,520	\$1,764	\$1,764	3.70100	\$6.53
SCHOOL BOARD LOCAL	\$65,520	\$1,764	\$1,764	2.99800	\$5.29
CITY OF FRUITLAND PARK	\$65,520	\$1,764	\$1,764	3.91340	\$6.90
ST JOHNS RIVER FL WATER MGMT DIST	\$65,520	\$1,764	\$1,764	0.22870	\$0.40
LAKE COUNTY VOTED DEBT SERVICE	\$65,520	\$1,764	\$1,764	0.11000	\$0.19
LAKE COUNTY WATER AUTHORITY	\$65,520	\$1,764	\$1,764	0.33680	\$0.59
NORTH LAKE HOSPITAL DIST	\$65,520	\$1,764	\$1,764	0.89500	\$1.58
				Total: 17.6785	Total: \$31.1

Exemptions Information

This property is benefitting from the following exemptions with a checkmark $\sqrt{\ }$

Homestead Exemption (first exemption up to \$25,000)	<u>Learn More</u>	View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More	View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<u> Learn More</u>	<u>View the Law</u>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More	View the Law
Widow / Widower Exemption (up to \$500)	<u>Learn More</u>	View the Law
Blind Exemption (up to \$500)	<u>Learn More</u>	View the Law
Disability Exemption (up to \$500)	<u>Learn More</u>	<u>View the Law</u>
Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Veteran's Disability Exemption (\$5000)	Learn More	View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More	View the Law
Deployed Servicemember Exemption (amount varies)	Learn More	View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Surviving Spouse of First Responder Exemption (amount varies)	<u>Learn More</u>	View the Law
Conservation Exemption (amount varies)	<u>Learn More</u>	View the Law
Tangible Personal Property Exemption (up to \$25,000)	<u>Learn More</u>	View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amounvaries)		<u>View the Law</u>
Economic Development Exemption	Learn More	View the Law
Government Exemption (amount varies)	<u>Learn More</u>	View the Law

Exemption Savings 0

The exemptions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$0.00

Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark \checkmark

Save Our Homes Assessment Limitation (3% assessed value cap)	<u>Learn More</u> <u>View the Law</u>
Save Our Homes Assessment Transfer (Portability)	<u>Learn More</u> <u>View the Law</u>
Non-Homestead Assessment Limitation (10% assessed value cap)	<u>Learn More</u> <u>View the Law</u>
Conservation Classification Assessment Limitation	Learn More View the Law
√ Agricultural Classification	<u>Learn More</u> <u>View the Law</u>

Assessment Reduction Savings o

The assessment reductions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$1,127.11

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted Site Notice.

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Site Notice

General Information

Name:	LEESBURG FRUIT COMPANY INC	Alternate Key:	1699959
Mailing Address:	1616 LAKE SHORE DR ORLANDO, FL 32803-	Parcel Number: 0	16-19-24-0001- 000-00400
	1307 <u>Update Mailing Address</u>	Millage Group and City:	000F (FRUITLAND PARK)
		2020 Total Certified Millage Rate:	17.6785
		Trash/Recycling/Water/Info:	My Public Services Map 1
Property Location:	LANDING DR LEESBURG FL 34748 Update Property Location	Property Name:	 Submit Property Name (1)
		School Information:	School Locator & Bus Stop Map () School Boundary Maps ()
Property Description:	N 1/2 OF SE 1/4 OF NE 2 ORB 704 PGS 554 556	1/4	

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Lin	e Land Use	Frontage	Depth	Notes	No. Units	Туре	Class Value	Land Value
1	PASTURE IMPROVED HAY AVERAGE (6300)	0	0	CATTLE	20	AC	\$7,000.00	\$130,000.00
2	NATIVE PASTURE 1 (6500)	0	0	CATTLE	3.36	AC	\$504.00	\$21,840.00
CI	ick here for Zoning Info 0			FEM	A Floo	d Ma	<u>p</u>	

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. Follow this link to search all documents by owner's name.

There is no sales history information to display.

Click here to search for mortgages, liens, and other legal documents.

Values and Estimated Ad Valorem Taxes o

Values shown below are 2021 WORKING VALUES that are subject to change until certified.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$151,840	\$7,504	\$7,504	5.03270	\$37.77
LAKE COUNTY MSTU AMBULANCE	\$151,840	\$7,504	\$7,504	0.46290	\$3.47

				Total: 17.6785	Total: \$132.68
NORTH LAKE HOSPITAL DIST	\$151,840	\$7,504	\$7,504	0.89500	\$6.72
LAKE COUNTY WATER AUTHORITY	\$151,840	\$7,504	\$7,504	0.33680	\$2.53
LAKE COUNTY VOTED DEBT SERVICE	\$151,840	\$7,504	\$7,504	0.11000	\$0.83
ST JOHNS RIVER FL WATER MGMT DIST	\$151,840	\$7,504	\$7,504	0.22870	\$1.72
CITY OF FRUITLAND PARK	\$151,840	\$7,504	\$7,504	3.91340	\$29.37
SCHOOL BOARD LOCAL	\$151,840	\$7,504	\$7,504	2.99800	\$22.50
SCHOOL BOARD STATE	\$151,840	\$7,504	\$7,504	3.70100	\$27.77
2021		rioporty	Dotallo . Lake	County 1 Topoli	y Applaisoi

Exemptions Information

This property is benefitting from the following exemptions with a checkmark $\sqrt{}$

Homestead Exemption (first exemption up to \$25,000)	<u>Learn More</u>	View the Law
Additional Homestead Exemption (up to an additional \$25,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	Learn More	View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<u>Learn More</u>	View the Law
Widow / Widower Exemption (up to \$500)	Learn More	View the Law
Blind Exemption (up to \$500)	Learn More	View the Law
Disability Exemption (up to \$500)	Learn More	View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Veteran's Disability Exemption (\$5000)	Learn More	View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Veteran's Combat Related Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Deployed Servicemember Exemption (amount varies)	<u>Learn More</u>	View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Surviving Spouse of First Responder Exemption (amount varies)	<u>Learn More</u>	View the Law
Conservation Exemption (amount varies)	<u>Learn More</u>	View the Law
Tangible Personal Property Exemption (up to \$25,000)	<u>Learn More</u>	View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)		View the Law
Economic Development Exemption	<u>Learn More</u>	View the Law
Government Exemption (amount varies)	Learn More	View the Law

Exemption Savings 0

The exemptions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$0.00

Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark \checkmark

Save Our Homes Assessment Limitation (3% assessed value cap)	Learn More View the Law
Save Our Homes Assessment Transfer (Portability)	<u>Learn More</u> <u>View the Law</u>

	Non-Homestead Assessment Limitation (10% assessed value cap)	<u>Learn More</u>	View the Law
	Conservation Classification Assessment Limitation	<u>Learn More</u>	View the Law
√	Agricultural Classification	Learn More	View the Law

Assessment Reduction Savings o

The assessment reductions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$2,551.64

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Site Notice

General Information

HOLLOWAY PROPERTIES INC	Alternate Key:	1772435
1616 LAKESHORE DR ORLANDO, FL 32803	Parcel Number: 0	16-19-24-0001- 000-00401
<u>Update Mailing Address</u>	Millage Group and City:	000F (FRUITLAND PARK)
	2020 Total Certified Millage Rate:	17.6785
	Trash/Recycling/Water/Info:	My Public Services Map 1
SILVER POINTE CIR LEESBURG FL 34748 Update Property Location Update Property Location	Property Name:	 Submit Property Name 1
	School Information:	School Locator & Bus Stop Map (1) School Boundary Maps (1)
S 594 FT OF W 1/2 OF ORB 701 PG 775	NE 1/4 OF NE 1/4	1
	PROPERTIES INC 1616 LAKESHORE DR ORLANDO, FL 32803 Update Mailing Address SILVER POINTE CIR LEESBURG FL 34748 Update Property Location S 594 FT OF W 1/2 OF	PROPERTIES INC 1616 LAKESHORE DR ORLANDO, FL 32803 Update Mailing Address Millage Group and City: 2020 Total Certified Millage Rate: Trash/Recycling/Water/Info: SILVER POINTE CIR LEESBURG FL 34748 Update Property Location School Information: S 594 FT OF W 1/2 OF NE 1/4 OF NE 1/4

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Lin	e Land Use	Frontage	Depth	Notes	No. Units	Туре	Class Value	Land Value
1	NATIVE PASTURE 1 (6500)	0	0	CATTLE	10	AC	\$1,500.00	\$130,000.00
CI	ick here for Zoning Info	0		E	EMA Flo	od N	<u>lap</u>	

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. Follow this link to search all documents by owner's name..

There is no sales history information to display.

Click here to search for mortgages, liens, and other legal documents.

Values and Estimated Ad Valorem Taxes o

Values shown below are 2021 WORKING VALUES that are subject to change until certified.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$130,000	\$1,500	\$1,500	5.03270	\$7.55
LAKE COUNTY MSTU AMBULANCE	\$130,000	\$1,500	\$1,500	0.46290	\$0.69
SCHOOL BOARD STATE	\$130,000	\$1,500	\$1,500	3.70100	\$5.55

17.6785

				Total:	Total: \$26.52
NORTH LAKE HOSPITAL DIST	\$130,000	\$1,500	\$1,500	0.89500	\$1.34
LAKE COUNTY WATER AUTHORITY	\$130,000	\$1,500	\$1,500	0.33680	\$0.51
LAKE COUNTY VOTED DEBT SERVICE	\$130,000	\$1,500	\$1,500	0.11000	\$0.17
ST JOHNS RIVER FL WATER MGMT DIST	\$130,000	\$1,500	\$1,500	0.22870	\$0.34
CITY OF FRUITLAND PARK	\$130,000	\$1,500	\$1,500	3.91340	\$5.87
SCHOOL BOARD LOCAL	\$130,000	\$1,500	\$1,500	2.99800	\$4.50

Exemptions Information

This property is benefitting from the following exemptions with a checkmark $\sqrt{\ }$

Homestead Exemption (first exemption up to \$25,000)	<u>Learn More</u>	View the Law
Additional Homestead Exemption (up to an additional \$25,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to county millage - up to		
\$50,000)		View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<u> Learn More</u>	View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<u>Learn More</u>	View the Law
Widow / Widower Exemption (up to \$500)	<u>Learn More</u>	View the Law
Blind Exemption (up to \$500)	<u>Learn More</u>	View the Law
Disability Exemption (up to \$500)	<u>Learn More</u>	View the Law
Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Veteran's Disability Exemption (\$5000)	<u>Learn More</u>	View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Veteran's Combat Related Disability Exemption (amount varies)	<u>Learn More</u>	<u>View the Law</u>
Deployed Servicemember Exemption (amount varies)	<u>Learn More</u>	View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Surviving Spouse of First Responder Exemption (amount varies)	<u>Learn More</u>	View the Law
Conservation Exemption (amount varies)	<u>Learn More</u>	View the Law
Tangible Personal Property Exemption (up to \$25,000)	<u>Learn More</u>	<u>View the Law</u>
Religious, Charitable, Institutional, and Organizational Exemptions (amoun		
varies)	<u>Learn More</u>	<u>View the Law</u>
Economic Development Exemption	<u>Learn More</u>	View the Law
Government Exemption (amount varies)	Learn More	View the Law

Exemption Savings •

The exemptions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$0.00

Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark \checkmark

Save Our Homes Assessment Limitation (3% assessed value cap)	<u>Learn More</u> <u>View the Law</u>
Save Our Homes Assessment Transfer (Portability)	<u>Learn More</u> <u>View the Law</u>
Non-Homestead Assessment Limitation (10% assessed value cap)	<u>Learn More</u> <u>View the Law</u>

Conservation Classification Assessment Limitation

Learn More View the Law

√ Agricultural Classification

Learn More View the Law

Assessment Reduction Savings o

The assessment reductions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$2,271.69

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Site Notice

General Information

Name:	RUFUS M HOLLOWAY JR FAMILY TRUST	Alternate Key:	3540468		
Mailing Address:	1616 LAKE SHORE DR ORLANDO, FL 32803 <u>Update Mailing Address</u>	Parcel Number: 0	09-19-24- 0400-046- 00100		
		Millage Group and City:	00F2 (FRUITLAND PARK)		
		2020 Total Certified Millage Rate:	17.6785		
		Trash/Recycling/Water/Info:	My Public Services Map 10		
Property Location:	WILDER ST FRUITLAND PARK FL 34731 Update Property Location ()	Property Name:	 Submit Property Name 1		
	<u> </u>	School Information:	School Locator & Bus Stop Map School Boundary Maps		
FRUITLAND PARK FROM SW COR OF BLK 46 RUN S 89DEG 43MIN 16SEC E 400 FT FOR POB, RUN N 00DEG 26MIN 56SEC E 342.53 FT, N 89DEG 33MIN 50SEC E 436 FT, N 00DEG 26MIN 10SEC E 140 FT, S 89DEG 30MIN 00SEC E 448.9 FT TO E LINE OF BLK 46, S 00DEG 26MIN 10SEC W 485.8 FT TO S LINE OF BLK 46, N 89DEG 46MIN 00SEC W 884.95 FT TO POB PB 3 PG 8-9 ORB 4647 PG 957 ORB 5598 PG 2322					
NOTE: This property de records of the Lake Cou	89DEG 33MIN 50SEC E 436 FT, N 00DEG 26MIN 10SEC E 140 FT, S 89DEG 30MIN 00SEC E 448.9 FT TO E LINE OF BLK 46, S 00DEG 26MIN 10SEC W 485.8 FT TO S LINE OF BLK 46, N 89DEG 46MIN 00SEC W 884.95 FT TO POB PB 3 PG 8-9				

interpretations of the property description.

Land Data

Lin	e Land Use	Frontage	Depth	Notes	No. Units	Туре	Class Value	Land Value
1	TIMBER S I 70 (5400)	0	0	STEWARD	7.98	AC	\$2,793.00	\$103,740.00
CI	ick here for Zoning I	nfo 0			FEMA FI	ood I	<u>Vlap</u>	

Miscellaneous Improvements

There is no	improvement	information to	diaplay
i nere is no	improvement	information to	display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. Follow this link to search all documents by owner's name.

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price	
5598 / 2322	12/9/2020	Quit Claim Deed	Multi-Parcel	Vacant	\$100.00	
4647 / 957	6/25/2015	Warranty Deed	Multi-Parcel	Vacant	\$142,000.00	
2045 / 712	12/18/2001	Warranty Deed	Multi-Parcel	Vacant	\$124,800.00	
Click here to search for mortgages, liens, and other legal documents.						

Values and Estimated Ad Valorem Taxes o

Values shown below are 2021 WORKING VALUES that are subject to change until certified.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$103,740	\$2,793	\$2,793	5.03270	\$14.06
LAKE COUNTY MSTU AMBULANCE	\$103,740	\$2,793	\$2,793	0.46290	\$1.29
SCHOOL BOARD STATE	\$103,740	\$2,793	\$2,793	3.70100	\$10.34
SCHOOL BOARD LOCAL	\$103,740	\$2,793	\$2,793	2.99800	\$8.37
CITY OF FRUITLAND PARK	\$103,740	\$2,793	\$2,793	3.91340	\$10.93
ST JOHNS RIVER FL WATER MGMT DIST	\$103,740	\$2,793	\$2,793	0.22870	\$0.64
LAKE COUNTY VOTED DEBT SERVICE	\$103,740	\$2,793	\$2,793	0.11000	\$0.31
LAKE COUNTY WATER AUTHORITY	\$103,740	\$2,793	\$2,793	0.33680	\$0.94
NORTH LAKE HOSPITAL DIST	\$103,740	\$2,793	\$2,793	0.89500	\$2.50
				Total:	Total: \$49.3

Exemptions Information

This property is benefitting from the following exemptions with a checkmark $\sqrt{\ }$

Homestead Exemption (first exemption up to \$25,000)	<u>Learn More</u>	View the Law
Additional Homestead Exemption (up to an additional \$25,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<u> Learn More</u>	View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)		View the Law
Widow / Widower Exemption (up to \$500)	<u>Learn More</u>	View the Law
Blind Exemption (up to \$500)	<u>Learn More</u>	View the Law
Disability Exemption (up to \$500)	<u>Learn More</u>	View the Law
Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Veteran's Disability Exemption (\$5000)	<u>Learn More</u>	View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Veteran's Combat Related Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Deployed Servicemember Exemption (amount varies)	<u>Learn More</u>	View the Law
First Responder Total and Permanent Disability Exemption (amount varies) <u>Learn More</u>	View the Law
Surviving Spouse of First Responder Exemption (amount varies)	<u>Learn More</u>	View the Law
Conservation Exemption (amount varies)	<u>Learn More</u>	View the Law
Tangible Personal Property Exemption (up to \$25,000)	<u>Learn More</u>	View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amoun varies)		View the Law
Economic Development Exemption	<u>Learn More</u>	View the Law
Government Exemption (amount varies)	Learn More	View the Law

Exemption Savings 0

The exemptions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$0.00

Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark \checkmark

Save Our Homes Assessment Limitation (3% assessed value cap)	<u>Learn More</u> <u>View the Law</u>
Save Our Homes Assessment Transfer (Portability)	<u>Learn More</u> <u>View the Law</u>
Non-Homestead Assessment Limitation (10% assessed value cap)	<u>Learn More</u> <u>View the Law</u>
Conservation Classification Assessment Limitation	<u>Learn More</u> <u>View the Law</u>
✓ Agricultural Classification	Learn More View the Law

Assessment Reduction Savings o

The assessment reductions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$1,784.59

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted Site Notice.

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Property data last updated on January 18, 2021.

Site Notice

PROPERTY RECORD CARD

General Information

Name:	HOLLOWAY RUFUS M JR TRUSTEE	Alternate Key:	3691334			
Mailing Address:	1616 LAKESHORE DR ORLANDO, FL 32803	Parcel Number: 0	16-19-24-0002- 000-05400			
	<u>Update Mailing Address</u>	Millage Group and City:	000F (FRUITLAND PARK)			
		2020 Total Certified Millage Rate:	17.6785			
		Trash/Recycling/Water/Info:	My Public Services Map 1			
Property Location:	COUNTY ROAD 468 LEESBURG FL 34748 Update Property Location	Property Name:	 Submit Property Name 1			
		School Information:	School Locator & Bus Stop Map 10 School Boundary Maps 10			
Property Description:	S 3/4 OF NE 1/4 OF NW 1/4LESS S 50 FT & LESS RD R/W					

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Lin	e Land Use	Frontage	Depth	Notes	No. Units	Туре	Class Value	Land Value
1	PASTURE IMPROVED HAY AVERAGE (6300)	0	0	CATTLE	17.47	AC	\$6,115.00	\$113,555.00
2	NATIVE PASTURE 1 (6500)	0	0	CATTLE	10.3	AC	\$1,545.00	\$66,950.00
CI	ick here for Zoning Info 0			FEMA	A Floo	d Ma	<u>p</u>	

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. Follow this link to search all documents by owner's name.

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price			
4999 / 1998	9/7/2017	Warranty Deed	Unqualified	Vacant	\$0.00			
4998 / 1831	9/6/2017	Warranty Deed	Unqualified	Vacant	\$100.00			
1420 / 364	3/1/1996	Trustees Deed	Unqualified	Vacant	\$234,800.00			
Click here to search for mortgages, liens, and other legal documents.								

Values and Estimated Ad Valorem Taxes o

Values shown below are 2021 WORKING VALUES that are subject to change until certified.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL	\$180,505	\$7,660	\$7,660	5.03270	\$38.55

FUND					
LAKE COUNTY MSTU AMBULANCE	\$180,505	\$7,660	\$7,660	0.46290	\$3.55
SCHOOL BOARD STATE	\$180,505	\$7,660	\$7,660	3.70100	\$28.35
SCHOOL BOARD LOCAL	\$180,505	\$7,660	\$7,660	2.99800	\$22.96
CITY OF FRUITLAND PARK	\$180,505	\$7,660	\$7,660	3.91340	\$29.98
ST JOHNS RIVER FL WATER MGMT DIST	\$180,505	\$7,660	\$7,660	0.22870	\$1.75
LAKE COUNTY VOTED DEBT SERVICE	\$180,505	\$7,660	\$7,660	0.11000	\$0.84
LAKE COUNTY WATER AUTHORITY	\$180,505	\$7,660	\$7,660	0.33680	\$2.58
NORTH LAKE HOSPITAL DIST	\$180,505	\$7,660	\$7,660	0.89500	\$6.86
				Total: 17.6785	Total: \$135.42

Exemptions Information

This property is benefitting from the following exemptions with a checkmark $\sqrt{}$

Homestead Exemption (first exemption up to \$25,000)	Learn More	View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More	View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<u> Learn More</u>	View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More	View the Law
Widow / Widower Exemption (up to \$500)	<u>Learn More</u>	View the Law
Blind Exemption (up to \$500)	Learn More	View the Law
Disability Exemption (up to \$500)	<u>Learn More</u>	View the Law
Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Veteran's Disability Exemption (\$5000)	Learn More	View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Veteran's Combat Related Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Deployed Servicemember Exemption (amount varies)	<u>Learn More</u>	View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Surviving Spouse of First Responder Exemption (amount varies)	<u>Learn More</u>	View the Law
Conservation Exemption (amount varies)	<u>Learn More</u>	View the Law
Tangible Personal Property Exemption (up to \$25,000)	<u>Learn More</u>	View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amoun varies)		View the Law
Economic Development Exemption	<u>Learn More</u>	View the Law
Government Exemption (amount varies)	<u>Learn More</u>	View the Law

Exemption Savings •

The exemptions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$0.00

Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark \checkmark

Save Our Homes Assessment Limitation (3% assessed value cap)	<u>Learn More</u> <u>View the Law</u>
Save Our Homes Assessment Transfer (Portability)	<u>Learn More</u> <u>View the Law</u>
Non-Homestead Assessment Limitation (10% assessed value cap)	<u>Learn More</u> <u>View the Law</u>
Conservation Classification Assessment Limitation	<u>Learn More</u> <u>View the Law</u>
✓ Agricultural Classification	<u>Learn More</u> <u>View the Law</u>

Assessment Reduction Savings o

The assessment reductions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$3,055.64

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted Site Notice.

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Property data last updated on January 18, 2021.
Site Notice

PROPERTY RECORD CARD

General Information

Name:	LEESBURG FRUIT COMPANY INC	Alternate Key:	3900702
Mailing Address:	1616 LAKE SHORE DR ORLANDO, FL 32803-	Parcel Number: 0	16-19-24-0001- 000-06500
	1307 <u>Update Mailing Address</u>	Millage Group and City:	000F (FRUITLAND PARK)
		2020 Total Certified Millage Rate:	17.6785
		Trash/Recycling/Water/Info:	My Public Services Map 1
Property Location:	GRIFFIN RD LEESBURG FL 34748 Update Property Location	Property Name:	 Submit Property Name (1)
	<u> </u>	School Information:	School Locator & Bus Stop Map (1) School Boundary Maps (1)
Property Description:	W 1/2 OF NE 1/4 ORB 704 PGS 554 556		

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Line	e Land Use	Frontage	Depth Notes	No. Units	Туре	Class Value	Land Value
1	PASTURE IMPROVED HAY AVERAGE (6300)	0	0	38.7	AC	\$13,545.00	\$251,550.00
2	NATIVE PASTURE 1 (6500)	0	0	11.3	AC	\$1,695.00	\$73,450.00
3	TIMBER S I 70 (5400)	0	0	30	AC	\$10,500.00	\$195,000.00
Click here for Zoning Info FEMA Flood Map							

Miscellaneous Improvements

There is no improvement information to display	There is no	improvement	information t	o display
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Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. Follow this link to search all documents by owner's name..

There is no sales history information to display.
Click here to search for mortgages, liens, and other legal documents.

Values and Estimated Ad Valorem Taxes o

Values shown below are 2021 WORKING VALUES that are subject to change until certified.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$520,000	\$25,740	\$25,740	5.03270	\$129.54
LAKE COUNTY MSTU	\$520,000	\$25,740	\$25,740	0.46290	\$11.92

				Total: 17.6785	Total: \$455.05
NORTH LAKE HOSPITAL DIST	\$520,000	\$25,740	\$25,740	0.89500	\$23.04
LAKE COUNTY WATER AUTHORITY	\$520,000	\$25,740	\$25,740	0.33680	\$8.67
LAKE COUNTY VOTED DEBT SERVICE	\$520,000	\$25,740	\$25,740	0.11000	\$2.83
ST JOHNS RIVER FL WATER MGMT DIST	\$520,000	\$25,740	\$25,740	0.22870	\$5.89
CITY OF FRUITLAND PARK	\$520,000	\$25,740	\$25,740	3.91340	\$100.73
SCHOOL BOARD LOCAL	\$520,000	\$25,740	\$25,740	2.99800	\$77.17
SCHOOL BOARD STATE	\$520,000	\$25,740	\$25,740	3.70100	\$95.26
AMBULANCE					

Exemptions Information

This property is benefitting from the following exemptions with a checkmark $\sqrt{\ }$

Homestead Exemption (first exemption up to \$25,000)	<u>Learn More</u>	View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More	View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<u>Learn More</u>	View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	Learn More	View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<u>Learn More</u>	View the Law
Widow / Widower Exemption (up to \$500)	Learn More	View the Law
Blind Exemption (up to \$500)	Learn More	View the Law
Disability Exemption (up to \$500)	Learn More	View the Law
Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Veteran's Disability Exemption (\$5000)	Learn More	View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Veteran's Combat Related Disability Exemption (amount varies)	<u>Learn More</u>	View the Law
Deployed Servicemember Exemption (amount varies)	Learn More	View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Surviving Spouse of First Responder Exemption (amount varies)	<u>Learn More</u>	View the Law
Conservation Exemption (amount varies)	<u>Learn More</u>	View the Law
Tangible Personal Property Exemption (up to \$25,000)	<u>Learn More</u>	View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)		View the Law
Economic Development Exemption	<u>Learn More</u>	View the Law
Government Exemption (amount varies)	Learn More	View the Law

Exemption Savings •

The exemptions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$0.00

Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark \checkmark

Save Our Homes Assessment Limitation (3% assessed value cap)

<u>Learn More</u> <u>View the Law</u>

	Save Our Homes Assessment Transfer (Portability)	Learn More	<u>View the Law</u>
	Non-Homestead Assessment Limitation (10% assessed value cap)	<u>Learn More</u>	<u>View the Law</u>
	Conservation Classification Assessment Limitation	<u>Learn More</u>	<u>View the Law</u>
√	Agricultural Classification	Learn More	View the Law

Assessment Reduction Savings o

The assessment reductions marked with a $\sqrt{\ }$ above are providing a tax dollar savings of: \$8,737.78

NOTE: Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted Site Notice.

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Site Notice

INSTRUMENT#: 2017129560 OR BK 5036 PG 393 PAGES: 2 12/5/2017 2:18:12 PM

NEIL KELLY, LAKE COUNTY CLERK OF THE CIRCUIT COURT

REC FEES: \$18.50 DEED DOC:\$0.70

THIS INSTRUMENT PREPARED BY & RETURN TO: Fred A. Morrison McLin Burnsed P.A. P.O. Box 491357 Leesburg, Florida 34749 – 1357

Qui

Ouitclaim Deed

RESERVED FOR RECORDING

THIS QUIT CLAIM DEED, executed this 13th day of November, 2017, by THE CITY OF LEESBURG, FLORIDA, whose address is P.O. Box 490630, Leesburg, Florida 34749, first party, to LEESBURG FRUIT COMPANY, INC., whose address is 161 Lake Shore Drive, Orlando, Florida 32803, second party:

(Wherever used herein, the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so requires.)

WITNESSETH, That the said first party, for and in consideration of the sum of TEN AND NO/100----(\$10.00)-----Dollars, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Lake, State of Florida, to-wit:

The South 50 feet of the South 3/4 of the Northeast 1/4 of the Northwest 1/4 of Section 16, Township 19 South, Range 24 East, Lake County, Florida, LESS right of way for Montclair Road, also known as County Road 468.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien equity and claim whatsoever of the said first party, either in law or in equity, to the only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first above written.

THE CITY OF LEESBURG FLOPID

BY:

ROBERT E. BONE, JR., Mayor

ATTEST:

ANDI BUBYIS City Clark

STATE OF FLORIDA COUNTY OF LAKE

and Andi Purvis, as City Clerk, respectively, of the Ci	
	as identification.
NOTARY PUBLIC SIGNATURE	PAMELA S. HESTER Notary Public - State of Florida Company Office Comm. Expires May 26, 2018 Commission # FF 099744
Type or print name of Notary	Commission Expiration Date

INSTRUMENT#: 2020139464 OR BK 5598 PG 2322 PAGES: 3 12/10/2020 11:26:28 AM GARY J. COONEY, CLERK OF THE CIRCUIT COURT & COMPTROLLER, LAKE COUNTY, FLORIDA

REC FEES: \$27.00 DEED DOC:\$0.70

THIS INSTRUMENT PREPARED BY:

Richard P. Newman/dr McLin & Burnsed P.A. Post Office Box 491357 Leesburg, Florida 34749-1357

QUIT CLAIM DEED

THIS QUIT CLAIM DEED, executed this day of December, 2020, by Rufus M. Holloway, Jr., whose address is 1616 Lakeshore Drive, Orlando, FL 32803, first party, to Rufus M. Holloway, Jr., as Trustee of the Rufus M. Holloway, Jr. Family Trust dated December 15, 1995, as amended and restated September 24, 2014, as amended from time to time, whose address is 1616 Lakeshore Drive, Orlando, FL 32803, with full power to protect, conserve, sell, lease, encumber or otherwise manage and dispose of said property, second party:

(Wherever used herein, the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH: That the said first party, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00), and other valuable considerations, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release, convey and quitclaim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in Lake County, Florida, to-wit:

Property I.D. Number: 0919240400-046-00002 and 0919240400-046-00100

See attached Exhibit "A"

GRANTOR WARRANTS AT THE TIME OF THIS CONVEYANCE, THE SUBJECT PROPERTY IS NOT THE GRANTORS' HOMESTEAD WITHIN THE MEANING SET FORTH IN THE CONSTITUTION OF THE STATE OF FLORIDA, NOR IS IT CONTIGUOUS TO OR A PART OF HOMESTEAD PROPERTY.

THIS DEED WAS PREPARED WITHOUT A TITLE SEARCH, AND THE LEGAL DESCRIPTION WAS SUPPLIED BY THE PARTIES; THE PREPARER OF THIS INSTRUMENT ASSUMES NO LIABILITY FOR THE STATE OF THE TITLE OR AN INACCURACY OF THE LEGAL DESCRIPTION.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first above written.

Witnesses:

Signature of Witness) Brana Boyles
(Print Name of Witness)

STATE OF FLORIDA COUNTY OF __

The foregoing instrument was acknowledged before me by means of \square physical presence or \square online notarization, this $\cancel{\cancel{\text{Mg}}}$ day of December, 2020, by Rufus M. Holloway, Jr., [CHECK ONE] $\cancel{\cancel{\text{Mg}}}$ who is personally known to me or $\cancel{\text{Mg}}$ produced $\cancel{\text{Mg}}$ as identification.

NOTARY PUBLIC - STATE OF FLORIDA

(Signature of Nation Prince)

(Signature of Notary Public)

(Print Name of Notary Public)

My Commission Expires: 9|18|2022

GG 242 134

(Serial/Commission Number)

[NOTARY SEAL]

DONNA D. RICHEY Commission # GG 242134 Expires September 18, 2022

EXHIBIT "A"

A portion of Lots 1, 2 and 3, Block 46, TOWN OF FRUITLAND PARK, FLORIDA, according to the plat thereof, as recorded in Plat Book 3, Page 8, of the Public Records of Lake County, Florida, all being more particularly described as follows: From the Southwest corner of Block 46, run East 400 feet to Point of Beginning; North 582.55 feet, East 36 feet, North 396.36 feet to North line of Block 46, East to Northeast corner of Block 46, South to Southeast corner Block 46, West to Point of Beginning, Section 9, Township 19 South, Range 24 East, Lake County, Florida.

PAGE 3 of 3

LESS AND EXCEPT: Commence at the Southwest corner of aforesaid Block 46 (also being the South 1/4 corner of Section 9, Township 19 South, Range 24 East); thence South 89°43 '16" East, along the South line of Block 46, a distance of 400.00 feet; thence North 00°26'56" East, 342.53 feet, for the point of

beginning; from said point of beginning continue North 00°26'56" East, 239.91 feet; thence South 89°33'50" East, 36.00 feet; thence North 00°25'26" East 396.16 feet, to the South line of Urick Street (a 50 foot right-of-way); thence along said South right-of-way line, South 89°30'00" East, 400.00 feet; thence South 00°26'10" West, 629.00 feet thence South 89°33'50" West, 436.00 feet, to the Point of Beginning.

INSTRUMENT#: 2020139464 OR BK 5598 PG 2322 PAGES: 3 12/10/2020 11:26:28 AM GARY J. COONEY, CLERK OF THE CIRCUIT COURT & COMPTROLLER, LAKE COUNTY, FLORIDA

REC FEES: \$27.00 DEED DOC:\$0.70

THIS INSTRUMENT PREPARED BY:

Richard P. Newman/dr McLin & Burnsed P.A. Post Office Box 491357 Leesburg, Florida 34749-1357

QUIT CLAIM DEED

THIS QUIT CLAIM DEED, executed this day of December, 2020, by Rufus M. Holloway, Jr., whose address is 1616 Lakeshore Drive, Orlando, FL 32803, first party, to Rufus M. Holloway, Jr., as Trustee of the Rufus M. Holloway, Jr. Family Trust dated December 15, 1995, as amended and restated September 24, 2014, as amended from time to time, whose address is 1616 Lakeshore Drive, Orlando, FL 32803, with full power to protect, conserve, sell, lease, encumber or otherwise manage and dispose of said property, second party:

(Wherever used herein, the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH: That the said first party, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00), and other valuable considerations, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release, convey and quitclaim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in Lake County, Florida, to-wit:

Property I.D. Number: 0919240400-046-00002 and 0919240400-046-00100

See attached Exhibit "A"

GRANTOR WARRANTS AT THE TIME OF THIS CONVEYANCE, THE SUBJECT PROPERTY IS NOT THE GRANTORS' HOMESTEAD WITHIN THE MEANING SET FORTH IN THE CONSTITUTION OF THE STATE OF FLORIDA, NOR IS IT CONTIGUOUS TO OR A PART OF HOMESTEAD PROPERTY.

THIS DEED WAS PREPARED WITHOUT A TITLE SEARCH, AND THE LEGAL DESCRIPTION WAS SUPPLIED BY THE PARTIES; THE PREPARER OF THIS INSTRUMENT ASSUMES NO LIABILITY FOR THE STATE OF THE TITLE OR AN INACCURACY OF THE LEGAL DESCRIPTION.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

IN WITNESS WHEREOF, the said first party has signed and sealed these presents the day and year first above written.

Witnesses:

Signature of Witness) Brana Boyles
(Print Name of Witness)

STATE OF FLORIDA COUNTY OF __

The foregoing instrument was acknowledged before me by means of \square physical presence or \square online notarization, this $\cancel{\cancel{\text{Mg}}}$ day of December, 2020, by Rufus M. Holloway, Jr., [CHECK ONE] $\cancel{\cancel{\text{Mg}}}$ who is personally known to me or $\cancel{\text{Mg}}$ produced $\cancel{\text{Mg}}$ as identification.

NOTARY PUBLIC - STATE OF FLORIDA

(Signature of Nation Prince)

(Signature of Notary Public)

(Print Name of Notary Public)

My Commission Expires: 9|18|2022

GG 242 134

(Serial/Commission Number)

[NOTARY SEAL]

DONNA D. RICHEY Commission # GG 242134 Expires September 18, 2022

EXHIBIT "A"

A portion of Lots 1, 2 and 3, Block 46, TOWN OF FRUITLAND PARK, FLORIDA, according to the plat thereof, as recorded in Plat Book 3, Page 8, of the Public Records of Lake County, Florida, all being more particularly described as follows: From the Southwest corner of Block 46, run East 400 feet to Point of Beginning; North 582.55 feet, East 36 feet, North 396.36 feet to North line of Block 46, East to Northeast corner of Block 46, South to Southeast corner Block 46, West to Point of Beginning, Section 9, Township 19 South, Range 24 East, Lake County, Florida.

PAGE 3 of 3

LESS AND EXCEPT: Commence at the Southwest corner of aforesaid Block 46 (also being the South 1/4 corner of Section 9, Township 19 South, Range 24 East); thence South 89°43 '16" East, along the South line of Block 46, a distance of 400.00 feet; thence North 00°26'56" East, 342.53 feet, for the point of

beginning; from said point of beginning continue North 00°26'56" East, 239.91 feet; thence South 89°33'50" East, 36.00 feet; thence North 00°25'26" East 396.16 feet, to the South line of Urick Street (a 50 foot right-of-way); thence along said South right-of-way line, South 89°30'00" East, 400.00 feet; thence South 00°26'10" West, 629.00 feet thence South 89°33'50" West, 436.00 feet, to the Point of Beginning.

INSTRUMENT#: 2017098354 OR BK 4999 PG 1968 PAGES: 2 9/19/2017 8:35:19 AM

NEIL KELLY, LAKE COUNTY CLERK OF THE CIRCUIT COURT

REC FEES: \$18.50 DEED DOC:\$0.70

PREPARED BY AND AFTER RECORDING RETURN TO: Thomas D. Sims, Esquire Johnson Pope Bokor Ruppel & Burns, LLP 333 Third Avenue North, Suite 200 St. Petersburg, Florida 33701 Property Appraisers Identification 16-19-24-0002-000-00600

Space Above This Line For Recording Data

SPECIAL WARRANTY DEED

THIS INDENTURE is made effective this 147 day of August, 2017, by and among the following parties:

GRANTOR:

Rufus M. Holloway, Jr., a married man, whose address is 1616

Lakeshore Drive, Orlando, Florida 32803

GRANTEE:

Rufus M. Holloway, Jr., as Trustee of the Rufus M. Holloway, Jr. Family Trust dated December 15, 1995, as amended and restated September 24, 2014, as amended from time to time, whose address is 1616 Lakeshore Drive, Orlando, Florida 32803

WITNESSETH:

The Grantor, herein for and in consideration for the sum of Ten Dollars (\$10.00), and other good and valuable consideration in hand paid by Grantee, the receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, releases, conveys and confirms to the Grantee, and to its successors and assigns forever, all of Grantor's right, title and interest in and to that certain real property situate, lying and being in Lake County, more particularly described as follows:

THE EAST 756 FEET OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

SUBJECT to easements, reservations, and restrictions of record, if any, which are specifically not reimposed or extended hereby and to taxes for the year 2017 and subsequent years, which are not yet due and payable.

This deed is prepared without survey or title examination, based on information provided by the parties to this transaction.

This is not the homestead of the Grantor.

This is a conveyance to Trustee not pursuant to a sale, and only minimum documentary stamp tax is required.

Full power and authority is granted to Grantee and all Successor Trustees, to protect, conserve, sell, lease, encumber or otherwise to manage and dispose of the land or any part of it; no person dealing with the Trustee or all Successor Trustees shall be bound to see to the application of

any purchase money or to inquire into the validity, expediency or propriety of any such sale or other disposition.

TOGETHER with all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder and easement thereto belonging or in anywise appertaining, and the Grantor does hereby covenant that Grantor does fully warrant the title to the above described real estate so hereby conveved and will defend the same against the lawful claims, arising out of events occurring prior to the recording of this Deed, of all persons claiming by, through or under the Grantor, but against none other.

TO HAVE AND TO HOLD the same to the Grantee, its successors and assigns in fee simple, forever.

IN WITNESS WHEREOF, the Grantor has set his hand and seal on the day and year first above written.

WITNESSES:

STATE OF FLORIDA COUNTY OF ORANGE

I HEREBY CERTIFY that on this Ab day of August, 2017, before me appeared Rufus Jr., who is personally known to me or who has produced a DRIVERS LICEASE as identification, and he acknowledged the execution of this Special Warranty Deed for the uses and purposes expressed therein.

WITNESS my signature and official seal in the County and State last aforesaid.

MICHAEL D ROSENFIELD MY COMMISSION

4179095

INSTRUMENT#: 2017098363 OR BK 4999 PG 1998 PAGES: 2 9/19/2017 8:42:36 AM

NEIL KELLY, LAKE COUNTY CLERK OF THE CIRCUIT COURT

REC FEES: \$18.50

PREPARED BY AND AFTER RECORDING RETURN TO: Thomas D. Sims, Esquire Johnson Pope Bokor Ruppel & Burns, LLP 333 Third Avenue North, Suite 200 St. Petersburg, Florida 33701 Property Appraisers Identification 16-19-24-0002-000-05400

[Space Above This Line For Recording Data]

SPECIAL WARRANTY DEED

THIS INDENTURE is made effective this _____ day of August, 2017, by and among the following parties:

GRANTOR: Rufus M. Holloway, Jr., a married man, whose address is 1616

Lakeshore Drive, Orlando, Florida 32803

GRANTEE: Rufus M. Holloway, Jr., as Trustee of the Rufus M. Holloway,

Jr. Family Trust dated December 15, 1995, as amended and restated September 24, 2014, as amended from time to time, whose address is

1616 Lakeshore Drive, Orlando, Florida 32803

WITNESSETH:

The Grantor, herein for and in consideration for the sum of Ten Dollars (\$10.00), and other good and valuable consideration in hand paid by Grantee, the receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, releases, conveys and confirms to the Grantee, and to its successors and assigns forever, all of Grantor's right, title and interest in and to that certain real property situate, lying and being in Lake County, more particularly described as follows:

THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 50 FEET THEREOF AND LESS COUNTY ROAD RIGHT OF WAY.

SUBJECT to easements, reservations, and restrictions of record, if any, which are specifically not reimposed or extended hereby and to taxes for the year 2017 and subsequent years, which are not yet due and payable.

This deed is prepared without survey or title examination, based on information provided by the parties to this transaction.

4 - 4 - 1

This is not the homestead of the Grantor.

This is a conveyance to Trustee not pursuant to a sale, and only minimum documentary stamp tax is required.

Full power and authority is granted to Grantee and all Successor Trustees, to protect,

conserve, sell, lease, encumber or otherwise to manage and dispose of the land or any part of it; no person dealing with the Trustee or all Successor Trustees shall be bound to see to the application of any purchase money or to inquire into the validity, expediency or propriety of any such sale or other disposition.

TOGETHER with all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder and easement thereto belonging or in anywise appertaining, and the Grantor does hereby covenant that Grantor does fully warrant the title to the above described real estate so hereby conveyed and will defend the same against the lawful claims, arising out of events occurring prior to the recording of this Deed, of all persons claiming by, through or under the Grantor, but against none other.

TO HAVE AND TO HOLD the same to the Grantee, its successors and assigns in fee simple, forever.

IN WITNESS WHEREOF, the Grantor has set his hand and seal on the day and year first above written.

MINESSES.

Rufu&M. Holloway, Jr

STATE OF FLORIDA COUNTY OF ORANGE

I HEREBY CERTIFY that on this 26 day of August, 2017, before me appeared Rufus M. Holloway, Jr., who is personally known to me or who has produced a DRIVER'S LICERSO as identification, and he acknowledged the execution of this Special Warranty Deed for the uses and purposes expressed therein.

WITNESS my signature and official seal in the County and State last aforesaid.

MICHAEL D ROSENFIELD EXPIRES Saptember 16, 2019

melver D Rosenfuld

4179575

CFN 2003156521 Bk 02463 Pg 0050; (1pg) DATE: 12/04/2003 10:04:16 AM JAMES C. WATKINS, CLERK OF COURT LAKE COUNTY RECORDING FEES 5.00 TRUST FUND 1.00

DEED DOC 700.00

This instrument was prepared by and return to: Robert R. Cyrus Attorney and Counselor at Law Post Office Box 491635 Leesburg, Florida 34749-1635

Property Appraiser's Parcel ID#: 16-19-24-0001-000-00200

WARRANTY DEED

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture, made this 1st day of December, 2003, between, JACK BOYD SELF as Trustee of Sara Horton Self Revocable Trust, whose address is 123 St. Andrews Street, Jackson, Mississippi 39211 of the County of Hinds, State of Mississippi, grantor, and RUFUS M. HOLLOWAY JR, Trustee of the RUFUS M. HOLLOWAY, JR. FAMILY TRUST, dated December 15, 1995, as amended and restated March 13, 2001, RUFUS M. HOLLOWAY, JR., Settlor and Trustee, whose address is 1616 Lakeshore Drive, Orlando, Florida 32803, of the County of Orange, State of Florida, grantee,

Witnesseth, that said grantor, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Lake County, Florida, to-wit:

The North 726 feet of the West Half (W 1/2) of the Northeast Quarter (NE 1/4) of the Northeast Quarter (NE 1/4) of Section 16, Township 19 South, Range 24 East, Lake County, Florida. containing eleven (11) acres.

THE FOREGOING PROPERTY IS NOT THE HOMESTEAD OF THE GRANTOR NOR CONTIGUOUS THERETO AND THE GRANTOR RESIDES AT 123 St. Andrews Dr., Jackson, Mississippi 39211.

Together with the power and authority to protect, conserve, sell, lease, encumber or otherwise to manage and dispose of the above described property.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

"Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed, and delivered in our presence. ACK BOYD SELF as Trustee of Sara Horton Self Revocable Trust ss Printed Name Witness Signature HIVERTA Witness Printed Name STATE OF MISSISSIPPI

COUNTY OF HINDS

The foregoing instrument was acknowledged before me this \(\frac{10^4}{2} \) day of \(\frac{December}{2} \), 2003, by \(\frac{1}{2} \) ACK BOYD SELF as Trustee of Sara Horton Self Revocable Trust, \(\frac{X}{2} \) who is personally who produced identification Type of identification produced: known, to me; _

Delares Myneller Notary Public Exp. Date: 9/27/05

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1212

This Warranty Beed Made the 4th day of November A. D. 19 81 by RUFUS M. HOLLOWAY, JR., as Trustee of the Rufus M. Holloway, Jr. Revocable Trust, dated January, 20, 1978, as amended.

LEESBURG FRUIT COMPANY, INC.

, with its permanent postoffice a corporation existing under the laws of the State of Florida 1616 Lake Shore Drive, Orlando, Florida 32803 address at hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesselh: That the grantor, for and in consideration of the sum of \$10.00 valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Lake County, Florida, viz: An undivided seven-ninths interest in and to:

That portion of Block 46 in the Town of Fruitland Park, Florida, according to the plat thereof as recorded in Plat Book 3, page 8, of the Public Records of Lake County, Florida, described as: Begin at the Southwest corner of Block 46 (S 1/4 of Section 9, Township 19 S., Range 24 East, Lake County, Florida); run thence South 89° 46' 00" East along the South line of Block 46 for 400 feet; run thence North 00° 26' 10" East for 582.55 feet; run thence North 89° 33' 50" East for 36 feet; run thence North 00° 26' 10" East for 396.36 feet to the North line of said Block 46; run thence North 89° 29' 50" West along North line of said Block 46 for 433.48 feet to the Northwest corner of said Block 46; run thence South 00° 35' 00" East along West line of said Block 46 for 980.70 feet to the Point of Beginning.

The above real estate being part of the same real estate conveyed to Grantor as shown by Deed recorded ORB 704, page 554, of the Public Records of Lake County.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any-

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31. 1980, and easements and restrictions of record, if any, but this reference thereto shall not operate to reimpose the same.

In Witness Whereof. the said grantor has hereunto set his hand and seal the day and first above written.

Signed, scaled and delivered in our presence:

ATEROF FLORIDA UNTY OF S Lake

I HEREBY CERTIFY that on this day, before me, an

figer dely authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared

RUFUS M. HOLLOWAY, JR., as Trustee

to me known to be the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this November , A. D. 1981.

> IDTARY PUBLIC STATE OF FLORIDA AT LARGE Y COMMISSION EXPIRES MAY 23 1983 D THELL GENERAL INS UNDERWEITERS

This Instrument prepared by: P. C. Gorman, Attorney Address P.O. Box 837, Leesburg, FL 32748

6. GORMAN, 59-0267520 P. G. GORMAN, DEVELLE ALTON P.O. BOX 87

CR RELUNGING

PRELIMINARY PLAT FOR

PARK SQUARE FRUITLAND PARK

PHASE 1

LEGAL DESCRIPTION

ALTERNATE KEY 1289866 - ORB 2463, PG 50

THE NORTH 726 FEET OF THE WEST HALF (W 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA. CONTAINING ELEVEN (11) ACRES.

ALTERNATE KEY 1289874 - ORB 4999, PGS 1968-1969

THE EAST 756 FEET OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16. TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA

ALTERNATE KEY 1289904 - ORB 5036, PGS 393-394

THE SOUTH 50 FEET OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS RIGHT OF WAY FOR MONTCLAIR ROAD, ALSO KNOWN AS COUNTY ROAD 468.

ALTERNATE KEY 1430411 - ORB 737, PG 1771

THAT PORTION OF BLOCK 46 IN THE TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, DESCRIBED AS: BEGIN AT THE SOUTHWEST CORNER OF BLOCK 46 (S 1/4 OF SECTION 9, TOWNSHIP 19 S., RANGE 24 EAST, LAKE COUNTY, FLORIDA); RUN THENCE SOUTH 89° 46' 00" EAST ALONG THE SOUTH LINE OF BLOCK 46 FOR 400 FEET; RUN THENCE NORTH 00° 26' 10" EAST FOR 582.55 FEET: RUN THENCE NORTH 89° 33' 50" EAST FOR 36 FEET; RUN THENCE NORTH 00°26'10" EAST FOR 396.36 FEET TO THE NORTH LINE OF SAID BLOCK 46; RUN THENCE NORTH 89° 29' 50" WEST ALONG NORTH LINE OF SAID BLOCK 46 FOR 433.48 FEET TO THE NORTHWEST CORNER OF SAID BLOCK 46; RUN THENCE SOUTH 00° 35' 00" EAST ALONG WEST LINE OF SAID BLOCK 46 FOR 980.70 FEET TO THE POINT OF BEGINNING.

ALTERNATE KEY 1639808 - ORB 5598, PGS 2322-2334

A PORTION OF LOTS 1, 2 AND 3, BLOCK 46, TOWN OF FRUITLAND PARK FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FROM THE SOUTHWEST CORNER OF BLOCK 46, RUN EAST 400 FEET TO POINT OF BEGINNING; NORTH 582.55 FEET, EAST 36 FEET, NORTH 396.36 FEET TO NORTH LINE OF BLOCK 46, EAST TO NORTHEAST CORNER OF BLOCK 46, SOUTH TO SOUTHEAST CORNER BLOCK 46, WEST TO POINT OF BEGINNING, SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

LESS AND EXCEPT: COMMENCE AT THE SOUTHWEST CORNER OF AFORESAID BLOCK 46 (ALSO BEING THE SOUTH 1/4 CORNER OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST); THENCE SOUTH 89°43' T6" EAST, ALONG THE SOUTH LINE OF BLOCK 46, A DISTANCE OF 400.00 FEET; THENCE NORTH 00°26'56" EAST, 342.53 FEET, FOR THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE NORTH 00°26'56" EAST, 239.91 FEET; THENCE SOUTH 89°33'50" EAST, 36.00 FEET; THENCE NORTH 00°25'26" EAST 396.16 FEET, TO THE SOUTH LINE OF URICK STREET (A 50 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89°30'00" EAST, 400.00 FEET; THENCE SOUTH 00°26'10" WEST, 629.00 FEET THENCE SOUTH 89°33'50" WEST, 436.00 FEET, TO THE POINT OF BEGINNING

ALTERNATE KEY 1699959 - ORB 704, PGS 556-557

AN UNDIVIDED ONE-HALF INTEREST IN AND TO:

NW 1/4 OF SE 1/4; N 495 FEET OF SW 1/4 OF SE 1/4; N 165 FEET OF S 825 FEET OF W 1185 FEET OF SW 1/4 OF SE 1/4; E 688 FEET OF W 1188 FEET OF S 1/2 OF SW 1/4 OF SE 1/4; W 1/2 OF NE 1/4; N 1/2 OF SE 1/4 OF NE 1/4, SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY FLORIDA,

AND AN UNDIVIDED ONE-HALF INTEREST IN AND TO:

THE NORTH 652.5 FEET OF THE SOUTH 825 FEET OF THE EAST 132 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16. TOWNSHIP 19 SO., RANGE 24 EAST, LAKE COUNTY, FLORIDA (LESS THE PARCEL CONVEYED BY ALENE B. HOLLOWAY TO JOHN C. BASS AND LOUISE BASS, HIS WIFE, BY DEED RECORDED IN O.R. BOOK 460, PAGE 636, OFFICIAL RECORDS OF LAKE COUNTY, FLORIDA).

ALTERNATE KEY 1772435 - ORB 701, PG 775

THE SOUTH 594 FEET OF THE W 1/2 OF NE 1/4 OF NE 1/4 SECTION 16. TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

ALTERNATE KEY 3540468 - ORB 5598, PGS 2322-2324

CORNER OF BLOCK 46. SOUTH TO SOUTHEAST CORNER BLOCK 46. WEST TO POINT OF BEGINNING, SECTION 9, TOWNSHIP 19 SOUTH. RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AFORESAID BLOCK 46 (ALSO BEING THE SOUTH 1/4 CORNER OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST); THENCE SOUTH 89°43'16" EAST, ALONG THE SOUTH LINE OF BLOCK 46, A DISTANCE OF 400.00 FEET; THENCE NORTH 00°26'56" EAST, 342.53 FEET, FOR THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE NORTH 00°26'56" EAST, 239.91 FEET: THENCE SOUTH 89°33'50" EAST 36.00 FEET; THENCE NORTH 00°25'26" EAST 396.16 FEET, TO THE SOUTH LINE OF URICK STREET (A 50 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89°30'00" EAST. 400.00 FEET: THENCE SOUTH 00°26'10" WEST. 629.00 FEET: THENCE SOUTH 89°33'50" WEST, 436.00 FEET, TO THE POINT OF BEGINNING.

ALTERNATE KEY 3691334 - ORB 4999, PGS 1998-1999

THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 50 FEET THEREOF AND LESS COUNTY ROAD RIGHT OF WAY.

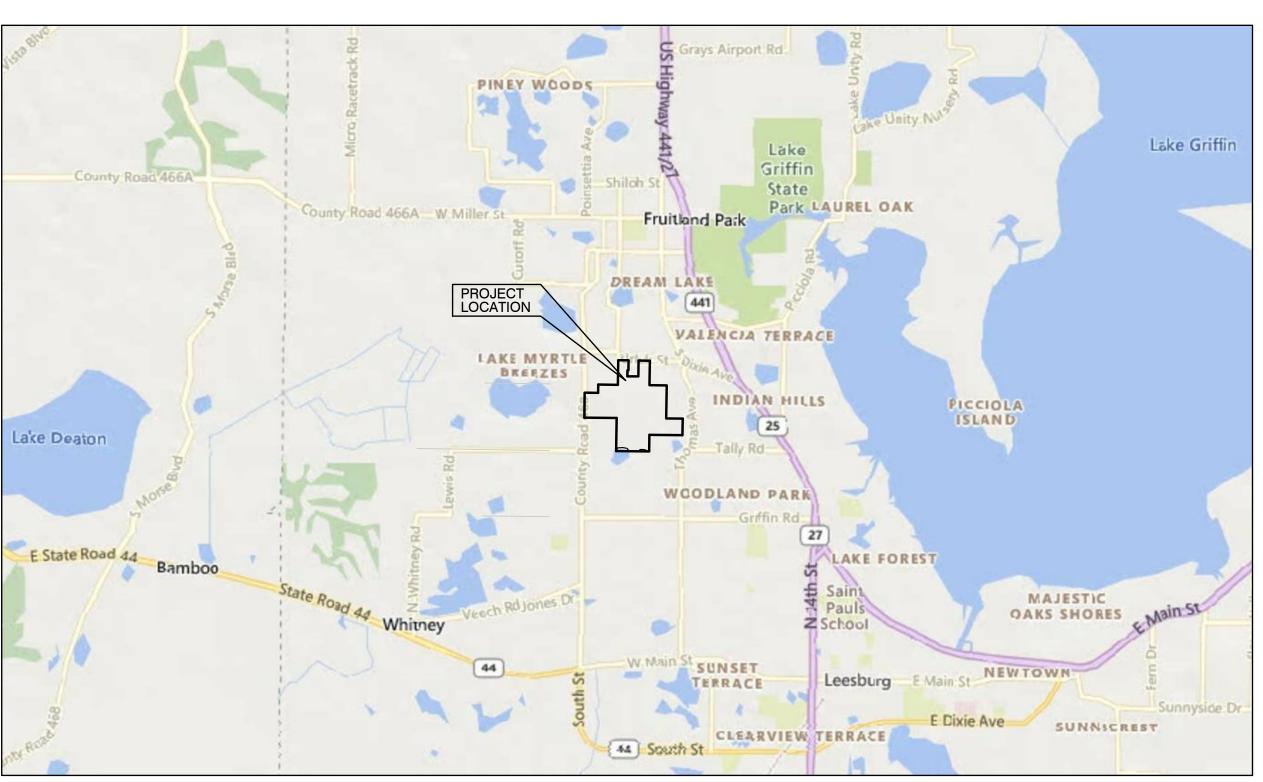
ALTERNATE KEY 3900702 - ORB 704, PGS 554-557 AN UNDIVIDED ONE-HALF INTEREST IN AND TO:

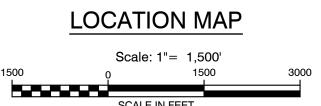
NW 1/4 OF SE 1/4; N 495 FEET OF SW 1/4 OF SE 1/4; N 165 FEET OF S 825 FEET OF W 1185 FEET OF SW 1/4 OF SE 1/4; E 688 FEET OF W 1188 FEET OF S 1/2 OF SW 1/4 OF SE 1/4; W 1/2 OF NE 1/4; N 1/2 OF SE 1/4 OF NE 1/4, SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY,

AND AN UNDIVIDED ONE-HALF INTEREST IN AND TO:

THE NORTH 652.5 FEET OF THE SOUTH 825 FEET OF THE EAST 132 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16, TOWNSHIP 19 SO., RANGE 24 EAST, LAKE COUNTY, FLORIDA (LESS THE PARCEL CONVEYED BY ALENE B. HOLLOWAY TO JOHN C. BASS AND LOUISE BASS, HIS WIFE, BY DEED RECORDED IN O.R. BOOK 460, PAGE 636, OFFICIAL RECORDS OF LAKE COUNTY, FLORIDA).

SECTION 16, TOWNSHIP 19 S, RANGE 24 E & SECTION 9, TOWNSHIP 19 S, RANGE 24 E CITY OF FRUITLAND PARK LAKE COUNTY, FLORIDA





Owner/Developer:

PARK SQUARE HOMES 5200 Vineland Road, Suite 200 Orlando, FL 32811 **Daniel Arnette**

Engineer/Planner:

HALFF ASSOCIATES, INC. 902 North Sinclair Avenue Tavares, FL (352) 343-8481 Charles C. Hiott, PE

Geotechnical

201 South Bumby Avenue Orlando, FL 3803 (407) 896-3317 Mohamed Alrowaimi, Ph.D., PE

Surveyor:

HALFF ASSOCIATES, INC. 902 North Sinclair Avenue Tavares, FL 32778 (352) 343-8481

John T. McGlohorn, PSM



SHEET LIST TABLE

SHEET TITLE

COVER

SURVEY COVER

SURVEY BOUNDARY 1 SURVEY BOUNDARY 2

SURVEY BOUNDARY 3

SURVEY BOUNDARY 4

MASTER PLAN

PRE-PLAT

PRE-PLAT

PRE-PLAT

PRE-PLAT

PRE-PLAT

GRADING AND DRAINAGE PLAN

UTILITIES PLAN

UTILITIES PLAN

UTILITIES PLAN

UTILITIES PLAN

SIGNAGE & STRIPING PLAN

SIGNAGE & STRIPING PLAN

SIGNAGE & STRIPING PLAN

SIGNAGE & STRIPING PLAN

SHEET

NUMBER

C-001

C-102

C-103

C-104

C-200

C-202

C-204

C-300

C-301

C-302

C-500

C-501

C-502

C-503

Certificate of Authorization Number: 33380

BOUNDARY SURVEY

LEGAL DESCRIPTIONS:

ALTERNATE KEY 1289866 - ORB 2463, PG 50

NOTE: REGARDING THE USE OF STATUTE DISTANCE OF 1320' THE PARCELS OVERLAP

NOTE: OLIVE AVENUE IS

SHOWN BY PLAT BOOK 3.

RECORDS OF LAKE COUNTY,

PAGES 8 & 9. PUBLIC

FLORIDA, AS A 50' WIDE

PUBLIC STREET

ACREAGE TABLE

TOTAL PARCEL AREA (PER DESCRIPTIONS)....... 176.76± ACRES

1.33± ACRES

IRRIGATION CONTROL VALVE

JUNIOR

LENGTH

LATITUDE

LONGITUDE

MEASURED

NAIL & DISK

PLAT

PLAT BOOK

NOT TO SCALE

N.T.S.

O.P.U.S.

RCP

RLS

ROW

R/W

SB2

SEC

S.R.

STA

(TYP.)

SQ. FT.

LICENSED BUSINESS

LICENSED SURVEYOR

POINT OF BEGINNING POINT OF COMMENCEMENT

POINT OF INTERSECTION POINT OF CURVATURE

POINT OF COMPOUND CURVE

PERMANENT REFERENCE MONUMENT

PROFESSIONAL SURVEYOR AND MAPPER

POINT OF REVERSE CURVE

REINFORCED CONCRETE PIPE

REGISTERED LAND SURVEYOR

POINT OF TANGENCY

POLYVINYLCHORLIDE

RADIUS

RAILROAD

SECTION

STATION

TYPICAL

UTILITY POLE WITH LIGHT

RECLAIM WATER VALVE

REUSE WATER METER

REUSE WATER VALVE

SET 4" X4" CM (LB 8348)

SEWER MANHOLE

SEWER VALVE

SIGN

SPRINKLER

STORM MANHOLE

WATER METER

WATER VALVE WATER MARKER

----- SD ----- STORM DRAIN LINE

----- w ----- WATER LINE

— TOE — TOE OF SLOPE

— тов — тов — ТОР ОF BANK

------ RW ------- RECLAIM WATER

——— BT — TELEPHONE UNDERGROUND

— X — FENCE LINE (TYPE AS NOTED)

TELEPHONE JUNCTION BOX

TRANSMISSION POWER POLE

TREE TYPE AND SIZE (AT BREAST HEIGHT)

FOUND IRON ROD (AS NOTED)

FOUND NAIL AND DISC (AS NOTED)

SET 5/8" IRON ROD & CAP (LB 8348)

WITH

MONITORING WELL

UTILITY POLE

SQUARE FEET

STATE ROAD

RIGHT OF WAY

RIGHT OF WAY

SCHEDULE B 2 ITEM

OFFICIAL RECORDS BOOK

ONLINE POSITIONING USER SERVICE

175.43± ACRES

LESS PONDS (Waters Edge).

TOTAL LAND AREA

LEGEND

ACAD

BOC

B/W

CCR

CB

CONC.

FFE

FLD

FDOT

FEMA

ABBREVIATIONS:

AUTOCAD

ALTERNATE

ASPHALT

AVENUE

AIR CONDITIONER PAD

ALSO KNOWN AS

BACK OF CURB

BARBED WIRE

CALCULATED

CHAIN LINK FENCE

CHORD BEARING

CONCRETE

CHORD DISTANCE

CONCRETE BLOCK

COUNTY ROAD

EDGE OF PAVEMENT

DEED BOOK

DESCRIBED

END PROJECT

FENCE CORNER

IDENTIFICATION

IRON ROD & CAP

BOLLARD

CENTERLINE

CLEAN OUT

AIR RELEASE VALVE

CATCH BASIN (INLET)

CATEGORY 5 CABLE JUNCTION

CONCRETE POWER POLE

ELECTRIC JUNCTION BOX

ELECTRIC METER

ELECTRIC MARKER

FIRE HYDRANT

FIBER OPTIC BOX

FIBER OPTIC MARKER

GAS MARKER (UNDERGROUND)

FOUND CONCRETE MONUMENT (AS NOTED)

FLAG POLE

GAS METER

GAS VALVE

GUY WIRE

LIGHT POLE

MAILBOX

----- CTV ----- CABLE TV UNDERGROUND

BE ELECTRIC UNDERGROUND

GAS LINE UNDERGROUND

TRAFFIC SIGNAL WIRES

——— SAN ———— SANITARY SEWER LINE (SSL)

—— FOC — FIBER OPTIC UNDERGROUND

OVERHEAD UTILITY LINE

LINETYPES:

GROUND LIGHT

INVFRT

IRON PIPE

IRON ROD

SYMBOLS:

Œ>

O FP

 $ldsymbol{ldsymbol{ldsymbol{f eta}}}$

DOCTOR

CONCRETE MONUMENT

CORRUGATED METAL PIPE

DELTA OR CENTRAL ANGLE

FINISHED FLOOR ELEVATION

FLOOD INSURANCE RATE MAP

FLORIDA DEPARTMENT OF TRANSPORTATION

FEDERAL EMERGENCY MANAGEMENT AGENCY

BEGIN PROJECT

BACKFLOW PREVENTER

CERTIFIED CORNER RECORD

THE NORTH 726 FEET OF THE WEST HALF (W 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 16. TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA. CONTAINING ELEVEN (11) ACRES.

ALTERNATE KEY 1772435 - ORB 701, PG 775

THE SOUTH 594 FEET OF THE W 1/2 OF NE 1/4 OF NE 1/4 SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

ALTERNATE KEY 1289874 - ORB 4999, PGS 1968-1969

THE EAST 756 FEET OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16. TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

ALTERNATE KEY 1289904 - ORB 5036, PGS 393-394

THE SOUTH 50 FEET OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS RIGHT OF WAY FOR MONTCLAIR ROAD, ALSO KNOWN AS COUNTY ROAD 468.

ALTERNATE KEY 1430411 - ORB 737, PG 1771

THAT PORTION OF BLOCK 46 IN THE TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, DESCRIBED AS: BEGIN AT THE SOUTHWEST CORNER OF BLOCK 46 (S 1/4 OF SECTION 9, TOWNSHIP 19 S., RANGE 24 EAST, LAKE COUNTY, FLORIDA); RUN THENCE SOUTH 89° 46' 00" EAST ALONG THE SOUTH LINE OF BLOCK 46 FOR 400 FEET; RUN THENCE NORTH 00° 26' 10" EAST FOR 582.55 FEET; RUN THENCE NORTH 89° 33' 50" EAST FOR 36 FEET; RUN THENCE NORTH 00°26'10" EAST FOR 396.36 FEET TO THE NORTH LINE OF SAID BLOCK 46; RUN THENCE NORTH 89° 29' 50" WEST ALONG NORTH LINE OF SAID BLOCK 46 FOR 433.48 FEET TO THE NORTHWEST CORNER OF SAID BLOCK 46; RUN THENCE SOUTH 00° 35' 00" EAST ALONG WEST LINE OF SAID BLOCK 46 FOR 980.70 FEET TO THE POINT OF BEGINNING.

ALTERNATE KEY 1639808 - ORB 5598, PGS 2322-2334

A PORTION OF LOTS 1, 2 AND 3, BLOCK 46, TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FROM THE SOUTHWEST CORNER OF BLOCK 46, RUN EAST 400 FEET TO POINT OF BEGINNING; NORTH 582.55 FEET, EAST 36 FEET, NORTH 396.36 FEET TO NORTH LINE OF BLOCK 46, EAST TO NORTHEAST CORNER OF BLOCK 46, SOUTH TO SOUTHEAST CORNER BLOCK 46, WEST TO POINT OF BEGINNING, SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

LESS AND EXCEPT: COMMENCE AT THE SOUTHWEST CORNER OF AFORESAID BLOCK 46 (ALSO BEING THE SOUTH 1/4 CORNER OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST); THENCE SOUTH 89°43' T6" EAST, ALONG THE SOUTH LINE OF BLOCK 46, A DISTANCE OF 400.00 FEET; THENCE NORTH 00°26'56" EAST, 342.53 FEET, FOR THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE NORTH 00°26'56" EAST, 239.91 FEET; THENCE SOUTH 89°33'50" EAST, 36.00 FEET; THENCE NORTH 00°25'26" EAST 396.16 FEET, TO THE SOUTH LINE OF URICK STREET (A 50 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89°30'00" EAST, 400.00 FEET; THENCE SOUTH 00°26'10" WEST, 629.00 FEET THENCE SOUTH 89°33'50" WEST, 436.00 FEET, TO THE POINT OF BEGINNING.

ALTERNATE KEY 1699959 - ORB 704, PGS 556-557

AN UNDIVIDED ONE-HALF INTEREST IN AND TO:

NW 1/4 OF SE 1/4; N 495 FEET OF SW 1/4 OF SE 1/4; N 165 FEET OF S 825 FEET OF W 1185 FEET OF SW 1/4 OF SE 1/4; E 688 FEET OF W 1188 FEET OF S 1/2 OF SW 1/4 OF SE 1/4; W 1/2 OF NE 1/4; N 1/2 OF SE 1/4 OF NE 1/4, SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA,

AND AN UNDIVIDED ONE-HALF INTEREST IN AND TO:

THE NORTH 652.5 FEET OF THE SOUTH 825 FEET OF THE EAST 132 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16, TOWNSHIP 19 SO., RANGE 24 EAST, LAKE COUNTY, FLORIDA (LESS THE PARCEL CONVEYED BY ALENE B. HOLLOWAY TO JOHN C. BASS AND LOUISE BASS. HIS WIFE. BY DEED RECORDED IN O.R. BOOK 460, PAGE 636, OFFICIAL RECORDS OF LAKE COUNTY, FLORIDA),

ALTERNATE KEY 3540468 - ORB 5598, PGS 2322-2324

A PORTION OF LOTS 1, 2 AND 3, BLOCK 46, TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FROM THE SOUTHWEST CORNER OF BLOCK 46, RUN EAST 400 FEET TO POINT OF BEGINNING; NORTH 582.55 FEET, EAST 36 FEET, NORTH 396.36 FEET TO NORTH LINE OF BLOCK 46, EAST TO NORTHEAST CORNER OF BLOCK 46, SOUTH TO SOUTHEAST CORNER BLOCK 46, WEST TO POINT OF BEGINNING, SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY,

LESS AND EXCEPT: COMMENCE AT THE SOUTHWEST CORNER OF AFORESAID BLOCK 46 (ALSO BEING THE SOUTH 1/4 CORNER OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST); THENCE SOUTH 89°43'16" EAST, ALONG THE SOUTH LINE OF BLOCK 46, A DISTANCE OF 400.00 FEET; THENCE NORTH 00°26'56" EAST, 342.53 FEET, FOR THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE NORTH 00°26'56" EAST, 239.91 FEET; THENCE SOUTH 89°33'50" EAST, 36.00 FEET; THENCE NORTH 00°25'26" EAST 396.16 FEET, TO THE SOUTH LINE OF URICK STREET (A 50 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89°30'00" EAST, 400.00 FEET; THENCE SOUTH 00°26'10" WEST, 629.00 FEET; THENCE SOUTH 89°33'50" WEST, 436.00 FEET, TO THE POINT OF BEGINNING.

ALTERNATE KEY 3691334 - ORB 4999, PGS 1998-1999

THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 50 FEET THEREOF AND LESS COUNTY ROAD RIGHT OF WAY.

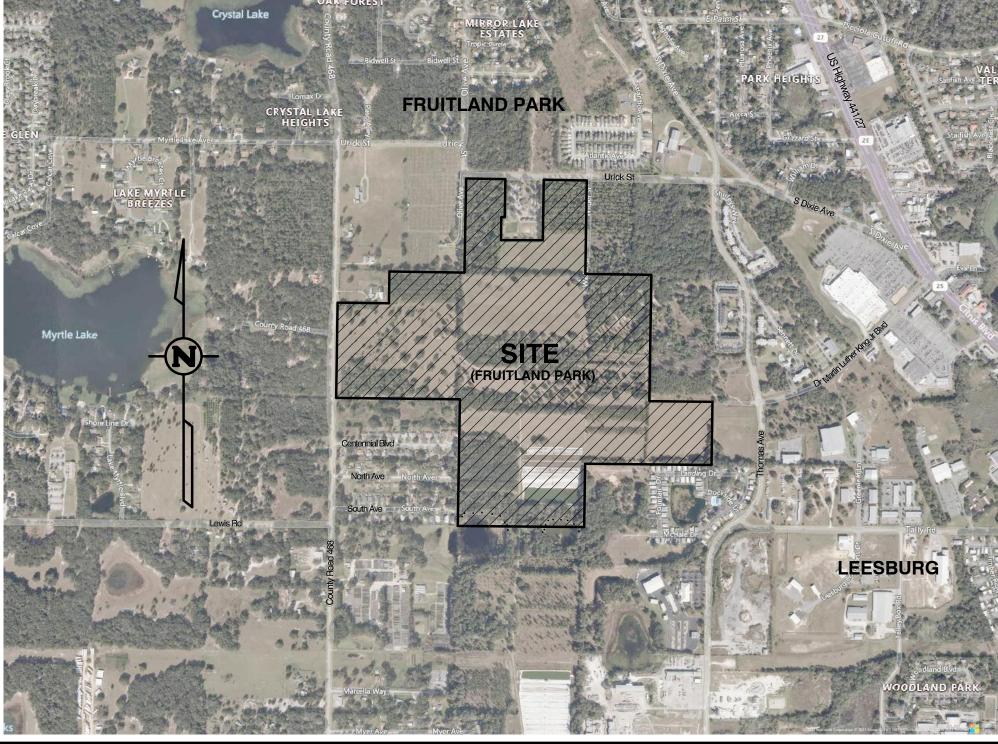
ALTERNATE KEY 3900702 - ORB 704, PGS 554-557

AN UNDIVIDED ONE-HALF INTEREST IN AND TO:

NW 1/4 OF SE 1/4; N 495 FEET OF SW 1/4 OF SE 1/4; N 165 FEET OF S 825 FEET OF W 1185 FEET OF SW 1/4 OF SE 1/4; E 688 FEET OF W 1188 FEET OF S 1/2 OF SW 1/4 OF SE 1/4; W 1/2 OF NE 1/4; N 1/2 OF SE 1/4 OF NE 1/4, SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA,

AND AN UNDIVIDED ONE-HALF INTEREST IN AND TO:

THE NORTH 652.5 FEET OF THE SOUTH 825 FEET OF THE EAST 132 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16, TOWNSHIP 19 SO., RANGE 24 EAST, LAKE COUNTY, FLORIDA (LESS THE PARCEL CONVEYED BY ALENE B. HOLLOWAY TO JOHN C. BASS AND LOUISE BASS, HIS WIFE, BY DEED RECORDED IN O.R. BOOK 460, PAGE 636, OFFICIAL RECORDS OF LAKE COUNTY, FLORIDA).



VICINITY MAP SCALE: 1" = 1000

GENERAL NOTES:

- 1. THE SURVEY MAP (AND/OR) REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
- 2. CERTIFICATION IS LIMITED TO PARTIES NAMED HEREON.
- 3. THE PURPOSE OF THIS SURVEY IS TO SHOW THE BOUNDARY AND IMPROVEMENTS, IF ANY, FOR THE SUBJECT PARCELS SURVEY IS TO BE USED FOR FEE SIMPLE SALE OF PROPERTY
- 4. BEARINGS AND COORDINATES SHOWN HEREON ARE FLORIDA STATE PLANE COORDINATE EAST ZONE (901) BASED ON FLORIDA PERMANENT REFERENCE NETWORK (FPRN) AS MAINTAINED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION, AND IS BASED ON NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT (SPCS'83-2011) AND REFERENCED TO THE NORTH LINE OF THE NORTHEAST 1/4 IN SECTION 16-19-24 AS BEING S 89°19'17" E. ALL DISTANCES SHOWN ARE IN UNITED STATES SURVEY FEET.
- 5 THE POSITION OF SAID ADJOINING PROPERTIES IS APPROXIMATE. RECORDING DATA FOR ADJOINING PROPERTIES IS BASED ON INFORMATION PROVIDED BY A SEARCH OF PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
- 6. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF TITLE AND THEREFORE IS SUBJECT TO CHANGE DUE TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH
- 7. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS, RIGHTS OF WAY, OWNERSHIP OR OTHER
- 8. UNDERGROUND IMPROVEMENTS SUCH AS UTILITIES, FOUNDATIONS, ETC. WERE NOT LOCATED, EXCEPT WHAT IS SHOWN HEREON.
- 9. ONLY THOSE UTILITIES SHOWN HEREON THAT WERE VISIBLE AT THE TIME OF THE SURVEY WERE LOCATED, UNLESS OTHERWISE NOTED. NO ATTEMPT WAS MADE TO LOCATE UNDERGROUND UTILITIES. AN ASCE QUALITY A OR B DESIGNATION WILL BE NECESSARY BEFORE ANY ON SITE WORK TAKES PLACE. CONTACT SUNSHINE ONE CALL AT 811 FOR FURTHER INFORMATION.
- 10. LANDS SHOWN HEREON LIE IN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% CHANCE FLOODPLAIN) AND ZONE "A" (AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL FLOOD CHANCE. NO BASE FLOOD ELEVATION DETERMINED) ACCORDING TO FLOOD INSURANCE RATE MAP: 12069C0306E, 12069C0308 AND 12069C0309, EFFECTIVE DATE: DECEMBER 18, 2012.
- 11. THIS SURVEY HAS BEEN PREPARED UNDER THE DIRECTION AND SUPERVISION OF THE UNDERSIGNED BELOW IN ACCORDANCE WITH THE ADOPTED "STANDARDS OF PRACTICE" FOR LAND SURVEYING AS REQUIRED BY CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATE STATUTES.
- 12. WATER BOUNDARY IS SUBJECT TO CHANGE DUE TO NATURAL CAUSES AND MAY OR MAY NOT REPRESENT ACTUAL LOCATION OF THE LIMIT OF TITLE
- 13. THE BOUNDARY BETWEEN SOVEREIGN (STATE) OWNERSHIP AND PRIVATE UPLAND OWNERSHIP IS THE ORDINARY HIGH WATER LINE. THE ORDINARY HIGH WATER LINE WAS NOT DETERMINED OR LOCATED BY THIS COMPANY.
- 14. THE DIGITAL DRAWING COMPRISING THIS SURVEY WAS PREPARED WITH AUTOCAD CIVIL 3D 2019.
- 15. SYMBOLS SHOWN HEREON ARE NOT TO SCALE AND ARE FOR INFORMATIONAL PURPOSES ONLY. 16. DATE OF FIELD WORK IS REFLECTED IN TITLE BLOCK, NOT THE DATE OF SIGNATURE.
- 17. THIS COMPANY ACCEPTS NO RESPONSIBILITY FOR THE MARKETABLE STATUS OF THIS PROPERTY. THIS PROPERTY IS SUBJECT TO ANY AND/OR ALL CITY, COUNTY, STATE AND FEDERAL PLANNING AND ZONING REGULATIONS.
- 18. OWNERSHIP OF FENCES SHOWN HEREON, IF ANY, WAS NOT DETERMINED BY THIS SURVEY. SAID FENCES WERE LOCATED ONLY WHERE DIMENSIONED AND MAY NOT RUN STRAIGHT.
- 19. THIS SURVEY WAS ORDERED BY CHUCK CAVARETTA, PARK SQUARE HOMES, 5200 VINELAND ROAD, SUITE 200,

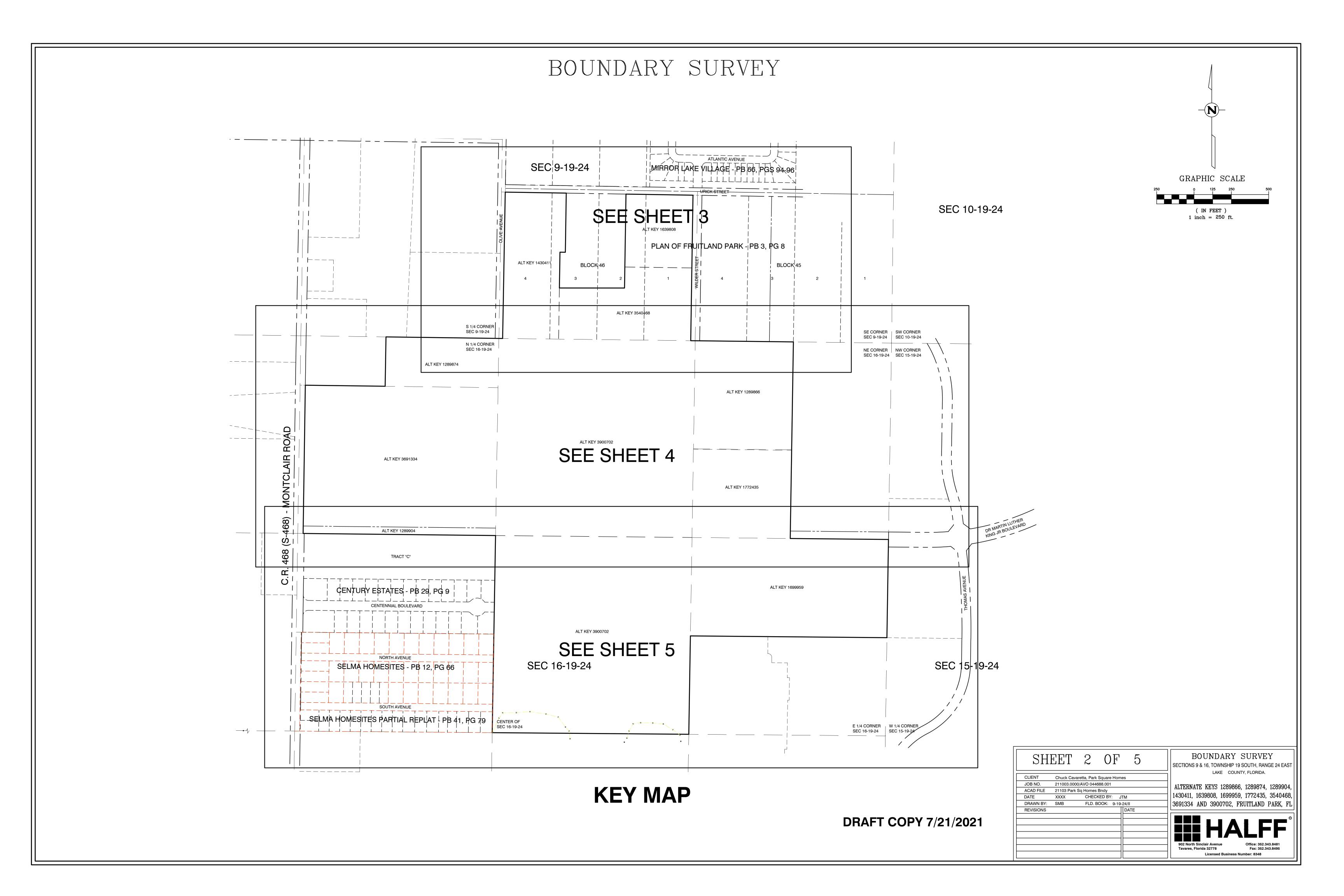
20. THIS SURVEY CONTAINS 5 SHEETS AND IS NOT CONSIDERED FULL AND COMPLETE WITHOUT ALL SHEETS

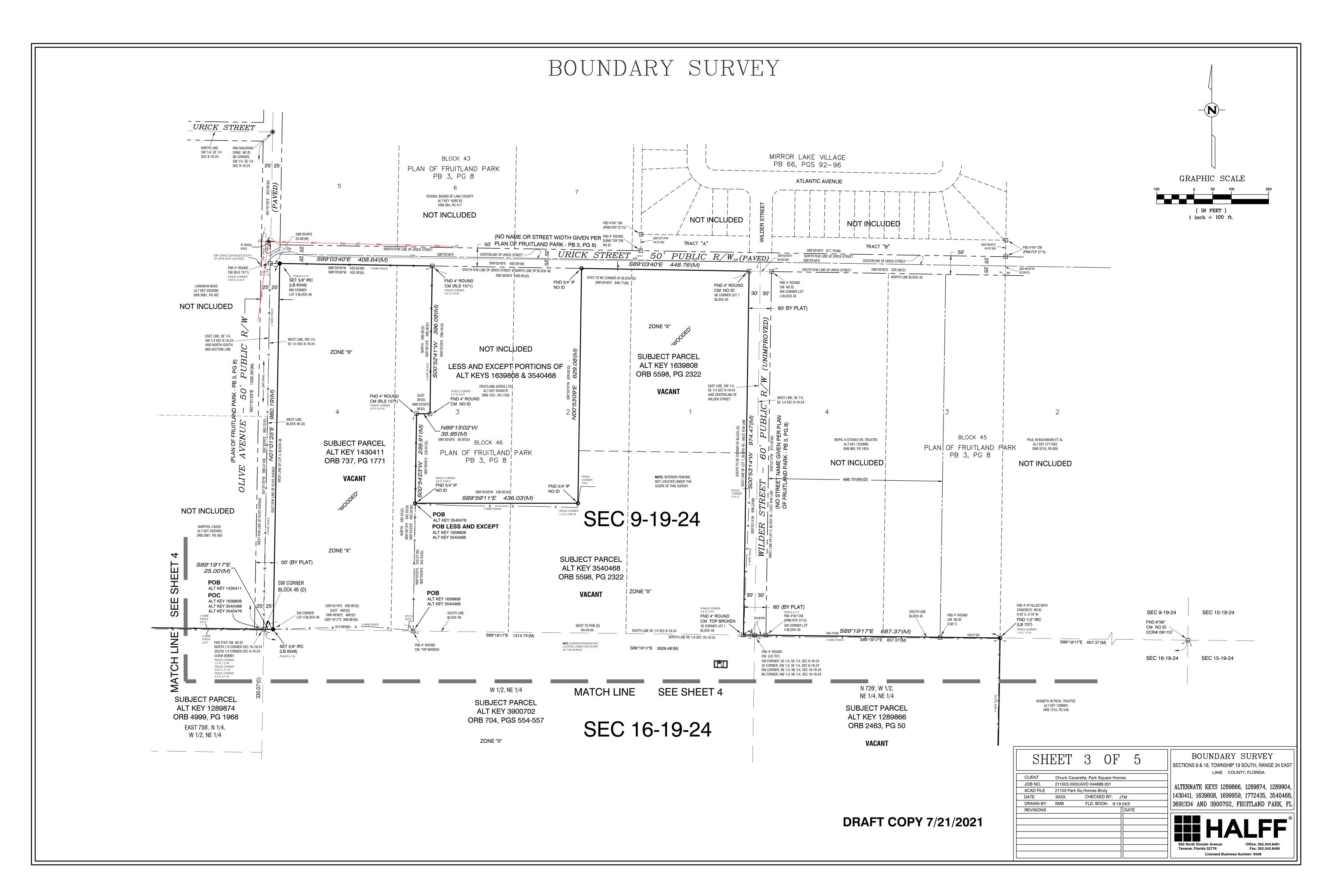
SHI	EET	1	OF	5	BOUNDARY SURVEY SECTIONS 9 & 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST
CLIENT JOB NO.	Chuck Cavare 211003.0000/		Square Homes	: :	LAKE COUNTY, FLORIDA.
ACAD FILE 21103 Park Sq Homes Bndy				— ALTERNATE KEYS 1289866, 1289874, 1289904,	
DATE	XXXX	CHEC	KED BY: JTN	1	<u> 1430411, 1639808, 1699959, 1772435, 3540468, </u>
DRAWN BY:	SMB	FLD. E	BOOK: 9-19-24	1/II	3691334 AND 3900702, FRUITLAND PARK, FL
REVISIONS			1	DATE	
					902 North Sinclair Avenue Office: 352.343.8481 Tavares, Florida 32778 Fax: 352.343.8495 Licensed Business Number: 8348

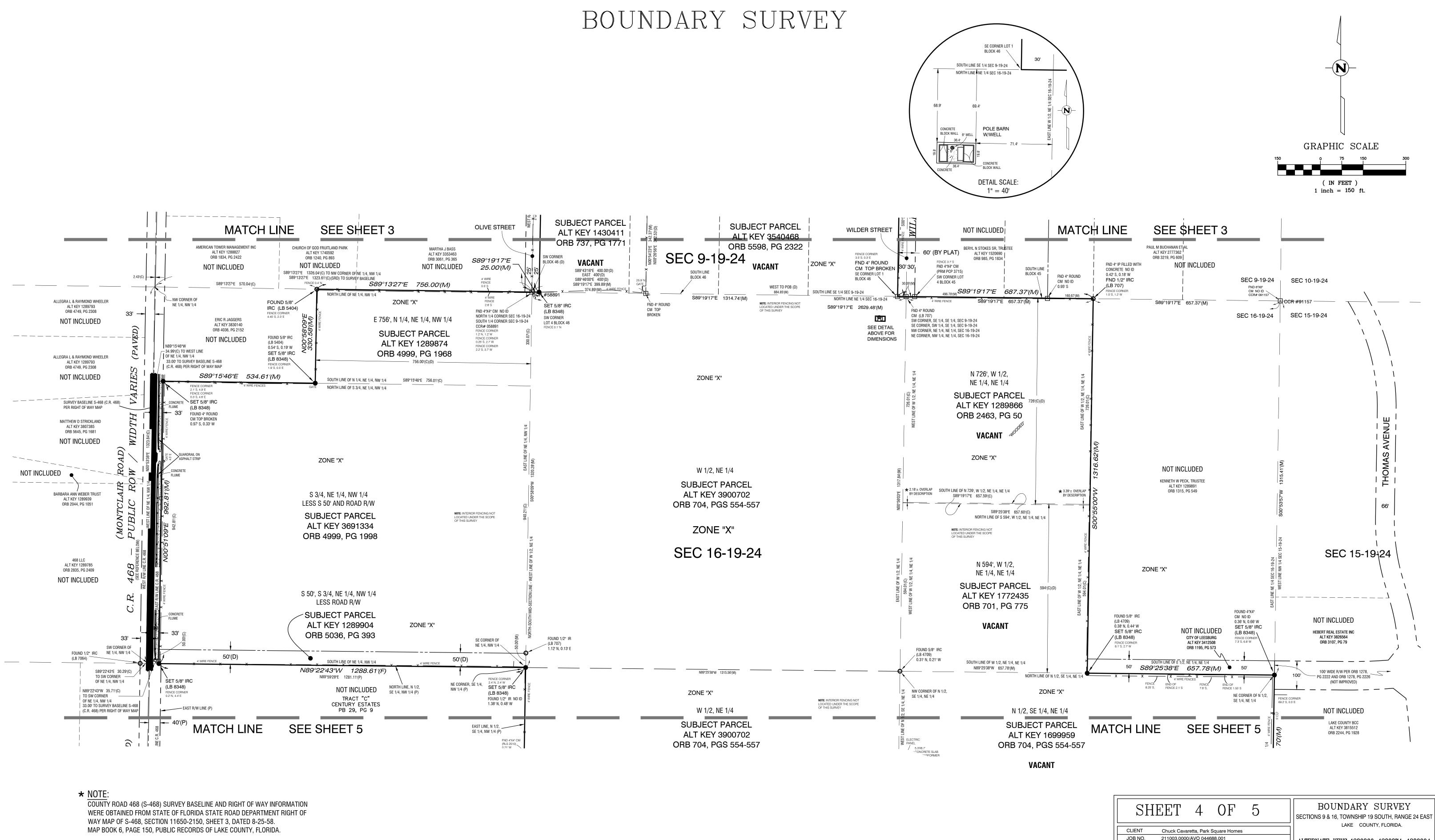
CERTIFIED TO: PARK SQUARE ENTERPRISES, LLC

DRAFT COPY 7/21/2021

JOHN T. McGLOHORN, PROFESSIONAL SURVEYOR & MAPPER FLORIDA REGISTRATION NO. 6023

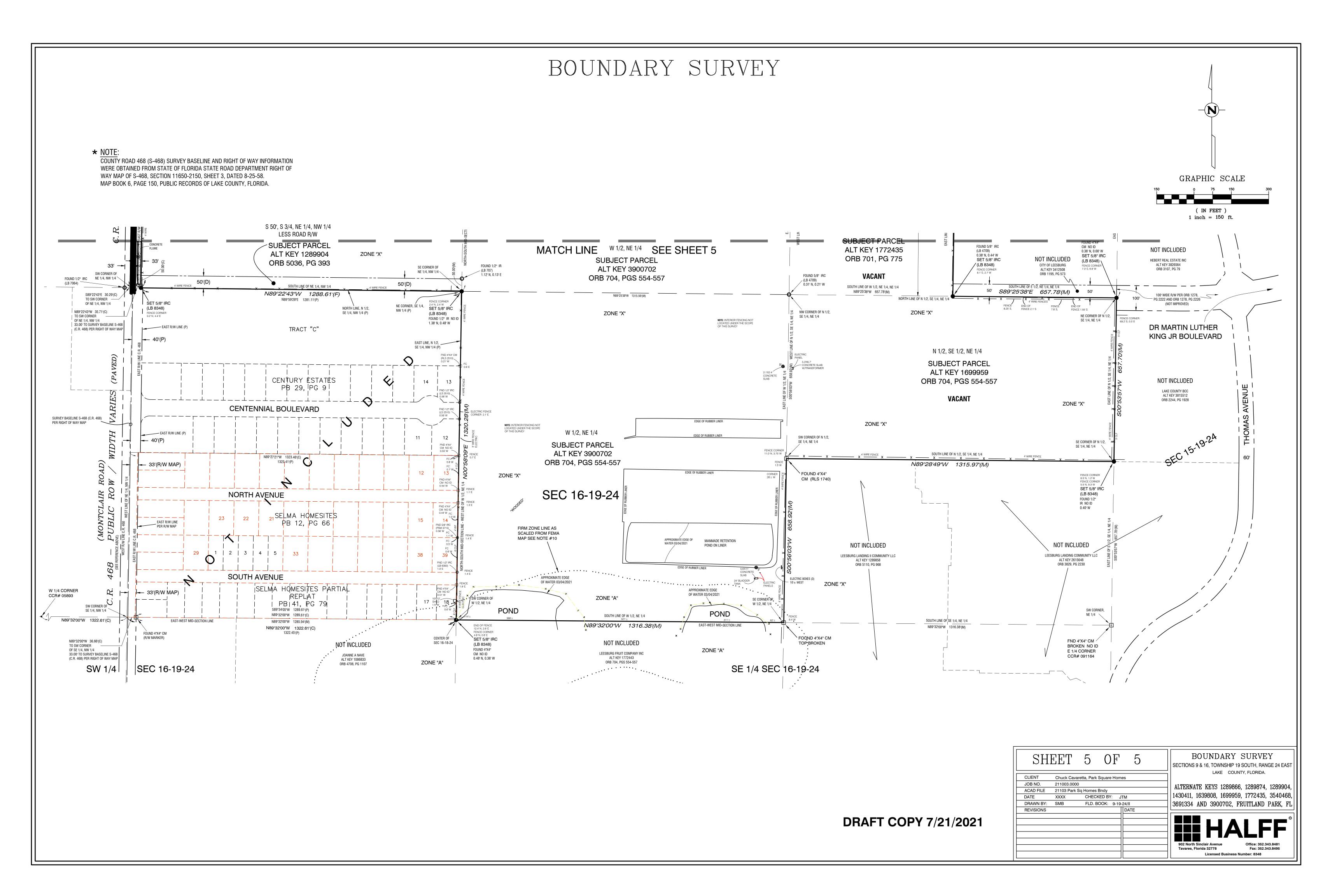


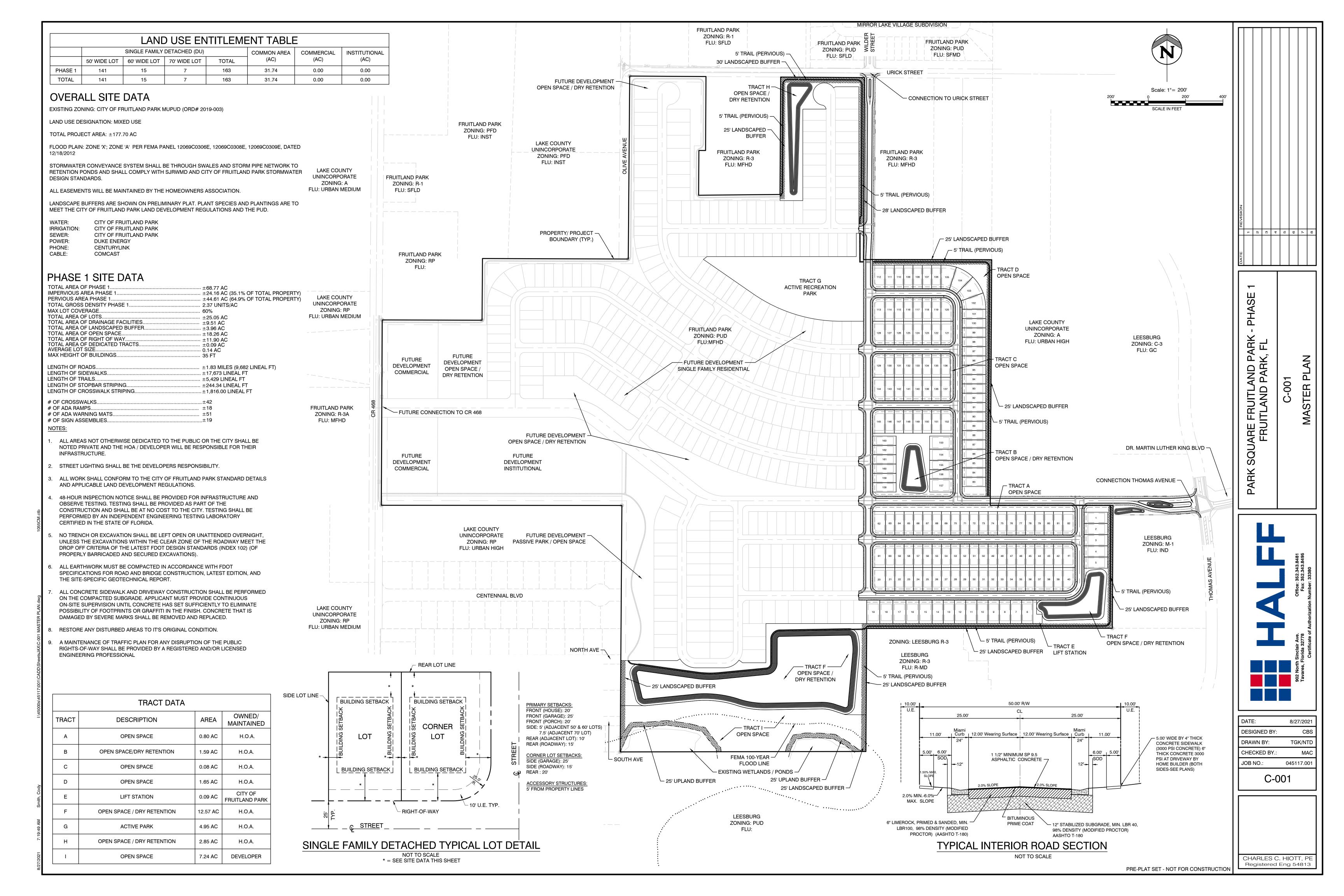


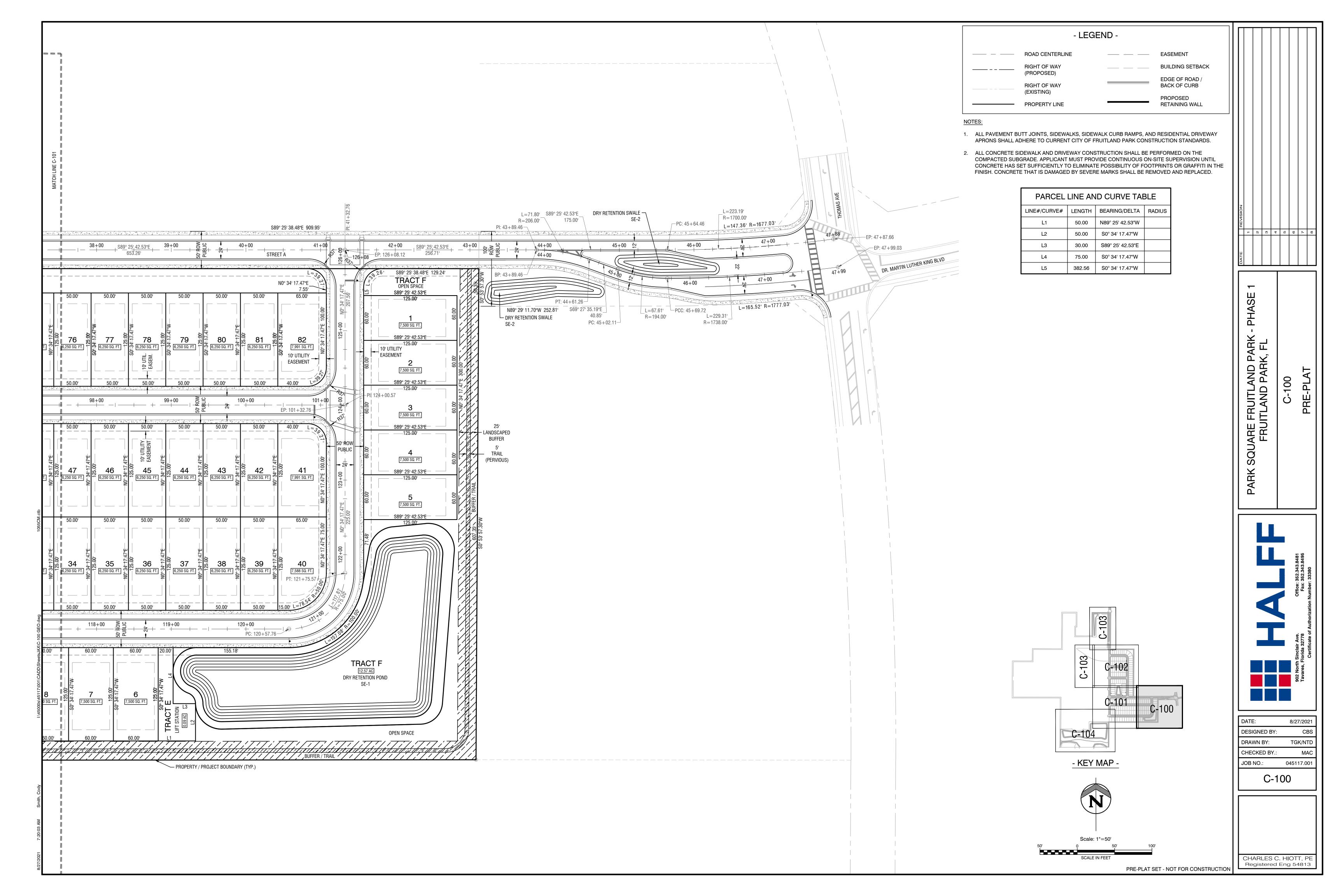


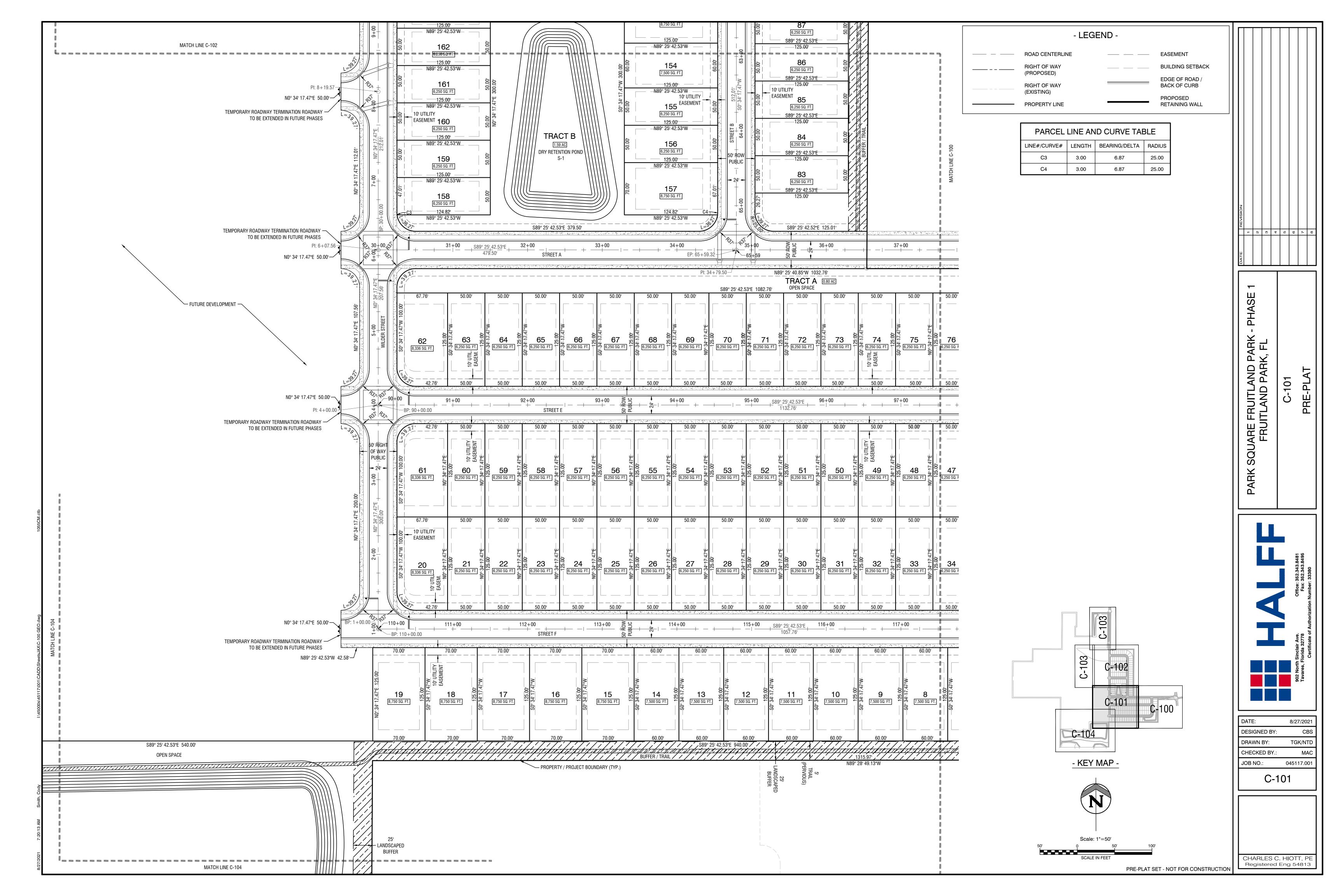
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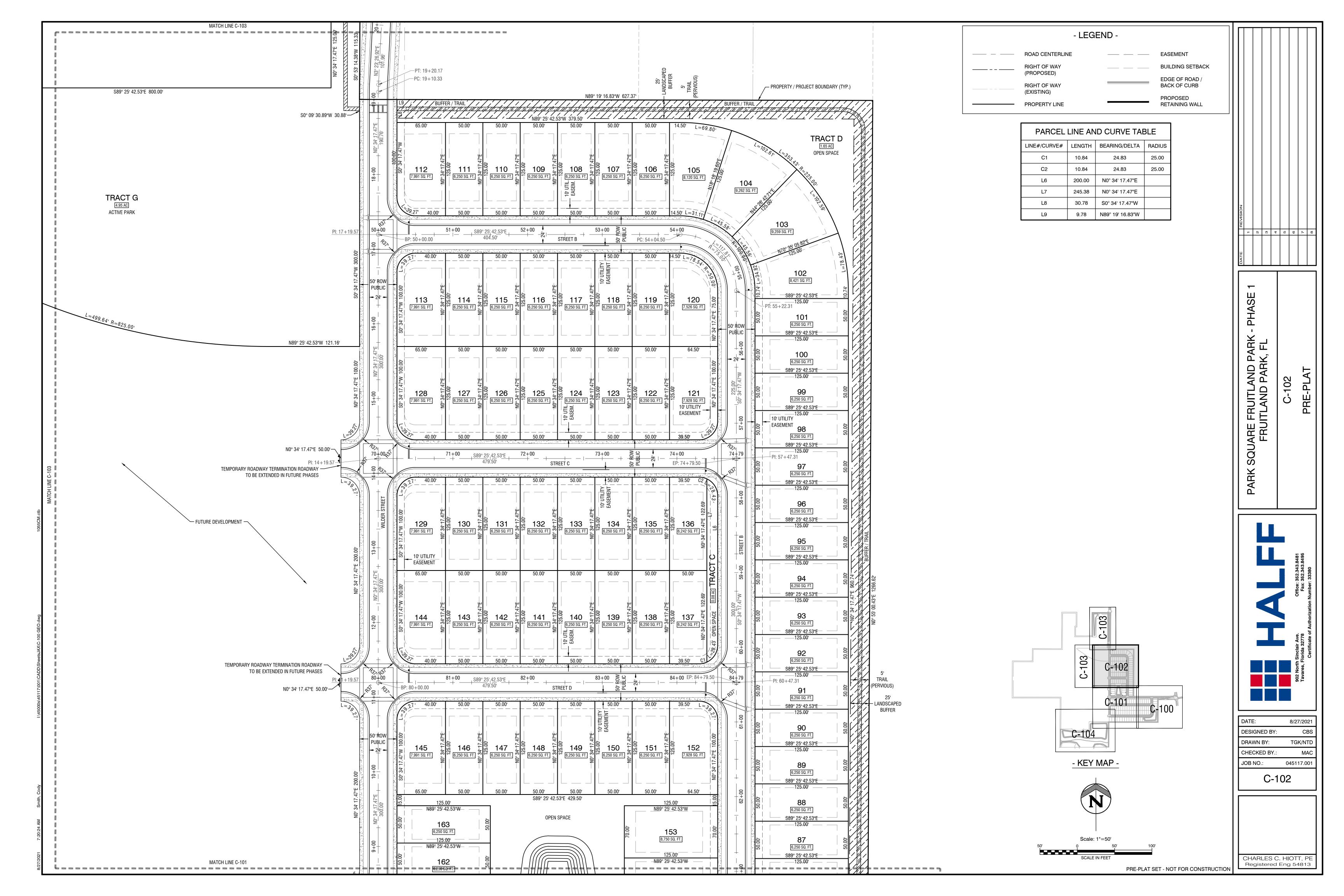
Licensed Business Number: 8348

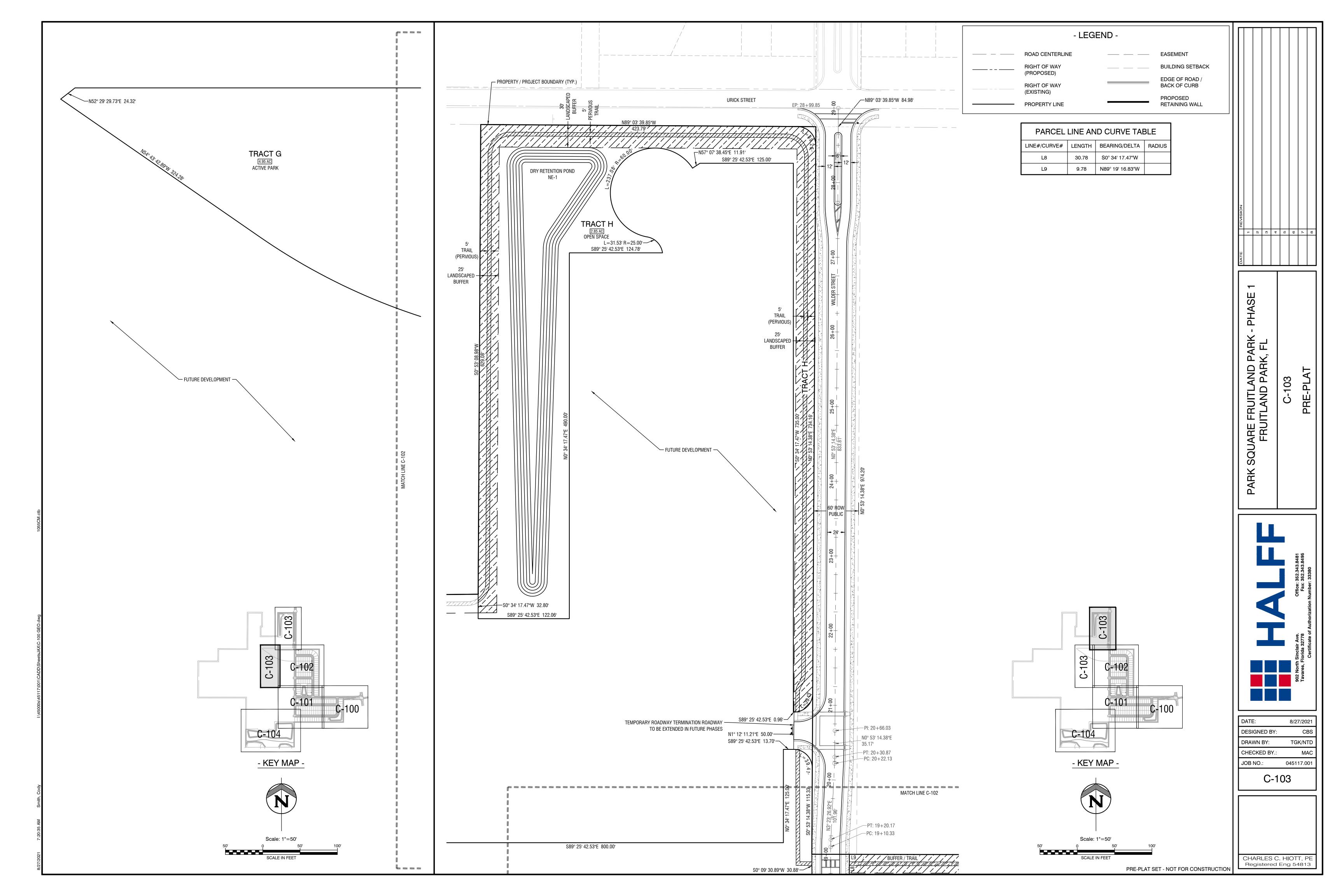


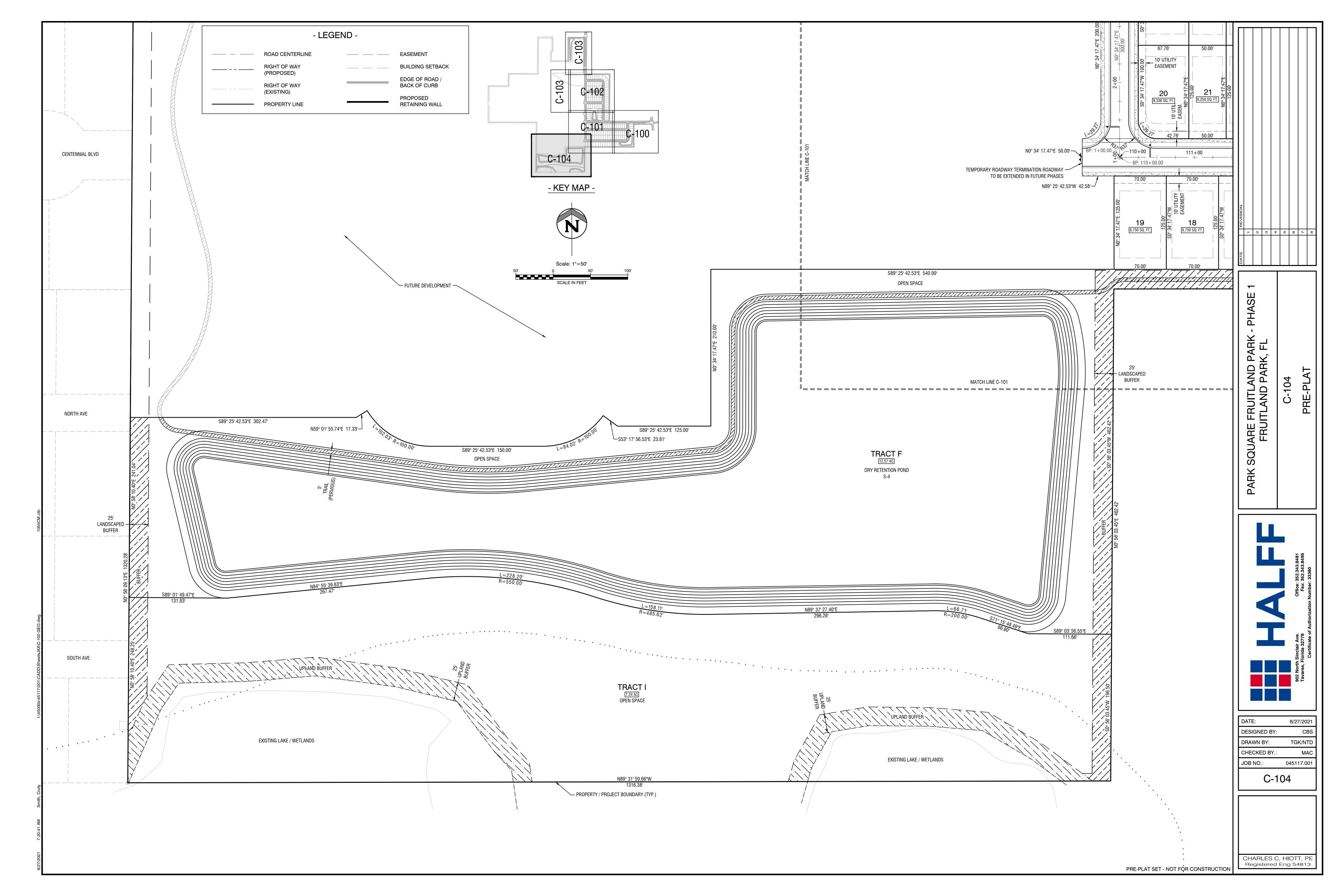


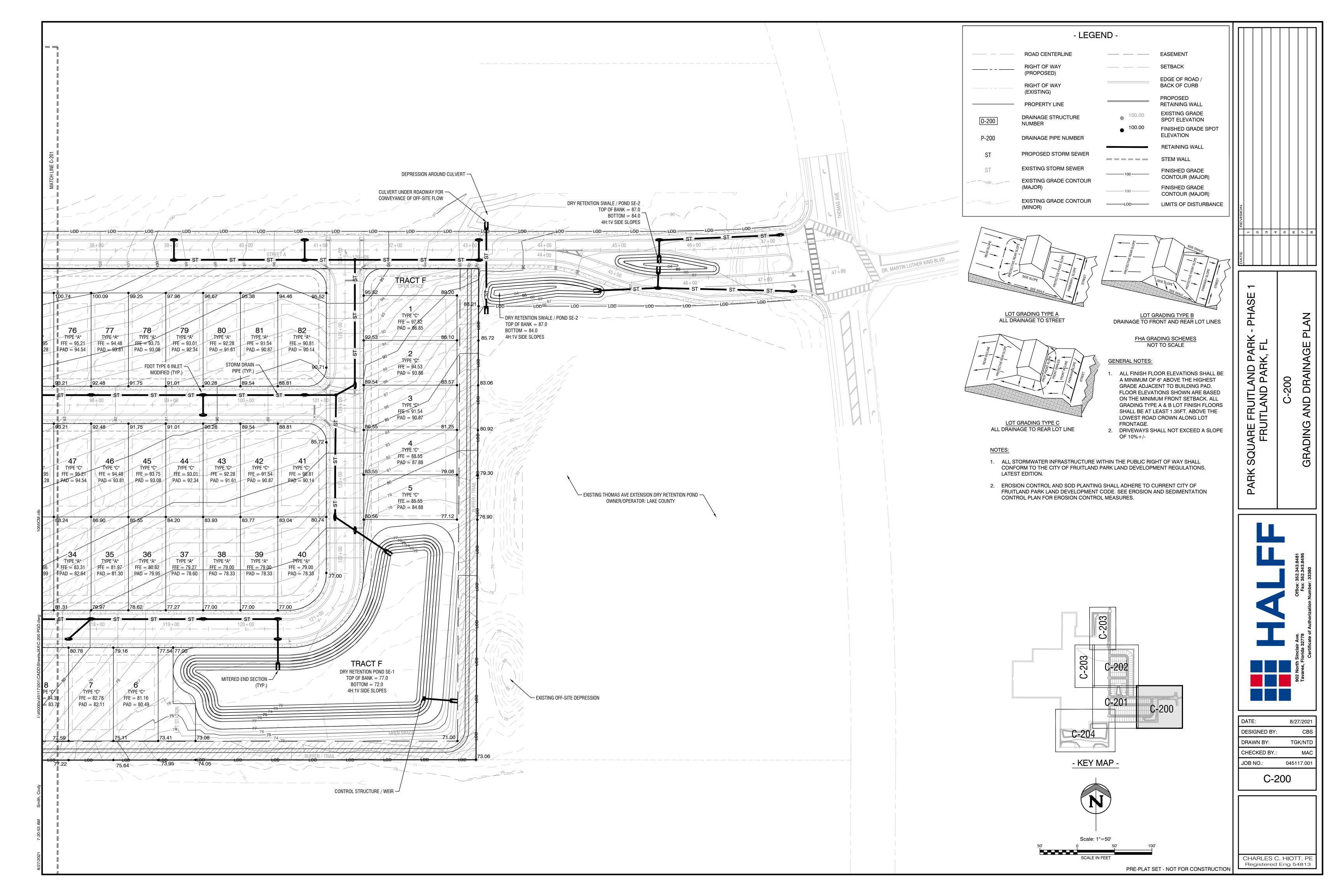


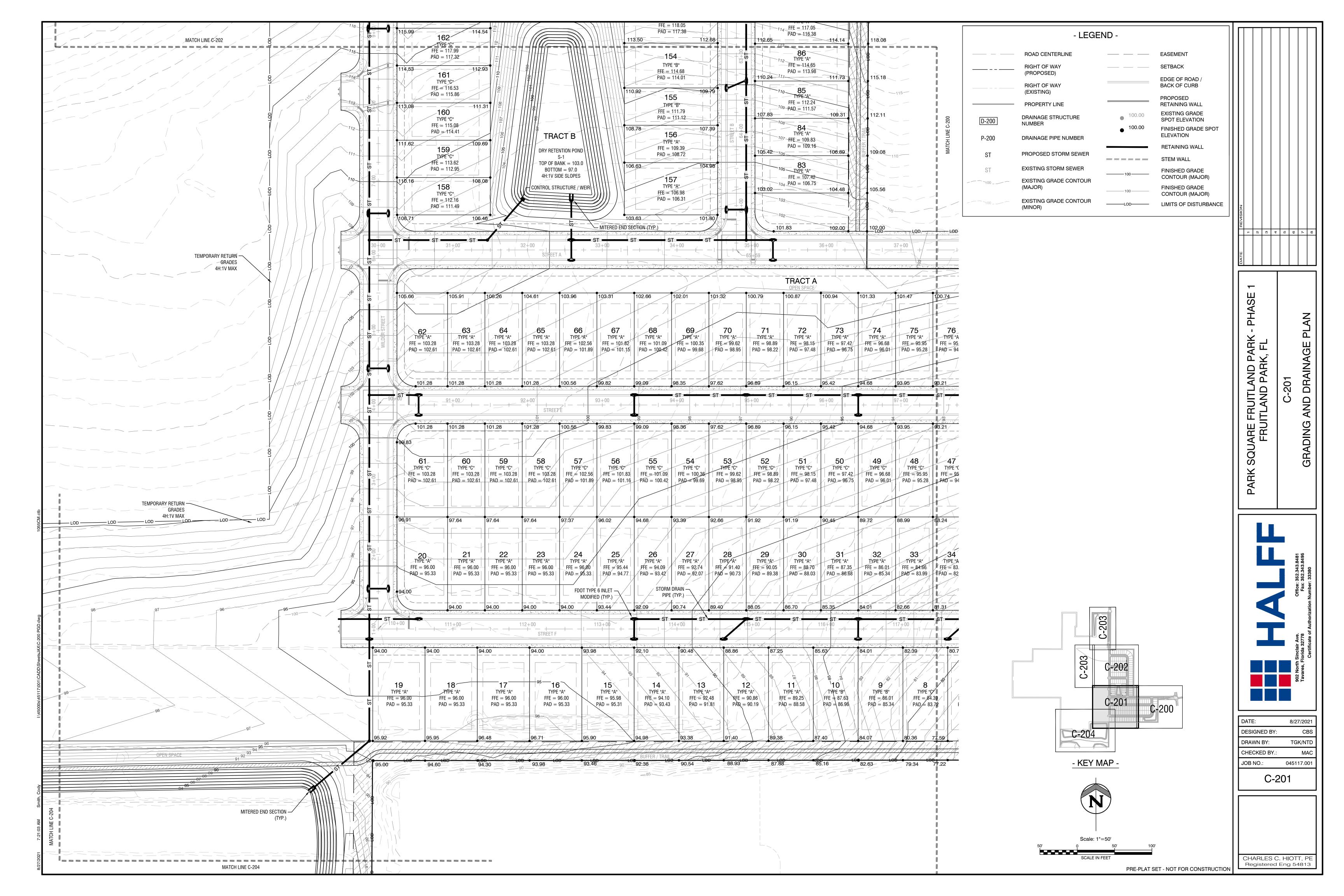


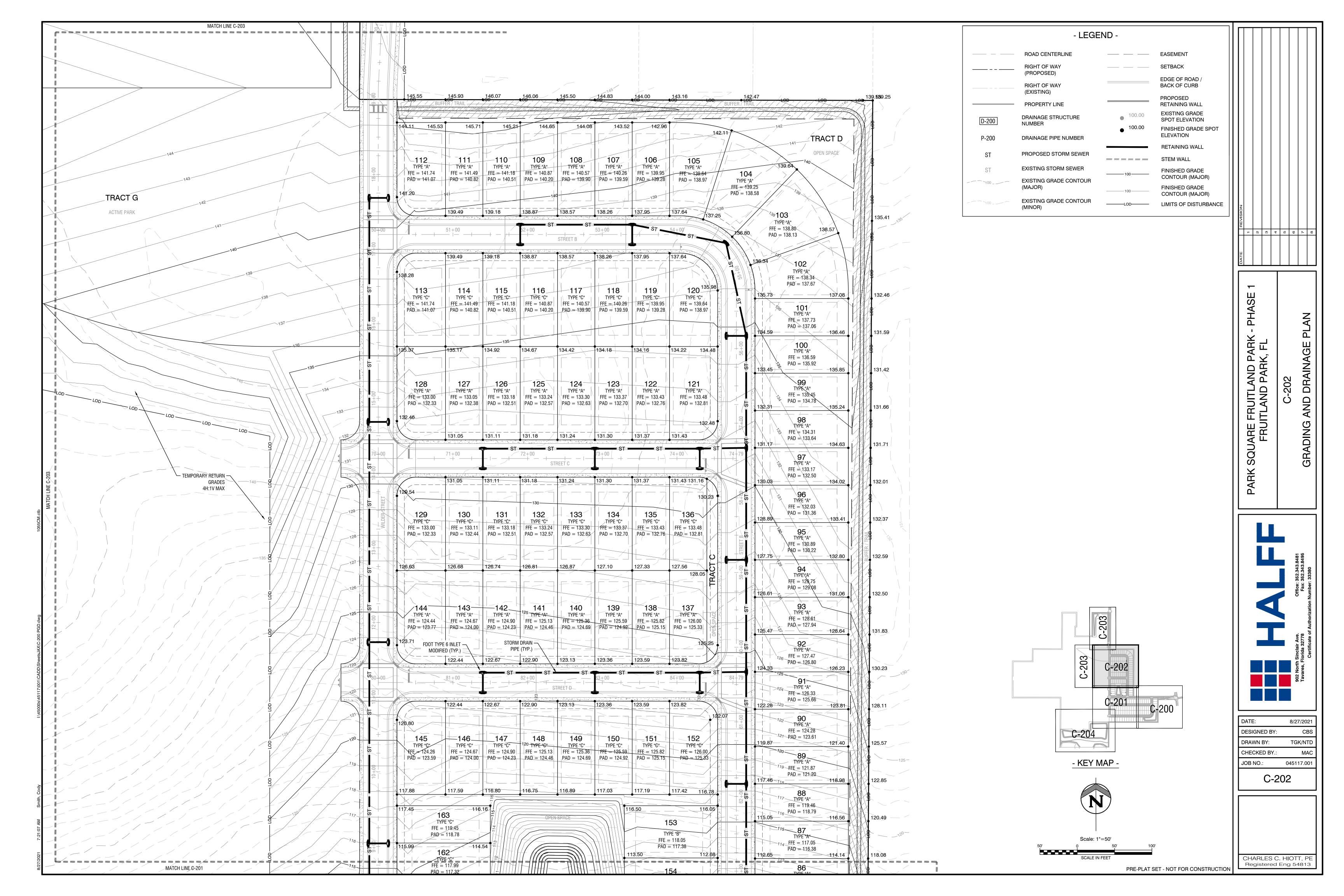


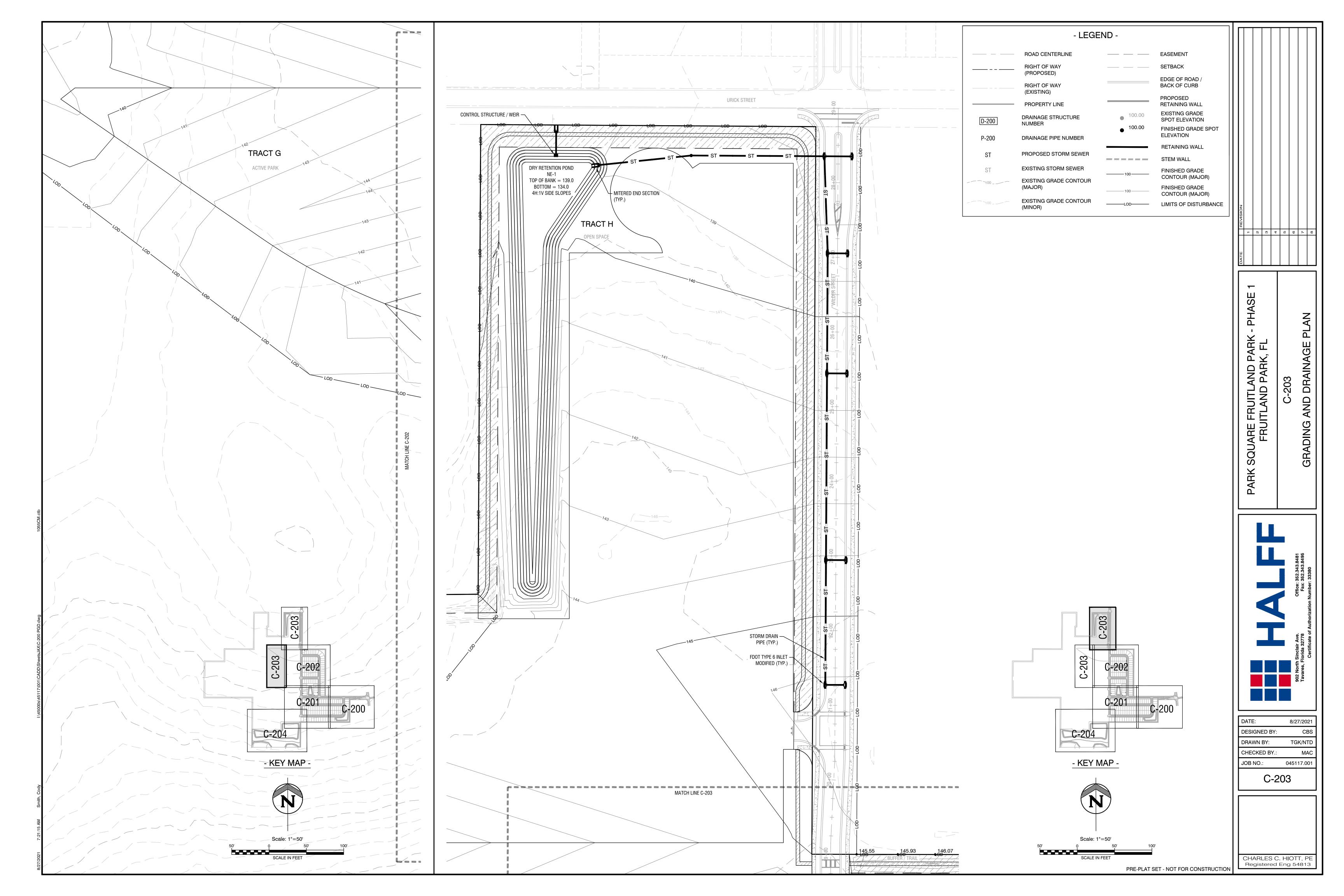


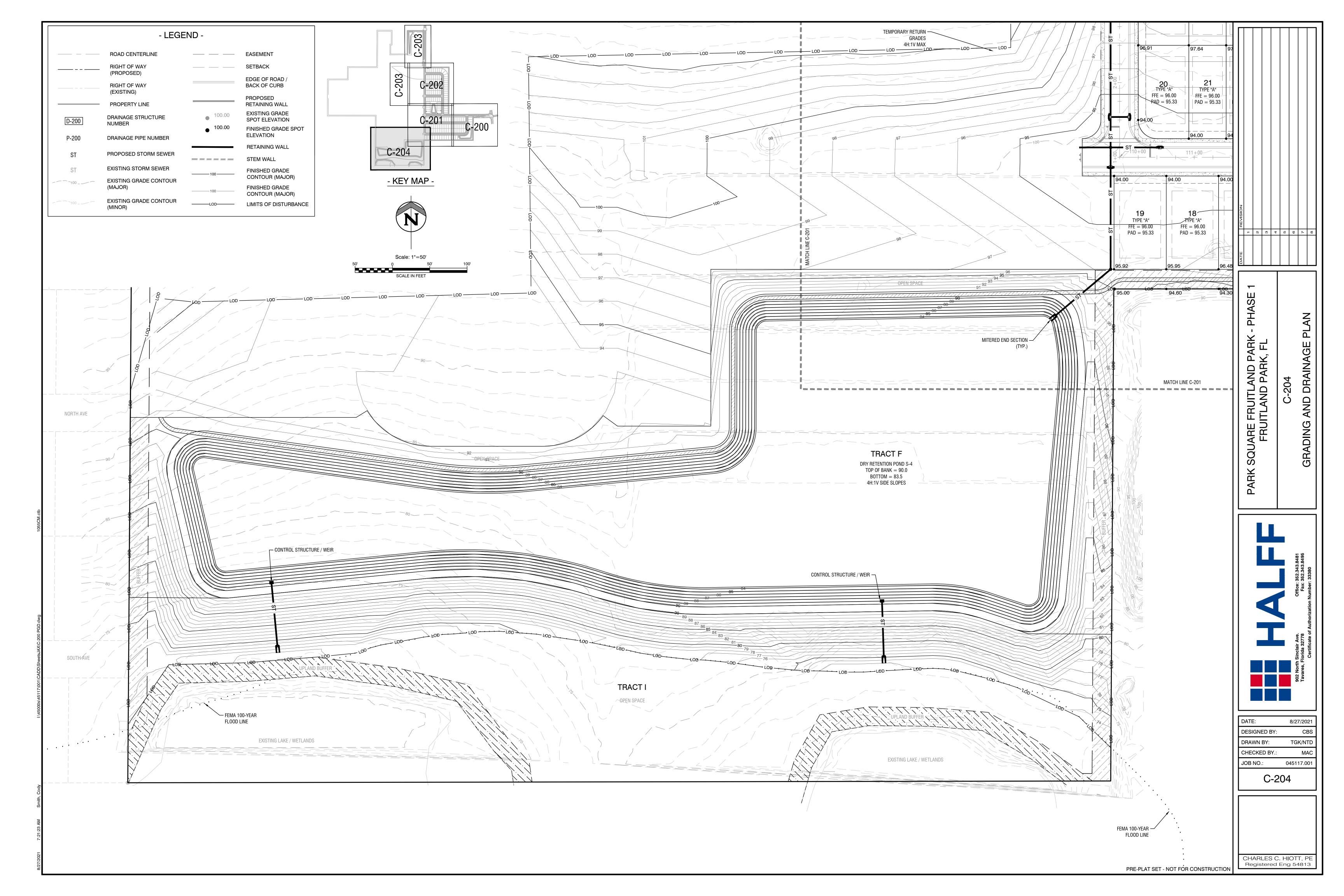


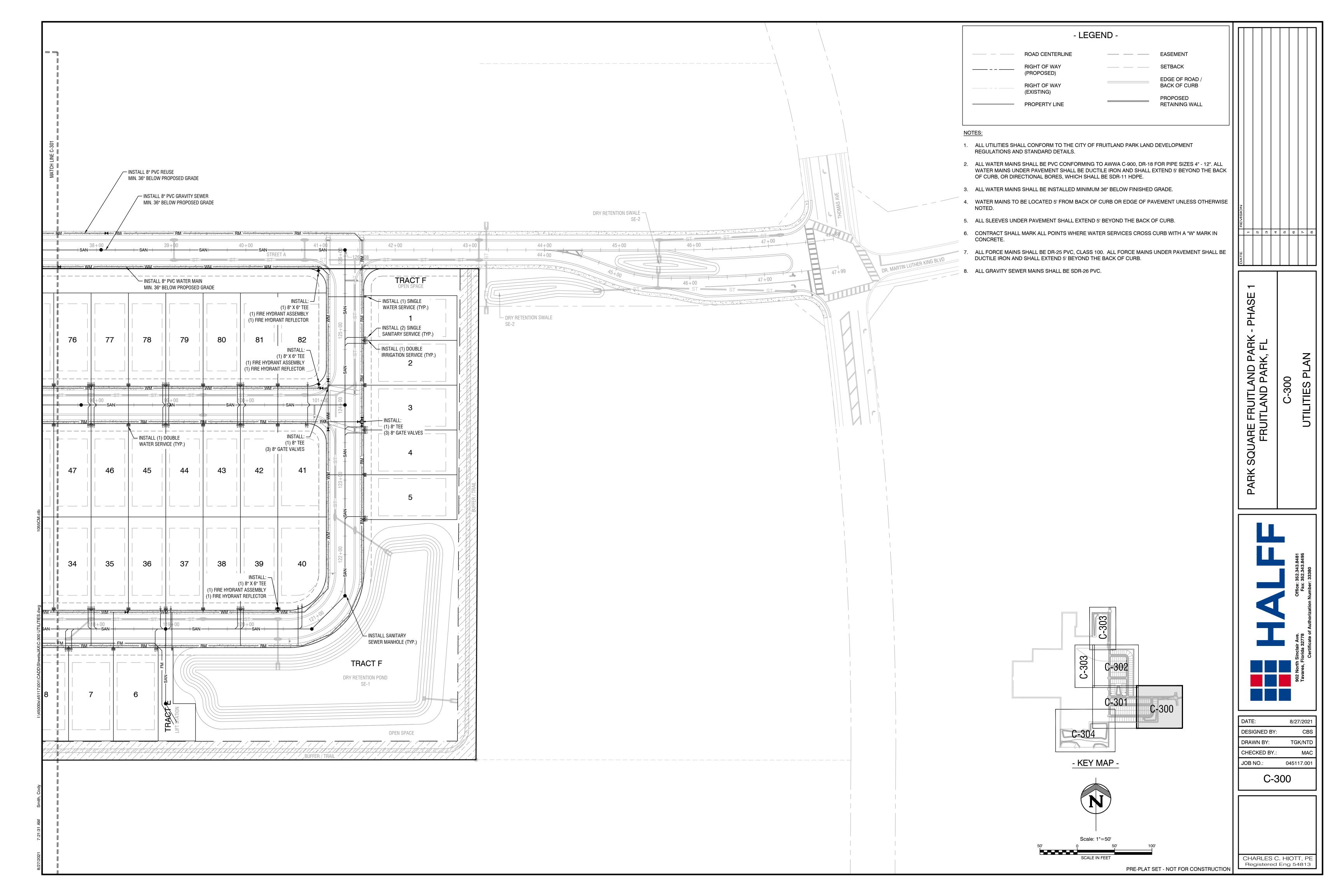


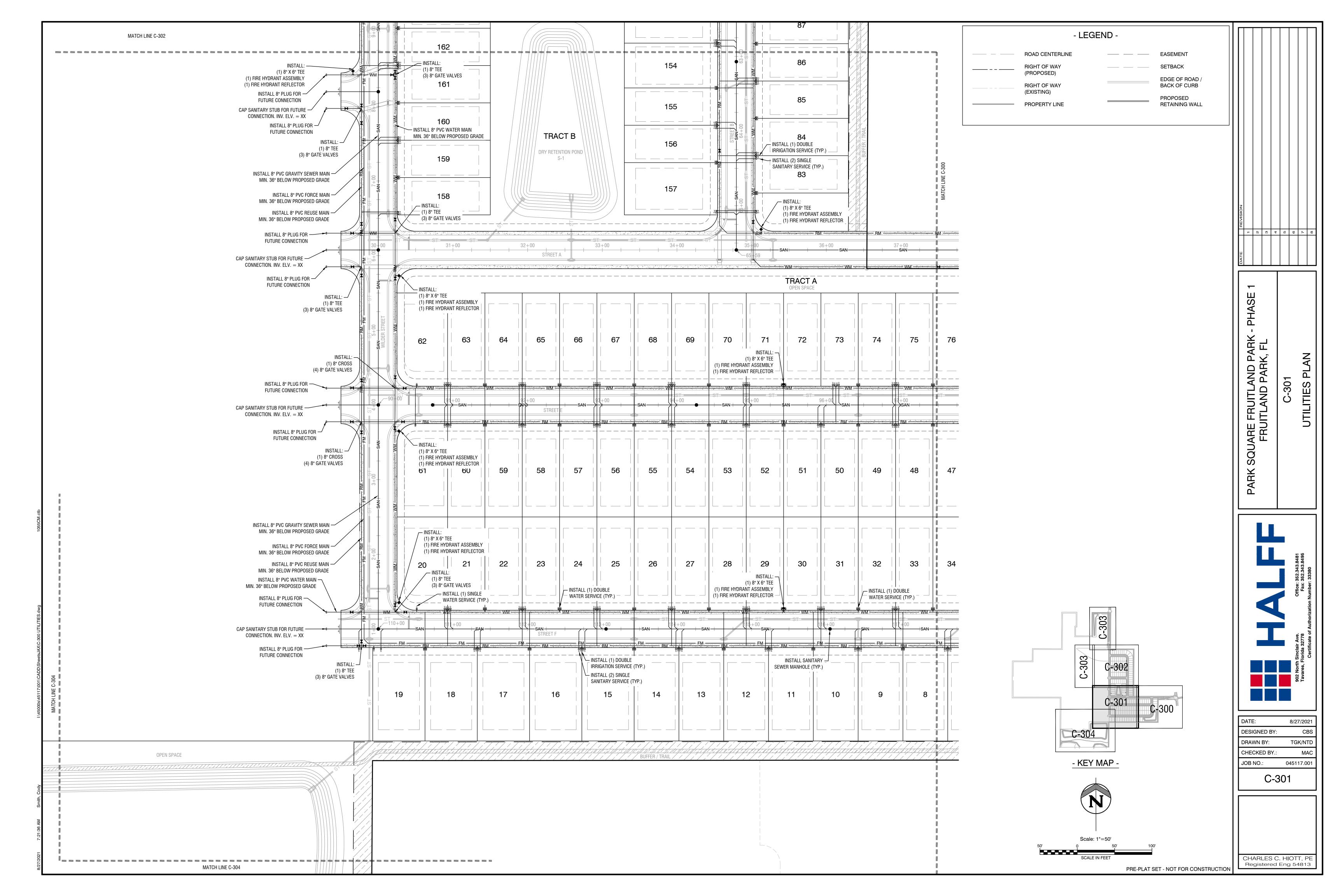


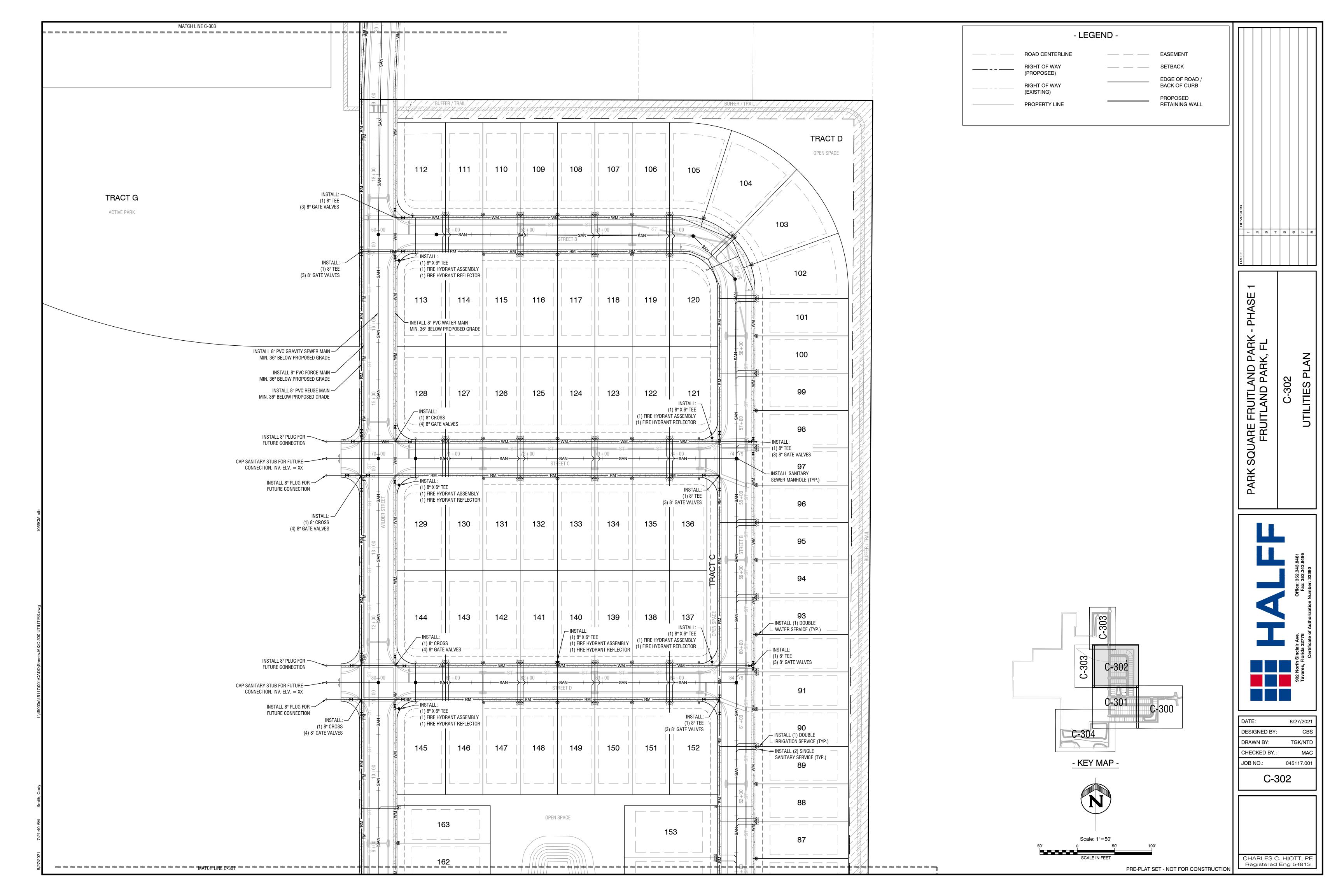


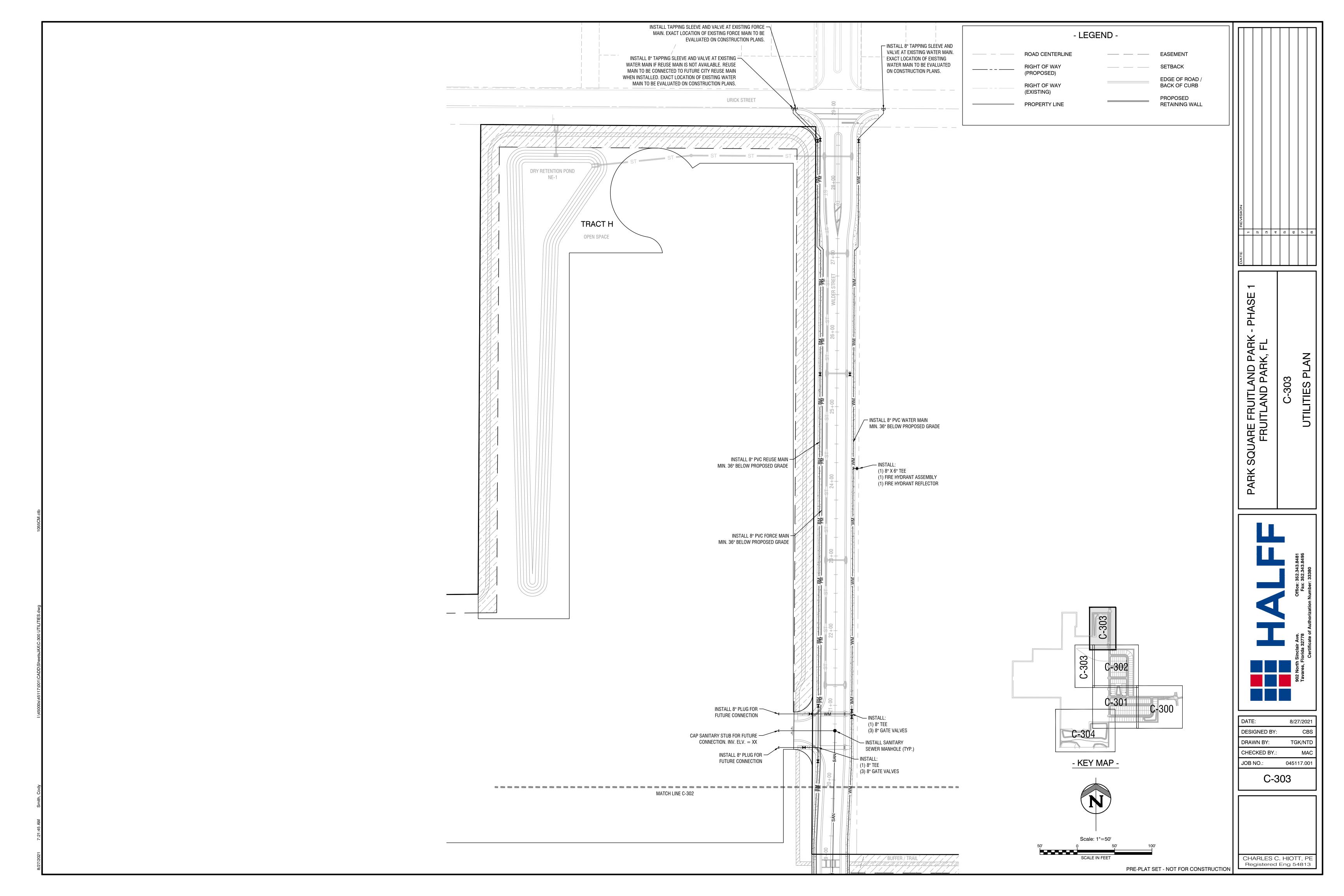


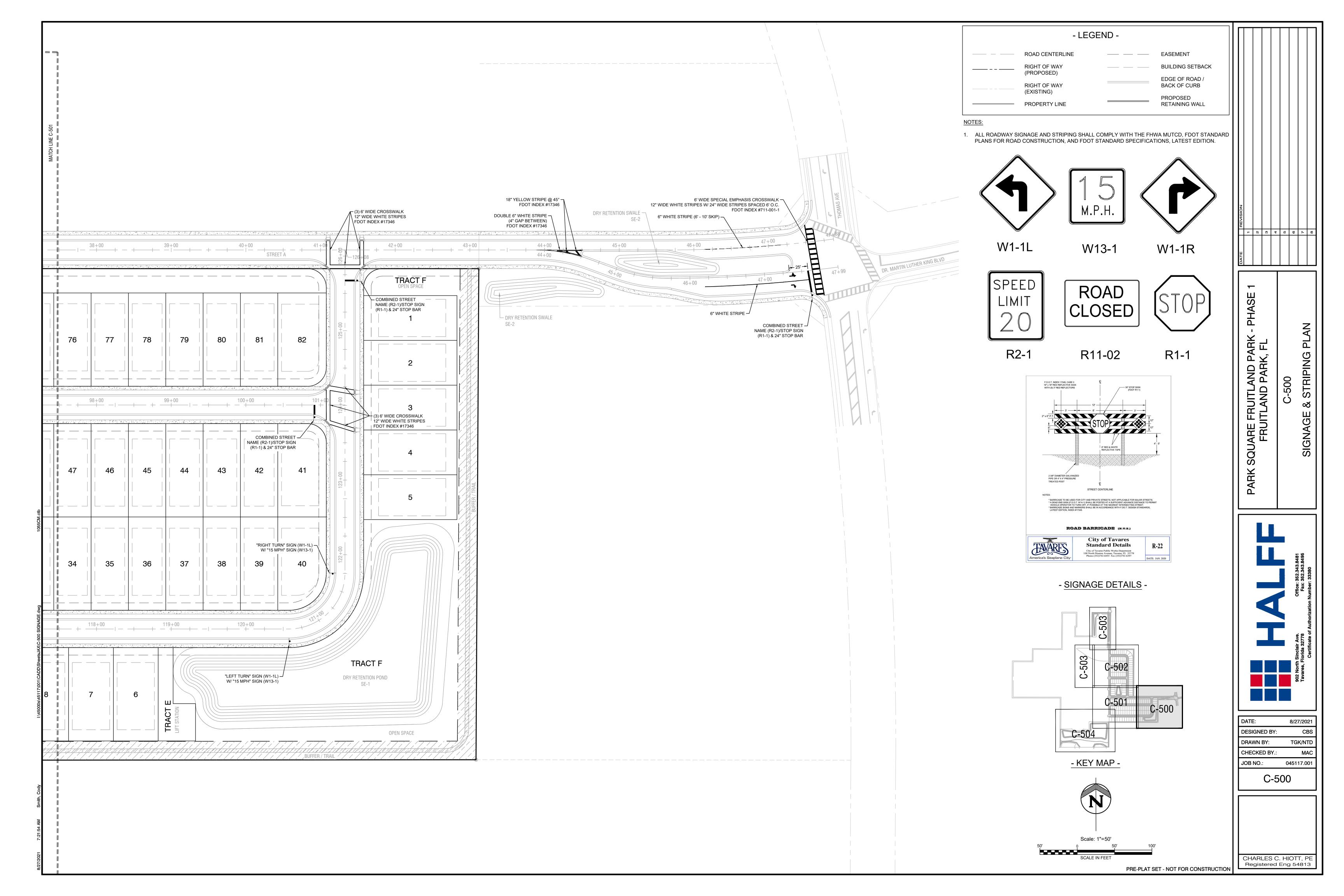


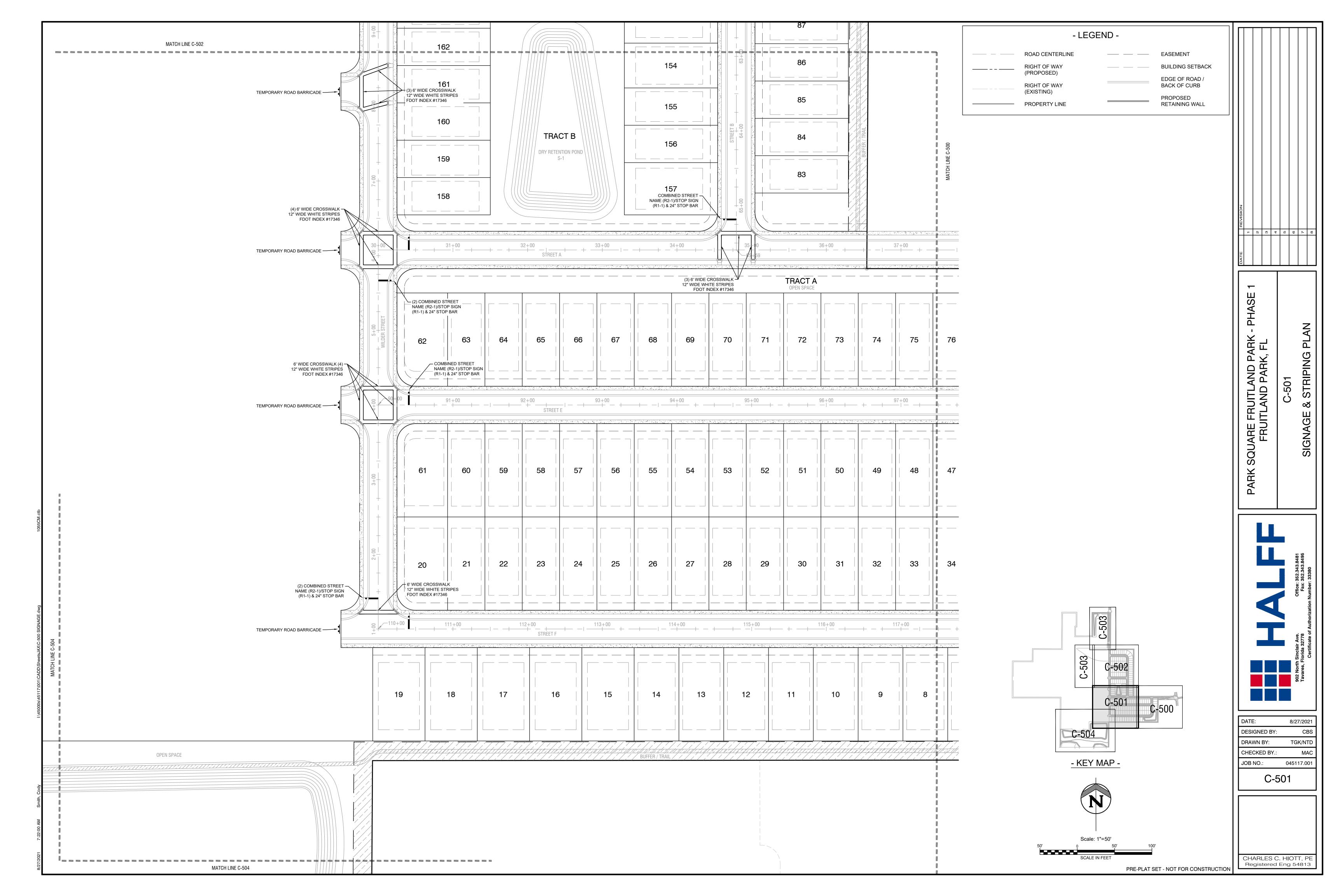


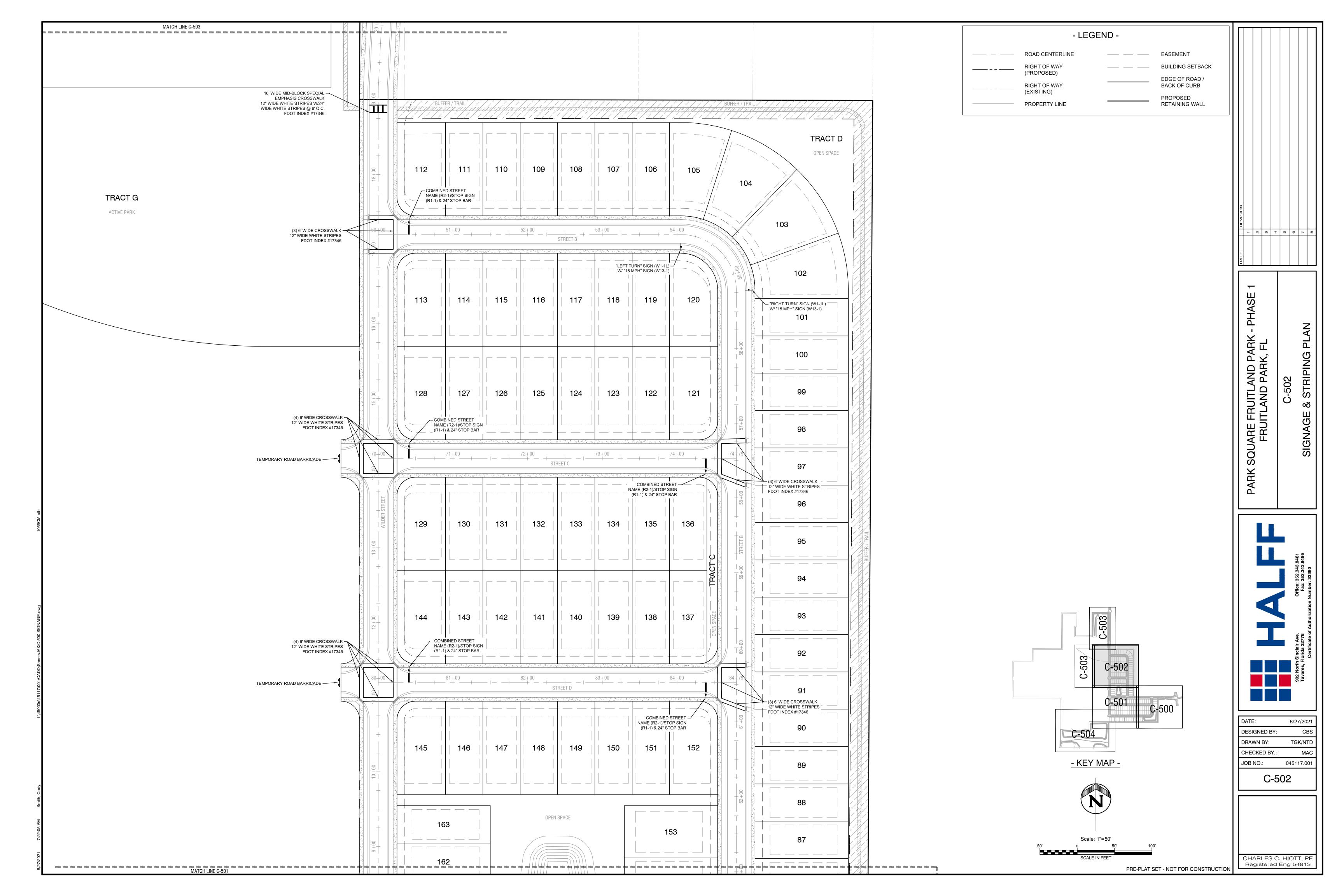


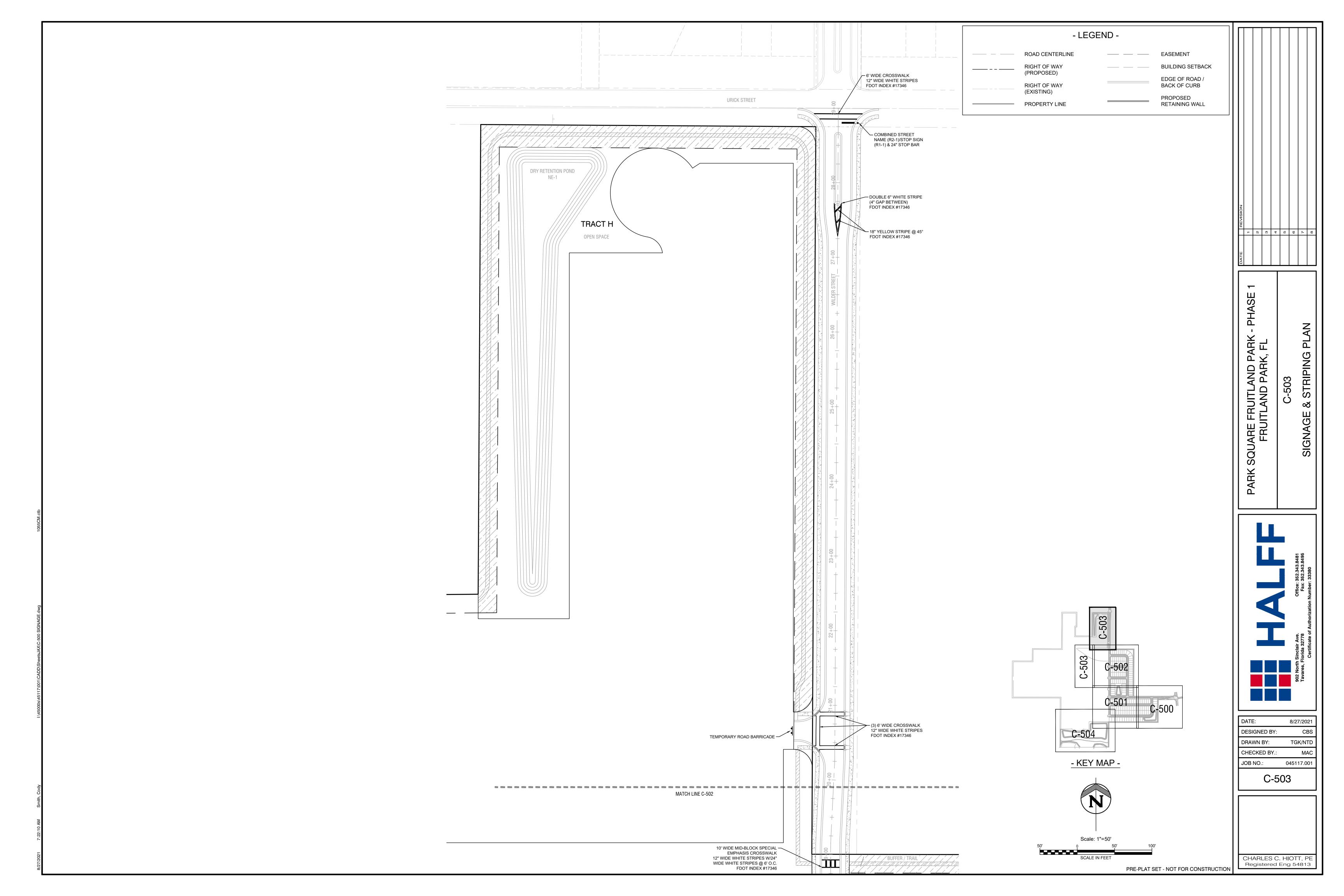












◆ 24" OAK Denotes tree location, size and type
UNK Denotes unknown tree type

SHEET INDEX

SHEET 1 - NOTES & TOPOGRAPHIC & TREE SURVEY

SHEETS 2 THRU 9 - TOPOGRAPHIC & TREE SURVEY

SHEET 10 - 11 - DETAIL SHEET

SHEETS 12 THRU 16 - TREE TABLES

SURVEYOR'S NOTES:
THIS IS NOT A BOUNDARY SURVEY.

The purpose of this survey is to depict the size and type of trees on the site.

Trees sizes depicted hereon are based on the diameter of the tree in inches measured at breast height.

There may be easements and restrictions of record and/or private agreements not furnished to this surveyor or shown on this survey that may affect property rights and/or land use rights of the subject property.

This survey was performed without the benefit of an insurance title commitment.

There may be environmental issues and/or other matters regulated by various departments of federal, state or local governments affecting the subject property not shown on this survey.

This survey was performed for the sole and exclusive benefit of the entities listed hereon and shall not be relied upon by any other entity or individual whomsoever.

This survey is not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper.

Unless otherwise noted or shown hereon, there are no apparent and/or unobstructed, above ground encroachments. The disposition of any potential encroaching improvements shown is beyond professional purview and subject to legal interpretation.

Elevations shown hereon are based on City of Leesburg Datum, Benchmark number LE16, elevation being 136.997. North American Vertical Datum 1988





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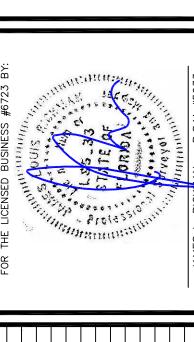
16 EAST PLANT STREET WINTER GARDEN, FLORIDA 34787

(407) 654–5355 FAX (407) 654–5356

TREE SURV TD PARK

FRUITLAND PAI

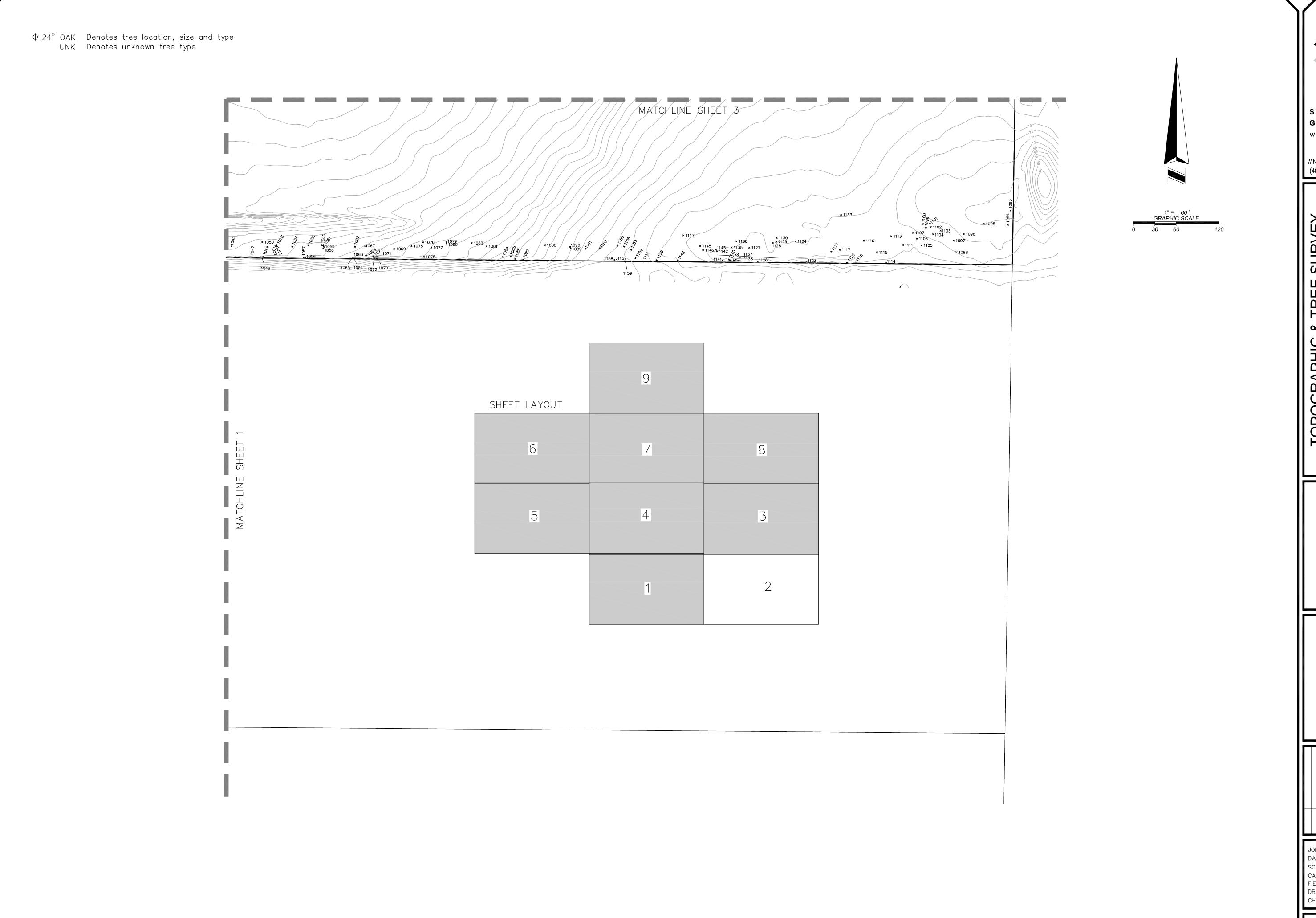
FOR: PARK SQUARE HOMES



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SHEET 1 OF



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4 24" OAK Denotes tree location, size and typeUNK Denotes unknown tree type MATCHLINE SHEET 3 SURVEYING . MAPPING GEOSPATIAL SERVICES MATCHLINE SHEET 8 www.allen-company.com 16 EAST PLANT STREET WINTER GARDEN, FLORIDA 34787 (407) 654–5355 FAX (407) 654–5356 9 SHEET LAYOUT 121 * 4246 * 4245 * 4240

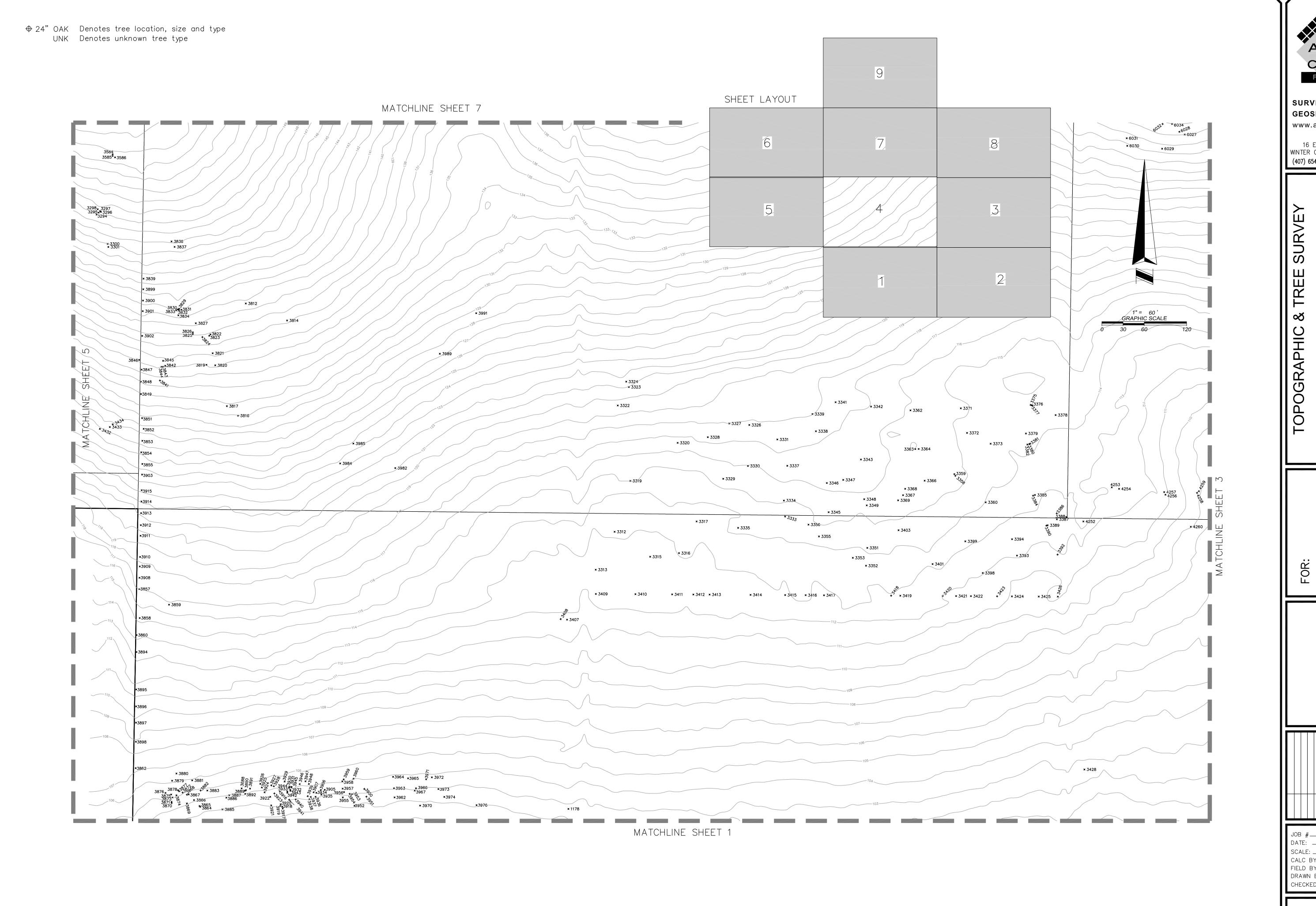
OF FRUITLAND PARK

COMPANY

Founded in 1988

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16 EAST PLANT STREET WINTER GARDEN, FLORIDA 34787 (407) 654–5355 FAX (407) 654–5356

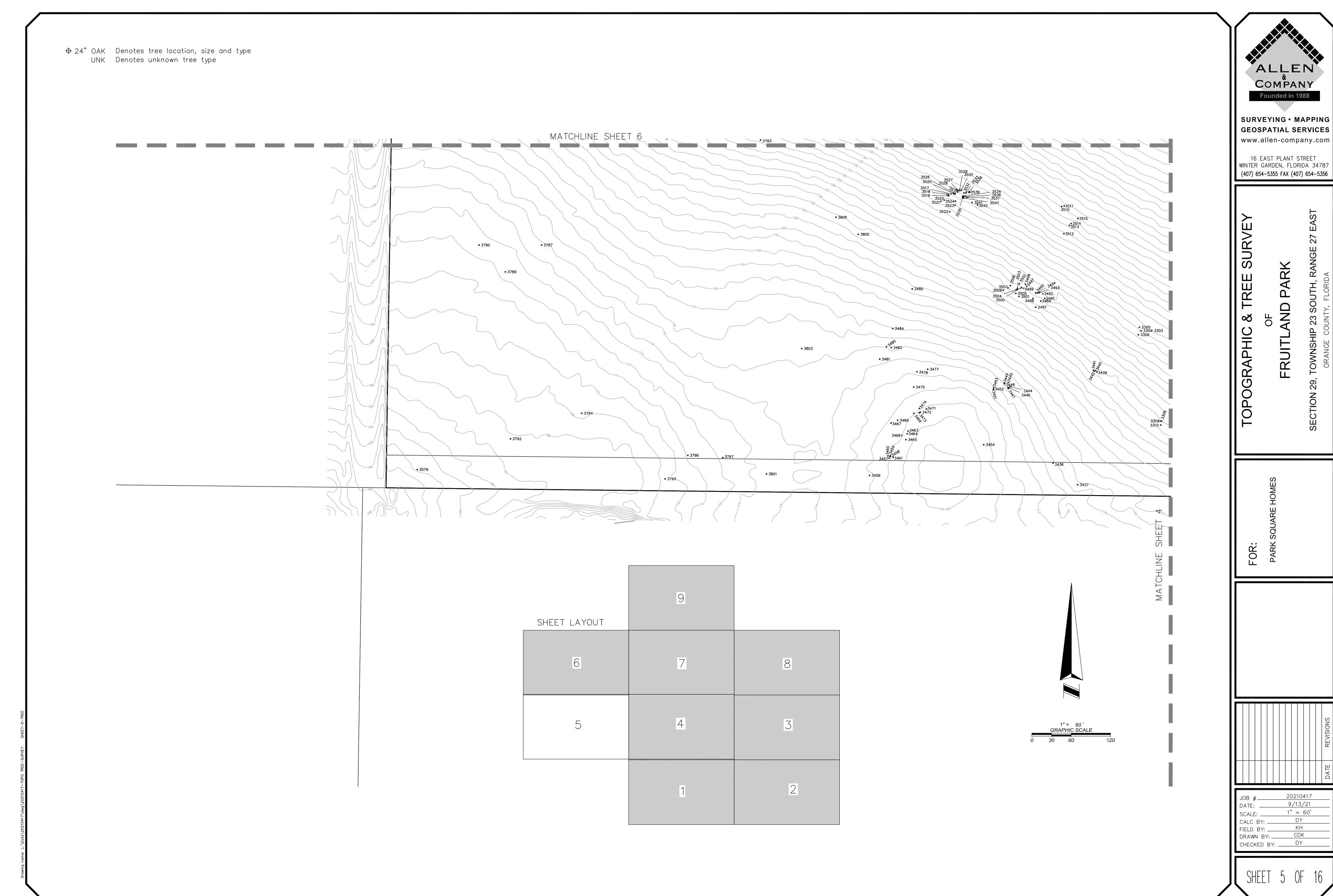
RAPHIC & TREE SURV OF FRUITLAND PARK

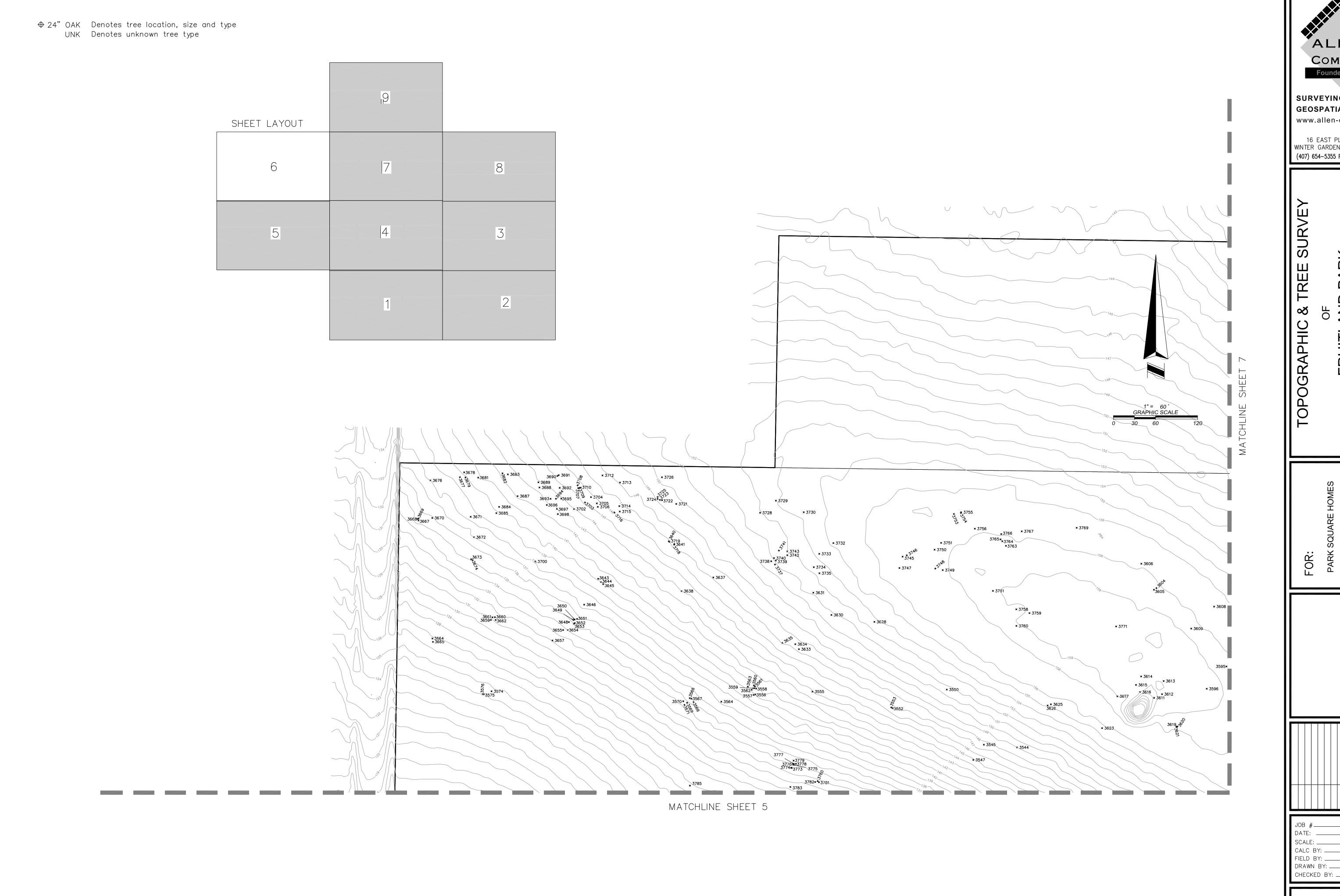
FOR:
PARK SQUARE HOMES
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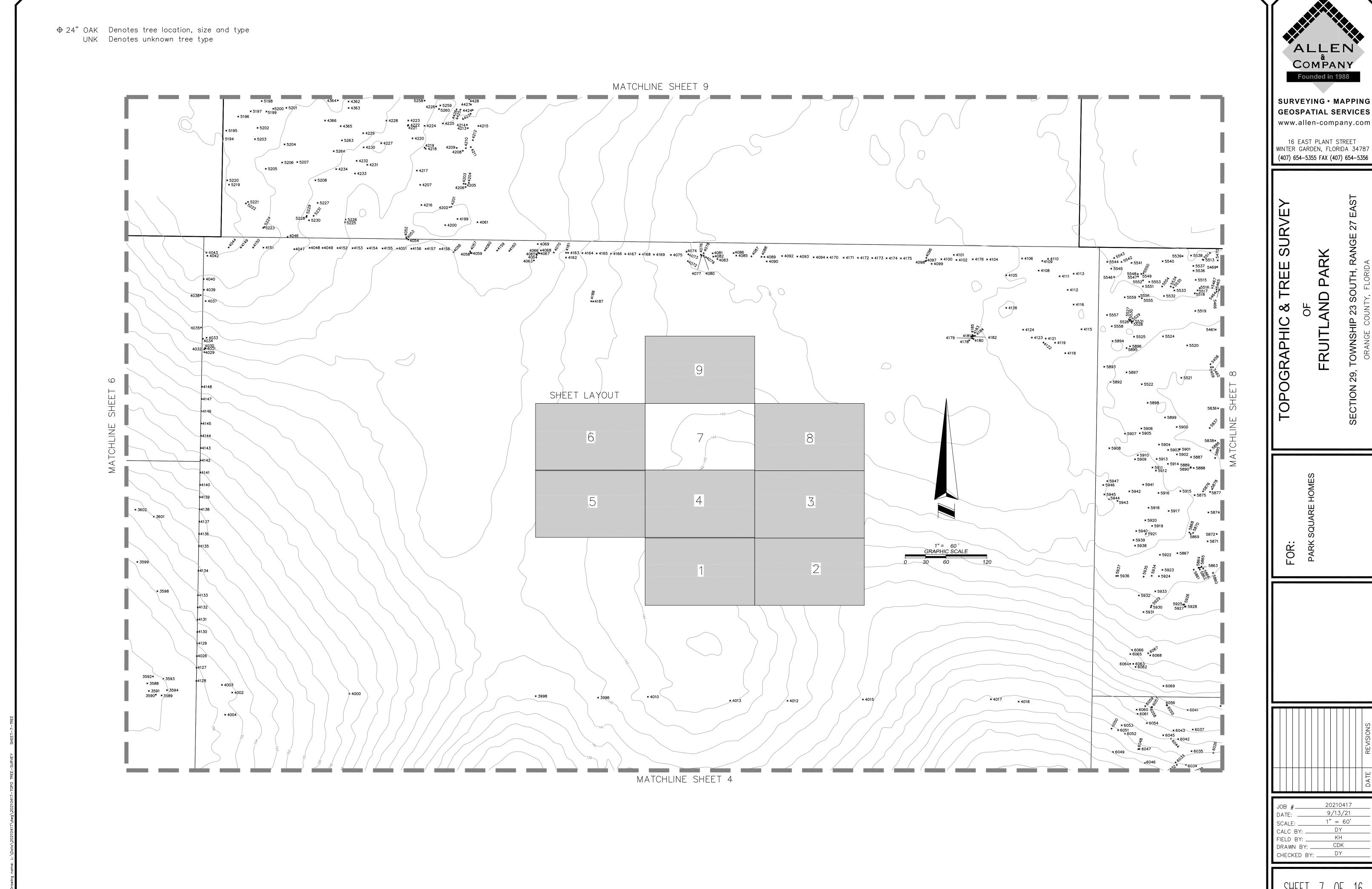
16 EAST PLANT STREET WINTER GARDEN, FLORIDA 34787

(407) 654-5355 FAX (407) 654-5356

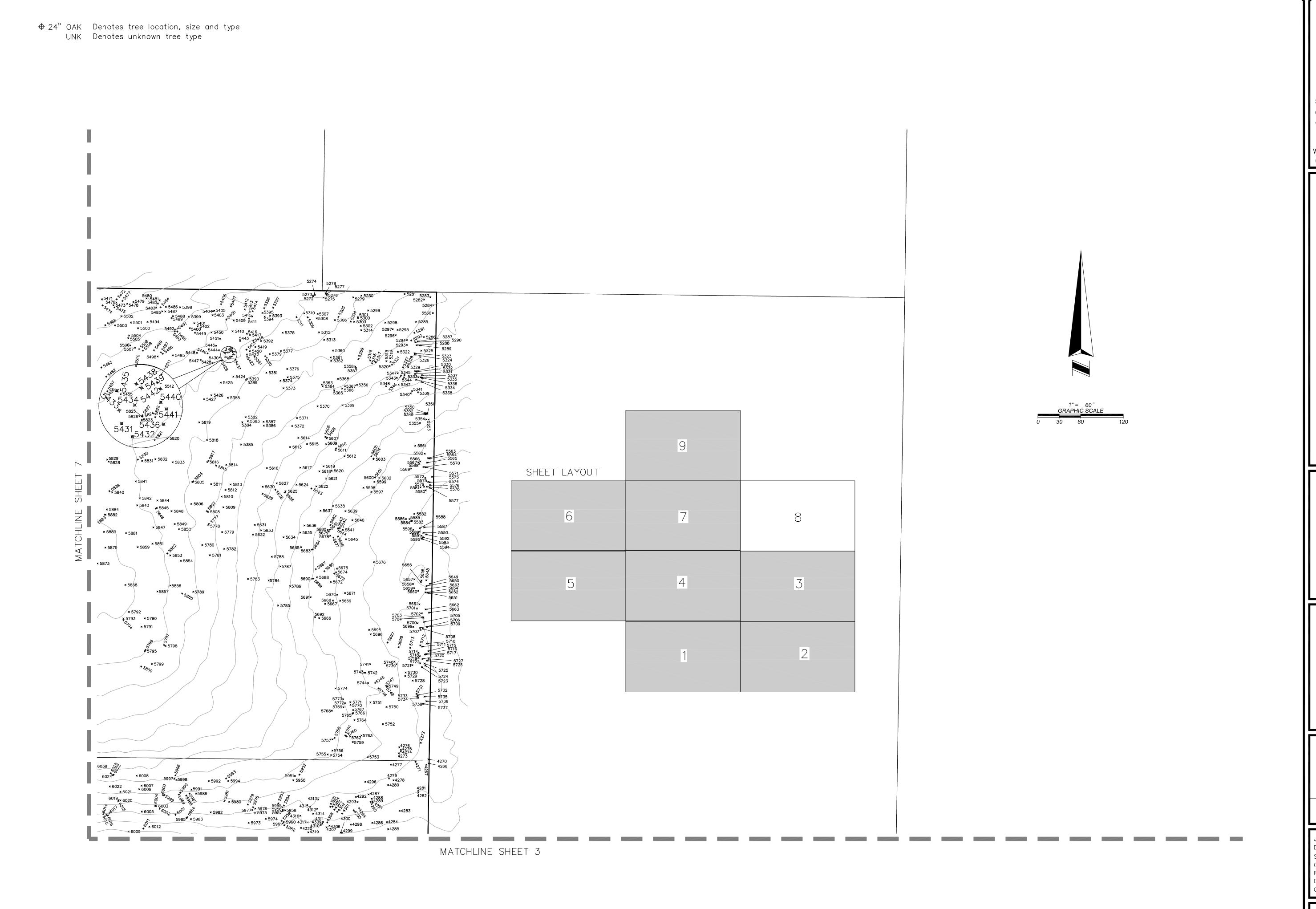
TOWNSHIP 23 SOUTH, RANGE 27

OF FRUITLAND PARK

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WINTER GARDEN, FLORIDA 34787

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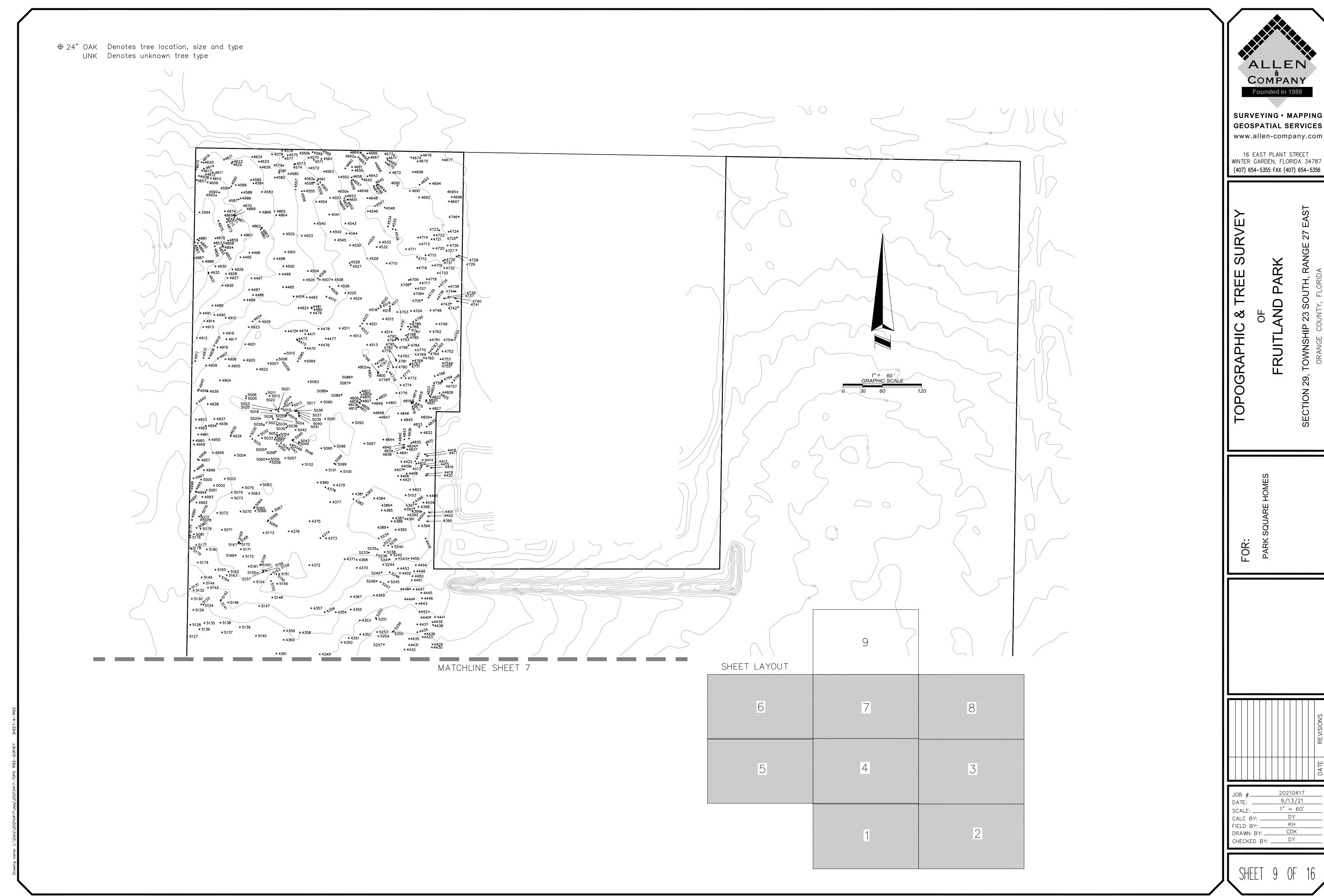
OF FRUITLAND PARK

FOR:
PARK SQUARE HOMES
SECT

DATE

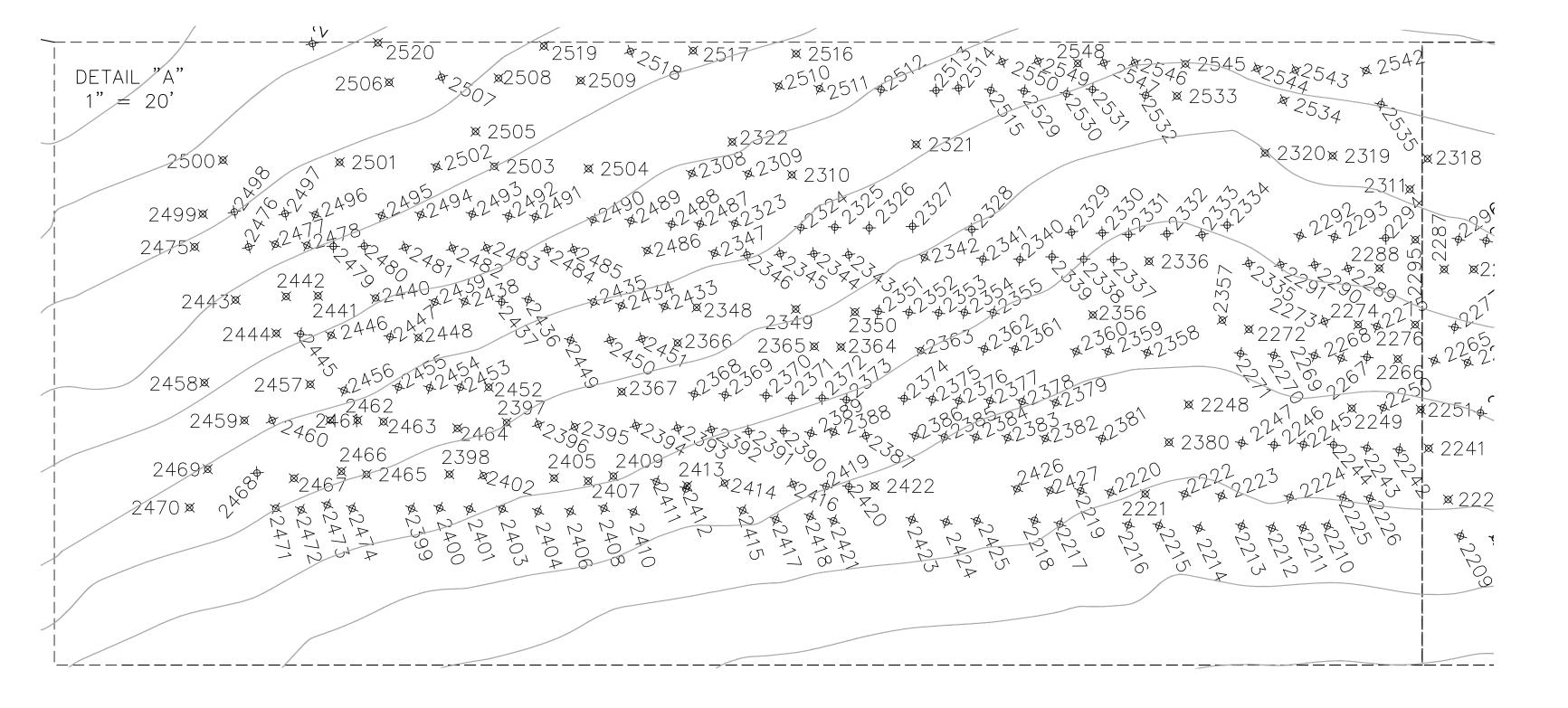
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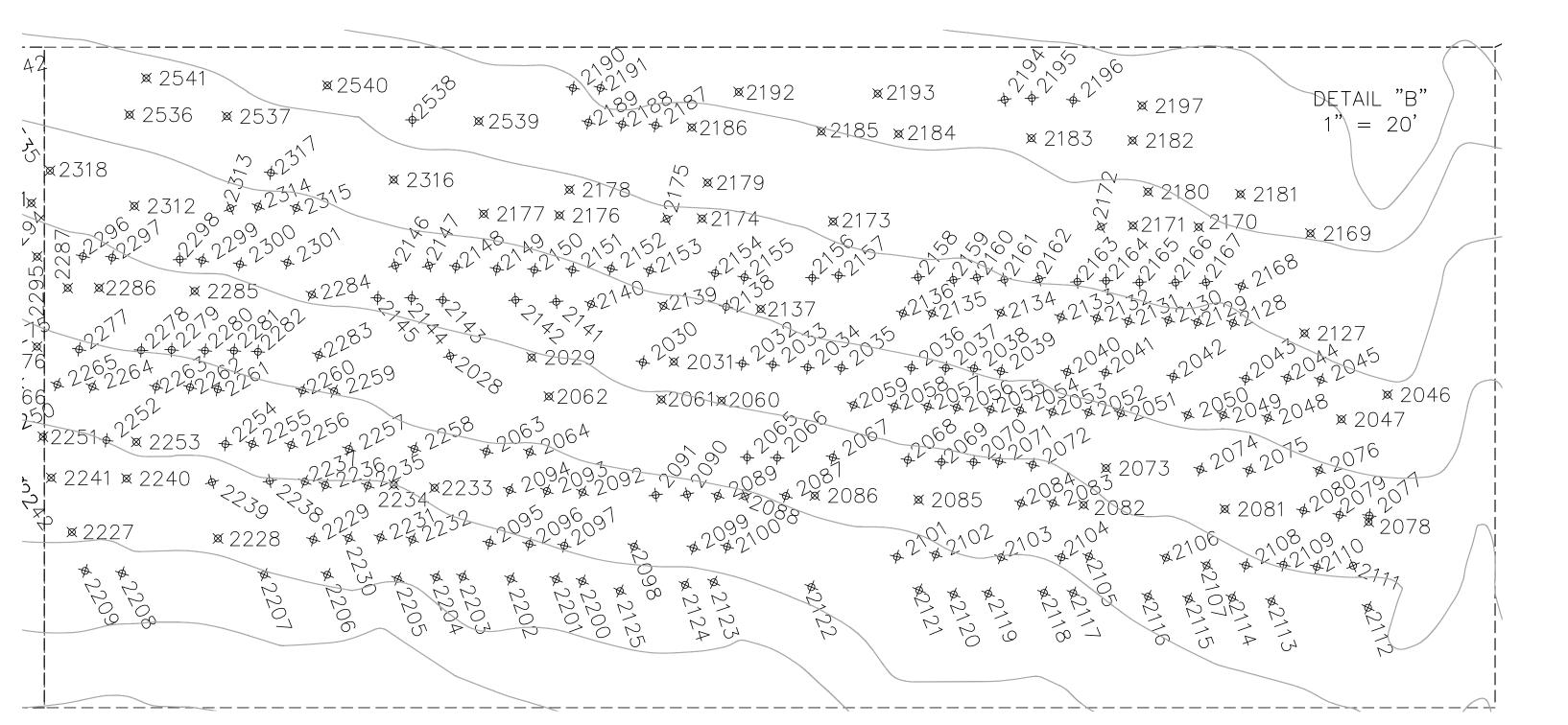
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↔ 24" OAK Denotes tree location, size and type UNK Denotes unknown tree type



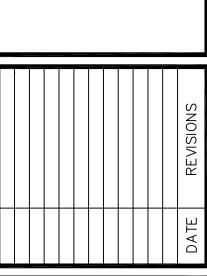




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16 EAST PLANT STREET WINTER GARDEN, FLORIDA 34787

(407) 654-5355 FAX (407) 654-5356



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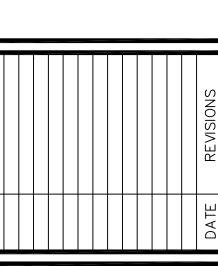
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16 EAST PLANT STREET WINTER GARDEN, FLORIDA 3478' (407) 654–5355 FAX (407) 654–5356

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OF FRUITLAND PARI

FOR:
PARK SQUARE HOMES



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SHEET 11 OF 16

-	TREE TABLE	Г
POINT	DESCRIPTION	_
1007		
1007	21" OAK 12" OAK	_
1009	8" UNK	-
1010	4" OAK	-
1011	12" OAK	
1012	15" OAK	
1013	16" OAK	-
1014	2/7" OAK	-
1015	8" OAK	
1016	4" OAK	
1017	6" OAK	-
1018	8" OAK	-
1019	5" OAK	
1020	4" OAK	
1021	5" UNK	
1022	14" OAK	
1023	16" OAK	
1024	7" OAK	-
1025	4" OAK	
1026	7" OAK	
1027	4" UNK	
1028	7" OAK 4" UNK 8" OAK	
1029	7" OAK	
1030	4" OAK	
1031	12" SYCAMORE	
1032	11" OAK	
1033	9" OAK	
1034	l 7"OAK	
1035	4" OAK	
1036	14" OAK	
1037	8"/13" OAK	
1038	15" OAK	
1039	4" SYCAMORE	
1040	10" OAK	
1041	6" OAK	
1042	9"/10" SYCAMORE	
1043	10" UNK	
1044	7" OAK	
1045	18" OAK	
1047	22" OAK	
1048	8" OAK	
1049	7" OAK	
1050	7" OAK	
1051	12" OAK	
1052	6" OAK	
1053	6" OAK	
1054	16" OAK	

16" OAK 8" ELM

8 ELM
17" OAK
18" OAK
14" OAK
14" OAK
9" OAK
12" OAK
19" OAK
18" OAK
15" OAK

 1066
 9" OAK

 1067
 6" OAK

 1069
 8" ELM

 1070
 7" OAK

 1071
 14" OAK

 1072
 16" OAK

 1073
 12" OAK

 1075
 8" UNK

 1076
 8" OAK

 1077
 9" SYCAMORE

 1078
 13" OAK

 1079
 2/8" OAK

 1080
 5" OAK

 1081
 8" UNK

 1082
 7" OAK

 1084
 17" OAK

 1085
 13" OAK

 1086
 12" OAK

 1087
 12" OAK

 1088
 14" PALM

 1089
 15" OAK

 1090
 5" UNK

 1093
 28" OAK

 1094
 25" OAK

 1095
 5" OAK

 1096
 4" OAK

 1109
 5" UNK

 1099
 4" OAK

 1100
 5" OAK

 1101
 5" OAK

 1102
 7" UNK

1065

1117	10" UNK
1118	9"OAK
1120	8" OAK
1121	7"/11" UNK
1123	20" 041/
1124	11" LINIK
1126	17" ONK
1127	11" UNK 13" OAK 11" UNK 8" UNK 8" UNK 5" UNK 4"/5" OAK
	11 UNK
1128	8" UNK
1129	8" UNK
1130	5" UNK
1133	4"/5" OAK
1135	O UINN
1136	4" OAK
1137	15" OAK
1138	15" OAK 15" OAK
1139	4" OAK
	4" OAK
1140	18" OAK
1141	11" PALM
1142	11" PALM 9" UNK 18" OAK 8" UNK
1143	18" OAK
1145	8" UNK
1146	8" UNK 11" UNK 7" UNK
1147	7" IINK
1148	60" OAK
	60" OAK 7" OAK
1150	/ OAK
1151	11" OAK
1152	10" OAK
1153	7"OAK
1155	6"OAK
1156	5"CEDAR
1157	18" OAK
1158	18" OAK 26" OAK 13" OAK
1159	17" OAK
	13 UAK
1160	11 /15 UAK
1161	5″ ELM
1163	7" UNK
1164	11"/15" OAK 5" ELM 7" UNK 8" OAK
1166	9"OAK
1168	4"OAK
1169	17" OAK
1170	5" OAK
1172	2/6" OAK
	2/6 UAK
1173	9" OAK 7" OAK
1174	7" OAK
1176	46" OAK
1177	52" OAK
1178	46" OAK 52" OAK 12" PALM
1179	28" MAGNOLIA
1180	2"/14" OAK
	<u> </u>
	7" 0 1/
1181	7"OAK
1181 1185	7" OAK 20" OAK
1181 1185 1187	7" OAK 20" OAK 5" OAK
1181 1185 1187 1189	7" OAK 20" OAK 5" OAK
1181 1185 1187 1189 1190	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK
1181 1185 1187 1189	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK
1181 1185 1187 1189 1190	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK
1181 1185 1187 1189 1190 1192 1193	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR
1181 1185 1187 1189 1190 1192 1193 1195	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 12" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 12" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 12" OAK 30" OAK 24" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 12" OAK 12" OAK 12" OAK 30" OAK 24" OAK 18" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 12" OAK 30" OAK 24" OAK 18" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 12" OAK 30" OAK 24" OAK 18" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 12" OAK 30" OAK 24" OAK 18" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 12" OAK 30" OAK 24" OAK 18" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 12" OAK 30" OAK 24" OAK 18" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 12" OAK 30" OAK 24" OAK 18" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 12" OAK 30" OAK 24" OAK 18" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 32" OAK 30" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 12" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 34" OAK 34" OAK 30" OAK 24" OAK 18" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 15" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 32" OAK 30" OAK 24" OAK 18" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 15" OAK 6" OAK 6" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 32" OAK 34" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 12" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 32" OAK 34" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 12" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 12" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 15" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 12" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 15" OAK 14" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 32" OAK 30" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 15" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 32" OAK 30" OAK 30" OAK 24" OAK 18" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 15" OAK 17" OAK 14" PINE
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 12" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 15" OAK 17" OAK 14" PINE
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224 1225 1226	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 32" OAK 30" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 15" OAK 17" OAK 14" PINE 14" OAK 17" PINE
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224 1225 1226 1227	7" OAK 20" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 32" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 12" OAK 15" OAK 17" PINE 14" OAK 17" PINE 14" OAK 17" PINE 14" OAK 12" UNK 8" CAMPHOR
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224 1225 1226 1227 1230	7" OAK 20" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 34" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 15" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224 1225 1226 1227 1230 1231	7" OAK 20" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 34" OAK 12" OAK 30" OAK 24" OAK 18" OAK 18" OAK 18" OAK 18" OAK 12" PINE 9" PINE 12" PINE 9" PINE 7" OAK 12" OAK 15" OAK 12" OAK 15" OAK 14" PINE 14" OAK 17" PINE 14" OAK 17" PINE 14" OAK 17" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224 1225 1226 1227 1230	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 12" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 15" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224 1225 1226 1227 1230 1231	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 12" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 15" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224 1225 1226 1227 1230 1231 1232 1233	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 32" OAK 30" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 15" OAK 15" OAK 15" OAK 12" OAK 15" OAK 11" OAK 11" OAK 12" UNK 8" CAMPHOR 15" OAK 11" OAK 11" OAK 11" OAK 11" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224 1225 1226 1227 1230 1231 1232 1233 1234	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 32" OAK 30" OAK 24" OAK 18" OAK 18" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 15" OAK 15" OAK 15" OAK 12" OAK 15" OAK 15" OAK 15" OAK 15" OAK 15" OAK 15" OAK 11" OAK 17" PINE 14" OAK 17" PINE 14" OAK 17" OAK 11" OAK 11" OAK 11" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224 1225 1226 1227 1230 1231 1232 1233 1234 1235	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 30" OAK 30" OAK 18" OAK 18" OAK 18" OAK 18" OAK 18" OAK 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 15" OAK 11" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224 1225 1226 1227 1230 1231 1232 1233 1234 1235 1236	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 32" OAK 30" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 15" OAK 6" OAK 15" OAK 11" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224 1225 1226 1227 1230 1231 1232 1233 1234 1235 1236 1237	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 11" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 34" OAK 30" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 15" OAK 11" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224 1225 1226 1227 1230 1231 1232 1233 1234 1235 1236 1237 1239	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 32" OAK 30" OAK 30" OAK 24" OAK 18" OAK 8" PINE 6" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 15" OAK 11" OAK 11" OAK 11" OAK 11" OAK 11" OAK 11" OAK 12" UNK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224 1225 1226 1227 1230 1231 1232 1233 1234 1235 1236 1237 1239 1240	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 34" OAK 12" OAK 30" OAK 24" OAK 18" OAK 15" OAK 12" PINE 9" PINE 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 15" OAK 15" OAK 15" OAK 15" OAK 15" OAK 14" PINE 14" OAK 17" PINE 14" OAK 17" PINE 14" OAK 17" PINE 14" OAK 17" OAK 11" OAK 11" OAK 11" OAK 5" OAK 11" OAK 5" OAK 11" OAK 5" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224 1225 1226 1227 1230 1231 1232 1233 1234 1235 1236 1237 1239 1240 1242	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 34" OAK 12" OAK 30" OAK 24" OAK 18" OAK 18" OAK 18" OAK 18" OAK 18" OAK 18" OAK 15" OAK 12" PINE 9" PINE 7" OAK 6" OAK 12" OAK 15" OAK 11" OAK 12" UNK 8" CAMPHOR 15" OAK 11" OAK 11" OAK 11" OAK 11" OAK 11" OAK 11" OAK 12" UNK 5" OAK 11" OAK
1181 1185 1187 1189 1190 1192 1193 1195 1197 1199 1200 1201 1203 1204 1206 1207 1208 1209 1210 1211 1213 1214 1216 1217 1218 1219 1220 1221 1222 1224 1225 1226 1227 1230 1231 1232 1233 1234 1235 1236 1237 1239 1240 1242 1242	7" OAK 20" OAK 5" OAK 5" OAK 12" OAK 14" OAK 11" CAMPHOR 4" OAK 54" OAK 34" OAK 34" OAK 30" OAK 24" OAK 18" OAK 18" OAK 18" OAK 18" OAK 18" OAK 18" OAK 15" PINE 12" PINE 9" PINE 7" OAK 6" OAK 15" OAK 11" OAK 17" PINE 14" OAK 12" UNK 8" CAMPHOR 15" OAK 11" OAK
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1251 6" CAMPHOR 1366 9" OAK 1253 16" CAMPHOR 1367 8" OAK 1255 13" OAK 1370 5" OAK 1370 5" OAK 1255 13" OAK 1370 5" OAK 1370 5" OAK 1256 4" OAK 1371 5" ELM 1257 7" OAK 1372 8" ELM 1258 12" OAK 1371 8" SYCAMORE 1375 7" OAK 1372 8" ELM 1376 13" UNK 1381 14" OAK 1377 24" SYCAMORE 1383 14" OAK 1383 7" OAK 1383 7" OAK 1385 5" OAK 1385 12" OAK 1385 5" OAK 1385 5" OAK 1385 5" OAK 1385 5" OAK 1385 12" OAK 1385 12" OAK 1385 12" OAK 1385 13" OAK 1330			-	4" OAK
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1260			-	
1261				
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1283				
1284				
1285	1284	18" SYCAMORE	1402	4"/12" OAK
1288	1285	11" UNK	1403	7"OAK
1289 6" OAK 1407 17" OAK 1290 14" SYCAMORE 1408 11" OAK 1409 5" UNK 1293 12" OAK 1410 18" OAK 1411 8" OAK 1412 8" OAK 1412 8" OAK 1413 6" OAK 1415 12" OAK 1298 16" SYCAMORE 1415 12" OAK 1416 10" UNK 1300 8" OAK 1416 10" UNK 1300 8" OAK 1418 10" OAK 1419 12" OAK 1419 12" OAK 1419 12" OAK 1419 12" OAK 1420 7" UNK 1300 5" OAK 1422 12" OAK 1422 12" OAK 1422 12" OAK 1423 13" UNK 1310 15" MAGNOLIA 1425 10" UNK 1426 11" OAK 1428 9" UNK 1316 4" OAK 1429 13" OAK 1428 9" UNK 1310 15" OAK 1430 4" OAK 1440 7" OAK 1440		13" OAK	-	
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1295		12" OAK		18" OAK
1296				8" OAK
1297		11" SYCAMORE	 	6"OAK
1299 5" OAK 1416 10" UNIK 1301 8" SYCAMORE 1417 7" OAK 1302 8" OAK 1418 10" OAK 1419 12" OAK 1303 10" OAK 1419 12" OAK 1420 7" UNIK 1306 13" OAK 1420 7" UNIK 1420 13" UNIK 1421 6" OAK 1422 12" OAK 1422 12" OAK 1300 15" MAGNOLIA 1423 13" UNIK 1424 4" OAK 1424 4" OAK 1425 10" UNIK 1311 9" ELM 1426 11" OAK 1428 9" UNIK 1428 9" UNIK 1428 9" UNIK 1431 6" OAK 1432 6" OAK 1435 5" OAK 1435 5" OAK 1436 8" MAGNOLIA 1320 13" UNIK 1436 8" MAGNOLIA 1322 5" CAMPHOR 1437 10" MAGNOLIA 1325 12" UNIK 1440 7" OAK 1441 8" OAK 1329 3"/4" CAMPHOR 1444 9" UNIK 1445 9" UNIK 1446 7" OAK 1447 6" OAK 1333 7" CAMPHOR 1444 4"/7" OAK 1445 11" OAK 1335 7" OAK 1446 11" UNIK 1437 10" CAMPHOR 1446 11" UNIK 1339 14" PINE 1330 7" OAK 1445 5" OAK 1446 11" UNIK 1334 7" UNIK 1445 5" OAK 1455 7" OAK 1466 20" OAK 1466 14" OAK 1455 7" OAK 1466 14" OAK 1455 7" UNIK 1456 7" UNIK 1457 7" OAK 1466 14" OAK 1455 7" UNIK 1456 7" UNIK 1457 7" OAK 1466 14" OAK 1455 7" UNIK 1457 7" OAK 1466 14" OAK 1466 14" OAK 1455 7" UNIK 1457 7" OAK 1466 14" OAK 146		7" CAMPHOR		
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1302				7" OAK
1303	1302	8" OAK		10" OAK
1306				12" OAK
1307			-	7" UNK
1308		9" OAK	-	12" OAK
1310	1308	14" OAK		13" UNK
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1327 8" OAK 1328 4"/5" CAMPHOR 1329 3"/4" CAMPHOR 1330 2"/5" CAMPHOR 1331 7" CAMPHOR 1332 7" OAK 1333 5" CAMPHOR 1333 5" CAMPHOR 1335 8" OAK 1336 7" UNK 1337 5" OAK 1339 14" PINE 1340 14" OAK 1341 10" CAMPHOR 1342 5" CAMPHOR 1343 4" CAMPHOR 1344 7" UNK 1345 9" UNK 1345 9" UNK 1345 9" UNK 1346 7" UNK 1347 7" OAK 1348 19" OAK 1350 11" OAK 1351 12" PINE 1352 8" OAK 1353 13" OAK 1354 18" OAK 1355 7" MAGNOLIA 1357 8" OAK 1358		7" UNK		7"OAK
1328 4"/5" CAMPHOR 1329 3"/4" CAMPHOR 1330 2"/5" CAMPHOR 1331 7" CAMPHOR 1331 7" CAMPHOR 1332 7" OAK 1333 5" CAMPHOR 1335 8" OAK 1336 7" UNK 1337 5" OAK 1339 14" PINE 1340 14" OAK 1341 10" CAMPHOR 1342 5" CAMPHOR 1344 7" UNK 1343 4" CAMPHOR 1344 7" UNK 1345 9" UNK 1346 7" UNK 1346 7" UNK 1359 11" OAK 1350 11" OAK 1351 12" PINE 1352 8" OAK 1353 13" OAK 1354 18" OAK 1355 7" OAK 1356 7" MAGNOLIA 1357 8" OAK 1358 5" OAK 1470 8" OAK 1471 20" OAK 1471 20" OAK 1472 4" OAK 1472 4" OAK 1473 13" OAK 1471 20" OAK 1471 20" OAK 1471 10" OAK				
1329 3"/4" CAMPHOR 1330 2"/5" CAMPHOR 1331 7" CAMPHOR 1331 7" CAMPHOR 1332 7" OAK 1333 5" CAMPHOR 1335 8" OAK 1336 7" UNK 1337 5" OAK 1339 14" PINE 1340 14" OAK 1341 10" CAMPHOR 1342 5" CAMPHOR 1343 4" CAMPHOR 1344 7" UNK 1345 9" UNK 1346 7" UNK 1348 19" OAK 1349 11" OAK 1350 11" OAK 1351 12" PINE 1352 8" OAK 1353 13" OAK 1354 18" OAK 1355 11" OAK 1350 11" OAK 1351 12" PINE 1352 8" OAK 1354 18" OAK 1355 7" MAGNOLIA 1356			-	
1331 7" CAMPHOR 1332 7" OAK 1333 5" CAMPHOR 1335 8" OAK 1336 7" UNK 1337 5" OAK 1339 14" PINE 1340 14" OAK 1341 10" CAMPHOR 1342 5" CAMPHOR 1343 4" CAMPHOR 1344 7" UNK 1345 9" UNK 1346 7" UNK 1348 19" OAK 1350 11" OAK 1351 12" PINE 1352 8" OAK 1353 13" OAK 1354 18" OAK 1355 11" OAK 1460 20" OAK 1461 8" UNK 1462 20" OAK 1351 12" PINE 1463 13" OAK 1354 18" OAK 1355 13" OAK 1468 5" OAK 1357 8" OAK 1358 5" OAK 1359 7" OAK 1360 8" OA	1329	3"/4" CAMPHOR	1444	4"/7" OAK
1332 7" OAK 1333 5" CAMPHOR 1335 8" OAK 1336 7" UNK 1337 5" OAK 1339 14" PINE 1340 14" OAK 1341 10" CAMPHOR 1342 5" CAMPHOR 1343 4" CAMPHOR 1344 7" UNK 1345 9" UNK 1346 7" UNK 1348 19" OAK 1349 11" OAK 1350 11" OAK 1351 12" PINE 1352 8" OAK 1353 13" OAK 1354 18" OAK 1355 7" MAGNOLIA 1357 8" OAK 1358 5" OAK 1359 7" OAK 1360 8" OAK 1362 11" UNK			-	11" OAK
1333 5" CAMPHOR 1335 8" OAK 1336 7" UNK 1337 5" OAK 1339 14" PINE 1340 14" OAK 1341 10" CAMPHOR 1342 5" CAMPHOR 1343 4" CAMPHOR 1344 7" UNK 1345 9" UNK 1346 7" UNK 1348 19" OAK 1349 11" OAK 1350 11" OAK 1351 12" PINE 1352 8" OAK 1353 13" OAK 1354 18" OAK 1355 7" MAGNOLIA 1357 8" OAK 1358 5" OAK 1359 7" OAK 1360 8" OAK 1360 11" UNK				11 UNK 6" 04k
1335 8" OAK 1336 7" UNK 1337 5" OAK 1339 14" PINE 1340 14" OAK 1341 10" CAMPHOR 1342 5" CAMPHOR 1343 4" CAMPHOR 1344 7" UNK 1345 9" UNK 1346 7" UNK 1348 19" OAK 1349 11" OAK 1350 11" OAK 1351 12" PINE 1353 13" OAK 1354 18" OAK 1355 7" UNK 1460 20" OAK 1461 8" UNK 1462 20" OAK 1350 11" OAK 1351 12" PINE 1463 13" OAK 1354 18" OAK 1355 7" UNK 1356 7" MAGNOLIA 1357 8" OAK 1358 5" OAK 1359 7" OAK 1360 8" OAK 1360 8" OAK 1360 8" OAK </td <td>1333</td> <td>5" CAMPHOR</td> <td>1448</td> <td>6" OAK</td>	1333	5" CAMPHOR	1448	6" OAK
1337 5" OAK 1339 14" PINE 1340 14" OAK 1341 10" CAMPHOR 1342 5" CAMPHOR 1343 4" CAMPHOR 1344 7" UNK 1345 9" UNK 1346 7" UNK 1348 19" OAK 1349 11" OAK 1350 11" OAK 1351 12" PINE 1352 8" OAK 1353 13" OAK 1354 18" OAK 1357 8" OAK 1358 5" OAK 1359 7" OAK 1360 8" OAK 1362 11" UNK		8" OAK	1 — 1	13" OAK
1339 14" PINE 1340 14" OAK 1341 10" CAMPHOR 1342 5" CAMPHOR 1343 4" CAMPHOR 1344 7" UNK 1345 9" UNK 1346 7" UNK 1348 19" OAK 1349 11" OAK 1350 11" OAK 1351 12" PINE 1352 8" OAK 1354 18" OAK 1356 7" MAGNOLIA 1357 8" OAK 1358 5" OAK 1359 7" OAK 1360 8" OAK 1362 11" UNK		7" UNK		4" UNK
1340 14" OAK 1341 10" CAMPHOR 1342 5" CAMPHOR 1343 4" CAMPHOR 1344 7" UNK 1345 9" UNK 1346 7" UNK 1348 19" OAK 1349 11" OAK 1350 11" OAK 1351 12" PINE 1352 8" OAK 1353 13" OAK 1354 18" OAK 1357 8" OAK 1358 5" OAK 1359 7" OAK 1360 8" OAK 1362 11" UNK		14" PINF	-	
1341 10" CAMPHOR 1342 5" CAMPHOR 1343 4" CAMPHOR 1344 7" UNK 1345 9" UNK 1346 7" UNK 1348 19" OAK 1349 11" OAK 1350 11" OAK 1351 12" PINE 1352 8" OAK 1353 13" OAK 1354 18" OAK 1356 7" MAGNOLIA 1357 8" OAK 1358 5" OAK 1359 7" OAK 1360 8" OAK 1362 11" UNK	1340	14" OAK	1453	6"OAK
1343 4" CAMPHOR 1344 7" UNK 1345 9" UNK 1346 7" UNK 1348 19" OAK 1349 11" OAK 1350 11" OAK 1351 12" PINE 1352 8" OAK 1353 13" OAK 1354 18" OAK 1356 7" MAGNOLIA 1357 8" OAK 1358 5" OAK 1359 7" OAK 1360 8" OAK 1362 11" UNK		10" CAMPHOR	-	11" OAK
1344 7" UNK 1345 9" UNK 1346 7" UNK 1348 19" OAK 1349 11" OAK 1350 11" OAK 1351 12" PINE 1352 8" OAK 1353 13" OAK 1354 18" OAK 1356 7" MAGNOLIA 1357 8" OAK 1358 5" OAK 1359 7" OAK 1360 8" OAK 1362 11" UNK			-	
1345 9" UNK 1346 7" UNK 1348 19" OAK 1349 11" OAK 1350 11" OAK 1351 12" PINE 1352 8" OAK 1353 13" OAK 1354 18" OAK 1356 7" MAGNOLIA 1357 8" OAK 1358 5" OAK 1359 7" OAK 1360 8" OAK 1362 11" UNK			-	
1348 19" OAK 1461 8" UNK 1349 11" OAK 1462 20" OAK 1350 11" OAK 1463 13" OAK 1351 12" PINE 1464 14" OAK 1352 8" OAK 1465 7" UNK 1353 13" OAK 1466 14" OAK 1354 18" OAK 1468 5" OAK 1356 7" MAGNOLIA 1469 11" OAK 1357 8" OAK 1470 8" OAK 1358 5" OAK 1471 20" OAK 1359 7" OAK 1472 4" OAK 1360 8" OAK 1473 13" OAK 1362 11" UNK 1474 6" OAK	1345	9" UNK	1459	7"/8"/10" OAK
1349 11" OAK 1462 20" OAK 1350 11" OAK 1463 13" OAK 1351 12" PINE 1464 14" OAK 1352 8" OAK 1465 7" UNK 1353 13" OAK 1466 14" OAK 1354 18" OAK 1468 5" OAK 1356 7" MAGNOLIA 1469 11" OAK 1357 8" OAK 1470 8" OAK 1358 5" OAK 1471 20" OAK 1359 7" OAK 1472 4" OAK 1360 8" OAK 1473 13" OAK 1362 11" UNK 1474 6" OAK		7" UNK		
1350 11" OAK 1463 13" OAK 1351 12" PINE 1464 14" OAK 1352 8" OAK 1465 7" UNK 1353 13" OAK 1466 14" OAK 1354 18" OAK 1468 5" OAK 1356 7" MAGNOLIA 1469 11" OAK 1357 8" OAK 1470 8" OAK 1358 5" OAK 1471 20" OAK 1359 7" OAK 1472 4" OAK 1360 8" OAK 1473 13" OAK 1362 11" UNK 1474 6" OAK		19 UAK 11" OAK	-	
1351 12" PINE 1352 8" OAK 1353 13" OAK 1354 18" OAK 1356 7" MAGNOLIA 1357 8" OAK 1358 5" OAK 1359 7" OAK 1360 8" OAK 1362 11" UNK 1464 14" OAK 1465 7" UNK 1466 14" OAK 1468 5" OAK 1469 11" OAK 1470 8" OAK 1471 20" OAK 1472 4" OAK 1473 13" OAK 1474 6" OAK	1350	11" OAK	· -	13" OAK
1353 13" OAK 1466 14" OAK 1354 18" OAK 1468 5" OAK 1356 7" MAGNOLIA 1469 11" OAK 1357 8" OAK 1470 8" OAK 1358 5" OAK 1471 20" OAK 1359 7" OAK 1472 4" OAK 1360 8" OAK 1473 13" OAK 1362 11" UNK 1474 6" OAK		12" PINE		14" OAK
1354 18" OAK 1468 5" OAK 1356 7" MAGNOLIA 1469 11" OAK 1357 8" OAK 1470 8" OAK 1358 5" OAK 1471 20" OAK 1359 7" OAK 1472 4" OAK 1360 8" OAK 1473 13" OAK 1362 11" UNK 1474 6" OAK			 	
1356 7" MAGNOLIA 1469 11" OAK 1357 8" OAK 1470 8" OAK 1358 5" OAK 1471 20" OAK 1359 7" OAK 1472 4" OAK 1360 8" OAK 1473 13" OAK 1362 11" UNK 1474 6" OAK			·	
1357 8" OAK 1358 5" OAK 1359 7" OAK 1360 8" OAK 1362 11" UNK 1470 8" OAK 1471 20" OAK 1472 4" OAK 1473 13" OAK 1474 6" OAK	1356	7" MAGNOLIA	1469	11" OAK
1359 7" OAK 1472 4" OAK 1360 8" OAK 1473 13" OAK 1362 11" UNK 1474 6" OAK		8" OAK		8"OAK
1360 8" OAK 1473 13" OAK 1362 11" UNK 1474 6" OAK				
1362 11" UNK 1474 6" OAK				
	1362	11" UNK	1474	6"OAK
	1363	7" OAK	1475	12" UNK

1476	13" OAK	1597	22" OAK
1477 1478	4" OAK 8" ELM	1598 1599	52" OAK 10" OAK
1478	8" ELM 4" OAK	1600	10" OAK 10" OAK
1481	12" OAK	1602	5" OAK
1482	4" OAK	1603	9" UNK
1483	14" UNK	1604	8" OAK
1484	14" OAK	1605	4"OAK
1485	14" OAK	1606	7" OAK
1486	6" OAK	1607	11" OAK
1487 1488	12" OAK	1608 1610	5" OAK
1489	11" UNK 11" UNK	1611	5" OAK 5" OAK
1490	7" OAK	1612	13" OAK
1491	7" UNK	1613	5" OAK
1492	14" OAK	1614	6" UNK
1493	4" OAK	1615	10" OAK
1495	8" MAGNOLIA	1616	6" OAK
1496	9" OAK	1618	5" UNK
1497 1498	8" OAK 5" OAK	1619 1620	9" OAK 8" OAK
1499	5" OAK	1621	12" OAK
1500	13" OAK	1622	12" OAK
1501	5" MAGNOLIA	1623	12" OAK
1502	17" OAK	1624	8" CAMPHOR
1503	14" OAK	1626	18" OAK
1505	54" OAK	1627	14" OAK
1507 1508	42" OAK	1628 1629	6" OAK
1508	42" OAK 7" MAGNOLIA	1630	15" OAK 14" OAK
1510	62" OAK	1631	14 OAK 10" OAK
1512	5" OAK	1633	23" OAK
1513	32" OAK	1634	12" OAK
1514	18" OAK	1635	9" OAK
1515	11" OAK	1636	7" OAK
1516	6" OAK	1637	22" OAK
1517 1518	8" MAGNOLIA	1638 1640	5" OAK
1516	9" OAK 6" OAK	1641	7" UNK 5" UNK
1525	12" OAK	1642	7"/9" OAK
1526	13" OAK	1643	32" OAK
1528	20" OAK	1644	7" OAK
1530	17" OAK	1645	4" OAK
1531	16" OAK	1646	12" UNK
1532	11" OAK	1647	7" UNK
1534 1535	13" UNK 13" UNK	1648 1649	9" UNK 4" UNK
1536	13 UNK 10" OAK	1650	5" UNK
1537	8" OAK	1651	4" UNK
1538	8" OAK	1656	22" OAK
1539	8" OAK	1657	11" OAK
1540	5" OAK	1658	40" OAK
1541	6" OAK	1659 1660	10" MAGNOLIA
1542 1543	13" OAK 7" OAK	1660 1661	14" OAK 5" OAK
1544	6" OAK	1662	9" OAK
1546	5" OAK	1663	9"OAK
1547	7" OAK	1664	4"OAK
1548	12" OAK	1665	6" OAK
1549 1550	11" OAK	1667 1668	17" OAK 5" MAGNOLIA
1550	6" OAK 11" UNK	1668 1669	5" MAGNOLIA 6" UNK
1553	7" OAK	1670	28" OAK
1554	8" OAK	1671	13" OAK
1555	9" OAK	1672	15" OAK
1556	5" OAK	1673	8" OAK
1557	8" OAK	1675	10" OAK
1559	7" CAMPHOR	1676 1677	7" OAK
1560 1561	5" CAMPHOR 4"/5" CAMPHOR	1677 1678	8" OAK 10" OAK
1562	5" CAMPHOR	1679	22" OAK
1564	4" CAMPHOR	1680	15" OAK
1565	6" CAMPHOR	1681	9" OAK
1567	7" OAK	1682	7" OAK
1568	11" OAK	1684	7" UNK
1569 1570	5" OAK	1685 1687	20" OAK
1570	5" OAK 9" OAK	1687	15" OAK 9" OAK
1572	9" OAK	1689	14" PINE
1573	9" OAK	1690	42" OAK
1575	7" OAK	1692	11" OAK
1576	9" CAMPHOR	1693	5" OAK
1577	14" OAK	1694	8" UNK
1578	6" OAK	1695 1696	4" OAK
1579 1581	9" OAK 5" OAK	1696 1697	8" OAK 5" OAK
1582	13" OAK	1698	5 OAK 5" UNK
1583	13 OAK 12" OAK	1699	9" OAK
1584	4" OAK	1700	10" UNK
1585	10" PINE	1701	10" OAK
1586	6" OAK	1702	7" OAK
1587	9" UNK	1703	12" OAK
1588	15" PINE	1705	7" OAK
1589	5" OAK	1706	14" OAK
1590 1591	23" OAK 5" CAMPHOR	1708 1709	12" OAK 10" OAK
1591	13" OAK	1709	10 OAK 11" OAK
1593	5" OAK	1711	8" OAK
1594	9" OAK	1712	6" OAK
00.	9 UAK		
1595	7" OAK	1713	12" OAK

1715	11" OAK	1827	13" UNK
1716	10" OAK	1829	26" OAK
1717	11" OAK	1830	10" OAK
1718	5"OAK	1831	4" OAK
1719	8" OAK	1832	6" OAK
1720	11" OAK	1834	16" UNK
1721	9" OAK	1835	7" OAK
1722	11" OAK	1836	9" UNK
1723	11" OAK	1837	13" PALM
1724	7" UNK	1839	16" UNK
1728	8" OAK	1840	11" OAK
1729	7" ELM	1841	10" OAK
1730	6" OAK	1842	12" OAK
1731	10" OAK	1843	7" UNK
1732	12" OAK	1844	14" OAK
1733	11" UNK	1845	8" OAK
1734		1847	
	3"/8" UNK		12" OAK
1735	8" OAK	1848	7" OAK
1736	7" MAGNOLIA	1849	7" UNK
1737	20" OAK	1850	14" OAK
1738	8" OAK	1852	22" OAK
1740	7" UNK	1853	16" OAK
1741	7" UNK	1854	12" OAK
1742	10" OAK	1855	13" OAK
1743		1856	12" OAK
	9" OAK		
1744	23" OAK	1858	6" OAK
1745	13" UNK	1859	4" OAK
1746	28" OAK	1860	10" OAK
1747	13" OAK	1861	7" OAK
1749	7" UNK	1862	5" OAK
1750	5" OAK	1863	8" OAK
1751	5" OAK	1864	6" UNK
1752	10" OAK	1865	7" OAK
1753			/
	5" UNK	1866	<u> </u>
1754	8" OAK	1867	8" OAK
1755	13" OAK	1868	15" OAK
1756	11" UNK	1870	11" OAK
1757	12" UNK	1871	8"OAK
1758	5" UNK	1872	14" OAK
1759	7" UNK	1873	7" OAK
1760	7" UNK	1874	9" UNK
1761	12" OAK	1875	9" OAK
1762	4" OAK	1876	11" OAK
1763	11" OAK	1877	4" OAK
1764	6"UNK	1878	8" OAK
1765	9"OAK	1879	14" OAK
1766	9"OAK	1880	11" OAK
1768	10" OAK	1881	7" OAK
1769	13" UNK	1882	6" UNK
1770	8" UNK	1883	13" OAK
1771		1885	
	5" OAK		8" OAK
1772	4" OAK	1886	13" OAK
1773	7" UNK	1887	5" OAK
1774	5" UNK	1888	8"OAK
1775	9"OAK	1889	5"UNK
1776	11" OAK	1890	9" OAK
1777	5" UNK	1891	9" UNK
1778	9" UNK	1892	9" OAK
1779	6" OAK	1893	9" OAK
	B" OAK		
1780	8" OAK	1894	5" OAK
1781	6" UNK	1895	6" UNK
1782	9"OAK	1896	13" OAK
1783	7" UNK	1897	6"OAK
1784	6" UNK	1898	14" OAK
1785	6" OAK	1899	9" UNK
1786	4" OAK	1900	7" UNK
1787		1900	
	6" OAK		13" OAK
1788	7" UNK	1905	8" OAK
1789	8" UNK	1906	12" OAK
1790	7" UNK	1907	7" OAK
1791	7" UNK	1908	4" OAK
1792	7"OAK	1909	9"OAK
1794	8" OAK	1910	14" PINE
1795	10" UNK	1911	4" OAK
1796	7" OAK	1912	4" OAK
1797	5" OAK	1913	4" OAK
1797		·	11" LINIX
	12" OAK	1914	11" UNK
1799	7" UNK	1915	7" UNK
1800 l	_ **	. 1016	8"UNK
	6" OAK	1916	
1801	16" OAK	1917	13" OAK
	16" OAK		13" OAK
1801	16" OAK 4" OAK	1917	13" OAK 18" PINE
1801 1803 1804	16" OAK 4" OAK 7" OAK	1917 1918 1919	13" OAK 18" PINE 4" OAK
1801 1803 1804 1805	16" OAK 4" OAK 7" OAK 7" OAK	1917 1918 1919 1920	13" OAK 18" PINE 4" OAK 5" OAK
1801 1803 1804 1805 1806	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK	1917 1918 1919 1920 1921	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK
1801 1803 1804 1805 1806 1807	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK	1917 1918 1919 1920 1921 1922	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK
1801 1803 1804 1805 1806 1807 1809	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK	1917 1918 1919 1920 1921 1922 1923	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK
1801 1803 1804 1805 1806 1807 1809 1810	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK 13" OAK	1917 1918 1919 1920 1921 1922 1923 1924	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK
1801 1803 1804 1805 1806 1807 1809	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK	1917 1918 1919 1920 1921 1922 1923	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK
1801 1803 1804 1805 1806 1807 1809 1810	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK 13" OAK 8" OAK	1917 1918 1919 1920 1921 1922 1923 1924	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK 15" OAK 19" OAK
1801 1803 1804 1805 1806 1807 1809 1810 1811 1812	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK 13" OAK 8" OAK 10" OAK	1917 1918 1919 1920 1921 1922 1923 1924 1926 1927	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK 15" OAK 19" OAK
1801 1803 1804 1805 1806 1807 1809 1810 1811 1812 1813	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK 13" OAK 8" OAK 10" OAK 10" OAK	1917 1918 1919 1920 1921 1922 1923 1924 1926 1927 1928	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK 15" OAK 19" OAK 9" UNK
1801 1803 1804 1805 1806 1807 1809 1810 1811 1812 1813 1814	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK 13" OAK 8" OAK 10" OAK 16" UNK 8" UNK 8" UNK	1917 1918 1919 1920 1921 1922 1923 1924 1926 1927 1928 1929	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK 15" OAK 19" OAK 9" UNK 5" OAK
1801 1803 1804 1805 1806 1807 1809 1810 1811 1812 1813 1814 1815	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK 13" OAK 8" OAK 10" OAK 16" UNK 8" UNK 8" UNK 8" UNK	1917 1918 1919 1920 1921 1922 1923 1924 1926 1927 1928 1929	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK 15" OAK 19" OAK 9" UNK 5" OAK 11" PINE 8" PINE
1801 1803 1804 1805 1806 1807 1809 1810 1811 1812 1813 1814 1815 1816	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK 13" OAK 8" OAK 10" OAK 16" UNK 8" UNK 8" UNK 8" UNK 8" UNK 8" OAK 11" UNK	1917 1918 1919 1920 1921 1922 1923 1924 1926 1927 1928 1929 1930 1931	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK 15" OAK 19" OAK 19" OAK 19" OAK 9" UNK 5" OAK 11" PINE 8" PINE 6" PINE
1801 1803 1804 1805 1806 1807 1809 1810 1811 1812 1813 1814 1815 1816 1817	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK 13" OAK 8" OAK 10" OAK 16" UNK 8" UNK 8" UNK 8" UNK 11" UNK 11" UNK	1917 1918 1919 1920 1921 1922 1923 1924 1926 1927 1928 1929 1930 1931 1933	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK 15" OAK 19" OAK 19" OAK 19" OAK 9" UNK 5" OAK 11" PINE 8" PINE 6" PINE 9" OAK
1801 1803 1804 1805 1806 1807 1809 1810 1811 1812 1813 1814 1815 1816	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK 13" OAK 8" OAK 10" OAK 16" UNK 8" UNK 8" UNK 11" UNK 16" OAK 11" UNK	1917 1918 1919 1920 1921 1922 1923 1924 1926 1927 1928 1929 1930 1931 1933 1934	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK 15" OAK 19" OAK 9" UNK 5" OAK 11" PINE 8" PINE 6" PINE 9" OAK 7" OAK
1801 1803 1804 1805 1806 1807 1809 1810 1811 1812 1813 1814 1815 1816 1817	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK 13" OAK 8" OAK 10" OAK 16" UNK 8" UNK 8" UNK 8" UNK 11" UNK 11" UNK	1917 1918 1919 1920 1921 1922 1923 1924 1926 1927 1928 1929 1930 1931 1933	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK 15" OAK 19" OAK 19" OAK 19" OAK 9" UNK 5" OAK 11" PINE 8" PINE 6" PINE 9" OAK
1801 1803 1804 1805 1806 1807 1809 1810 1811 1812 1813 1814 1815 1816 1817 1820	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK 13" OAK 8" OAK 10" OAK 16" UNK 8" UNK 8" UNK 11" UNK 16" OAK 11" UNK 16" OAK 11" UNK	1917 1918 1919 1920 1921 1922 1923 1924 1926 1927 1928 1929 1930 1931 1933 1934	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK 15" OAK 19" OAK 9" UNK 5" OAK 11" PINE 8" PINE 6" PINE 9" OAK 7" OAK
1801 1803 1804 1805 1806 1807 1809 1810 1811 1812 1813 1814 1815 1816 1817 1820 1821	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK 13" OAK 8" OAK 10" OAK 16" UNK 8" UNK 8" UNK 11" UNK 16" OAK 11" UNK 16" OAK 11" UNK 16" OAK 10" OAK	1917 1918 1919 1920 1921 1922 1923 1924 1926 1927 1928 1929 1930 1931 1933 1934 1935	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK 15" OAK 19" OAK 9" UNK 5" OAK 11" PINE 8" PINE 6" PINE 9" OAK 7" OAK 7" UNK
1801 1803 1804 1805 1806 1807 1809 1810 1811 1812 1813 1814 1815 1816 1817 1820 1821 1822 1824	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK 13" OAK 8" OAK 10" OAK 16" UNK 8" UNK 8" UNK 8" UNK 11" UNK 16" OAK 11" UNK 16" OAK 16" OAK 16" OAK 11" UNK	1917 1918 1919 1920 1921 1922 1923 1924 1926 1927 1928 1929 1930 1931 1933 1934 1935 1936 1937	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK 15" OAK 19" OAK 9" UNK 5" OAK 11" PINE 8" PINE 6" PINE 9" OAK 7" OAK 7" UNK
1801 1803 1804 1805 1806 1807 1809 1810 1811 1812 1813 1814 1815 1816 1817 1820 1821 1822	16" OAK 4" OAK 7" OAK 7" OAK 8" OAK 14" UNK 13" OAK 8" OAK 10" OAK 16" UNK 8" UNK 8" UNK 11" UNK 16" OAK 11" UNK 16" OAK 11" UNK 16" OAK 10" OAK	1917 1918 1919 1920 1921 1922 1923 1924 1926 1927 1928 1929 1930 1931 1933 1934 1935 1936	13" OAK 18" PINE 4" OAK 5" OAK 13" OAK 7" UNK 5" UNK 15" OAK 19" OAK 9" UNK 5" OAK 11" PINE 8" PINE 6" PINE 9" OAK 7" OAK 7" UNK

<	1940	5" OAK
K	1941	5" OAK
K	1942	7" UNK
<	1943	6" UNK 8" UNK
<u> </u>	1944	8" UNK
<u> </u>	1945	12" OAK
((((_M	1946	8" UNK
k.t	1947 1948	8" UNK 4" UNK
<u>-M</u>	1948	4 UNK 4" OAK
<u> </u>	1949	11" OAK
<u>K</u>	1952	7" UNK
K K K	1953	4" OAK
<u> </u>	1954	6" OAK
<u></u>	1955	5" OAK
<u> </u>	1956	5" UNIZ
Κ Κ	1957	5" UNK 6" UNK
<u>r. </u>	1958	8" OAK
K	1959	13" OAK
K	1960	5" OAK
K	1961	4" OAK
K	1962	5" OAK
K	1964	5" UNK
K	1965	5" OAK
K	1966	18" OAK
· · · · · · · · · · · · · · · · · · ·	1967	5" UNK
<u>(</u> (1968	8" UNK
K	1969	20" OAK
· · · · · · · · · · · · · · · · · · ·	1970	l 7" OAK
·	1971	8" OAK
ζ	1972	7" UNK
	1973	7" UNK 7" UNK
(((OAK	1974	5" UNK
OAK	1975	5" UNK 5" UNK
\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	1979	7" OAK
K	1980	6" OAK
.	1981	10" UNK
<	1982	12" OAK
K	1983	8"/11" OAK
· (1984	9" OAK
< <	1985	6" UNK
ζ	1986	6" UNK 8" OAK 15" OAK
·	1987	15" OAK
	1988	20" OAK
(1991	15" UNK
K	1992	8" OAK
· · · · · · · · · · · · · · · · · · ·	1993	6" OAK
·	1994	8" OAK
-	1995	14" OAK
Κ Κ	1996	14" OAK
· · · · · · · · · · · · · · · · · · ·	1997	6" SYCAMORE
K	1998	13" OAK
	1999	8" OAK
(((((((((((((((((((2000	8" OAK 8" OAK
	2002	9" UNK
<u> </u>	2003	9" OAK
	2004	9" OAK
<u> </u>	2005	12" UNK
<u> </u>	2006	6" UNK
	2007	5" OAK
	2008	13" OAK
K	2009	5"/7" UNK
(2011	15" OAK
K	2012	6" OAK
	2013	12" OAK
<	2014	12" PALM 18" OAK
	2015	18" OAK
	2016	16" OAK 16" OAK 13" OAK
K	2017	13" OAK
	2018	13" OAK
(2019	10" PALM
ζ	2020	9" OAK
	2028	10" OAK
 (2029	9" OAK
<	2030	7" OAK
(2031	7" OAK
	2032	9" OAK
	2033	7" OAK
	2034	12" OAK
K	2035	7" OAK
<u> </u>	2036	7" OAK
(2037	7" OAK
<	2038	6" OAK
	2039	6" OAK
	2040	7" OAK
K	2041	7" OAK
<	2042	8" OAK
<	2043	9" OAK
	2044	8" OAK
(2045	15" OAK
<u>-</u>	2046	6" OAK 10" OAK
	2047	10" OAK
	2048	10" OAK
_	2049	5" OAK
<u> </u>	2050	7" OAK
<u>(</u>	2051	7" OAK
<u> </u>		
<u> </u>	2052	7" OAK
<u>΄</u>		7" OAK 7" OAK 6" OAK

2056	4" OAK	2157	12" OA
2057	7" OAK	2158	10" OA
2058 2059	12" OAK 8" OAK	2159 2160	11" OA 6" OA
2060	8" OAK 6" OAK	2161	6" OA 8" OA
2061	8" OAK	2162	9" OA
2062	6" OAK	2163	9" OA
2063	12" OAK	2164	9" OA
2064 2065	9" OAK 7" OAK	2165 2166	5" OA 7" OA
2066	8" OAK	2167	12" OA
2067	9" OAK	2168	7" OA
2068	7" OAK	2169	20" OA
2069	10" OAK	2170	8" OA
2070 2071	6" OAK 6" OAK	2171 2172	7" OA 7" OA
2072	7" OAK	2172	7" OA 7" OA
2073	7" OAK	2174	9" OA
2074	13" OAK	2175	5" OA
2075	10" OAK	2176	7" OA
2076 2077	11" OAK 8" OAK	2177 2178	7" OA 8" OA
2078	8" OAK	2179	8" OA 7" OA
2079	10" OAK	2180	9" OA
2080	14" OAK	2181	13" OA
2081	8" OAK	2182	10" OA
2082 2083	11" OAK 10" OAK	2183 2184	9" OA 8" OA
2084	7" OAK	2185	14" OA
2085	14" OAK	2186	5" OA
2086	9" OAK	2187	7" OA
2087	5" OAK	2188	11" OA
2088 2089	9" OAK 8" OAK	2189 2190	7" OA 4" OA
2090	9" OAK	2190	12" OA
2091	10" OAK	2192	8" OA
2092	12" OAK	2193	10" OA
2093	7" OAK	2194	6" OA
2094 2095	8" OAK 17" OAK	2195 2196	10" OA 9" OA
2096	7" OAK	2197	9 OA 10" OA
2097	11" OAK	2200	9" OA
2098	11" OAK	2201	10" OA
2099	13" OAK	2202	6" OA
2100 2101	7" OAK 7" OAK	2203 2204	6" OA 12" OA
2102	9" OAK	2205	8" OA
2103	9"OAK	2206	11" OA
2104	12" OAK	2207	13" OA
2105	9" OAK	2208	7"/9" 0.
2106 2107	10" OAK 10" OAK	2209 2210	17" OA 9" OA
2108	9" OAK	2211	7" OA
2109	7" OAK	2212	9" OA
2110	13" OAK	2213	14" OA
2111 2112	7" OAK 18" OAK	2214 2215	7" OA 8" OA
2113	18" OAK 15" OAK	2215	8" OA 9" OA
2114	8" OAK	2217	10" OA
2115	14" OAK	2218	8" OA
2116	14" OAK	2219	8" OA
2117 2118	8" OAK 12" OAK	2220 2221	7" OA 9" OA
2119	12 OAK 17" OAK	2222	9" OA 7" OA
2120	18" OAK	2223	8" OA
2121	11" OAK	2224	7" OA
2122 2123	17" OAK	2225	7" OA
2123	14" OAK 9" OAK	2226 2227	12" OA 7" OA
2125	12" OAK	2228	11" OA
2127	8"/11" OAK	2229	9" OA
2128	9" OAK	2230	6" OA
2129 2130	9" OAK 8" OAK	2231 2232	14" OA 4" OA
2131	13" OAK	2233	4" OA 9" OA
2132	10" OAK	2234	8" OA
2133	9" OAK	2235	7" OA
2134	6" OAK	2236	8" OA 5" OA
2135 2136	5" OAK 10" OAK	2237 2238	5" OA 7" OA
2137	9" OAK	2239	10" OA
2138	10" OAK	2240	6" OA
2139	11" OAK	2241	8" OA
2140	6" OAK	2242	7" OA
2141 2142	10" OAK 9" OAK	2243	5" OA 13" OA
2143	9 OAK 10" OAK	2245	8" OA
2144	10" OAK	2246	5" OA
2145	7" OAK	2247	10" OA
2146	9" OAK	2248	8" OA
2147 2148	10" OAK 7" OAK	2249 2250	7" OA 8" OA
2149	7" OAK 6" OAK	2250	8" OA 8" OA
2150	13" OAK	2252	7" OA
2151	9"OAK	2253	11" OA
2152	10" OAK	2254	8" OA
2153 2154	15" OAK 9" OAK	2255 2256	9" OA 6" OA
2154	9" OAK 10" OAK	2257	6" OA 7" OA
2156	13" OAK	2258	7 OA 7" OA

2158	10" OAK	2260	8" OAK
2159	11" OAK	2261	8" OAK
2160	6" OAK	2262	8" OAK
2161	8" OAK	2263	9" OAK
2162 2163	9" OAK 9" OAK	2264 2265	6" OAK
2164	9" OAK 9" OAK	2266	12" OAK 6" OAK
2165	5" OAK	2267	5" OAK
2166	7" OAK	2268	8" OAK
2167	12" OAK	2269	10" OAK
2168	7" OAK	2270	13" OAK
2169 2170	20" OAK	2271 2272	8" OAK 11" OAK
2171	8" OAK 7" OAK	2272	7" OAK
2172	7" OAK	2274	8" OAK
2173	7" OAK	2275	7" OAK
2174	9" OAK	2276	7" OAK
2175 2176	5" OAK 7" OAK	2277	8" OAK
2177	7" OAK 7" OAK	2278 2279	8" OAK 8" OAK
2178	8" OAK	2280	8" OAK
2179	7" OAK	2281	7" OAK
2180	9" OAK	2282	9" OAK
2181 2182	13" OAK 10" OAK	2283 2284	7" OAK 7" OAK
2183	9" OAK	2285	7" OAK 5" OAK
2184	8" OAK	2286	6" OAK
2185	14" OAK	2287	6" OAK
2186	5" OAK	2288	11" OAK
2187 2188	7" OAK 11" OAK	2289 2290	6" OAK 6" OAK
2189	11" OAK 7" OAK	2290	6" OAK 7" OAK
2190	4" OAK	2292	12" OAK
2191	12" OAK	2293	8" OAK
2192	8" OAK	2294	11" OAK
2193 2194	10" OAK 6" OAK	2295 2296	12" OAK 10" OAK
2194	10" OAK	2296	8" OAK
2196	9"OAK	2298	7" OAK
2197	10" OAK	2299	8" OAK
2200	9" OAK	2300	12" OAK
2201 2202	10" OAK 6" OAK	2301 2308	6" OAK 8" OAK
2203	6" OAK	2309	8" OAK
2204	12" OAK	2310	6" OAK
2205	8" OAK	2311	6" OAK
2206	11" OAK	2312	6" OAK
2207 2208	13" OAK 7"/9" OAK	2313 2314	6" OAK 6" OAK
2209	17" OAK	2315	4" OAK
2210	9"OAK	2316	8" OAK
2211	7" OAK	2317	9" OAK
2212 2213	9" OAK 14" OAK	2318 2319	7" OAK
2214	7" OAK	2320	8" OAK 8" OAK
2215	8" OAK	2321	8" OAK
2216	9" OAK	2322	8" OAK
2217	10" OAK	2323	11" OAK
2218 2219	8" OAK 8" OAK	2324 2325	12" OAK 10" OAK
2220	7" OAK	2326	12" OAK
2221	9"OAK	2327	7" OAK
2222	7" OAK	2328	8" OAK
2223	8" OAK	2329	11" OAK
2224 2225	7" OAK 7" OAK	2330 2331	7" OAK 8" OAK
2226	12" OAK	2332	12" OAK
2227	7" OAK	2333	9" OAK
2228	11" OAK	2334	10" OAK
2229 2230	9" OAK 6" OAK	2335 2336	7" OAK 14" OAK
2231	6" OAK 14" OAK	2337	7" OAK
2232	4" OAK	2338	7" OAK
2233	9"OAK	2339	8" OAK
2234	8" OAK	2340	7" OAK
2235 2236	7" OAK 8" OAK	2341 2342	12" OAK 7" OAK
2237	5" OAK	2343	7" OAK
2238	7" OAK	2344	9" OAK
2239	10" OAK	2345	8" OAK
2240 2241	6" OAK 8" OAK	2346 2347	12" OAK 8" OAK
2242	7" OAK	2348	8" OAK
2243	5" OAK	2349	10" OAK
2244	13" OAK	2350	8" OAK
2245	8" OAK	2351 2352	7" OAK
2246 2247	5" OAK 10" OAK	2352	6" OAK 6" OAK
2248	8" OAK	2354	6" OAK
2249	7" OAK	2355	10" OAK
2250	8" OAK	2356	5" OAK
2251	8" OAK	2357	9" OAK
2252 2253	7" OAK 11" OAK	2358 2359	9" OAK 7" OAK
2254	8" OAK	2360	8" OAK
2255	9" OAK	2361	7" OAK
2256	6" OAK	2362	8" OAK
2257 2258	7" OAK 7" OAK	2363 2364	7" OAK 8" OAK
. 10	ı / UAK	2304	8"OAK

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16 EAST PLANT STREET WINTER GARDEN, FLORIDA 34787 (407) 654-5355 FAX (407) 654-5356

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FOR:

FRUITL TOWNSH

JOB #)210			
DATE:	9	/13/	/21		
SCALE:	1'	' =	60	,	
CALC BY:		DY			
FIELD BY:		KH			
DRAWN BY:		CDK	(
CHECKED BY: .		DY			

SHEET 12 OF 16

5	7" OAK	2470	8" OAK	2572	7" OAK
6	8" OAK	2471	4" OAK	2573	8" OAK
7	7" OAK	2472	11" OAK	2574	10" OAK
3	9" OAK	2473	17" OAK	2575	7" OAK
	7" OAK	2474	7" OAK	2576	12" OAK
	7" OAK	2475	6" OAK	2577	9" OAK
	7" OAK 6" OAK	2476 2477	9" OAK 8" OAK	2578 2579	<u>6"OAK</u> 7"OAK
	8" OAK	2478	8" OAK	2580	8" OAK
	6" OAK	2479	5" OAK	2581	10" OAK
	10" OAK	2480	11" OAK	2582	5" OAK
	5" OAK	2481	7" OAK	2583	6" OAK
	5" OAK	2482	8" OAK	2584	8" OAK
	7" OAK	2483	4" OAK	2585	8" OAK
	10" OAK	2484	8" OAK	2586	9" OAK
	5" OAK	2485	9"OAK	2587	4"OAK
	8" OAK	2486	8" OAK	2588	7" OAK
	8" OAK	2487	7" OAK	2589	8" OAK
	6" OAK	2488	8" OAK	2590	9" OAK
_	12" OAK	2489	7" OAK	2591	12" OAK
-	9" OAK 6" OAK	2490 2491	10" OAK 8" OAK	2592 2593	9" OAK 8" OAK
-	6" OAK 11" OAK	2492	8" OAK 13" OAK	2594	<u>8" OAK</u> 7" OAK
	8" OAK	2493	4" OAK	2595	11" OAK
	9" OAK	2494	9" OAK	2596	8" OAK
	5" OAK	2495	16" OAK	2597	9" OAK
	6" OAK	2496	7" OAK	2598	11" OAK
	8" OAK	2497	7" OAK	2599	7" OAK
	4" OAK	2498	10" OAK	2600	11" OAK
	10" OAK	2499	15" OAK	2601	13" OAK
	9"OAK	2500	5" OAK	2602	7" OAK
_	10" OAK	2501	4" OAK	2603	4" OAK
	10" OAK	2502	4" OAK	2604	8" OAK
+	9" OAK	2503	5" OAK	2605	5" OAK
+	13" OAK	2504	4" OAK	2606	10" OAK
+	4" OAK	2505 2506	8" OAK	2607	5" OAK
+	8" OAK		6" OAK	2608 2609	6" OAK
+	10" OAK 9" OAK	2507 2508	6" OAK 9" OAK	2610	12" OAK 8" OAK
+	10" OAK	2509	7" OAK	2611	<u>8 OAK</u> 4" OAK
\top	11" OAK	2510	10" OAK	2612	4" OAK
	12" OAK	2511	7" OAK	2613	11" OAK
	5" OAK	2512	8" OAK	2614	8" OAK
	8" OAK	2513	4" OAK	2615	8" OAK
	4" OAK	2514	8" OAK	2616	9"OAK
	9" OAK	2515	12" OAK	2617	12" OAK
_	7" OAK	2516	10" OAK	2618	<u>5" OAK</u>
	6" OAK	2517	6" OAK	2619	6" OAK
-	5" OAK 9" OAK	2518 2519	4" OAK	2620 2621	8" OAK
_		2520	8" OAK 6" OAK	2622	6" OAK 13" OAK
	15" OAK 7" OAK	2521	6" OAK 6" OAK	2623	6" OAK
	4" OAK	2522	4" OAK	2624	6" OAK
	10" OAK	2523	6" OAK	2625	8" OAK
	8" OAK	2524	10" OAK	2626	6" OAK
	12" OAK	2525	8" OAK	2627	9" OAK
	8" OAK	2526	7" OAK	2628	5" OAK
	7" OAK	2529	5" OAK	2629	6"OAK
	9" OAK	2530	7" OAK	2630	7" OAK
	8" OAK	2531	6" OAK	2631	6" OAK
	14" OAK	2532	8" OAK	2632	6" OAK
-	7" OAK	2533	4" OAK	2633	8" OAK
+	6" OAK 9" OAK	2534 2535	11" OAK	2634 2635	7" OAK
+	9" OAK 7" OAK	2535	8" OAK 6" OAK	2636	<u>8" OAK</u> 10" OAK
+	7 OAK 8" OAK	2537	7" OAK	2637	8" OAK
+	7" OAK	2538	10" OAK	2638	8" OAK
\dagger	6" OAK	2539	12" OAK	2639	8" OAK
	10" OAK	2540	9" OAK	2640	8" OAK
	8" OAK	2541	14" OAK	2641	7" OAK
1	8" OAK	2542	9" OAK	2642	6" OAK
	9" OAK	2543	7" OAK	2643	8" OAK
\bot	4" OAK	2544	7" OAK	2644	5" OAK
+	4" OAK	2545	12" OAK	2645	8" OAK
+	4" OAK	2546 2547	7" OAK	2646 2647	11" OAK
+	12" OAK	2547	8" OAK	2648	7" OAK
+	5" OAK 8" OAK	2549	12" OAK 8" OAK	2649	7" OAK 4" OAK
+	5" OAK	2550	7" OAK	2650	4 OAK 4" OAK
1	4" OAK	2551	4" OAK	2651	13" OAK
	5" OAK	2552	7" OAK	2652	10" OAK
	8" OAK	2553	13" OAK	2653	4" OAK
	8" OAK	2554	7" OAK	2654	8" OAK
	8" OAK	2555	6" OAK	2655	8" OAK
Ĺ	4" OAK	2556	7" OAK	2656	8" OAK
\perp	5" OAK	2557	4" OAK	2657	4" OAK
-	5" OAK	2558	6" OAK	2658	6" OAK
-	12" OAK	2559	9" OAK	2659	5" OAK
+	11" OAK	2560	8" OAK	2660	6" OAK
+	11" OAK	2561	8" OAK	2664	6" OAK
+	7" OAK	2562	10" OAK	2665	13" OAK
+	7" OAK 9" OAK	2563 2564	6" OAK 14" OAK	2666 2667	10" OAK
+	9" OAK 9" OAK	2565		2667 2668	<u>10" OAK</u> 9" OAK
	9" OAK 9" OAK	2566	11" OAK 6" OAK	2669	9 OAK 7" OAK
+	10" OAK	2567	6" OAK	2670	
+	12" OAK	2568	6" OAK	2671	8" OAK
+	8" OAK	2569	9" OAK	2672	4" OAK
				2673	
+	13" OAK	2570	9"OAK	20/5	8" OAK

2675	4" OAK	2
2676 2677	5" OAK 7" OAK	2
2678		2
2679 2680	5" OAK 8" OAK 8" OAK 6" OAK	2
2682	6" OAK	2
2683	10" OAK	2
2684 2685	12" OAK 11" OAK	2
2686	10" OAK	2
2687 2688	6" OAK 11" OAK	2
2689	7" OAK	2
2690	10" OAK	2
2691 2692	8" OAK 5" OAK	2
2693	12" 0 4 4	2
2694 2695	12" OAK 12" OAK 10" OAK	2
2696	5" OAK	2
2697 2698	10" OAK 8" OAK	2
2699	7" OAK	2
2700	12" OAK	2
2701 2702	12" OAK 9" OAK 4" OAK	2
2703	5" OAK	2
2704 2705	7" OAK 4" OAK	2
2706	7" OAK	2
2707 2708	4 OAK 7" OAK 7" OAK 6" OAK 4" OAK 7" OAK	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2
2709	4" OAK	2
2710 2711	7" OAK 4" OAK	2
2712	4" OAK 4" OAK	
2713	13" OAK	2
2714 2715	15" OAK 13" OAK	2
2716	7" OAK	2
2717 2718	7" OAK 7" OAK 7" OAK 4" OAK	2
2719		2
2720 2721	8" OAK 8" OAK	2
2722	7" OAK	2
2723 2724	5" OAK 4" OAK	2
2725	8" OAK	2
2726	5" OAK	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2
2727 2728	12" OAK 4" OAK 4" OAK	2
2728 2729	4" OAK	2
2730 2731	7" OAK 7" OAK	2
2732	4" OAK	2
2733 2734	8" OAK 8" OAK	2
2735	8" OAK	2
2736 2737	9" OAK 9" OAK	2
2738	10" OAK	2
2739 2740	14" OAK 6" OAK	2
2741	7" OAK	2
2742 2743	7" OAK 6" OAK 7" OAK 7" OAK 7" OAK 4" OAK	2
2744	7" OAK	2
2745 2746	7" OAK	2
2747	4" OAK	2
2748	4" OAK	2
2749 2750	6" OAK 5" OAK	2
2751	7" OAK	2
2752 2753	5" OAK 5" OAK	2
2754	4" OAK	2
2755 2756	5" OAK 6" OAK	2
2757	6" OAK	2
2758	4" OAK 15" OAK	2
//¬u	8" OAK	2
2759 2760		_
2760 2761	4" OAK	2
2760 2761 2762 2763	4" OAK 7" OAK	2 2
2760 2761 2762 2763 2764	4" OAK 7" OAK 8" OAK	2 2 2
2760 2761 2762 2763 2764 2765	4" OAK 7" OAK 8" OAK 4" OAK	2 2 2 2 2
2760 2761 2762 2763 2764 2765 2766 2767	4" OAK 7" OAK 8" OAK 4" OAK	2 2 2 2 2 2 2 2
2760 2761 2762 2763 2764 2765 2766 2767 2768	4" OAK 7" OAK 8" OAK 4" OAK 10" OAK 9" OAK	2 2 2 2 2 2 2 2 2
2760 2761 2762 2763 2764 2765 2766 2767 2768 2769 2770	4" OAK 7" OAK 8" OAK 4" OAK 10" OAK 9" OAK 9" OAK 8" OAK 7" OAK	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2
2760 2761 2762 2763 2764 2765 2766 2767 2768 2769 2770 2771	4" OAK 7" OAK 8" OAK 4" OAK 10" OAK 9" OAK 9" OAK 8" OAK 4" OAK	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2
2760 2761 2762 2763 2764 2765 2766 2767 2768 2769 2770	4" OAK 7" OAK 8" OAK 4" OAK 10" OAK 9" OAK 9" OAK 8" OAK 7" OAK	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2

6	5" OAK	2876	4" OAK
7 8	8" OAK 5" OAK	2877 2878	4" OAK 4" OAK
9	4" OAK	2879	5"OAK
0	4"/4" OAK	2880	11" OAK
	8" OAK 4" OAK	2881 2882	4" OAK 6" OAK
2 3 4 5	4" OAK	2883	4"OAK
4	4" OAK	2884	8"OAK
5 6	8" OAK 7" OAK	2885 2886	4" OAK 4" OAK
7	5" OAK	2887	7"OAK
3	6"OAK	2888	7" OAK
9 O	6" OAK 8" OAK	2889 2890	5" OAK 4" OAK
1	8" OAK	2891	8" OAK
2	9"OAK	2892	7"OAK
2 3 4 5 6	9" OAK 7" OAK	2893 2894	4" OAK 5" OAK
5	9" OAK	2895	5" OAK
	6"OAK	2898	4" OAK
7 3	7" OAK 7" OAK	2899 2900	4" OAK 4" OAK
9	6" OAK	2901	4" OAK
5	4" OAK	2902	8" OAK
1	8" OAK 9" OAK	2903 2904	5" OAK 8" OAK
2	9" OAK 8" OAK	2905	8" OAK 4" OAK
4	4"OAK	2906	5"OAK
5	4" OAK	2907	5" OAK
4 5 6 7	5" OAK 5" OAK	2908 2909	13" OAK 4" OAK
В	4" OAK	2910	8"OAK
9	4" OAK	2912	5"OAK
) 1	4" OAK 6" OAK	2913 2914	4" OAK 7" OAK
2	8" OAK	2915	5" OAK
3	4" OAK	2916	7" OAK
4 5	4" OAK 4" OAK	2917 2918	8" OAK 4" OAK
5 7	5"OAK	2919	6"OAK
	4" OAK	2920	5" OAK
3 9 0	4" OAK 4" OAK	2921 2922	8" OAK 8" OAK
<u> </u>	5" OAK	2923	4" OAK
1	7"OAK	2924	7" OAK
1 2 3	9" OAK 5" OAK	2925 2926	5" OAK 4" OAK
4	4" OAK	2927	5" OAK
5	5"/7" OAK	2928	4"OAK
6 7	4" OAK 4" OAK	2930 2931	5" OAK 7" OAK
8	4" OAK	2932	8" OAK
9	8" OAK	2933	6"OAK
0	5" OAK 15" OAK	2934 2935	8" OAK 7" OAK
$\frac{1}{2}$	4" OAK	2936	7 OAK 8" OAK
2 3 4 5	5" OAK	2937	8"OAK
4	5" OAK 17" OAK	2938 2939	8" OAK 6" OAK
6	4" OAK	2940	13" OAK
7	4" OAK	2941	14" OAK
8 9	7" OAK	2943	4"OAK
9	8" OAK 7" OAK	2944 2945	8" OAK 5" OAK
_	6" OAK	2946	6"OAK
2	5" OAK	2947	4"OAK
ر 4	6" OAK 6" OAK	2948 2949	5" OAK 4" OAK
5_	5"OAK	2950	8"OAK
1 2 3 4 5 6	6"OAK	2951	4"OAK
/ В	5" OAK 6" OAK	2952 2953	10" OAK 9" OAK
9	7" OAK	2954	5"OAK
2	6"OAK	2955	7" OAK
1 2	7" OAK 5" OAK	2957 2958	5" OAK 9" OAK
3	4"OAK	2959	6"OAK
	4" OAK	2960	8"OAK
5 5	6" OAK 5" OAK	2961 2962	9" OAK 12" OAK
4 5 6 7	5" OAK 8" OAK	2963	9" OAK
3	5"OAK	2964	5"OAK
9 O	7" OAK	2965	9" OAK
1	4" OAK 4" OAK	2966 2967	4" OAK 16" OAK
2	4" OAK	2968	7"OAK
3	4"OAK	2969	8"OAK
4 5	4" OAK 7" OAK	2970 2971	13" OAK 11" OAK
6	5" OAK	2972	12" OAK
7	5"OAK	2973	7"OAK
8 9 0	4"/5" OAK 8" OAK	2974 2975	4" OAK 7" OAK
	8 OAK 4" OAK	2976	7" OAK 9" OAK
	8" OAK	2977	4"OAK
1 2 3	4" OAK	2978 2979	6" OAK
J 1	4" OAK		9" OAK
4	7" OAK	2980	6"OAK

2982	6" OAK	3087	9" OAK	3187
2983	7" OAK	3088	10" OAK	3188
2984	7" OAK	3089	7" OAK	3189
2985	6" OAK	3090	12" OAK	3190
2986	5" OAK	3091	7" OAK	3191
2987	6" OAK	3092	8" OAK	3192
2988	5" OAK	3093	12" OAK	3193
2989		3094		3194
2990		3095		3195
2990				3196
	11" OAK	3096	4" OAK	3197
2993	6" OAK	3097	5" OAK	·
2994	7" OAK	3098	5" OAK	3198
2995	4" OAK	3099	6" OAK	3199
2996	4" OAK	3100	4" OAK	3200
2997	5" OAK	3101	<u>5" OAK</u>	3201
2998	7" OAK	3102	6" OAK	3202
2999	8" OAK	3103	6"OAK	3203
3000	6"OAK	3104	7" OAK	3204
3001	6"OAK	3105	8"OAK	3205
3002	11" OAK	3106	4" OAK	3206
3003	4"OAK	3107	14" OAK	3207
3004	12" OAK	3108	4"OAK	3208
3005	8" OAK	3109	7" OAK	3213
3006	8"OAK	3110	7"OAK	3214
3007	4"OAK	3111	5" OAK	3215
3008	12" OAK	3112	7" OAK	3216
3009	7" OAK	3113	6" OAK	3217
3010	7" OAK	3114	8" OAK	3218
3011	13" OAK	3115	12" OAK	3219
3013	8" OAK	3116	10" OAK	3220
3014	6" OAK	3117	4" OAK	3221
3015	12" OAK	3118	7" OAK	3222
3016	4" OAK	3119	4" OAK	3223
3017	5"OAK	3120	6" OAK	3224
3018	14" OAK	3121	4" OAK	3225
3019	7" OAK	3122	6" OAK	3226
3020	4" OAK	3123	6" OAK	3227
3021	4" OAK	3124	5" OAK	3228
3022	7" OAK	3125	8" OAK	3229
3023	6" OAK	3126	10" OAK	3230
3024	9" OAK	3127	8" OAK	3231
3025	7" OAK	3128	7" OAK	3232
3026	8" OAK	3129	8" OAK	3233
3027	6" OAK	3130	4" OAK	3234
3028	8" OAK	3131	11" OAK	3235
3029	9" OAK	3132	4" OAK	3236
3030	6" OAK	3133	6" OAK	3237
3031	6" OAK	3134	5" OAK	3238
3032	8" OAK	3135	10" OAK	3239
3033	5" OAK	3136	9" OAK	3240
3034	6" OAK	3137	7" OAK	3241
3035	5"/9" OAK	3138	6" OAK	3242
3037	7"/16" OAK	3139	5" OAK	3243
3038	16" OAK	3140	7" OAK	3244
3039	31" OAK	3141	7" OAK	3245
3040	8"/15" OAK	3142	8" OAK	3246
3041	8" OAK	3143	5" OAK	3247
3042	7" OAK	3144	4" OAK	3248
3043	4" OAK	3145	4" OAK	3249
3046	8" OAK	3146	8" OAK	3250
3047	4" OAK	3147	9" OAK	3251
3048	4" OAK	3148	10" OAK	3252
3049	7" OAK	3149	5"/10" OAK	3253
3050		3150	4" OAK	3254
3051	<u>8" OAK</u> 8" OAK	3151	4 OAK 4" OAK	3255
3052	9" OAK	3152	9" OAK	3256
3053	9 OAK 8" OAK	3153	4" OAK	3257
3054	7" OAK	3154	7" OAK	3258
3055	4" OAK	3155	6" OAK	3259
3056	11" OAK	3156	4" OAK	3260
3057	4" OAK	3157	15" OAK	3261
3058	6" OAK	3158	4" OAK	3262
3059	11" PALM	3159	9" OAK	3263
3060	6" OAK	3160	7" OAK	3264
3061	7" OAK	3161	7" OAK	3265
3062	9" OAK	3162	8" OAK	3266
3063	9" OAK	3163	4"/8" OAK	3267
3064	10" OAK	3164	6" OAK	3268
	7" OAK	3165	8" OAK	3269
3065			4" OAK	3270
3065 3066		3166	. 5/111	
	7" OAK	3166 3167	6" OAK	32/1
3066	7" OAK 7" OAK		6" OAK 8" OAK	3271 3272
3066 3067	7" OAK 7" OAK 8" OAK	3167	8"OAK	
3066 3067 3068	7" OAK 7" OAK 8" OAK 13" OAK	3167 3168	8" OAK 7" OAK	3272
3066 3067 3068 3069	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK	3167 3168 3169	8" OAK 7" OAK 8" OAK	3272 3273
3066 3067 3068 3069 3070	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK 12" OAK	3167 3168 3169 3170	8" OAK 7" OAK 8" OAK 4" OAK	3272 3273 3274
3066 3067 3068 3069 3070 3071	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK 12" OAK 7" OAK	3167 3168 3169 3170 3171	8" OAK 7" OAK 8" OAK 4" OAK 7" OAK	3272 3273 3274 3275
3066 3067 3068 3069 3070 3071 3072	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK 12" OAK 7" OAK	3167 3168 3169 3170 3171 3172	8" OAK 7" OAK 8" OAK 4" OAK 7" OAK 7" OAK	3272 3273 3274 3275 3276
3066 3067 3068 3069 3070 3071 3072 3073	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK 12" OAK 7" OAK 7" OAK	3167 3168 3169 3170 3171 3172 3173 3174	8" OAK 7" OAK 8" OAK 4" OAK 7" OAK 7" OAK 7" OAK	3272 3273 3274 3275 3276 3277
3066 3067 3068 3069 3070 3071 3072 3073 3074 3075	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK 12" OAK 7" OAK 7" OAK 7" OAK 5" OAK	3167 3168 3169 3170 3171 3172 3173 3174 3175	8" OAK 7" OAK 8" OAK 4" OAK 7" OAK 7" OAK 7" OAK 5" OAK	3272 3273 3274 3275 3276 3277 3278 3279
3066 3067 3068 3069 3070 3071 3072 3073 3074 3075 3076	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK 12" OAK 7" OAK 7" OAK 7" OAK 5" OAK	3167 3168 3169 3170 3171 3172 3173 3174 3175 3176	8" OAK 7" OAK 8" OAK 4" OAK 7" OAK 7" OAK 7" OAK 5" OAK	3272 3273 3274 3275 3276 3277 3278 3279 3280
3066 3067 3068 3069 3070 3071 3072 3073 3074 3075 3076 3077	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK 12" OAK 7" OAK 7" OAK 7" OAK 5" OAK 4" OAK	3167 3168 3169 3170 3171 3172 3173 3174 3175 3176 3177	8" OAK 7" OAK 8" OAK 4" OAK 7" OAK 7" OAK 7" OAK 5" OAK 6" OAK	3272 3273 3274 3275 3276 3277 3278 3279 3280 3281
3066 3067 3068 3069 3070 3071 3072 3073 3074 3075 3076 3077 3078	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK 12" OAK 7" OAK 7" OAK 5" OAK 6"/7" OAK 4" OAK 4" OAK	3167 3168 3169 3170 3171 3172 3173 3174 3175 3176 3177 3178	8" OAK 7" OAK 8" OAK 4" OAK 7" OAK 7" OAK 7" OAK 5" OAK 6" OAK 11" OAK 8" OAK	3272 3273 3274 3275 3276 3277 3278 3279 3280 3281 3282
3066 3067 3068 3069 3070 3071 3072 3073 3074 3075 3076 3077 3078 3079	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK 12" OAK 7" OAK 7" OAK 7" OAK 5" OAK 4" OAK 4" OAK 4" OAK 5" OAK	3167 3168 3169 3170 3171 3172 3173 3174 3175 3176 3177 3178 3179	8" OAK 7" OAK 8" OAK 4" OAK 7" OAK 7" OAK 7" OAK 5" OAK 5" OAK 6" OAK 11" OAK 8" OAK	3272 3273 3274 3275 3276 3277 3278 3279 3280 3281 3282 3283
3066 3067 3068 3069 3070 3071 3072 3073 3074 3075 3076 3077 3078 3079 3080	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK 12" OAK 7" OAK 7" OAK 7" OAK 5" OAK 4" OAK 4" OAK 4" OAK 4" OAK 6"/7" OAK 6"/7" OAK	3167 3168 3169 3170 3171 3172 3173 3174 3175 3176 3177 3178 3179 3180	8" OAK 7" OAK 8" OAK 4" OAK 7" OAK 7" OAK 7" OAK 5" OAK 6" OAK 11" OAK 8" OAK 7" OAK	3272 3273 3274 3275 3276 3277 3278 3279 3280 3281 3282 3282 3283 3284
3066 3067 3068 3069 3070 3071 3072 3073 3074 3075 3076 3077 3078 3079 3080 3081	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK 12" OAK 7" OAK 7" OAK 7" OAK 5" OAK 4" OAK 4" OAK 4" OAK 4" OAK 4" OAK 4" OAK 11" OAK	3167 3168 3169 3170 3171 3172 3173 3174 3175 3176 3177 3178 3179 3180 3181	8" OAK 7" OAK 8" OAK 4" OAK 7" OAK 7" OAK 7" OAK 5" OAK 6" OAK 11" OAK 8" OAK 7" OAK 7" OAK	3272 3273 3274 3275 3276 3277 3278 3279 3280 3281 3282 3283 3283 3284 3285
3066 3067 3068 3069 3070 3071 3072 3073 3074 3075 3076 3077 3078 3079 3080 3081 3082	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK 12" OAK 7" OAK 7" OAK 7" OAK 5" OAK 6"/7" OAK 4" OAK 4" OAK 4" OAK 5" OAK 4" OAK 4" OAK 6" OAK 11" OAK	3167 3168 3169 3170 3171 3172 3173 3174 3175 3176 3177 3178 3179 3180 3181 3182	8" OAK 7" OAK 8" OAK 4" OAK 7" OAK 7" OAK 7" OAK 5" OAK 6" OAK 11" OAK 8" OAK 7" OAK 6" OAK 6" OAK 7" OAK	3272 3273 3274 3275 3276 3277 3278 3279 3280 3281 3282 3283 3284 3284 3285 3286
3066 3067 3068 3069 3070 3071 3072 3073 3074 3075 3076 3077 3078 3079 3080 3081 3082 3083	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK 12" OAK 7" OAK 7" OAK 7" OAK 5" OAK 6"/7" OAK 4" OAK 4" OAK 4" OAK 4" OAK 4" OAK 5" OAK 6" OAK 11" OAK 4" OAK 4" OAK	3167 3168 3169 3170 3171 3172 3173 3174 3175 3176 3177 3178 3179 3180 3181 3182 3183	8" OAK 7" OAK 8" OAK 4" OAK 7" OAK 7" OAK 7" OAK 5" OAK 6" OAK 11" OAK 8" OAK 7" OAK 6" OAK 6" OAK 7" OAK 7" OAK 7" OAK	3272 3273 3274 3275 3276 3277 3278 3279 3280 3281 3282 3283 3284 3284 3285 3286 3287
3066 3067 3068 3069 3070 3071 3072 3073 3074 3075 3076 3077 3078 3079 3080 3081 3082 3083 3084	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK 12" OAK 7" OAK 7" OAK 7" OAK 5" OAK 6"/7" OAK 4" OAK 4" OAK 4" OAK 4" OAK 4" OAK 6" OAK 11" OAK 4" OAK 4" OAK 4" OAK	3167 3168 3169 3170 3171 3172 3173 3174 3175 3176 3177 3178 3179 3180 3181 3182 3183 3184	8" OAK 7" OAK 8" OAK 4" OAK 7" OAK 7" OAK 7" OAK 5" OAK 6" OAK 11" OAK 8" OAK 7" OAK 6" OAK 7" OAK 7" OAK 7" OAK	3272 3273 3274 3275 3276 3277 3278 3279 3280 3281 3282 3283 3284 3284 3285 3286 3287 3288
3066 3067 3068 3069 3070 3071 3072 3073 3074 3075 3076 3077 3078 3079 3080 3081 3082 3083	7" OAK 7" OAK 8" OAK 13" OAK 4" OAK 12" OAK 7" OAK 7" OAK 7" OAK 5" OAK 6"/7" OAK 4" OAK 4" OAK 4" OAK 4" OAK 4" OAK 5" OAK 6" OAK 11" OAK 4" OAK 4" OAK	3167 3168 3169 3170 3171 3172 3173 3174 3175 3176 3177 3178 3179 3180 3181 3182 3183	8" OAK 7" OAK 8" OAK 4" OAK 7" OAK 7" OAK 7" OAK 5" OAK 6" OAK 11" OAK 8" OAK 7" OAK 6" OAK 6" OAK 7" OAK 7" OAK 7" OAK	3272 3273 3274 3275 3276 3277 3278 3279 3280 3281 3282 3283 3284 3284 3285 3286 3287

187	7" OAK	3291	12" OAK
188	9" OAK	3294	12" PALM
39	8" OAK	3295	13" PALM
90	4"OAK	3296	11" PALM
91	6" OAK	3297	11" PALM
2	5" OAK	3298	8" OAK
)3)4	7" OAK 6" OAK	3300 3301	13" OAK 12" PALM
95	4" OAK	3303	7"/7" OAK
96	7" OAK	3304	7"/8"/9" OAK
97	8" OAK	3305	14" OAK
98	10" OAK	3306	18" OAK
99	4" OAK	3308	7" OAK
:00	5"OAK	3309	5" OAK
201	4" OAK	3310	15" PALM
02	7" OAK	3312	45" OAK
03	<u>4" OAK</u> 7" OAK	3313 3315	14" OAK
04	7" OAK 5" OAK	3316	14" OAK 24" OAK
206	7" OAK	3317	16/" OAK
07	11" OAK	3319	22" OAK
08	16" OAK	3320	10"CEDAR
:13	6"OAK	3322	17" PALM
14	8" OAK	3323	7" OAK
15	8" OAK	3324	23" OAK
16	5" OAK	3326	12"CEDAR
17	8" OAK	3327	9" PALM
18 19	<u>4" OAK</u> 5" OAK	3328 3329	<u>18" OAK</u> 18" OAK
20	5" OAK 7" OAK	3330	18" OAK 8" PALM
21	4" OAK	3331	27" OAK
22	14" OAK	3333	18" OAK
23	5"OAK	3334	16" PALM
24	4" OAK	3335	18" OAK
25	4" OAK	3337	7"CEDAR
26	14" OAK	3338	10"/11" PALM
27 28	4" OAK	3339 3341	20" OAK
28	4" OAK 4" OAK	3341	11" PALM 32" OAK
29 30	4 OAK 5"/6" OAK	3343	32 OAK 32" OAK
31	14" OAK	3345	22" OAK
32	7" OAK	3346	20" OAK
33	9"OAK	3347	9" PALM
34	8" OAK	3348	11" PALM
35	7" OAK	3349	10"CEDAR
36 37	5" OAK	3351	12" PALM
3 <i>7</i> 38	5" OAK 4" OAK	3352 3353	11" PALM 6"CEDAR
39	7" OAK	3355	10" PALM
40	9" OAK	3356	10"CEDAR
41	5"OAK	3358	20" OAK
42	5"OAK	3359	10" OAK
43	5" OAK	3360	19" OAK
14	7" OAK	3362	22" OAK
45	4" OAK	3363	7" OAK
46 47	4" OAK 6" OAK	3364 3366	<u>12"CEDAR</u> 20" OAK
48	7" OAK	3367	20 OAK 20" OAK
49	5"OAK	3368	4"CEDAR
50	5" OAK	3369	5"CEDAR
51	6" OAK	3371	36" OAK
52	10" OAK	3372	15" PALM
53	9"OAK	3373	18" OAK
54	5" OAK	3375	5" OAK
55	7" OAK	3376	8"CEDAR
56 57	6" OAK 6" OAK	3377 3378	<u>4" OAK</u> 42" OAK
58	6" OAK 5" OAK	3379	42" OAK 12" PALM
59	8" OAK	3380	15" OAK
50	5"/12"OAK	3381	5" OAK
61	6"OAK	3382	5"CEDAR
52	7" OAK	3384	14" OAK
53	4"OAK	3385	26" OAK
54	5"/8" OAK	3386	11" PINE
35 36	6" OAK	3387	12" PALM
66 67	4"/5"/7" OAK 4" OAK	3388 3389	7" OAK 7" PINE
68 68	4 OAK 7" OAK	3390	/ PINE 4" PINE
59		3392	17" OAK
70	4" OAK	3393	22" OAK
71	5" OAK	3394	6" PINE
72	5" OAK	3398	18" OAK
73	10" OAK	3399	15" PALM
74	6" OAK	3401	19" OAK
75 76	6" OAK 7" OAK	3403	17" OAK
76 77		3407 3408	20" OAK 22" OAK
/ / 78	<u>5" OAK</u> 6" OAK	3409	22 OAK 26" OAK
79 79	6 OAK 8" OAK	3410	26 OAK 26" OAK
80	7" OAK	3411	20" OAK
81	7" OAK	3412	19" OAK
82	6"OAK	3413	19" OAK
83	4"OAK	3414	20" OAK
	5" OAK	3415	25" OAK
34	5"OAK	3416	18" OAK
35			~~" -
35 36	4" OAK	3417	20" OAK
35		3417 3418 3419	20" OAK 26" OAK 24" OAK

3422	22" OAK	3541	14" OAK
3423	23" OAK	3542	6" OAK
3424	20" OAK	3544	38" OAK
3425	24" OAK	3545	36" OAK
3426	26" OAK	3547	6"OAK
3428	11" OAK	3550	11" OAK
3432	12" OAK	3552	6"OAK
3433	6" OAK	3553	4"OAK
3434	4"/4" OAK	3555	35" OAK
3436	17" OAK	3556	10" OAK
3437	45" OAK	3557	15" OAK
3439	6" OAK	3558	14" OAK
3440	11" OAK	3559	5" OAK
3441	14" OAK	3560	12" OAK
3442	11" OAK	3561	6"OAK
3444	7" OAK	3562	10" OAK
3445	19" OAK	3563	17"/18" OA
3446	19" OAK	3564	7" OAK
3447	12" OAK	3566	8" OAK
3448	4" OAK	3567	7" OAK
3449	16" OAK	3568	6" OAK
3451	17" OAK	3569	4" OAK
3452	9"OAK	3570	5"OAK
3453	17" OAK	3571	11" OAK
3454	50" OAK	3574	6" OAK
3456	7" OAK	3575	10"/10" OA
3457	5" OAK	3576	10" OAK
3458	17" OAK	3579	23" OAK
3459	24" OAK	3584	6" OAK
3460	4" OAK	3585	6" OAK
3461	19" OAK	3586	<u>5" OAK</u>
3463	4" OAK	3588	10" PINE
3464	6" OAK	3589	9" PINE
3465	5" OAK	3590	9" PINE
3466	9" OAK	3591	10" PINE
3467	28" OAK	3592	8" PINE
3468	10" OAK	3593	8" PINE
3469	7" OAK	3594	9" PINE
3471	4"/6" OAK	3595	10" OAK
3472	4" OAK	3596	42" OAK
3473	6" OAK	3598	9"OAK
3474	5" OAK	3599	16" OAK
3475	34" OAK	3601	11" PALM
3477	5" OAK	3602	26" OAK
3478	5" OAK	3604	14" PALM
3480	6" OAK	3605	6" OAK
3481	5" OAK	3606	30" OAK
3482	12" PALM	3608	9" OAK
3484	54" OAK	3609	24" OAK
3485	50" OAK	3611	12" PINE
3487	15" PALM	3612	11" PINE
3488	6" OAK	3613	10" PINE
3489	7" OAK	3614	7" PINE
3490	11" OAK	3615	10" PINE
3492	5" OAK	3616	9" PINE
3493 3494	5" OAK	3617 3619	30" OAK
3495	12" OAK 11" OAK	3620	8" OAK 4" OAK
3497	4" OAK	3621	5" OAK
3498	15" OAK	3623	7" OAK
3499	15" OAK	3625	7"/12" OAK
3500	6" OAK	3626	5"/6" OAK
3501	24" OAK	3628	17" OAK
3502	4"/4" OAK	3630	5" OAK
3503	11" OAK	3631	16" OAK
3504	4" OAK	3633	7" OAK
3505	17" OAK	3634	7 UAK 11" PALM
3506	6" OAK	3635	24" OAK
3507	6" OAK	3637	7" OAK
3508	7" OAK	3638	7 OAK 5" OAK
3510	5" OAK	3640	5 OAK 5" OAK
3511	8" OAK	3641	15" OAK
3512	4" OAK	3643	5" OAK
3513	4" OAK	3644	6" OAK
3514	30" OAK	3645	5" OAK
3515	5" OAK	3646	12" PALM
3517	8" OAK	3648	12" OAK
3518	6" OAK	3649	16" OAK
3519	8" OAK	3650	17" OAK
3520	14" OAK	3651	18" OAK
3521	14" OAK	3652	8" OAK
3522	16" OAK	3653	5" OAK
3523	5" OAK	3654	5" OAK
3524	4" OAK	3655	6" OAK
3525	10" OAK	3657	13" PALM
3526	4" OAK	3659	14" PALM
3527	4" OAK	3660	13" OAK
3528	4" OAK	3661	14" OAK
3529	6" OAK	3662	10"/12" OAK
3530	8" OAK	3664	14" PALM
3531	5" OAK	3665	10" PALM
3532	5" OAK	3667	13" PALM
3533	10" OAK	3668	18" OAK
3534	8" OAK	3669	9" OAK
3535	9" OAK	3670	13" PALM
	8" OAK	3671	42" OAK
3536		3672	30" OAK
3536 3537	7" OAK		33 O/NIN
	7" OAK 5" OAK	3673	24" ∩∆K
3537	7" OAK 5" OAK 7"/8" OAK	3673 3674	24" OAK 24" OAK

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EAST TOPOGRAPHIC & TREE SURVEY

27 **FRUITLAND**

TOWNSHIP 29,

FOR:

JOB #	20210417
DATE:	9/13/21
SCALE:	1" = 60'
CALC BY:	DY
FIELD BY:	KH
DRAWN BY:	CDK
CHECKED BY:	DY

SHEET 13 OF 16

3677	6" OAK	3803	22"/24" OAK
3678	4"/4"/5" OAK	3805	37" OAK
3679 3681	5" OAK 7" OAK	3806 3812	21"/35" OAK 9"CEDAR
3682	8" PINE	3814	14" PALM
3683	5" PINE	3816	18" OAK
3684 3685	5" PINE 5" PINE	3817 3819	<u>14" OAK</u> 6" OAK
3687	38" OAK	3820	9"OAK
3688	14" PALM	3821	10" OAK
3689 3690	7" PINE 14" OAK	3822 3823	<u>15" OAK</u> 5" OAK
3691	12" OAK	3824	5" ELM
3692	5" PINE	3825	14" OAK
3693 3694	5" PINE 7" PINE	3826 3827	12" OAK 12" PALM
3695	8" PINE	3829	12" OAK
3696	7" PINE	3830	9"OAK
3697 3698	4" PINE 6" PINE	3831 3832	<u>9" OAK</u> 9" OAK
3700	36" OAK	3833	8" OAK
3702	7" PINE	3834	8" OAK
3703 3704	7" PINE 4" PINE	3836 3837	9" PINE 12" PINE
3705	5" PINE	3839	24" OAK
3706	10"/12" OAK	3841	11" OAK
3707	12" OAK	3842	5" OAK
3708 3709	7" OAK 4" OAK	3843 3844	7" OAK 5" OAK
3710	13" OAK	3845	12" OAK
3712	15" OAK	3846	26" OAK
3713 3714	15" OAK 5" PINE	3847 3848	22" OAK 24" OAK
3715	8" PINE	3849	24" OAK
3716	7" PINE	3851	25" OAK
3718 3719	16" OAK 7" OAK	3852 3853	<u>24" OAK</u> 17" OAK
3721	8"/8" OAK	3854	20" OAK
3722	9" OAK	3855	18" OAK
3723 3724	22" OAK 25" OAK	3857 3858	30" OAK 15"/24" OAK
3725	11" OAK	3859	22" OAK
3726	19" OAK	3860	12" OAK
3728	8" OAK	3862	15" OAK
3729 3730	8/OAK" OAK 8" OAK	3864 3865	<u>5" OAK</u> 5" OAK
3732	40" OAK	3866	5"/5" OAK
3733	12" OAK	3867	6" OAK
3734 3735	12" OAK 20" OAK	3868 3869	5" OAK 8" OAK
3737	13" OAK	3870	4" OAK
3738	14" OAK	3871	6" OAK
3739 3740	4" OAK 8" OAK	3872 3873	6" OAK 4" OAK
3741	8" OAK 6" OAK	3874	6" OAK
3742	12" OAK	3875	4" OAK
3743 3745	14" OAK	3876 3877	8" OAK
3746	19" OAK 18" OAK	3878	6" OAK 5" OAK
3747	5"/6" OAK	3879	8" OAK
3748	8" OAK	3880	12" OAK
3749 3750	17" OAK 5" OAK	3881 3882	7" OAK 4" OAK
3751	16" OAK	3883	4"/6" OAK
3753	5"/5" OAK	3885	7" OAK
3754 3755	6"/8" OAK 8" OAK	3886 3887	6" OAK 8"/9" OAK
3756	8" OAK	3888	9" OAK
3758	13" OAK	3889	5"OAK
3759 3760	8" OAK 10" PALM	3890 3891	9" OAK 5" OAK
3761	9" OAK	3892	5" OAK 7" OAK
3763	5"OAK	3894	17" OAK
3764 3765	11" OAK	3895 3896	23" OAK
3766	7" OAK 6" OAK	3897	17" OAK 16" OAK
3767	4"/8" OAK	3898	20" OAK
3769 3771	6" OAK	3899	10" OAK
3771 3773	8"/8" OAK 10" OAK	3900 3901	14" OAK 15" OAK
3774	8" OAK	3902	15" OAK
3775 3776	9"OAK	3903 3005	18" OAK
3776 3777	8" OAK 13" OAK	3905 3906	<u>5" OAK</u> 7" OAK
3778	6"OAK	3907	7" OAK
3779	16" OAK	3908	19" OAK
3780 3781	11" OAK 16" OAK	3909 3910	<u>16" OAK</u> 12" OAK
3781 3782	9" OAK	3911	20" OAK
3783	18" OAK	3912	16" OAK
3785 3787	28" OAK 32" OAK	3913 3914	20" OAK 22" OAK
3789	32 OAK 46" OAK	3915	22 OAK 21" OAK
3790	22" OAK	3916	6"OAK
3792 3794	14"/24" OAK	3917 3918	4" OAK
3794 3796	24"/24"/36" OAK 24" OAK	3918 3919	<u>5" OAK</u> 5" OAK
3797	18"/22" OAK	3920	13" OAK
3799	26" OAK	3921	8" OAK

3923	7" OAK	4067	13" OAK
3924	9" OAK	4068	13" PALM
3925	7" OAK	4069	13" PALM
3926	5"/6" OAK	4070	26" OAK
3927 3928	<u>5" OAK</u> 5" OAK	4072 4073	7" OAK 14" OAK
3929	5" OAK 9" OAK	4073	14" OAK 13" OAK
3930	5" OAK	4075	23" OAK
3931	8" OAK	4076	6" OAK
3932	9"OAK	4077	14" OAK
3933	5" OAK	4078	10" OAK
3934	4" OAK	4079	4" OAK
3935 3936	4"/4" OAK 6" OAK	4080 4081	<u>4" OAK</u> 5" OAK
3937	<u>6" OAK</u> 6" OAK	4082	<u>5" OAK</u> 7" OAK
3938	6" OAK	4083	5" OAK
3939	6" OAK	4085	14" OAK
3940	6" OAK	4086	14" OAK
3941	4" OAK	4087	32" OAK
3942	5" OAK	4088	4" OAK
3943	9" OAK	4089	13" OAK
3944 3945	5" OAK 8" OAK	4090 4092	4" OAK 5" OAK
3946	<u>8" OAK</u> 4"/5" OAK	4093	20" OAK
3947	9" OAK	4094	14"/16" OAK
3948	8" OAK	4096	11"/12" OAK
3950	8" OAK	4097	14" OAK
3951	7"OAK	4098	7"/7" OAK
3952	8" OAK	4099	7"/7" OAK
3953	9" OAK	4100	21" OAK
3954	8" OAK	4101	11" OAK
3955 3956	5" OAK 5" OAK	4102 4104	7" OAK 27" OAK
3956	<u>5" OAK</u> 5" OAK	4104	27″ OAK 24″ OAK
3958		4105	5" OAK
3959	6"/7" OAK	4108	10" ELM
3960	4"/4" OAK	4109	4" OAK
3962	4" OAK	4110	5"OAK
3963	8" OAK	4111	20" OAK
3964	4" OAK	4112	14" OAK
3965 3966	12" OAK 7" OAK	4113 4115	22" OAK
3966	7" OAK 8" OAK	4116	7" ELM 15" OAK
3968	40" OAK	4118	19" OAK
3970	4"OAK	4119	18" OAK
3971	6"OAK	4121	11" OAK
3972	7" OAK	4122	6" OAK
3973 3974	11" OAK	4123 4124	5" OAK
3974 3976	<u>10" PALM</u> 12" OAK	4124	10" PALM 24" OAK
3982	17" OAK	4127	20" OAK
3984	18" OAK	4128	23" OAK
3985	14" OAK	4129	10"/13" OAK
3989	18" OAK	4130	13"/16" OAK
3991	12" PALM	4131	21" OAK
3996 3998	28" OAK 28" OAK	4132 4133	24" OAK 21" OAK
4000	20" OAK	4134	8"/8"/8"/9" OA
4002	24" OAK	4135	23" OAK
4003	24" OAK	4136	13"/17" OAK
4004	26" OAK	4137	14"/14" OAK
4010	29" OAK	4138	18" OAK
4012	36" OAK	4139	17" OAK
4013	38" OAK	4140	12" OAK
4015	28" OAK	4141	14" OAK
4017 4018	34" OAK 19" OAK	4142 4143	24" OAK 23" OAK
4016	19 OAK 26" OAK	4143	23 OAK 14" OAK
4029	7" OAK	4145	13" OAK
4030	4" OAK	4146	26" OAK
4031	4"/5"/5" OAK	4147	15" OAK
4032	4" OAK	4148	17" OAK
4033	6" OAK	4149	18" OAK
4034 4035	22" OAK	4150 4151	22" OAK
4035	6" OAK 7" OAK	4151	18" OAK 21" OAK
4037	6" OAK	4153	11" OAK
4039	21" OAK	4154	22" OAK
4040	19" OAK	4155	22" OAK
4042	7" OAK	4156	7" OAK
4043	4"/7" OAK	4157	7" OAK
4044	20" OAK	4158	7"/26" OAK
4046	14" OAK	4159	21" OAK
4047	21" OAK	4160	7"/8" OAK
4048 4049	11" OAK	4161 4162	7" OAK 4" OAK
4049	18" OAK 27" OAK	4162	4 OAK 5" OAK
4051	27_OAK 14"OAK	4163	5 OAK 24" OAK
4053	15" OAK	4165	11" OAK
4054	12" OAK	4166	24" OAK
4056	10" OAK	4167	24 OAK 22" OAK
4057	20" OAK	4168	15" OAK
4058	7" OAK	4169	18" OAK
4059	5" OAK	4170	24" OAK
4060	14" OAK	4171	22" OAK
4061	10" OAK	4172	19" OAK
1064	9" OAK	4173	25" OAK
1064	4" OAK	4174 4175	18" OAK 17" OAK
4065	10" OAK	. +1/.)	1 / /

4178	13" OAK	4305	7" OAK
4179 4180	6" OAK 9" OAK	4306 4307	4" OAK 8" OAK
4181	9" OAK 5" OAK	4308	8" OAK 7" OAK
4182	4"OAK	4309	13" OAK
4183 4184	7"/8" OAK 8" OAK	4310 4311	4" OAK 4" OAK
4185	4" OAK	4312	19" OAK
4187	11" OAK	4313	4" OAK
4188 4199	28" OAK 16" OAK	4314 4315	5" OAK 6" OAK
4200	12" PALM	4316	4"/9" OAK
4201	16" OAK	4317	4" OAK
4202 4203	12" OAK 13" OAK	4318 4319	16" OAK 21" OAK
4204	13" OAK	4320	9" OAK
4205	10" OAK	4321	15" OAK
4206 4207	11" OAK 17" OAK	4322 4323	7" OAK 7" OAK
4208	17" OAK 16" OAK	4324	5" OAK
4209	10" OAK	4325	4" OAK
4210 4211	13" OAK 8" OAK	4326 4327	7" OAK 18" OAK
4212	4"/5" OAK	4328	28" OAK
4213	13" OAK	4329	9"CEDAR
4214	7" OAK	4330	7" OAK
4215 4216	7" OAK 13" PALM	4349 4350	14" PINE 18" OAK
4217	16" OAK	4351	18" OAK
4218	12" PALM	4352	18" OAK
4219 4220	14" PALM 17" OAK	4353 4354	13"/17" OAK 15" PINE
4221	11" OAK	4355	18" OAK
4222	8" OAK	4356	14" OAK
4223 4224	15" OAK 13" OAK	4357 4358	10"/11" OAK 21" OAK
4225	14" OAK	4359	13"/21" OAK
4226	27" OAK	4360	17" OAK
4227 4228	12" PALM 21" OAK	4361 4362	19"/27" OAK
4229	21" OAK 13" OAK	4363	18" OAK 12" OAK
4230	13" OAK	4364	22" OAK
4231 4232	16" OAK	4365	14" OAK
4232 4233	16" OAK 15" PALM	4366 4367	8"/14" OAK 17" OAK
4234	37" OAK	4368	18" OAK
4240	33" OAK	4369	19" PINE
4245 4246	27" OAK 27" OAK	4370 4371	16" OAK 11" PINE
4247	27" OAK	4372	8"/19" OAK
4248	30" OAK	4373	12" OAK
4249 4250	36" OAK 34" OAK	4374 4375	17" OAK 13" OAK
4252	22" PINE	4376	26" OAK
4253 4254	26" OAK	4377 4378	19" OAK 14" OAK
4256	20" OAK 14" OAK	4378	20" OAK
4257	18"/21" OAK	4380	15"/18" OAK
4258 4259	17" OAK 19" OAK	4381 4382	17" OAK 13" OAK
4260	10" PINE	4383	5"/13" OAK
4262	17"/22" OAK	4384	14" OAK
4263 4265	26" OAK 24" OAK	4385 4386	15" OAK 12" OAK
4267	12" OAK	4387	12" OAK 5" OAK
4268	14" OAK	4388	11" OAK
4270 4271	4" OAK 11"/16" OAK	4389 4390	11" PALM 4" OAK
4272	10" OAK	4391	4" OAK 4" OAK
4273	9"OAK	4392	4" OAK
4274 4275	6" OAK 8" OAK	4393 4394	7" OAK 10" PALM
4275 4276	8 OAK 19" OAK	4395	13" OAK
4277	13" PALM	4396	7" OAK
4278 4279	4" OAK 6" OAK	4397 4398	15" OAK
4280	18" OAK	4399	4" OAK 5" OAK
4281	6" OAK	4400	22" OAK
4282 4283	12" PALM 13" PALM	4401 4402	8" OAK 5" OAK
4284	4" OAK	4403	5" OAK 9" OAK
4285	13" PALM	4404	13" OAK
4286 4287	24" OAK	4405 4406	22" OAK
4288	7" OAK 6" OAK	4406	7" OAK 18" OAK
4289	8"/15" OAK	4408	5" OAK
4290 4291	8" OAK	4409	7" OAK
4291 4292	8" OAK 19" OAK	4410	5" OAK 4" OAK
4293	14" OAK	4412	6" OAK
4294 4205	8" OAK	4413	4" OAK
4295 4296	8" OAK 6" OAK	4414 4415	5" OAK 6" OAK
4298	4"OAK	4416	7" OAK
4299	5"/8" OAK	4417	7" OAK
4300 4301	9" OAK 8"/11" OAK	4418 4419	4" OAK 17" OAK
4302	11" OAK	4420	6" OAK
4303	12" OAK	4421	18" PINE
4304	12" OAK	4422	5" OAK

4423	5" OAK	4542	1
4424	4" OAK	4543	1
4425 4426	19" PINE 5" OAK	4544 4545	1
4427	7" OAK	4546	1
4428	4" OAK	4547	1
4429	9"OAK	4548	1
4430	10" OAK	4552	2
4431 4432	12" OAK 5" OAK	4553 4554	2
4433	4" OAK	4555	
4434	19" OAK	4556	S
4435	20" OAK	4557	
4436	5" OAK	4558	1.
4437 4438	22" OAK 10" OAK	4559 4560	2
4439	6" OAK	4561	
4440	11" OAK	4562	
4441	4" OAK	4563	6
4442 4443	4" OAK	4564 4566	- 6
4444	21" PINE 7" OAK	4568	1: 7
4445	16" OAK	4569	
4446	7" OAK	4570	7
4447	13" OAK	4571	8
4448	4" OAK 5" OAK	4572	
4449 4450	<u>5" OAK</u> 9" OAK	4573 4574	
4451	4" OAK	4575	1:
4452	16" PINE	4576	9
4453	16" OAK	4577	9
4454 4455	5" OAK	4578 4579	10
4455	15"/15" OAK 7" OAK	4579	<u>14</u> 1
4470	10"/17" OAK	4581	8
4471	14" OAK	4582	1:
4472 4473	13" OAK	4583 4584	1:
4473 4474	8" OAK 11" OAK	4584	<u> </u>
4475	13" OAK	4586	1.
4476	16" OAK	4587	1
4477	14" OAK	4588	1.
4478 4479	14" OAK 11" OAK	4589 4590	9
4480	11" OAK 11" OAK	4591	1
4481	14" OAK	4592	5
4482	15" OAK	4593	1
4483 4484	16" OAK 16" OAK	4594	5
4485	16" OAK 18" OAK	4607 4608	17
4486	15" OAK	4609	8
4487	15" OAK	4610	6
4488	14" OAK	4611	9
4489 4490	14" OAK 6"/6" OAK	4612 4613	1: 1:
4491	7" OAK	4614	1:
4495	20" OAK	4615	8
4496	10" OAK	4619	8
4497	14" OAK	4620	3
4498 4499	17" OAK 9" OAK	4621 4622	<u>5</u> 1
4500	14" OAK	4623	11"/
4501	17" OAK	4624	9"
4502	18" PINE	4625	7
4503 4504	20" PINE 13" OAK	4626 4642	<u>1</u> .
4505	16" OAK	4643	11
4506	11" OAK	4644	1
4507	14" OAK	4645	1.
4508 4509	12" OAK	4646	5
4509 4510	13" OAK 13" OAK	4647 4648	9
4511	13" OAK	4649	
4512	10"/14" OAK	4650	8
4513	17" OAK	4651	6
4514 4515	12" OAK 16" OAK	4652 4653	- 6
4516	16 OAK 18" OAK	4654	<u>6</u>
4517	5"OAK	4655	6
4518	5"OAK	4656	7
4519 4520	7"/9" OAK	4657	7
4520 4521	16" OAK 10" OAK	4658 4659	1
4522	7" OAK	4660	
4523	12" OAK	4661	6
4524	12" OAK	4662	1
4525 4526	9"/13" OAK 12" OAK	4663 4664	6
4526 4527	12" OAK 10"/14" OAK	4665	<u>1</u> გ
4528	11" OAK	4666	1.
4529	17" PINE	4667	8
4530	34" OAK	4668	10
4531 4532	21" OAK	4669	17
4532 4533	<u>11" OAK</u> 15" OAK	4670 4671	17 18
4534	15" OAK	4672	2
4535	8" OAK	4673	8
4536	18" PINE	4674	1
4540	11" OAK	4675	1.
4541	12" OAK	4676	2

542	16" OAK	4677	12" OAK	4795
543	15" OAK	4690	8" OAK	4796
544	16" OAK	4691	16" OAK	4797
545 546	9" OAK 16" OAK	4692 4693	13" OAK 5" OAK	4798 4799
547	18" OAK	4694	7" OAK	4800
548	10" OAK	4695	33" OAK	4801
552 553	22" OAK 4" OAK	4696 4697	4" OAK 17" PINE	4802 4803
554	22" OAK	4698	6" OAK	4804
555	5" OAK	4703	14" OAK	4805
556 557	9" OAK 7" OAK	4704 4705	5" OAK 17" PALM	4806 4807
558	12" OAK	4706	15" OAK	4808
559	21" OAK	4707	9"OAK	4809
560 561	6" OAK 6" OAK	4708 4709	5" OAK 4" OAK	4810 4811
562	4" OAK	4710	16" PINE	4812
563	6" OAK	4711	24" OAK	4814
564 566	6" OAK 12" OAK	4712 4713	16" OAK 6" OAK	4815 4816
568	7" OAK	4714	7" OAK	4817
569	7" OAK	4715	4" OAK	4818
570 571	7" OAK 8" OAK	4716 4717	8" OAK 5" OAK	4819 4820
572	4" OAK	4718	20" OAK	4821
573	4" OAK	4719	6"OAK	4822
574 575	8" OAK 15" OAK	4720 4721	9" OAK 12" OAK	4823 4824
576	9" OAK	4722	13" OAK	4825
577	9" OAK	4723	19" OAK	4826
578 579	10" PINE 14" PINE	4724 4725	17" PINE 4" OAK	4827 4829
580	11" OAK	4726	4" OAK 7" OAK	4830
581	8" OAK	4727	7" OAK	4831
582 583	15" OAK 15" OAK	4728 4729	11" OAK 11" OAK	4832 4833
584	15" OAK	4730	18" OAK	4834
585	13" OAK	4731	10" OAK	4835
586 587	14" OAK 16" OAK	4732 4733	4" OAK 4" OAK	4836 4837
588	13" OAK	4734	10"/14" OAK	4838
589	9" OAK	4735	16" OAK	4839
590 591	9" OAK 11" OAK	4736 4737	7"/13" OAK 6" OAK	4840 4841
592	5" OAK	4738	20" OAK	4842
593	15" OAK	4739	16" OAK	4843
594 607	5" OAK 17" PINE	4740 4741	28" OAK	4844 4845
508	17" PINE 4" OAK	4742	7" OAK 8" OAK	4846
509	8" OAK	4743	13" OAK	4847
610	6" OAK	4744 4746	5" OAK	4848 4849
611 512	9" OAK 15" OAK	4748	12" PALM 6" OAK	4849
613	12" OAK	4749	4"OAK	4851
614 615	15" OAK	4750 4751	22" OAK	4853 4854
619	8" OAK 8" OAK	4751	21" OAK 11" PALM	4855
520	8" OAK	4753	8"OAK	4856
621 522	5" OAK	4754	7" OAK	4857
523	11" OAK 11"/17" OAK	4755 4756	8" OAK 12" OAK	4858 4859
524	9"CEDAR	4757	8" OAK	4860
525	7" OAK	4758	11" OAK	4861
526 542	14" OAK 9" OAK	4759 4760	5" OAK 6" OAK	4862 4863
543	10" OAK	4761	8" OAK	4864
644 645	10" OAK	4762	9"OAK	4865
545 546	12" OAK 5" OAK	4763 4764	8"/9" OAK 6" OAK	4866 4867
647	7" OAK	4765	11" OAK	4868
648 649	9" OAK	4766	6" OAK	4869
549 550	7" OAK 8" OAK	4767 4768	14" OAK 5" OAK	4870 4871
651	6" OAK	4769	6"OAK	4872
552	6" OAK	4770	8" OAK	4873
353 354	6" OAK 8" OAK	4771 4772	5" OAK 4" OAK	4874 4875
355	6" OAK	4773	5" OAK	4876
656 657	7" OAK	4774	5"OAK	4881
658	7" OAK 11" OAK	4775 4776	5" OAK 7" OAK	4882 4883
359	5" OAK	4777	10" OAK	4884
660	4" OAK	4778	4"OAK	4887
661 662	6" OAK 11" OAK	4779 4780	15" OAK 5" OAK	4888 4904
663	6" OAK	4781	5"OAK	4905
664	11" OAK	4782	4"OAK	4906
665 666	8" OAK 13" OAK	4783 4784	5" OAK 10" OAK	4907 4908
667	8" OAK	4785	4" OAK	4908
668	16" OAK	4786	4" OAK	4910
669 670	11" OAK 17" PINE	4787 4788	12" OAK	4911 4912
671	17" PINE 18" PINE	4789	18" OAK 7" OAK	4912
572	23" OAK	4790	6" OAK	4914
	8" OAK	4791	7" OAK	4915
				4916 4917
	22" OAK	4794	4" OAK	4918
672 673 674 675 676	8" OAK 17" OAK 14" OAK	4791 4792 4793	7" OAK 10" OAK 5" OAK	

795	12" OAK	4919	8" OAK
796	14" OAK	4920	14" OAK
797	5" OAK	4921	20" OAK
798	6" OAK	4922	21" PINE
799	6" OAK	4923	11" OAK
800 801	6" OAK 8" OAK	4924	15" OAK
802	<u>8" OAK</u> 8" OAK	4925 4926	<u>16" PINE</u> 18" OAK
803	8 OAK 5" OAK	4927	18 OAK 13" OAK
804	7" OAK	4928	10" OAK
805	9"/9" OAK	4929	14" OAK
306	9" OAK	4930	7"OAK
307	7" OAK	4931	5" OAK
308	5" OAK	4932	14" PINE
309	9" OAK	4934	14" OAK
810 811	9" OAK 7" OAK	4935	9" OAK
812		4936 4937	10" OAK 14" OAK
814	9" OAK 4" OAK	4938	10" OAK
315	4" OAK	4939	9" OAK
316	5" OAK	4940	8" OAK
317	6"OAK	4941	7" OAK
318	4" OAK	4942	17" PINE
319	6" OAK	4953	16" PINE
320	8" OAK	4954	6" OAK
821	5" OAK	4955	14" OAK
322 323	<u>5" OAK</u> 7" OAK	4956 4957	23" OAK 9" PINE
324	9" OAK	4958	9 PINE
325	8" OAK	4959	20" PINE
326	13" PALM	4960	7" OAK
327	16" OAK	4961	6"OAK
329	7" OAK	4962	6" OAK
330	10" OAK	4990	10" OAK
831	12" OAK	4991	16" PINE
332 333	9" PINE 9" OAK	4992 4993	7" OAK 6" OAK
334	9 OAK 8" OAK	4993	6" OAK
335	18" OAK	4995	18" OAK
336	4"OAK	4996	9"OAK
337	8" OAK	4997	5"OAK
338	9"OAK	4998	8" OAK
339	15" OAK	4999	7" OAK
340 841	13" OAK	5000	7" OAK
841 842	<u>4" OAK</u> 16" OAK	5001 5002	12" OAK 12" OAK
343	8" OAK	5002	12 OAK 13" OAK
344	12" OAK	5004	24" OAK
345	16" OAK	5005	16" OAK
346	7"/11" OAK	5006	18" OAK
347	8"/9" OAK	5007	12" OAK
348	23" OAK	5008	12" OAK
349 350	12" OAK 15" OAK	5009 5010	17" OAK 14" PINE
851	15 OAK 11" OAK	5010	4" OAK
353	7" HICKORY	5012	7" OAK
354	6" HICKORY	5013	7" OAK
355	11" HICKORY	5014	4" OAK
356	10" HICKORY	5015	4" OAK
357	9" HICKORY	5016	6" OAK
358 359	4" HICKORY	5017 5018	7" OAK
359 360	19" PINE 6"/11" OAK	5018 5019	6" OAK 4" OAK
361	6 / 11 OAK 7" OAK	5020	4 OAK 5" OAK
362	6" OAK	5021	4" OAK
363	7" OAK	5022	4" OAK
364	12" OAK	5023	5" OAK
365	12" OAK	5024	4" OAK
366	19" PINE	5025	4" OAK
367 368	9" OAK 6" OAK	5026 5027	9" PINE 7" OAK
369	<u>6" OAK</u> 9" OAK	5028	<u>7" OAK</u> 8" OAK
370	12" OAK	5029	7" OAK
371	14" OAK	5030	16" OAK
372	10" OAK	5031	7" OAK
373	14" OAK	5032	6" OAK
374	6" OAK	5033	4" OAK
375 376	7" OAK 8" OAK	5034 5035	<u>5" OAK</u> 5" OAK
_	8 OAK 7" OAK	5036	5 OAK 5" OAK
י ומפ	, 0/11	5037	5" OAK
	4" HICKORY		(11)
382 383	6" OAK	5038	6"OAK
382 383 384	6" OAK 16" PINE	5038 5039	6" OAK 6" OAK
382 383 384 387	6" OAK 16" PINE 5" OAK	5038 5039 5040	6" OAK 6" OAK 6" OAK
382 383 384 387 388	6" OAK 16" PINE 5" OAK 7" OAK	5038 5039 5040 5041	6" OAK 6" OAK 6" OAK 4" OAK
382 383 384 387 388 904	6" OAK 16" PINE 5" OAK 7" OAK 19" PINE	5038 5039 5040 5041 5042	6" OAK 6" OAK 6" OAK 4" OAK 15" OAK
382 383 384 387 388 904	6" OAK 16" PINE 5" OAK 7" OAK 19" PINE 17" PINE	5038 5039 5040 5041 5042 5043	6" OAK 6" OAK 6" OAK 4" OAK 15" OAK
382 383 384 387 388 904 905	6" OAK 16" PINE 5" OAK 7" OAK 19" PINE 17" PINE 15" PINE	5038 5039 5040 5041 5042 5043 5044	6" OAK 6" OAK 6" OAK 4" OAK 15" OAK 6" OAK 8" OAK
382 383 384 387 388 904 905 906 907	6" OAK 16" PINE 5" OAK 7" OAK 19" PINE 17" PINE 15" PINE 6" OAK	5038 5039 5040 5041 5042 5043 5044 5045	6" OAK 6" OAK 6" OAK 4" OAK 15" OAK 6" OAK 8" OAK
382 383 384 387 388 904 905 906 907	6" OAK 16" PINE 5" OAK 7" OAK 19" PINE 17" PINE 15" PINE 6" OAK 5" OAK	5038 5039 5040 5041 5042 5043 5044	6" OAK 6" OAK 6" OAK 4" OAK 15" OAK 6" OAK 8" OAK 5" OAK
382 383 384 387 388 904 905 906 907 908	6" OAK 16" PINE 5" OAK 7" OAK 19" PINE 17" PINE 15" PINE 6" OAK	5038 5039 5040 5041 5042 5043 5044 5045 5046	6" OAK 6" OAK 4" OAK 15" OAK 6" OAK 6" OAK 5" OAK 4" OAK 4" OAK 4" OAK
881 382 383 384 387 388 904 905 906 907 908 909 910 911	6" OAK 16" PINE 5" OAK 7" OAK 19" PINE 17" PINE 15" PINE 6" OAK 5" OAK	5038 5039 5040 5041 5042 5043 5044 5045 5046	6" OAK 6" OAK 6" OAK 4" OAK 15" OAK 6" OAK 8" OAK 5" OAK
382 383 384 387 388 904 905 906 907 908 909 910 911	6" OAK 16" PINE 5" OAK 7" OAK 19" PINE 17" PINE 15" PINE 6" OAK 5" OAK 13" OAK 12" PINE 13" PINE	5038 5039 5040 5041 5042 5043 5044 5045 5046 5047 5048 5049	6" OAK 6" OAK 6" OAK 4" OAK 15" OAK 6" OAK 8" OAK 5" OAK 4" OAK 11" OAK 7" OAK
3882 3883 3884 3887 3888 904 905 906 907 908 909 910 911 912	6" OAK 16" PINE 5" OAK 7" OAK 19" PINE 17" PINE 15" PINE 6" OAK 5" OAK 13" OAK 12" PINE 13" PINE 15" OAK 7" OAK	5038 5039 5040 5041 5042 5043 5044 5045 5046 5047 5048 5049 5050 5051	6" OAK 6" OAK 6" OAK 4" OAK 15" OAK 6" OAK 8" OAK 5" OAK 4" OAK 4" OAK 11" OAK 7" OAK 6" OAK
3882 3883 3884 3887 3888 904 905 906 907 908 909 910 911 912 913	6" OAK 16" PINE 5" OAK 7" OAK 19" PINE 17" PINE 15" PINE 6" OAK 5" OAK 13" OAK 12" PINE 13" PINE 15" OAK 7" OAK 21" PINE	5038 5039 5040 5041 5042 5043 5044 5045 5046 5047 5048 5049 5050 5051	6" OAK 6" OAK 4" OAK 15" OAK 6" OAK 8" OAK 5" OAK 4" OAK 4" OAK 4" OAK 4" OAK 6" OAK 6" OAK 6" OAK
382 383 384 387 388 904 905 906 907 908 909 911 912 913 914	6" OAK 16" PINE 5" OAK 7" OAK 19" PINE 17" PINE 15" PINE 6" OAK 5" OAK 13" OAK 12" PINE 13" PINE 15" OAK 7" OAK 21" PINE	5038 5039 5040 5041 5042 5043 5044 5045 5046 5047 5048 5049 5050 5051 5052 5053	6" OAK 6" OAK 6" OAK 4" OAK 15" OAK 6" OAK 8" OAK 5" OAK 4" OAK 4" OAK 6" OAK 6" OAK 6" OAK 6" OAK 6" OAK
382 383 384 387 388 904 905 906 907 908 909 910 911 912 913	6" OAK 16" PINE 5" OAK 7" OAK 19" PINE 17" PINE 15" PINE 6" OAK 5" OAK 13" OAK 12" PINE 13" PINE 15" OAK 7" OAK 21" PINE	5038 5039 5040 5041 5042 5043 5044 5045 5046 5047 5048 5049 5050 5051	6" OAK 6" OAK 4" OAK 15" OAK 6" OAK 8" OAK 5" OAK 4" OAK 4" OAK 4" OAK 4" OAK 6" OAK 6" OAK 6" OAK

SUR' GEO www 16 WINTER	Foun VEYI SPAT .aller EAST GARD	FLANT EN, FLO	NY 1988 MAPPI ERVIC pany.c	ES om
SRAPHIC & TREE SURVEY	OF	FRUITLAND PARK	9, TOWNSHIP 23 SOUTH, RANGE 27 EAST	ORANGE COUNTY, FLORIDA

14" OAK
8" OAK
15" OAK
7" OAK
12" OAK
10" OAK
8" OAK
13" OAK
11" OAK
14" OAK
15" OAK
15" OAK
15" OAK
11" OAK
11" OAK
13" OAK
14" OAK

4" OAK 19" PINE 5" OAK

15" PINE

13" PINE 19" PINE

5087 12" PALM
5088 17" OAK
5089 14" PINE
5090 19" OAK
5091 16" PINE
5092 4"/8" OAK
5093 17" PINE

 5093
 17" PINE

 5095
 20" OAK

 5096
 15" OAK

 5097
 23" PINE

 5098
 8" OAK

 5099
 9" OAK

 5100
 13"/17"/17" OAK

 5101
 11" OAK

 5102
 16" OAK

 5103
 15" OAK

 5127
 12" OAK

 5128
 13" PINE

 5129
 14" OAK

 5130
 14" PINE

 5131
 7"/8" OAK

 5132
 12" PINE

12" PINE 6" OAK

7" OAK 12" OAK 11" OAK

 5137
 12" OAK

 5138
 15" OAK

 5139
 10" PALM

 5140
 15" OAK

 5141
 6" OAK

 5142
 9" OAK

 5143
 17" OAK

 5144
 13" OAK

 5145
 13" OAK

 5146
 15" OAK

 5147
 14" OAK

 5148
 12" PINE

 5149
 7" OAK

 5150
 8" OAK

 5151
 4" OAK

 5152
 11" OAK

 5153
 9" OAK

 5154
 13" OAK

 5155
 9" OAK

 5156
 6" OAK

 5157
 12" OAK

 5158
 6" OAK

 5159
 6" OAK

 5160
 10" OAK

 5161
 9" OAK

 5162
 11" OAK

 5163
 8" OAK

 5164
 22" OAK

 5165
 8" OAK

 5166
 14" OAK

 5167
 4" OAK

5084

29,

FOR:

							REVISIONS

JOB #	20210417
DATE:	9/13/21
SCALE:	1" = 60'
CALC BY:	DY
FIELD BY:	KH
DRAWN BY:	CDK
CHECKED BY: _	DY

SHEET 14 OF 16

97	12" OAK	5318	6" OAK	5418	6" OAK
98	12 OAK 19" OAK	5319	10" OAK	5419	
99	13" OAK	5320	6"OAK	5420	4"OAK
00	20" OAK	5321	12" OAK	5421	6"OAK
01	7" PINE	5322	4" OAK	5422	18" OAK
02	20" OAK	5323	5" OAK	5423	14" OAK
03	13" OAK	5324	9" OAK	5424	9" OAK
04	17" OAK	5325	12" OAK	5425	19" OAK
05	12"/14" OAK	5326	6"OAK	5426	14" OAK
06	14" OAK	5327	5" OAK	5427	16" OAK
07	16" OAK	5328	4" OAK	5428	8" OAK
08	16" OAK	5329	8" OAK	5429	4"OAK
19	11" OAK	5330	4"OAK	5430	7" OAK
20	16" PINE	5331	7" OAK	5431	10" OAK
			, 0, 111		
21	21" OAK	5332	5" OAK	5432	10" OAK
22	15" OAK	5333	4"OAK	5433	8"OAK
23	4"/10" OAK	5334	9" OAK	5434	9"OAK
24	10" OAK	5335	6" OAK	5435	8" OAK
25		5336		5436	
	18" OAK		12" OAK		8" OAK
26	19" OAK	5337	14" OAK	5437	7"OAK
27	16" OAK	5338	5"OAK	5438	7" OAK
28	8" OAK	5339	20" OAK	5439	8" OAK
29	13" OAK	5340	8" OAK	5440	8" OAK
30	13" OAK	5341	4" OAK	5441	10" OAK
31	40" OAK	5342	9"OAK	5442	9"OAK
33	20" PINE	5343	16" OAK	5443	8" OAK
34	10" OAK	5344	4" OAK	5444	
35	9" OAK	5345	10" OAK	5445	4" OAK
36	7"OAK	5346	7" OAK	5446	7" OAK
37	9" OAK	5347	8" OAK	5447	7" OAK
88		5348	22" OAK	5448	7" OAK
39	4" OAK	5349	22" OAK	5449	16" OAK
10	5"OAK	5350	9"OAK	5450	7"OAK
41	5" OAK	5351	15" OAK	5451	7" OAK
12	16" OAK	5352	14" OAK	5455	17" OAK
13		5353		5456	
	5" OAK		19" OAK		25" OAK
-4	14" PINE	5354	16" OAK	5457	17" OAK
ŀ5	9"OAK	5355	22" OAK	5458	17" OAK
16	7" OAK	5356	16" OAK	5459	13" OAK
17		5357	19" OAK	5460	13" OAK
				+ +	
l-8	17" PINE	5358	16" OAK	5461	40" OAK
ŀ9	6"OAK	5359	8" OAK	5462	22" OAK
51	17" OAK	5360	6" OAK	5463	13"/16" OAK
2		5361	11" OAK	5464	7" OAK
53	13" OAK	5362	18" OAK	5465	8" OAK
54	13" OAK	5363	11" PALM	5466	19" OAK
55	5" OAK	5364	9" PALM	5467	16" OAK
56	18" OAK	5365	15" OAK	5468	8" OAK
57		5366			
	15" PINE		14" OAK	5469	18" OAK
8	14" OAK	5367	19" OAK	5470	5"OAK
59	5" OAK	5368	13" OAK	5471	4" OAK
50	4"/18" OAK	5369	9" OAK	5472	7" OAK
3		5370		5473	
	18" OAK		29" OAK		
4	14" OAK	5371	13" OAK	5474	4"OAK
2	4"OAK	5372	15" OAK	5475	4" OAK
'3	10" OAK	5373	14" OAK	5476	31" OAK
4	8" OAK	5374	4" OAK	5477	5" OAK
·5					
	6"/6" OAK	5375	13" OAK	5478	5" OAK
6	5"OAK	5376	15" OAK	5479	28" OAK
7	5"OAK	5377	8" OAK	5480	7" OAK
8	12" OAK	5378	5" OAK	5481	7" OAK
9	5" OAK	5379	14" OAK	5482	
				-	
80	11" OAK	5380	5" OAK	5483	6" OAK
31	6"OAK	5381	4"OAK	5484	8" OAK
2	7"OAK	5382	14" OAK	5485	5"OAK
3	4" OAK	5383	16" OAK	5486	14" OAK
34	14" OAK	5384	16" OAK	5487	4" OAK
5		5385		5488	
-			16" OAK		
86	17" OAK	5386	16" OAK	5489	4" OAK
7	5"OAK	5387	9"/15" OAK	5490	15" OAK
8	12" OAK	5388	15" OAK	5491	4" OAK
9	11" OAK	5389	12" OAK	5492	10" OAK
0	4" OAK	5390	12" OAK	5493	12" OAK
91	8" OAK	5391	7" OAK	5494	7" OAK
2	7"OAK	5392	8" OAK	5495	6"OAK
3	9"OAK	5393	18" OAK	5496	16" OAK
4	5" OAK	5394	7" OAK	5497	16" OAK
5	5" OAK	5395	8" OAK	5498	13" OAK
6	12" OAK	5396	8" OAK	5499	16" OAK
7	ı∠ UAK	2230	o UAK	+	TO UAK
		E 707		I LLMM .	E" 0 ***
	12" OAK	5397 5398	5"OAK	5500	5" OAK
8	12" OAK 14" OAK	5398	5" OAK 16" OAK	5501	6"OAK
8 9	12" OAK 14" OAK 6" OAK	5398 5399	5" OAK 16" OAK 16" OAK	5501 5502	6" OAK 11" OAK
8 9	12" OAK 14" OAK	5398	5" OAK 16" OAK	5501	6"OAK
8 9 0	12" OAK 14" OAK 6" OAK 8" OAK	5398 5399 5400	5" OAK 16" OAK 16" OAK 7" OAK	5501 5502 5503	6" OAK 11" OAK 5" OAK
8 9 0	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK	5398 5399 5400 5401	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK	5501 5502 5503 5504	6" OAK 11" OAK 5" OAK 4" OAK
8 9 0 1 2	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK	5398 5399 5400 5401 5402	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK	5501 5502 5503 5504 5505	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK
8 9 0 1 2 3	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK 4" OAK	5398 5399 5400 5401 5402 5403	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK 22" OAK	5501 5502 5503 5504 5505 5506	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK 20" OAK
8 9 0 1 2 3 4	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK	5398 5399 5400 5401 5402 5403 5404	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK 22" OAK 7" OAK	5501 5502 5503 5504 5505 5506 5507	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK 20" OAK
8 9 0 0 1 2 3 4	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK 4" OAK 9" OAK	5398 5399 5400 5401 5402 5403	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK 22" OAK 7" OAK	5501 5502 5503 5504 5505 5506	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK 20" OAK
8 19 10 10 11 12 13 14	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK 4" OAK 9" OAK	5398 5399 5400 5401 5402 5403 5404 5405	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK 22" OAK 7" OAK 21" OAK	5501 5502 5503 5504 5505 5506 5507 5508	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK 20" OAK 16" OAK
8 9 0 0 0 1 1 1 2 1 3 3 1 4 4 1 5 5 6 6	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK 4" OAK 9" OAK 13" OAK	5398 5399 5400 5401 5402 5403 5404 5405 5406	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK 22" OAK 7" OAK 21" OAK 6" OAK	5501 5502 5503 5504 5505 5506 5507 5508 5509	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK 20" OAK 16" OAK 11" OAK 9" OAK
18 19 10 10 10 10 10 10 10 10 10 10 10 10 10	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK 4" OAK 9" OAK 13" OAK 6" OAK	5398 5399 5400 5401 5402 5403 5404 5405 5406 5407	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK 22" OAK 7" OAK 21" OAK 6" OAK	5501 5502 5503 5504 5505 5506 5507 5508 5509	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK 20" OAK 16" OAK 11" OAK 9" OAK
99 90 91 92 93 94 95 96 97	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK 4" OAK 9" OAK 13" OAK 6" OAK	5398 5399 5400 5401 5402 5403 5404 5405 5406 5407 5408	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK 22" OAK 7" OAK 21" OAK 6" OAK 4" OAK	5501 5502 5503 5504 5505 5506 5507 5508 5509	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK 20" OAK 16" OAK 11" OAK 9" OAK 13" OAK
8 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9 9	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK 4" OAK 9" OAK 13" OAK 6" OAK	5398 5399 5400 5401 5402 5403 5404 5405 5406 5407	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK 22" OAK 7" OAK 21" OAK 6" OAK 4" OAK	5501 5502 5503 5504 5505 5506 5507 5508 5509	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK 20" OAK 16" OAK 11" OAK 9" OAK
8 9 0 0 12 13 14 15 16 17 18	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK 4" OAK 9" OAK 22" OAK 13" OAK 6" OAK 4" OAK	5398 5399 5400 5401 5402 5403 5404 5405 5406 5407 5408 5409	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK 22" OAK 7" OAK 21" OAK 6" OAK 14" OAK 4" OAK	5501 5502 5503 5504 5505 5506 5507 5508 5509 5510 5511	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK 20" OAK 16" OAK 11" OAK 9" OAK 13" OAK 14" OAK
8 9 0 0 1 1 2 3 4 4 5 6 6 1 7 8 9 0	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK 4" OAK 9" OAK 22" OAK 13" OAK 6" OAK 4" OAK 4" OAK	5398 5399 5400 5401 5402 5403 5404 5405 5406 5407 5408 5409 5410	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK 22" OAK 7" OAK 21" OAK 6" OAK 14" OAK 4" OAK 11" OAK 30" OAK	5501 5502 5503 5504 5505 5506 5507 5508 5509 5510 5511 5512	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK 20" OAK 16" OAK 11" OAK 9" OAK 13" OAK 14" OAK 17" OAK
99 90 91 92 93 94 95 96 97 98 99 9	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK 4" OAK 9" OAK 22" OAK 13" OAK 6" OAK 4" OAK 4" OAK 4" OAK 1" OAK	5398 5399 5400 5401 5402 5403 5404 5405 5406 5407 5408 5409 5410 5411	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK 22" OAK 7" OAK 21" OAK 21" OAK 4" OAK 14" OAK 14" OAK 4" OAK 4" OAK 9" OAK	5501 5502 5503 5504 5505 5506 5507 5508 5509 5510 5511 5512 5513	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK 20" OAK 16" OAK 11" OAK 9" OAK 13" OAK 14" OAK 17" OAK 5" OAK
8 9 0 0 1 2 3 4 5 6 7 8 9 0 1	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK 4" OAK 9" OAK 22" OAK 13" OAK 6" OAK 4" OAK 50" OAK	5398 5399 5400 5401 5402 5403 5404 5405 5406 5407 5408 5409 5410 5411 5412	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK 22" OAK 7" OAK 21" OAK 6" OAK 14" OAK 4" OAK 11" OAK 4" OAK 11" OAK 11" OAK 30" OAK	5501 5502 5503 5504 5505 5506 5507 5508 5509 5510 5511 5512 5513 5514 5515	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK 20" OAK 16" OAK 11" OAK 9" OAK 13" OAK 14" OAK 17" OAK 5" OAK 20" OAK
8 9 9 0 101 1 2 3 3 4 4 5 5 6 6 7 7 8 9 9 0 0 1 1 2 2 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK 4" OAK 9" OAK 22" OAK 13" OAK 6" OAK 4" OAK 4" OAK 4" OAK 4" OAK 4" OAK 11" OAK 30" OAK	5398 5399 5400 5401 5402 5403 5404 5405 5406 5407 5408 5409 5410 5411 5412 5413	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK 22" OAK 7" OAK 21" OAK 6" OAK 14" OAK 4" OAK 11" OAK 11" OAK 30" OAK 12" OAK	5501 5502 5503 5504 5505 5506 5507 5508 5509 5510 5511 5512 5513 5514 5515 5516	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK 20" OAK 16" OAK 11" OAK 9" OAK 13" OAK 14" OAK 17" OAK 5" OAK 20" OAK
8 99 100 101 122 133 144 155 166 177 188 199 100 11 122 133 144 144 155 166 167 178 188 199 100 11 122 133 144 144 145 156 166 166 166 166 166 166 166 166 16	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK 4" OAK 9" OAK 22" OAK 13" OAK 6" OAK 4" OAK 50" OAK	5398 5399 5400 5401 5402 5403 5404 5405 5406 5407 5408 5409 5410 5411 5412	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK 22" OAK 7" OAK 21" OAK 6" OAK 14" OAK 4" OAK 11" OAK 4" OAK 11" OAK 11" OAK 30" OAK	5501 5502 5503 5504 5505 5506 5507 5508 5509 5510 5511 5512 5513 5514 5515	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK 20" OAK 16" OAK 11" OAK 9" OAK 13" OAK 14" OAK 17" OAK 5" OAK 20" OAK
18 19 10 10 10 10 10 10 10 10 10 10 10 10 10	12" OAK 14" OAK 6" OAK 8" OAK 4" OAK 20" OAK 4" OAK 9" OAK 22" OAK 13" OAK 6" OAK 4" OAK 4" OAK 4" OAK 4" OAK 4" OAK 11" OAK 30" OAK	5398 5399 5400 5401 5402 5403 5404 5405 5406 5407 5408 5409 5410 5411 5412 5413	5" OAK 16" OAK 16" OAK 7" OAK 10" OAK 4" OAK 22" OAK 7" OAK 21" OAK 6" OAK 14" OAK 4" OAK 11" OAK 11" OAK 30" OAK 12" OAK	5501 5502 5503 5504 5505 5506 5507 5508 5509 5510 5511 5512 5513 5514 5515 5516	6" OAK 11" OAK 5" OAK 4" OAK 6" OAK 20" OAK 16" OAK 11" OAK 9" OAK 13" OAK 14" OAK 17" OAK 5" OAK 20" OAK

6" OAK	5623	15" OAK	5728	5
6" OAK 5" OAK	5624 5625	13" OAK 8" OAK	5729 5730	4
B"OAK	5626	12" OAK	5731	8/
9 <u>" OAK</u> 13" OAK	5627 5628	15" OAK 12" OAK	5732 5733	1(
2"OAK	5629	16" OAK	5734	1
2" OAK 11" OAK	5630 5631	10"/15" OAK 13" OAK	5735 5736	2 1
4"OAK	5632	16" OAK	5737	1.
O" OAK O" OAK	5633 5634	16" OAK 14" OAK	5738 5739	1(
B" OAK	5635	16" OAK	5740	2
"OAK 1"OAK	5636 5637	13" OAK 19" OAK	5741 5742	<u>1</u>
·"OAK	5638	7" OAK	5743	10
2" OAK 3" OAK	5639 5640	11" OAK 8" OAK	5744 5745	4
" OAK	5641	17" OAK	5746	6
1 <u>" OAK</u> 4" OAK	5642 5643	16" OAK 7" OAK	5747 5748	1(
" OAK	5644	15" OAK	5749	7
OAK	5645 5646	6" OAK 15" OAK	5750 5751	<u>6'</u> 5'
OAK OAK	5648	15" OAK	5752	1.
1" OAK " OAK	5649 5650	14" OAK 14" OAK	5753 5754	2
·"OAK	5651	4" OAK	5755	g
1" OAK I" OAK	5652 5653	8" OAK 6" OAK	5756 5757	2°
" OAK	5654	4"OAK	5758	1:
/11" OAK " OAK	5655 5656	11" OAK 7" OAK	5759 5760	2 1,
OAK	5657	5" OAK	5761	g
OAK OAK	5658 5659	5" OAK 14" OAK	5762 5763	9
" PALM " OAK	5660	20" OAK	5764	18
1" OAK	5661 5662	11" OAK 9" OAK	5765 5766	<u>9</u>
OAK OAK	5663 5666	17" OAK 14" OAK	5767 5768	ϵ
OAK	5667	26" OAK	5769	1.
2"OAK 6"OAK	5668 5669	15" OAK 7" OAK	5770 5771	1,
·" OAK	5670	8" OAK	5772	<u>9</u>
" OAK " OAK	5671 5672	13" OAK 15" OAK	5773 5774	18 13
5" OAK	5673	7" OAK	5777	1
4 <u>" OAK</u> 6" OAK	5674 5675	18" OAK 12" OAK	5778 5779	1 <u>.</u> 1!
" OAK	5676	24" OAK	5780	18
3" OAK " OAK	5677 5678	15" OAK 5" OAK	5781 5782	2
" OAK " OAK	5679 5680	6" OAK 12" OAK	5783 5784	3: 1:
OAK	5681	9" OAK	5785	2
1" OAK D" OAK	5682 5683	10"/13" OAK 16" OAK	5786 5787	10 7"/
" OAK	5684	4" OAK	5788	1.
OAK	5685 5686	7" OAK 17" OAK	5789 5790	2 1
"OAK	5687	20" OAK	5791	2
" OAK " OAK	5688 5689	6" OAK 10" OAK	5792 5793	9 1:
5"OAK	5690	16" OAK	5794	9
O"OAK ·"OAK	5691 5692	12" OAK 4" OAK	5795 5796	<u>5</u>
" OAK	5695	26" OAK	5797	1
" OAK " OAK	5696 5697	14" OAK 18" OAK	5798 5799	19 2
2"OAK	5698 5699	12" OAK	5800 5804	2
"OAK "OAK	5700	13" OAK 16" OAK	5805	1:
"OAK B"OAK	5701 5702	5" OAK 14" OAK	5806 5807	1(
9"OAK	5703	7" OAK	5808	1:
OAK	5704 5705	8" OAK 4" OAK	5809 5810	<u>_</u>
OAK	5706	6" OAK	5811	2
OAK OAK	5707 5708	13" OAK 9" OAK	5812 5813	1 <u>;</u> 1 <u>;</u>
OAK OAK	5709 5710	17" OAK 11" OAK	5814 5815	1; 1;
5" OAK	5711	8" OAK	5816	1.
"OAK 6"OAK	5712 5713	12" OAK 5" OAK	5817 5818	<u>6</u>
2"OAK	5714	5" OAK	5819	16
2" OAK 4" OAK	5715 5716	12" OAK 8" OAK	5820 5821	1! 1
" OAK	5717	14" OAK	5822	12
OAK OAK	5718 5719	6" OAK 6"/13" OAK	5823 5824	18 1
5" OAK	5720	12" OAK	5825	15
5" OAK 4" OAK	5721 5722	12" OAK 12" OAK	5826 5827	<u>1.</u>
" OAK	5723	8" OAK	5828	2
1" OAK 1" OAK	5724 5725	8" OAK 8" OAK	5829 5830	<u>2</u>
9"OAK	5726 5727	14" OAK	5831 5832	1
6" OAK		9" OAK		1(

OAK	1	5833	15" OAK
OAK	1	5836	15" OAK
OAK	1	5837	15" OAK
OAK	1	5838	13" OAK
OAK	1	5839	10" OAK
OAK		5840	12" OAK
OAK	1	5841	16" OAK
OAK	1	5842	16" OAK
OAK]	5843	14" OAK
OAK]	5844	14" OAK
OAK	1	5845	6" OAK
OAK	1	5846	11" OAK
OAK	†	5847	9" OAK
OAK	1	5848	16" OAK
OAK	†	5849	10" OAK
	†	5850	10" OAK
OAK	1	5851	18 UAK
OAK	1	5852	18" OAK 18" OAK 16" OAK
OAK			16 UAK
OAK	-	5853	11" OAK
OAK	-	5854	15" OAK
OAK	-	5855	13" OAK
OAK	-	5856	13" OAK
PINE	1	5857	22" OAK
PINE	1	5858	42" OAK
OAK	1	5859	13" OAK
OAK	1	5860	5" OAK
OAK	1	5861	6" OAK
OAK	1	5862	11" OAK
OAK	1	5863	12" OAK
OAK	1	5864	20" OAK
OAK]	5865	11" OAK
OAK]	5866	4" OAK
OAK]	5867	17" OAK
OAK]	5868	12" OAK
OAK]	5869	23" OAK
OAK]	5870	12" OAK
OAK]	5871	22" OAK
OAK	1	5872	17" OAK
OAK	1	5873	17" OAK
OAK	1	5874	17 OAK 12" OAK
OAK	†	5875	12" OAK
OAK OAK	1	5876	12" OAK 14" OAK
	1	5877	9" OAK
	1	5878	13" OAK
OAK		5879	10 OAN
OAK OAK	1		15" ∩∆K
OAK OAK OAK			15" OAK 15" OAK
OAK OAK OAK OAK		5880	15" OAK
OAK OAK OAK OAK			15" OAK 15" OAK
OAK OAK OAK OAK OAK		5880 5881 5882	15" OAK 15" OAK 13" OAK
OAK OAK OAK OAK OAK OAK OAK		5880 5881 5882 5883	15" OAK 15" OAK 13" OAK 6" OAK
OAK OAK OAK OAK OAK OAK OAK OAK		5880 5881 5882 5883 5884	15" OAK 15" OAK 13" OAK 6" OAK 14" OAK
OAK OAK OAK OAK OAK OAK OAK OAK OAK		5880 5881 5882 5883 5884 5885	15" OAK 15" OAK 13" OAK 6" OAK 14" OAK 11" OAK
OAK		5880 5881 5882 5883 5884 5885 5886	15" OAK 15" OAK 13" OAK 6" OAK 14" OAK 11" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887	15" OAK 15" OAK 13" OAK 6" OAK 14" OAK 11" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888	15" OAK 15" OAK 13" OAK 6" OAK 14" OAK 11" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889	15" OAK 15" OAK 13" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 14" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889 5890	15" OAK 15" OAK 13" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 14" OAK 12" OAK 4" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889 5890 5892	15" OAK 15" OAK 13" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 14" OAK 12" OAK 4" OAK 20" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889 5890 5892 5893	15" OAK 15" OAK 15" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 14" OAK 12" OAK 4" OAK 20" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889 5890 5892 5893 5894	15" OAK 15" OAK 15" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 14" OAK 12" OAK 4" OAK 20" OAK 12"/10" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889 5890 5892 5893 5894 5895	15" OAK 15" OAK 15" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 14" OAK 12" OAK 4" OAK 20" OAK 12"/10" OAK 15" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889 5890 5892 5893 5894 5895 5896	15" OAK 15" OAK 15" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 14" OAK 12" OAK 4" OAK 20" OAK 12"/10" OAK 15" OAK 16" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889 5890 5892 5893 5894 5895 5896 5897	15" OAK 15" OAK 15" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 14" OAK 12" OAK 12" OAK 4" OAK 12"/10" OAK 15" OAK 16" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889 5890 5892 5893 5894 5895 5896 5897 5898	15" OAK 15" OAK 15" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 14" OAK 12" OAK 12" OAK 4" OAK 12" /10" OAK 15" OAK 16" OAK 15" OAK 16" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889 5890 5892 5893 5894 5895 5896 5897 5898	15" OAK 15" OAK 15" OAK 13" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 14" OAK 12" OAK 4" OAK 12" OAK 4" OAK 12"/10" OAK 15" OAK 16" OAK 15" OAK 15" OAK 20" OAK 20" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889 5890 5892 5893 5894 5895 5896 5897 5898 5899 5900	15" OAK 15" OAK 15" OAK 13" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 12" OAK 4" OAK 20" OAK 15" OAK 16" OAK 15" OAK 15" OAK 20" OAK 15" OAK 16" OAK 16" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889 5890 5892 5893 5894 5895 5896 5897 5898 5899 5900	15" OAK 15" OAK 15" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 14" OAK 12" OAK 4" OAK 20" OAK 15" OAK 16" OAK 15" OAK 16" OAK 16" OAK 16" OAK 16" OAK 16" OAK 16" OAK 15" OAK 16" OAK 15" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889 5890 5892 5893 5894 5895 5896 5897 5898 5899 5900 5901 5902	15" OAK 15" OAK 15" OAK 13" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 14" OAK 12" OAK 4" OAK 20" OAK 15" OAK 16" OAK 15" OAK 16" OAK 16" OAK 16" OAK 16" OAK 15" OAK 16" OAK 15" OAK 15" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889 5890 5892 5893 5894 5895 5896 5897 5898 5899 5900 5901 5902 5903	15" OAK 15" OAK 15" OAK 13" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 14" OAK 12" OAK 4" OAK 20" OAK 15" OAK 16" OAK 15" OAK 16" OAK 16" OAK 16" OAK 16" OAK 16" OAK 15" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889 5890 5892 5893 5894 5895 5896 5897 5898 5899 5900 5901 5902 5903 5904	15" OAK 15" OAK 15" OAK 13" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 14" OAK 12" OAK 4" OAK 20" OAK 15" OAK 16" OAK 15" OAK 16" OAK 16" OAK 16" OAK 14" OAK 15" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5890 5892 5893 5894 5895 5896 5897 5898 5899 5900 5901 5902 5903 5904 5905	15" OAK 15" OAK 15" OAK 6" OAK 14" OAK 11" OAK 8"/15" OAK 16" OAK 14" OAK 12" OAK 12" OAK 12" OAK 12" OAK 15" OAK 15" OAK 16" OAK 15" OAK 16" OAK 15" OAK
OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5890 5892 5893 5894 5895 5896 5897 5898 5899 5900 5901 5902 5903 5904 5905 5906	15" OAK 15" OAK 15" OAK 13" OAK 6" OAK 14" OAK 11" OAK 11" OAK 16" OAK 14" OAK 12" OAK 12" OAK 12" OAK 15" OAK 15" OAK 16" OAK 15" OAK 16" OAK 15" OAK
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OAK		5880 5881 5882 5883 5884 5885 5886 5887 5888 5889 5890 5892 5893 5894 5895 5896 5897 5898 5899 5900 5901 5902 5903 5904 5905 5906 5907 5908 5909 5910	15" OAK 15" OAK 15" OAK 13" OAK 6" OAK 14" OAK 11" OAK 11" OAK 16" OAK 14" OAK 12" OAK 12" OAK 12" OAK 15" OAK 15" OAK 16" OAK 15" OAK 16" OAK 14" OAK 15" OAK 12" OAK 12" OAK 12" OAK 13" OAK 12" OAK
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5936	20" OAK	6041	19" OAK
5937	18" OAK	6042	9" OAK
5938	14" OAK	6043	4" OAK
5939	20" OAK	6044	12" OAK
5940	12" OAK	6045	14" OAK
5941	13" OAK	6046	22" OAK
5942	15" OAK	6047	11" OAK
5943 5944	22" OAK	6048 6049	26" OAK 5" OAK
	16" OAK		
5945 5946	14" OAK	6050 6051	7" OAK 8" OAK
5946 5947	18" OAK 12" OAK	6051	<u>8" OAK</u> 7" OAK
5950	12 OAK 19" OAK	6053	
5951	8" OAK	6054	4" OAK 14" PALM
952	7" OAK	6055	5" OAK
953	4" OAK	6056	4" OAK
5954	6" OAK	6057	11" OAK
955	10" OAK	6058	9" OAK
5956	11" OAK	6059	11" OAK
5957	8" OAK	6060	12" OAK
5958	10" OAK	6061	6" OAK
5959	11" OAK	6062	21" OAK
960	10" OAK	6063	14" OAK
5961	7" OAK	6064	18" OAK
5962	4" OAK	6065	18" OAK
5963	17" OAK	6066	18" OAK
5964 5965	12" PALM	6067	17" OAK
5965	12" OAK 25" OAK	6068 6069	21" OAK 17" OAK
5966	12" PALM	6071	9" OAK
5968	15" PALM	6072	9 OAK 8" OAK
5969	13" OAK	6073	6" OAK
970	6" OAK	6074	5" OAK
5971	4" OAK	6075	7" OAK
972	13" OAK	6076	4" OAK
5973	8" OAK	6077	10" OAK
5974	8" OAK	6078	10" OAK
975	18" OAK	6079	7" OAK
976	6" OAK	6080	7" OAK
5977	8" OAK	6081	5" OAK
5978	10" OAK	6082	10" OAK
5979	10" OAK	6083	7" OAK
5980 5981	8" OAK 4" OAK	6084 6085	5"/5" OAK 4" OAK
5982	24" OAK	6086	8" OAK
983	6" OAK	6087	12" OAK
5984	13" OAK	6088	4" OAK
5985	4" OAK	6089	12" OAK
5986	8" OAK	6090	8" OAK
5987	27" OAK	6091	4" OAK
5988	8" OAK	6092	6"OAK
5989	6" OAK	6093	6" OAK
5990	5" OAK	6094	7"/8" OAK
5991	8" OAK	6095	9" OAK
5992 5993	18" OAK	6096	5" OAK
5994	4" OAK 11" OAK	6097 6098	<u>4" OAK</u> 5" OAK
5995	11" OAK CKPT	6099	<u>5" OAK</u> 4" OAK
5996	4" OAK	6100	9" OAK
5997	24" OAK	6101	6" OAK
5998	18" OAK	6102	7" OAK
5999	8" OAK	6103	13" OAK
000	7" OAK	6104	5" OAK
6001	8"CEDAR	6105	7" OAK
5002	8" OAK	6106	7" OAK
5003	10" OAK	6107	9" OAK
3004 3005	6" OAK	6108	5" OAK 6" OAK
5005 5006	19" OAK 6" OAK	6109 6110	
5005	18" OAK	6111	6" OAK 6" OAK
8008	6" OAK	6112	4" OAK
5009	20" OAK	6113	7" OAK
5010	16" OAK	6114	7" OAK
6011	7"CEDAR	6115	4" OAK
5012	4" OAK	6116	5" OAK
5013	9" OAK	6117	5" OAK
5014	11" OAK	6118	4"/6" OAK
5015	14" OAK	6119	4" OAK
5016	5" OAK	6120	5" OAK
5017 5018	5" OAK 14" OAK	6121 6122	6" OAK
5019	14 OAK 12" OAK	6123	<u>8" OAK</u> 4" OAK
5020	7" OAK	6124	5" OAK
5020	11" OAK	6125	11" OAK
5022	16" OAK	6126	11" OAK
5023	14" OAK	6127	6" OAK
6024	14" OAK	6128	8" OAK
025	4"/4" OAK	6129	5" OAK
6026	17" OAK	6130	4" OAK
027	18" OAK	6131	8" OAK
028	5" OAK	6132	5" OAK
029	33" OAK	6133	12" OAK
3030	5"/7"CEDAR	6134	7" OAK
5031	6" OAK	6135	5" OAK
032	16" OAK	6136	6" OAK
033	18" OAK	6137	7" OAK
034 035	4" OAK	6138 6139	12" OAK
	5"CEDAR		6"OAK
5037	4" OAK	6140	7" OAK

)41	19" OAK	6142	4" OAK	6245	5" OAK
42	9"OAK	6143	4"OAK	6246	10" OAK
43	4" OAK	6144	4" OAK	6247	7" OAK
44 45	12" OAK 14" OAK	6145 6146	5" OAK 6" OAK	6248 6249	5" OAK 5" OAK
46	22" OAK	6147	8" OAK	6250	4" OAK
47	11" OAK	6148	5" OAK	6251	5" OAK
48	26" OAK	6149	7" OAK	6252	6" OAK
49	5" OAK	6150 6151	10" OAK	6253 6254	5"/5" OAK
50 51	7" OAK 8" OAK	6152	5" OAK 4" OAK	6255	4" OAK 7" OAK
52	7" OAK	6153	7" OAK	6256	5" OAK
53	4" OAK	6154	4" OAK	6257	5" OAK
54	14" PALM	6155	7" OAK	6258	7" OAK
55	5" OAK	6156 6157	4" OAK	6259	7" OAK
56 57	4" OAK 11" OAK	6158	4" OAK 4" OAK	6260 6261	4" OAK 6" OAK
58	9" OAK	6159	10" OAK	6262	4" OAK
59	11" OAK	6160	9"OAK	6263	4"OAK
60	12" OAK	6161	9" OAK	6264	7" OAK
61 62	6" OAK 21" OAK	6162 6163	4" OAK 11" OAK	6265 6266	8" OAK 6" OAK
63	14" OAK	6164	5" OAK	6267	6" OAK
64	18" OAK	6165	6" OAK	6268	7" OAK
65	18" OAK	6166	4" OAK	6269	5" OAK
66	18" OAK	6167	9" OAK	6270	6" OAK
67 68	17" OAK 21" OAK	6168 6169	6" OAK 4" OAK	6271 6272	6" OAK 5" OAK
69	17" OAK	6170	6" OAK	6273	7" OAK
71	9"OAK	6171	6" OAK	6274	5" OAK
72	8" OAK	6172	7"OAK	6275	6"OAK
73 74	6" OAK	6173 6174	5" OAK	6276 6277	8" OAK
74 75	5" OAK 7" OAK	6175	5" OAK 4" OAK	6278	5" OAK 12" OAK
76	4" OAK	6176	6" OAK	6279	6" OAK
77	10" OAK	6177	9"OAK	6280	6"OAK
78	10" OAK	6178	5" OAK	6281	4" OAK
79 80	7" OAK 7" OAK	6179 6180	5" OAK 5" OAK	6282 6283	4" OAK 5" OAK
81	5" OAK	6181	7" OAK	6284	7" OAK
82	10" OAK	6182	5" OAK	6285	7"OAK
83	7" OAK	6183	4" OAK	6286	4" OAK
84 85	5"/5" OAK 4" OAK	6184 6185	6" OAK 7" OAK	6287 6288	8" OAK 6" OAK
86	8" OAK	6186	7" OAK	6289	6" OAK 6" OAK
87	12" OAK	6187	8" OAK	6290	6" OAK
88	4" OAK	6188	6" OAK	6291	10" OAK
89 90	12" OAK	6189 6190	7" OAK 6" OAK	6292 6293	<u>4" OAK</u> 5" OAK
91	8" OAK 4" OAK	6191	6" OAK 4" OAK	6294	5" OAK 5" OAK
92	6" OAK	6192	5" OAK	6295	5" OAK
93	6" OAK	6196	32" OAK	6296	6" OAK
94 95	7"/8" OAK	6197 6198	28" OAK	6297 6298	8" OAK 8" OAK
96	9" OAK 5" OAK	6199	12" OAK 4" OAK	6299	8" OAK 8" OAK
97	4" OAK	6200	4" OAK	6300	10" OAK
98	5" OAK	6201	14" OAK	6301	9"OAK
99 00	4" OAK	6202	4" OAK	6302	5" OAK
01	9" OAK 6" OAK	6203 6204	6" OAK 4" OAK	6303 6304	6" OAK 6" OAK
02	7" OAK	6205	5" OAK	6305	5" OAK
03	13" OAK	6206	8" OAK	6306	5"OAK
04	5" OAK	6207	8" OAK	6307	8" OAK
05 06	7" OAK 7" OAK	6208 6209	11" OAK	6308 6309	4" OAK 4" OAK
36 37	7" OAK 9" OAK	6210	8" OAK 4" OAK	6310	4" OAK 8" OAK
08	5" OAK	6211	8" OAK	6311	7"OAK
09	6" OAK	6212	7"OAK	6312	4" OAK
10 11	6" OAK	6213 6214	5" OAK	6313 6314	7" OAK
12	6" OAK 4" OAK	6214	7" OAK 7" OAK	6315	6" OAK 8" OAK
13	7" OAK	6216	7" OAK	6316	5"OAK
14	7" OAK	6217	6" OAK	6317	4"OAK
15 16	4" OAK	6218	4" OAK	6318 6319	6" OAK
17	5" OAK 5" OAK	6219 6220	6" OAK 4"/5" OAK	6320	8" OAK 4" OAK
18	4"/6" OAK	6221	7" OAK	6321	8" OAK
19	4" OAK	6222	6" OAK	6322	4"/5" OAK
20	5" OAK	6223	5" OAK	6323	5" OAK
21 22	6" OAK 8" OAK	6224 6225	4" OAK 4" OAK	6324 6325	6" OAK 7" OAK
23	8" OAK 4" OAK	6226	4"/6" OAK	6326	
24	5" OAK	6227	4" OAK	6327	4"OAK
25	11" OAK	6228	7" OAK	6328	5" OAK
26 27	11" OAK 6" OAK	6229 6230	6" OAK 7" OAK	6329 6330	6" OAK 4" OAK
28	8" OAK	6231	11" OAK	6331	5" OAK
29	5" OAK	6232	7" OAK	6332	8"OAK
30	4" OAK	6233	7"/8" OAK	6333	4"/7" OAK
31 32	8" OAK 5" OAK	6234 6235	4" OAK 7" OAK	6334 6335	4" OAK 6" OAK
33	5 OAK 12" OAK	6236	7" OAK	6336	6 OAK 4" OAK
34	7" OAK	6237	13" OAK	6337	8"OAK
35	5" OAK	6238	4"OAK	6338	4"OAK
	6" OAK	6239 6240	7" OAK	6339	8" OAK
36	7" () 1 1 1 1 1 1 1 1 1	1 D24U I	8" OAK	6340	7" OAK
36 37	7" OAK 12" OAK		13" OAK	6341	7" ∩∆⊬
36 37 38	12" OAK 6" OAK	6241 6242	13" OAK 4" OAK	6341 6342	7" OAK 4" OAK
36 37 38 39 40 41	12" OAK	6241	13" OAK 4" OAK 4" OAK 8" OAK		7" OAK 4" OAK 4" OAK 4" OAK

1	
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16 EAST PLANT STREET WINTER GARDEN, FLORIDA 34787 (407) 654-5355 FAX (407) 654-5356

6400 6401 6402

6" OAK 8" OAK

4"OAK

4" OAK 4" OAK 11" OAK

5" OAK 6" OAK 7" OAK 6" OAK 8" OAK

8" OAK 8" OAK

6 OAK
5" OAK
8" OAK
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6" OAK
7" OAK
4" OAK
11" OAK
5" OAK

6" OAK 4" OAK

10" OAK
7"/4" OAK
7" OAK
6" OAK
4"/12" OAK
7" OAK
6" OAK
12" OAK

12" OAK 4" OAK 4" OAK

4 OAK
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14" OAK
4"/11" OAK
11" OAK
8" OAK
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7" OAK
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8" OAK
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5"/8" OAK 5" OAK

6403 7"/7" OAK
6404 5" OAK
6405 4" OAK
6407 5" OAK
6408 4" OAK
6409 6" OAK
6410 6" OAK
6411 8" OAK
6411 10" OAK
6413 5" OAK
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6416 7" OAK
6417 6" OAK
6418 6" OAK
6419 6" OAK
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6420 5" OAK
6421 4" OAK
6422 14" OAK
6423 11" OAK
6424 7" OAK
6425 9" OAK
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6437 10" OAK
6438 7" OAK
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6445 5" OAK
6445 5" OAK
6445 5" OAK

TOPOGRAPHIC & TREE SURVEY

FRUITLAND

TOWNSH

FOR:

JOB # DATE: SCALE:	20210417 9/13/21 1" = 60'
CALC BY:	DY
FIELD BY:	KH
DRAWN BY:	CDK
CHECKED BY:	DY

SHEET 15 OF 16

→ 24" OAK Denotes tree location, size and type
UNK Denotes unknown tree type

6447	7" OAK
6448 6449	4" OAK 6" OAK
6450	8" OAK
6451	4" OAK
6452 6453	10" OAK 4" OAK
6454	8" OAK
6455	5" OAK
6456	5" OAK
6457 6458	10" OAK 4"/4" OAK
6459	5" OAK
6460	7" OAK
6461 6462	6" OAK 7" OAK
6463	7 OAK 7" OAK
6464	7" OAK
6465	8" OAK
6466 6467	8" OAK 7" OAK
6468	7" OAK
6469	5" OAK
6470	8" OAK
6471 6472	7" OAK 6" OAK
6473	8" OAK
6474	11" OAK
6475 6476	7" OAK 6" OAK
6477	5" OAK
6478	5" OAK
6479	5"/6"/7" OAK
6480 6481	8" OAK 6" OAK
6482	7"OAK
6483	6" OAK
6484 6485	8" OAK 7" OAK
6486	5" OAK
6487	6" OAK
6488	6" OAK
6489 6490	6" OAK 7" OAK
6491	8" OAK
6492	6" OAK
6493	4" OAK 8" OAK
6494 6495	6" ∩∧K
6496	5" OAK
6497	8" OAK
6498 6499	6" OAK 7" OAK
6500	6" OAK
6501	5"OAK
6502 6503	5" OAK
6504	11" OAK 6" OAK
6505	6"OAK
6506	14" OAK
6507 6508	4" OAK 4" OAK
6509	4" OAK 5" OAK
6510	12" OAK
6511	13" OAK
6512 6513	13" OAK 13" OAK
6514	15" OAK
6515	14" OAK
6516 6517	7" OAK 11" OAK
6518	11 OAK 14" OAK
6519	7" OAK
6520 6521	4"/6" OAK 6" OAK
6521 6522	6" OAK 11" OAK
6523	4"OAK
6524	4" OAK
6525 6526	12" OAK 6" OAK
6527	4" OAK
6528	10" OAK
6529	12" OAK
6530 6531	7" OAK 13" OAK
6532	11" OAK
6533	6" ∩∆K
6534	6" OAK
6535 6536	9" OAK 8" OAK
6537	11" OAK
6538	13" OAK
6539 6540	4" OAK 8" OAK
6540	8" OAK 12" OAK
6542	6"OAK
6543	8" OAK
6544 6545	6" OAK 6" OAK

6547	7" OAK
6548	7" OAK 7" OAK
6549	6" OAK
6550	13" OAK
6551	6" OAK
6552	6" OAK 8" OAK
6553	7" OAK
6554	9" OAK
6555	6" OAK
6556	11" OAK
6557	6" OAK
6558	6" OAK
6559	6" OAK
6560	11" OAK
6561	13" OAK
6562	14" OAK
6563	15" OAK
6564	6" OAK 4" OAK
6565	4" OAK
6566	5" OAK 8" OAK
6567	8" OAK
6568	8" OAK
6569	10" OAK
6570	8" OAK
6571	4" OAK
6572	8" OAK
6573	15" OAK
6574	4" OAK
6575	6" OAK
6576	14" OAK
6577	9" OAK
6578	8" OAK
6582	l 15" OAK l
6583	17" OAK
6584	13" OAK
6585 6586	7" OAK
	7" OAK 11" OAK
6587 6588	11" OAK 10" OAK
6588 6589	**
6590	9" OAK 9" OAK
6591	7" OAK
6592	6" OAK
6593	9" OAK
6594	l 8"OAK l
6595	4" OAK
6596	8" OAK
6597	10" OAK
6598	4" OAK
6599	5" OAK
6600	8" OAK
6601	13" OAK
6602	5"OAK
6603	8" OAK
6604	10" OAK
6605	10" OAK 5" OAK 15" OAK 16" OAK
6606	15" OAK
6607	16" OAK
6608	15" OAK
6609	6"OAK
	the state of the s
6610	11" OAK
6610 6611	4"OAK
6610 6611 6612	4" OAK 14" OAK
6610 6611 6612 6613	4" OAK 14" OAK 7" OAK
6610 6611 6612 6613 6614	4" OAK 14" OAK 7" OAK 8" OAK
6610 6611 6612 6613 6614 6615	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK
6610 6611 6612 6613 6614 6615 6616	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK
6610 6611 6612 6613 6614 6615 6616 6617	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK 7" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK 7" OAK 13" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618 6619	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK 7" OAK 13" OAK 7" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618 6619 6620	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK 7" OAK 13" OAK 7" OAK 11" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618 6619 6620 6621	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK 7" OAK 7" OAK 13" OAK 7" OAK 11" OAK 7" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618 6619 6620 6621 6622	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK 7" OAK 7" OAK 13" OAK 11" OAK 7" OAK 9" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618 6619 6620 6621 6622 6623	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK 7" OAK 7" OAK 13" OAK 11" OAK 7" OAK 9" OAK 8" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618 6619 6620 6621 6622 6623 6624	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK 7" OAK 13" OAK 13" OAK 7" OAK 11" OAK 9" OAK 8" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618 6619 6620 6621 6622 6623 6624 6625	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK 7" OAK 13" OAK 13" OAK 7" OAK 11" OAK 9" OAK 9" OAK 9" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618 6619 6620 6621 6622 6623 6624 6625 6626	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK 7" OAK 13" OAK 7" OAK 11" OAK 7" OAK 9" OAK 9" OAK 9" OAK 9" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618 6619 6620 6621 6622 6623 6624 6625 6626 6627	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK 14" OAK 7" OAK 13" OAK 7" OAK 11" OAK 9" OAK 9" OAK 10" OAK 9" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618 6619 6620 6621 6622 6623 6624 6625 6626 6627 6628	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK 7" OAK 13" OAK 7" OAK 11" OAK 7" OAK 9" OAK 9" OAK 10" OAK 10" OAK 9" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618 6619 6620 6621 6622 6623 6624 6625 6626 6627 6628 6629	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK 7" OAK 13" OAK 7" OAK 11" OAK 7" OAK 11" OAK 7" OAK 11" OAK 9" OAK 9" OAK 10" OAK 9" OAK 10" OAK 12" OAK 8" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618 6619 6620 6621 6622 6623 6624 6625 6626 6627 6628 6629 6630	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK 14" OAK 7" OAK 13" OAK 7" OAK 11" OAK 9" OAK 9" OAK 10" OAK 12" OAK 8" OAK 10" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618 6619 6620 6621 6622 6623 6624 6625 6626 6627 6628 6629 6630 6631	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 14" OAK 14" OAK 7" OAK 13" OAK 7" OAK 11" OAK 9" OAK 9" OAK 10" OAK 12" OAK 12" OAK 8" OAK 10" OAK 10" OAK 7" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618 6619 6620 6621 6622 6623 6624 6625 6626 6627 6628 6629 6630 6631 6632	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 11" OAK 14" OAK 7" OAK 13" OAK 7" OAK 11" OAK 7" OAK 9" OAK 9" OAK 9" OAK 10" OAK 12" OAK 8" OAK 10" OAK 10" OAK 8" OAK
6610 6611 6612 6613 6614 6615 6616 6617 6618 6619 6620 6621 6622 6623 6624 6625 6626 6627 6628 6629 6630 6631 6632 6632	4" OAK 14" OAK 7" OAK 8" OAK 11" OAK 11" OAK 14" OAK 7" OAK 13" OAK 7" OAK 11" OAK 7" OAK 9" OAK 9" OAK 9" OAK 10" OAK 12" OAK 12" OAK 10" OAK
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6663	7" OAK
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6665	8" OAK
6666	7" OAK
6667	12" OAK

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OF FRUITLAND PARK

TOWNSHIP

FOR: Park square i

JOB #	20210417
DATE:	9/13/21
SCALE:	1" = 60'
CALC BY:	DY
FIELD BY:	KH
DRAWN BY:	CDK
CHECKED BY:	DY
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Austin Environmental Consultants, Inc.

316 Church Street • Kissimmee, Florida • 34741 • Phone: 407.935.0535

January 20, 2021

Chuck Cavaretta, VP Land Park Square Homes 5200 Vineland Road, Suite 200 Orlando, FL 32811

RE: Ecological Site Assessment Fruitland Park - 155 acres

Mr. Cavaretta,

On January 8, 2021, a biologist with Austin Environmental Consultants, Inc. (AEC) visited a property consisting of approximately 155 acres in the Leesburg/Fruitland Park area in Lake County, Florida to evaluate the presence of onsite wetlands and review the property for the potential presence of protected species. The property location is depicted on the included **Aerial Map/Location Map**, the property represents a mostly undeveloped property located in Lake County, FL.

VEGETATION

The property consists predominantly of upland pasture areas. There were also tree framing activities along with two small littoral wetland areas adjacent to two small surface water areas. The two small littoral wetlands within the property are directly adjacent the two referenced surface water areas. Theses wetland areas are classified as Fresh Water Marshes see the **FLUCCS Map**. While on property the wetland jurisdictional boundary was marked and GPS points were collected. This community (FLUCCS 641) consists of vegetation including Carolina willow (*Salix caroliniana*), primrose willow (*Ludwigia peruviana*) and cinnamon fern (*Osmunda cinnamomea*).

Large portions of the property are currently used as Pasture land (FLUCCS 211). The vegetation within these areas is dominated by pasture grasses including Bahia grass (*Paspalum notatum*) along with scattered live oaks (*Quercus virginiana*), laurel oaks (*Quercus laurifolia*), slash pine (*Pinus elliottii*), and cabbage palm (*Sabal palmetto*).

Several areas within this subject property were identified as tree nursery operations (FLUCCS 241). Various types of planted trees occur in these areas including palm trees, various oaks, and crepe myrtles (*Lagerstroemia indica*).

Two portions of the property were classified as oak-pine mixed forest (FLUCCS 423). Within this area the property is characterized by vegetation that consisting of a mix of live oaks, laurel oaks, long leaf pine (*Pinus palustris*), slash pine, cabbage palm, grapevine (*Vitis spp.*), blackberry (*Rubus spp.*), saw palmetto (*Serenoa repens*), Caesar

weed (*Urena lobata*), camphor trees (*Cinnamomum camphora*) and white beggar-ticks (*Bidens pilosa*).

Two areas within the subject property are identified as Hardwood - Conifer Mixed (FLUCCS 434). The canopy within these areas is composed of a mix of live oaks, laurel oaks, long leaf pine, slash pine, cabbage palm. The understory includes gallberry (*Ilex glabra*) and lantana (*Lantana camara*).

Within the subject property several areas of Coniferous Plantations (FLUCCS 441) where identified. The vegetation within these areas consists predominately of rows of planted long leaf pine or slash pine. Scattered beneath the canopy vegetation is a variable mix of young cabbage palm, grapevine, camphor trees, and a sparce occurrence of white beggar-ticks and lantana.

SOILS

The onsite soil types were classified according to the Soil Survey for Lake County, Florida and available USDA Natural Resource Conservation Service (NRCS) GIS layers (see attached **Soils Map**).

The onsite soils include four (4) different soil types. (see **Table 1**).

Table 1 - On-site Soil Types				
ID#	Soil Name	Hydric Rating		
5	Apopka sand, 0 to 5 percent slopes	No		
8	Candler fine sand, 0 to 5 percent slopes	No		
9	Candler fine sand, 5 to 12 percent slopes	No		
45	Tavares sand, 0 to 5 percent slopes	No		

LISTED SPECIES

Bald Eagle (Haliaeetus leucocephalus): Although the bald eagle is no longer listed under the Endangered Species Act, it is still afforded protection by the USFWS under the Migratory Bird Treaty Act and the Bald and Golden Eagle Protection Act. Site reviews did not identify any bald eagle nests on or immediately adjacent to the property. A review of the FWC bald eagle nest database was conducted to determine if there are any known bald eagle nests that could affect development of the property. The database review revealed that there are no known eagle nests that have potential to affect development of the subject property.

Gopher Tortoise (Gopherus polyphemus): The gopher tortoise is listed as threatened by the State of Florida, and is a candidate for listing under the federal Endangered Species Act. This widely distributed species utilizes numerous upland habitat types, both native and altered. A pedestrian survey of the subject property found both active and inactive gopher tortoises burrows within the property boundries.

Prior to land clearing and/or construction, it is advised that a 100% survey of all potentially suitable gopher tortoise habitat be performed. Any tortoise burrow that has the potential to be impacted by site manipulation must be excavated/trapped, and any

resident tortoise relocated offsite. Accordingly, a permit from the FFWCC will be required to capture and relocate the resident tortoises.

<u>Sand skink (Neoseps reynoldsi)</u>: The property falls within the USFWS Consultation Area for this federally-listed, threatened species. The USFWS defines suitable habitat within the Consultation Area to include well-drained, sandy soils that occur on elevations of 82 feet above sea level or higher.

The subject property meets the definition of suitable habitat, so AEC performed comprehensive pedestrian surveys of the subject property by carefully inspecting any areas of open sand for characteristic skink tracks. No sand skinks or skink tracks were observed during the site review. Numerous tracks of other species were observed, demonstrating that conditions were favorable for sand skink tracks to be detected if skinks were present.



The site has a long history of agricultural use, including citrus, improved pasture, nursery operations, planted pine, and row crops. Areas with patches of open sand occur sporadically on the site. The areas with open sand represent minimally suitable skink habitat, though no skink tracks were observed or identified within these areas or elsewhere on the property.

However, based on experience with similar sites and updated USFWS criteria for sand skink surveys (July 31, 2020), it is recommended that a coverboard survey be conducted within areas of open sand to verify the presence or absence of sand skinks. Formal surveys to document the absence of skinks can only be conducted between March 1 and May 15, and involve placing 2' x 2' plywood "coverboards" within all areas of suitable habitat at a density of forty (40) coverboards per-acre. Coverboards are checked once per week for four consecutive weeks for signs of sand skinks.

No other protected species or signs of their presence were identified during AEC's site, or are expected to occur.

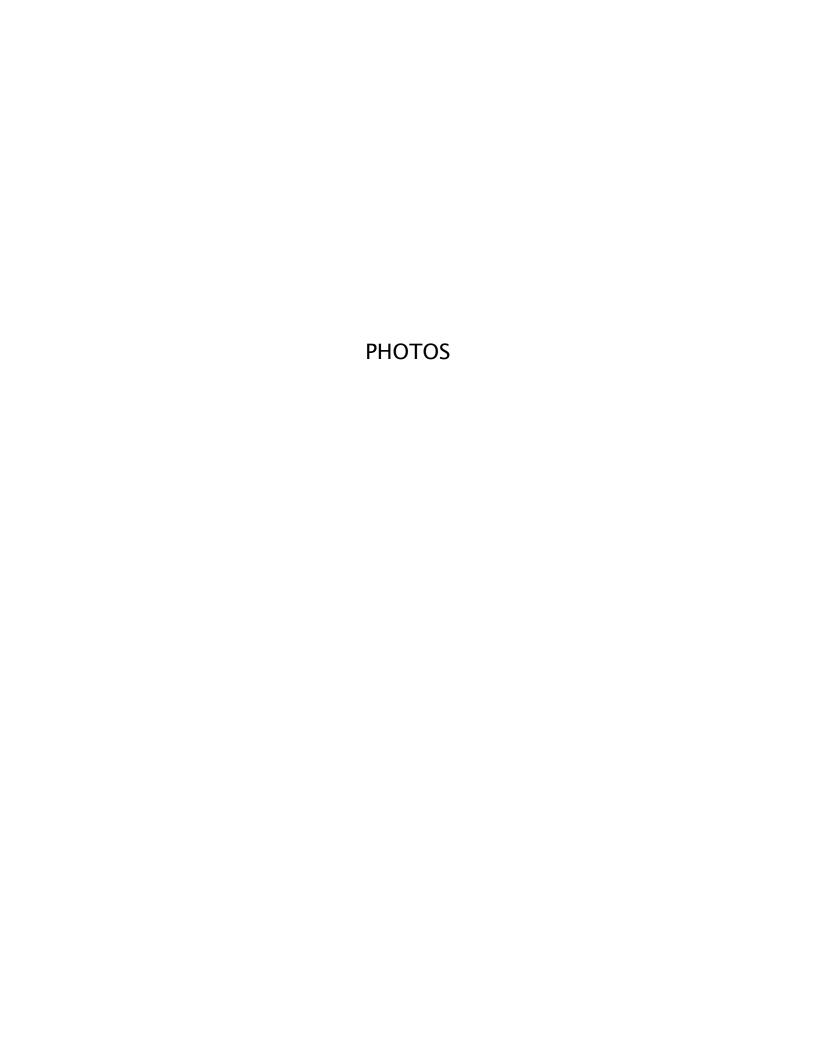
If you have any questions about the information contained in this report, please contact Bruce Williams of Austin Environmental Consultants.

Sincerely,

Randy L. Austin, M.S., President

Austin Environmental Consultants, Inc.

1100





FLUCCS 211



FLUCCS 241 (Palms)





FLUCCS 241



FLUCCS 241 (Crape myrtle)



FLUCCS 423



FLUCCS 434



FLUCCS 441





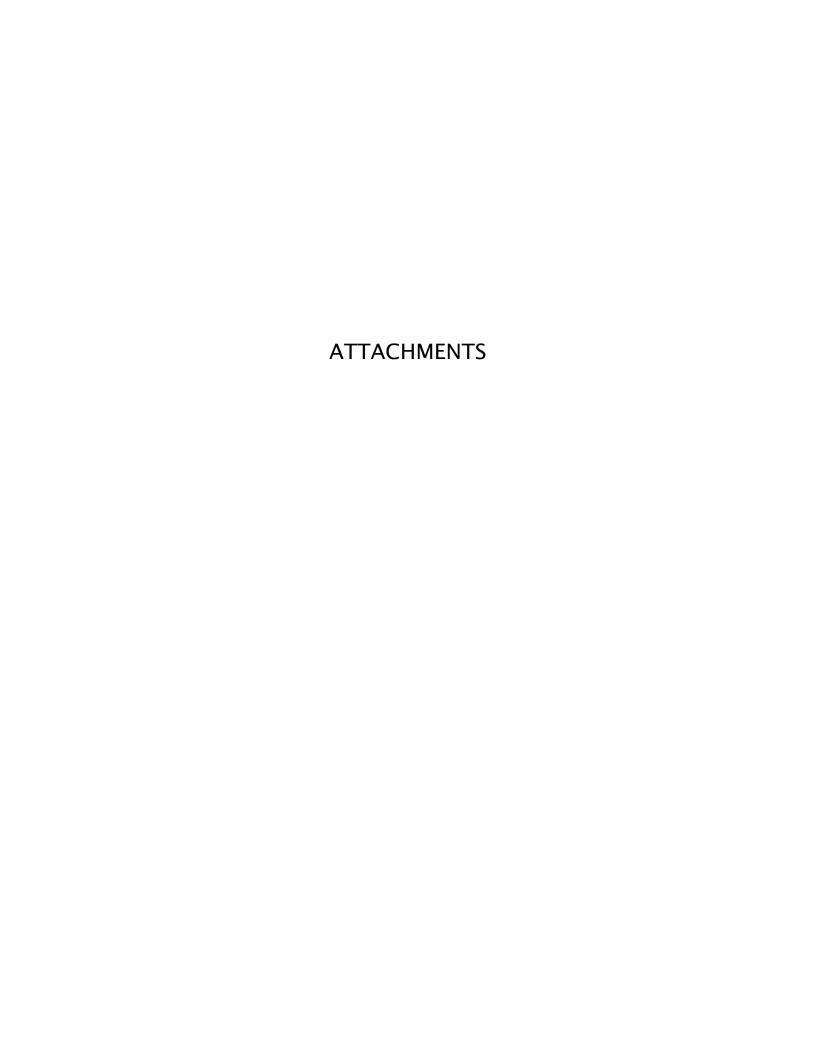
FLUCCS 641

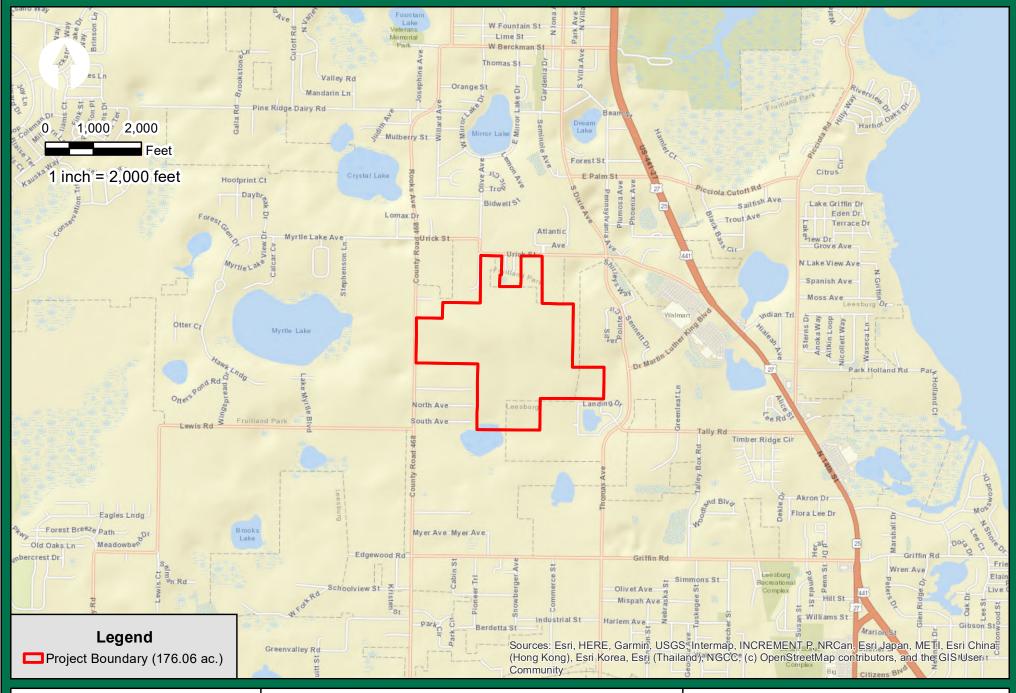
GOPHER TORTOISE BURROWS







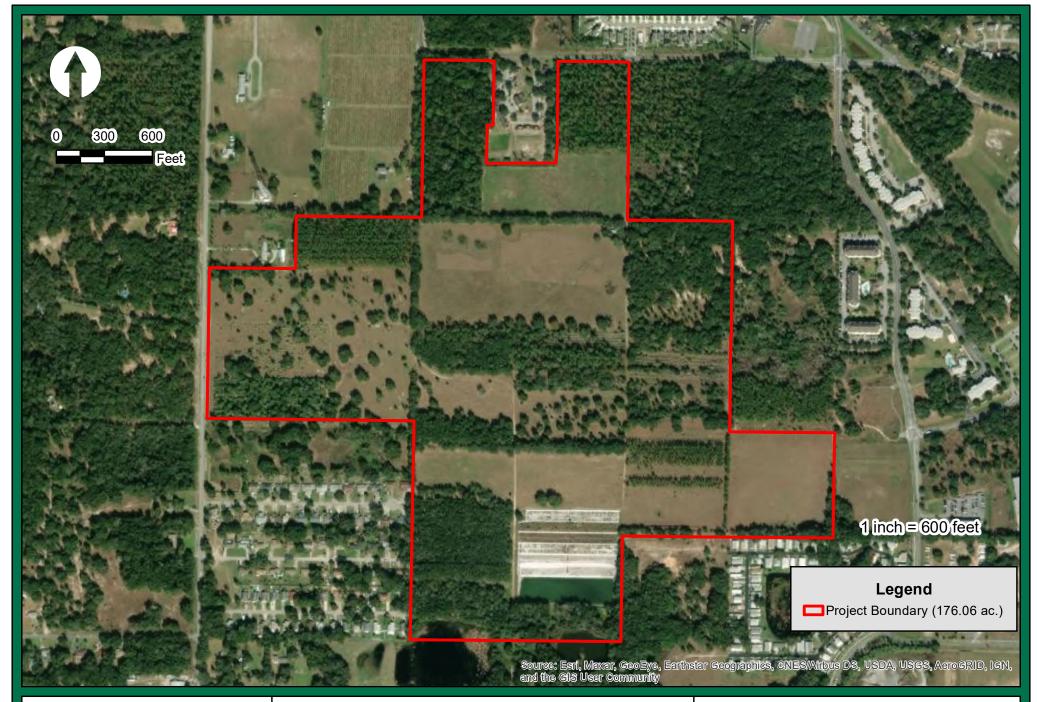






FLUCCS MAP

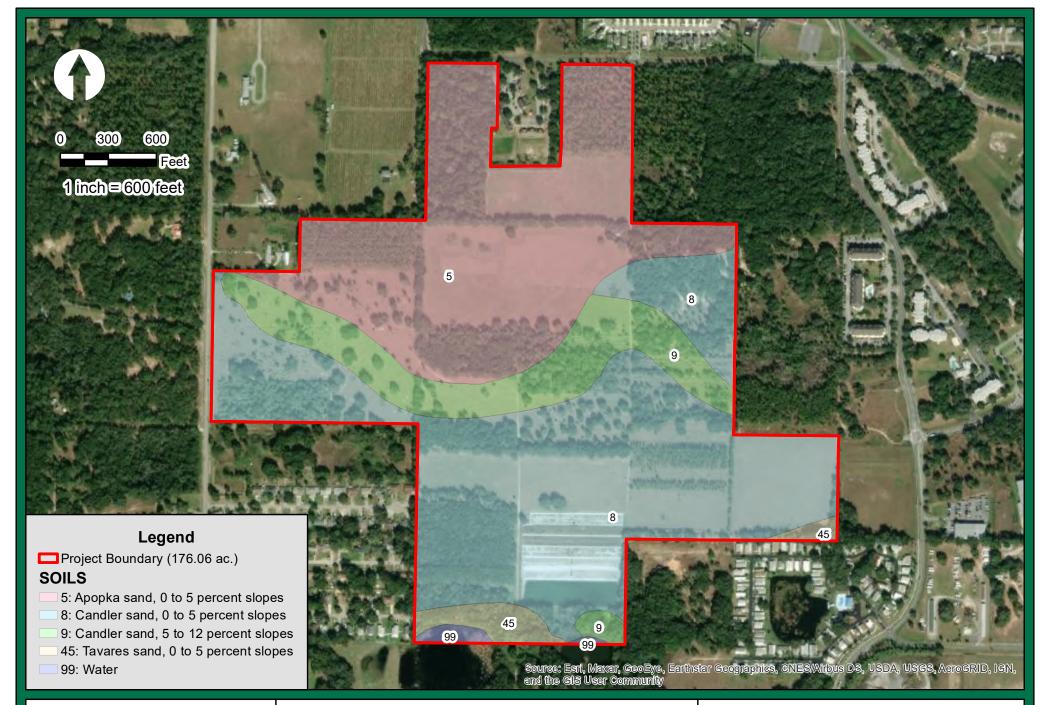
FRUITLAND PARK





AERIAL MAP

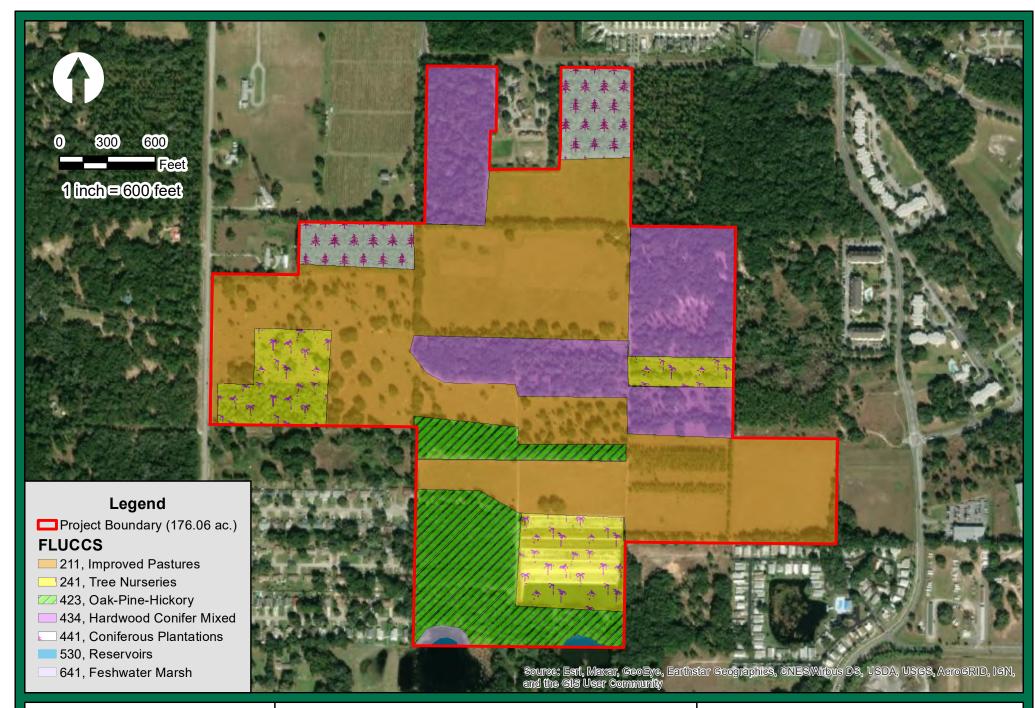
FRUITLAND PARK





SOILS MAP

FRUITLAND PARK





FLUCCS MAP

FRUITLAND PARK

GEOTECHNICAL ENGINEERING REPORT

155+/- Acres Fruitland Park – Holloway Property Southeast of CR 468 & Urick Street Fruitland Park, Lake County, FL February 17, 2021

Prepared for:

Michael McQuarrie, Land Development Manager

Park Square Homes 5200 Vineland Rd, Suite 200 Orlando, FL 32811



155+/- Acres Fruitland Park - Holloway Property February 17, 2021



EXECUTIVE SUMMARY

A Geotechnical exploration was performed for the proposed 155+/- Acres Fruitland Park – Holloway Property located on Southeast of CR 468 & Urick Street, Fruitland Park, Lake County, Florida. A site vicinity map is presented on **Drawing No. 1** of **Appendix A**.

Based on the filed explorations performed on site, which included a total of 32 Standard Penetration Test (SPT) borings advanced to depths of 15 feet below grade and 30 hand auger borings to 6 feet, the proposed site development, and our experience with general subsoil conditions and similar developments, the following summarized our main geotechnical recommendations:

- The encountered subsoil conditions consisted of very loose to very dense fine sand to fine sand with silt in the top 2 to 13.5 feet followed by a layer of loose to very dense silty fine sand to the explored depth of 15 feet. Borings B-14, B-15, B-16, B-17, and B-29 encountered loose to medium dense fine sand to fine sand with silt in the entire explored depth of 15 feet.
- The subsoil conditions are considered suitable to adequately support the anticipated residential buildings and structures on typical shallow foundations in the form of spread/strip footings and/or monolithic slab foundation supported on site soil or structural fill. Bearing pressure in the order of 2,000 to 3,000 psf are feasible with minimum footing width of 3 feet and minimum embedment depth of 3 feet assuming the 2 feet below the foundation level are compacted to 95% of modified Proctor Density. Total settlement is expected to be less than 1 inch. Detailed foundation design and construction recommendations are presented later in the report.
- The near surface soil in the majority of the project site consisted of clean fine sands to fine sand with silts, which are suitable as a subgrade material for conventional pavement sections. Generally, groundwater table was not encountered in the top 10 feet below the existing ground surface except in borings B-15 & B17, which encountered the groundwater at depths of 6.5 and 7 feet below the existing ground surface. We estimate that during the seasonal high ground water level to be below 10 feet of current grades, however, groundwater might be perched on top of the silty sand layer during the wet season, which typically runs from June through October. We expect the majority of the pavement areas satisfy the requirement of having a minimum distance of 2 feet below the pavement section to the estimated seasonal high groundwater level. Typical pavement sections are provided later in the report.
- Around the area of exiting stormwater pond, groundwater table was not encountered in the top 10 feet. It should be noted that the existing pond had standing water, which is possibly due to the use of liner at the pond's bottom. We anticipated perched groundwater levels during normal wet seasonal, with seasonal high groundwater table to be about 5 feet below the exiting ground surface. Based on the field permeability tests performed, the shallow clean fine sand to fine sand with silt has vertical permeability rate of about 20 feet/day. Stormwater design parameters are presented later in the report.

This report shall be read in its entirety so that the recommendations presented herein are fully understood and properly implemented in the project geotechnical design.

155+/- Acres Fruitland Park - Holloway Property February 17, 2021



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ATTACHMENTS

Drawing No. 1	Topographic Vicinity Map
Drawing No. 2	USDA Soils Map
Drawing No. 3	Boring Location Plan
Attachment No. 1	Borings Logs
Attachment No. 2	General Notes
Attachment No. 3	Field Permeability Test Results

155+/- Acres Fruitland Park - Holloway Property February 17, 2021



1.0 PROJECT INFORMATION

The proposed proposed 155+/- Acres Fruitland Park - Holloway Property located on Southeast of CR 468 & Urick Street, Fruitland Park, Lake County, Florida. A site vicinity map is presented on Drawing No. 1 of Attachments. We understand current site grade in the vicinity of this project are approximately at elevation about +75 to +140 feet NGVD.

We were provided with conceptual site plan. The project site is about 155 acres. The site development will include single family homes with the associated roadway and stormwater management area. The outparcels, commercial, and institutional portions are not included in this scope.

2.0 PURPOSE

The purpose of our services on this project is to explore the shallow subsurface in order to provide geotechnical engineering recommendations for:

- Subsurface soil conditions
- Groundwater conditions
- Earthwork and excavation
- Foundation design and construction
- Floor slab design and construction
- Pavement design and construction
- Stormwater management system design parameters

3.0 FIELD EXPLORATION

The subsurface conditions at the site were explored with 62 test borings, thirty-two (32) SPT borings advanced to depths of 15 feet below grade and thirty (30) hand auger borings to 6 feet below grade at the approximate locations shown on Drawing No. 3 of Attachments. The boring locations were marked and identified in the field using a GPS unit.

It should be noted that 2 borings were drilled to depth of 15 feet around the perimeter of the existing pond to evaluate the area of the proposed stormwater pond. Two field permeability tests were conducted at these locations. Results of constant head field permeability is provided in Attachment No. 3 and the stormwater design parameters are presented later in the report.

Thirty-two (32) Standard Penetration Test Borings (SPT) were drilled to depths of 15 feet below the existing ground surface with a truck-mounted drill rig utilizing the rotary wash method. Samples of the subsurface materials were recovered at two foot intervals within the upper 10 feet of the boring and at roughly five-foot intervals thereafter using a Standard Penetration Test split-spoon sampler (SPT) in substantial accordance with ASTM D-1586, "Standard Test Method for Standard Penetration Test and Split-Barrel Sampling of Soils." This test procedure drives a 1.4-inch I.D. split-tube sampler into the subsurface profile using a 140-pound hammer falling 30 inches. The number of blows required to drive the sampler the second and third six-inch increments is the SPT N-value, in blows per foot, and is an indication of material strength. Upon completion of the borings, the boreholes were backfilled to the ground surface with soil cuttings.

155+/- Acres Fruitland Park - Holloway Property February 17, 2021



Thirty (30) hand auger borings were performed to depth of 6 feet below the existing ground surface. The hand auger boring procedure consisted of manually turning a 3-inch diameter, 6-inch long sampler into the soil until it was full. The sampler was then retrieved and the soils in the sampler were visually examined and classified. The procedure was repeated until the desired termination depth was achieved. Samples of representative strata were obtained for further visually examination and classification in our laboratory.

The soil samples recovered from the borings were classified by a geotechnical engineer. The collected samples were later re-examined to confirm field classifications. Visual soil classifications were made in accordance with ASTM D2487 and ASTM D2488. Condition encountered at each boring location are indicated on the individual boring logs shown in Attachment No. 1 of Appendix A. Strata contacts shown on these boring logs are approximate. The boring data reflects conditions at the specific test location only, and at the time the borings were drilled.

4.0 LOCAL GEOLOGY

The geology of Lake County can be broadly divided into six geologic formations on or near the surface. From the oldest and deepest formation of Eocene age to the youngest formation of Pleistocene-Recent age (the Crystal River, the Suwannee Limestone, the Hawthorn, the Fort Preston, the Fort Thompson, and Ocala Limestone). Recently deposited sandy and clayey marine terraces cover these formations, except in a few small areas where erosion has exposed the older strata.

The Crystal River Formation, a hard, cavernous, and porous limestone, is the only formation that underlies the entire county. This formation is not exposed any place in the county. The Suwannee Limestone overlies the Crystal River Formation. The only exposure in the county is at the bottom of the Palatlakaha River near State Highway 48. There may be other exposures in the southwestern part of the county. The formation is so deeply buried by the sandy deposits that it has had little effect on soil formation. The Hawthorn Formation consists of interbedded sand, clay, marl, limestone, fuller's earth, and phosphate. Land pebble phosphate, old oyster shells, manatee ribs, and many different shell fragments are scattered over the land surface 1 mile southwest of Howey-In-The-Hills. Phosphatic material is exposed along the sides and bottoms of some of the nearby sinks. The recently deposited sand is so thick. The Fort Preston Formation underlies approximately 54 percent of the county. The sediments are poorly sorted quartz grains in a clay matrix. It ranges in size from very fine sand to pebbles. The clay fraction is predominantly kaolin. The Fort Thompson Formation, just north and east of Lake Apopka, underlies about 3 percent of the county. This formation consists of both fresh and marine deposits that were laid down during several oscillations of the sea. Most of this area is capped with fibrous organic material. The Ocala Limestone Formation underlies the entire county. Tis formation is as much as 98 percent carbonates. Water moved downward through the blanket of sand that overlies the Ocala Formation. The water dissolved and removed much of the carbonate material and created many caverns of various sizes and shapes. The collapse of these caverns created the many fine lakes in the county.

GENERAL POTENTIAL FOR SINKHOLE DEVELOPMENT 5.0

Sinkhole development occurs in Florida and varies geographically from areas with almost no potential or a very low potential to areas with a high potential where sinkholes occur frequently. The subject property is approximately in Area III on the United States Geological Survey map entitled "Sinkhole Type, Development, and Distribution in Florida".

155+/- Acres Fruitland Park - Holloway Property February 17, 2021



Area III typically has soil cover between 30 and 200 feet thick that consists of mainly cohesive clayey sediments of low permeability. Sinkholes are most numerous, of varying size, and develop abruptly. Cover-collapse sinkholes dominate in Area III.

During our limited shallow explorations, we did not encounter traditional signs associated with potential sinkhole development including abnormal downward pore water pressure gradients, obvious raveled zones, surface depressions, etc. However, this evaluation was not planned to specifically address sinkhole potential.

It should be noted that there were five recorded sinkholes within one-mile radius of the project site based on Subsidence Incident Reports (SIRs) data map by Florida Department of Environmental Protection. The recorded sinkholes were all located to the south (southeast and southwest) of the project site with size ranging from 4 to 8 feet in depth and 2 to 15 feet in width.

If the sinkhole potential of the site is to be evaluated, additional site-specific data must be obtained. This might include using geophysical methods such as Electrical Resistivity tests and additional geotechnical tests such as Cone Penetrometer Test (CPT) soundings, and/or more/deeper Standard Penetration Test borings. Interpretation of the test data should be done by a professional geologist/engineer familiar with the use of these tests under local conditions. However, it should be noted that even if indicators of sinkhole activity are found, it is impossible to predict if, when or precisely where a sinkhole may occur. If requested, NV5 can assist in assessing the sinkhole potential of the location of the proposed construction.

6.0 SOIL AND GROUNDWATER CONDITONS

6.1 SOIL SURVEY

The USDA Soil Survey of Lake County, Florida, as shown on Drawing No. 2, was reviewed for a general description of the near-surface soil types that may be anticipated at the site. It should be noted that the Soil Survey is not intended as a substitute for site-specific geotechnical exploration; rather it is a useful tool in planning a project scope in that it provides information on soil types likely to be encountered. The major shallow subsurface profile at the project site is represented in the following:

- 5 Apopka sand, 0 to 5% slopes: The parent material consists of eolian deposits and/or sandy and loamy marine deposits. Depth to a root-restrictive layer is greater than 80 inches. The natural drainage class is well drained. Capacity of the most limiting layer to transmit water is moderately high to high. Available water capacity is very low. This soil is not flooded. It is not ponded. Depth to water table is more than 80 inches.
- 8 Candler sand, 0 to 5% slopes: The parent material consists of eolian deposits and/or sandy and loamy marine deposits. Depth to a root-restrictive layer is greater than 80 inches. The natural drainage class is excessively drained. Capacity of the most limiting layer to transmit water is high to very high. Available water capacity is very low. This soil is not flooded. It is not ponded. Depth to water table is more than 80 inches.
- 9 Candler sand, 5 to 12% slopes: The parent material consists of eolian deposits and/or sandy and loamy marine deposits. Depth to a root-restrictive layer is greater than 80 inches. The natural drainage class is excessively drained. Capacity of the most limiting layer to transmit water is high to very high. Available water capacity is very low. This soil is not flooded. It is not ponded. Depth to water table is more than 80 inches.

155+/- Acres Fruitland Park - Holloway Property February 17, 2021



45 - Tavares sand, 0 to 5% slopes: The parent material consists of eolian or sandy marine deposits. Depth to a root-restrictive layer is greater than 80 inches. The natural drainage class is moderately well drained. Capacity of the most limiting layer to transmit water is high to very high. Available water capacity is very low. This soil is not flooded. It is not ponded. Depth to water table is about 42 to 72 inches.

6.2 SUBSURFACE CONDITIONS

Based on the results of the SPT borings and hand augers, the encountered subsoil conditions consisted of very loose to very dense fine sand to fine sand with silt in the top 2 to 13.5 feet followed by a layer of loose to very dense silty fine sand to the explored depth of 15 feet. Borings B-14, B-15, B-16, B-17, and B-29 encountered loose to medium dense fine sand to fine sand with silt in the entire explored depth of 15 feet.

Conditions encountered at each boring location are indicated on the individual boring logs shown in Attachment No. 1. Stratification boundaries on the boring logs represent the approximate location of changes in native soil types; in situ, the transition between materials may be gradual.

6.3 **GROUNDWATER**

The borings were observed during drilling for the presence and level of groundwater. Generally, groundwater table was not encountered in the top 10 feet below the existing ground surface except in two borings (B-15 & B17) which encountered the groundwater at depths of 6.5 and 7 feet below the existing ground surface. We estimate that during the seasonal high ground water level to be below 10 feet of current grades, however, groundwater might be perched on top of the silty sand layer during the wet season, which typically runs from June through October.

Around the area of proposed stormwater pond, groundwater table was not encountered in the top 10 feet. We anticipated perched groundwater levels during normal wet seasonal, with seasonal high groundwater table to be about 5 feet below the exiting ground surface.

It should be recognized that fluctuations of the groundwater table will occur due to seasonal variations in the amount of rainfall, runoff and other factors not evident at the time the boring was performed. Therefore, groundwater levels during construction or at other times in the future may be higher or lower than the levels indicated on the boring logs.

Our estimates of the seasonal groundwater conditions are based on the USDA Soil Survey, the encountered soil types and groundwater and do not represent the temporary rise in water table occurs immediately following a storm events.

CONCLUSIONS AND RECOMMENDATIONS 7.0

The following conclusions and recommendations are based on the project characteristics previously described, the data obtained from our field explorations, and our experience with similar subsurface conditions and construction types. If subsurface conditions different from those disclosed by the borings are encountered during construction, we should be notified immediately so that we might review the following recommendations in light of such changes.

155+/- Acres Fruitland Park - Holloway Property February 17, 2021



7.1 **FOUNDATIONS**

We anticipated the building would be wood frame and stucco block. In our opinion, the proposed building can be supported by shallow foundation system in the form of spread/strip footings and/or monolithic slab foundation, bearing on native soil or newly placed fill extending to native soil. Assuming the site is prepared as recommended in Earthwork section of this report. Design recommendations for shallow foundations for the proposed townhouses are presented below:

- For shallow spread footings: we recommend to use a net allowable bearing pressure of 3,000 psf to size the column footings. Footings should be embedded to a minimum of 30 inches below lowest adjacent grades and should be at least 30 inches wide.
- For shallow strip/wall footings: we recommend to use a net allowable bearing pressure of 2,500 psf to size the strip/wall footings. Footings should be embedded to a minimum of 30 inches below lowest adjacent grades and should be at least 24 inches wide.
- For monolithic slab foundation: we recommend to use a net allowable bearing pressure of 2,000 psf to size the edge beams of the monolithic slab foundation. The edge beams should be embedded to a minimum of 18 inches below lowest adjacent grades and should be at least 12 inches wide.
- Total settlement of recommended shallow foundations is expected to be less than 1 inch. Differential settlement is expected to be less than ½ inch between column footing, less than ½ inch over 40 feet for strip footing, and less than ½ inch over 40 feet for monolithic slab foundation.
- Footing subgrade soils should be approved by the geotechnical engineer or his representative prior to placement of concrete and steel. As a minimum acceptance criterion, the footing subgrade soils should be compacted to a minimum density of 95% of the soils modified Proctor maximum dry density to a depth of 24 inches under foundation
- A minimum of one field density to a minimum depth of 1 foot below the footing subgrade per column footing and per 50 linear feet for wall and monolithic slab foundation should be performed.
- The base of all foundation excavations should be free of water and loose soil prior to placing concrete. Concrete should be placed soon after excavating to reduce bearing soil disturbance. Should the soils at bearing level become excessively dry, disturbed or saturated, the affected soil should be moisture conditioned and re-compacted or removed prior to placing concrete. Place a lean concrete mud-mat over the bearing soils if the excavations must remain open over night or for an extended period of time. It is recommended that the geotechnical engineer be retained to observe and test the soil foundation bearing materials.
- NV5 anticipates hand-operated compaction equipment will be utilized, as necessary, in footing cuts, following any mass grading. If unsuitable bearing soils are encountered in footing excavations, the excavation should be extended deeper to suitable soils and the footing could bear directly on these soils at the lower level or on suitable backfill placed in the excavations. Over-excavation for compacted backfill placement below footings should extend laterally beyond all edges of the footings. The over-excavation should then be backfilled up to the footing base elevation per the preceding general earthwork specifications, using hand operated compaction equipment in footing cuts.

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7.2 **GROUND FLOOR SLABS**

Ground floor slabs may be supported on grade or engineered fill. Slab subgrades should be properly prepared as recommended above under Site Preparation and Grading and Drainage.

Slabs on grade may be designed using a modulus of subgrade reaction of 125 pounds per cubic inch (pci). Slabs should be reinforced for the loads that they will sustain and construction joints should be provided at frequent intervals.

Slabs in contact with soil are subject to movement of moisture from the soil upward through the slab. To prevent such moisture vapor transmission, a moisture barrier should be placed on the slab subgrade, and should be protected from damage during construction. Construction joints should be provided with water stops in any permanently submerged areas.

7.3 **EARTHWORK**

7.3.1 **Site Preparation**

Geotechnical site preparation for construction should consist of removal of all existing structures, foundations, pavements, underground utilities, landscape, and other deleterious materials within proposed building and pavement footprints. Any voids created by the removal of these deleterious materials should be properly backfilled as described in the paragraphs below.

After preparation as described above, areas for structures that will have slabs on grade or pavements should be proof rolled with a heavy roller (with vibrator turned off) or loaded truck. The proof rolling should be observed by the geotechnical engineer to identify and mitigate any weak subgrade conditions evidenced by yielding or rutting at the wheels of the roller or truck.

The site preparation recommended above should include the planned structure and pavement footprints plus a five-foot perimeter.

7.3.2 Fill Material and compaction requirements

In general, fill soils should consist of either inorganic, non-plastic sand having less than 12% material passing the No. 200 sieve. In particular, fill soils placed within the upper 12 inches of the subgrade of building grade slabs on grade should consist of either sand with less than 10% passing the number 200 sieve.

Based on our boring data the near-surface sand should satisfy the fill criteria, but might require localized sorting and moisture-conditioning prior to re-use. In any event, representative samples of the fill soils should be collected for classification and compaction testing. The maximum dry density, optimum moisture content, gradation, and plasticity should be determined. These tests are needed for quality control of the compacted fill.

Fill soils should be placed with loose lift thicknesses of not more than 12 inches, moisture-conditioned to within two (2) percent of the optimum moisture content based on ASTM D-1557, and compacted to a minimum of 95 percent relative compaction. One test should be performed for each 2,500 square feet of fill area per lift of fill soils. If during the compaction process fill shows evidence of yielding under the weight of the roller, it should be scarified and re-compacted, or removed and replaced with fill described above.

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The vibrations produced by the operation of the compactor should be monitored for potential adverse effect on adjacent existing structures, pavements, and utilities. If nearby structures will be affected by the vibration of the compactor, the compaction procedure may require modification as approved by the geotechnical engineer.

7.3.3 **Grading and Drainage**

Final surrounding grades should be sloped away from the structure on all sides to prevent ponding of water. Roof drainage should discharge to the stormwater system or a minimum of 10 feet beyond the footprint of the proposed structures where there are pervious surfaces. Site grades should be set considering the estimated seasonal high groundwater.

7.3.4 **Earthwork Construction Consideration**

Construction traffic over the completed subgrade should be avoided to the extent practical. The site should also be graded to prevent ponding of surface water on the prepared subgrades or in excavations. If the subgrade should become desiccated, saturated, or disturbed, the affected material should be removed or these materials should be scarified, moisture conditioned, and re-compacted prior to floor slab and pavement construction.

Installation of landscape drains should be considered around the back sides of curbs to collect and control landscape irrigation and other water entering through landscaping from entering the sides of the pavement sections, reducing the potential for water-related damage. Landscape drains should be routed to the stormwater collection or other positive outfall, away from the pavement.

The geotechnical engineer should be retained during the construction phase of the project to observe earthwork and to perform necessary tests and observations during subgrade preparation; proof-rolling; placement and compaction of controlled compacted fills; backfilling of excavations into the completed subgrade, and just prior to construction of building floor slabs.

7.4 LATERAL EARTH PRESSURES

Backfill materials against walls should be sands with less than 12 percent fines passing the U.S. Standard No. 200 Sieve. For this backfill material, we recommend the following design parameters:

Material:	Sand
Friction Angle (φ):	30°
Active Earth Pressure Coefficient:	0.33
Passive Earth Pressure Coefficient:	3.0
At-rest Earth Pressure Coefficient:	0.5
Moist Unit Weight (γm):	115 pcf
Saturated Unit Weight (γsat):	120 pcf
Footing Base Coefficient of Friction:	0.4

If walls are provided with adequate drainage, the moist unit weight (γ_m) may be used in calculations. For portions of the walls below the groundwater table or where hydrostatic pressures can build up

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should be analyzed using effective unit weights (y_{sat} - y_{water}); however, hydrostatic pressures must then be added to the load on the wall.

For uniform surcharge loads, the additional pressure on the wall may be calculated using 0.5 times the surcharge pressure for braced walls and 0.33 times the surcharge pressure for unbraced walls. Lateral earth pressures from point loads and line loads bearing closer than a distance equal to the wall height from the wall should be analyzed on a case by case basis once loads are identified.

7.5 **EXCAVATION AND DEWATERING**

Groundwater levels were not encountered in the drilled boreholes in the top 10 feet. While groundwater is not expected to have a significant impact on shallow foundation excavations, some utility excavations may require dewatering to facilitate installation depending on the utility invert elevations and the time of year of construction. Localized dewatering, if required, may be achieved with pumps and sumps. Dewatering for deeper excavations including installation of utility systems and appurtenances for storm drains and sewer lines might require well points around those excavations. All dewatering and subsequent effluent discharge should meet the requirements of the local jurisdictional agencies

During dewatering the adjacent properties must be monitored for adverse impacts from dewatering drawdown. The dewatering subcontractor should submit a proposed design for dewatering operations to the owner for review and approval prior to commencing work.

Shallow excavations into the near-surface materials will likely stand vertical for short periods of time only. The excavation sides will unravel over time as they are exposed to weather and construction traffic. Deeper excavations, especially those that extend below the groundwater table, as well as excavations that will remain open for longer periods of time will require support in the form of temporary shoring or sliding trench boxes to prevent instability of excavation walls and to protect workers from injury. All excavations should comply with Occupational Safety and Health Administration (OSHA) design and safety requirements. Shoring designs should be signed and sealed by a Floridalicensed professional engineer, and should be provided for the Owner's review.

7.6 **PAVEMENT**

The near surface soil in the majority of the project site consisted of clean fine sands to fine sand with silts, which are suitable as a subgrade material for conventional pavement sections. Generally, groundwater table was not encountered in the top 10 feet below the existing ground surface except in two borings (B-15 & B17) which encountered the groundwater at depths of 6.5 and 7 feet below the existing ground surface. We estimate that during the seasonal high ground water level to be below 10 feet of current grades, however, groundwater might be perched on top of the silty sand layer during the wet season, which typically runs from June through October. We expect the majority of the pavement areas satisfy the requirement of having a minimum distance of 2 feet below the pavement section to the estimated seasonal high groundwater level.

Traffic loads are not given yet, but are anticipated to consist mostly of passenger cars, light pick-up trucks, and occasional large trash collection trucks. Based on the above information and assumptions, the minimum recommend pavement sections are as follows:

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7.6.1 Light Duty- Passenger Cars Only

- 1.5 inches of asphaltic concrete structural course according to FDOT Specifications Section 330, 331 (Marshall).
- 6 inches of limerock base compacted to at least 98 percent of the Modified Proctor maximum dry density (AASHTO T-180 or ASTM D-1557). Limerock base courses should be mined from a Florida Department of Transportation (FDOT) approved source, should have a minimum LBR value of 100.
- 12 inches of compacted natural subgrade stabilized to a minimum Limerock Bearing Ratio (LBR; Florida Method of Test Designation FM 5-515) value of 40. Stabilization of the subbase should be accomplished using coarse aggregate as well-graded crushed concrete or FDOT-approved limerock stabilization material. The subgrade should be compacted to at least 95 percent of the Modified Proctor maximum dry density (AASHTO T-180 or ASTM D-1557).

7.6.2 Heavy Duty Driveways and Areas Accessed by Truck Traffic

- 2 inches of asphaltic concrete structural course according to FDOT Specifications Section 330, 331 (Marshall).
- 8 inches of limerock base compacted to at least 98 percent of the Modified Proctor maximum dry density (AASHTO T-180 or ASTM D-1557). Limerock base courses should be mined from a Florida Department of Transportation (FDOT) approved source, should have a minimum LBR value of 100.
- 12 inches of compacted natural subgrade stabilized to a minimum Limerock Bearing Ratio (LBR; Florida Method of Test Designation FM 5-515) value of 40. Stabilization of the subbase should be accomplished using coarse aggregate as well-graded crushed concrete or FDOT-approved limerock stabilization material. The subgrade should be compacted to at least 95 percent of the Modified Proctor maximum dry density (AASHTO T-180 or ASTM D-1557).

7.7 SEISMIC CONSIDERATIONS

The 2014 Florida Building Code (effective June 30, 2015) now requires the geotechnical engineer to provide a Seismic Site Classification. Based on the explored profiles at the building boring locations. we do not believe it is a reasonably conservative assumption that the unexplored depths beyond boring termination and extending to a depth of 100 feet would support consideration of site classification D. Therefore, in lieu of additional, deeper exploration (i.e. deeper SPT borings, seismic CPT soundings) at these locations we recommend consideration of site classification E at these locations.

Seismic considerations will seldom control the structural design of buildings in Central Florida (as compared to wind loading conditions). If seismic considerations control the structural design, we can provide a proposal to perform additional services to measure shear wave velocity such as MASW (multichannel analysis of surface waves), ReMi testing (refraction microtremor), seismic cone penetrometer (SCPT) testing to see if the site classification improves.

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7.8 STORMWATER MANAGEMNT DESIGN

Around the area of exiting stormwater pond, groundwater table was not encountered in the top 10 feet. It should be noted that the existing pond has standing water, which is possibly due to the use of liner at the pond's bottom. We anticipated perched groundwater levels during normal wet seasonal, with seasonal high groundwater table to be about 5 feet below the exiting ground surface. Based on the field permeability tests performed, the shallow clean fine sand to fine sand with silt has vertical permeability rate of about 20 feet/day.

Based on the soil type from USDA soil maps, our site exploration, laboratory results, the table below presents our recommendations for the Stormwater design parameters for the proposed stormwater pond:

Parameter	Stormwater Area (PB-1 & PB-2)
Estimated depth to the confining layer	6 feet
Encountered depth to the groundwater table (GWT)	> 10 feet
Estimated depth to seasonal high water table (ESHWT)	5 feet
Measured average hydraulic conductivity	46 feet/day
Recommended vertical hydraulic conductivity	20 feet/day
Recommended horizontal hydraulic conductivity	30 feet/day
Recommended fillable porosity	30 percent

8.0 LIMITATIONS

This report has been prepared for the exclusive use of the Owner and other members of the design/construction team for the specific projects discussed in this report. This report has been prepared in accordance with generally accepted local geotechnical engineering practices; no other warranty is expressed or implied.

The evaluation and recommendations submitted in this report are based in part upon the data collected from the field exploration. The nature or extent of variations throughout the subsurface profile may not become evident until the time of construction. If variations then appear evident, it may be necessary to evaluate our recommendations as provided in this report. In the event changes are made in the nature, design or locations of the proposed project construction, the conclusions and recommendations contained in this report shall not be considered valid unless the changes are reviewed and conclusions modified or verified in writing by NV5.

The scope of services did not include any environmental assessment or investigation for the presence or absence of wetlands, chemically hazardous or toxic materials in the soil, surface water, groundwater or air, on or below or around the site.

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9.0 CLOSURE

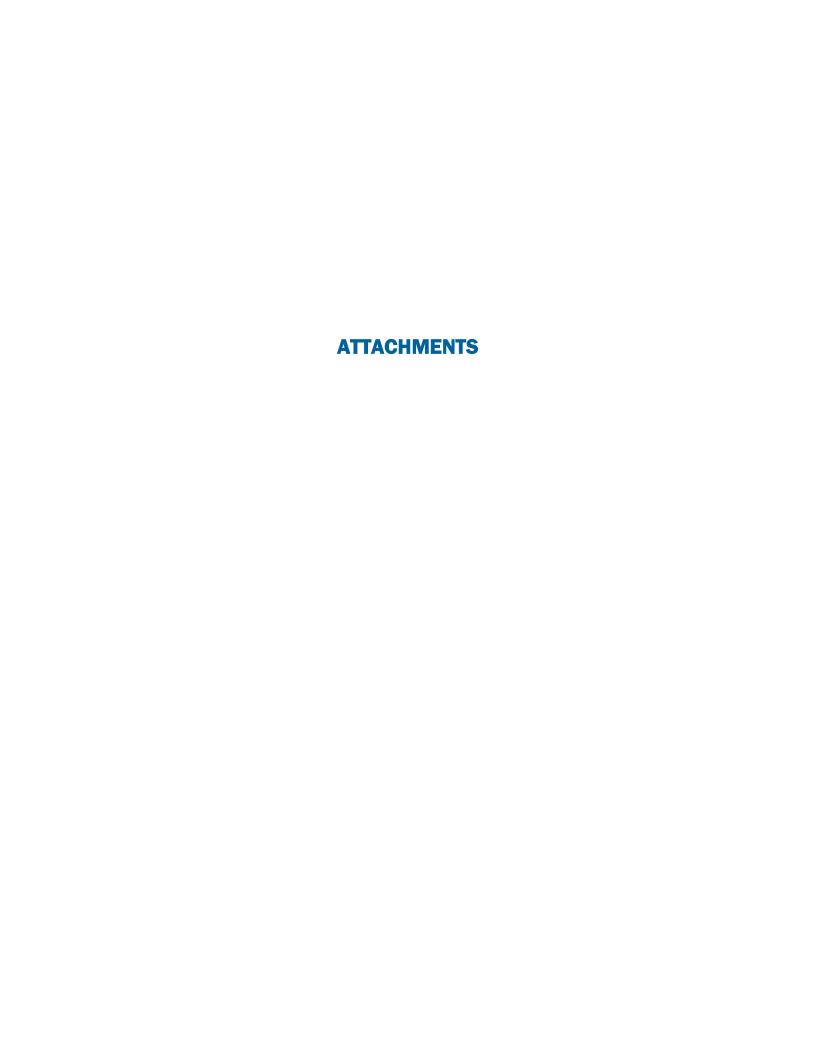
We appreciate the opportunity to provide geotechnical engineering services on this project. In the event that you have any questions concerning the contents of this report, or if we may be of further assistance, please do not hesitate to contact us.

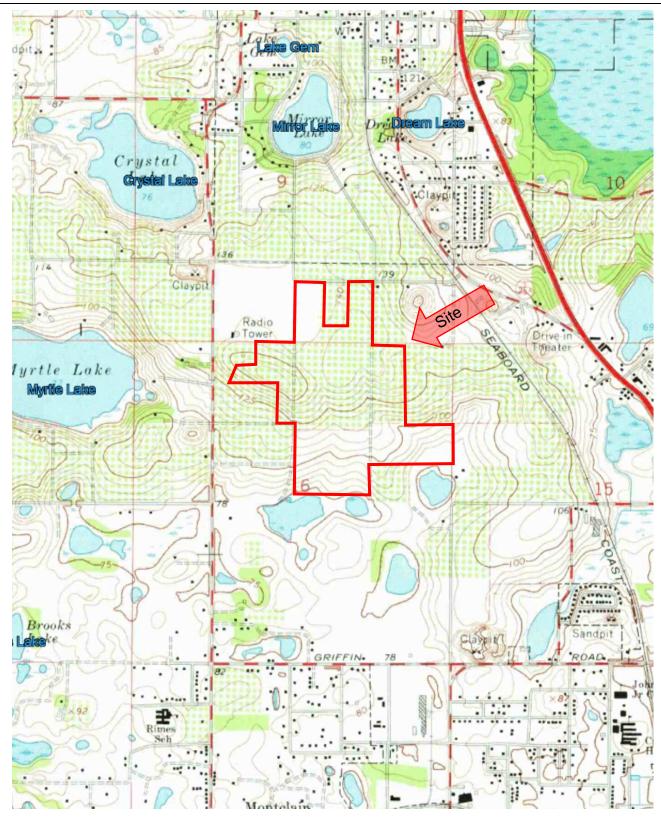
Sincerely,

NV5, Inc.

Mohamed Alrowaimi, Ph.D., P.E. Project Manager

Amr M. Sallam, Ph.D., P.E. Director CQA Services, Vice President Florida License No. 67578





Topographic map image courtesy of the U.S. Geological Survey Quadrangles include: Leesburg West, FL (1966)

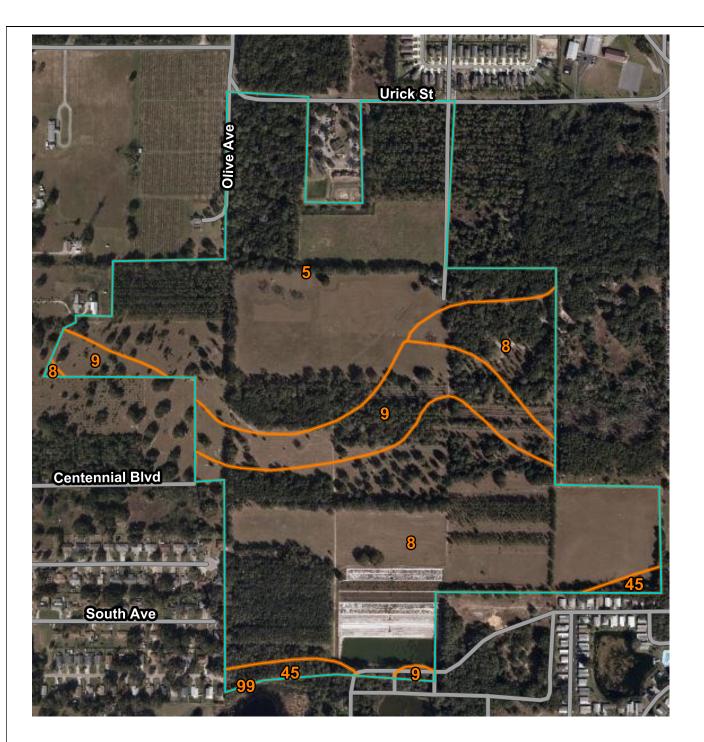
Project No.:	113620-000013700	NIVE
Designed By:	M.A.	NIVコ
Approved By:	A.M.S.	III V I U
Date:	02/17/2021	201 S. Bumby Avenue, Orlando, FL 32803
Scale:	NTS	P: 407.896.3317 F: 407.896.9167

TOPOGRAPHIC VICINITY MAP

Acres Fruitland Park Southeast of CR 468 & Urick Street Fruitland Park, Lake County, Florida

Drawing
No.

1





Soils Map Index - U.S.D.A. Soil Survey for Orange County, Florida

5—Apopka sand, 0 to 5 % slopes 8—Candler sand, 0 to 5% slopes 9—Candler sand, 5 to 12% slopes

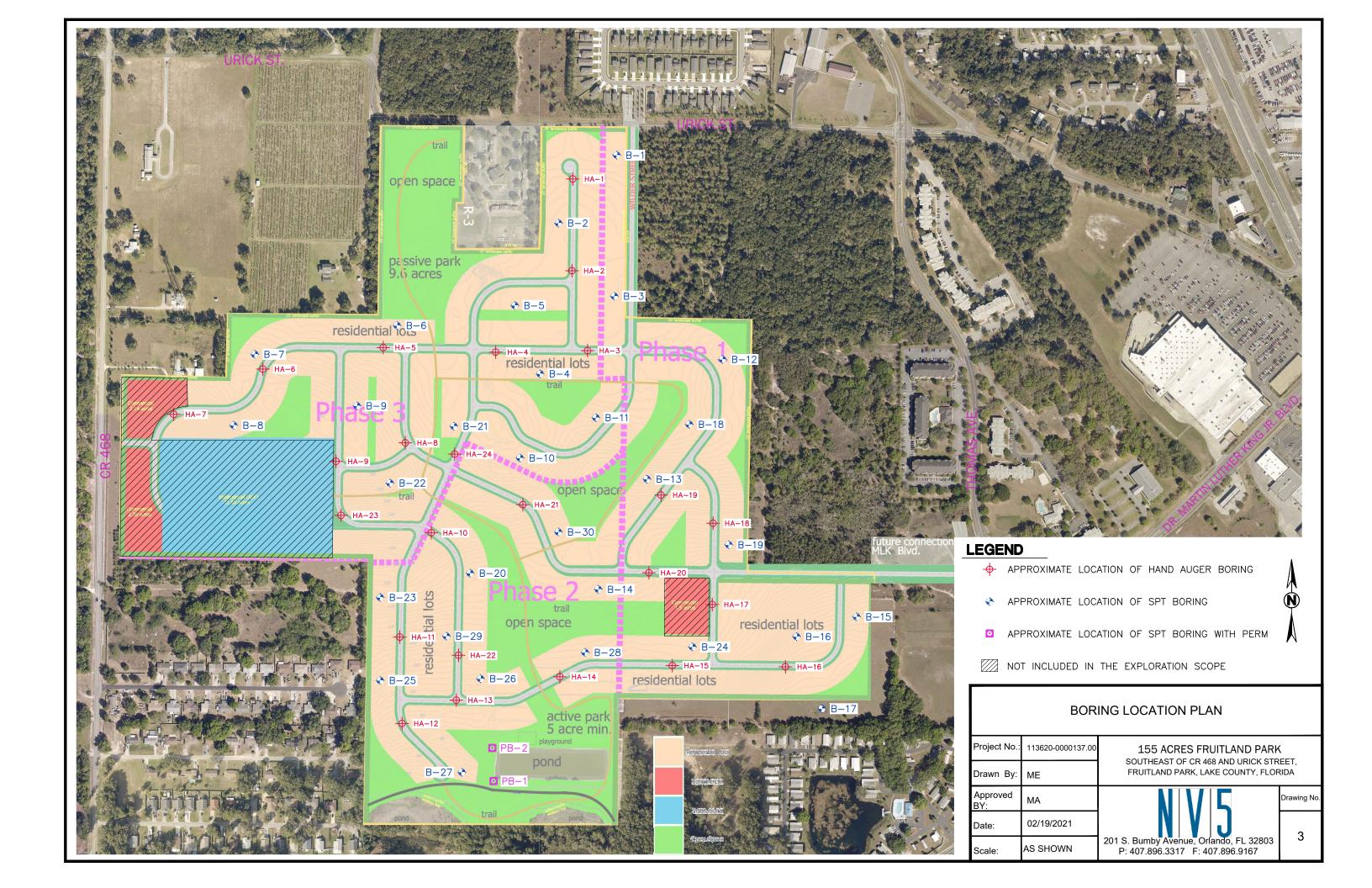
45—Tavares sand, 0 to 5% slopes

99—Water

Project No.:	113620-0000137.00	МИТ
Designed By:	M.A.	NIVI
Approved By:	A.M.S.	N V U
Date:	02/16/2021	201 S. Bumby Avenue, Orlando, FL 32803
Scale:	NTS	P: 407.896.3317 F: 407.896.9167

USDA SOILS MAP
Acres Fruitland Park
Southeast of CR 468 & Urick Street
Fruitland Park, Lake County, Florida

Drawing
No.



Attachment No. 1
Borings Logs



Date	Started: 1/7/2021 Completed: 1/7/2021							ject Number 520-0000137.00		Proj 155-acres Fru	Boring No. B-1				
۵		mer T			y	Drilli	ng Met	hod: Mud Rotary		Logged By: Integrity	Revie	ewed By: XZ			
La	titude	: 28.84	4556			Longi	tude: -	81.90829		Surface Elevation:	,				
										Location: See Drawing No. 3 fo					
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3 " O.D. 2.4" I.D. Ring Sample NR - No Recovery *- Uncorrected Blow Counts	Depth (ft) Hour				
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	- - - 5 _		SPT-	23-3-3- N=6	-4				SP	SA	ND (SP), brown, fine g	rained, loose to n	nedium d	ense
	-		SPT-	4 10-16-14 N=30	4-20 0 1	12	.20			6.0' SI	LTY SAND (SM), with to coarse grained, med	cementation, orange dium dense to ve	ngish-bro ry dense	wn, fine
	10		SPT-	6 ·· 28-27- N=52					SM	15.0'				



	Start	ted: 1/	11/2	2021				ject Number				oject		Boring No.
Date	Com	pleted	l: 1/	11/202	1		1136	20-0000137.00			155-acres Fi	ruitland Park		B-8
	Ham	mer T	урс	e: Safet	y	Drillin	g Metl	hod: Mud Rotary			Logged By: Integrity		Review	ed By: XZ
La	titude	e: 28.8	416	4		Longi	tude: -	81.91436		Surf	ace Elevation:			
						(%)					tion: See Drawing No. 3			
		50				tent	5. 200			Samp G - Bul	ole Type k / Grab Sample	Depth (ft)	Groundwa Hour	Date
vater	£.	al Lo	aken		Value	Col	lg N	Other Tests and Remarks	lass.	SPT - 2 MC - 3	k / Grab Sample 2" O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Deptii (it)	Hour	Date
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No.		USCS Class.	NR - N	o Recovery orrected Blow Counts			
D G		Gra	Sam	San	SP	Mo	I %		nso		V	isual Classificat	ion	
	0 _				2222					SA	AND (SP), brown, fine g	grained, loose		
	-			SPT-1	2-2-3-3 N=5				SP					
	-									2.0'	LTV.CAND.(CM):4		1 1	
	_			SPT- 2	7-6-5-5 N=11					511	LTY SAND (SM), with to coarse grained, me	edium dense to de	ngisn-brov nse	vn, fine
			N		11 11									
	_				7-6-6-6									
	5 _			SPT-3	N=12									
	-													
	-			SPT-4	27-24-22-2 N=46	24								
	_													
				SPT-5	9-13-16-1	.9			SM					
	10			51 1 5	N=23									
	10_		П											
	-													
	-													
	_													
			H		21-25-23	,								
				SPT- 6	N=48	,				15.0'				
	15—	<u>11. 1-11.1</u>			I		.1	I	L	13.0				



e.		ted: 1/		2021 /13/2021				ject Number 20-0000137.00			oject uitland Park		Boring No. B-9
Date		•		e: Safet		Drillin		nod: Mud Rotary		<u> </u>	uitialiu i ai k		
Lo	titude				y			31.91221		Logged By: Integrity Surface Elevation:		Reviewe	d By: XZ
Lä	lituae	20.0	9420	14			uue: -c	51.91221		Location: See Drawing No. 3	for haring location	n	
						nt (%	002			Sample Type	,	roundwate	er
er		Cog	E		lue	onte	No.	Other Tests	s.	G - Bulk / Grab Sample	Depth (ft)	Hour	Date
idwat (ff.)	(ft.)	ical]	Take	le ID	√-Va	ure C	sing	and Remarks	Clas	MC - 3 " O.D. 2.4" I.D. Ring Sample NR - No Recovery			
Groundwater Denth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200		USCS Class.	* - Uncorrected Blow Counts	isual Classificati	on	
	0 _			SPT1-	4-5-5-6 N=10	5				SAND (SP), brown, fine g	rained, loose to m	nedium dens	se
	-			SPT- 2	3-3-4-5 N=7								
	-		P						SP				
	5 _			SPT-3	5-6-6-7 N=12								
	_			SPT-4	7-8-11-1 N=19	0							
	_									8.0'			
	- 10_			SPT5	13-15-21- N=36	-20				SILTY SAND (SM), with to coarse grained, der	cementation, oran	igish-browr	n, fine
	-												
	_								SM				
	-			SPT- 6	50/3" N>50					15.0'			



	Start	ted: 1/	13/2	2021				ject Number				oject		Boring No.
Date	Com	pleted	l: 1/	13/2021	1		1136	20-0000137.00			155-acres Fi	ruitland Park		B-10
	Ham	mer T	ype	e: Safet	y	Drillin	g Metl	hod: Mud Rotary			Logged By: Integrity		Review	ved By: XZ
La	titud	e: 28.8	413	80		Longit	ude: -8	81.90976		Surfa	ace Elevation:			
						(%)					ion: See Drawing No. 3	, 		
		مح				itent	. 200			Samp G - Bull	le Type	Depth (ft)	Groundwa Hour	nter Date
vater	<u></u>	1 Lo	ıken	О	/alue	Cor	l g	Other Tests and Remarks	ass.	SPT - 2 MC - 3	k / Grab Sample " O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Depth (It)	поиг	Date
undv th (fi	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No.		USCS Class.	NR - No	Recovery orrected Blow Counts			
Groundwater Depth (ft.)		Gra	Sam	San	SPT	Moi	% P		OSO		V	Visual Classificati	on	
	0 _		$\overline{1}$							SA	ND (SP), light brown,	fine grained, loose	e to medii	ım dense
	-			SPT-1	4-5-5-4 N=10						, ,, c	2		
	_								SP.					
	_			SPT- 2	5-6-7-6									
					N=13					4.0'				
	-		Т		8-10-13-1	2					LTY SAND (SM), with	cementation, orar	ngish-bro	wn, fine
	5 _			SPT-3	N=23	÷					to coarse grained, me	edium dense to ver	y dense	
	-													
	_			SPT-4	15-18-20-2 N=38	27								
					11 30									
					28-34-50/4	4"								
	-			SPT- 5	N>50	1.			SM	-				
	10_	111								-				
	-		$\cdot $											
	_		.											
	-		Ц											
	-			SPT- 6	50/3" N>50					-				
	15_									15.0'				



	Start	ted: 1/1	13/202					ject Number				oject		Boring No.
Date		pleted					1136	20-0000137.00			155-acres Fr	ruitland Park		B-11
	Ham	mer T	ype: S	ıfety	D	Prilling	g Metl	nod: Mud Rotary			Logged By: Integrity		Review	ed By: XZ
La	titud	e: 28.84	4172		L	ongitu	ude: -8	81.90831		Surf	ace Elevation:			
						(%)					tion: See Drawing No. 3			
		50				tent	. 20			Samp	ole Type		<u>Groundwa</u>	
ater		1 Log	ken		alue	Con	g Nc	Other Tests and Remarks	ass.	SPT - 2	lk / Grab Sample 2" O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Depth (ft)	Hour	Date
ndw h	Depth (ft.)	Graphical Log	Sample Taken	. }	SPI N-Value	Moisture Content (%)	% Passing No. 200	and Remarks	USCS Class.	NR - N	o Recovery corrected Blow Counts			
Groundwater	Dept	Grap	Samp	1 6	SFI	Mois	% Pa		OSC		V	isual Classificat	ion	
	0 _			7	1-4-5					SA	AND (SP), light brown,	fine grained, loos	e to mediu	m dense
	-		SP		i=8									
	_								SP					
	_		SP		5-6-7									
				IN:	≐12 · · ·					4.0'				
	5 _		SP		-13-12 =23					SI	LTY SAND (SM), with to coarse grained, me	cementation, ora edium dense to ve	ngish-brov ry dense	vn, fine
	-													
	-		SP)-24-22 =44	2								
	-													
	_		SP		50/3" >50									
	10_		: 						SM					
	_													
	-		· · · · ·											
	-													
	_		SP		0/3'	.								
	15			N:	>50					15.0'				



	Start	ted: 1/	14/2	2021				ject Number				oject		Boring No.
Date	Com	pleted	l: 1/	14/2021	1		1136	20-0000137.00			155-acres Fr	ruitland Park		B-12
	Ham	mer T	ур	e: Safet	y	Drillin	g Metl	hod: Mud Rotary			Logged By: Integrity		Reviev	ved By: XZ
La	titud	e: 28.8	427	9		Longit	ude: -8	81.90657		Surf	ace Elevation:			
						(%)					ion: See Drawing No. 3			
		مح				itent	. 200			Samp G - Bul	ole Type k / Grab Sample	Depth (ft)	Groundwa Hour	Date
vater	<u>.</u>	1 Lo	ıken	А	/alue	Cor	N S	Other Tests and Remarks	ass.	SPT - 2 MC - 3	k / Grab Sample " O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Depth (It)	Hour	Date
undv th (fi	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No.		USCS Class.	NR - N	o Recovery orrected Blow Counts			
Groundwater Depth (ft.)		Gra	Sam	San	SPT	Moi	% P		OSN		V	isual Classificati	on	
	0 _									SA	AND (SP), light brown, i	fine grained, loose	e	
	-			SPT-1	2-3-3-4 N=6						· / -	_		
	_								SP	-				
	_			SPT- 2	3-3-4-3 N=7									
			1		IN-7					4.0'				
	_		Γ		4-3-5-7	,				SI	LTY SAND (SM), with	cementation, ligh	t brown t	0
	5 _		A	SPT-3	N=8					-	orangish-brown, fine dense	to coarse grained	, loose to	very
	-		Ħ							+				
	-			SPT-4	8-12-18-2 N=30	22				-				
	_													
				SPT- 5	20-23-27-	29								
	10			-51-15	N=50				SM					
	10_													
	-													
	-													
	_													
			H		21 27 2									
	_			SPT- 6	N=51	4				15.01				
	15_	<u> 1-, 1-, 1-,</u>			l			l		15.0'				



	Start	ted: 1/	14/2	2021				ject Number				oject		Boring No.
Date	Com	pleted	l: 1/	14/2021	1		1136	20-0000137.00			155-acres Fi	ruitland Park		B-13
	Ham	mer T	урс	e: Safet	y	Drillin	g Metl	hod: Mud Rotary			Logged By: Integrity		Review	ved By: XZ
La	titud	e: 28.8	407	/2		Longit	ude: -8	81.90769		Surfa	ce Elevation:			
						(%)					ion: See Drawing No. 3			
		ad				itent	200			Samp G - Bulk	le Type	Depth (ft)	Groundwa Hour	Date
vater	<u>.</u>	1 Lo	ıken	О	/alue	Cor	N S	Other Tests and Remarks	ass.	SPT - 2 MC - 3	(/ Grab Sample " O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Depth (It)	Hour	Date
undv th (fi	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No.		USCS Class.	NR - No	Recovery prrected Blow Counts			
Groundwater Depth (ft.)		Gra	Sam	San	SPT	Moi	% P		OSO		V	isual Classificati	on	
	0 _									SA	ND (SP), light brown,	fine grained, very	loose to	loose
	-			SPT-1	1-1-2-2 N=3						, ,, ,			
	_								SP.					
				SPT- 2	2-2-3-3									
					N=5					4.0'				
	-		Τ		4-7-11-14	4					TY SAND (SM), light	orangish-gray to	orangish-	brown,
	5 _			SPT- 3	N=18	*				-	fine to coarse grained	d, medium dense to	o dense	
	-													
	_			SPT-4	13-16-21-2 N=37	26								
	_				1, 3,									
				CDT. 5	9-7-10-10	0								
	_			SPT- 5	N=17				SM					
	10_									-				
	-													
	_													
	-		\mathbb{H}											
	-			SPT-6	7-11-11 N=22	22	35			-				
	15_				<u> </u>					15.0'				



	Start	ted: 1/	14/2	2021			Pro	ject Number		Pro	ject		Boring No.
Date	Com	pleted	l: 1/	14/2021			1136	20-0000137.00			uitland Park		B-14
	Ham	mer T	урс	e: Safety	у	Drilli	ng Metl	hod: Mud Rotary		Logged By: Integrity		Reviewe	d By: XZ
Lat	itude	e: 28.8	393	80		Long	itude: -	81.90852		Surface Elevation:			
						8				Location: See Drawing No. 3	for boring locati	on.	
		20				tent	. 200			Sample Type		Groundwate	
Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	Passing No.	Other Tests and Remarks	USCS Class.	G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3 " O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Depth (ft)	Hour	Date
Dept	Depti	Grapl	Sampl	Samp	SPT	Mois	% Pa		nscs		isual Classifica	tion	
	-			SPT-1	2-3-2-2 N=5	2				SAND (SP), light brown to loose to loose	grayish-brown	, fine grained	l, very
	_			SPT- 2	2-2-2-3 N=4	3							
	5 _			SPT- 3	2-1-1-2 N=2	2			SP				
	_			SPT-4	3-4-5-0 N=9	5				- fine to coarse grained at 6	5' to 8'		
	- 10_			SPT- 5	5-7-6-5 N=13	5				SILTY SAND (SM), orang medium dense	gish-brown, fine	to coarse gr	ained,
	-								SM				
	-									13.5'			
	- 15 <u>-</u>			SPT- 6	N=15				SP	SAND (SP), light orangish medium dense	-brown, fine to	coarse grain	ed,



	Star	ted: 1/1	15/2	021				ject Number				ject		Boring No.
Date	Com	pleted	: 1/1	5/2021			1130	520-0000137.00			155-acres Fr	uitland Park		B-15
	Ham	mer T	ype	: Safety	7	Drilli	ng Met	hod: Mud Rotary		Lo	gged By: Integrity		Reviewe	ed By: XZ
La	titud	e: 28.83	3920	6		Long	itude: -	81.90414		Surface I	Elevation:			
						8					See Drawing No. 3			
		5.0				Moisture Content (%)	. 200			Sample T	ype ab Sample		<u>Groundwat</u>	
/ater		1 Lo	ıken	Ω	'alue	Cor	N S	Other Tests and Remarks	ass.	SPT - 2" O.D MC - 3 " O.D	ab Sample . 1.4" I.D. Tube Sample . 2.4" I.D. Ring Sample	Depth (ft) 6.5	Hour	Date
undw th (ft	th (fi	Graphical Log	Sample Taken	Sample ID	SPT N-Value	sture	% Passing No.		USCS Class.	NR - No Rec	overy ed Blow Counts			
Groundwater Depth (ft.)		Grap	Samp	Sam	SPT	Moi	% Pg		OSC		V	isual Classificat	ion	
	0 _			T	2-3-3-3	,				SAND	WITH SILT (SP-S	M), dark gray, fir	ne grained,	loose
	-		1	SPT- 1	N=6	·			SP-SM	•				
	-									2.0'	(GD)	<i>a</i>		
	_			SPT- 2	4-6-5-5 N=11						(SP), gray to brown ense	i, fine grained, lo	ose to med	ıum
			N		11-11									
			Π		5-4-4-5									
	5 –			SPT- 3	N=8	·								
Ţ	-													
-	-			SPT-4	4-3-3-5 N=6	5								
	_								SP					
			1	SPT-5	4-5-4-5	5								
	-			SF 13-	N=9									
	10_													
	-													
	-													
	_									13.5'			~ .	
	-		1	SPT- 6	···3-4-5 N=9				SP-SM		WITH SILT (SP-S)	M), light brown,	tine grained	d, loose
	15_	1:411								15.0'				

Notes: Boring terminated at depth of (15.0').

Boring latitude and longitude were approximated, not surveyed. Borehole backfilled with soil cuttings.



	Start	ted: 1/1	5/2021				ject Number			roject		Boring No.
Date	Com	pleted:	1/15/202	1		1136	20-0000137.00		155-acres	Fruitland Park		B-16
	Ham	mer Ty	pe: Safe	ty	Drillin	g Metl	hod: Mud Rotary		Logged By: Integrity	7	Reviewed	l By: XZ
La	titude	e: 28.8 3	902		Longit	tude: -	81.90545		Surface Elevation:			
					%				Location: See Drawing No.			
		50			ntent	5. 20			Sample Type G - Bulk / Grab Sample	Depth (ft)	roundwate Hour	Pate Date
vater t.)	£.	al Lo	aken	/alue	Cor	lg N	Other Tests and Remarks	lass.	G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3 " O.D. 2.4" I.D. Ring Sample	Deptii (it)	Hour	Date
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200		USCS Class.	NR - No Recovery * - Uncorrected Blow Counts			
Gro		Gra	Sam	SPJ	Мо	% F		nsc		Visual Classification	n	
	-		· SPT1	2-3-4-0 N=7	6				SAND (SP), grayish-bro to medium dense	wn to light brown, fi	ine grained	, loose
	-		SPT-2	4-5-7- N=12								
	5 _		SPT-3	4-6-5-: N=11								
	-		SPT-4	5-4-4-4 N=8				SP				
	_		SPT-5	3-3-4-3 N=7								
	10											
	15_		SPT- 6	···· 6-8-11 N=19					15.0'			



	Start	ed: 1/1	15/2	021				ject Number			ject		Boring No.
Date	Com	pleted	: 1/1	5/2021			1136	20-0000137.00		155-acres Fr	uitland Park		B-17
	Ham	mer T	ype:	Safety	7	Drillin	g Metl	od: Mud Rotary		Logged By: Integrity		Reviewe	ed By: XZ
La	titude	e: 28.83	3804	l .		Longi	tude: -8	31.90505		Surface Elevation:			
						8				Location: See Drawing No. 3	for boring location	on.	
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Depth (ft) 7 isual Classificat	Groundwat Hour	er Date
םכ	0 —	Ď	SS	Š	<u>N</u>	2	%		5	V	isuai Ciassificat	tion	
	_			SPT-1	3-4-4-6 N=8	5			. SP-SM.	SAND WITH SILT (SP-SI	M), dark gray, fii	ne grained,	loose
								grayish-brown, e	fine graine	d, very			
	5 _			SPT- 3	5-3-3-4 N=6	4							
Ā	-			SPT- 4	3-3-2-2 N=5	2			SP				
	10_			SPT- 5	3-2-2-2 N=4	2							
	-												
	-				3-3-3					13.5' SAND WITH SILT (SP-SI	M), light gravish	-brown, fin	e
	15_			SPT- 6	N=6				SP-SM	grained, loose	,, <u>U</u>		

Notes: Boring terminated at depth of (15.0').

Boring latitude and longitude were approximated, not surveyed. Borehole backfilled with soil cuttings.



	Start	ted: 1/	14/2	2021				ject Number				oject		Boring No.
Date	Com	pleted	: 1/	14/2021	1	_	1136	20-0000137.00			155-acres Fi	ruitland Park		B-18
I	Ham	mer T	ype	e: Safet	y	Drillin	g Metl	hod: Mud Rotary			Logged By: Integrity		Reviev	ved By: XZ
La	titude	e: 28.8	417	6		Longit	ude: -8	81.90686		Surf	ace Elevation:			
						(%)					ion: See Drawing No. 3			
		5.0				itent	. 200			Samp G - Bul	ole Type k / Grab Sample	Depth (ft)	Groundwa Hour	Date
vater	<u></u>	I Lo	ıken	D	/alue	Cor	N S	Other Tests and Remarks	ass.	SPT - 2 MC - 3	k / Grab Sample " O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Depth (It)	Hour	Date
undv th (fi	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No.		USCS Class.	NR - N	o Recovery orrected Blow Counts			
Groundwater Depth (ft.)		Gra	Sam	San	SPT	Moi	% P		OSO		V	isual Classificati	on	
	0 _		$\overline{1}$			1				SA	AND (SP), light brown to	o brown, fine grai	ned, loos	e
	-			SPT-1	2-2-3-3 N=5					. }	(<i>)</i> // C	, 2	,	
	_								SP					
	_		1	SPT- 2	3-3-2-2	:								
			N	5112	N=5					4.0'				
	_		П		2-3-4-7						LTY SAND (SM), with	cementation, orar	ngish-bro	wn, fine
	5 —	111	1	SPT-3	N=7						to coarse grained, loc	ose to very dense		
	-													
	_			SPT-4	10-13-16- N=29	21								
			1		11-29									
	_		Π		21-25-27-	31								
	-			SPT-5	N=52				SM	-				
	10_													
	_													
	_		:											
	-					[1				
	-			SPT- 6	18-26-20 N=46	0				-				
	15_		1		11-40					15.0'				



	Start	ed: 1/	15/2	2021					ect Number			ject		Boring No.
Date	Com	pleted	l: 1/	15/2021	[1	11362	20-0000137.00		155-acres Fr	uitland Park		B-19
	Ham	mer T	урс	e: Safety	y	Dril	lling	Meth	od: Mud Rotary		Logged By: Integrity		Reviewed	By: XZ
La	titude	e: 28.8	401	3		Lon	gitu	de: -8	1.90620		Surface Elevation:			
							<u>@</u>				Location: See Drawing No. 3	for boring location	on.	
		50					tent	. 200			Sample Type G - Bulk / Grab Sample		<u>Groundwater</u>	
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value		Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Depth (ft)	Hour	Date
Grou	Depti	Grapl	Sampl	Samp	SPT		Mois	% Pa		nscs		isual Classificat	tion	
	-	SPT-1 2-3 N SPT-2 3-4 N				3					SAND (SP), light brown to medium dense	brown, fine gra	ined, loose to	
	-	SPT-2 3-				3								
	5 _	5 — SPT-3 3-5 N=			3-5-6-4 N=11									
	-			SPT- 4	4-5-5-: N=10		3	. 4		SP				
	-	SP1-4			4-3-4-4 N=7	4								
	-													
	-										13.5'			
	15_			SPT- 6	7-11-1 N=24	3				SM	SILTY SAND (SM), orang dense	gish-brown, fine	grained, medi	um



	Start	ted: 1/8	8/202	21				ject Number			Project		oring No.
Date	Com	pleted	: 1/8	/2021			1136	20-0000137.00		155-acres	Fruitland Park		B-20
	Ham	mer T	ype:	Safety	7	Drillin	g Metl	hod: Mud Rotary		Logged By: Integri	ty	Reviewed By	: XZ
La	titude	e: 28.8	3985			Longit	ude: -8	81.91051		Surface Elevation:			
						%				Location: See Drawing No			
		50				itent	5. 200			Sample Type G - Bulk / Grab Sample	Depth (ft)	roundwater Hour	Date
vater t.)		l Lo	aken		/alue	Cor	N Si	Other Tests and Remarks	ass.	G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3 " O.D. 2.4" I.D. Ring Sample	e Deptii (it)	Houl	Date
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No.		USCS Class.	NR - No Recovery * - Uncorrected Blow Counts			
g g		Gra	Sam	San	SPT	Mo	% P		OSC		Visual Classification	n	
	0 _		S	SPT1	2-3-4-3 N=7	3				SAND (SP), light brow loose	rn to brown, fine grain	ned, very loose	to
	-			SPT- 2	2-2-2-1 N=4								
	5 _	- SF1-2 N				2							
	-		2	SPT- 4	3-2-2-3 N=4	3			SP				
	-		2	SPT- 5	4-4-5-6 N=9	5							
	10												
	-									13.5'			
	15_		S	SPT- 6	16-15-1 N=33	8			SM	SILTY SAND (SM), or dense	rangish-brown, fine to	coarse grained	d,



	Start	ted: 1/8	8/202	21				ject Number			oject		ring No.
Date	Com	pleted	: 1/8	/2021			1136	20-0000137.00		155-acres I	Fruitland Park	l	3-21
	Ham	mer T	ype:	Safety	7	Drillin	g Metl	nod: Mud Rotary		Logged By: Integrity		Reviewed By:	XZ
La	titude	e: 28.84	4185	;		Longi	tude: -	81.91078		Surface Elevation:			
						(%)				Location: See Drawing No. 3			
		మ			o	ntent	o. 200			Sample Type G - Bulk / Grab Sample	Depth (ft)	roundwater Hour	Date
water ft.)	ff.)	al Lc	aken		Value	e Coi	ng N	Other Tests and Remarks	lass.	G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3 " O.D. 2.4" I.D. Ring Sample	Depth (it)	Hour	Date
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No.		USCS Class.	NR - No Recovery * - Uncorrected Blow Counts			
ğã	0 <u> </u>	Ë	San	Sar	SP	ğ	%		Sn		Visual Classificatio	n	
	- u			SPT- 1	3-3-4-4 N=7	·				SAND (SP), light brown medium dense	to brown, fine grain	ed, very loose t	ю
	-			SPT- 2	2-2-1-2 N=3	2							
	5 _	SF1-2				2							
	-			SPT- 4	3-4-3-3 N=7	3			SP				
	-		\$	SPT- 5	8-7-9-9 N=16								
	10_												
	-									13.5'			
	15_		S	SPT- 6	15-15-1 N=32	7			SM	SILTY SAND (SM), ora dense	ngish-brown, fine to	coarse grained	,



	Start	ted: 1/	8/20	021				ject Number				oject		Boring No.
Date	Com	pleted	l: 1/	8/2021			1136	20-0000137.00			155-acres F	ruitland Park		B-22
	Ham	mer T	урс	e: Safet	y	Drillin	g Metl	hod: Mud Rotary			Logged By: Integrity		Review	ved By: XZ
La	titude	e: 28.8	407	'8		Longit	ude: -	81.91169		Surfa	ace Elevation:			
						(%)					ion: See Drawing No. 3			
		مح				itent	. 200			Samp G - Bull	le Type	Depth (ft)	Groundwa Hour	Date
vater	<u></u>	I Lo	ıken	А	/alue	Cor	lg N	Other Tests and Remarks	ass.	SPT - 2 MC - 3	k / Grab Sample " O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Depth (It)	Hour	Date
undv th (fi	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No.		USCS Class.	NR - No	o Recovery orrected Blow Counts			
Groundwater Depth (ft.)		Gra	Sam	San	SPT	Moi	% P		OSO		V	Visual Classificat	ion	
	0 _									SA	ND (SP), light brown t	to grayish-brown,	fine grain	ied, loose
	_			SPT-1	3-3-4-2 N=7						· // C		C	
	_								SP.					
	_			SPT- 2	2-3-6-9									
					N=9					4.0'				
	-		Τ		11 11 12 1	15					LTY SAND (SM), oran	gish-brown, fine t	to coarse	grained,
	5 _			SPT-3	11-11-13-1 N=24	12.	25				medium dense to der	ise		
	-													
	_			SPT-4	24-24-26-2 N=50	27								
	_				1, 50									
				SPT- 5	11-18-19-1	17								
	_			- SF 1 3-	N=37				SM					
	10_													
	-													
	_													
	_													
			H											
	-			SPT-6	N=38) [
	15_				L					15.0'				



	Start	ted: 1/8	8/20	21				ject Number				ject		Boring No.
Date	Com	pleted	: 1/8	3/2021			1136	20-0000137.00			155-acres Fr	uitland Park		B-23
	Ham	mer T	ype	Safety	7	Drilli	ng Met	hod: Mud Rotary]	Logged By: Integrity		Review	ed By: XZ
La	titude	e: 28.8.	3951	l ,		Longi	tude: -	81.91190	1	Surfac	e Elevation:			
						%					n: See Drawing No. 3	,		
		ర్థా			0	ntent	o. 200			Sample G - Bulk /	Type Grab Sample	Depth (ft)	Groundwat Hour	er Date
water	t.)	al Lc	aken		Value	C _O	N gu	Other Tests and Remarks	lass.	SPT - 2" (Grab Sample D.D. 1.4" I.D. Tube Sample D.D. 2.4" I.D. Ring Sample	Beptii (it)	Hour	Date
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No.		USCS Class.	NR - No F * - Uncorr	ected Blow Counts			
ğ g	0 <u>–</u>	Ĵ	San	Sar	SP	M	%		ns		V	isual Classificat	ion	
	v —			SPT- 1	2-3-3-3 N=6	3				SAN	ID (SP), light brown to medium dense	o brown, fine gra	ined, loose	to
	-			SPT- 2	4-4-3-4 N=7									
	5 _	- SF1-2 N				3								
	-			SPT-4	4-4-3-3 N=7	3			SP					
	-			SPT- 5	6-8-8-8 N=16	3								
	10													
	-									13.5'				
	15_			SPT- 6	17-16-1 N=34	8			SM	SIL7	TY SAND (SM), orang dense	gish-brown, fine	to coarse g	rained,



Date		ed: 1/1						ject Number 20-0000137.00		Pro 155-acres Fro		Boring No. B-24
q	Ham	mer T	ype: S	afety		Drillin	g Meth	nod: Mud Rotary		Logged By: Integrity	Revi	ewed By: XZ
La	titude	: 28.83	3845			Longit	ude: -8	31.90699		Surface Elevation:	·	
						8				Location: See Drawing No. 3 f	or boring location.	
		50				tent	. 200			Sample Type	Ground	
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	ਤੂ ਜੁ	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3 " O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Depth (ft) Hou	r Date
Groun		Grapl	Sampl	Samp	SPT	Moist	% Pas		nscs	· ·	isual Classification	
	0 _		SP	T1	-3-2-3 N=5					SAND (SP), light brown to	grayish-brown, fine gra	ined, loose
	-		SP		-3-3-2 N=6				SP			
	5 _		SP		-2-3-4 N=5							
	-		SP		-5-5-4 N=10					6.0' SILTY SAND (SM), orang medium dense	rish-brown, fine to coars	e grained,
	-		SP		-6-6-8 N=12							
	10								SM			
	-											
	- 15—		SP		7-8-8 N=16					15.0'		



	Start	ed: 1/	14/2	2021		-			ect Number			ject		Boring No.
Date	Com	pleted	l: 1/	14/2021			1	1362	20-0000137.00		155-acres Fr	uitland Park		B-25
	Ham	mer T	уре	e: Safety	y	Drill	ling	Meth	od: Mud Rotary		Logged By: Integrity		Review	ed By: XZ
La	titude	e: 28.8	383	8		Long	gituc	de: -8	1.91189		Surface Elevation:			
						3	<u>@</u>				Location: See Drawing No. 3	for boring location	on.	
		50					tent	. 20(Sample Type G - Bulk / Grab Sample		Groundwa	
Groundwater Depth (ft.)	ı (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value		Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery *- Uncorrected Blow Counts	Depth (ft)	Hour	Date
Grou	Depth (ft.)	Grapl	Sampl	Samp	SPT		Mois	% Pas		nscs		isual Classificat	ion	
	-			SPT1	2-3-4-: N=7						SAND (SP), light brown to loose	brown, fine gra	ined, very	loose to
	-			SPT- 2	2-2-2-2 N=4	2								
	5 _			SPT- 3	3-2-2-4 N=4					SP				
	-			SPT-4	2-3-4-4 N=7	4					8.0'			
	10_			SPT-5	5-6-6-: N=12	5	7	13.			SILTY SAND (SM), orang dense	gish-brown, fine	grained, m	edium
	-									SM				
	_													
	15_			SPT- 6	7-8-8 N=16						15.0'			



	Start	ted: 1/1	14/2	021				ject Number				ject		Boring No.
Date	Com	pleted	: 1/1	4/2021			1136	20-0000137.00			155-acres Fr	uitland Park		B-26
	Ham	mer T	ype	: Safety	y	Drillin	g Metl	hod: Mud Rotary			Logged By: Integrity		Review	ved By: XZ
La	titude	e: 28.8 3	3808	3		Longi	tude: -8	81.91020	1	Surf	ace Elevation:			
						(%)					ion: See Drawing No. 3	,		
		ρū			•	itent	5. 200			Samp G - Bul	ole Type k / Grab Sample	Depth (ft)	Groundwa Hour	Date
vater t.)	t.	al Lo	aken		/alue	Cor) gr	Other Tests and Remarks	lass.	SPT - 2 MC - 3	k / Grab Sample 2" O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Deptii (it)	Hour	Date
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No.		USCS Class.	NR - N	o Recovery orrected Blow Counts			
G G		Gra	Sam	San	SPJ	Mo	% F		nsc		V	isual Classificati	on	
	0 _			T		.	T			SA	ND (SP), light brown, f	fine grained, loose	•	
	_			SPT- 1	1-3-5-7 N=8	′								
	_													
	_			SPT- 2	4-3-2-3 N=5	3			SP					
			A		N=3									
	_		Π		3-2-4-4									
	5 —		1	SPT- 3	N=6	•								
	-									6.0'	LTY SAND (SM), orang	aish huarra fina s	main ad 1a	aga ta
	_			SPT- 4	3-3-4-5 N=7	5				. 31.	medium dense	gisii-brown, nne g	grained, ic	oose to
			1		14-7									
	_				4-4-5-5	,								
	-			SPT- 5	N=9	í				-				
	10_								SM					
	_								SIVI					
	_													
	_													
	-		1	SPT- 6	7-11-13 N=24					-				
	15_				.,					15.0'				



	Start	ted: 1/	14/2	2021					ect Number				oject		Boring No.
Date		•		14/2021			11	1362	0-0000137.00			155-acres F	ruitland Park		B-27
	Ham	mer T	Гуре	: Safety	y	Drill	ling N	Metho	od: Mud Rotary			Logged By: Integrity		Review	ved By: XZ
La	titude	e: 28.8	368	3		Long	gitud	e: -81	1.91066	ı	Surfa	ace Elevation:			
		50				(0) tact	tent (%)	. 200			Samp	tion: See Drawing No. 3 ble Type		Groundwa	
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	5	Moisture Content (%)	Passing No.	Other Tests and Remarks	USCS Class.	MC - 3 NR - No	lk / Grab Sample 2" O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample o Recovery orrected Blow Counts	Depth (ft)	Hour	Date
Grou	Dept	Grapl	Sampl	Samp	SPT	7	Mois	% Pa		nsca	- 0110		isual Classificat	ion	
	-			SPT- 1	2-2-3-4 N=5						SA	AND (SP), light brown t	o grayish-brown,	fine grain	ned, loose
	-			SPT2	2-3-3-4 N=6	4				SP					
	5 _			SPT- 3	3-5-4-5 N=9					эг	-				
	_			SPT4	3-3-4-4 N=7	4					8.0'				
	10_			SPT- 5	5-6-5-6 N=11	6	6	.12.			SII	LTY SAND (SM), oran dense	gish-brown, fine	grained, n	nedium
	-									SM	-				
	- 15			SPT- 6	N=15						15.0'				



	Graphical Log		y			od: Mud Rotary		I I D Itt	Dovios	ved By: XZ
	80			Longit	ude. 9			Logged By: Integrity	Kevie	veu Dy: AL
epth (ft.)	hical Log				uuc: -d	31.90861		Surface Elevation:		
epth (ft.)	hical Log			(%)				Location: See Drawing No. 3 for boring	g location.	
epth (ft.)	hical Log	.1		tent (. 200			Sample Type	Groundwa	
epth (fi	nica Te		SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	ass.	G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3 " O.D. 2.4" I.D. Ring Sample	(ft) Hour	Date
ep	- G. G	Sample ID	-Z	sture	assin	u.i.u 1 (0111u11	USCS Class.	NR - No Recovery * - Uncorrected Blow Counts		
	Gra	Sam	SPT	Moi	% P		OSC	Visual Cla	ssification	
								SAND (SP), light brown to grayish-	brown, fine grain	ned, loose
4		SPT-1	2-2-3-4 N=5		.				-	
-		\			.					
		SPT-2	3-4-4-3 N=8				SP			
			14-0							
	<u> </u>		3-3-4-4							
, –		SPT-3	N=7							
+		1							n fine grained 1	oose to
4		SPT-4			.			medium dense	ii, iiie grainea, i	0050 10
		<u> </u>								
ļ		SPT- 5	4-5-5-6	,						
		51.12.3	N=10							
0—							SM			
-										
-					.					
ŀ		-	0 10 10							
\dashv	. 1:1.	SPT-6	8-10-12	· · · · · · · · ·			• • • • • • • • • • •			
5	0		SPT-4	SPT-3 N=7 SPT-4 3-4-6-5 N=10 SPT-5 4-5-5-6 N=10	SPT-4 3-4-6-5 N=10 - SPT-5 4-5-5-6 N=10 0	SPT-3 N=7 SPT-4 3-4-6-5 N=10 SPT-5 4-5-5-6 N=10 O	SPT-4 3-4-6-5 N=10 SPT-5 4-5-5-6 N=10 SPT-5 4-5-5-6	SPT-3 N=7 SPT-4 3-4-6-5 N=10 SPT-5 4-5-5-6 N=10 SPT-5 SPT	SPT-3 N=7 6.0' SILTY SAND (SM), orangish-brow medium dense SPT-5 4-5-5-6 N=10 SM - SM	SPT-4 3-4-6-5 N=10 SPT-5 4-5-6 N=10 SM



	Start	ed: 1/	14/2	2021			F	Proj	ect Number		Pro	ject		Boring No.
Date	Com	pleted	l: 1/	14/2021			1	1362	20-0000137.00		155-acres Fr	uitland Park		B-29
	Ham	mer T	уре	e: Safety	y	Drill	ling I	Meth	od: Mud Rotary		Logged By: Integrity		Review	ed By: XZ
La	titude	e: 28.8	389	9		Long	gitud	le: -8	1.91087		Surface Elevation:			
						6	<u> </u>				Location: See Drawing No. 3	for boring location	on.	
		50				1	tent	. 200			Sample Type		Groundwat	
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	5	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3 " O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Depth (ft)	Hour	Date
Grou	Depti	Grapl	Sampl	Samp	SPT	7	Moisi	% Pas		nscs		isual Classificat	ion	
	-			SPT1	2-4-4- N=8						SAND (SP), light brown to very loose to medium	light orangish-l dense	orown, fine	grained,
	_			SPT- 2	4-2-2-2 N=4	2								
	5 _			SPT- 3	3-2-2-2 N=4									
	-			SPT- 4	3-3-2-4 N=5	4				SP				
	10_			SPT-5	4-5-4-0 N=9	6	4	5						
	-													
	_													
	15_		1	SPT- 6	N=28						15.0'			



	Start	ted: 1/	14/2	2021				ject Number			Project		ng No.
Date	Com	pleted	: 1/1	14/2021	1		1136	20-0000137.00		155-acres	Fruitland Park	B-	30
	Ham	mer T	ype	: Safet	y	Drilli	ng Met	hod: Mud Rotary		Logged By: Integri	ty	Reviewed By: X	Z
La	titude	e: 28.8	404	2		Longi	tude: -	81.90915	I	Surface Elevation:			
						(%)				Location: See Drawing No			
		50				itent	. 200			Sample Type G - Bulk / Grab Sample	Depth (ft)	roundwater Hour	Date
vater		I Lo	ıken	О	/alue	Cor	lg N	Other Tests and Remarks	ass.	G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sampl MC - 3 " O.D. 2.4" I.D. Ring Sample	e Depth (It)	Hour	Date
undv th (fi	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No.		USCS Class.	NR - No Recovery * - Uncorrected Blow Counts			
Groundwater Depth (ft.)		Gra	Sam	San	SPT	Moi	% P		OSC		Visual Classification	n	
İ	0 _			SPT-1	2-2-2-3 N=4					SAND (SP), brown to to loose	grayish-brown, fine gra	ained, very loose	
	_								SP				
	_			SPT- 2	2-3-4-3 N=7								
			1		N=/					4.0'			
	5 _			SPT- 3	5-8-9-12 N=17	2 14	.32.			SILTY SAND (SM), o medium dense to	rangish-brown, fine to dense	coarse grained,	
	-			SPT- 4	14-18-22- N=40	25							
	-			SPT- 5	13-15-19- N=34	16			SM				
	10_												
	-												
	-												
	-			SPT- 6	12-10-13 N=23	3				15.0'			



- 1	Start	ted: 1/	14/2	2021				ject Number		Pro	ject		Boring No.
Date	Com	pleted	l: 1/	14/202	1		1136	20-0000137.00		155-acres Fr	uitland Park		PB-1
	Ham	mer T	Гурс	e: Safet	ty	Drilli	ıg Metl	hod: Mud Rotary		Logged By: Integrity		Reviewe	d By: XZ
Lat	titude	e: 28.8	366	4		Longi	tude: -8	81.91012		Surface Elevation:			
						(%)				Location: See Drawing No. 3			
		50				tent	. 200			Sample Type		Groundwate	
Groundwater Depth (ft.)	£.	Graphical Log	aken		SPT N-Value	Moisture Content (%)	Passing No.	Other Tests and Remarks	lass.	G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3 " O.D. 2.4" I.D. Ring Sample	Depth (ft)	Hour	Date
ound)	Depth (ft.)	phic	Sample Taken	Sample ID	ż	istur	assin		USCS Class.	NR - No Recovery * - Uncorrected Blow Counts			
<u> </u>	Del	Gra	San	Sar	SP	Mo	1%		OS	V	isual Classifica	tion	
	v — -			SPT-1	6-7-8-6 N=15	j				SAND (SP), light brown to medium dense	brown, fine gra	ained, loose	to
	-			SPT- 2	6-6-4-5 N=10	;			SP				
	5 _			SPT- 3	4-4-5-4 N=9					6.0'			
	-			SPT-4	7-11-16-2 N=27	20				SILTY SAND (SM), light coarse grained, mediu	gray to light ora ım dense	ngish-gray,	fine to
	10_			SPT- 5	9-11-17- N=28	15							
	-								SM				
	-												
	-			SPT- 6	8-10-13 N=23	3							
	15_				IN=23					15.0'			



L L		ed: 1/1		021 14/2021	1				ject Number 20-0000137.00			oject ruitland Park	Boring No. PB-2
q	Ham	mer T	ype	: Safet	y	Dri	lling	Meth	nod: Mud Rotary		Logged By: Integrity	Re	viewed By: XZ
La	titude	: 28.83	370	4		Lor	ngitu	de: -8	31.91013		Surface Elevation:	•	
							(%)				Location: See Drawing No. 3		
		50					tent	. 200			Sample Type		dwater our Date
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value		Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3 " O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Depth (It)	our Date
Grou		Grapl	Sampl	Samp	SPT		Mois	% Pa		nscs		isual Classification	<u>'</u>
	0 _			SPT-1	8-10-9- N=19	7					SAND (SP), light brown to medium dense	o brown, fine grained, l	oose to
	_			SPT- 2	6-7-5-4 N=12					SP			
	5 _			SPT- 3	4-4-4-6 N=8	5					6.0'		
	-			SPT-4	9-14-19- N=33	23					SILTY SAND (SM), light coarse grained, mediu	gray to light orangish- um dense to dense	gray, fine to
	10_			SPT- 5	11-13-16- N=29	-14							
	-									SM			
	-												
	- 15—			SPT- 6	9-11-15 N=26	;					15.0'		



	Start	ted: 1/1	3/2	2021				•	ject Number				oject		Boring No.
Date	Com	pleted:	1/	13/2021	l			1136	20-0000137.00			155-acres Fr	uitland Park		HA-1
	Ham	mer T	ype	:		D	rilling	g Metl	nod:			Logged By: Integrity		Review	ved By: XZ
La	titud	e: 28.8 4	152	4		L	ongitı	ıde: -8	81.90877		Surf	ace Elevation:			
							(%)				Locat	tion: See Drawing No. 3	for boring location	1.	
							ent (200				ole Type		roundwa	
ıter		Log	en		lue		Cont	No.	Other Tests	SS.	SPT - :	k / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
ndwa (ft.)	<u>f</u>	nical	le II	SPT N-Value		nre (Passing	and Remarks	Class.	NR - N	" O.D. 2.4" I.D. Ring Sample o Recovery orrected Blow Counts				
Groundwater Depth (ft.))eptl	Depth (ft.) Graphical Log Sample Taken Sample ID					Moisture Content (%)	% Pas		NSCS	- Onc		isual Classification	on	
	0_	_ 0 01 02						_ °`				<u> </u>	isuur Ciussiireur		
											SA	AND (SP), brown, fine g	rained		
	_														
	_		.	Aug- 1						SP					
	_														
	-		H								4.0'	TTV CAND (CM)	.:_1. 1 £		
	5 _			Aug- 2			8	15		SM	31	LTY SAND (SM), orang	gisii-browii, ime g	iaiiieu	
	-										6.0'				
	-		<u>L</u>				L	L	L	L	0.0				



	Star	ted: 1/	13/2	2021					ect Number				ject		Boring No.
Date	Com	pleted	: 1/	13/2021	1		-	11362	20-0000137.00			155-acres Fr	uitland Park		HA-2
	Ham	mer T	ype	e:		Dril	lling	Meth	od:			Logged By: Integrity		Review	ved By: XZ
L	ntitud	e: 28.8	439	9		Lon	gitu	de: -8	31.90877		Surf	ace Elevation:			
						Ś	<u>@</u>				Locat	tion: See Drawing No. 3	for boring location	1.	
							ent (200				le Type		roundwa	
ter		Log	_	ılue		Cont	No.	Other Tests	SS.	SPT - 2	k / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date	
ndwg		nical	le IL	N-V		nre (Passing	and Remarks	Class.	NR - N	" O.D. 2.4" I.D. Ring Sample o Recovery orrected Blow Counts				
Groundwater	Depth (ft.)	Graphical Log	Sample ID	SPT N-Value		Moisture Content (%)	% Pas		USCS	- Onc		isual Classificati	on		
	0_		Sample Taken	V 1				•`				·	isuur Ciussiiicuu		
											SA	AND (SP), brown, fine g	rained		
	-														
	_			Aug- 1						SP					
	-														
	-		\square								4.0'				
	5 —			Aug- 2						SM	SI	LTY SAND (SM), orang	gish-brown, fine g	rained	
	5 —]	1	- Aug2						GIVI					
	-				L						6.0'				



	Start	ted: 1/1	3/2021				Pro	ject Number			Pro	ject		Boring No.
Date	Com	pleted:	1/13/202	21			1136	20-0000137.00			155-acres Fr	uitland Park		HA-3
	Ham	mer Ty	pe:		D	rilling	g Metl	nod:			Logged By: Integrity		Reviev	ved By: XZ
La	titude	e: 28.84	272		L	ongitu	ude: -8	81.90850		Surf	ace Elevation:			
						(%)				Loca	tion: See Drawing No. 3 f	for boring location	1.	
						ent	. 200			Samp	ole Type		roundwa	
iter (Log	en	lue		Cont	No.	Other Tests	SS.	SPT -	lk / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
ndwa (ff.)	(f)	nical	e Tak	> - >		nre (Passing	and Remarks	Class.	NR - N	" O.D. 2.4" I.D. Ring Sample to Recovery corrected Blow Counts			
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken Sample ID	SPT N-Value		Moisture Content (%)	% Pas		OSCS	" - Und		isual Classification	on	
<u> </u>	0_	10.0000	01 01	1										
										SA	AND (SP), brown, fine g	rained		
	_													
	-		Aug-	[SP					
	_													
										4.0'				
	-									1	LTY SAND (SM), orang	rish-brown fine o	rained	
	5 _		Aug-	2.					SM		211 5/11 (Divi), Orang	51511 010 WII, IIIIC g	iumod	
										6.0'				
	_	 						L		0.0				



	Start	ted: 1/1	3/2	021					ject Number				ject		Boring No.
Date	Com	pleted:	1/1	3/2021	L			1136	20-0000137.00			155-acres Fr	uitland Park		HA-4
	Ham	mer T	ype:	:		Dı	rilling	g Metl	nod:			Logged By: Integrity		Reviev	ved By: XZ
La	titude	e: 28.8 4	268	3		L	ongitu	ıde: -8	31.91014		Surf	ace Elevation:			
							(%)				Locat	tion: See Drawing No. 3	for boring location	ı .	
							ent (200				ole Type	G	roundwa	nter
ter		Log	ue	_	lue		Cont	No.	Other Tests	s.	SPT - 2	k / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
dwa (ft.)	₩ ₩	ical	le ID	SPT N-Value		ure (Passing	and Remarks	Class.	NR - N	" O.D. 2.4" I.D. Ring Sample o Recovery				
Groundwater Depth (ft.)	epth	Depth (ft.) Graphical Log Sample Taken Sample ID					Moisture Content (%)	% Pas		USCS	_ * - Unc	orrected Blow Counts	isual Classification	n .	
00	0_	0	Ω	<u> </u>		2	%		\supset		•	isuai Ciassilicatio)II		
	0 —										SA	ND (SP), brown, fine g	rained		
	-														
	_			Aug- 1			4	3		SP					
	-														
	_		Ц.								4.0'				
	5			A 2						SM	SI	LTY SAND (SM), orang	gish-brown, fine g	rained	
	<i>3</i> —	1:1:1:	'	Aug- 2						SIVI					
	_		Ц.								6.0'				



		Start	ed: 1/	13/2	2021				Proj	ject Number			Pro	ject		Boring No.
1	Date	Com	pleted	: 1/	13/202	1			1136	20-0000137.00			155-acres Fr	uitland Park		HA-5
Ĺ	-	Ham	mer T	ype	e:		D	rilling	g Metl	nod:			Logged By: Integrity		Review	ved By: XZ
	Lat	itude	e: 28.8	427	' 3		L	ongitı	ıde: -8	31.91188		Surf	ace Elevation:			
								(%)				Loca	tion: See Drawing No. 3	for boring location	1.	
			50					tent	. 200			Samp	ole Type lk / Grab Sample		<u>Froundwa</u>	
afer		th (ft.) phical Log ple Taken ple D						Con	No.	Other Tests and Remarks	Class.	SPT -	2" O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Depth (ft)	Hour	Date
ndw.	H (ft	Depth (ft.) Graphical Log Sample Taken Sample ID				\ \times \t		Moisture Content (%)	Passing	and Remarks	SCI	NR - N	o Recovery corrected Blow Counts			
2	Depth (ft.)	Graphic Graphic Sample				SPT		Mois	% Pa		USCS		V	isual Classificati	on	
									l			S	AND (SP), brown, fine gr	rained		
		_										. 57	in (br), brown, fine g	rumed		
					Aug- 1						SP					
		_			Aug- 1											
		-										1				
		_		4								4.0'				
		5 Aug-2									SM	SI	LTY SAND (SM), orang	gish-brown, fine g	rained	
		5 — Aug-2									SIVI					
		_		11						<u> </u>		6.0'				



	Start	ted: 1/1	5/2	2021				•	ject Number				oject		Boring No.
Date	Com	pleted:	1/	15/2021	1			1136	20-0000137.00			155-acres Fr	uitland Park		HA-6
	Ham	mer T	ype	e:		D	rilling	g Metl	nod:			Logged By: Integrity		Reviev	ved By: XZ
La	titude	e: 28.8 4	126	1		L	ongitı	ude: -8	31.91359		Surf	ace Elevation:			
							(%)				Locat	tion: See Drawing No. 3	for boring location	1.	
							ent (200			Samp	ole Type	G	roundwa	nter
ter	(ft.) ical Log Taken e ID				lue		Cont	No.	Other Tests	SS.	SPT - 2	k / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
(ft.)	Depth (ft.) Graphical Log Sample Taken Sample ID			V-Va		nre (Passing	and Remarks	Class.	NR - N	" O.D. 2.4" I.D. Ring Sample o Recovery				
Groundwater Depth (ft.))epth	Graphic Sample T Sample T Sample T Sample T Sample T Sample T Sample T Sample T Sample				Moisture Content (%)	% Pas		USCS	_ ^ - Unc	orrected Blow Counts	isual Classification	nn .		
	Sam Sam Sam Sam				O 1			0		בי		•	isuai Ciassilicati	J11	
	0 —										SA	AND (SP), brown, fine g	rained		
	-														
	_			Aug- 1						SP					
	_										•				
	_		Н								4.0'				
	5 _ Aug-2								SM	SI	LTY SAND (SM), orang	gish-brown, fine g	rained		
	<i>3</i> —			- Aug- 2						JULI					
	_						L	L			6.0'				



	Star	ted: 1/	15/2	2021				-	ject Number				ject		Boring No.
Date	Com	pleted	l: 1/	15/2021	1			11362	20-0000137.00			155-acres Fr	uitland Park		HA-7
	Ham	ımer T	ype	e:		Dril	lling	Meth	nod:			Logged By: Integrity		Reviev	ved By: XZ
L	atitud	e: 28.8	418	84		Lon	ngitu	ıde: -8	31.91509		Surf	ace Elevation:			
							%				Locat	tion: See Drawing No. 3	for boring location	1.	
							cent (. 200				ole Type		Froundwa	
ater		i (ft.) nical Log r Taken le ID					Con	No.	Other Tests and Remarks	Class.	SPT - 2	k / Grab Sample 2" O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Depth (ft)	Hour	Date
wbu.	h (ft.	Depth (ft.) Graphical Log Sample Taken Sample ID				Moisture Content (%)	Passing	and Kemarks	SCI	NR - N	o Recovery orrected Blow Counts				
Groundwater					SPT		Mois	% Pa		USCS	0110		isual Classificati	on	
											S A	AND (SP), brown, fine g	rainad		
	_										J.	and (Si), blown, fine g	ranicu		
				. 1						CD.					
	- Aug-1									SP					
	-	-													
	_		Ш								4.0'				
	5 _ Aug-2							1.5			SI	LTY SAND (SM), orang	gish-brown, fine g	rained	
	5 —	5 — Aug-2					. 8	15		SM					
	-										6.0'				



	Star	ted: 1/	13/2	2021					ject Number				ject		Boring No.
Date	Com	pleted	: 1/	13/202	1			1136	20-0000137.00			155-acres Fr	uitland Park		HA-8
	Ham	ımer T	ype	e:		Dri	illing	Meth	nod:			Logged By: Integrity		Review	ved By: XZ
L	atitud	e: 28.8	416	2		Lo	ngitu	ide: -8	31.91153		Surf	ace Elevation:			
							(%)				Loca	tion: See Drawing No. 3	for boring location	1.	
		50					tent	. 200				ole Type lk / Grab Sample		<u>Froundwa</u>	
ater	h (ft.) hical Log le Taken le Taken						Con	No.	Other Tests and Remarks	Class.	SPT -	2" O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Depth (ft)	Hour	Date
ndw	Depth (ft.) Depth (ft.) Graphical Log Sample Taken Sample ID				N-N		Moisture Content (%)	Passing	and Remarks	S CI	NR - N	lo Recovery			
Groundwater					SPT		Mois	% Pa		USCS		V	isual Classificati	on	
											T \$/	AND (SP), brown, fine g	rained		
	-											ind (Si), blown, fine g	ramed		
				Ana 1						SP					
	Aug- 1									31					
	-	-													
	-		1								4.0'				
	5 Aug-2									SM	SI	LTY SAND (SM), orang	gish-brown, fine g	rained	
	<i>3</i> —	7:1:1:	- Aug Z						JVI						
	-							L	L		6.0'				



		Start	ed: 1/	15/2	2021				Proj	ject Number			Pro	ject		Boring No.
Pata	ישוב	Com	pleted	: 1/	15/202	1			1136	20-0000137.00			155-acres Fr	uitland Park		HA-9
-]	Ham	mer T	`ype	e:		D	rilling	g Metl	nod:			Logged By: Integrity		Review	ved By: XZ
	Lat	itude	e: 28.8	413	66		L	ongitı	ıde: -8	31.91260		Surf	ace Elevation:			
								(%)				Loca	tion: See Drawing No. 3	for boring location	1.	
			50					tent	. 200			Samp	ole Type lk / Grab Sample		<u>Froundwa</u>	
afer		th (ft.) phical Log ple Taken pple D pple D						Con	No.	Other Tests and Remarks	Class.	SPT -	2" O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Depth (ft)	Hour	Date
ndw.	th (ft	Depth (ft.) Graphical Log Sample Taken Sample ID				\ \times \t		Moisture Content (%)	Passing	and Remarks	SCI	NR - N	o Recovery corrected Blow Counts			
2	Depth (ft.)	Graphic Sample Sample Sample Sample Sample				SPT		Mois	% Pa		USCS		V	isual Classification	on	
												S	AND (SP), brown, fine gr	rained		
		_										. 57	and (Si), blown, fine gr	ranica		
					Aug- 1						SP.					
		_			Aug- 1						ar					
		-										1				
		_		4								4.0'				
		5 Aug-2									SM	SI	LTY SAND (SM), orang	gish-brown, fine g	rained	
		5 — Aug-2									SIVI					
		_								<u> </u>		6.0'				



Star	rted: 1/1	4/2021				Proj	ject Number			Pro	ject		Boring No.
Con	npleted:	1/14/202	1			1136	20-0000137.00			155-acres Fr	uitland Park		HA-10
Han	nmer Ty	pe:		Dı	rilling	g Metl	nod:			Logged By: Integrity		Review	ved By: XZ
atitud	le: 28.84	010		Lo	ongitu	ıde: -8	31.91122		Surf	ace Elevation:			
					(%)				Loca	tion: See Drawing No. 3	for boring location	1.	
					ent	700			Samp	ole Type			
	i (ft.) iical Log Taken le ID				Cont	Š	Other Tests	SS.	SPT -	2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
	raphical I. ample Taker ample ID PT N-Val				ure (sing	and Remarks		NR - N	o Recovery			
Septh Septh	_ vi vi				Aoist	% Pas		ISCS	* - Unc		isual Classification	on	
0 -	92 92 93					_ °				•	isuai Ciassificati		
									SA	AND (SP), brown, fine g	rained		
,	7												
	-	Aug- 1						SP					
									4.0'				
									11.0	LTY SAND (SM), orang	gish-brown, fine g	rained	_
5 -	_						SM		211 212 22 (8111), 01411	5.5 0.10 ., 11110 6			
									6.0'				
	Depth (ft.) Depth (ft.)	Completed: Hammer Ty Debth (ff.) October 1	Hammer Type:	Completed: 1/14/2021 Hammer Type: Catitude: 28.84010 Samble Taken Samble ID Samble	Completed: 1/14/2021 Hammer Type: Debth (ff.) Debth (ff.) Debth (ff.) Cuabhical Togo Output Aug-1 Aug-1	Completed: 1/14/2021 Hammer Type: Drilling Latitude: 28.84010 Cuabhical Tog Samble Laken Samble Laken Woistnuc Content (%) Aug-1 Aug-1	Completed: 1/14/2021	Completed: 1/14/2021 113620-0000137.00 Hammer Type: Drilling Method:	Completed: 1/14/2021 113620-0000137.00 Hammer Type: Drilling Method: Latitude: 28.84010 Longitude: -81.91122 Cuabhe Laken Completed: 1/14/2021 113620-0000137.00	Completed: 1/14/2021 113620-0000137.00 155-acres Fr Hammer Type: Drilling Method: Logged By: Integrity Surface Elevation: Location: See Drawing No. 3 Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample NR - No Recovery - Uncorrected Blow Counts O	Completed: 1/14/2021 113620-0000137.00 155-acres Fruitland Park Hammer Type: Drilling Method: Logged By: Integrity	Completed: 1/14/2021 113620-0000137.00 155-acres Fruitland Park	



	Start	ted: 1/1	5/2	2021				•	ject Number				ject		Boring No.
Date	Com	pleted:	1/	15/2021	1			1136	20-0000137.00			155-acres Fr	uitland Park		HA-11
	Ham	mer T	ype	e:		D	rilling	g Metl	nod:			Logged By: Integrity		Reviev	ved By: XZ
La	titude	e: 28.8 3	389	8		L	ongitu	ude: -8	31.91165		Surf	ace Elevation:			
							9				Locat	tion: See Drawing No. 3	for boring location	ı.	
							ent (200			Samp	le Type	G	roundwa	iter
ıter	(ft.) ical Log Taken le ID				ılue		Cont	No.	Other Tests	SS.	SPT - 2	k / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
ndwa (ff.)	Depth (ft.) Graphical Log Sample Taken Sample ID			ν-V		ure (Passing	and Remarks	Class.	NR - N	" O.D. 2.4" I.D. Ring Sample o Recovery orrected Blow Counts				
Groundwater Depth (ft.))eptk	Graphic Sample T Sample T Sample T				Moisture Content (%)	% Pas		USCS	- Unc		isual Classification	on		
	Sam Sam SPT SPT SPT SPT SPT SPT SPT SPT SPT SPT				J 1			_ °`				<u> </u>	isuur Ciussiireuti		
											SA	AND (SP), brown, fine g	rained		
	-														
	_			Aug- 1						SP					
											4.0'	TTV CAND (CM)	.i.1. 1		
	5 — Aug-2									SM	51.	LTY SAND (SM), orang	gisii-brown, line g	ramed	
	-										6.0'				
	_		Щ				L	L	l		0.0				



		tart	ed: 1/1	15/2	2021				Proj	ject Number			Pro	ject		Boring No.
Date	C	Comp	oleted	: 1/	15/202	1			1136	20-0000137.00			155-acres Fr	uitland Park		HA-12
	Н	Iamı	mer T	уре	:		D	rilling	g Metl	nod:			Logged By: Integrity		Review	ved By: XZ
]	Latit	tude	: 28.8	374	5		L	ongitı	ıde: -8	31.91162		Surf	ace Elevation:			
								(%)				Loca	tion: See Drawing No. 3	for boring location	1.	
			50					tent	. 200			Samp	ole Type lk / Grab Sample		<u>Froundwa</u>	
ater		th (ft.) phical Log ple Taken pple D						Con	No.	Other Tests and Remarks	Class.	SPT -	2" O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Depth (ft)	Hour	Date
mpui	h (ft	Graphical Log Sample Taken Sample ID				>-\ 		Moisture Content (%)	Passing	and Remarks	SCE	NR - N	o Recovery			
Grou	Depth (ft.)	Graphic Sample Sample Sample Sample Sample				SPT		Mois	% Pa		USCS		V	isual Classification	on	
		0							l			S	AND (SP), brown, fine gr	rained		
		_										. 57	in (b) (b)), blown, line g	rumed		
					Aug- 1						SP					
					Aug- 1						ar					
		-														
		4		Ш								4.0'				
	-	5 Aug-2									SM	SI	LTY SAND (SM), orang	gish-brown, fine g	rained	
	3	5 — Aug-2									SIVI					
									l	L		6.0'				



	Start	ted: 1/1	5/2021				Proj	ject Number			Pro	ject		Boring No.
Date	Com	pleted:	1/15/202	21			1136	20-0000137.00			155-acres Fr	uitland Park		HA-13
	Ham	mer Ty	pe:		Dı	rilling	g Metl	nod:			Logged By: Integrity		Review	ved By: XZ
La	titude	e: 28.83	769		L	ongitu	ıde: -8	81.91064		Surf	ace Elevation:			
						%				Loca	tion: See Drawing No. 3	for boring location	1.	
						ent	200			Samp	ole Type		Froundwa	
ter	(ft.) ical Log Taken e ID					Cont	No.	Other Tests	SS.	SPT -	lk / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
dwa (ft.)	Depth (ft.) Graphical Log Sample Taken Sample ID				nre (Passing	and Remarks	Class.	NR - N	" O.D. 2.4" I.D. Ring Sample o Recovery				
Groundwater Depth (ft.)	Depth (f Graphica Sample T Sample T Sample A Sample				Moisture Content (%)	Pas		OSCS	* - Unc	orrected Blow Counts	isual Classificati	on.		
00	Orapo Samp					2	%		n		v	isuai Ciassilicati	OII	
										SA	AND (SP), brown, fine g	rained		
	_													
	_		Aug-	[SP					
	_													
	-									4.0'	L TTV C A NTD (C) A	. 1 1	. 1	
	5 _ Aug-2								SM	SI	LTY SAND (SM), orang	gish-brown, fine g	rained	
	5 — Aug-2								Sin	C 01				
	-					L	L	L	L	6.0'				



	Start	ted: 1/	15/2	2021				-	ect Number				ject		Boring No.
Date	Com	pleted	: 1/	15/2021	1			11362	20-0000137.00			155-acres Fr	uitland Park		HA-14
	Ham	mer T	ype	e:		Dril	lling	Meth	od:			Logged By: Integrity		Reviev	ved By: XZ
L	ntitude	e: 28.8	380)2		Lon	gitu	de: -8	31.90904		Surf	ace Elevation:			
						3	9				Locat	tion: See Drawing No. 3	for boring location	1.	
							ent (200				le Type		Froundwa	
ter	(ft.) ical Log Taken e ID				ılue		Cont	No.	Other Tests	ss.	SPT - 2	k / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
ndwg		Depth (ft.) Graphical Log Sample Taken Sample ID					nre (Passing	and Remarks	Class.	NR - N	" O.D. 2.4" I.D. Ring Sample o Recovery orrected Blow Counts			
Groundwater	Sept 2	Depth (f					Moisture Content (%)	% Pas		USCS	- Onc		isual Classificati	on	
	San San Oct							0`				·	isuur Ciussiiicuu		
											SA	AND (SP), brown, fine g	rained		
	-														
	_			Aug- 1						SP					
	_														
	_		\square								4.0'				
	5 _ Aug-2									SM	SI	LTY SAND (SM), orang	gish-brown, fine g	rained	
	5 —	5 — Aug-2													
	-		1		L						6.0'				



	Start	ted: 1/1	4/2021				Proj	ject Number			Pro	ject		Boring No.
Date	Com	pleted:	1/14/202	21			1136	20-0000137.00			155-acres Fr	uitland Park		HA-15
	Ham	mer Ty	pe:		Dı	rilling	g Metl	nod:			Logged By: Integrity		Review	ved By: XZ
La	titude	e: 28.83	822		Lo	ongitu	ıde: -8	81.90728		Surf	ace Elevation:			
						(%)				Loca	tion: See Drawing No. 3	for boring location	n.	
						ent	. 200			Samp	ole Type		Groundwa	
ater	n (ft.) nical Log e Taken de ID					Cont	No	Other Tests	.SS	SPT -	lk / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
ndwa (ft.)	Depth (ft.) Graphical Log Sample Taken Sample ID			%		nre	Passing	and Remarks	Class.	NR - N	" O.D. 2.4" I.D. Ring Sample to Recovery corrected Blow Counts			
Groundwater Depth (ft.)	Dept	Graphica Sample Ti Sample I Sa				Moisture Content (%)	% Pas		USCS	- Onc		isual Classificati	on	
	1 - 1 - 1 - 1									SA	AND (SP), brown, fine gr	rained		
	Aug1								SP					
	_									4.0'				
	5 — Aug-2								SM	SI	LTY SAND (SM), orang	gish-brown, fine g	grained	
	_									6.0'				



	Start	ted: 1/1	4/20	021				•	ject Number				oject		Boring No.
Date	Com	pleted:	1/1	4/2021	1			1136	20-0000137.00			155-acres Fr	uitland Park		HA-16
	Ham	mer T	ype:	:		Dı	rilling	g Metl	nod:			Logged By: Integrity		Reviev	ved By: XZ
La	titude	e: 28.8 3	818	3		L	ongitı	ıde: -8	81.90555		Surf	ace Elevation:			
							%				Locat	tion: See Drawing No. 3	for boring location	1.	
							ent (200				ole Type		roundwa	
ıter	(ft.) ical Log Taken e ID				ılue		Cont	No.	Other Tests	SS.	SPT - :	k / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
ndwa (ff.)	Depth (ft.) Graphical Log Sample Taken Sample ID			N-7		nre (Passing	and Remarks	Class.	NR - N	" O.D. 2.4" I.D. Ring Sample o Recovery orrected Blow Counts				
Groundwater Depth (ft.))ept	Depth (i Graphic Sample 7 Sample 7 Sample 8					Moisture Content (%)	% Pas		NSCS	- Onc		isual Classification	on	
	Sarr Sarr Sp. Sp. Sp. Sarr Sp. Sarr Sp. Sarr Sp. Sp. Sp. Sp. Sp. Sp. Sp. Sp. Sp. Sp.				• • • • • • • • • • • • • • • • • • • •			_ °`				·	10441 014101110401		
											SA	AND (SP), brown, fine g	rained		
	_		' '												
	_			Aug- 1			4	3		SP					
	_										4.01				
											4.0'	LTY SAND (SM), orang	aich brown fine a	rained	
	5 _	5 Aug-2								SM	31	LII SAND (SIVI), OTAIIŞ	gisii-biowii, iiiic g	ianicu	
											6.0'				
	_	1. 1. 1. 1.	Щ.					L	l		0.0				



		Start	ed: 1/1	3/2021				Pro	ject Number			Pro	ject		Boring No.
Doto	3	Comp	pleted:	1/13/20	21			1136	20-0000137.00			155-acres Fr	uitland Park		HA-17
Ľ]	Ham	mer Ty	pe:		D	rilling	g Metl	nod:			Logged By: Integrity		Review	ved By: XZ
	Lati	itude	: 28.83	909		L	ongitu	ıde: -8	81.90648		Surf	ace Elevation:			
							(%)				Loca	tion: See Drawing No. 3	for boring location	1.	
		Log					ent	200			Samp	ole Type		roundwa	
fer			Log	en a	llue		Cont	S _o	Other Tests	SS.	SPT -	lk / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
dw	Œ	Depth (ft.) Depth (ft.) Graphical Log		le ID	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\		nre (Passing	and Remarks	Class.	NR - N	lo Recovery			
110)epth	Depth (Craphic		Sample Take Sample ID	SPT N-Value		Moisture Content (%)	% Pas		OSCS	^ - Und	corrected Blow Counts	isual Classificati	on	
F		Sam Sam Sam Sam Sam Sam Sam Sam Sam Sam					_	°`				·	isuur Ciussiireut		
											SA	AND (SP), brown, fine g	rained		
		-													
		_		Aug-	1					SP					
		Aug-													
											4.0'				
										1	LTY SAND (SM), orang	gish-brown, fine g	rained		
		5 _		Aug-	2:					· · · SM · · ·		,,,	,	•	
											6.0'				



	Star	ted: 1/	14/2	2021				Proj	ject Number			Pro	ject		Boring No.
Date	Con	npleted	l: 1/	14/202	1			1136	20-0000137.00			155-acres Fr	uitland Park		HA-18
	Han	nmer T	ype	e:		Dı	rilling	g Metl	nod:			Logged By: Integrity		Review	ved By: XZ
I	atitud	le: 28.8	405	54		Lo	ongitu	ıde: -8	31.90647		Surf	ace Elevation:			
							(%)				Loca	tion: See Drawing No. 3	for boring location	1.	
		() () () () () () () () () () () () () (tent	. 200			Samp	ole Type lk / Grab Sample		<u>Froundwa</u>	
ater	Depth (ft.) Depth (ft.) Graphical Log Sample Taken Sample ID				alue		Con	No.	Other Tests and Remarks	Class.	SPT -	2" O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Depth (ft)	Hour	Date
mpui	Depth (ft.) Depth (ft.) Graphical Log Sample Taken Sample ID			\ \times \t		Moisture Content (%)	Passing	and Remarks	SCI	NR - N	o Recovery corrected Blow Counts				
Grou	Dept Dept	Graphie Sample S				Mois	% Pa		USCS		V	isual Classification	on		
	0 U U U U U U U U U							<u> </u>			S	AND (SP), brown, fine gr	rained		
		_									. 52	in (b), orown, fine g	rumea		
				Ang 1						SP					
		- Aug-1								ar					
		-									+				
			Ш								4.0'				
	5 Aug-2									SM	SI	LTY SAND (SM), orang	gish-brown, fine g	rained	
	3 -	5 — Aug-2								SIVI					
			.					L	<u> </u>		6.0'				



Star	ted: 1/1	4/2021				Proj	ject Number			Pro	ject		Boring No.
Com	ıpleted:	1/14/202	1			1136	20-0000137.00			155-acres Fr	uitland Park		HA-19
Ham	nmer Ty	pe:		Dr	illing	g Meth	nod:			Logged By: Integrity		Review	ved By: XZ
atitud	e: 28.84	055		Lo	ngitı	ıde: -8	31.90739		Surf	ace Elevation:			
					%				Locat	tion: See Drawing No. 3	for boring location	1.	
				ent	200			Samp	ole Type				
	(ft.) (ical Log Taken le ID				Cont	Š	Other Tests	SS.	SPT - 2	2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
pth (ft.) pth (ft.) aphical I		e E	\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \		nre (sing	and Remarks		NR - N	o Recovery			
Depth (f		PT 1		Aoist	o Pas		ISCS	* - Unc		isual Classificati	on		
					_	0		2		•	isuai Ciassificati	UII	
0 –									SA	AND (SP), brown, fine g	rained		
-													
-	-	Aug- 1						SP					
- Aug-1													
_									4.01				
									11.0	I TV SAND (SM) orang	rich-brown fine o	rained	
5 _			8	15		SM	51	ETT 57 IND (51VI), Grang	gisii-orown, inic g	ranica			
									6.0'				
	Con Han	Completed: Hammer Ty atitude: 28.84	Hammer Type: atitude: 28.84055 (II) (II) Debth (III) October (III) Oct	Completed: 1/14/2021 Hammer Type: attitude: 28.84055 Samble ID Sa	Completed: 1/14/2021 Hammer Type: Dratitude: 28.84055 Cuabhical Fog Quabhical Fog Aug-1 Aug-1	Completed: 1/14/2021 Hammer Type: Drilling atitude: 28.84055 Cuabhical Log Ramble Laken Samble Laken Woistnac Content (%) Aug-1 Aug-1	Completed: 1/14/2021	Completed: 1/14/2021 113620-0000137.00 Hammer Type: Drilling Method: atitude: 28.84055 Longitude: -81.90739 Other Tests and Remarks Other Tests and Remarks Other Tests and Remarks Other Tests Other Test	Completed: 1/14/2021 113620-0000137.00 Hammer Type: Drilling Method: atitude: 28.84055 Longitude: -81.90739 O	Completed: 1/14/2021 113620-0000137.00	Completed: 1/14/2021 113620-0000137.00 155-acres Fr Hammer Type: Drilling Method: Logged By: Integrity atitude: 28.84055 Longitude: -81.90739 Surface Elevation:	Completed: 1/14/2021 113620-0000137.00 155-acres Fruitland Park	Completed: 1/14/2021 113620-0000137.00 155-acres Fruitland Park



	Start	ted: 1/1	4/2	021					ject Number				ject		Boring No.
Date	Com	pleted:	1/1	14/2021	l			1136	20-0000137.00			155-acres Fr	uitland Park		HA-20
	Ham	mer Ty	pe:	:		D	rilling	g Metl	nod:			Logged By: Integrity		Reviewe	ed By: XZ
La	titude	e: 28.8 3	953	3		L	ongitu	ude: -8	31.90775		Surf	face Elevation:			
							(%)				Loca	tion: See Drawing No. 3	for boring locatio	n.	
							ent (200				ple Type		Groundwat	er
ter		Log	u		lue		ont	No.	Other Tests	s.	SPT -	ılk / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
dwa (ft.)	Depth (ft.) Depth (ft.) Graphical Log		Take	е П	-Va		lre (ing	and Remarks	Class.	NR - N	B " O.D. 2.4" I.D. Ring Sample lo Recovery			
ouno.	Depth (ft.) Depth (ft.) Graphical Lo Sample Taken			ldun	Ϋ́		Moisture Content (%)	Passing		USCS	* - Uno	corrected Blow Counts			
<u>ಶ</u>		_ 0 01 01 01					Σ	%		ñ		V	isual Classificat	ion	
	0 _										SA	AND (SP), brown, fine g	rained		
	-											, <i>,,</i>			
				Aug- 1						SP					
	-			Aug- 1											
	-														
	_										4.0'				
											SI	LTY SAND (SM), orang	gish-brown, fine	grained	
	5 —	1		Aug- 2						SM					
	_										6.0'				



	Start	ted: 1/1				Proj	ject Number			Pro	ject		Boring No.	
Date	Com	pleted:	1/14/202	1			1136	20-0000137.00			155-acres Fr	uitland Park		HA-21
Ι	Ham	mer Ty	pe:		Dı	rilling	g Metl	nod:			Logged By: Integrity		Review	ved By: XZ
La	titude	e: 28.84	057		Lo	ongitu	ıde: -8	81.90971		Surf	ace Elevation:			
						(%)				Loca	tion: See Drawing No. 3	for boring location	1.	
					ent	. 200			Samp	ole Type		Froundwa		
ater	(ft.) (ft.) ical Log Taken			lue		Cont	No.	Other Tests	.SS	SPT -	lk / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
ndwa (ff.	Depth (ft.) Depth (ft.) Graphical Log		e Tak	N-7		ture (Passing	and Remarks	Class.	NR - N	" O.D. 2.4" I.D. Ring Sample o Recovery corrected Blow Counts			
Groundwater Denth (ff.)				Moisture Content (%)	% Pas		USCS	- Onc		isual Classificati	on			
										SA	AND (SP), brown, fine g	rained		
	-									•				
	-	-	Aug-1						SP					
	-	-												
	_									4.0'				
	5 Aug-2									SI	LTY SAND (SM), orang	gish-brown, fine g	rained	
	5 –	1	Aug- 2						SM					
	-			I			L	L		6.0'				



	- 1	tart	ed: 1/1	15/2	2021				Proj	ject Number			Pro	ject		Boring No.
Date	C	Comp	pleted	: 1/	15/2021	1			1136	20-0000137.00			155-acres Fr	uitland Park		HA-22
Ľ	H	Iami	mer T	ype	e:		D	rilling	g Metl	nod:			Logged By: Integrity		Review	ved By: XZ
_]	Latit	tude	: 28.8	387	3		L	ongitı	ıde: -8	31.91068		Surf	ace Elevation:			
								(%)				Loca	tion: See Drawing No. 3	for boring location	1.	
		() () () () () () () () () () () () () (tent	. 200			Samp	ole Type lk / Grab Sample		<u>Froundwa</u>	
afer		Depth (ft.) Depth (ft.) Graphical Log Sample Taken Sample ID				alue		Con	No.	Other Tests and Remarks	Class.	SPT -	2" O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Depth (ft)	Hour	Date
wbui	th (ft	Depth (ft.) Depth (ft.) Graphical Log Sample Taken Sample ID			\ \times \t		Moisture Content (%)	Passing	and Remarks	SCI	NR - N	o Recovery corrected Blow Counts				
Groi	Dept	Graphic Sample Sample Sample Sample Sample					Mois	% Pa		USCS		V	isual Classificati	on		
		0 5 8 8 S							l			S	AND (SP), brown, fine gr	rained		
		_										. 57	in (b), brown, fine g	rumed		
					Ana 1						SP					
		Aug- 1								ar						
		-										1				
												4.0'				
	_	5 Aug-2									SM	SI	LTY SAND (SM), orang	gish-brown, fine g	rained	
	3	5 — Aug-2									SIVI					
										<u> </u>		6.0'				



	Star	ted: 1/1	5/2021				Proj	ject Number			Pro	ject		Boring No.
Date	Com	pleted:	1/15/20	21			1136	20-0000137.00			155-acres Fr	uitland Park		HA-23
	Ham	ımer Ty	pe:		Dı	rilling	g Metl	nod:			Logged By: Integrity		Review	ved By: XZ
L	atitud	e: 28.84	033		Lo	ongitu	ıde: -8	31.91257		Surf	ace Elevation:			
						(%)				Loca	tion: See Drawing No. 3	for boring location	n.	
					ent	200			Samp	ole Type		Froundwa		
ıter		Log	en	lue		Cont	No.	Other Tests	SS.	SPT -	lk / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
ndw8	Depth (ft.) Depth (ft.) Graphical Log		e Tak le II	%		ure (Passing	and Remarks	Class.	NR - N	" O.D. 2.4" I.D. Ring Sample to Recovery corrected Blow Counts			
Groun	Depth (ft.) Depth (ft.) Graphical Sample Take		SPT N-Value		Moisture Content (%)	% Pas		OSCS	Unc		isual Classificati	on		
	Sp. San San Open S. Sp. Sp. Sp. Sp. Sp. Sp. Sp. Sp. Sp.										AND (CD) 1 C			
	_									SA	AND (SP), brown, fine g	rained		
	-	-	Aug-	1					SP					
	_	_												
										4.0'				
	_									SI	LTY SAND (SM), orang	gish-brown, fine g	rained	
	5 _	-	Aug-	2.					SM			_		
	_									6.0'				



	Start	ted: 1/1	2021				•	ject Number				ject		Boring No.	
Date	Com	pleted:	1/	13/2021	1			1136	20-0000137.00			155-acres Fr	uitland Park		HA-24
	Ham	mer T	ype	:		D	rilling	g Metl	nod:			Logged By: Integrity		Reviev	ved By: XZ
La	titud	e: 28.8 4	112	7		L	ongitu	ude: -8	31.91061		Surf	ace Elevation:			
							(%)				Locat	tion: See Drawing No. 3	for boring location	ı.	
	Log						ent (200				le Type	G	roundwa	iter
ıter	(ft.) cal Log Taken				ılue		Cont	No.	Other Tests	SS.	SPT - 2	k / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
ndwa (ff.)	Depth (ft.) Depth (ft.) Graphical Log		le II	N-7		ure (Passing	and Remarks	Class.	NR - N	" O.D. 2.4" I.D. Ring Sample o Recovery orrected Blow Counts				
Groun	Depth (ft.) Graphical Sample Take			Samp	SPT N-Value		Moisture Content (%)	% Pas		USCS	- Onc		isual Classification	on	
	Sar Sar Sar			• • • • • • • • • • • • • • • • • • • •			_ °`				·				
											SA	AND (SP), brown, fine g	rained		
	_										•				
	-		.	Aug- 1						SP					
	_										4.01				
											4.0'	LTY SAND (SM), orang	rich brown fine a	rained	
	5 _			Aug- 2			8	17		SM	31	LII SAND (SIVI), OTAIIŞ	zisii-otowii, iiiic g	iaiiicu	
											6.0'				
	-		щ.				L	L	l	L	0.0				



		ted: 1/1						ject Number				ject		Boring No.	
Date	Com	pleted:	1/13	3/2021				1136	20-0000137.00			155-acres Fr	uitland Park		HA-25
1	Ham	mer Ty	pe:			Dı	rilling	g Meth	nod:			Logged By: Integrity		Reviewe	d By: XZ
La	titude	e: 28.8 4	130)		L	ongitu	ıde: -8	31.90893		Surf	ace Elevation:			
							(%)				Loca	tion: See Drawing No. 3	for boring locatio	n.	
							sut (200				ole Type		Groundwate	er
ter	ft.) ft.) al Log				lue		onte	Š.	Other Tests	Š.	SPT -	lk / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
dwa (ft.)	Depth (ft.) Depth (ft.) Graphical Log Sample Taken		Take	<u>а</u>	-Va		Moisture Content (%)	Passing	and Remarks	Class.	NR - N	B " O.D. 2.4" I.D. Ring Sample lo Recovery			
ouno	Depth (ft.) Depth (ft.) Graphical Le			ldu	Z L		oistu	Pass		OSCS	* - Unc	corrected Blow Counts			
<u>ಹ</u> ದ		_ 0 01 01 01				Ž	%		Si		V	isual Classificat	ion		
	0 _			T							SA	AND (SP), brown, fine g	rained		
	_											. ,, ,			
			\ \ ,	Aug- 1						SP					
	_		· F	Aug- I						ar					
	-														
											4.0'				
											SI	LTY SAND (SM), orang	gish-brown, fine	grained	
	5 —		· A	Aug-2						SM					
	_										6.0'				



	Start	ted: 1/1	4/20)21					ject Number				ject		Boring No.
Date	Com	pleted:	1/14	4/2021				1136	20-0000137.00			155-acres Fr	uitland Park		HA-26
	Ham	mer Ty	pe:			D	rilling	g Metl	nod:			Logged By: Integrity		Reviewe	d By: XZ
La	titude	e: 28.8 4	192			L	ongitı	ude: -8	31.90793		Surf	ace Elevation:			
							9				Loca	tion: See Drawing No. 3	for boring locatio	n.	
							ent (200				ole Type		Groundwate	er
ter		Log	u		lue		ont	No.	Other Tests	Š.	SPT -	lk / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date
dwa (ft.)	Depth (ft.) Depth (ft.) Graphical Log Sample Taken		Take	e D	Į-Va) are	Passing	and Remarks	Class.	NR - N	B " O.D. 2.4" I.D. Ring Sample lo Recovery			
roun	Depth (ft.) Graphical Sample Take			lduu	SPT N-Value		Moisture Content (%)	Pas		USCS	_* - Unc	corrected Blow Counts	. 101 :6 4		
סמ		_ 0 0 01 01					Σ	%		Ď		V	isual Classificat	ion	
	v —										SA	AND (SP), brown, fine g	rained		
	-														
	_		. ,	Aug- 1						SP					
				8 -											
	-														
	_		Ц								4.0'				
	5 — Aug- 2										SI	LTY SAND (SM), orang	gish-brown, fine	grained	
	> —		• #	Aug- 2						SM					
	_										6.0'				



	Star	ted: 1/	14/2	2021				-	ect Number				ject		Boring No.
Date	Com	ıpleted	: 1/	14/2021	1			11362	20-0000137.00			155-acres Fr	uitland Park		HA-27
	Ham	nmer T	ype	e:		Dril	lling	Meth	nod:			Logged By: Integrity		Review	wed By: XZ
L	atitud	e: 28.8	387	9		Lon	ıgitu	ide: -8	31.90445		Surf	ace Elevation:			
							%				Loca	tion: See Drawing No. 3	for boring location	n.	
		b 0					tent	. 200				ole Type lk / Grab Sample		Groundwa	
ater	h (ft.) hical Log hical Log le Taken ole ID						Con	3 No.	Other Tests and Remarks	Class.	SPT -	2" O.D. 1.4" I.D. Tube Sample 3" O.D. 2.4" I.D. Ring Sample	Depth (ft)	Hour	Date
mpul	Depth (ft.) Depth (ft.) Graphical Log Sample Taken Sample ID				N-N		Moisture Content (%)	Passing	and Remarks	S CI	NR - N	lo Recovery			
Grou						Mois	% Pa		USCS			isual Classificati	on		
	0 -											AND (SP), brown, fine g	rained		
	_										. 37	and (si), blown, fine g	ramed		
				Aug. 1						SP					
	- Aug-1									5P	-				
	-	-													
	-		1								4.0'				
	5 _ Aug-2						9	20		CM	SI	LTY SAND (SM), orang	gish-brown, fine g	grained	
	3 _	111		·Aug2·			9	∠0		SM					
	-										6.0'				



		Start	ed: 1/	14/2	2021				Proj	ject Number			Pro	ject		Boring No.
	Date	Com	pleted	: 1/	14/2021	1			1136	20-0000137.00			155-acres Fr	uitland Park		HA-28
Ľ	_	Ham	mer T	уре	e:		Dı	rilling	g Metl	nod:			Logged By: Integrity		Review	wed By: XZ
	Lat	itude	e: 28.8	382	27		L	ongitu	ıde: -8	31.90861		Surf	ace Elevation:			
								(%)				Locat	ion: See Drawing No. 3	for boring location	1.	
		Log						tent	. 200			Samp	ole Type k / Grab Sample		roundw	
3) arc.	th (ft.) hical Log le Taken ple ID N-Value				alue		Con	No.	Other Tests and Remarks	Class.	SPT - 2	2" O.D. 1.4" I.D. Tube Sample " O.D. 2.4" I.D. Ring Sample	Depth (ft)	Hour	Date
1	h (ft.	Depth (ft.) Depth (ft.) Graphical Log Sample Taken Sample ID			N-N		Moisture Content (%)	Passing	and Kemarks	SCI	NR - N	o Recovery orrected Blow Counts				
2	Depth (ft.)	Graphic Sample Sample Sample Sample Sample					Mois	% Pa		OSCS			isual Classification	on		
ľ		0 - Sa Sa Sa Sa Sa Sa Sa Sa								1		S 4	AND (SP), brown, fine gr	rained		
		_										. 51	avb (Si), blown, fine gi	ramed		
					A 1						SP					
		- Aug-1								ar						
		-														
												4.0'				
		5 Aug-2									SM	SI	LTY SAND (SM), orang	gish-brown, fine g	rained	
		<i>J</i> —		1	Aug-2						SM					
		_							L	<u> </u>		6.0'				



	Started: 1/14/2021 Completed: 1/14/2021 Hammer Type:					Project Number 113620-0000137.00 Drilling Method:					Project 155-acres Fruitland Park				Boring No. HA-29	
Date																
												Logged By: Integrity Revie			wed By: XZ	
L	Latitude: 28.84149					Longitude: -81.90660					Surface Elevation:					
					(%)			Location: See Drawing No. 3 for boring location.								
							ent (200	Other Tests and Remarks	USCS Class.		ole Type	Groundwater		ter	
Groundwater Depth (ft.)		Log	u,		SPT N-Value		ont	Š.			SPT -	- Bulk / Grab Sample PT - 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date	
	(F)	cal	Take	Sample ID			Moisture Content (%)	Passing			MC - 3 " O.D. 2.4" I.D. Ring Sample NR - No Recovery					
nno	Depth (ft.)	Graphical Log	Sample Taken		Z Z		oist				* - Unc	corrected Blow Counts				
5				N %			Visual Classification									
	0 _										SA	AND (SP), brown, fine g	rained			
	-										+	, ,, , , , , ,				
				Aug- 1						SP						
				Aug-1												
	-															
	_										4.0'					
		5 _		·Aug2						SI	LTY SAND (SM), orang	gish-brown, fine	grained			
	5 _				Aug- 2			14		SM						
	_										6.0'					



	Start	ted: 1/1	14/2	2021		Project Number					Pro		Boring No.		
Date	Com	pleted	: 1/	14/2021	l	113620-0000137.00				155-acres Fruitland Park				HA-30	
1	Ham	mer T	ype	:		Drilling Method:					Logged By: Integrity Revie			ewed By: XZ	
La	Latitude: 28.83943					Longitude: -81.90552				Surface Elevation:					
						(%)				Location: See Drawing No. 3 for boring location.					
						ent (200	Other Tests and Remarks	Class.		le Type	Groundwater		ater	
Groundwater Depth (ft.)		Log	g		l-Value	Content (%)	Š.			SPT - 2	ılk / Grab Sample 2" O.D. 1.4" I.D. Tube Sample	Depth (ft)	Hour	Date	
	Depth (ft.)	Graphical Lo	Take	Sample ID			Passing			MC - 3 " O.D. 2.4" I.D. Ring Sample NR - No Recovery					
roun	pth		mple		Moisture	Pas		USCS	* - Unc	orrected Blow Counts					
ي ت					Σ	W % NS			Visual Classification						
	-							SA	ND (SP), brown, fine g	rained					
										-					
			Aug- 1						SP						
			Aug 1												
	-														
	_									4.0'					
	_		$\ \ $	Aug- 2	ıg-2-					SI	LTY SAND (SM), orang	gish-brown, fine g	rained		
	5 —		. A						SM						
	_									6.0'					

Attachment No. 2 General Notes

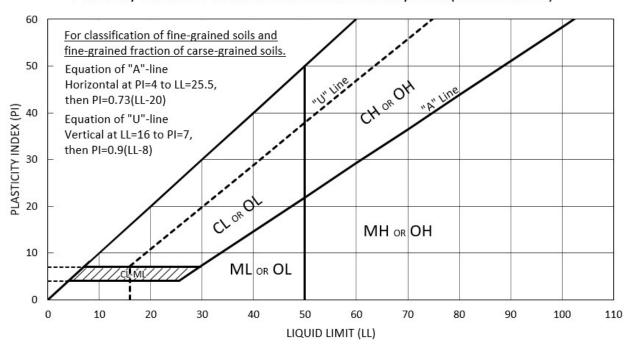
GENERAL NOTES Standard Penetration Test (SPT)



	ent density of coarse-grained etained on No. 200 sieve)	Evaluation of the consistency of fine-grained soils (50% or more passed the No. 200 sieve)			
N ₆₀	Apparent Density	N ₆₀	Consistency		
0 - 4	Very loose	<2	Very soft		
>4 - 10	Loose	2 - 4	Soft		
>10 - 30	Medium dense	4 - 8	Medium stiff		
>30 - 50	Dense	8 - 15	Stiff		
>50	Very dense	15 - 30	Very stiff		
		>30	Hard		

	Grain size terminology	Plasticity description			
Major components of sample	Particle size	Plasticity Range	Adjective		
Boulders	Over 12 inch (300mm)	0	Nonplastic		
Cobbles	12 inch to 3 inch (300mm to75 mm)	1-10	Low plasticity		
Gravel	3inch to #4 sieve (75mm to 4.75mm)	>10-20	Medium plasticity		
Sand	#4 to #200 sieve3 (4.75mm to 0.075mm)	>20-40	High plasticity		
Silt or clay	Passing #200 sieve (0.075mm)	>40	Very plastic		

Plasticity Chart for Unified Soil Classification System (ASTM D2487)



References

Samtani, N.C., Nowatzki, E.A., (2006). "NHI Couse No. 132012, Soils and Foundations, Reference Manual – Volume I, Report No. FHWA-NHI-06-088," Federal Highway Administration, U.S. Department of Transportation.

Attachment No. 3 Field Permeability Test Results



CONSTANT HEAD FIELD PERMEABILITY TEST CALCULATIONS

Project Name: 155-acres Fruitland Park_Holloway Property Project #: 113620-0000137.00

Input From Test

Pond No.	-			
Test Location	PB-2	PB-1		
Test Depth (ft)	4-5	4-5		
Soil Type	SP	SP		
Diameter of Gravel Pack, D (in)	3.00	3.00		
Riser Height, H _r (ft)	2.3	2.0		
Groundwater Depth, D _{wt} (ft)*	5.0	5.0		
Length of Gravel Pack, L (ft)	1.0	1.5		
Water Level in Casing, <i>D</i> _{wl} (ft)	0.0	0.0		
Flow, q (gal/min)	4.35	5.77		
Flow, q (ft ³ /day)	837.0	1110.6	_	_
Field Horizontal Permeability Rate, k_h (ft/day)	44.4	47.7		

^{*} temporary groundwater depth due to charging the hole before test

Calculations

$$m = \sqrt{\frac{k_h}{k_v}}$$

 $m=\sqrt{2}$

 $H_c = D_{wt} + H_r - D_{wl}$

 $k_m = q \div 2.75 \cdot D \cdot H_c$

$$k_h = q \cdot \frac{\ln \left[m \cdot \frac{L}{D} + \sqrt{1 + \left(m \cdot \frac{L}{D} \right)^2} \right]}{2 \cdot \pi \cdot L \cdot H_c}$$
 From NAVFAC TM 5-818-5* PG. 35

 $k_n = q \div 275D \cdot H_c$

$$k_m = \sqrt{k_h \cdot k_v}$$

Transformation Ratio

Assuming $k_v = 0.5k_h$

Constant Piezometric Head

