



506 WEST BERCKMAN STREET  
FRUITLAND PARK, FL 34731

PHONE: 352 360-6727  
FAX: 352 360-6652

**TRC COFP Members:**  
City Manager, Chairman  
Police Chief, Vice Chair  
Attorney  
Building Official  
CDD  
Code Enforcement Officer  
Engineer Halff  
Fire Chief  
Fire Inspector  
Land Planner LPG  
Public Works Director

**TRC Members:**  
City of Leesburg Utilities  
Lake County School Board  
Lake County Public Works Department  
Lake County Economic Development

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**AGENDA**  
**TECHNICAL REVIEW COMMITTEE**  
**October 5, 2021**  
**10:00AM**

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- I. MEETING START TIME:**
- II. MEMBERS PRESENT:**
- III. MEETING NOTES FROM PREVIOUS MEETING:** Meeting notes from September 7, 2021 included for review/comment.
- IV. OLD BUSINESS: NONE**

**NEW BUSINESS:**

**A. Bill Bryan Chrysler - Minor Site Plan (Alternate Key: 1740673)**

Application submitted by F. Williams Bryan II, registered agent for FWB Investments, Ltd (owner), for proposed shop expansion consisting of approximately 4,980 sf along the eastern property boundary. A portion of the building is proposed over existing asphalt. The total proposed impervious area of the entire site including the proposed expansion is 55.90% which is less than the maximum allowed of 70%.

**B. School Board of Lake County – Rezoning (Alternate Key: 1639743)**

Application submitted by the School Board of Lake County (Diane S. Kornegay, Lake County Schools Superintendent) to re-zone approximately 19 acres from R-1, Single Family Low Density Residential to PFD, Public Facilities District. The School Board is seeking to construct and replace an elementary school and accessory uses on areas located on the northeast corner of the intersection of Urick Street and Olive Avenue.

**C. Park Square Homes – Preliminary Plan (Alternate Keys: 1289866, 1289874, 1289904, 1430411, 1639808, 1699959, 17722435, 3540468, 3691334, 3900702)**

Application submitted by Suresh Gupta of Park Square Homes, on behalf of owner, Rufus M. Holloway Jr. for proposed development of an 163 lot subdivision. Phase I of the proposed project will develop 68.77 acres of 177.7 total [approximate] acres. Property currently zoned Mixed Use PUD and presently used for agriculture. The property is located near Thomas Avenue and Urick Street.

**MEMBERS' COMMENTS:**

**ADJOURNMENT:**



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Police Chief, Vice Chair  
Attorney  
Building Official  
CDD  
Code Enforcement Officer  
Engineer Halff  
Fire Chief  
Fire Inspector  
Land Planner LPG  
Public Works Director

**TRC Members:**

City of Leesburg Utilities  
Lake County School Board  
Lake County Public Works Department  
Lake County Economic Development

**MINUTES**

**TECHNICAL REVIEW COMMITTEE**

**September 7, 2021**

**10:00AM**

- 
- I. **MEETING START TIME:** 10:00 am
  - II. **MEMBERS PRESENT:** All members present except City Attorney, Fire Chief, Fire Inspector and Lake County - City of Leesburg Utilities, Lake County School Board, Lake County Public Works Department and Lake County Economic Development. Present on behalf of the Development: James Senatore.
  - III. **MEETING NOTES FROM PREVIOUS MEETING:** Meeting notes from August 3, 2021 included for review/comment.
  - IV. **OLD BUSINESS:** NONE

**NEW BUSINESS:**

**A. Terra Promessa - Variance (Alternate Key: 1289785)**

Application submitted by James P. Senatore (owner) for proposed development consisting of 18.78 +/- acres currently zoned R-3A (Multi-Family High Density Residential - maximum of 4 dwelling units/acre as utilities are not available). Applicant seeking to develop 11 individual lots with well and septic. The subject site is generally located north of Lewis Road on the west side of CR 468. During August 3<sup>rd</sup> 2021 TRC meeting, applicant advised 'variance' required and should precede Preliminary Plan application. Chapter 157, Section 157.080(a)(1)(F) states cul-de-sac streets shall not exceed 600' in length. The proposed cul-de-sac is 861'.

Mr. Dwayne Williams stated that the applicant, James Senatore, was present on behalf of the Terra Promessa development requesting consideration of the variance. He further noted City Attorney's TRC comment that the LDRs proof of hardship for the variance was not addressed per Section 157.110.

Halff Brett Tobias stated no objection to approval of the variance from an engineering standpoint. City Manager LaVenia stated would be up to the applicant to sell the hardship aspect to City Commission.

Halff Tobias stated traffic study required per LDRs although the road belongs to the county. Applicant advised to coordinate with Seth Lynch of Lake County for clarification whether a traffic impact study (TIS) would be required by the county. Applicant should provide copy of TIS to city, if required by the county, or record from the county stating aforementioned not required, if applicable.

Applicant advised that next steps would entail the aforementioned as well as addressing preliminary plan comments from TRC before moving forward to P&Z. Both applications can then run concurrently.

With no further discussion, meeting was dismissed.

**MEMBERS' COMMENTS:** N/A

**ADJOURNMENT:** 10:14 am



**City of Fruitland Park, Florida**  
**Community Development Department**  
 506 W. Berckman St., Fruitland Park, Florida 34731  
 Tel: (352) 360-6727 Fax: (352) 360-6652  
 www.fruitlandpark.org

<i>Sta Use Only</i>	
Case No.:	_____
Fee Paid:	_____
Receipt No.:	_____

## Development Application

Contact Information:

Owner Name: FWB Investments, Ltd.  
 Address: 9039 US Highway 441, Leesburg, FL 34788  
 Phone: (352) 615-1371 Email: bbryancdjs@aol.com

Applicant Name: F. Williams Bryan, II, Registered Agent for FWB Investments, Ltd.  
 Address: 9039 US Highway 441, Leesburg, FL 34788  
 Phone: (352) 615-1371 Email: bbryancdjs@aol.com

Engineer Name: Keith E. Riddle, P.E.  
 Address: 115 North Canal Street, Leesburg, FL 34748  
 Phone: 352-787-7482 Email: keith@riddlenewman.com

Property and Project Information:

**PROJECT NAME\*:** Bill Bryan Chrysler Jeep Dodge Ram - Shop Expansion Building  
 \*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: 3401 US Highway 24/441, Fruitland Park, FL 34748

Parcel Number(s): 10-19-24-0003-000-03003 Section: 10 Township: 19 Range 24

Area of Property: 8.47 acres Nearest Intersection: US 24/441 & Grizzard Street

Existing Zoning: C-2 Existing Future Land Use Designation: General Commercial

Proposed Zoning: C-2 Proposed Future Land Use Designation: General Commercial

The property is presently used for: Automotive Dealership Sales & Service

The property is proposed to be used for: No Change in Use.

Do you currently have City Utilities? Yes

Application Type:

- |  |   |   |  |
|--|---|---|--|
| <input type="checkbox"/> Annexation      | <input type="checkbox"/> Comp Plan Amendment        | <input type="checkbox"/> Rezoning               | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance        | <input type="checkbox"/> Special Exception Use      | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat          |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan           | <input type="checkbox"/> Construction Plan      | <input type="checkbox"/> ROW/Plat Vacate     |
| <input type="checkbox"/> Site Plan       | <input checked="" type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Replat of Subdivision  |  |

Please describe your request in detail: New Shop Expansion Building - partially constructed on existing asphalt and partially on grass area. New building = 4980 sf, New Impervious = 2980 sf (0.83% increase); Therefore this is a Minor Site Plan Submittal.

**Required Data, Documents, Forms & Fees**

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Printed Name: F. William Bryan, II

Signature:  Date: 09-08-2021

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

APPLICANT AFFIDAVIT

STATE OF FLORIDA

COUNTY OF LAKE

Before me the undersigned authority, personally appeared F. William Bryan, II

\_\_\_\_\_, who being by me first duly sworn on oath deposes and says:

- 1) That he/she affirms and certifies that he/she understands and will comply with all ordinances, regulations, and provisions of the City of Fruitland Park, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his/her knowledge and belief, and further that this application and attachments shall become part of the Official Records of the City of Fruitland Park, Florida, and are not returnable.
- 2) That the submittal requirements for the application have been completed and attached hereto as part of that application.
- 3) That he/she desires Minor Site Plan Approval to allow Shop Expansion Building on existing Bill Bryan Chrysler Jeep Dodge Site.

*F. William Bryan, II*  
Affiant (Applicant's Signature)

State of Florida  
County of LAKE

The Foregoing instrument was acknowledged before me this 8th day of SEPTEMBER 20 21 by F. William Bryan, II who is personally known to me or has produced \_\_\_\_\_ as identification and who did or did not take an oath

(Notary Seal)



Notary Public - State of Florida  
Commission No GG 350401  
My Commission Expires 10/28/23

*Nancy Lee Roberts*  
Signature  
NANCY LEE ROBERTS  
Printed Name

OWNER'S AFFIDAVIT

STATE OF FLORIDA

COUNTY OF LAKE

Before me the undersigned authority, personally appeared F. William Bryan, II

\_\_\_\_\_, who being by me first duly sworn on oath deposes and says:

1) That he/she is the fee-simple owner of the property legally described on attached page of this application.

2) That he/she desires Minor Site Plan Approval to allow Shop Expansion Building

3) That he/she has appointed Keith E. Riddle to act as agent on his/her behalf to accomplish the above. The owner is required to complete the Applicant's Affidavit of this application if no agent is appointed to act on his/her behalf.

F. William Bryan II

Affiant (Owner's Signature)

State of Florida

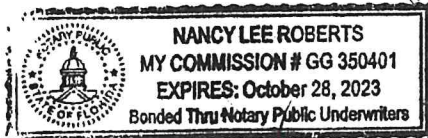
County of LAKE

The foregoing instrument was acknowledged before me this 8TH day of September 21

by F. William Bryan II who is personally known to me or has produced

as identification and who did or did not take an oath

(Notary Seal)



Notary Public - State of Florida

Commission No GG 350401

My Commission Expires 10/28/23

Nancy Lee Roberts

Signature

NANCY LEE ROBERTS

Printed Name

# Development Application Checklist

## The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd)     Current Deed     Aerial Photo  
 Property Appraiser Information     Electronic Copy of Application     Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through [www.lakecountyfl.gov/maps/](http://www.lakecountyfl.gov/maps/). Note: All maps are required to depict adjacent properties at a minimum.

**Failure to provide adequate maps may delay the application process.**

## Other Required Analyses and Maps:

### Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment     Environmental Constraints Map     Requested FLU Map

### Large Scale Comprehensive Plan Amendment Applications:

Maps:     Environmental Constraints     Soils     Requested FLUM Designation     Requested Zoning Map Designation

Analyses:     Environmental Assessment     Utility Availability Analysis     Urban Sprawl Analysis     School Impact Analysis  
 Traffic Impact Analysis     Consistency with the Comp Plan     Florida Master Site File sign-off or Archaeological Survey

Rezoning Applications:     Requested Zoning Map     Justification for Rezoning

### Planned Development Applications:

Maps/Plans:     Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G     Environmental Constraints

Analyses:     Environmental Assessment     Traffic Impact Analysis     Preliminary Concurrency Analysis

Variance Applications:     Justification for Variance

Special Exception Use Applications:     Justification for Special Exception Use

Site Sketch     List of Special Requirements as Described in LDRs, Chapter 155

### Conditional Use Permit Applications:

Site Plan as Described in LDRs, Chapter 155     Proposed List of Conditions and Safeguards  
 Written Statement as Described in LDRs, Chapter 155

### Subdivision Applications:

(Preliminary Plan, Improvement Plan and Final Plat)

As Described in LDRs, Chapter 157

### Minor Subdivision Applications:

As Described in LDRs, Chapter 157

### Site Plan Applications:

As Described in LDRs, Chapter 160



# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	FWB INVESTMENTS LTD	<b>Alternate Key:</b>	1740673
<b>Mailing Address:</b>	8644 US HIGHWAY 441 LEESBURG, FL 34788 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b> <a href="#">i</a>	10-19-24-0003-000-03003
		<b>Millage Group and City:</b>	00F2 (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	18.1489
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a> <a href="#">i</a>
<b>Property Location:</b>	3401 US HIGHWAY 27/441 FRUITLAND PARK FL 34731 <a href="#">Update Property Location</a> <a href="#">i</a>	<b>Property Name:</b>	BILL BRYAN DODGE <a href="#">Submit Property Name</a> <a href="#">i</a>
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> <a href="#">i</a> <a href="#">School Boundary Maps</a> <a href="#">i</a>
<b>Property Description:</b>	BEG AT MOST SW'LY COR OF LOT 13, VALENCIA TERRACE SUB, RUN W TO PT 300 FT E OF E'LY LINE OF HWY 27, NW'LY PARALLEL TO E'LY LINE OF HWY 27 110 FT, W 300 FT TO HWY, NW'LY ALONG HWY TO A POINT 1125 FT S OF INTERSECTION OF S'LY LINE OF COUNTY RD NO 105508 & NE'LY R/W LINE OF HWY 27/441, N 65DEG 59MIN 20SEC E 520 FT TO W'LY LINE OF VALENCIA TERRACE SUBSIVISION, SE'LY ALONG W'LY LINE OF SAID SUBSIVISION TO POB ORB 1700 PG 1298		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	AUTO SALES/STORAGE (2700)	0	0		353832	SF	\$0.00	\$1,362,253.00

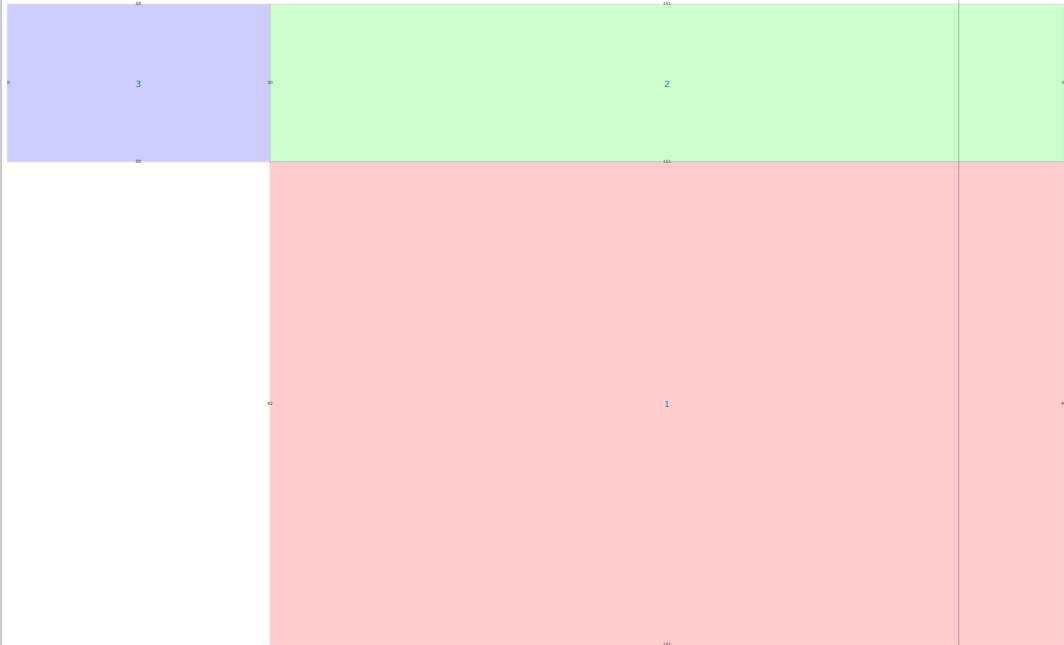
[Click here for Zoning Info](#) [i](#)
[FEMA Flood Map](#)

## Commercial Building(s)

### Building 1

Commercial	Building Value: \$725,624.00							
<b>Summary</b>	<b>Section(s)</b>							
Year Built: 2000	<b>Section No.</b>	<b>Section Type</b>	<b>Wall Height</b>	<b>No. Stories</b>	<b>Ground Floor Area</b>	<b>Basement</b>	<b>Basement Finished</b>	<b>Map Color</b>
Total Square Footage: 12672	1	FINISHED LIVING AREA (FLA)	20	1	12672	0%	0%	<input type="checkbox"/>
Full 3								





[View Larger](#)

### Miscellaneous Improvements

No.	Type	No. Units	Unit Type	Year	Depreciated Value
0001	PAVING (PAV)	3220	SF	2001	\$4,508.00
0002	PAVING (PAV)	117500	SF	2001	\$95,175.00
0003	FENCING (FEN)	9104	SF	2001	\$5,244.00
0004	PARKING LOT LIGHT FIXTURE (PFL)	27	UT	2001	\$9,990.00
0005	CARPORT/POLE SHED - UNFINISHED (UCP)	520	SF	2020	\$2,675.00

**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on June 20, 2021.

**Site Notice**



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Partnership  
FWB INVESTMENTS, LTD.

### Filing Information

**Document Number** A99000000352  
**FEI/EIN Number** 59-3561441  
**Date Filed** 03/05/1999  
**State** FL  
**Status** ACTIVE

### Principal Address

1125 SOLANA AVE  
WINTER PARK, FL 32789

Changed: 02/18/2010

### Mailing Address

9039 US HWY 441  
LEESBURG, FL 34788

Changed: 03/14/2011

### Registered Agent Name & Address

BRYAN, II, F. WILLIAM  
9039 US HIGHWAY 441  
LEESBURG, FL 34788

Name Changed: 04/28/2004

Address Changed: 03/14/2011

### General Partner Detail

#### **Name & Address**

Document Number H36465

F.W.B. LEASING, INC.  
9039 US HIGHWAY 441  
LEESBURG, FL 34788

### Annual Reports

Report Year	Filed Date
-------------	------------

2019	03/26/2019
2020	02/19/2020
2021	02/04/2021

**Document Images**

<a href="#">02/04/2021 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/19/2020 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/26/2019 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/19/2018 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/24/2017 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/02/2016 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/26/2015 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/13/2014 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/20/2013 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/21/2012 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/14/2011 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/18/2010 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/16/2009 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/20/2008 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/22/2007 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/29/2006 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/25/2005 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/28/2004 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/20/2003 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/22/2002 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">06/04/2001 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/13/2000 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/05/1999 -- Domestic LP</a>	<a href="#">View image in PDF format</a>

## **The proposed rezoning change is consistent with the Comprehensive Plan.**

The requested rezoning and the proposed development of the property are consistent with the Goals, Policies, and Objectives of the Comprehensive Plan.

The existing future land use designation permits or supports public facilities pursuant to Policy 1-5.1, if criteria are met.

***Policy 1-5.1: Public Facilities.*** *Necessary Public Facilities shall be permitted as Institutional Land Uses within any Future Land Use Designation if such facility satisfies the following criteria:*

1) *Serves the majority of the population.*

The elementary school will serve the student population of Fruitland Park. The existing students are anticipated to attend the new replacement school. The proposed school will also serve the elementary students estimated to be generated by recently approved new development within the current attendance boundary.

2) *Located in close proximity to the main user group.*

The main user group or student population is located within the City and in close proximity to the proposed public school site. The new school site is located approximately a mile from the existing school. The students currently attending the existing Fruitland Park Elementary are expected to attend the new school.

Additionally, the recently approved Holloway Planned Unit Development (PUD) is located directly south of the proposed school site, across Urick Street. The Holloway PUD is estimated to generate 110 elementary students. These students will be assigned to attend the new school in the future.

Also, the Tara Oaks residential development located further south is under construction. The Tara Oaks development was approved for 1,168 dwelling units. The estimated students to be generated by this residential development is 183.

Both of these residential developments are located in the Fruitland Park Elementary attendance boundary. The students generated by the new residential developments are assigned to Fruitland Park Elementary.

3) *Buffers will be provided along the perimeter property boundary and the width of such buffers shall be determined by the adjacent land used and the proposed land use.*

The school district intends to comply, to the extent possible, in providing the required perimeter buffers.

- 4) *Landscaping will be provided based on the adjacent land use and the proposed land use.*

The intent is to preserve existing trees and vegetation to the extent possible. The district will utilize design elements of CPTED for a secure site perimeter. These CPTED elements will include, but not be limited to, fencing, gates and landscaping.

The City's Land Development Code does provide a credit for utilizing existing vegetation/trees on site. Per Section 164, Landscape Requirements: *The applicant is encouraged to utilize existing vegetation within the property for Buffer landscaping in lieu of planting materials. However, the existing vegetation on-site must be an upland community as defined in the Appendix to the City of Fruitland Park Code.*

The approved public facility use will comply, to the extent possible, with the landscaping and buffering requirements and access management requirements. The District intends to provide the perimeter buffers and preserve the existing natural vegetation as much as possible.

#### IV. PFD Zoning Criteria

Pursuant to the City's Code, the purpose of the PFD district is to provide for the development of public facilities. *Public facilities/services shall include but not be limited to, public and private utilities, governmental, religious, and educational land uses.*

The proposed public school is a public facility use and is permitted in the PFD zoning district.

PFD zoning district locational criteria:

- i) The approved use shall front on an arterial or collector roadway.

The subject property has frontage on Olive Avenue, which is a local road, and Urick Street, which is a County Road. The main access is proposed on Olive Avenue, in order to provide sufficient stacking on site. The bus loop is a separate access on Olive Avenue, north of the main access. The existing roadway infrastructure is in place to serve the proposed public school.

- ii) Approved uses shall comply with appropriate landscaping and buffering requirements and access management requirements.

The school district intends to comply with the buffering and access management requirements. The district anticipates preserving, to the extent possible, existing vegetation/trees.

- iii) The site must be located in proximity to the main user group.

The subject property that will support the new replacement school is located within approximately one mile of the existing Fruitland Park Elementary. The students that currently attend Fruitland Park are anticipated to also attend the new Fruitland Park Elementary.

Two recently approved (large) residential developments are located within close proximity to the new school location. Holloway PUD is located directly south across Urick Street. This PUD consists of 700 dwelling units and is estimated to generate 110 elementary students. The Tara Oaks residential development, located further south and approved for 1,168 dwelling units, is estimated to generate 183 elementary students. The Tara Oaks development has started site development. Both of these residential developments are located in the Fruitland Park Elementary attendance boundary.

- iv) The approved use must serve the majority of the population.

The new school will serve the student population within the City of Fruitland Park and the surrounding area. As stated previously, the students currently attending the existing school are expected to attend the new school. Additionally, there is new residential development approved just south of the new school site. The combined estimated elementary students generated from these recently approved developments is 293. The new developments are located within the Fruitland Park Elementary attendance boundary. The school district does not plan to adjust this attendance boundary for the new school.

## V. Conclusion

The rezoning and the proposed development of the property are consistent with the Goals, Policies, and Objectives of the Comprehensive Plan. Quality schools are key elements of neighborhoods and communities. This school will be a benefit to the Fruitland Park community for many years to come.



THIS INSTRUMENT PREPARED BY AND IS TO BE RETURNED TO:

H. D. Robuck, Jr., Esquire  
610 E. Main Street  
Leesburg, FL 34748

Doc# 99025164  
Book: 1700  
Pages: 1298 - 1299  
Filed & Recorded  
03/25/99 03:40:00 PM  
JAMES C. WATKINS  
CLERK OF CIRCUIT COURT  
LAKE COUNTY  
RECORDING \$ 9.00  
TRUST FUND \$ 1.50  
DEED DOC STAMP \$ 6,650.00

**Warranty Deed**

Book 1700 Page 1298

(Reserved for Recording)

THIS INDENTURE, made this 24<sup>th</sup> day of March, 1999, between **Lake County Service Corporation**, a Florida corporation, of P. O. Box 490420, Leesburg, FL 34749-0420, the "Grantor", and **FWB Investments, Ltd.**, a Florida Limited Partnership, whose mailing address is 1001 North Orlando Avenue, Winter Park, FL 32789, the "Grantee";

WITNESSETH: That said Grantor, for and in consideration of the sum of \$10.00 and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in Lake County, Florida, to-wit:

Begin at the most Southwesterly corner of Lot 13 of Valencia Terrace Subdivision, according to the plat thereof as recorded in Plat Book 20, Pages 11 and 12 of the Public Records of Lake County, Florida; run thence N. 89°53'40" W. on an extension of the South line of said Valencia Terrace Subdivision, 269.73 feet, more or less, to a point that is S. 89°53'40" E., 300.00 feet from the Easterly right-of-way of Highway No. 441 and 27; thence N. 24°00'40" W., parallel with said Easterly right-of-way of Highway No. 441/27 a distance of 110.0 feet; thence N. 89°53'40" W. 300.00 feet to a point on said right-of-way of Highway No. 441/27; thence N. 24°00'40" W. along said Easterly right-of-way 541.11 feet to a point that is 1125.0 feet Southeasterly along said right-of-way from the intersection of the Southerly right-of-way line of County Road #1-5508 (Picciola Cutoff Rd.) and the Easterly right-of-way of Highway No. 441/27; thence leaving said right-of-way, run N. 65°59'20" E., 520 feet, more or less, to a point on the Westerly line of Valencia Terrace Subdivision; thence S. 24°00'40" E. along said Westerly line of Valencia Terrace Subdivision 883.90 feet, more or less, to the point of beginning.

and said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantor has hereunto set Grantor's hands and seals the day and year first above written.

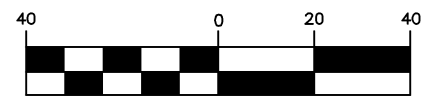
Signed, sealed and delivered in our presence:

Sign: *Karen A. Davis*  
Print name of witness: Karen A. Davis

Sign: *Hugh A. Davis II*  
Print name of witness: Hugh A. Davis II

Lake County Service Corporation  
By: *Paul K. Mueller*  
Paul K. Mueller, Vice President

GRAPHIC SCALE



( IN FEET )  
1 Inch = 40 ft.



ABBREVIATIONS:

- N = NORTH
- S = SOUTH
- E = EAST
- W = WEST
- FD. = FOUND
- LB = LICENSED BUSINESS
- PSM = PROFESSIONAL SURVEYOR & MAPPER
- CONC. = CONCRETE
- CM. = CONCRETE MONUMENT
- A/C = AIR CONDITIONER
- CL = CENTERLINE

ALTERNATE KEY #3015746

ALTERNATE KEY #1740673

DESCRIPTION:

BEGIN AT THE MOST SOUTHWESTERLY CORNER OF LOT 13 OF VALENCIA TERRACE SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, PAGES 11 AND 12 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; RUN THENCE N. 89°53'40" W., ON AN EXTENSION OF THE SOUTH LINE OF SAID VALENCIA TERRACE SUBDIVISION, 269.13 FEET, MORE OR LESS, TO A POINT THAT IS S. 89°53'40" E., 300.00 FEET FROM THE EASTERLY RIGHT-OF-WAY OF HIGHWAY NO. 441 AND 27; THENCE N. 24°00'40" W., PARALLEL WITH SAID EASTERLY RIGHT-OF-WAY OF HIGHWAY NO. 441/27 A DISTANCE OF 110.0 FEET; THENCE N. 89°56'40" W., 300.00 FEET TO A POINT ON SAID RIGHT-OF-WAY OF HIGHWAY NO. 441/27; THENCE N. 24°00'40" W. ALONG SAID EASTERLY RIGHT-OF-WAY 541.11 FEET TO A POINT THAT IS 1125.0 FEET SOUTHEASTERLY ALONG SAID RIGHT-OF-WAY FROM THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD #1-5508 (PICCIOLA CUTOFF RD.) AND THE EASTERLY RIGHT-OF-WAY OF HIGHWAY NO. 441/27; THENCE LEAVING SAID RIGHT-OF-WAY, RUN N.65°59'20" E., 520 FEET, MORE OR LESS, TO A POINT ON THE WESTERLY LINE OF VALENCIA TERRACE SUBDIVISION; THENCE S. 24°00'40" E. ALONG SAID WESTERLY LINE OF VALENCIA TERRACE SUBDIVISION 883.90 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

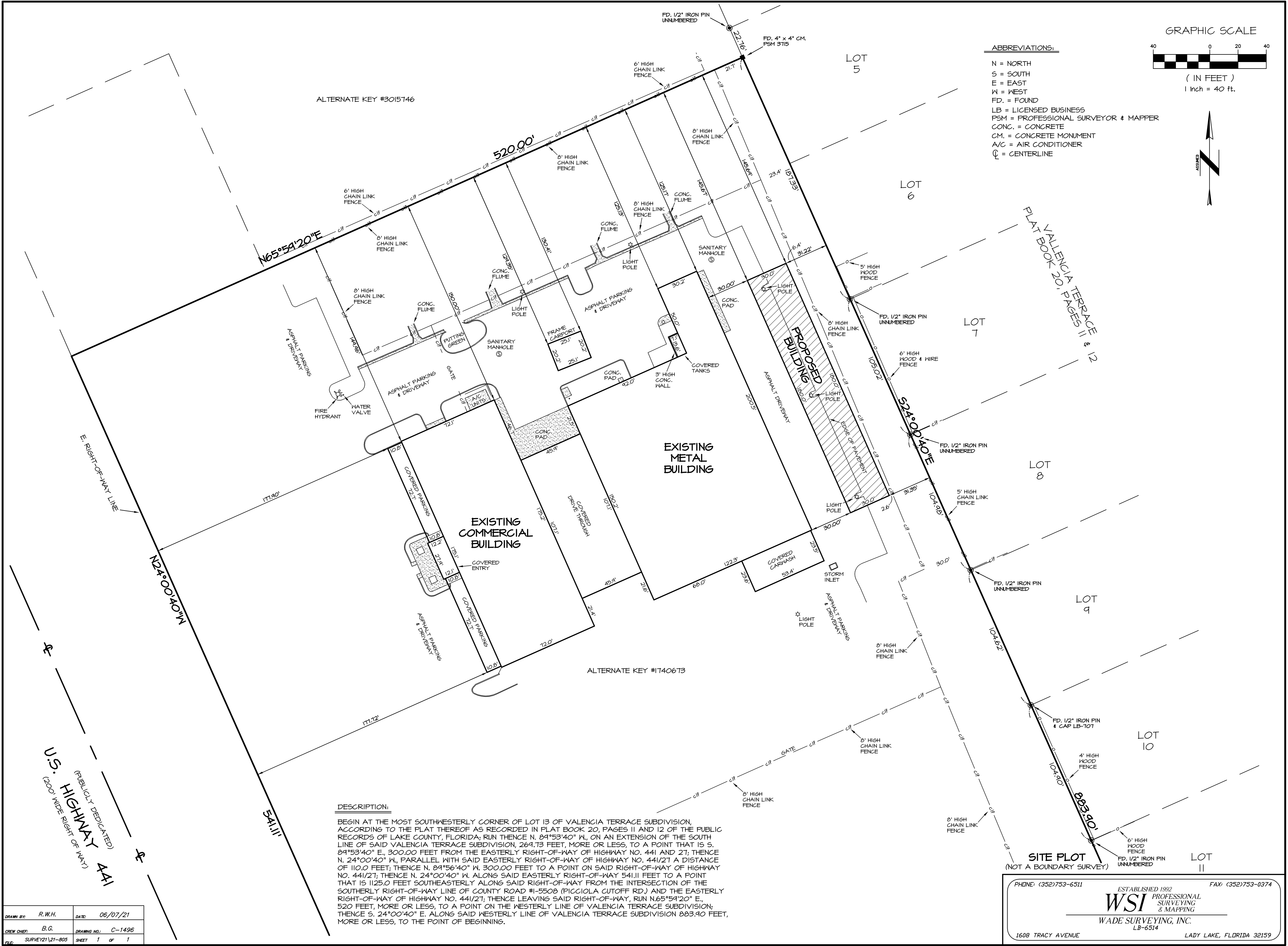
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CREW CHIEF:	B.G.	DRAWING NO.:	C-1496
FILE:	SURVEY21\21-805	SHEET:	1 OF 1

PHONE: (352)753-6511      ESTABLISHED 1992      FAX: (352)753-0374

**WSI** PROFESSIONAL SURVEYING & MAPPING

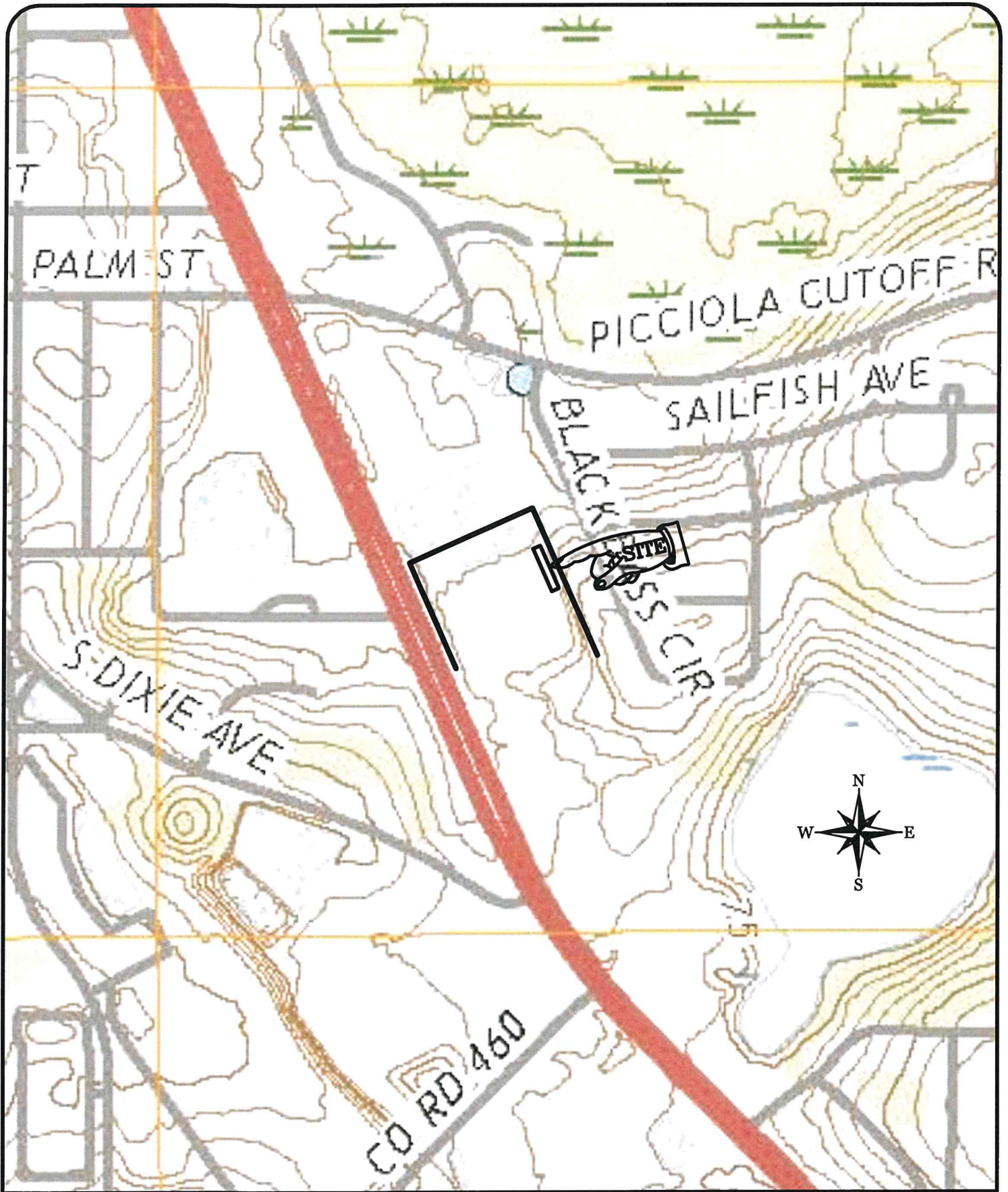
WADE SURVEYING, INC.  
LB-6514

1608 TRACY AVENUE      LADY LAKE, FLORIDA 32159



U.S. HIGHWAY 441  
(PUBLICLY DEDICATED)  
(200' WIDE RIGHT OF WAY)

SITE PLOT  
(NOT A BOUNDARY SURVEY)



**RIDDLE  
NEWMAN  
ENGINEERING INC.**  
ESTABLISHED 1961

RIDDLE - NEWMAN ENGINEERING, INC.  
115 NORTH CANAL STREET  
LEESBURG, FLORIDA 34748  
PHONE (352) 787-7482  
FAX (352) 787-7412

**BILL BRYAN CHRYSLER**  
**QUAD MAP**

DATE: 6/16/2021  
SCALE: 1"=500'  
FILE: 21.20  
SHEET: 1 of 1



**RIDDLE  
NEWMAN  
ENGINEERING** INC.

RIDDLE - NEWMAN ENGINEERING, INC.  
115 NORTH CANAL STREET  
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FAX (352) 787-7412

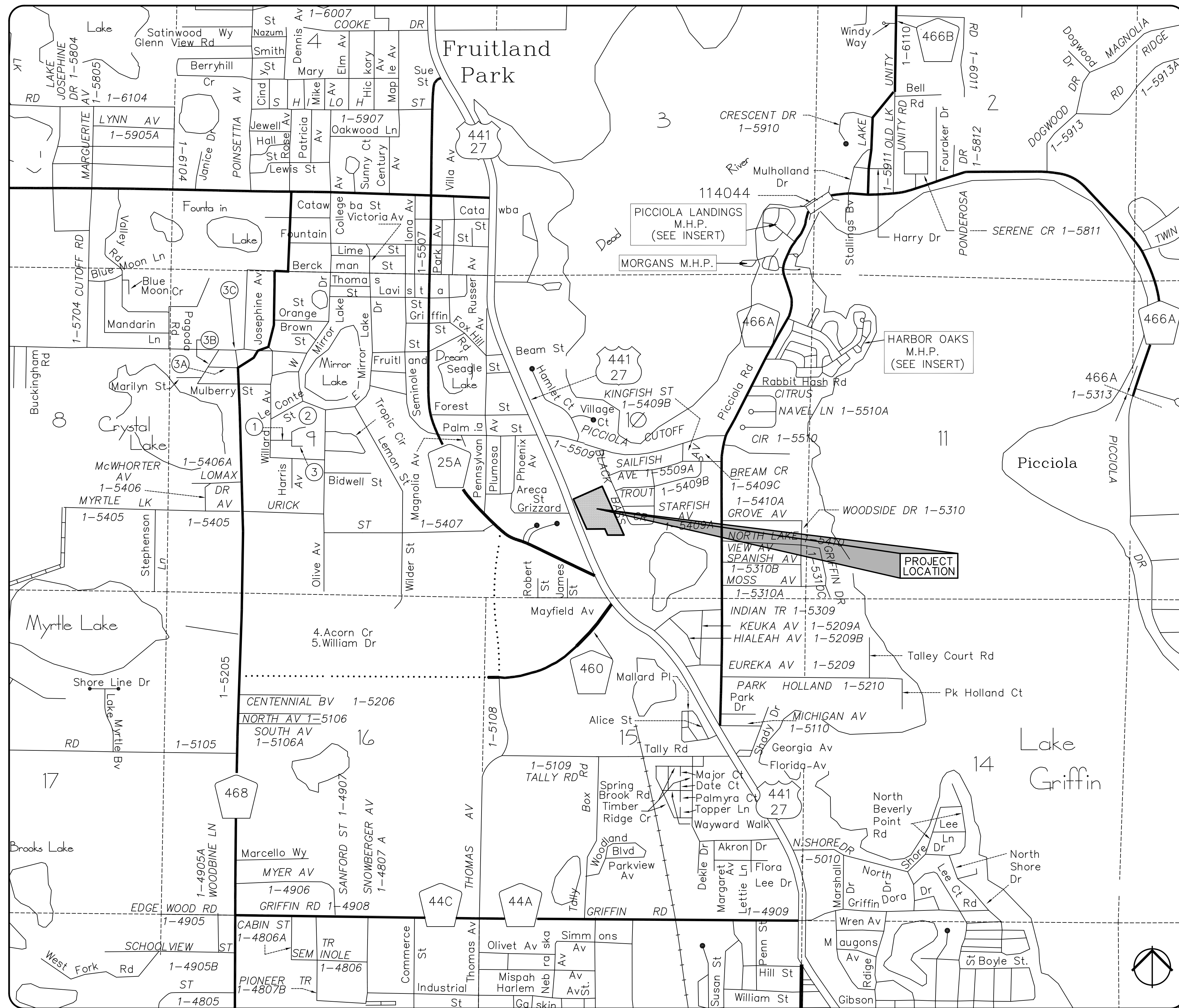
**BILL BRYAN CHRYSLER**

**AERIAL MAP**

DATE: 6/16/2021  
SCALE: 1"=200'  
FILE: 21.20  
SHEET: 1 of 1

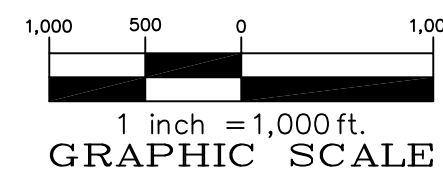
# BILL BRYAN CHRYSLER

## FRUITLAND PARK, FLORIDA



SECTION 10, TOWNSHIP 19 SOUTH, RANGE 24 EAST

**LOCATION PLAN**  
SCALE: 1"=1,000'



### GENERAL NOTES

- BOUNDARY AND TOPOGRAPHICAL INFORMATION SHOWN ARE PER DRAWINGS PREPARED BY WADE SURVEYING, INC., DATED 6/7/2021. SURVEY BASED ON NGVD29 DATUM TO BE CONSISTENT WITH PREVIOUS PLANS.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER OR ARCHITECT.
- CONTRACTOR SHALL LOCATE AND MAINTAIN IN GOOD WORKING ORDER ALL ABOVE GROUND AND BELOW GROUND UTILITIES. CONTRACTOR SHALL COORDINATE THE RELOCATION OR ALTERATION OF EXISTING UTILITIES AS MAY BE REQUIRED. CONTRACTOR SHALL CALL 811 FOR UTILITY LOCATES PRIOR TO DIGGING.
- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF FRUITLAND PARK, LAKE COUNTY PUBLIC SERVICES, FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE CODES.
- ALL DISTURBED OPEN AREAS SHALL BE SODED OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING COMPLETION OF THE BUILDING CONSTRUCTION AS SHOWN ELSEWHERE IN THESE PLANS.
- CONTRACTOR SHALL SUPPLY THE ENGINEER WITH "AS-BUILT" CONDITIONS OF ACTUAL CONSTRUCTION.
- CONSTRUCTION SURVEYING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.

### LEGAL DESCRIPTION

BEGIN AT THE MOST SOUTHWESTERLY CORNER OF LOT 13 OF VALENCIA TERRACE SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, PAGES 11 AND 12 OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; RUN THENCE N. 89°53'40" W., ON AN EXTENSION OF THE SOUTH LINE OF SAID VALENCIA TERRACE SUBDIVISION, 269.73 FEET, MORE OR LESS, TO A POINT THAT IS S. 89°53'40" E., 300.00 FEET FROM THE EASTERLY RIGHT-OF-WAY OF HIGHWAY NO. 441 AND 27; THENCE N. 24°00'40" W., PARALLEL WITH SAID EASTERLY RIGHT-OF-WAY OF HIGHWAY NO. 441/27 A DISTANCE OF 110.0 FEET; THENCE N. 89°56'40" W. 300.00 FEET TO A POINT ON SAID RIGHT-OF-WAY OF HIGHWAY NO. 441/27; THENCE N. 24°00'40" W. ALONG SAID EASTERLY RIGHT-OF-WAY 541.11 FEET TO A POINT THAT IS 1125.0 FEET SOUTHEASTERLY ALONG SAID RIGHT-OF-WAY FROM THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD #1-5508 (PICCIOLA CUTOFF RD.) AND THE EASTERLY RIGHT-OF-WAY OF HIGHWAY NO. 441/27; THENCE LEAVING SAID RIGHT-OF-WAY, RUN N.65°59'20" E., 520 FEET, MORE OR LESS, TO A POINT ON THE WESTERLY LINE OF VALENCIA TERRACE SUBDIVISION; THENCE S. 24°00'40" E. ALONG SAID WESTERLY LINE OF VALENCIA TERRACE SUBDIVISION 883.90 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

### SHEET INDEX

C1.1	COVER SHEET
C1.2	STORMWATER POLLUTION PREVENTION PLAN
C2.1	SITE PLAN

### SITE DATA

TOTAL AREA = 368,953 sq.ft. (8.47 ac.)  
 PROJECT AREA = 5,400 sq.ft. (0.12 ac.)  
 EXISTING IMPERVIOUS AREA = 203,381 sq.ft. (4.67 ac.)  
 PROPOSED NEW IMPERVIOUS AREA = 2,890 sq.ft. (0.07 ac.)  
 TOTAL IMPERVIOUS AREA = 206,271 sq.ft. (4.74 ac.)  
 PERCENT IMPERVIOUS AREA = 55.90% (of total area)  
 OPEN SPACE = 44.10%  
 FLOOD ZONE = "X"  
 ZONING = "C-2"  
 FUTURE LAND USE = "COMM" (COMMERCIAL)  
 EXISTING USE OF SITE = CAR DEALERSHIP  
 PROPOSED USE OF SITE = CAR DEALERSHIP  
 PROPOSED NEW BUILDING SQUARE FOOTAGE = 4,980 sq.ft.

### OWNER

F. William Bryan, II  
 FWB Investments, Ltd.  
 9039 US Hwy 441  
 Leesburg, Florida 34788

### CONTRACTOR

Scott Sumner  
 Beeline Development, Inc.  
 4701 NE 36th Avenue  
 Ocala, Florida 34479

### ENGINEER

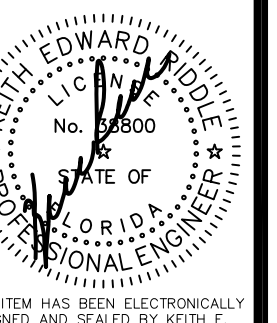
Keith E. Riddle, P.E.  
 Riddle - Newman Engineering, Inc.  
 115 North Canal Street  
 Leesburg, Florida 34748  
 Phone (352) 787-7482  
 Fax (352) 787-7412

### SURVEYOR

Ronald W. Herr  
 Wade Surveying, Inc.  
 1608 Tracy Avenue  
 Lady Lake, Florida 32159  
 Phone (352) 753-6511  
 Fax (352) 753-0374

RIDDLE - NEWMAN ENGINEERING, INC.  
 115 NORTH CANAL STREET  
 LEESBURG, FLORIDA 34748  
 PHONE (352) 787-7482  
 FAX (352) 787-7412  
 keith@riddlenewman.com  
 CA# 00002883

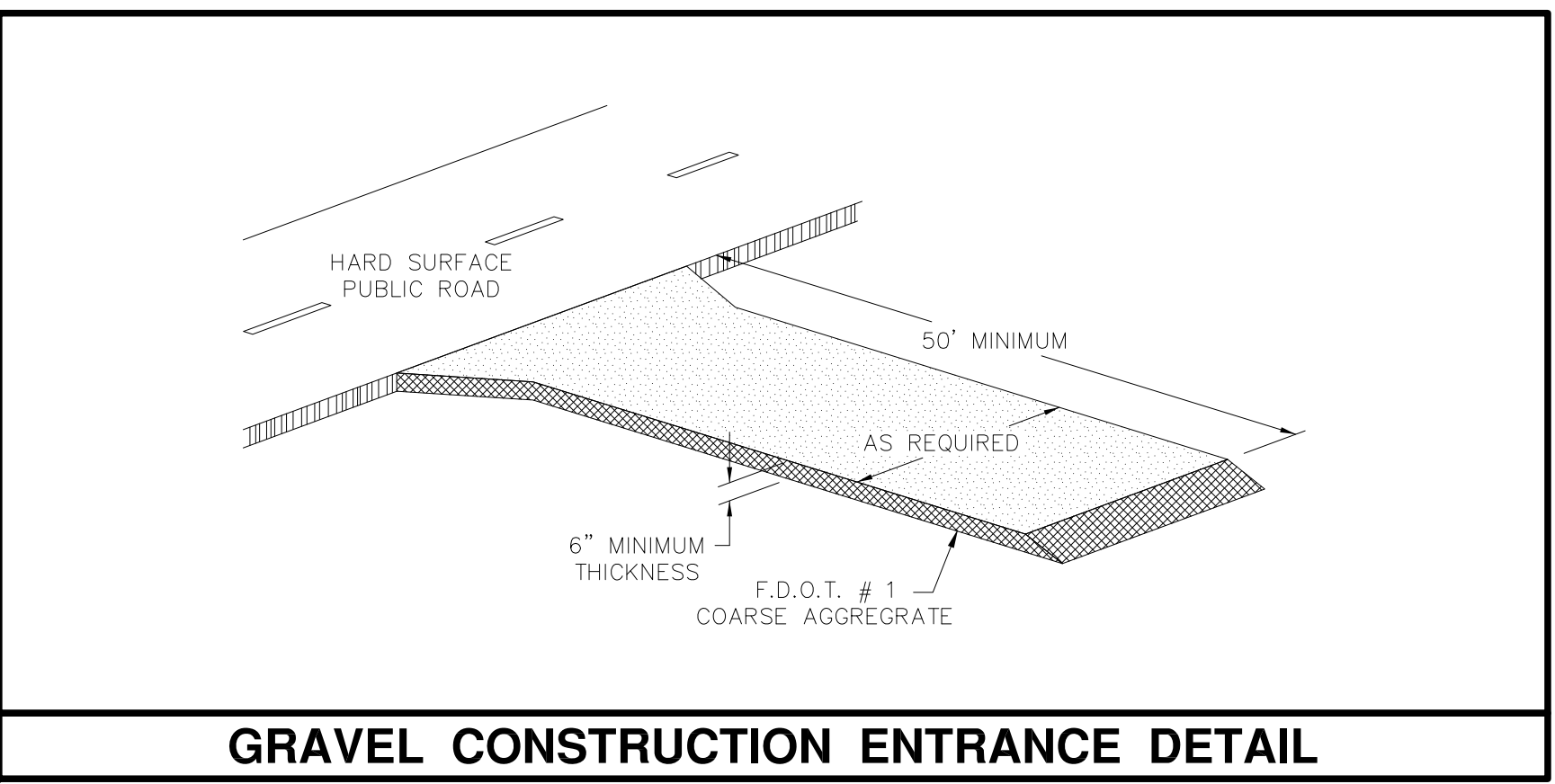
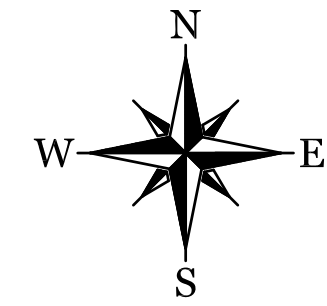
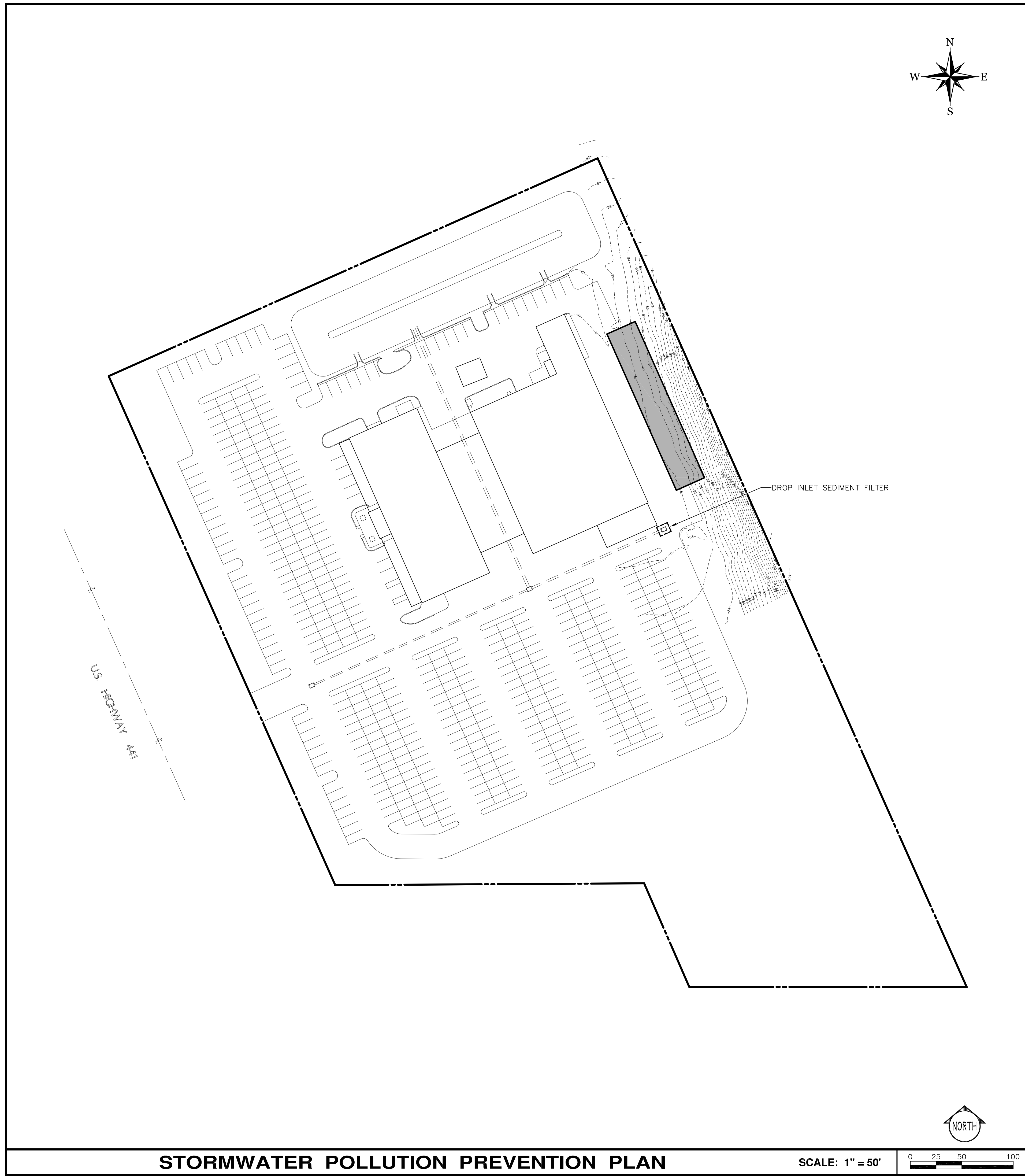
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 REV #98 REVISED 8/16/2021  
 REV #99 REVISED 8/16/2021  
 REV #100 REVISED 8/16/2021



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COVER SHEET  
**BILL BRYAN CHRYSLER**  
 FRUITLAND PARK  
 FLORIDA  
 SHEET NO. C1.1

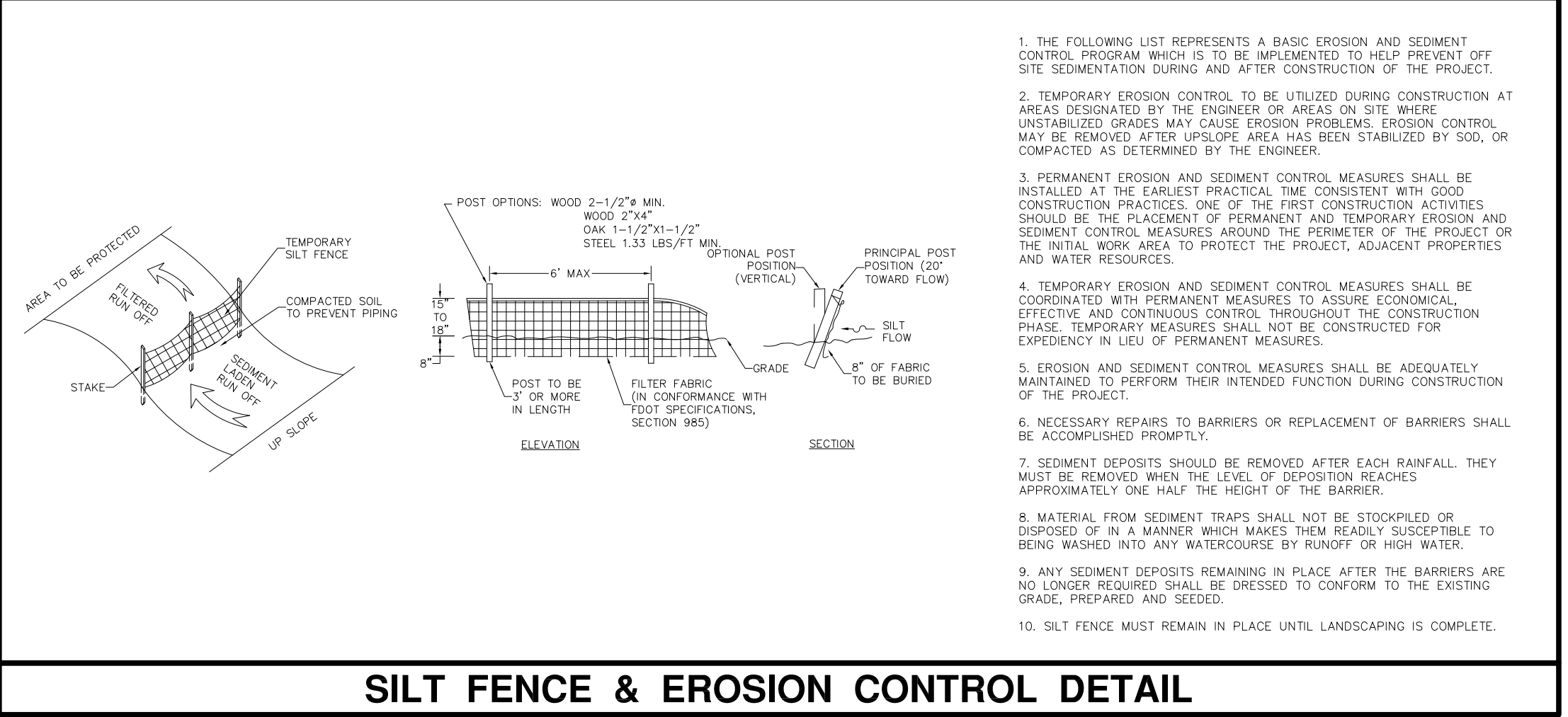
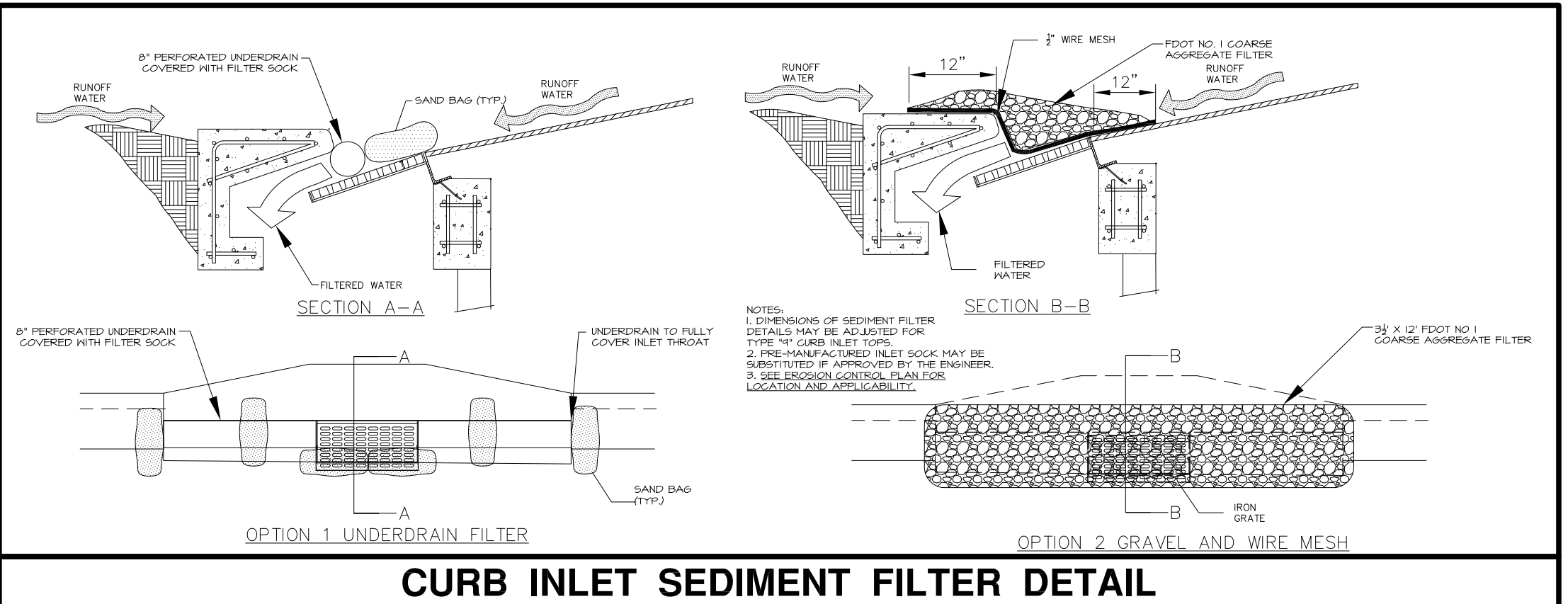
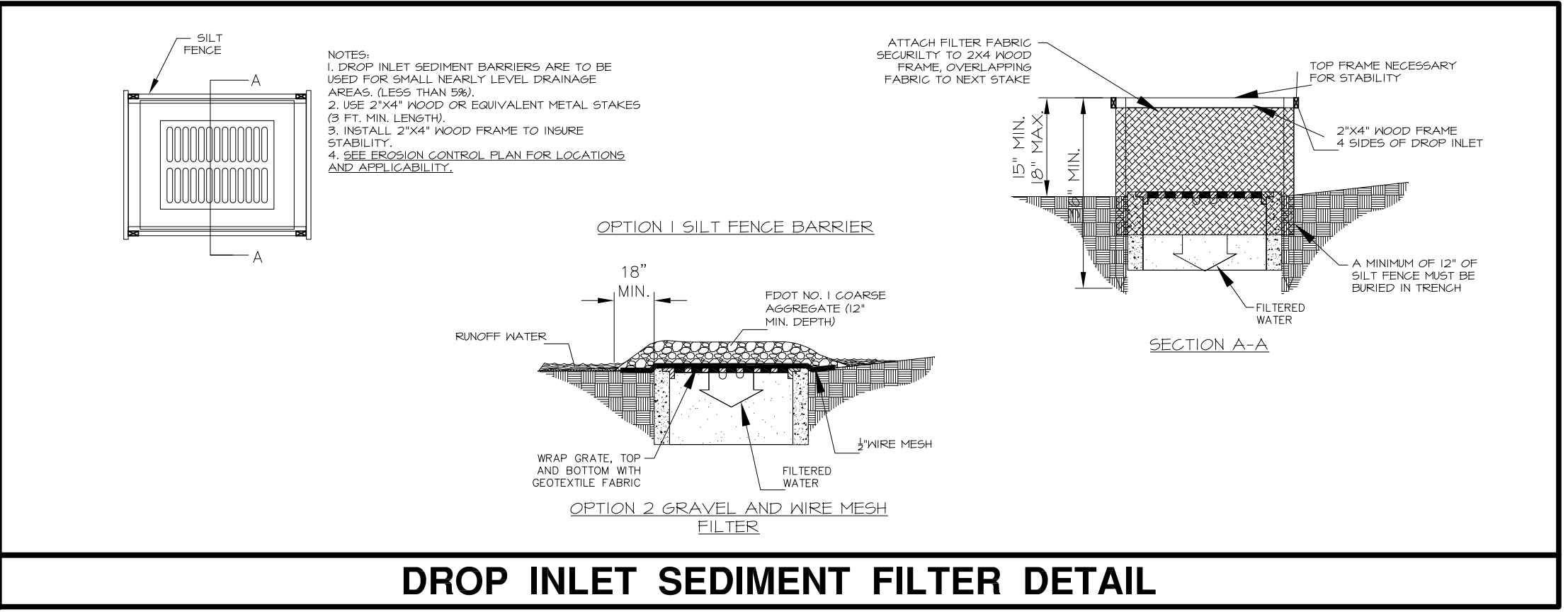
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THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH FDEP NPDES STORMWATER POLLUTION PREVENTION PLAN REQUIREMENTS.

CONTRACTOR TO INSTALL DROP INLET SEDIMENT FILTER ON ALL TYPE "F" INLETS.

FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR HAY BALES, UNTIL LIMEROCK BASE IS FINISHED AND PRIMED.



RIDDLE - NEWMAN ENGINEERING, INC.  
 115 NORTH CANAL STREET  
 LEESBURG, FLORIDA 34748  
 PHONE (352) 787-7482  
 FAX (352) 787-7412  
 keith@riddlenewman.com  
 CA# 0002853

**RIDDLE NEWMAN ENGINEERING INC.**  
 ESTABLISHED 1971

REV #5	REVISED	8/31/2021
REV #4	REVISED	8/16/2021
REV #3	REVISED	8/16/2021
REV #1	REVISED	7/29/2021

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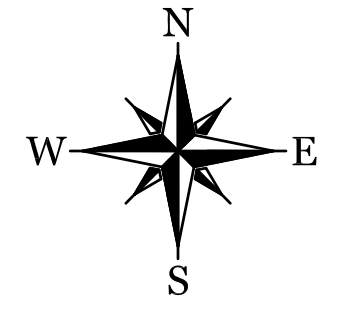
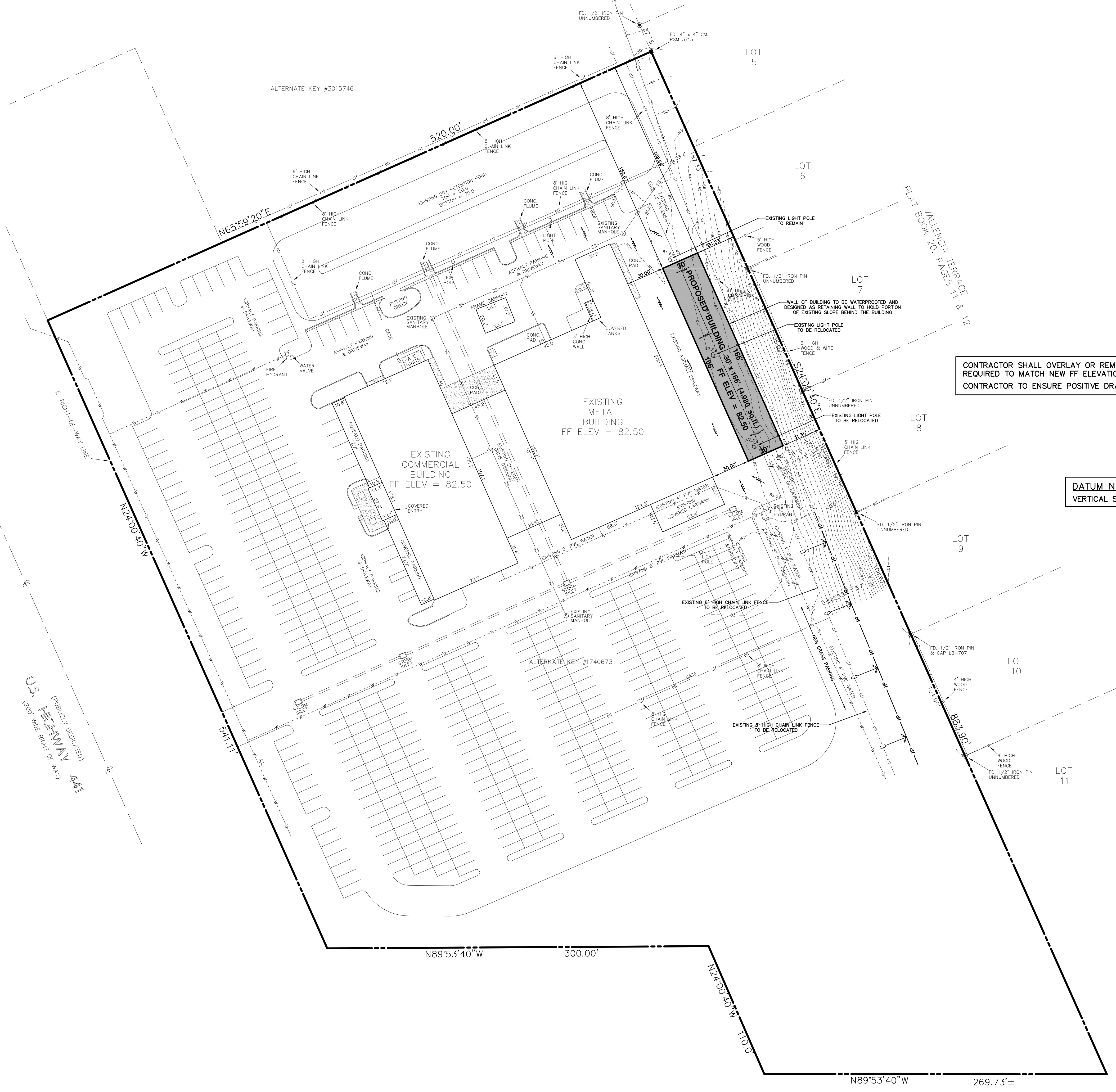
DRW: R.S.H.  
 CHECKED: K.E.R.  
 SCALE: 1" = 50'  
 DATE: 7/19/2021  
 PROJECT NO: 21.20

**STORMWATER POLLUTION PREVENTION PLAN**

**BILL BRYAN CHRYSLER**  
 FLORIDA  
 FRUITLAND PARK

SHEET NO. **C1.2**

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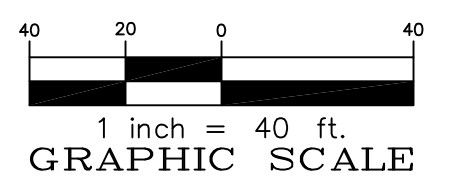


CONTRACTOR SHALL OVERLAY OR REMOVE & REPLACE ASPHALT AS REQUIRED TO MATCH NEW FF ELEVATION.  
 CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING.

DATUM NOTE:  
 VERTICAL SURVEY DATUM: NGVD29 (NOT NAVD88)

U.S. HIGHWAY 441  
 (PUBLICLY DEDICATED)  
 60'± WIDE RIGHT OF WAY

**SITE PLAN**  
 SCALE: 1"=40'



RIDDLE - NEWMAN ENGINEERING, INC.  
 115 NORTH CANAL STREET  
 LEESBURG, FLORIDA 34748  
 PHONE (352) 787-7482  
 FAX (352) 787-7412  
 keith@riddlenewman.com  
 CA# 0002883

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 ESTABLISHED 1981

REV #5			
REV #4	REVISED	8/31/2021	
REV #3	REVISED	8/16/2021	
REV #2	REVISED	7/19/2021	
REV #1	REVISED	DRAWING SCALE TO SHOW ENTIRE SITE	7/28/2021

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY KEITH RIDDLE, REGISTERED PROFESSIONAL ENGINEER, STATE OF FLORIDA, NO. 12547. ANY COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE AUTHENTICATION CODE MUST BE VERIFIED IN ANY ELECTRONIC COPIES.

DRAWN:	R.S.H.
CHECKED:	K.E.R.
SCALE:	1"=40'
DATE:	7/19/2021
PROJECT NO.:	21.20

SITE PLAN

**BILL BRYAN CHRYSLER**  
 FLORIDA  
 FRUITLAND PARK

SHEET NO.  
**C2.1**

FILE: \21.20\Bill Bryan Chrysler

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**ST. JOHNS RIVER WATER MANAGEMENT DISTRICT  
STORMWATER MANAGEMENT DATA  
For a  
Letter Modification to ERP #42-069-56519-1**

***Bill Bryan Chrysler  
Fruitland Park, Florida***

**Prepared For:**

**FWB Investments, Ltd.  
9039 US HWY 441  
Leesburg, Florida 34788  
F. William Bryan, II**

**Prepared By:**

**RIDDLE-NEWMAN ENGINEERING, INC.  
115 North Canal Street  
Leesburg, Florida 34748  
Phone (352) 787-7482**

**July 4<sup>th</sup>, 2021**



# ***Bill Bryan Chrysler Fruitland Park, Florida***

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  - B. BASIS OF ANALYSIS
  
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SUNBIZ DOCUMENTS  
WARRANTY DEED**

# **TAB 1**

## **Scope of Project and Basis of Analysis**

**BILL BRYAN CHRYSLER  
CITY OF FRUITLAND PARK, FLORIDA  
LAKE COUNTY, FLORIDA  
STORMWATER MANAGEMENT DATA**

**SCOPE OF PROJECT:**

This report contains previously approved drainage basin calculations for a 8.47 -acre Commercial development containing more than 50% impervious. The parcel lies within a closed drainage basin and the project has been designed for projects less than 100 acres and more than 40% impervious.

The applicant requested a letter modification to Permit Number 42-069-56519-1. The proposed modification consists of an additional 0.07 Ac. (3,152 S.F) of impervious surface for existing pavement modifications and for a new Vehicle maintenance / service building.

**Permit History:**

The proposed project site has one previous permit, Permit Number 42-069-56519-1  
The proposed project site is located at 903 North Boulevard West US Hwy 27 in the City of Fruitland Park, Lake County.

**BASIS OF ANALYSIS:**

**A. RUNOFF CURVE NUMBERS**

Soil Conservation Service (SCS) runoff Curve Numbers (CN), were developed considering soil types and land use. The soil type for this development consists of Type A soils. The existing land cover is open space. The post-developed curve numbers are based on the proposed land uses within each drainage basin and take into account any directly connected impervious areas. (DCIA).

The original calculations permitted with ERP # 42-069-56519-1 anticipated future impervious area and the stormwater management system has been designed for an additional 1.00 acres of impervious area.

The attached new curve number calculations show compliance with the original assumed post-developed land use breakdown.

# **TAB 2**

**Existing SJRWMD ERP  
Permit # 4-069-56517-1**

56519-1



**Permit  
with conditions  
1728**



Henry Dean, Executive Director  
John R. Wehie, Assistant Executive Director

**POST OFFICE BOX 1429**

**PALATKA, FLORIDA 32178-1429**

TELEPHONE 904-329-4500

SUNCOM 904-860-4500

TDD 904-329-4450

TDD SUNCOM 860-4450

FAX (Executive) 329-4125

(Legal) 329-4485

(Permitting) 329-4315

(Administration/Finance) 329-4508

**SERVICE CENTERS**

618 E. South Street  
Orlando, Florida 32801  
407-897-4300  
TDD 407-897-5960

7775 Baymeadows Way  
Suite 102  
Jacksonville, Florida 32256  
904-730-6270  
TDD 904-448-7900

**PERMITTING:**  
305 East Drive  
Melbourne, Florida 32904  
407-984-4940  
TDD 407-722-5368

**OPERATIONS:**  
2133 N. Wickham Road  
Melbourne, Florida 32935-8109  
407-752-3100  
TDD 407-752-3102

**REGULATION OF STORMWATER MANAGEMENT SYSTEMS**

**CHAPTER 40C-42, F.A.C.**

**PERMIT NO.** 42-069-56519-1

**DATE ISSUED** Oct. 27, 1999

**AUTHORIZATION:**

A stormwater management system with stormwater treatment by one dry retention pond to serve Bill Bryan Chrysler, Plymouth, Dodge, a 8.47 acre project to be constructed as per plans received by the District on October 12, 1999.

**LOCATION**

Section: 10 Township: 19 Range: 24

**County Name:** Lake

**ISSUED TO:**

Bill Bryan Chrysler, Plymouth, Dodge

Attn: Mr. Bill Bryan

903 N. Boulevard West/US HWY 27

Leesburg, Fl 34748

This document shall serve as the formal permit for construction and operation of stormwater management system in accordance with Chapter 40C-42, F.A.C., issued by the staff of the St. Johns River Water Management District on Oct. 27, 1999. This permit is subject to the standard limiting conditions and other special conditions approved by the staff. These conditions are enclosed.

This permit is a legal document and should be kept with your other important records. The permit requires the submittal of an As-built certification and may require submittal of other documents. All information provided in compliance with permit conditions should be submitted to the District office from which the permit was issued. An As-built certification form is attached. Complete this form within 30 days of completion of construction of the permitted system, including all site work. Upon receipt of the As-built certification, staff will inspect the project site. Once the project is found to be in compliance with all permit requirements, the permit may be converted to its operation phase and responsibility transferred to the operation and maintenance entity in accordance with chapter 40C-42.028, F.A.C.

Permit issuance does not relieve you from the responsibility for obtaining permits from any federal, state, and/or local agencies asserting concurrent jurisdiction over this work. Please note that if

Dan Roach, CHAIRMAN  
FERNANDINA BEACH  
Jeff K. Jennings  
MAITLAND

Duane Ottenstroer, TREASURER  
SWITZERLAND  
William M. Segal  
MAITLAND

Otis Mason, SECRETARY  
ST. AUGUSTINE  
Ometrias D. Long  
APOPKA

William Kerr  
MELBOURNE BEACH  
Clay Albright  
EAST LAKE WEIR

Reid Hughes  
DAYTONA BEACH

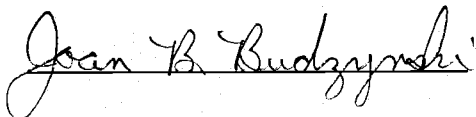
dewatering is to occur during any phase of construction or thereafter and the surface water pump(s), wells, or facilities are capable of withdrawing one million gallons of water per day or more, or an average of 100,000 gallons per day or more over a year, and any discharge is to be off-site, you must apply for and obtain a Consumptive Use Permit (40C-2) from the District prior to starting the dewatering. Please contact the District if you need additional information or application materials.

This permit does not convey to Permittee any property rights nor any rights or privileges other than those specified herein, nor relieve the Permittee from complying with any law, regulation or requirement affecting the rights of other bodies or agencies. All structures and works installed by Permittee hereunder shall remain the property of the Permittee

Permittee agrees to hold and save the St. Johns River Water Management District and its successors harmless from any and all damages, claims, or liabilities which may arise from permit issuance. Said application, including all plans and specifications attached thereto, is by reference made a part hereof.

This Permit may be revoked, modified, or transferred at any time pursuant to the appropriate provisions of Chapter 373, Florida Statutes. In the event you sell your property, the permit will be transferred to the new owner, if we are notified by you within thirty days of the sale. Please assist us in this matter so as to maintain a valid permit for the new property owner.

Thank you for your cooperation and if this office can be of any further assistance to you, please do not hesitate to contact us.



Joan B. Budzynski, Lead Engineer - Department of Resource Management

Enclosures: As-built Certification Form  
Limiting Conditions  
Special Condition Sheet, if applicable

CC: District Permit File

International Engineering Consultants, Inc.

Attn: Kenneth J. Leeming, P.E.

5740 Old Cheney Highway

Orlando, FL 32807

**Bill Bryan Chrysler, Plymouth, Dodge**  
**Oct. 27, 1999**  
**42-069-56519-1**

1. This permit for construction will expire 5 years from the date of issuance unless otherwise specified by a special condition of the permit.
2. Permittee must obtain a permit from the District prior to beginning construction of subsequent phases of any other work associated with this project not specifically authorized by this permit.
3. Stormwater retention and detention storage must be excavated to rough grade prior to building construction or placement of impervious surface within the area served by those systems. Adequate measures must be taken to prevent siltation of these treatment systems and control structures during construction or siltation must be removed prior to final grading and stabilization.
4. The permittee must maintain a copy of this permit complete with all conditions, attachments, exhibits, and permit modifications in good condition at the construction site. The complete permit must be available for review upon request by District representatives. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.
5. All activities shall be implemented as set forth in the plans, specifications, and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall be considered a violation of this permit.
6. District authorized staff, upon proper identification, must be granted permission to enter, inspect, and observe the system to insure conformity with the plans and specifications approved by the permit.
7. Prior to and during construction, the permittee shall implement and maintain all erosion and sediment control measures (best management practices) required to retain sediment on-site and to prevent violations of state water quality standards. All practices must be in accordance with the guidelines and specifications in Chapter 6 of the Florida Land Development Manual: A Guide to Sound Land and Water Management (Florida Department of Environmental Regulation 1988), which are hereby incorporated by reference, unless a project specific erosion and sediment control plan is approved as part of the permit, in which case the practices must be in accordance with the plan. If site specific conditions require additional measures during any phases of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion and sediment control plan, the permittee shall implement additional best management practices as necessary, in accordance with the specifications in Chapter 6 of the Florida Lane Development Manual: A Guide to Sound Land and Water Management (Florida Department of Environmental Regulation 1988). The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.
8. If the permitted system was designed by a registered professional, within 30 days after completion of the stormwater system, the permittee must submit to the District the following: District Form EN-45 (As Built Certification By a Registered Professional), signed and sealed by an appropriate professional registered in the State of Florida, and two sets of "As Built" drawings when a) required by a special condition of this permit, b) the professional uses "As Built" drawings to support the As Built Certification, or c) when the completed system substantially differs from permitted plans. This submittal will serve to notify the District staff that the system is ready for inspection and approval.



9. If the permitted system was not designed by a registered professional within 30 days after completion of the stormwater system, the permittee must submit to the District the following: District Form EN-44 (As Built Certification), signed by the permittee and two sets of "As Built" drawings when required by a special condition of this permit, or when the completed system substantially differs from permitted plans. This submittal will serve to notify the District staff that the system is ready for inspection and approval.
10. Stabilization measures shall be initiated for erosion and sediment control on disturbed areas as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than seven (7) days after the construction activity in that part of the site has temporarily or permanently ceased.
11. Should any other regulatory agency require changes to the permitted system, the permittee shall provide written notification to the District of the changes prior to implementation so that a determination can be made whether a permit modification is required.
12. Within thirty days after sale or conveyance of the permitted stormwater management system or the real property on which the system is located, the owner in whose name the permit was granted shall notify the District of such change of ownership. Transfer of this permit shall be in accordance with the provisions of Section 40C-1.612, Florida Administrative Code. All terms and conditions of this permit shall be binding upon the transferee. The permittee transferring the permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to such sale, conveyance of other transfer.
13. The stormwater management system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure. The system must be complete in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of the stormwater management system to a local government or other responsible entity.
14. The operation phases of the permit shall not become effective until the requirements of Conditions No. 8 or 9 have been met, the District determines that the system complies with the permitted plans, and the entity approved by the District in accordance with Section 40C-42.027, F.A.C., accepts responsibility for operation and maintenance of the system. The permit cannot be transferred to such an approved responsible operation and maintenance entity until the requirements of Section 40C-42.028, F.A.C., are met and the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District in accordance with Section 40C-42.0-28, F.A.C., the permittee shall request transfer of the permit to the responsible approved operation and maintenance entity, if different from the permittee. Until the permit is transferred pursuant to Subsection 40C-42.028(4), F.A.C., the permittee shall be liable for compliance with the terms of the permit.
15. Prior to lot or unit sales, or upon completion of construction of the system, whichever occurs first, the District must receive a final operation and maintenance document(s) approved by the District and recorded, if the latter is appropriate. For those systems which are proposed to be maintained by county or municipal entities, final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local government entity. Failure to submit the appropriate final document will result in the permittee remaining personally liable for carrying out maintenance and operation of the permitted system.

16. This permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and Chapter 40C-42, F.A.C.
17. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the activities, authorized by the permit or any use of the permitted system.
18. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.
19. Activities approved by this permit shall be conducted in a manner which do not cause violations of state water quality standards.
20. The operation and maintenance entity shall submit inspection reports to the District two years after the operation phase permit becomes effective and every two years thereafter on District form EN-46. The inspection form must be signed and sealed by an appropriate registered professional.

H:\pds\data\orlpds42standardconditions.doc

## NOTICE OF RIGHTS

1. A person whose substantial interests are or may be determined has the right to request an administrative hearing by filing a written petition with the St. Johns River Water Management District (District), or may choose to pursue mediation as an alternative remedy under Sections 120.569 and 120.573, Florida Statutes, before the deadline for filing a petition. Choosing mediation will not adversely affect the rights to a hearing if mediation does not result in a settlement. The procedures for pursuing mediation are set forth in Sections 120.569 and 120.57, Florida Statutes, and Rules 28-106.111 and 28-106.401-.405, Florida Administrative Code. Pursuant to Chapter 28-106 and Rule 40C-1.1007, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, P. O. Box 1429 Palatka, Florida 32178-1429 (4049 Reid St., Palatka, FL 32177) within twenty-six (26) days of the District depositing notice of District decision in the mail (for those persons to whom the District mails actual notice) or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). A petition must comply with Chapter 28-106, Florida Administrative Code.
2. If the Governing Board takes action which substantially differs from the notice of District decision, a person whose substantial interests are or may be determined has the right to request an administrative hearing or may choose to pursue mediation as an alternative remedy as described above. Pursuant to District Rule 40C-1.1007, Florida Administrative Code, the petition must be filed at the office of the District Clerk at the address described above, within twenty-six (26) days of the District depositing notice of final District decision in the mail (for those persons to whom the District mails actual notice) or within twenty-one (21) days of newspaper publication of the notice of its final agency action (for those persons to whom the District does not mail actual notice). Such a petition must comply with Rule Chapter 28-106, Florida Administrative Code.
3. A substantially interested person has the right to a formal administrative hearing pursuant to Sections 120.569 and 120.57(1), Florida Statutes, where there is a dispute between the District and the party regarding an issue of material fact. A petition for formal hearing must comply with the requirements set forth in Rule 28-106.201, Florida Administrative Code.
4. A substantially interested person has the right to an informal hearing pursuant to Sections 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.
5. A petition for an administrative hearing is deemed filed upon delivery of the petition to the District Clerk at the District Headquarters in Palatka, Florida.
6. Failure to file a petition for an administrative hearing, within the requisite time frame shall constitute a waiver of the right to an administrative hearing (Section 28-106.111, Florida Administrative Code).
7. The right to an administrative hearing and the relevant procedures to be followed are governed by Chapter 120, Florida Statutes, and Chapter 28-106, Florida Administrative Code, and Section 40C-1.1007, Florida Administrative Code.
8. An applicant with a legal or equitable interest in real property who believes that a District permitting action is unreasonable or will unfairly burden the use of his property, has the right to, within 30 days of receipt of notice of the District's written decision regarding a permit application, apply for a special master proceeding under Section 70.51, Florida Statutes, by filing a written request for relief at the office of the District Clerk located at District headquarters, P. O. Box 1429, Palatka, FL 32178-1429 (4049 Reid St., Palatka, FL 32177). A request for relief must contain the information listed in Subsection 70.51(6), Florida Statutes.
9. A timely filed request for relief under Section 70.51, Florida Statutes, tolls the time to request an administrative hearing under paragraph no. 1 or 2 above (Paragraph 70.51(10)(b), Florida Statutes).

- However, the filing of a request for an administrative hearing under paragraph no. 1 or 2 above waives the right to a special master proceeding (Subsection 70.51(10)(b), Florida Statutes).
10. Failure to file a request for relief within the requisite time frame shall constitute a waiver of the right to a special master proceeding (Subsection 70.51(3), Florida Statutes).
  11. Any substantially affected person who claims that final action of the District constitutes an unconstitutional taking of property without just compensation may seek review of the action in circuit court pursuant to Section 373.617, Florida Statutes, and the Florida Rules of Civil Procedures, by filing an action in circuit court within 90 days of rendering of the final District action, (Section 373.617, Florida Statutes).
  12. Pursuant to Section 120.68, Florida Statutes, a person who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to the Florida Rules of Appellate Procedure within 30 days of the rendering of the final District action.
  13. A party to the proceeding before the District who claims that a District order is inconsistent with the provisions and purposes of Chapter 373, Florida Statutes, may seek review of the order pursuant to Section 373.114, Florida Statutes, by the Florida Land and Water Adjudicatory Commission, by filing a request for review with the Commission and serving a copy on the Department of Environmental Protection and any person named in the order within 20 days of adoption of a rule or the rendering of the District order.
  14. For appeals to the District Courts of Appeal, a District action is considered rendered after it is signed on behalf of the District, and is filed by the District Clerk.
  15. Failure to observe the relevant time frames for filing a petition for judicial review described in paragraphs #11 and #12, or for Commission review as described in paragraph #13, will result in waiver of that right to review.

#### CERTIFICATE OF SERVICE

I hereby certify that copy of the foregoing notice of rights has been sent by U.S. Mail to:

Bill Bryan Chrysler, Plymouth, Dodge  
Attn: Mr. Bill Bryan  
903 N. Boulevard West/ US Hwy 27  
Leesburg, FL 34748

At 4:00 p.m. this 27th day of October, 1999

  
Permit Data Services  
for Director, Gloria Jean Lewis

St. Johns River Water Management District  
Post Office Box 1429  
Palatka, FL 32178-1429  
(904) 329-4500

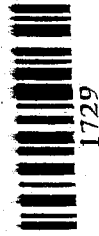
Permit Number: 42-069-56519-1

NOR.DOC.001  
Revised 7/17/98

# **TAB 3**

## **Technical Staff Report**

56519-1



# Technical Staff Report 1729

DRAFT - 10 October 1995

Standard General Environmental Resource Stormwater Permit Technical Staff Report

Date Received: 7/30/99

21st Day: 11/11/99

28th Day: 11/18/99

Project Name: Bill Bryan Chrysler, Plymouth Dodge

Application Number: 42-069-56519-1

Project Area: 8.47 (acres)

Receiving Water Body: Lake Griffin Class: III

Hydrologic Basin(s): Ocklawaha River Hydrologic Basin

O&M Documents Submitted to General Counsel: N/A

Easements/Deed Restrictions N/A

Correct Fee Submitted Yes

General Permit Category: (Check only one)

- 40C-42.024(2)(a) Connection into a prior approved system
- 40C-42.024(2)(b) Retention, Underdrain, Exfiltration, Wet Detention, Swales, or Dry Detention
- 40C-42.024(2)(c) Governmental Modification
- 40C-42.024(2)(d) Paving of Public Dirt Roads

Type of Development: (Check all applicable)

- Residential  Agricultural (6)
- Single (1)  Multifamily (2)  Institutional (7)
- Recreational (3)  Roadway (8)
- Commercial (4)  Other (9)
- Industrial (5)

Type of Treatment: (Check all applicable)

- Retention (1)  Pervious Concrete (9)
- Dry Detention w/Underdrain (2)  Wetlands (10)
- Exfiltration Trench (5)  Alternative (11)
- Wet Detention (6)  Other (12)
- Swales (7)  Dry Detention (13)
- Swales w/ditch blocks (8)

Type of System: (Check only one)

- New Stormwater System (1)
  - New Discharge Point (2)
  - New Regional System (3)
  - Modification to Existing System (4)
- Related permit Numbers

Comments:

ERP Stormwater General Condition 1-19.  
 September 25, 1991 Special Conditions: X, 28  
 Number of Other Conditions \_\_\_\_\_ (list attached)

Authorizing Statement: A stormwater management system with stormwater treatment by one dry retention pond to serve Bill Bryan Chrysler, Plymouth, Dodge, a 8.47 acre project to be constructed as per plans received by the District on 10/12/99.

This project as proposed in submitted plans, is consistent with the rules and regulations as set forth in Chapter 40C-42, F.A.C. implemented October 3, 1995.

Reviewer: \_\_\_\_\_

*[Signature]*

Date: 10/15/99

(recd. 10/22/99)

Supervising Professional Engineer: \_\_\_\_\_

*[Signature]*

Date: October 23, 1999

Forms to be included with permit

Completion Forms:

- EN-44 (Non-registered)
- EN-45 (Registered Professional)

Inspection Forms:

- EN-47 (Non-reg.)  EN-31 (Littoral Zone)
- EN-46 (Reg. Prof.) Other: \_\_\_\_\_
- EN-33 (Karst)

# **TAB 4**

**Original Post-Developed Stormwater  
Calculations September 1999**



56519-1



# Bound Reports

## 1720

RECEIVED

OCT 12 1999  
40-069-56519-1

PDS  
ORLANDO  
SIP WWD

*International Engineering Consultants, Inc.*

**STORMWATER CALCULATIONS**

**(REVISED)**

***BILL BRYAN CHRYSLER,  
PLYMOUTH, DODGE, INC.***

***FRUITLAND PARK, FLORIDA***

**PREPARED FOR:**

***BILL BRYAN CHRYSLER, PLYMOUTH,  
DODGE, INC.***

***903 NORTH BLVD. WEST  
LEESBURG, FLORIDA 34748***

**PREPARED BY:**

***INTERNATIONAL ENGINEERING CONSULTANTS, INC.***

***5740 OLD CHENEY HIGHWAY  
ORLANDO, FLORIDA 32807  
PHONE: 407.281.1775 FAX: 407.281.1790***

**SEPTEMBER 1999**

*[Handwritten signature]*  
*10/11/99*

**RECEIVED**

OCT 12 1999

40-069-56519-1

FDS  
ORLANDO  
SJR WMD

**STORMWATER CALCULATIONS  
(REVISED)**

## PROJECT INFORMATION

The **Bill Bryan Chrysler Project Site** is located a distance of approximately 1 mile south of the downtown area of the City of Fruitland Park, on the east side of US Highway 27/441, abutting Fruitland Park Plaza at the north property line. The Project is in Section 10, Township 19, Range 24 East, within the limits of the City of Fruitland Park in Lake County, Florida.

The existing site is a vacant parcel of land, which was mass graded as a part of a larger commercial subdivision. The Site drains to the west-northwest into an existing Florida Department of Transportation (FDOT) roadside drainage ditch located at the front of the property, with a final destination into Lake Griffin.

The proposed improvements consist of two office/showroom and vehicle maintenance facility buildings, with parking, a car display parking area, and a stormwater management system. Also, accounted for in the stormwater calculations, is an estimated 1.0 ac. of future impervious developable area.

A dry retention pond was designed to accommodate the runoff volume and provide water quality treatment for the project site as well as a 1.23 ac. Offsite contributing area from the Valencia Terrace Subdivision. The pond will discharge into the existing FDOT ditch via a control structure equipped with a skimming device to prevent floating oils and debris from leaving the site.

**PRE-DEVELOPMENT CONDITIONS**

# BILL BRYAN CHRYSLER

## STORMWATER CALCULATIONS

### PRE - DEVELOPMENT CONDITIONS:

Project Acreage = 8.47 acres (onsite) + 1.23 acres (offsite) = 9.70 acres

SOIL INFORMATION: Obtained from the "Lake County Soil Survey"

<u>Soil Symbol</u>	<u>Soil Name</u>	<u>Acreage</u>	<u>Soil %</u>	<u>Hydrologic Group</u>
Fm / 2	Arents	0.93 ac.	9.59 %	'A'
AtD / 15	Candler Sand (5 to 12%)	<u>8.77 ac.</u>	<u>90.41 %</u>	'A'
		9.70 ac.	100.00 %	

### CURVE NUMBER (CN):

<u>Soil Symbol</u>	<u>Cover Type</u>	<u>Hydrologic Group</u>	<u>Soil %</u>	<u>CN</u>	<u>~CN</u>
Fm / 2	Grass/Wood	'A'	9.59 %	43	4.12
AtD / 15	Grass/Wood	'A'	<u>90.41 %</u>	43	<u>38.88</u>
			100.00 %		43.00

Therefore,

Use CN = 43.00 for Pre-development Condition.

### TIME OF CONCENTRATION(TC):

- Use Kinematic Wave Formula (KWF) for overland runoff up to 300 ft. in distance.
- Use Shallow Concentrated Flow (SCF) for remainder runoff above the 300 ft. in distance.

$$T_c = \sum T_i = T_{t_1} + T_{t_2} + T_{t_3} + \dots + T_{t_n}$$

#### T<sub>t1</sub> (KWF<sub>1</sub>)

Length (L) = 134 ft. (offsite)

n = 0.24 (short grass)

T<sub>t1</sub> (kwf<sub>1</sub>) = 11.02 minutes

Slope (S) = 2.00 % or 0.020 ft./ft.

i = 5.70 in./hr.

## PRE- DEVELOPMENT CONDITIONS: (CONT'S.)

### TIME OF CONCENTRATION(TC): ( CONT'S.)

#### Tt<sub>2</sub> (KWF<sub>2</sub>)

Length (L) = 166 ft.  
or 0.0256 ft./ft.

Slope (S) = 100.0 ft.-75.0 ft. (100) / 975 ft. = 2.56%

n = 0.5 (grass)

i = 5.70 in./hr.

Tt<sub>2</sub> (kwf<sub>2</sub>) = 19.73 minutes

#### Tt<sub>3</sub> (SCF)

Length (L) = 753 ft.

Slope (S) = 2.56 % or 0.0256 ft./ft.

Velocity (V) = 2.53 ft./sec. (Figure 3.1 – 210-VI-TR-55, Second Ed., June 1986)

Tt<sub>3</sub> (SCF) = (753 ft./ 2.53 ft./sec.) / 60 sec./min. = 4.96 minutes

**Total TC = T<sub>t1</sub> + T<sub>t2</sub> + T<sub>t3</sub> = 11.02 + 19.73 + 4.96 = 35.71 minutes or 0.60 hrs**

### Pre - Development Summary:

**Project Acreage – 9.70 acres**

**Curve Number (CN) – 43.00**

**Time of Concentration (TC) – 35.71 minutes**

**POST-DEVELOPMENT CONDITIONS**



# BILL BRYAN CHRYSLER

## STORMWATER CALCULATIONS

### POST - DEVELOPMENT CONDITIONS:

Project Acreage = 8.47 acres (onsite) + 1.23 acres (offsite) = 9.70 acres

### CURVE NUMBER (CN):

Conditions	Acreage	Acreage Percentage	CN	~CN
Prop. Buildings (27,750 sf.)	0.64 acres	6.60 %	98	6.47
Pavement / Walks	4.03 acres	41.55 %	98	40.72
Future Impervious Areas	1.00 acres	10.31 %	98	10.10
Retention Pond (Dry)	0.51 acres	5.26 %	43	2.26
Green Areas	2.29 acres	23.61 %	43	10.15
Offsite Area (Residential)	1.23 acres	12.68%	57	7.23
	9.70 acres	100.00 %		76.93

Therefore,

CN = 76.93 for post-development

Impervious Area = 58.46 %

Pervious Area = 41.54 %

### TIME OF CONCENTRATION (TC):

\* Use Kinematic Wave Formula (KWF) for overland runoff up to 300ft. in distance.

\* Use Shallow Concentrated Flow (SCF) for remainder runoff above the 300ft. in distance.

$$T_c = \sum T_t = T_{t_1} + T_{t_2} + T_{t_3} + \dots + T_{t_n}$$

#### T<sub>t1</sub> (KWF<sub>1</sub>)

Length (L) = 134 ft. (offsite)

n = 0.24 (short grass)

T<sub>t1</sub> (kwf<sub>1</sub>) = 11.02 minutes

Slope (S) = 2.00 % or 0.020 ft./ft.

i = 5.70 in./hr.

## POST- DEVELOPMENT CONDITIONS: (CONT'S.)

### TIME OF CONCENTRATION (TC): ( CONT'S.)

#### T<sub>t2</sub> (SCF)

Length (L) = 410 ft.                      Slope (S) = 2.00 % or 0.0200 ft./ft.  
Velocity (V) = 2.90 ft./sec. (Figure 3.1 – 210-VI-TR-55, Second Ed., June 1986)  
T<sub>t2</sub> (SCF) = (410 ft./ 2.90 ft./sec.) / 60 sec./min. = 2.36 minutes

#### T<sub>t3</sub> (Pipe flow)

Length (L) = 515 ft.                      Velocity (V) = 3.00 ft./sec.  
T<sub>t3</sub> (Pipe flow) = (515 ft./ 3.00 ft./sec.) / 60 sec./min. = 2.86 minutes

**Total TC = T<sub>t1</sub> + T<sub>t2</sub> + T<sub>t3</sub> = 11.02 + 2.36 + 2.86 = 16.24 minutes or 0.60 hrs**

Therefore use,

**16.24 minutes (minimum) or 0.27 hours**

#### Post - Development Summary:

**Project Acreage – 9.70 acres**  
**Curve Number (CN) – 76.93**  
**Time of Concentration (TC) – 16.24 minutes**

POST- DEVELOPMENT CONDITIONS: (CONT'S.)

STORMWATER TREATMENT CRITERIA: Dry Retention

I. Compute the half inch of Runoff plus half inch over developed project

$$V_r = 0.5 \text{ in.} + 0.5 \text{ in.} (9.70 \text{ ac.}) / 12 \text{ ins./ ft.} = 0.808 \text{ ac. - ft.}$$

or

II. Compute 1.25 inches times the percentage of imperviousness plus half inch:

$$V_r = (1.25 \text{ in.}(5.67 \text{ ac.}) + 0.5 \text{ in.} (8.47 \text{ ac.})) / 12 \text{ ins./ ft.} = \underline{0.995 \text{ ac.- ft.}}$$

therefore, use 0.995 ac.- ft. as the required treatment volume.(as per SJRWMD)

STAGE \ STORAGE CALCULATIONS: NODE # POND

Stage (ft.-msl.)	Area (acres)	Ave. Area (acres)	H (ft.)	Storage (ac.-ft.)	Accum. Storage (ac.-ft.)
70.00	0.071				0.000
		0.093	1.0	0.093	
71.00	0.115				0.093
		0.137	1.0	0.137	
72.00	0.159				0.230
		0.181	1.0	0.181	
73.00	0.203				0.411
		0.225	1.0	0.225	
74.00	0.247				0.636
		0.270	1.0	0.270	
75.00	0.292				0.906
		0.314	1.0	0.314	> 0.995
76.00	0.336				1.220
		0.358	1.0	0.358	$\Delta 1 \text{ ft} = 0.314$
77.00	0.380				1.578
		0.402	1.0	0.402	$\Delta x \text{ ft} = 0.225$
78.00	0.424				1.980
		0.446	1.0	0.446	$x = 0.72 \text{ or}$
79.00	0.468				2.426
		0.490	1.0	0.490	$76 - 0.72 = \underline{75.28}$
80.00	0.512				2.916

WEIR CONTROL ELEVATION:

Required Weir Elevation = 75.28 ft.-msl.; in order to not exceed pre-development peak discharge for the 2.3yr 24hr mean annual storm (SJRWMD) the weir will be raised to elevation 77.35 ft.-msl., providing water quality storage above and beyond the required by the Water Management District. Therefore, proposed Weir Elev. = 77.35 ft.-msl. @ 1.719 ac-ft.

# **TAB 5**

**Approved Site Construction Plans**

56519-1



# Oversized Drawings

1723

# SITE CONSTRUCTION PLANS

## FOR

### BILL BRYAN CHRYSLER LAKE COUNTY, FLORIDA

PREPARED FOR:

BILL BRYAN CHRYSLER, PLYMOUTH, DODGE, INC.  
903 NORTH BOULEVARD WEST  
LEESBURG, FLORIDA 34748

### SHEET INDEX

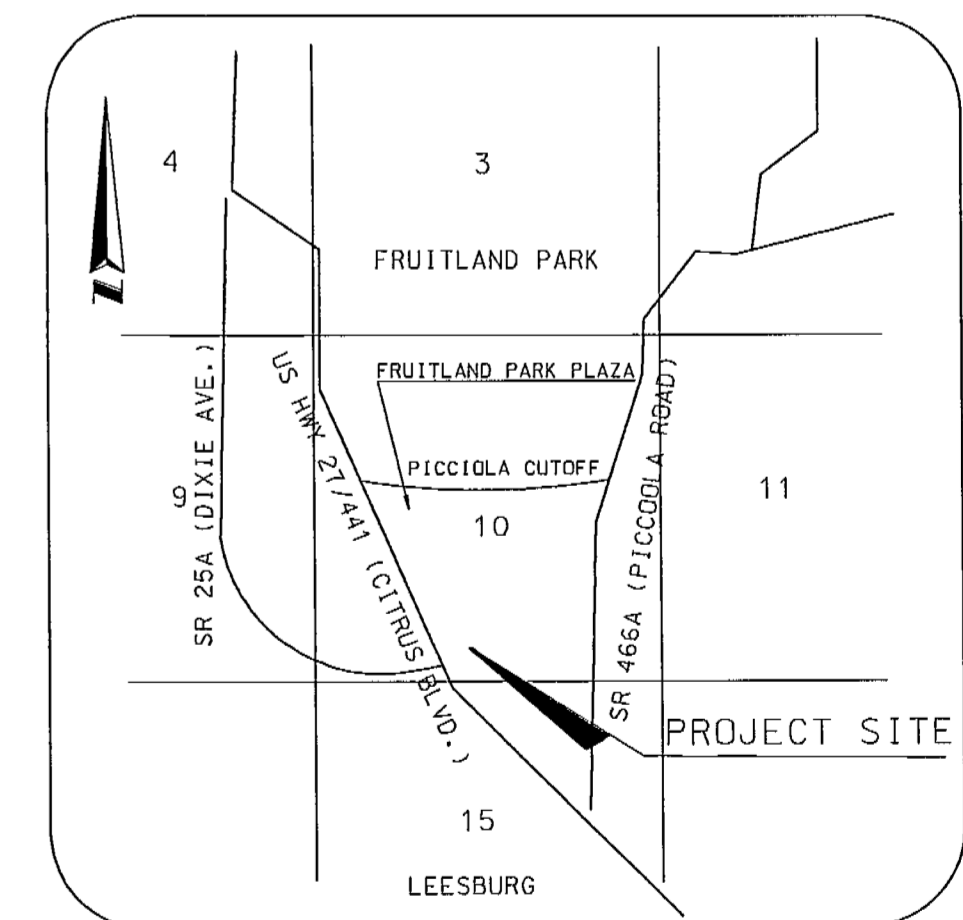
C-0	COVER SHEET
C-1	GEOMETRY AND UTILITY PLAN
C-2	PAVING, GRADING & DRAINAGE PLAN
C-3	DETAILS
L-1	LANDSCAPE PLAN

PREPARED BY:



5740 OLD CHENEY HIGHWAY  
ORLANDO, FLORIDA 32807

PHONE: (407) 281-1775 FAX: (407) 281-1790



LOCATION MAP  
NOT TO SCALE  
SECTION 10, T 19 S, R 24 E

RECEIVED

*K. H. [Signature]*  
10/11/99

OCT 12 1999  
40-069-56519-1  
PDS  
ORLAY-0  
SJR WMD

**GENERAL NOTES**

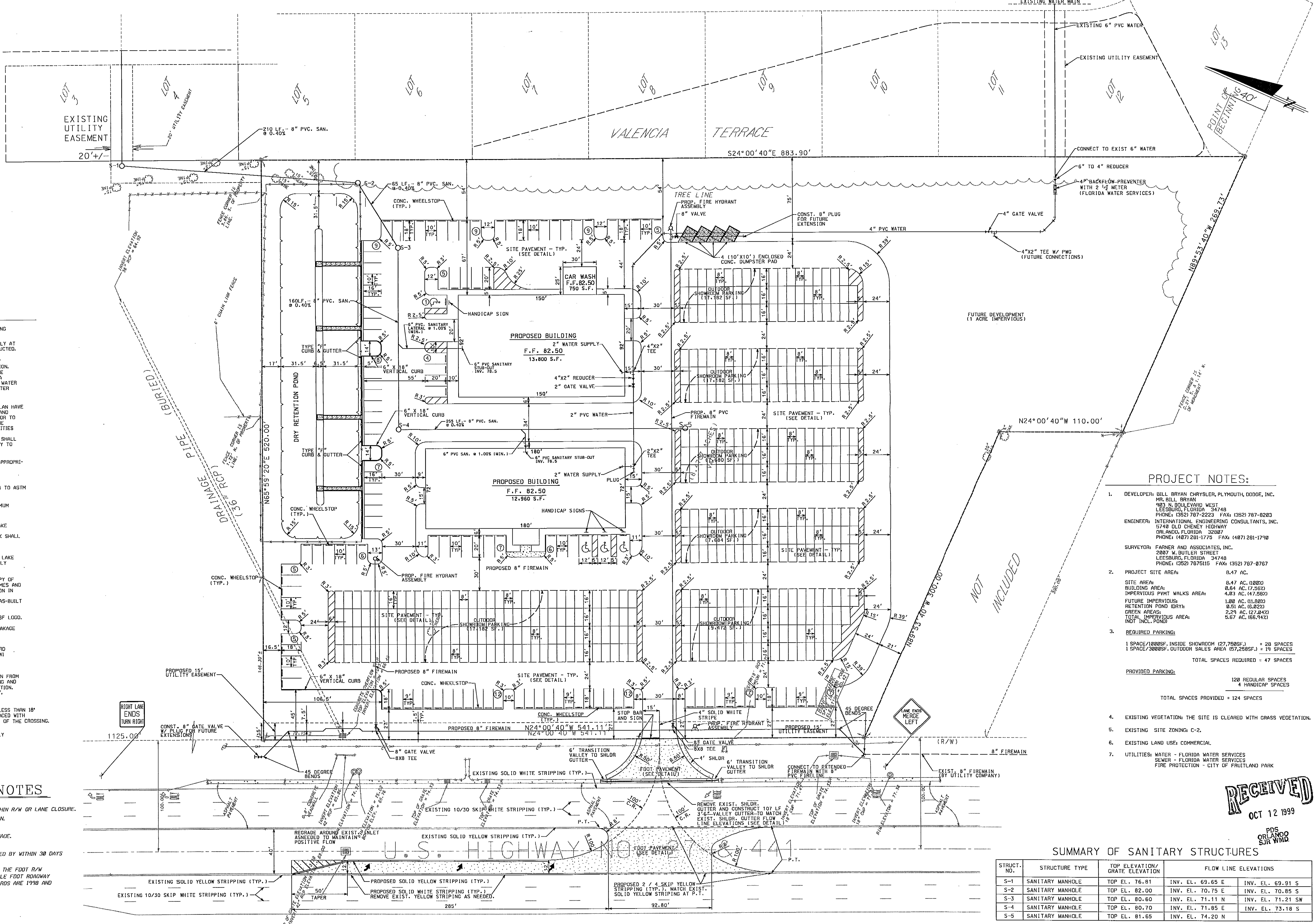
1. ALL CONSTRUCTION SHALL CONFORM TO LAKE COUNTY AND OR CITY OF FRUITLAND PARK STANDARDS UNLESS STATED OTHERWISE IN THE SPECIFICATIONS.
2. ALL POND SIDE SLOPES AND BOTTOM ARE TO BE SODDED.
3. ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS.
4. THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION UNDER THE DIRECTION OF A FLORIDA REGISTERED LAND SURVEYOR.
5. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE, AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR FIELD VERIFICATION AND RELOCATION OF THE EXISTING UTILITIES. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY TO ENSURE THE INTEGRITY OF THE SYSTEM.
6. ALL PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENT TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
7. WHEN TRENCH EXCAVATION EXCEEDS 5' DEPTH:
  - A) CONTRACTOR SHALL CONFORM TO OSHA STD. 29CFR. SECTION 1926.659 WHICH IS INCORPORATED IN FL STATE 90-9C.
  - B) THE CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE OF COMPLIANCE WITH THIS LAW.
  - C) TRENCH SAFETY SYSTEM SHALL BE BY THE CONTRACTOR.
8. THE CONTRACTOR SHALL ENSURE THAT PERMITS FOR CONSTRUCTION ARE OBTAINED PRIOR TO STARTING WORK.
9. THE CONTRACTOR SHALL COORDINATE BETWEEN MECHANICAL, ELECTRICAL, IRRIGATION, FIRE SYSTEMS, CIVIL, ETC. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IN WRITING IMMEDIATELY.

**UTILITY NOTES**

1. ALL PIPING SHALL BE CONSTRUCTED AND CONNECTED TO PIPING REQUIRED ELSEWHERE IN THE DOCUMENTS.
2. ALL SEWER AND WATER LINES ARE TO BE CAPPED TEMPORARILY AT THEIR OPEN ENDS UNTIL BUILDING CONNECTIONS ARE CONSTRUCTED.
3. WHEN WATER LINES & MAINS CROSS SANITARY, STORM OR ANY NON-POTABLE LINES WITH LESS THAN 18" VERTICAL SEPARATION, THE WATER MAIN SHALL BE REPLACED WITH UTILITY IRON PIPE FOR A DISTANCE OF 10' MIN. EITHER SIDE OF THE CROSSING. A LATERAL SEPARATION OF 18" SHALL BE MAINTAINED BETWEEN WATER AND ANY NON-POTABLE LINES AT ALL TIMES, UNLESS THE WATER MAIN IS CONSTRUCTED OF DUCTILE IRON PIPE.
4. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE, AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR FIELD VERIFICATION OF THE EXISTING UTILITIES. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY TO ENSURE THE INTEGRITY OF THE SYSTEM.
5. CONSTRUCTION OF ANY UTILITIES PRIOR TO OBTAINING ALL APPROPRIATE UTILITY PERMITS WILL NOT BE ALLOWED.
6. SANITARY SEWER SHALL BE P.V.C. AND SHALL CONFORM TO ASTM D1784. PIPE AND FITTINGS WILL BE P.V.C. AND CONFORM TO ASTM D3034. BOTH PIPE AND FITTINGS WILL HAVE AN S.D.R. OF 35.
7. ALL WATER AND SANITARY SEWER PIPES SHALL HAVE A MINIMUM COVER OF 36" FROM TOP OF PIPE TO FINISH GRADE.
8. DISINFECTION SHALL BE COMPLETED IN ACCORDANCE WITH LAKE COUNTY STANDARDS AND AWWA C651 SPECIFICATIONS. ALL REPAIRS OR TESTING REQUIRED TO COMPLETE THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
9. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE LAKE COUNTY SPECIFICATIONS AND STANDARDS UNLESS SPECIFICALLY STATED OTHERWISE HEREIN.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A COPY OF THE F.D.E.P. WATER AND SEWER PERMITS ON SITE AT ALL TIMES AND PERFORM BACTERIOLOGICAL TESTING (B.T.) AFTER DISINFECTION IN ACCORDANCE WITH THE F.D.E.P. WATER PERMITS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SUBMIT A SET OF AS-BUILT WATER AND SEWER DRAWINGS TO THE ENGINEER.
11. ALL P.V.C. PIPE FOR POTABLE WATER USE MUST BEAR THE NSF LOGO.
12. HYDROSTATIC TESTS CONSISTING OF PRESSURE TEST AND LEAKAGE TEST SHALL BE CONDUCTED IN ACCORDANCE WITH M23 FOR P.V.C. PIPES AND AWWA C600 FOR DUCTILE IRON PIPE.
13. POTABLE & FIRE WATER PIPE 12"-4" SHALL BE AWWA STANDARD C900 OR 18" P.V.C. PIPE LESS THAN 4" SHALL BE ASTM D-2241 PR 200 SDR 21 P.V.C. 1", 1 1/2", & 2" SERVICE PIPE SHALL BE POLYETHYLENE TUBING, AWWA C900 & C901.
14. THE CONTRACTOR SHALL PROTECT THE EXISTING ACTIVE MAIN FROM BACKFLOW CONTAMINATION DURING FILLING, FLUSHING, TESTING AND MAINTAIN A PRESSURE IN THE NEW MAINS DURING CONSTRUCTION. ALL PROTECTION METHODS SHALL CONFORM TO LAKE COUNTY, F.D.E.P., AND AWWA STANDARDS AND SPECIFICATIONS.
15. WHEN SANITARY LINES CROSS POTABLE WATER LINES WITH LESS THAN 18" VERTICAL SEPARATION, THE SANITARY LINE SHALL BE REPLACED WITH UTILITY IRON PIPE FOR A DISTANCE OF 20' MIN. EITHER SIDE OF THE CROSSING.
16. THE ON-SITE WASTEWATER COLLECTION SYSTEM IS PRIVATELY OWNED AND MAINTAINED.

**F.D.O.T. GENERAL NOTES**

1. FDOT OFFICE NEEDS 48 HOUR NOTICE PRIOR TO WORK WITHIN R/W OR LANE CLOSURE.
2. M.O.T. SETUP MUST BE SUPERVISED BY A CERTIFIED PERSON.
3. TEST RESULTS ARE REQUIRED UPON REQUEST.
4. AS-BUILT PLANS ARE REQUIRED IF MAJOR CHANGES ARE MADE.
5. ALL DISTURBED AREAS MUST BE SODDED.
6. ENGINEER'S CERTIFICATION OF REQUIRED MUST BE RECEIVED BY WITHIN 30 DAYS OF COMPLETION OF THE PROJECT.
7. ALL STRUCTURES, PIPES, AND OTHER CONSTRUCTION WITHIN THE FDOT R/W SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FDOT ROADWAY DESIGN STANDARDS AND SPECIFICATIONS. CURRENT STANDARDS ARE 1998 AND CURRENT SPECIFICATIONS ARE 1999.



**PROJECT NOTES:**

1. DEVELOPER: BILL BRYAN CHRYSLER, PLYMOUTH, DODGE, INC.  
MR. BILL BRYAN  
493 N. BOULEVARD WEST  
LEESBURG, FLORIDA 34748  
PHONE: (352) 787-2223 FAX: (352) 787-8283  
ENGINEER: INTERNATIONAL ENGINEERING CONSULTANTS, INC.  
5740 OLD CHENEY HIGHWAY  
ORLANDO, FLORIDA 32807  
PHONE: (407) 281-1775 FAX: (407) 281-1770  
SURVEYOR: FARNER AND ASSOCIATES, INC.  
2807 W. BUTLER STREET  
LEESBURG, FLORIDA 34748  
PHONE: (352) 787615 FAX: (352) 787-8767
2. PROJECT SITE AREA: 8.47 AC.  
SITE AREA: 8.47 AC. (10822)  
BUILDING AREA: 0.84 AC. (17,582)  
IMPERVIOUS PVMT WALKS AREA: 4.93 AC. (147,582)  
FUTURE IMPERVIOUS: 1.00 AC. (11,022)  
RETENTION POND DRY: 0.51 AC. (6,822)  
GREEN AREAS: 2.25 AC. (27,842)  
TOTAL IMPERVIOUS AREA: 5.67 AC. (66,942)
3. REQUIRED PARKING:  
1 SPACE/1000SF. INSIDE SHOWROOM (27,750SF.) = 28 SPACES  
1 SPACE/3000SF. OUTDOOR SALES AREA (57,250SF.) = 19 SPACES  
TOTAL SPACES REQUIRED = 47 SPACES

PROVIDED PARKING: 120 REGULAR SPACES  
4 HANDICAP SPACES  
TOTAL SPACES PROVIDED = 124 SPACES

4. EXISTING VEGETATION: THE SITE IS CLEARED WITH GRASS VEGETATION.
5. EXISTING SITE ZONING: C-2.
6. EXISTING LAND USE: COMMERCIAL.
7. UTILITIES: WATER - FLORIDA WATER SERVICES  
SEWER - FLORIDA WATER SERVICES  
FIRE PROTECTION - CITY OF FRUITLAND PARK

**SUMMARY OF SANITARY STRUCTURES**

STRUCT. NO.	STRUCTURE TYPE	TOP ELEVATION / GRADE ELEVATION	FLOW LINE ELEVATIONS		
S-1	SANITARY MANHOLE	TOP EL. 76.81	INV. EL. 69.65 E	INV. EL. 69.91 S	
S-2	SANITARY MANHOLE	TOP EL. 82.00	INV. EL. 70.75 E	INV. EL. 70.85 S	
S-3	SANITARY MANHOLE	TOP EL. 80.60	INV. EL. 71.11 N	INV. EL. 71.21 SW	
S-4	SANITARY MANHOLE	TOP EL. 80.70	INV. EL. 71.85 E	INV. EL. 73.18 S	
S-5	SANITARY MANHOLE	TOP EL. 81.65	INV. EL. 74.20 N		

**REVISIONS**

NO.	DATE	COMMENT	APPROVED BY
1	9-9-99	CITY AND FDOT COMMENTS	K.J.L.
2	9-21-99	REV FIRELINE & FIRE HYD.	
		PER CITY	K.J.L.
3	9-29-99	REV. PARKING WIDTH & ADDED	K.J.L.
		PH @ NW CORNER OF BLDG PER CITY	



• LAND DEVELOPMENT  
• HIGHWAY DESIGN  
• DRAINAGE DESIGN  
• ENVIRONMENTAL PERMITTING  
• CONSTRUCTION OBSERVATION

5740 OLD CHENEY HIGHWAY  
ORLANDO, FLORIDA 32807  
PHONE: 407.281.775 • FAX: 407.281.790

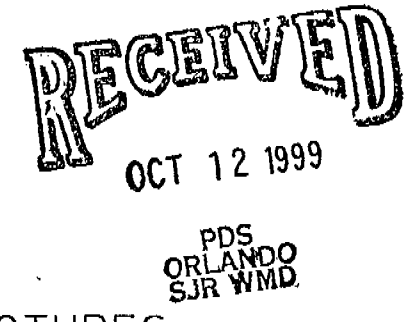
**PREPARED FOR:**  
BILL BRYAN CHRYSLER, PLYMOUTH, DODGE, INC.  
903 NORTH BLVD. WEST  
LEESBURG, FLORIDA 34748  
PHONE: (352) 787-2223

BILL BRYAN CHRYSLER, PLYMOUTH, DODGE  
**GEOMETRY AND UTILITY PLAN**  
LAKE COUNTY  
FLORIDA

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED IN THIS BLOCK

APPROVED BY  
*[Signature]*  
10/11/99  
DATE

JOB NUMBER: 98175  
DATE: 2-16-99  
DESIGNED: P.L.M.  
DRAWN: I.E.C.  
CHECKED: K.J.L.  
**C-1**

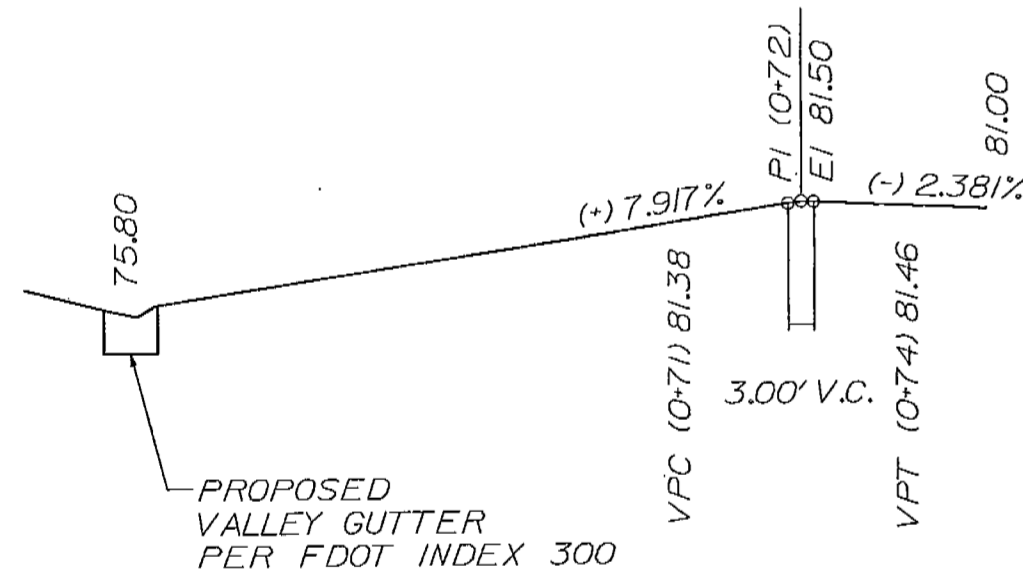


### EROSION CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS OF CITY OF FRUITLAND PARK, FLORIDA AND THE ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT.
2. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN, CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
3. SUCH MATERIALS, FROM WORK ON THIS PROJECT SHALL BE CONTAINED, AND NOT ALLOWED TO COLLECT ON ANY OFF-PERIMETER AREAS OR IN WATERWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
4. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF THESE EFFORTS. ANY NECESSARY REMEDIES SHALL BE PERFORMED WITHOUT DELAY.
5. ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING STATE-COUNTY-CITY OR PRIVATE ROADS AND FACILITIES FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR/BUILDER.
6. PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL GRADING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY PROTECT A DISTURBED AREA IMMEDIATELY AFTER GRADING OPERATIONS, TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED. A CERTIFICATE OF COMPLIANCE WILL NOT BE ISSUED UNTIL THE ABOVE REQUIREMENTS HAVE BEEN MET.
7. EROSION CONTROL PLANS TO BE SUBMITTED TO CITY OF FRUITLAND PARK.

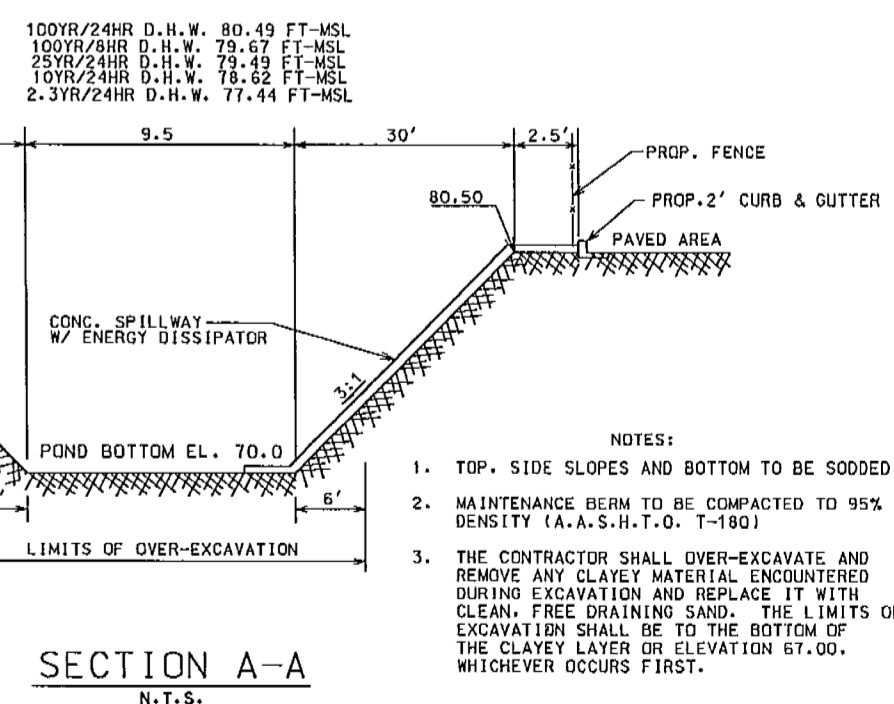
### TURNOUT X-SECTION B-B

N.T.S.



### SUMMARY OF DRAINAGE STRUCTURES

STRUCT. NO.	STRUCTURE TYPE	TOP ELEVATION/GRATE ELEVATION	FLOW LINE ELEVATIONS
D-1	INLET TYPE: E	TOP EL. 81.00	INV. EL. 76.75 (24")
D-2	INLET TYPE: E	TOP EL. 81.00	INV. EL. 77.56 (15")
D-3	INLET TYPE: E	TOP EL. 81.00	INV. EL. 77.31 (15") INV. EL. 77.12 (15")
D-4	INLET TYPE: E	TOP EL. 81.00	INV. EL. 76.19 (24") INV. EL. 76.49 (18") INV. EL. 71.50 (30")
D-5	INLET TYPE: 30" MES		INV. EL. 74.00
D-6	INLET TYPE: E	TOP EL. 80.00	INV. EL. 76.56 (15")
D-7	INLET TYPE: E	TOP EL. 80.00	INV. EL. 76.26 (15") INV. EL. 70.39 (18")
D-8	INLET TYPE: 18" MES		INV. EL. 70.00
D-9	INLET TYPE: 18" MES		INV. EL. 71.00
D-10	INLET TYPE: 18" MES		INV. EL. 74.00
D-11	INLET TYPE: 18" MES		INV. EL. 70.00
D-12	INLET TYPE: D	TOP EL. 79.50	INV. EL. 75.00 (18") INV. EL. 70.00 (18")



### RETENTION POND SECTION

N.T.S.

**RECEIVED**  
OCT 12 1999

PDS  
ORLANDO  
SJR WMD

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED IN THIS BLOCK

APPROVED BY  
*[Signature]*  
10/11/99  
DATE

JOB NUMBER: 98175  
DATE: 2-16-99  
DESIGNED: PLM  
DRAWN: IEC  
CHECKED: KJL  
C-2

REVISIONS			
NO.	DATE	COMMENT	APPROVED BY

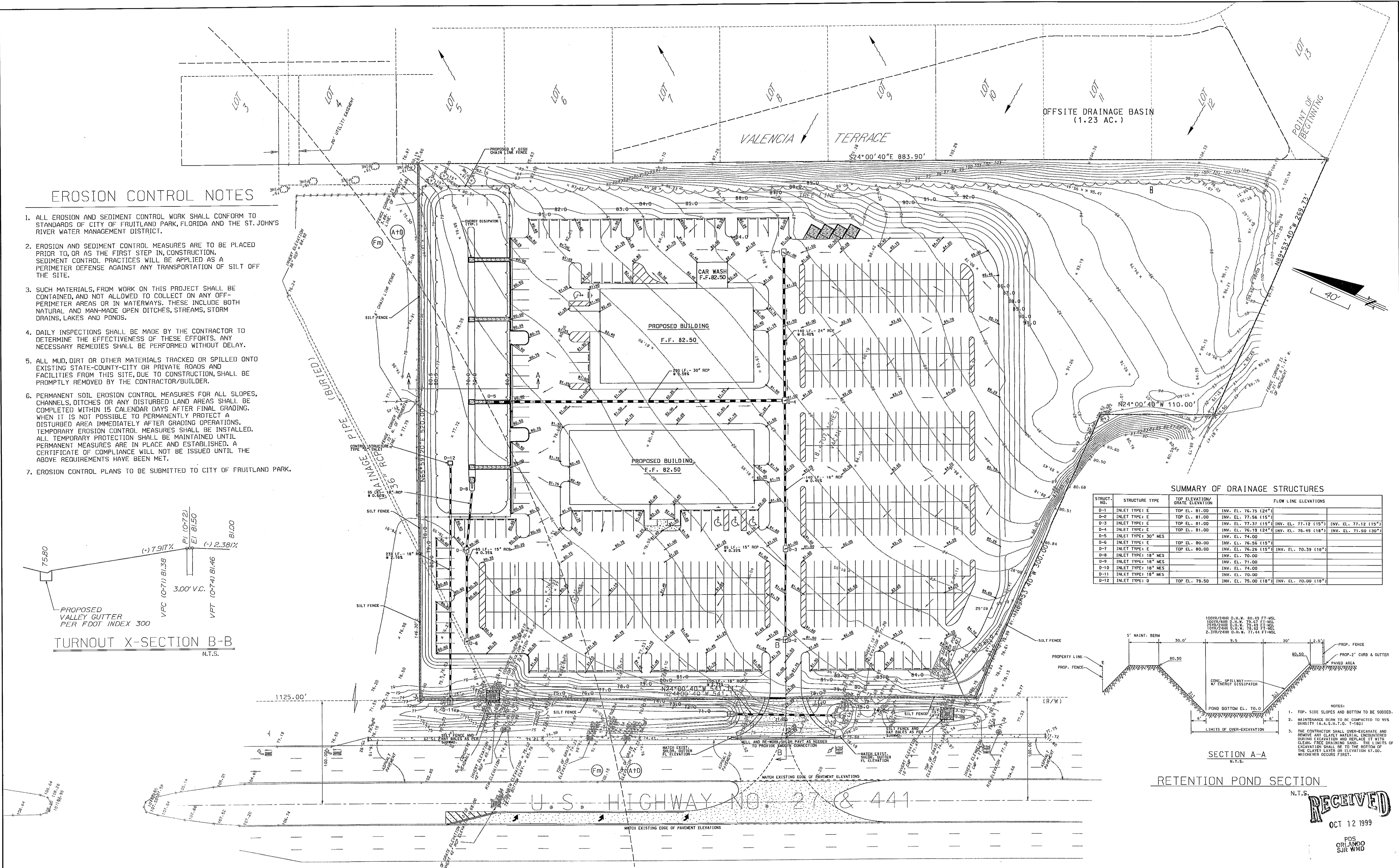


LAND DEVELOPMENT  
HIGHWAY DESIGN  
DRAINAGE DESIGN  
ENVIRONMENTAL PERMITTING  
CONSTRUCTION OBSERVATION

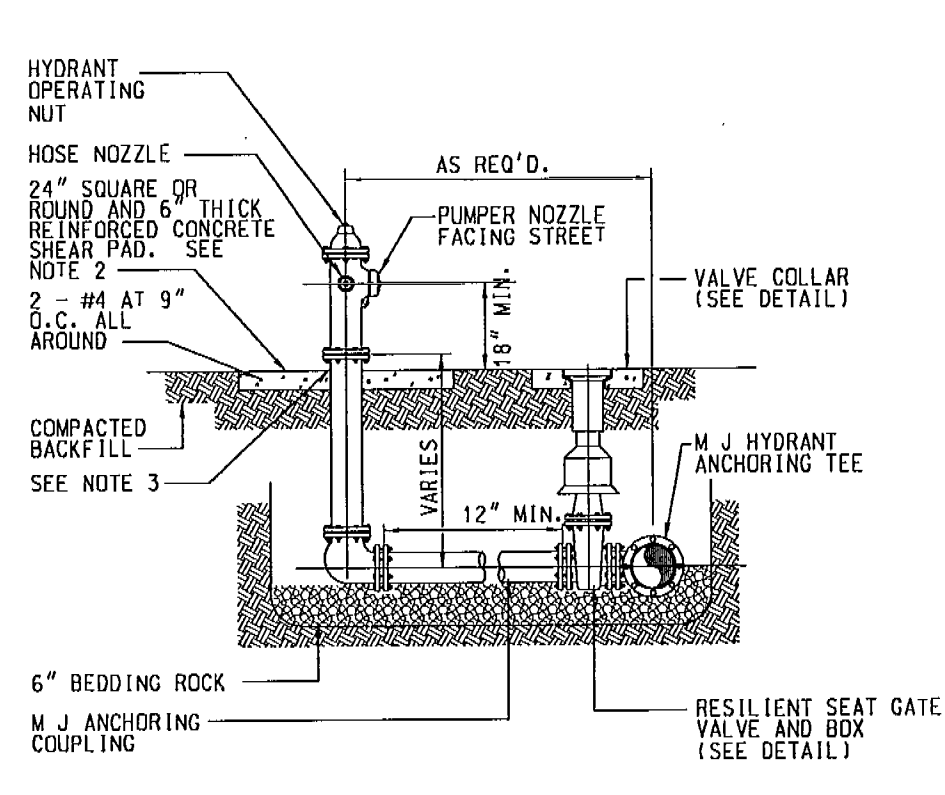
5740 OLD CHENEY HIGHWAY  
ORLANDO, FLORIDA 32807  
PHONE: 407.281.775 • FAX: 407.281.790

PREPARED FOR:  
BILL BRYAN CHRYSLER, PLYMOUTH, DODGE, INC.  
903 NORTH BLVD. WEST  
LEESBURG, FLORIDA 34748  
PHONE:

BILL BRYAN CHRYSLER, PLYMOUTH, DODGE  
PAVING, GRADING, AND DRAINAGE PLAN  
LAKE COUNTY  
FLORIDA

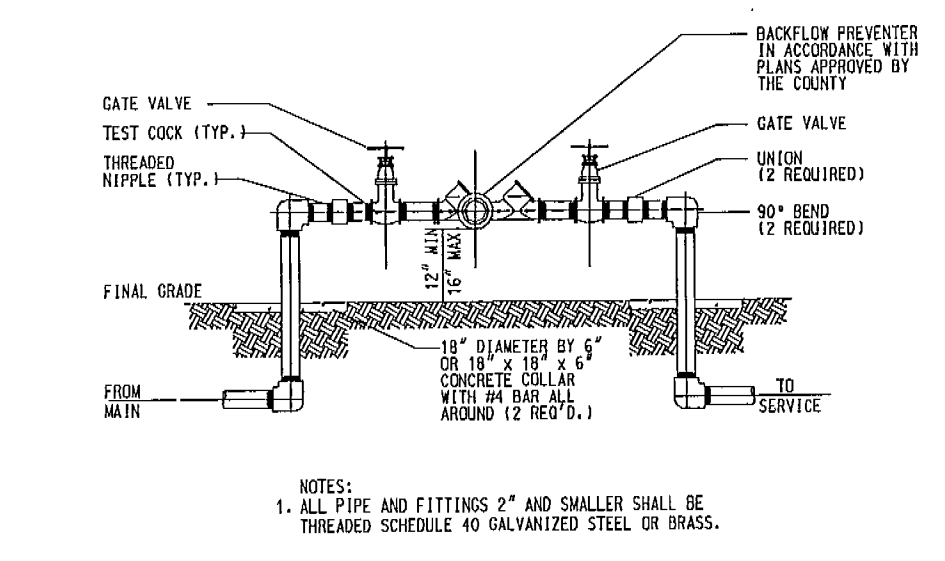




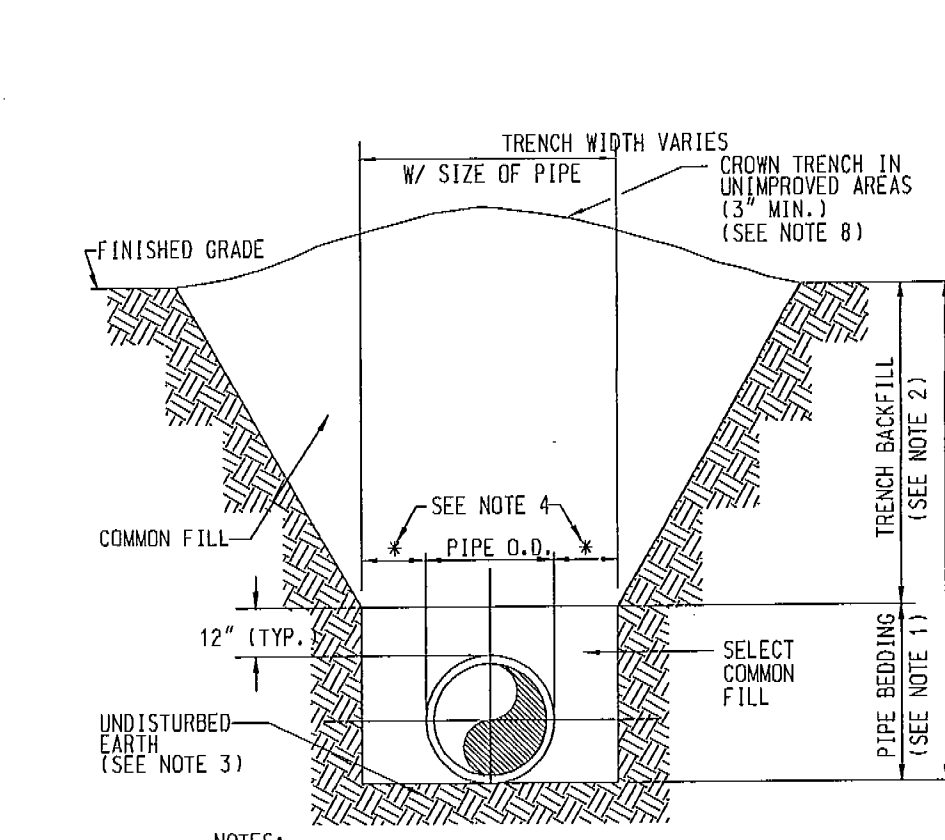


NOTES:  
 1. FIRE HYDRANT SHALL BE SUPPLIED WITHOUT A WEEP HOLE, OR WITH A PERMANENTLY PLUGGED WEEP HOLE.  
 2. THE DEVELOPER MAY INSTALL THE SHEAR PAD RECESSED UP TO 4 INCHES BELOW FINISHED GRADE AND SOD THE RECESSED SECTION.  
 3. CLEARANCE BETWEEN BOTTOM OF BOLTS AND TOP OF SHEAR PAD SHALL BE A 6" MINIMUM.

**FIRE HYDRANT ASSEMBLY DETAIL**  
 (FIG. 402)

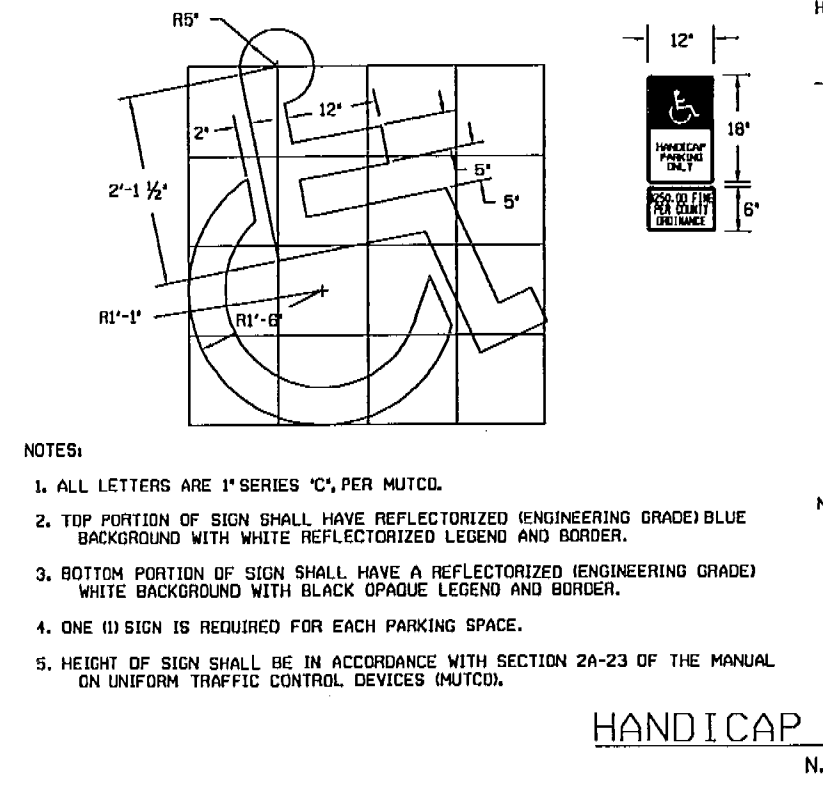


**REDUCED PRESSURE BACKFLOW PREVENTER**  
 (FIG. 301)



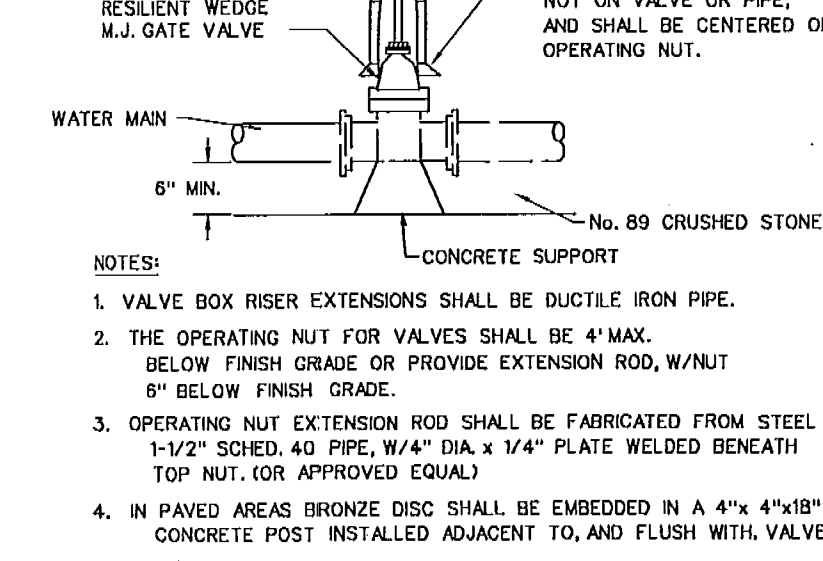
**TYPE B BEDDING AND TRENCHING DETAIL**  
 (FIG. 100)

NOTE:  
 WHEN WATER LINES & MAINS CROSS SANITARY, STORM OR ANY NON-POTABLE LINES WITH LESS THAN 18" VERTICALLY SEPARATION, THE WATER MAIN SHALL BE REPLACED WITH DUCTILE IRON PIPE FOR A DISTANCE OF 10' MIN. EITHER SIDE OF THE CROSSING. A LATERAL SEPARATION OF 18" SHALL BE MAINTAINED BETWEEN WATER AND ANY NON-POTABLE LINES AT ALL TIMES, UNLESS THE WATER MAIN IS CONSTRUCTED OF DUCTILE IRON PIPE.



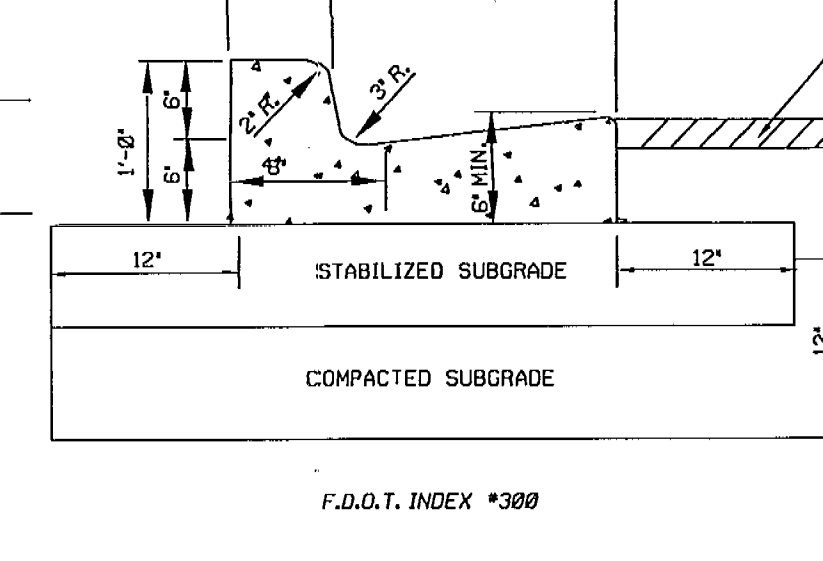
NOTES:  
 1. ALL LETTERS ARE 1" SERIES "C", PER MUTCO.  
 2. TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED ENGINEERING GRADE BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.  
 3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED ENGINEERING GRADE WHITE BACKGROUND WITH BLACK GRAPHIC LEGEND AND BORDER.  
 4. ONE ID SIGN IS REQUIRED FOR EACH PARKING SPACE.  
 5. HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 2A-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCO).

**HANDICAP PARKING SYMBOL**  
 N.T.S.

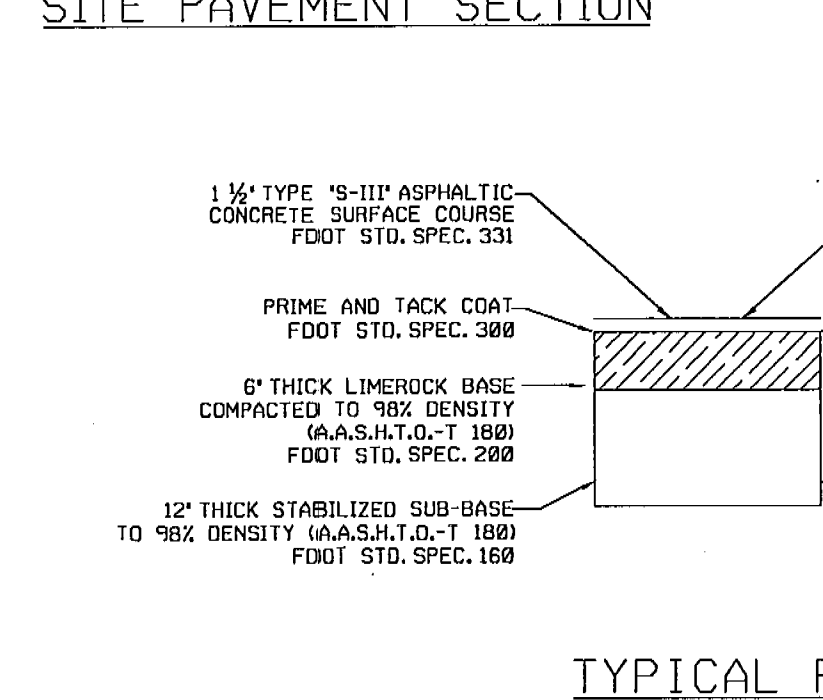


**GATE VALVE AND BOX DETAIL**  
 N.T.S.

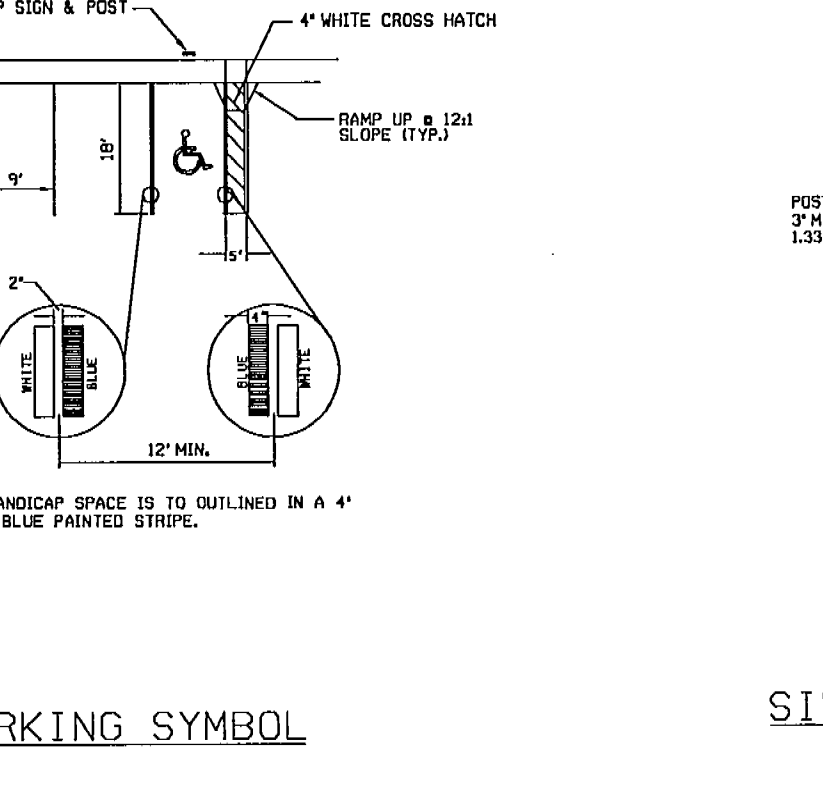
NOTE:  
 WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE OUTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.



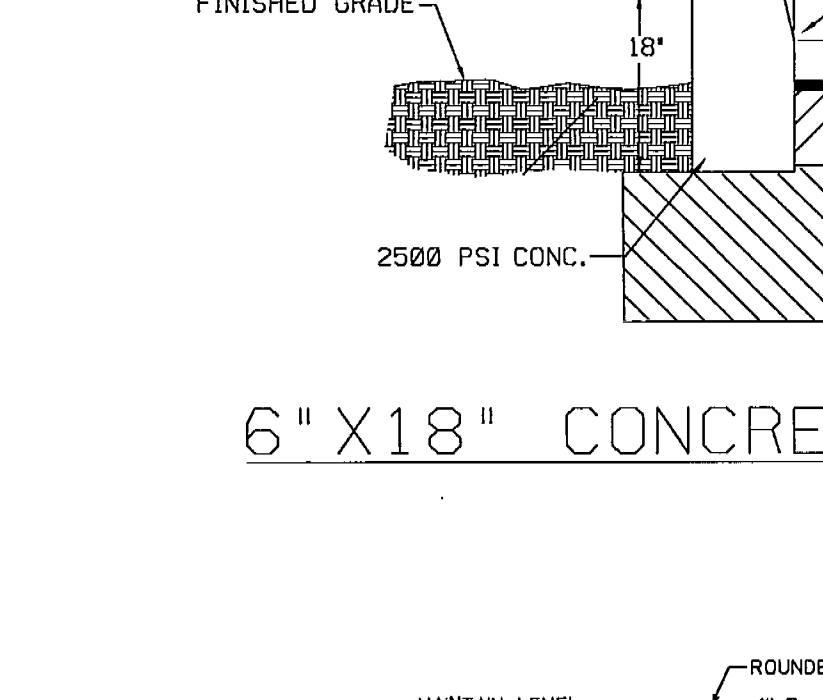
**F.D.O.T. TYPE F CURB & GUTTER**  
 N.T.S.



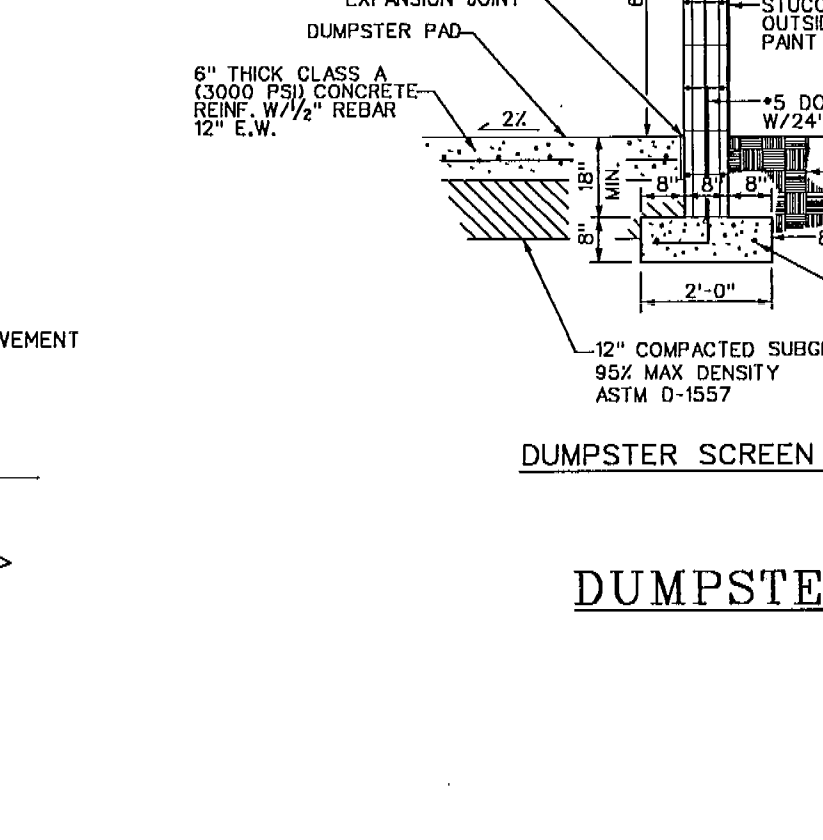
**TYPICAL PAVEMENT SECTION**  
 N.T.S.



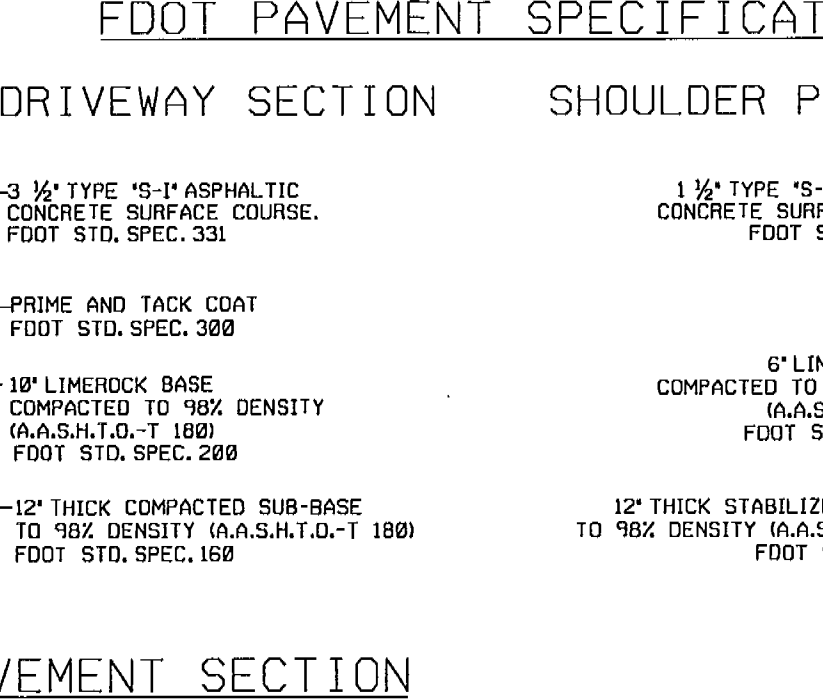
**SILT FENCE DETAIL**  
 N.T.S.



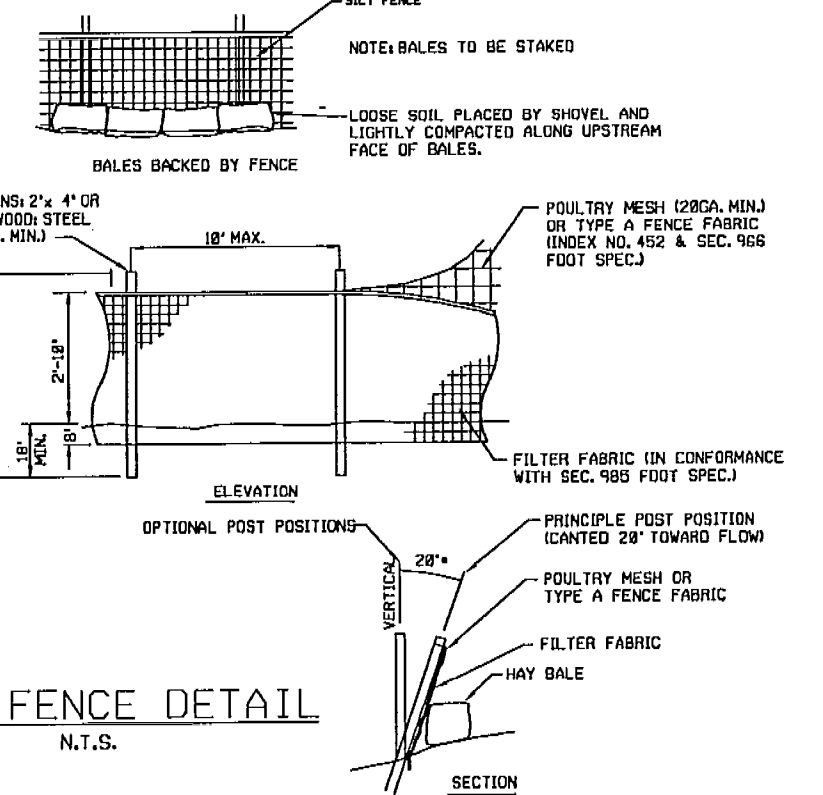
**6" X 18" CONCRETE CURB DETAIL**  
 N.T.S.



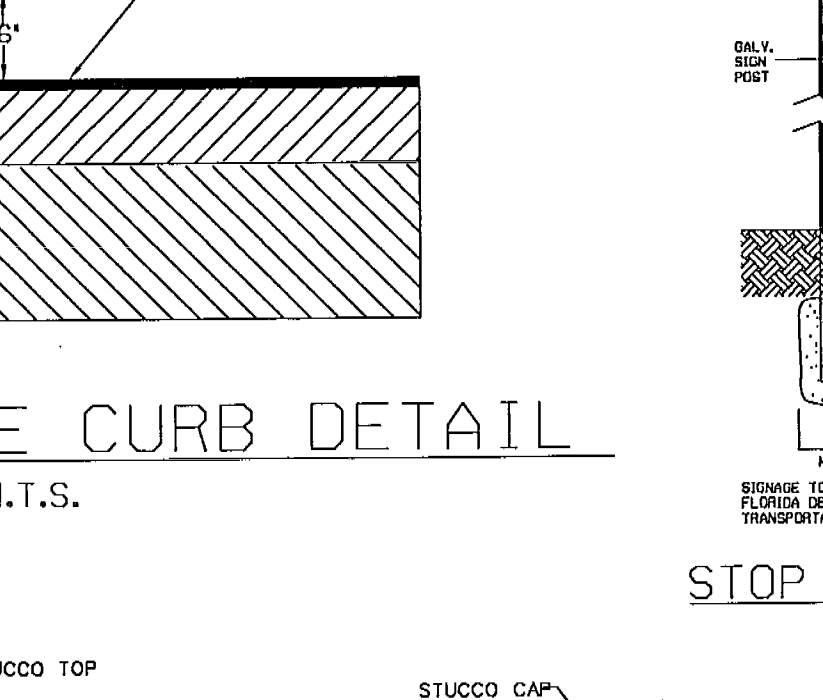
**DUMPSTER ENCLOSURE DETAIL**  
 N.T.S.



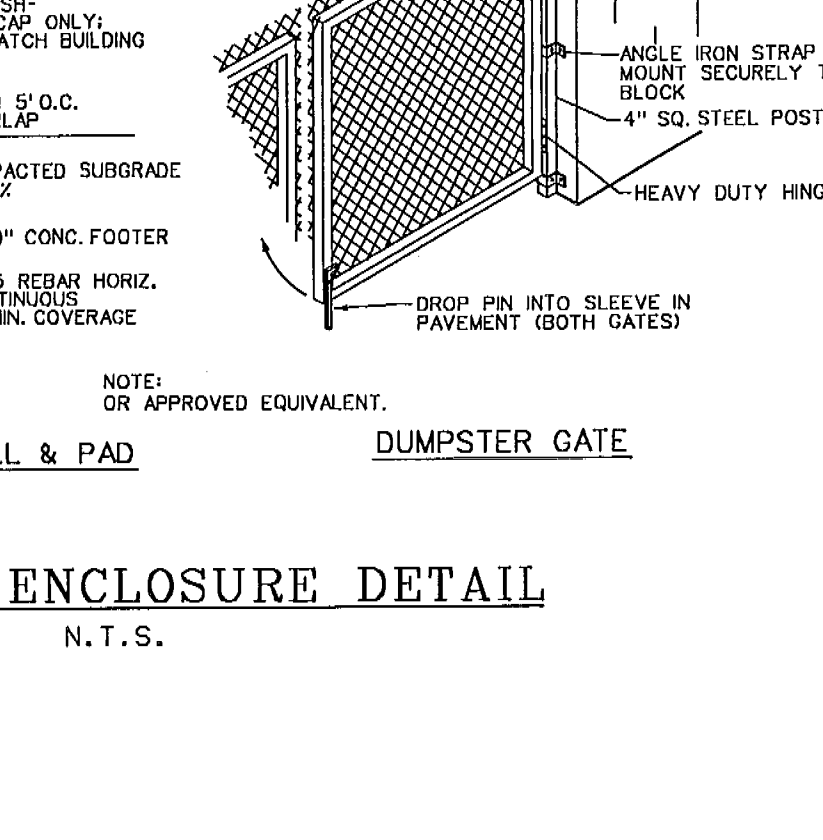
**FDOT PAVEMENT SPECIFICATIONS**  
 DRIVEWAY SECTION SHOULDER PAVEMENT



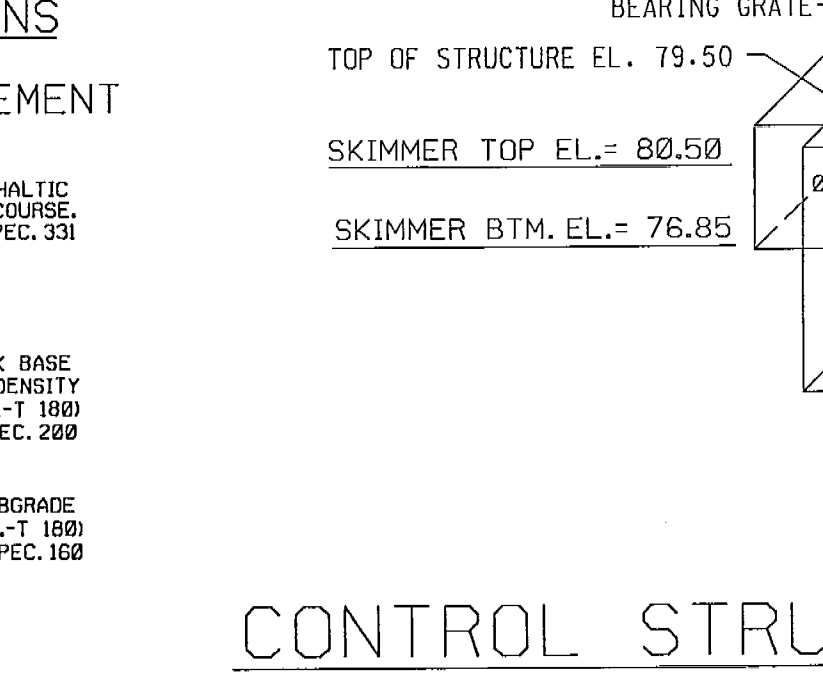
**SKIMMER MOUNTING BRACKET**  
 N.T.S.



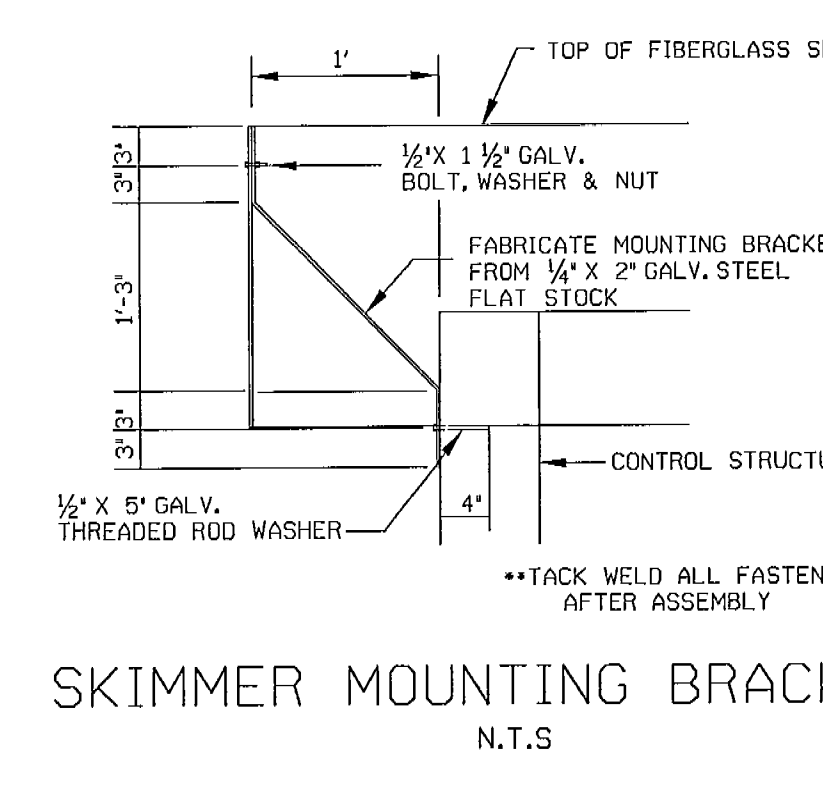
**STOP SIGN DETAIL**  
 N.T.S.



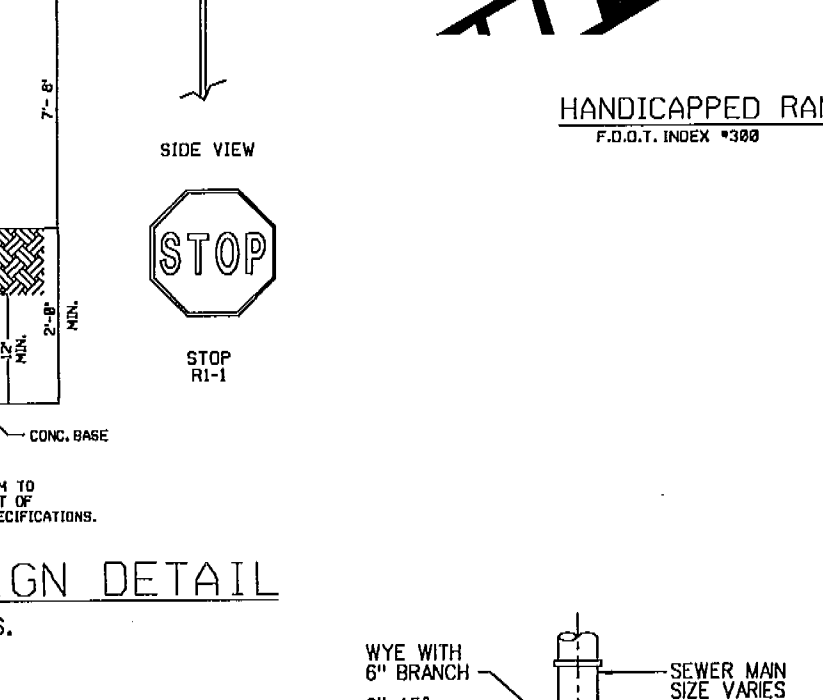
**SERVICE LATERAL DETAIL**  
 N.T.S.



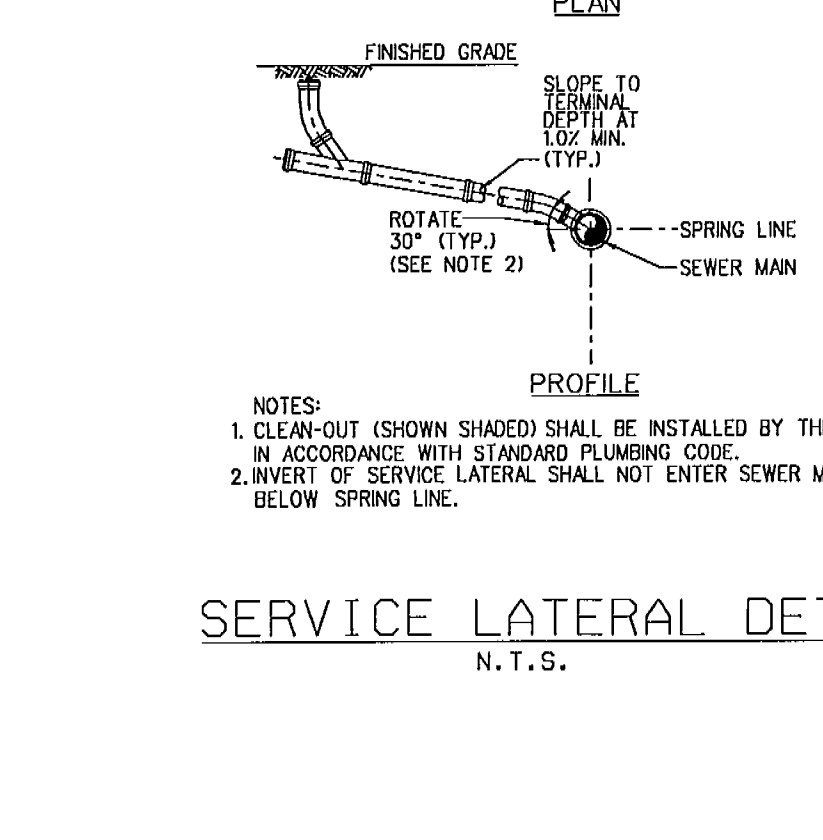
**CONTROL STRUCTURE - TYPE "D" MODIFIED INLET**  
 N.T.S.



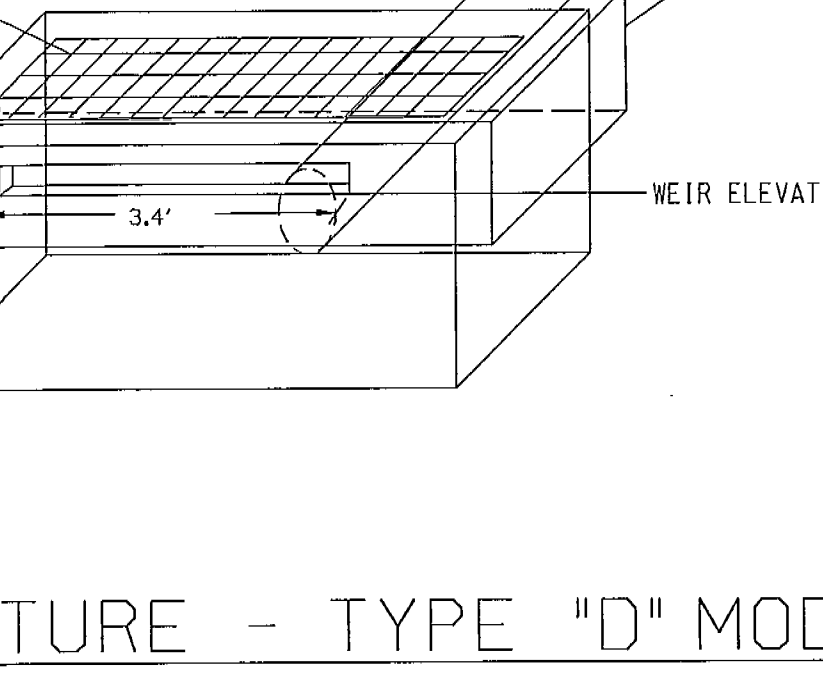
**MANHOLE FRAME & COVER**  
 N.T.S.



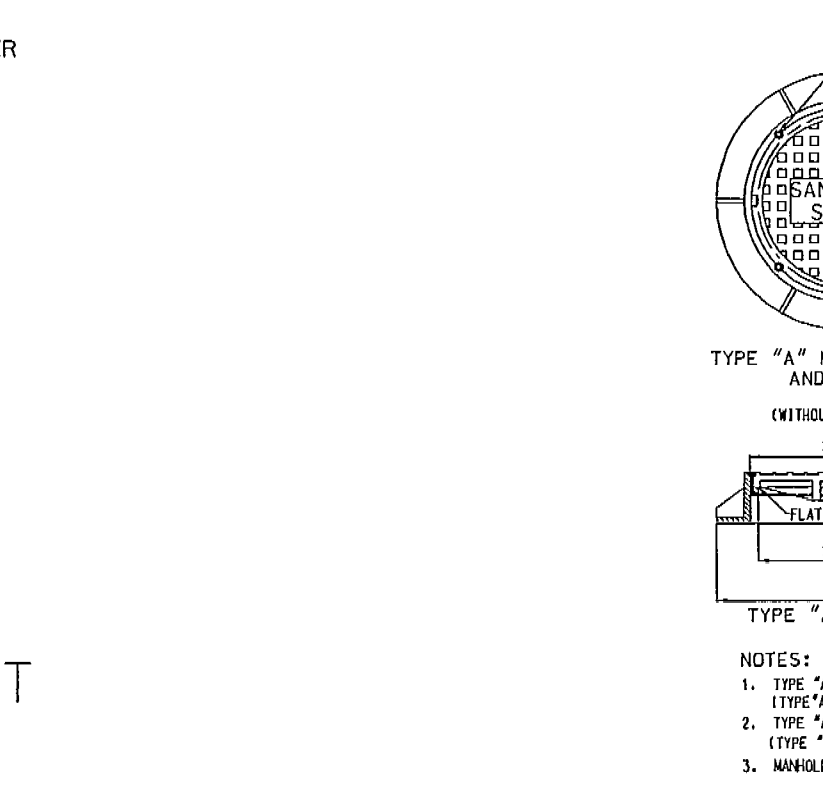
**HANDICAPPED RAMP DETAIL**  
 N.T.S.



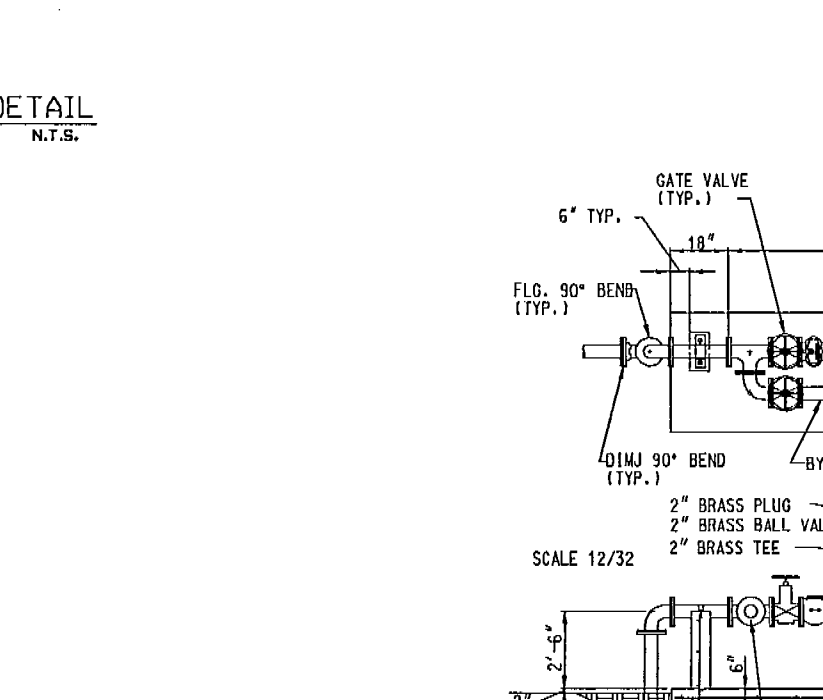
**METER ASSEMBLY, 3" & LARGER**  
 N.T.S.



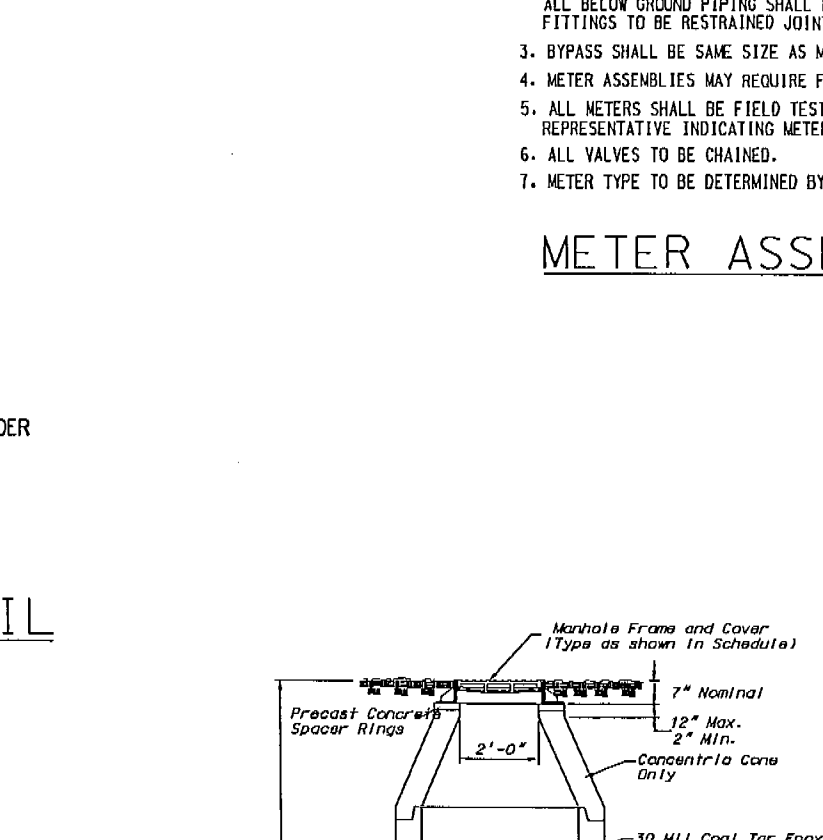
**STANDARD MANHOLE DETAIL (TYPE I)**  
 N.T.S.



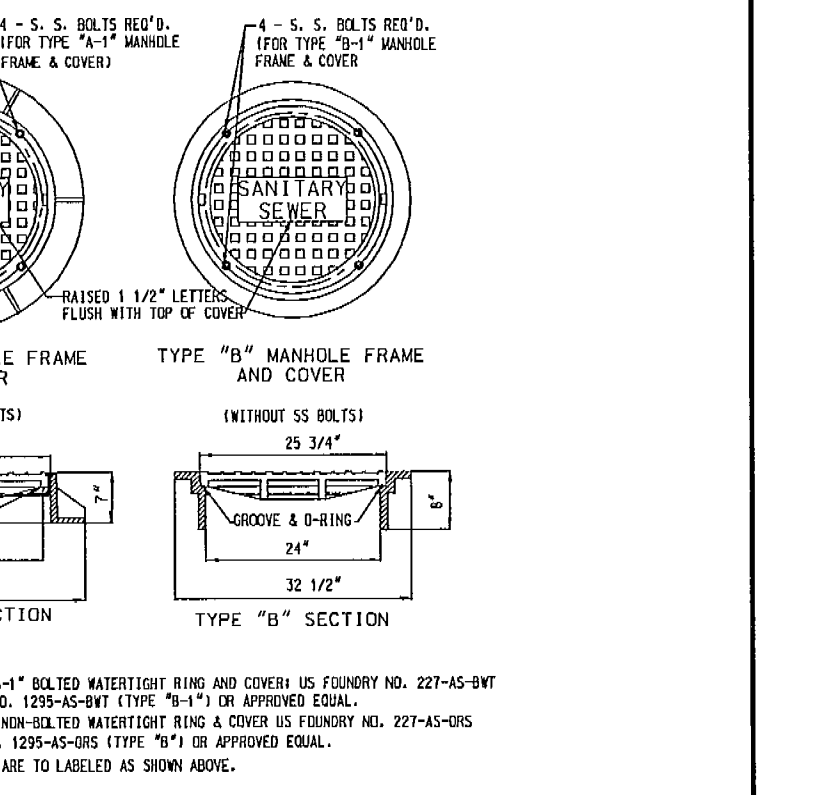
**TYPICAL MANHOLE PLAN**  
 N.T.S.



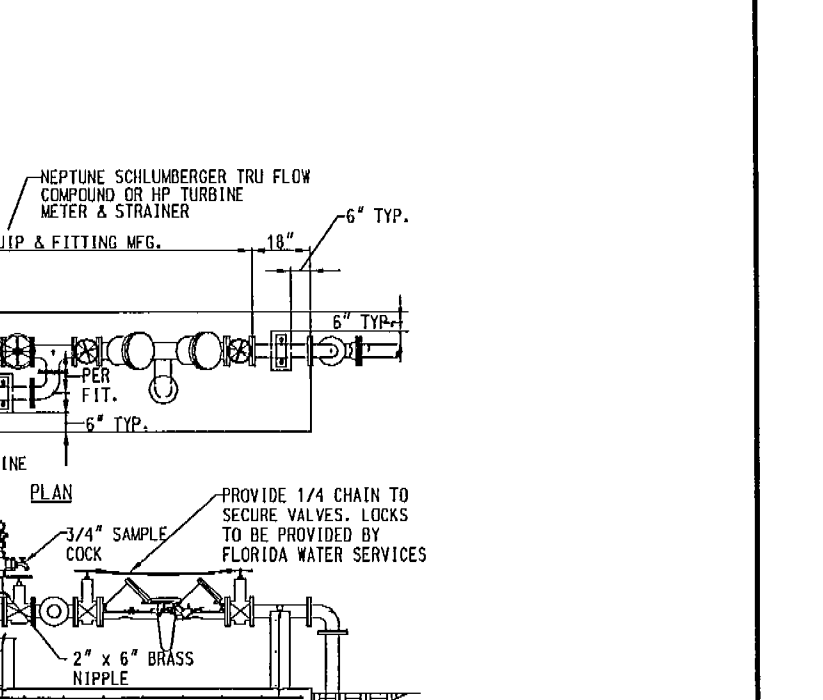
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 N.T.S.



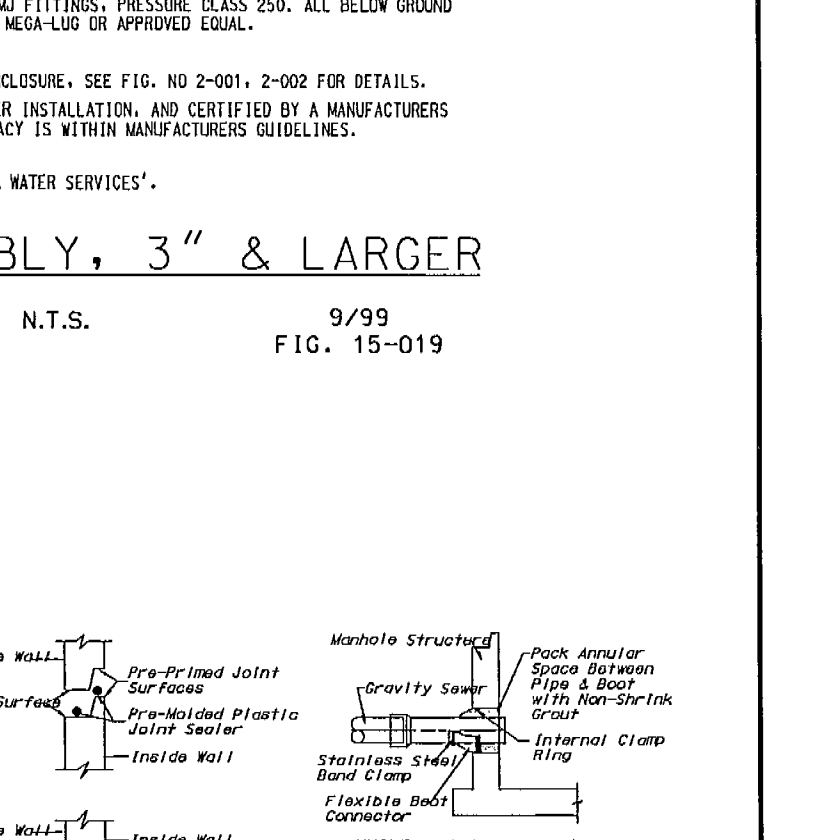
**STANDARD MANHOLE DETAIL (TYPE I)**  
 N.T.S.



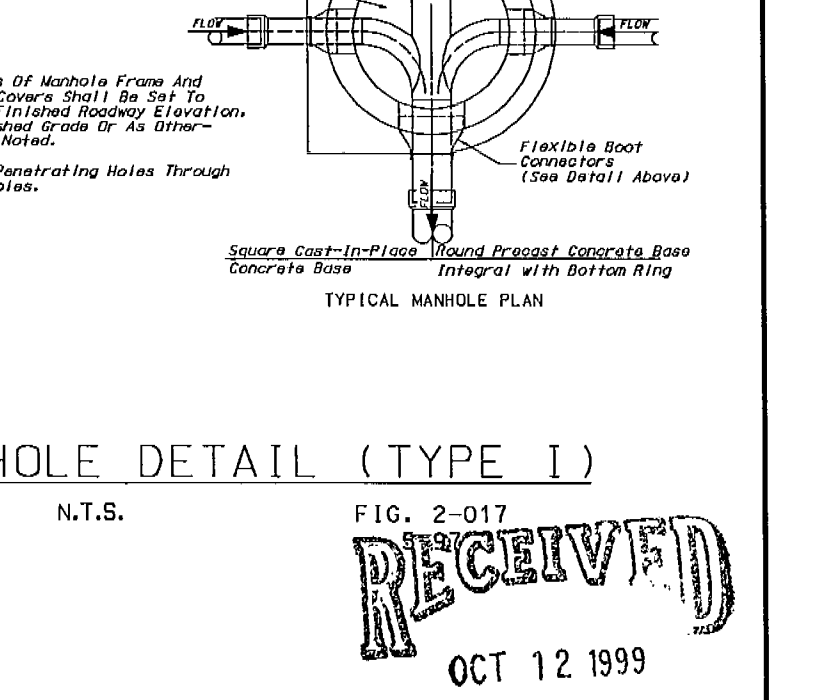
**STANDARD MANHOLE DETAIL (TYPE I)**  
 N.T.S.



**STANDARD MANHOLE DETAIL (TYPE I)**  
 N.T.S.



**STANDARD MANHOLE DETAIL (TYPE I)**  
 N.T.S.



**STANDARD MANHOLE DETAIL (TYPE I)**  
 N.T.S.

REVISIONS			
NO.	DATE	COMMENT	APPROVED BY

**INTERNATIONAL ENGINEERS CONSULTANTS, INC.**

- Land Development
- Highway Design
- Drainage Design
- Hydrologic Modeling
- Environmental Permitting

5740 Old Cheney Highway  
 Orlando, Florida 32807  
 Phone: 407.281.1776 • Fax: 407.281.1790

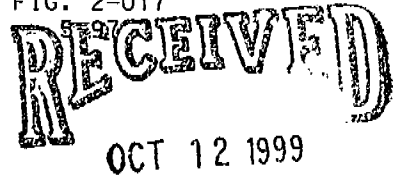
PREPARED FOR:  
**BILL BRYAN CHRYSLER, PLYMOUTH, DODGE, INC.**  
 903 NORTH BLVD. WEST  
 LEESBURG, FLORIDA 34748  
 PHONE: (352) 787-2223

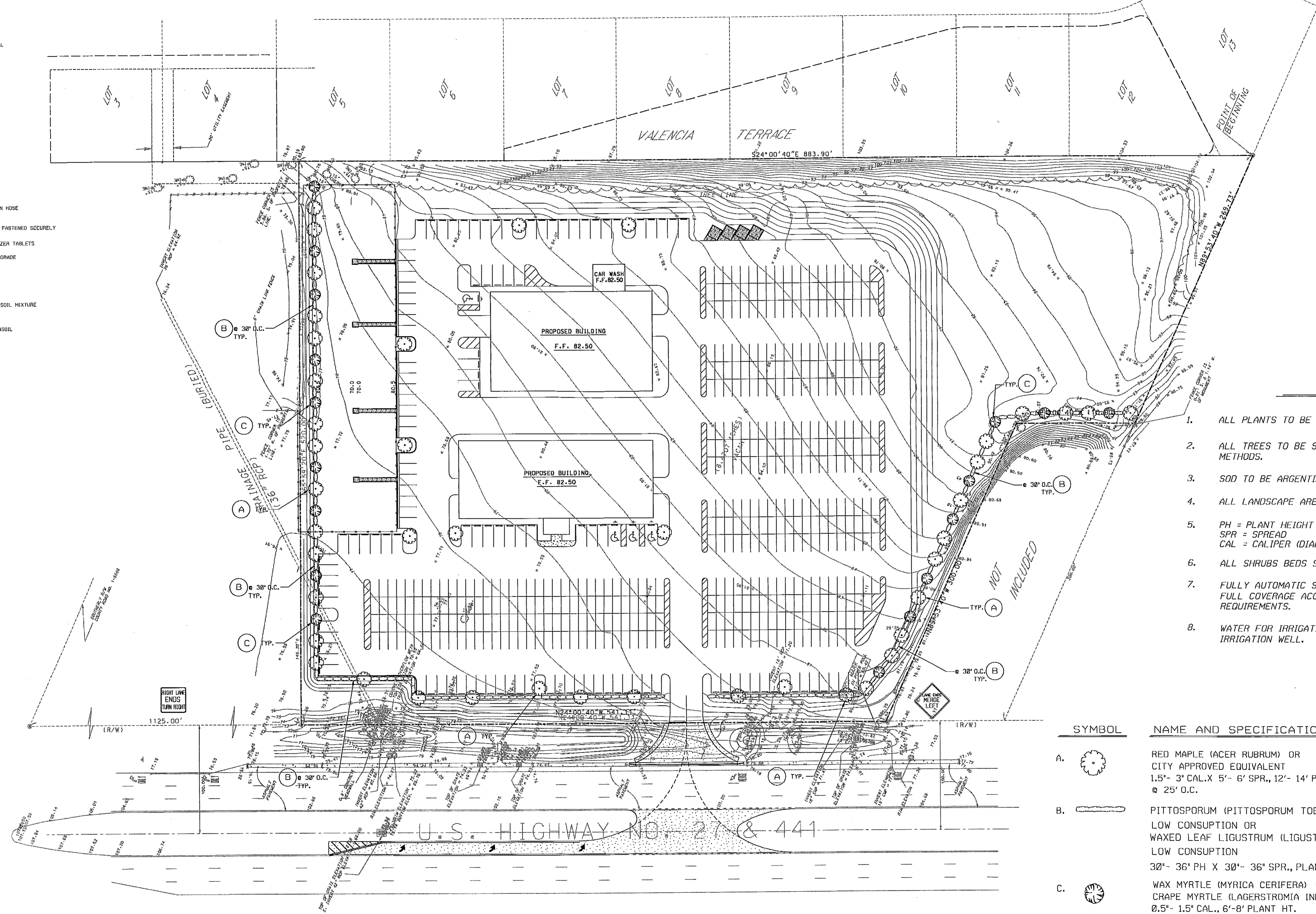
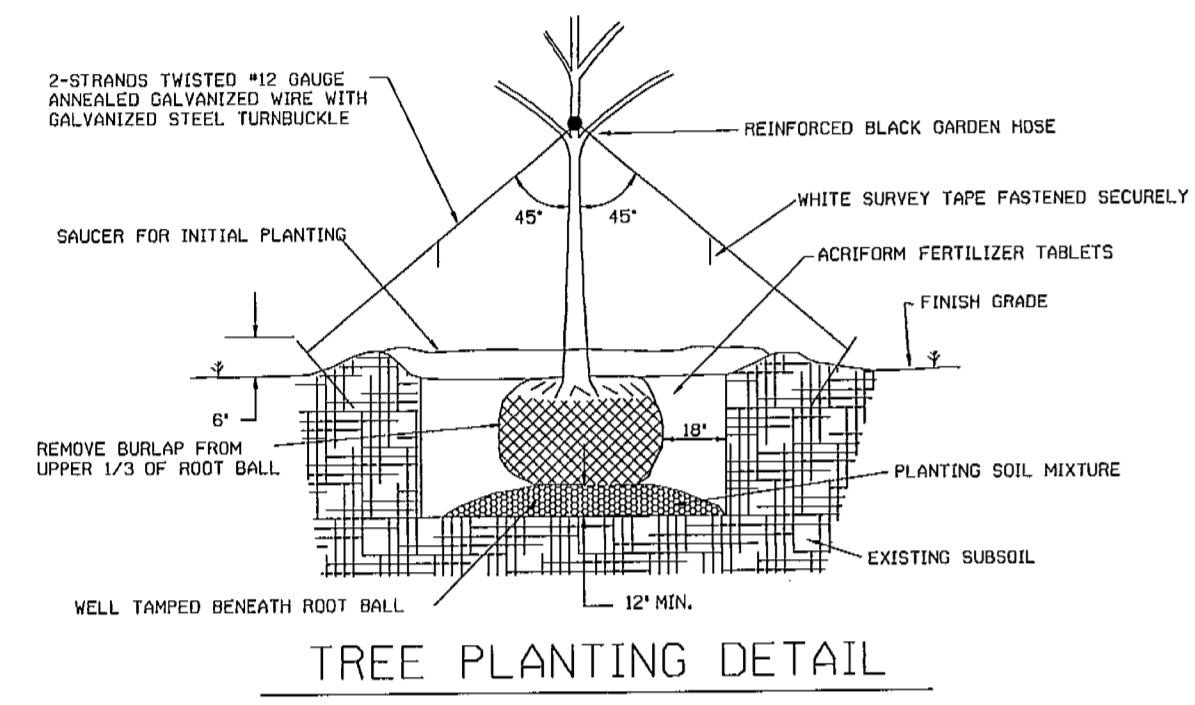
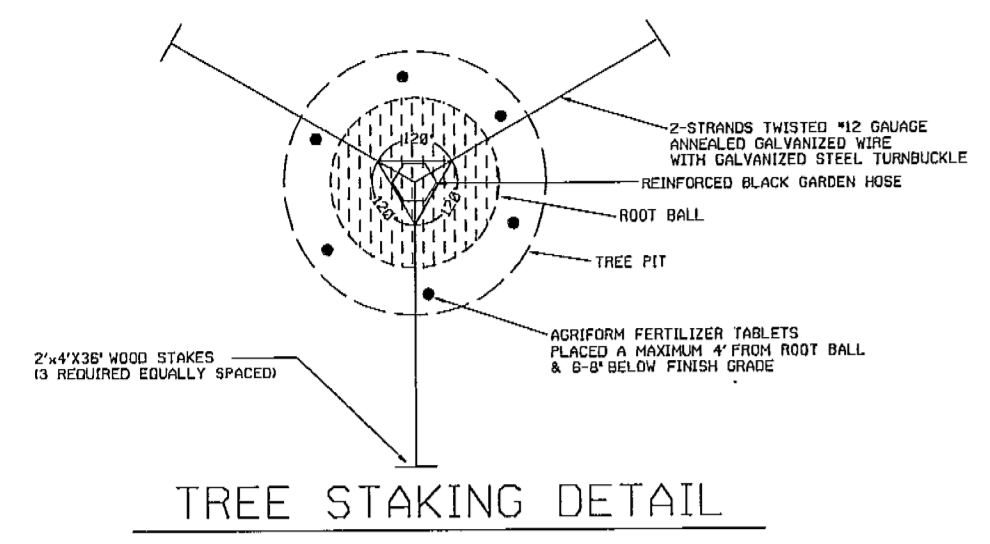
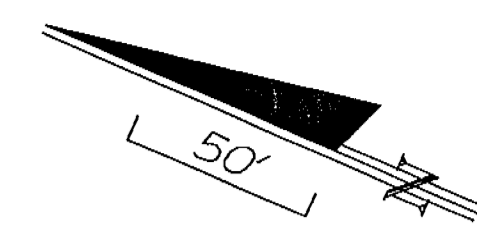
**BILL BRYAN CHRYSLER, PLYMOUTH, DODGE**  
**DETAIL SHEET**  
 LAKE COUNTY  
 FLORIDA

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED IN THIS BLOCK

APPROVED BY: *[Signature]*  
 DATE: 10/11/99

PDS  
 JOB NUMBER: 98175  
 DATE: 2-16-99  
 DESIGNED: P.L.M.  
 DRAWN: I.E.C.  
 CHECKED: K.J.L.  
 C-3





**NOTES**

1. ALL PLANTS TO BE FLORIDA No.1 OR BETTER.
2. ALL TREES TO BE STAKED FOLLOWING ACCEPTED GUYING METHODS.
3. SOD TO BE ARGENTINE BAHIA.
4. ALL LANDSCAPE AREAS TO BE SODDED.
5. PH = PLANT HEIGHT  
SPR = SPREAD  
CAL = CALIPER (DIAMETER)
6. ALL SHRUBS BEDS SHALL BE MULCHED.
7. FULLY AUTOMATIC SPRINKLER SYSTEM TO BE INSTALLED FOR FULL COVERAGE ACCORDING TO CITY OF FRUITLAND PARK REQUIREMENTS.
8. WATER FOR IRRIGATION SHALL BE OBTAINED FROM SHALLOW IRRIGATION WELL.

SYMBOL	NAME AND SPECIFICATION	QUANTITY
A.	RED MAPLE (ACER RUBRUM) OR CITY APPROVED EQUIVALENT 1.5'- 3' CAL. X 5'- 6' SPR., 12'- 14' PLANT HT. @ 25' O.C.	43
B.	PITTIOSPORUM (PITTIOSPORUM TOBIRA) LOW CONSUMPTION OR WAXED LEAF LIGUSTRUM (LIGUSTRUM JAPONICUM) LOW CONSUMPTION 30'- 36' PH X 30'- 36' SPR., PLANT @ 30' O.C.	760 (APPROX.)
C.	WAX MYRTLE (MYRTICA CERIFERA) OR CRAPE MYRTLE (LAGERSTROMIA INDICA) 0.5'- 1.5' CAL., 6'-8' PLANT HT. @ 25' O.C.	17

**RECEIVED**  
OCT 12 1999

REVISIONS				
NO.	DATE	COMMENT	APPROVED BY	
1	9-21-99	REV TREE TYPES PER CITY	K.J.L.	



• LAND DEVELOPMENT  
• HIGHWAY DESIGN  
• DRAINAGE DESIGN  
• ENVIRONMENTAL PERMITTING  
• CONSTRUCTION OBSERVATION

5740 OLD CHENEY HIGHWAY  
ORLANDO, FLORIDA 32792  
PHONE: 407.281.775 • FAX: 407.281.790

**PREPARED FOR:**  
BILL BRYAN CHRYSLER, PLYMOUTH, DODGE, INC.  
903 NORTH BLVD. WEST  
LEESBURG, FLORIDA 34748  
PHONE: (352) 787-2223

BILL BRYAN CHRYSLER, PLYMOUTH, DODGE  
**LANDSCAPING PLAN**  
LAKE COUNTY FLORIDA

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED IN THIS BLOCK

*K.J.L.*  
APPROVED BY  
10/11/99  
DATE

ORLANDO JOB NUMBER: 98175
DATE: 2-16-99
DESIGNED: PLM
DRAWN: IEC
CHECKED: KJL
L - 1

# **TAB 6**

## **Post-Developed Curve Number Calculations**

**DRAINAGE BASIN No. 1  
PERMITTED POST DEVELOPED  
CURVE NUMBER CALCULATIONS**

**Total Area: 9.70 AC**  
**Total DCIA Area: 5.67 AC**  
**Percent (%) DCIA of Area: 58.45%**  
**Total Weighted CN Area: 4.03 AC**  
**Weighted Curve Number: 47.27**

Land Use Description	Area		% DCIA	% Impervious	% Pervious
Proposed Buildings (27,750 SF)	0.64	AC	100%	0%	0%
Pavement / Walks	4.03	AC	100%	0%	0%
Future Impervious Areas	1.00	AC	100%	0%	0%
Proposed Impervious Areas	0.00	AC	100%	0%	0%
Retention Pond (Dry)	0.51	AC	0%	0%	100%
Green Area (Open Space)	2.29	AC	0%	0%	100%
Offsite (Residential)	1.23	AC	0%	0%	100%
<b>TOTAL AREA -----&gt;</b>	<b>9.70</b>	<b>AC</b>			

	% LAND USED	DCIA AREA (AC)	C.N.	
Proposed Buildings (27,750 SF)	100%	0.64	98	
Pavement / Walks	100%	4.03	98	
Future Impervious Areas	100%	1.00	98	
Proposed Impervious Areas	100%	0.00	98	
<b>TOTAL ---&gt;</b>		<b>5.67</b>		

**Percent (%) DCIA of Area = 58.45%**

<u>WEIGHTED C.N.</u>					
	% LAND USED	AREA (AC)	% AREA	C.N.	%XC.N.
Retention Pond (Dry)	100%	0.51	12.7%	43	5.44
Green Area (Open Space)	100%	2.29	56.8%	43	24.43
Offsite (Residential)	100%	1.23	30.5%	57	17.40
<b>TOTAL -----&gt;</b>		<b>4.03</b>	<b>100%</b>		<b>47.27</b>

**DRAINAGE BASIN No. 1  
PROPOSED POST DEVELOPED  
CURVE NUMBER CALCULATIONS**

**Total Area: 9.70 AC**  
**Total DCIA Area: 5.67 AC**  
**Percent (%) DCIA of Area: 58.45%**  
**Total Weighted CN Area: 4.03 AC**  
**Weighted Curve Number: 47.27**

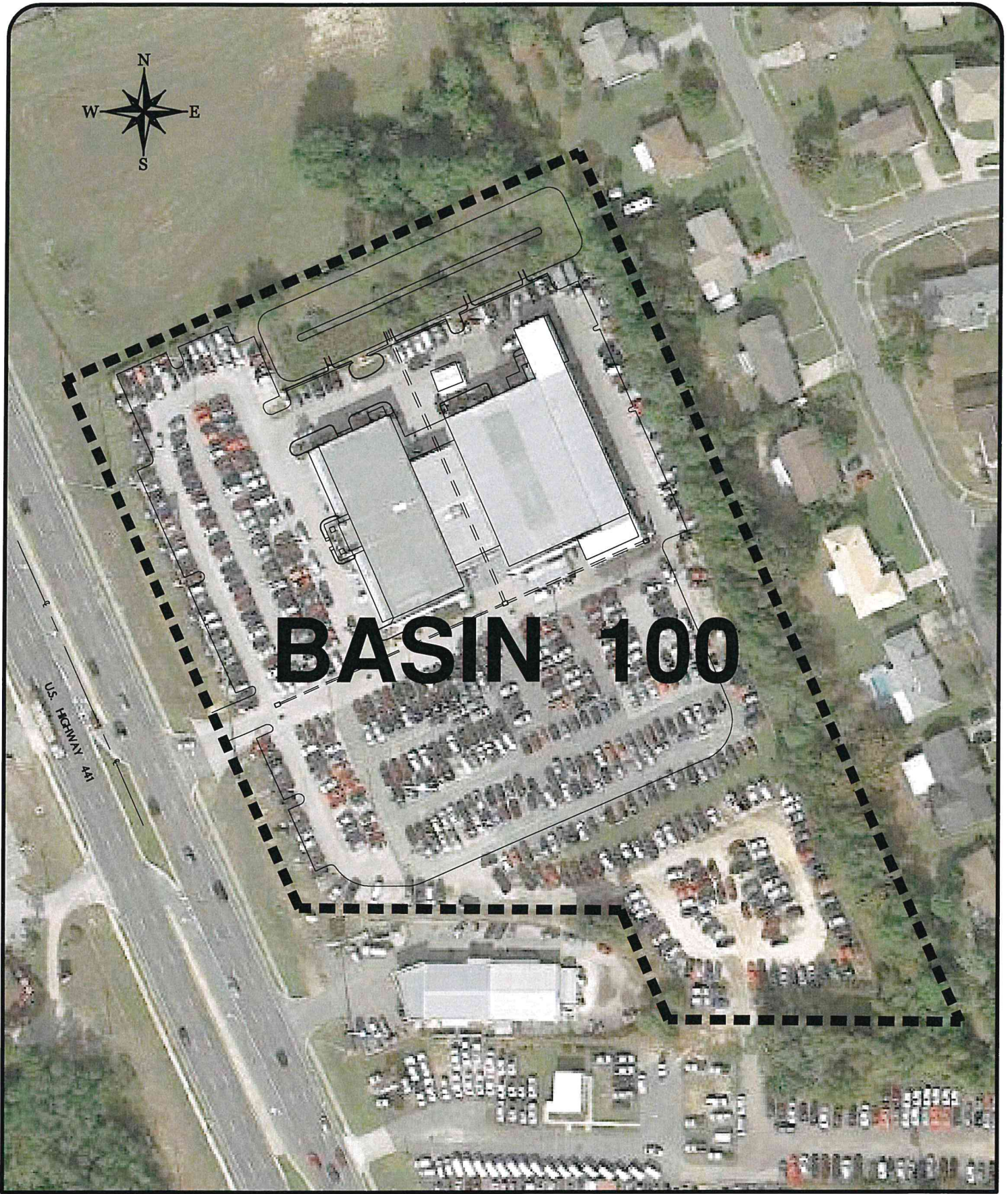
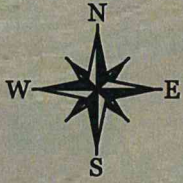
Land Use Description	Area		% DCIA	% Impervious	% Pervious
Proposed Buildings (27,750 SF)	0.64	AC	100%	0%	0%
Pavement / Walks	4.03	AC	100%	0%	0%
Future Impervious Areas	0.93	AC	100%	0%	0%
Proposed Impervious Areas	0.07	AC	100%	0%	0%
Retention Pond (Dry)	0.51	AC	0%	0%	100%
Green Area (Open Space)	2.29	AC	0%	0%	100%
Offsite (Residential)	1.23	AC	0%	0%	100%
<b>TOTAL AREA -----&gt;</b>	<b>9.70</b>	<b>AC</b>			

	% LAND USED	DCIA AREA (AC)	C.N.	
Proposed Buildings (27,750 SF)	100%	0.64	98	
Pavement / Walks	100%	4.03	98	
Future Impervious Areas	100%	0.93	98	
Proposed Impervious Areas	100%	0.07	98	
<b>TOTAL ---&gt;</b>		<b>5.67</b>		
				<b>Percent (%) DCIA of Area = 58.45%</b>

<u>WEIGHTED C.N.</u>					
	% LAND USED	AREA (AC)	% AREA	C.N.	%XC.N.
Retention Pond (Dry)	100%	0.51	12.7%	43	5.44
Green Area (Open Space)	100%	2.29	56.8%	43	24.43
Offsite (Residential)	100%	1.23	30.5%	57	17.40
<b>TOTAL -----&gt;</b>		<b>4.03</b>	<b>100%</b>		<b>47.27</b>

# **TAB 7**

## **Pre- Developed Drainage Map**



# BASIN 100



**RIDDLE  
NEWMAN  
ENGINEERING INC.**  
ESTABLISHED 1961

RIDDLE - NEWMAN ENGINEERING, INC.  
115 NORTH CANAL STREET  
LEESBURG, FLORIDA 34748  
PHONE (352) 787-7482  
FAX (352) 787-7412

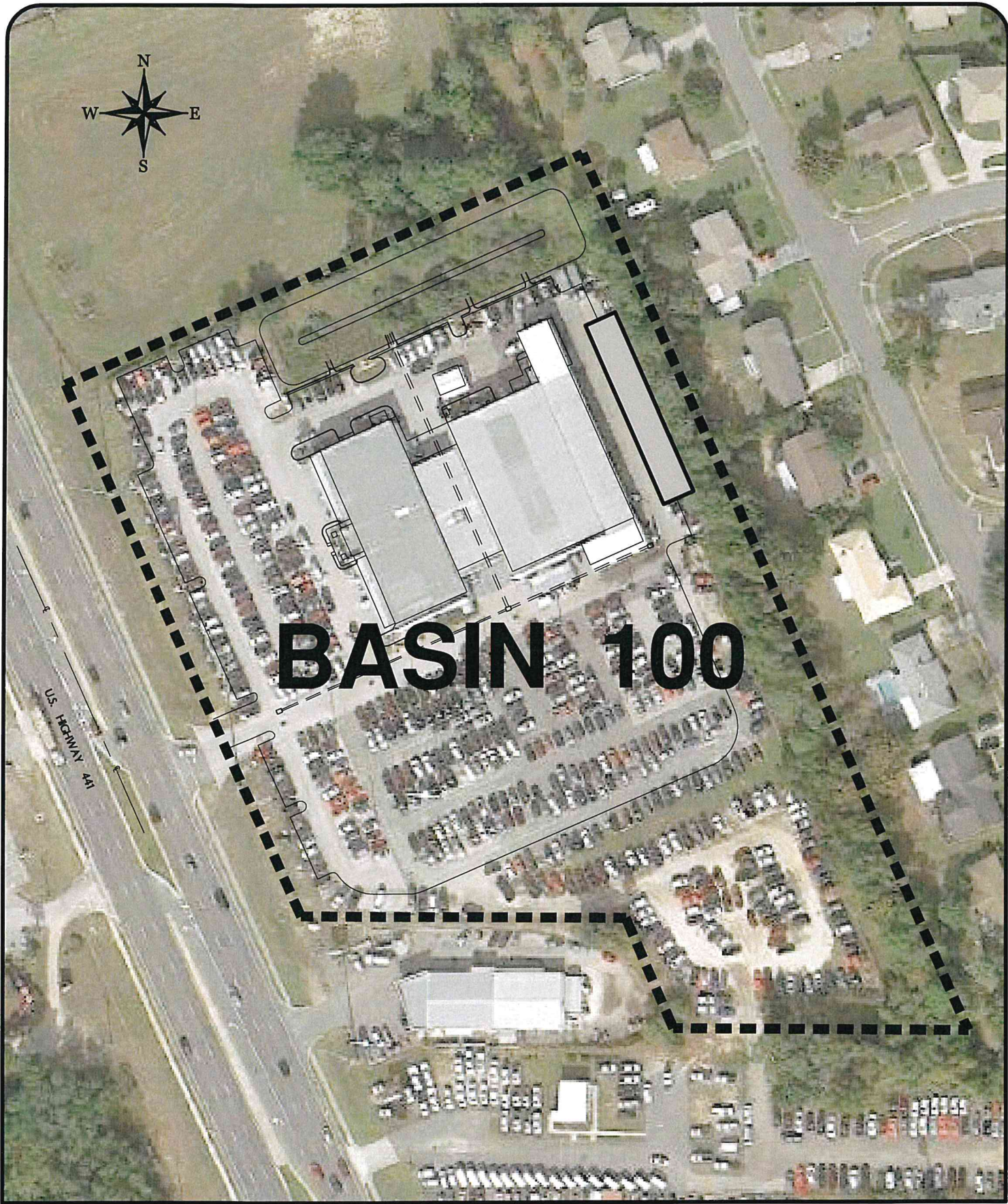
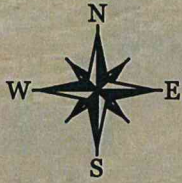
**BILL BRYAN CHRYSLER**  
**PRE - DEVELOPMENT  
DRAINAGE BASIN MAP**

DATE: 7/6/2021  
SCALE: 1"=120'  
FILE: 21.20  
SHEET: 1 of 1

# **TAB 8**

## **Post Developed Drainage Map**





# BASIN 100



**RIDDLE  
NEWMAN  
ENGINEERING INC.**

RIDDLE - NEWMAN ENGINEERING, INC.  
115 NORTH CANAL STREET  
LEESBURG, FLORIDA 34748  
PHONE (352) 787-7482  
FAX (352) 787-7412

**BILL BRYAN CHRYSLER**  
**POST - DEVELOPMENT  
DRAINAGE BASIN MAP**

DATE: 7/6/2021  
SCALE: 1"=120'  
FILE: 21.20  
SHEET: 1 of 1

# **TAB 9**

**Property Record Card  
SUNBIZ Documents  
Warranty Deed**

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	FWB INVESTMENTS LTD	<b>Alternate Key:</b>	1740673
<b>Mailing Address:</b>	8644 US HIGHWAY 441 LEESBURG, FL 34788 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b> <a href="#">i</a>	10-19-24-0003-000-03003
		<b>Millage Group and City:</b>	00F2 (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	18.1489
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a> <a href="#">i</a>
<b>Property Location:</b>	3401 US HIGHWAY 27/441 FRUITLAND PARK FL 34731 <a href="#">Update Property Location</a> <a href="#">i</a>	<b>Property Name:</b>	BILL BRYAN DODGE <a href="#">Submit Property Name</a> <a href="#">i</a>
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> <a href="#">i</a> <a href="#">School Boundary Maps</a> <a href="#">i</a>
<b>Property Description:</b>	BEG AT MOST SW'LY COR OF LOT 13, VALENCIA TERRACE SUB, RUN W TO PT 300 FT E OF E'LY LINE OF HWY 27, NW'LY PARALLEL TO E'LY LINE OF HWY 27 110 FT, W 300 FT TO HWY, NW'LY ALONG HWY TO A POINT 1125 FT S OF INTERSECTION OF S'LY LINE OF COUNTY RD NO 105508 & NE'LY R/W LINE OF HWY 27/441, N 65DEG 59MIN 20SEC E 520 FT TO W'LY LINE OF VALENCIA TERRACE SUBSIVISION, SE'LY ALONG W'LY LINE OF SAID SUBSIVISION TO POB ORB 1700 PG 1298		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	AUTO SALES/STORAGE (2700)	0	0		353832	SF	\$0.00	\$1,362,253.00

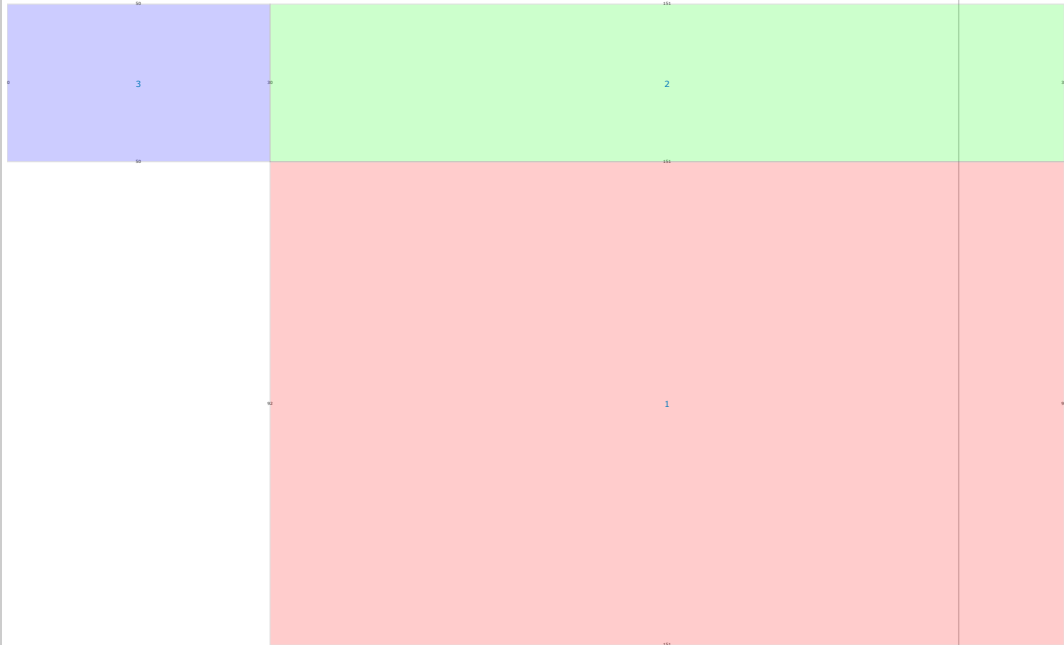
[Click here for Zoning Info](#) [i](#)
[FEMA Flood Map](#)

## Commercial Building(s)

### Building 1

Commercial	Building Value: \$725,624.00							
<b>Summary</b>	<b>Section(s)</b>							
Year Built: 2000	<b>Section No.</b>	<b>Section Type</b>	<b>Wall Height</b>	<b>No. Stories</b>	<b>Ground Floor Area</b>	<b>Basement</b>	<b>Basement Finished</b>	<b>Map Color</b>
Total Square Footage: 12672	1	FINISHED LIVING AREA (FLA)	20	1	12672	0%	0%	<input type="checkbox"/>
Full 3								





[View Larger](#)

## Miscellaneous Improvements

No.	Type	No. Units	Unit Type	Year	Depreciated Value
0001	PAVING (PAV)	3220	SF	2001	\$4,508.00
0002	PAVING (PAV)	117500	SF	2001	\$95,175.00
0003	FENCING (FEN)	9104	SF	2001	\$5,244.00
0004	PARKING LOT LIGHT FIXTURE (PFL)	27	UT	2001	\$9,990.00
0005	CARPORT/POLE SHED - UNFINISHED (UCP)	520	SF	2020	\$2,675.00

**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on June 20, 2021.

**Site Notice**



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Partnership  
FWB INVESTMENTS, LTD.

### Filing Information

**Document Number** A99000000352  
**FEI/EIN Number** 59-3561441  
**Date Filed** 03/05/1999  
**State** FL  
**Status** ACTIVE

### Principal Address

1125 SOLANA AVE  
WINTER PARK, FL 32789

Changed: 02/18/2010

### Mailing Address

9039 US HWY 441  
LEESBURG, FL 34788

Changed: 03/14/2011

### Registered Agent Name & Address

BRYAN, II, F. WILLIAM  
9039 US HIGHWAY 441  
LEESBURG, FL 34788

Name Changed: 04/28/2004

Address Changed: 03/14/2011

### General Partner Detail

#### **Name & Address**

Document Number H36465

F.W.B. LEASING, INC.  
9039 US HIGHWAY 441  
LEESBURG, FL 34788

### Annual Reports

Report Year	Filed Date
-------------	------------

2019	03/26/2019
2020	02/19/2020
2021	02/04/2021

**Document Images**

<a href="#">02/04/2021 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/19/2020 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/26/2019 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/19/2018 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/24/2017 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/02/2016 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/26/2015 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/13/2014 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
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<a href="#">04/22/2002 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">06/04/2001 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/13/2000 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/05/1999 -- Domestic LP</a>	<a href="#">View image in PDF format</a>

THIS INSTRUMENT PREPARED BY AND IS TO BE RETURNED TO:

H. D. Robuck, Jr., Esquire  
610 E. Main Street  
Leesburg, FL 34748

Doc# 99025164  
Book: 1700  
Pages: 1298 - 1299  
Filed & Recorded  
03/25/99 03:40:00 PM  
JAMES C. WATKINS  
CLERK OF CIRCUIT COURT  
LAKE COUNTY  
RECORDING \$ 9.00  
TRUST FUND \$ 1.50  
DEED DOC STAMP \$ 6,650.00

**Warranty Deed**

Book 1700 Page 1298

(Reserved for Recording)

THIS INDENTURE, made this 24<sup>th</sup> day of March, 1999, between **Lake County Service Corporation**, a Florida corporation, of P. O. Box 490420, Leesburg, FL 34749-0420, the "Grantor", and **FWB Investments, Ltd.**, a Florida Limited Partnership, whose mailing address is 1001 North Orlando Avenue, Winter Park, FL 32789, the "Grantee";

WITNESSETH: That said Grantor, for and in consideration of the sum of \$10.00 and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in Lake County, Florida, to-wit:

Begin at the most Southwesterly corner of Lot 13 of Valencia Terrace Subdivision, according to the plat thereof as recorded in Plat Book 20, Pages 11 and 12 of the Public Records of Lake County, Florida; run thence N. 89°53'40" W. on an extension of the South line of said Valencia Terrace Subdivision, 269.73 feet, more or less, to a point that is S. 89°53'40" E., 300.00 feet from the Easterly right-of-way of Highway No. 441 and 27; thence N. 24°00'40" W., parallel with said Easterly right-of-way of Highway No. 441/27 a distance of 110.0 feet; thence N. 89°53'40" W. 300.00 feet to a point on said right-of-way of Highway No. 441/27; thence N. 24°00'40" W. along said Easterly right-of-way 541.11 feet to a point that is 1125.0 feet Southeasterly along said right-of-way from the intersection of the Southerly right-of-way line of County Road #1-5508 (Picciola Cutoff Rd.) and the Easterly right-of-way of Highway No. 441/27; thence leaving said right-of-way, run N. 65°59'20" E., 520 feet, more or less, to a point on the Westerly line of Valencia Terrace Subdivision; thence S. 24°00'40" E. along said Westerly line of Valencia Terrace Subdivision 883.90 feet, more or less, to the point of beginning.

and said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantor has hereunto set Grantor's hands and seals the day and year first above written.

Signed, sealed and delivered in our presence:

Sign: *Karen A. Davis*  
Print name of witness: Karen A. Davis

Sign: *Hugh A. Davis II*  
Print name of witness: Hugh A. Davis II

Lake County Service Corporation  
By: *Paul K. Mueller*  
Paul K. Mueller, Vice President





**City of Fruitland Park, Florida**  
**Community Development Department**  
 506 W. Berckman St., Fruitland Park, Florida 34731  
 Tel: (352) 360-6727 Fax: (352) 360-6652  
 www.fruitlandpark.org

<i>Sta Use Only</i>	
Case No.:	_____
Fee Paid:	_____
Receipt No.:	_____

## Development Application

Contact Information:

Owner Name: School Board of Lake County  
 Address: 201 West Burleigh Boulevard, Tavares, FL 32778  
 Phone: 352-253-6698 Email: \_\_\_\_\_  
 Applicant Name: School Board of Lake County  
 Address: 201 West Burleigh Boulevard, Tavares, FL 32778  
 Phone: 352-253-6694 Email: \_\_\_\_\_  
 Engineer Name: TBD  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Property and Project Information:

**PROJECT NAME\*:** Fruitland Park Elementary Replacement  
 \*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.  
 Property Address: TBD - vacant property  
 Parcel Number(s): 09-19-24-0400-043-00102 Section: 09 Township: 19 Range 24  
 Area of Property: Approx. 19 acres Nearest Intersection: NEC Olive Avenue and Urick Street  
 Existing Zoning: R1 - residential single family low Existing Future Land Use Designation: SFLD-single family low density  
 Proposed Zoning: Public Facilities District (PFD) Proposed Future Land Use Designation: N/A  
 The property is presently used for: vacant  
 The property is proposed to be used for: Educational Institution use - Public Elementary School  
 Do you currently have City Utilities? no

Application Type:

<input type="checkbox"/> Annexation	<input type="checkbox"/> Comp Plan Amendment	<input checked="" type="checkbox"/> Rezoning	<input type="checkbox"/> Planned Development
<input type="checkbox"/> Variance	<input type="checkbox"/> Special Exception Use	<input type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Minor Lot Split	<input type="checkbox"/> Preliminary Plan	<input type="checkbox"/> Construction Plan	<input type="checkbox"/> ROW/Plat Vacate
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Minor Site Plan	<input type="checkbox"/> Replat of Subdivision	

Please describe your request in detail: rezone the property from R1 to Public Facilities District (PFD) for the purpose of constructing a public elementary school

**Required Data, Documents, Forms & Fees**

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Printed Name: Kelly C. Randall

Signature: Kelly C. Randall Date: 8/31/21

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

# Development Application Checklist

## The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd)     Current Deed     Aerial Photo  
 Property Appraiser Information     Electronic Copy of Application     Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through [www.lakecountyfl.gov/maps/](http://www.lakecountyfl.gov/maps/). Note: All maps are required to depict adjacent properties at a minimum.

**Failure to provide adequate maps may delay the application process.**

## Other Required Analyses and Maps:

### Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment     Environmental Constraints Map     Requested FLU Map

### Large Scale Comprehensive Plan Amendment Applications:

Maps:     Environmental Constraints     Soils     Requested FLUM Designation     Requested Zoning Map Designation

Analyses:     Environmental Assessment     Utility Availability Analysis     Urban Sprawl Analysis     School Impact Analysis  
 Traffic Impact Analysis     Consistency with the Comp Plan     Florida Master Site File sign-off or Archaeological Survey

Rezoning Applications:     Requested Zoning Map     Justification for Rezoning

### Planned Development Applications:

Maps/Plans:     Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G     Environmental Constraints

Analyses:     Environmental Assessment     Traffic Impact Analysis     Preliminary Concurrency Analysis

Variance Applications:     Justification for Variance

### Special Exception Use Applications:

- Justification for Special Exception Use  
 Site Sketch     List of Special Requirements as Described in LDRs, Chapter 155

### Conditional Use Permit Applications:

- Proposed List of Conditions and Safeguards  
 Site Plan as Described in LDRs, Chapter 155     Written Statement as Described in LDRs, Chapter 155

### Subdivision Applications:

(Preliminary Plan, Improvement Plan and Final Plat)

- As Described in LDRs, Chapter 157

### Minor Subdivision Applications:

- As Described in LDRs, Chapter 157

### Site Plan Applications:

- As Described in LDRs, Chapter 160

APPLICANT AFFIDAVIT

STATE OF FLORIDA

COUNTY OF LAKE

Before me the undersigned authority, personally appeared Kelly Randall, Lake County

Supervisor of Growth  
Schools Superintendent Planning, who being by me first duly sworn on oath deposes and says:

- 1) That he/she affirms and certifies that he/she understands and will comply with all ordinances, regulations, and provisions of the City of Fruitland Park, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his/her knowledge and belief, and further that this application and attachments shall become part of the Official Records of the City of Fruitland Park, Florida, and are not returnable.
- 2) That the submittal requirements for the application have been completed and attached hereto as part of that application.
- 3) That he/she desires a rezoning to allow the construction of a public elementary school (Fruitland Park Elementary)

Kelly C. Randall  
Affiant (Applicant's Signature)

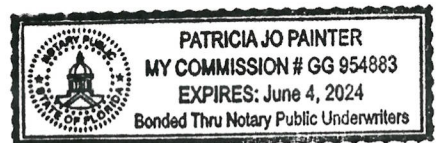
State of Florida  
County of Lake

The Foregoing instrument was acknowledged before me this 3rd day of August, 2021,  
by Kelly Randall who is personally known to me or has produced  
\_\_\_\_\_ as identification and who did or did not take an oath

(Notary Seal)

Notary Public - State of Florida  
Commission No GG954883  
My Commission Expires 6/4/2024

Patricia Jo Painter  
Signature  
PATRICIA JO PAINTER  
Printed Name



OWNER'S AFFIDAVIT

STATE OF FLORIDA

COUNTY OF LAKE

Before me the undersigned authority, personally appeared Diane S. Kornegay, Lake County

Schools Superintendent, who being by me first duly sworn on oath deposes and says:

- 1) That he/she is the fee-simple owner of the property legally described on attached page of this application.
- 2) That he/she desires a rezoning to allow the construction of a  
a public elementary school. (Fruitland Park Elementary)

- 3) That he/she has appointed Kelly Randall, Growth Planning Supervisor to act as agent on his/her behalf to accomplish the above. The owner is required to complete the Applicant's Affidavit of this application if no agent is appointed to act on his/her behalf.

*Diane Kornegay*  
Affiant (Owner's Signature)

State of Florida  
County of Lake

The Foregoing instrument was acknowledged before me this 3rd day of August, 2021,  
by Diane Kornegay who is personally known to me or has produced  
as identification and who did or did not take an oath  
(Notary Seal)

Notary Public - State of Florida  
Commission No GG 954883  
My Commission Expires 6/4/2024

*Patricia Jo Painter*  
Signature  
PATRICIA JO PAINTER  
Printed Name



# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	SCHOOL BOARD OF LAKE COUNTY	<b>Alternate Key:</b>	1639743
<b>Mailing Address:</b>	201 W BURLEIGH BLVD TAVARES, FL 32778 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b> ⓘ	09-19-24-0400-043-00102
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	18.1489
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a> ⓘ
<b>Property Location:</b>	OLIVE AVE FRUITLAND PARK FL 34731 <a href="#">Update Property Location</a> ⓘ	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a> ⓘ
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> ⓘ <a href="#">School Boundary Maps</a> ⓘ
<b>Property Description:</b>	FRUITLAND PARK BEG AT SW COR LOT 5 BLK 43, RUN N 885.44 FT, E 941.02 FT, S 30-16-0 E 298.55 FT, W 125.6 FT, S 634.41 FT, W 965.1 FT TO POB, BEING PART OF LOTS 1 THRU 4 INCL, LOTS 5, 6, 7--LESS FROM SW COR LOT 5 BLK 43 RUN N 0-18-20 E 760.44 FT FOR POB, CONT N 0-18-20 E 125 FT, S 89-51-30 E 350 FT, S 0-08-30 W 125 FT, N 89-51-30 W 350 FT TO POB--PB 3 PG 8 ORB 584 PG 477		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	PUBLIC SCHOOL (8300)	0	0		18.99	AC	\$0.00		\$142,425.00

[Click here for Zoning Info](#) ⓘ      [FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.
---

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">584 / 477</a>	1/1/1975	Misc Deed/Document	Qualified	Vacant	\$60,000.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

## Values and Estimated Ad Valorem Taxes ⓘ

**Values shown below are 2021 CERTIFIED VALUES (July 1 Preliminary Tax Roll Certification).**  
The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL	\$142,425	\$142,425	\$0	5.05290	\$0.00

## FUND

LAKE COUNTY MSTU AMBULANCE	\$142,425	\$142,425	\$0	0.46290	\$0.00
LAKE COUNTY MSTU FIRE	\$142,425	\$142,425	\$0	0.51380	\$0.00
SCHOOL BOARD STATE	\$142,425	\$142,425	\$0	3.59400	\$0.00
SCHOOL BOARD LOCAL	\$142,425	\$142,425	\$0	2.99800	\$0.00
CITY OF FRUITLAND PARK	\$142,425	\$142,425	\$0	3.91340	\$0.00
ST JOHNS RIVER FL WATER MGMT DIST	\$142,425	\$142,425	\$0	0.22870	\$0.00
LAKE COUNTY VOTED DEBT SERVICE	\$142,425	\$142,425	\$0	0.09180	\$0.00
LAKE COUNTY WATER AUTHORITY	\$142,425	\$142,425	\$0	0.32290	\$0.00
NORTH LAKE HOSPITAL DIST	\$142,425	\$142,425	\$0	1.00000	\$0.00
				<b>Total:</b> 18.1784	<b>Total:</b> \$0.00

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000) 	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings

The exemptions marked with a ✓ above are providing a tax dollar savings of:  
**\$2,589.07**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

**This property is benefitting from the following assessment reductions with a checkmark ✓**

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

**NOTE:** Should a determination be made that a property no longer meets the criteria for a bona fide agricultural purpose, a formal denial will be mailed on or before July 1 of the applicable tax year.

**Assessment Reduction Savings ⓘ**

**The assessment reductions marked with a ✓ above are providing a tax dollar savings of: \$0.00**

**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

## Legal Description:

From the SW corner of the SE 1/4 of Section 9, Township 19 South, Range 24 East, Lake County, Florida, run North 0°35'00" East along the West line of the SE 1/4 a distance of 1029.53 feet, Thence South 89°28'30" East 26.51 feet to the SW corner of Lot 5, Block 43, Town of Fruitland Park, Florida, and the Point of Beginning of this Description; Run Thence North 0°18'20" East 885.44 feet, Thence South 89°51'30" East 941.02 feet, Thence South 30°16'00" East 298.55 feet, Thence North 89°51'30" West 125.60 feet, Thence South 0°30'10" West 634.41 feet, Thence North 89°28'30" West 965.10 feet to the POB, containing 20.00 acres. (ORB584, PG 477)

### LESS

From the SW corner of the SE 1/4 of Section 9, Township 19 South, Range 24 East, Lake County, Florida, run North 0°35'00" East along the West line of the SE 1/4 a distance of 1029.53 feet, Thence South 89°28'30" East 26.51 feet to the SW corner of Lot 5, Block 43, Town of Fruitland Park, Florida, Thence North 0°18'20" East 760.44 feet to the POB of this Description; Run Thence North 0°18'20" East 125.00 feet, Thence South 89°51'30" East 250 feet along the South line of Mirror Lake Manor as recorded PB 23, PG 51 of Public Records of Lake County, Florida; Then South 00°08'30" West 125.00 feet, Thence North 89°51'30" West 250 feet to the POB. (ORB 5139, PG 2470)

### ALSO LESS

Fruitland Park from SW corner of Lot 5, Block 43 run North 885.44 feet, South 89°51'30" East 250 feet to POB, Continue on same line 100 feet, South 00°08'30" West 125 feet, North 89°51'30" West 100 feet, North 00°08'30" East 125 feet to POB PB 3 PGS 8-9. (Lake County Property Appraiser)



**FRUITLAND PARK ELEMENTARY  
REPLACEMENT/MODERNIZATION  
JUSTIFICATION STATEMENT FOR REZONING**



**I. Background Information**

The subject Property is located at the northeast corner of Olive Avenue and Urick Street and identified by alternate key 1639743. The Property is currently zoned Residential Low Density (R1) and the Future Land Use Designation is Single Family Low Density (SFLD). The Property is approximately 19 acres and currently undeveloped.

The School District is replacing the existing Fruitland Park Elementary school on this subject property. The existing elementary school is now over 50 years old, having opened in 1965, and has reached the end of its useful lifecycle. It has subsequently been scheduled for a modernized replacement. The replacement school is included in the District's Five Year Capital Plan and scheduled to open in 2024.

A replacement school is designed to address the school facility as an integrated system and considers issues such as instructional program delivery, student circulation, relationship of core facilities, security concerns, and site access. The new Fruitland Park Elementary replacement school will provide a safe, secure and updated modern school facility for the students.

**II. Proposed Changes**

The request is an official zoning map amendment from R-1 (Residential low density) to PFD (Public Facilities District). The current R-1 zoning does not permit educational institution uses. The rezoning to the PFD zoning district would permit educational institution uses. Therefore, the rezoning to PFD is required in order to allow for the construction of a public elementary school.

**III. Consistency with surrounding land uses**

The proposed changes are compatible with the adjacent land use. The property is surrounded by residential, institutional and agricultural zoned properties and land uses. See table below:

Adjacent Property	FLU Designation	Zoning District	Land Use
East	SFLD/SFMD	PUD	Residential Development (Mirror Lake Village Phs 1 & 2)
North	SFLD	PFD/R-1	City Parcels and Residential Development (Mirror Lake Manor)
West	SFLD/INST/AG	PFD/R-1	Vacant parcels, Church, Residential and Agricultural uses
South	MFHD	PUD/R-3	Residential Uses (Holloway PUD and Fruitland Acre Apartments)

## **The proposed rezoning change is consistent with the Comprehensive Plan.**

The requested rezoning and the proposed development of the property are consistent with the Goals, Policies, and Objectives of the Comprehensive Plan.

The existing future land use designation permits or supports public facilities pursuant to Policy 1-5.1, if criteria are met.

***Policy 1-5.1: Public Facilities.*** *Necessary Public Facilities shall be permitted as Institutional Land Uses within any Future Land Use Designation if such facility satisfies the following criteria:*

1) *Serves the majority of the population.*

The elementary school will serve the student population of Fruitland Park. The existing students are anticipated to attend the new replacement school. The proposed school will also serve the elementary students estimated to be generated by recently approved new development within the current attendance boundary.

2) *Located in close proximity to the main user group.*

The main user group or student population is located within the City and in close proximity to the proposed public school site. The new school site is located approximately a mile from the existing school. The students currently attending the existing Fruitland Park Elementary are expected to attend the new school.

Additionally, the recently approved Holloway Planned Unit Development (PUD) is located directly south of the proposed school site, across Urick Street. The Holloway PUD is estimated to generate 110 elementary students. These students will be assigned to attend the new school in the future.

Also, the Tara Oaks residential development located further south is under construction. The Tara Oaks development was approved for 1,168 dwelling units. The estimated students to be generated by this residential development is 183.

Both of these residential developments are located in the Fruitland Park Elementary attendance boundary. The students generated by the new residential developments are assigned to Fruitland Park Elementary.

3) *Buffers will be provided along the perimeter property boundary and the width of such buffers shall be determined by the adjacent land used and the proposed land use.*

The school district intends to comply, to the extent possible, in providing the required perimeter buffers.

- 4) *Landscaping will be provided based on the adjacent land use and the proposed land use.*

The intent is to preserve existing trees and vegetation to the extent possible. The district will utilize design elements of CPTED for a secure site perimeter. These CPTED elements will include, but not be limited to, fencing, gates and landscaping.

The City's Land Development Code does provide a credit for utilizing existing vegetation/trees on site. Per Section 164, Landscape Requirements: *The applicant is encouraged to utilize existing vegetation within the property for Buffer landscaping in lieu of planting materials. However, the existing vegetation on-site must be an upland community as defined in the Appendix to the City of Fruitland Park Code.*

The approved public facility use will comply, to the extent possible, with the landscaping and buffering requirements and access management requirements. The District intends to provide the perimeter buffers and preserve the existing natural vegetation as much as possible.

#### IV. PFD Zoning Criteria

Pursuant to the City's Code, the purpose of the PFD district is to provide for the development of public facilities. *Public facilities/services shall include but not be limited to, public and private utilities, governmental, religious, and educational land uses.*

The proposed public school is a public facility use and is permitted in the PFD zoning district.

PFD zoning district locational criteria:

- i) The approved use shall front on an arterial or collector roadway.

The subject property has frontage on Olive Avenue, which is a local road, and Urick Street, which is a County Road. The main access is proposed on Olive Avenue, in order to provide sufficient stacking on site. The bus loop is a separate access on Olive Avenue, north of the main access. The existing roadway infrastructure is in place to serve the proposed public school.

- ii) Approved uses shall comply with appropriate landscaping and buffering requirements and access management requirements.

The school district intends to comply with the buffering and access management requirements. The district anticipates preserving, to the extent possible, existing vegetation/trees.

- iii) The site must be located in proximity to the main user group.

The subject property that will support the new replacement school is located within approximately one mile of the existing Fruitland Park Elementary. The students that currently attend Fruitland Park are anticipated to also attend the new Fruitland Park Elementary.

Two recently approved (large) residential developments are located within close proximity to the new school location. Holloway PUD is located directly south across Urick Street. This PUD consists of 700 dwelling units and is estimated to generate 110 elementary students. The Tara Oaks residential development, located further south and approved for 1,168 dwelling units, is estimated to generate 183 elementary students. The Tara Oaks development has started site development. Both of these residential developments are located in the Fruitland Park Elementary attendance boundary.

- iv) The approved use must serve the majority of the population.

The new school will serve the student population within the City of Fruitland Park and the surrounding area. As stated previously, the students currently attending the existing school are expected to attend the new school. Additionally, there is new residential development approved just south of the new school site. The combined estimated elementary students generated from these recently approved developments is 293. The new developments are located within the Fruitland Park Elementary attendance boundary. The school district does not plan to adjust this attendance boundary for the new school.

## V. Conclusion

The rezoning and the proposed development of the property are consistent with the Goals, Policies, and Objectives of the Comprehensive Plan. Quality schools are key elements of neighborhoods and communities. This school will be a benefit to the Fruitland Park community for many years to come.



THIS INSTRUMENT PREPARED BY:  
Fred A. Morrison  
P.O. Box 491357  
Leesburg, Florida 34749 - 1357

*Quitclaim Deed*

RESERVED FOR RECORDING

**THIS QUIT CLAIM DEED**, executed this 23<sup>rd</sup> day of April, 2018, by **THE SCHOOL BOARD OF LAKE COUNTY, FLORIDA**, whose address is 201 West Burleigh Boulevard, Tavares, Florida 32778, first party, to **THE CITY OF FRUITLAND PARK, FLORIDA**, whose address is 506 West Berckman Street, Fruitland Park, Florida 34731, second party:

(Wherever used herein, the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so requires.)

**WITNESSETH**, That the said first party, for and in consideration of the sum of TEN AND NO/100- ----(\$10.00)-----Dollars, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Lake, State of Florida, to-wit:

From the SW corner of the SE ¼ of Section 9, Township 19 South, Range 24 East, Lake County, Florida, run North 0°35'00" E. along the west line of the SE ¼ a distance of 1029.53 ft, thence South 89°28'30" E. 26.51 ft. to the SW corner of Lot 5, Block 43, Town of Fruitland Park, Florida, thence North 0°18'20" E. 760.44 ft. to the Point of Beginning of this description; run thence North 0°18'20" E. 125.00 ft., thence S 89°51'30" E. 250.00 ft. along the South Line of Mirror Lake Manor as recorded P.B. 23, Pg. 51 of the Public Records of Lake County, Florida; then S 00°08'30" W. 125.00 ft., thence N. 89°51'30" W. 250.00 ft. to the POB

**TO HAVE AND TO HOLD** the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien equity and claim whatsoever of the said first party, either in law or in equity, to the only proper use, benefit and behoof of the said second party forever.

**IN WITNESS WHEREOF**, the said first party has signed and sealed these presents the day and year first above written.

WITNESSES (two required):

GRANTOR: THE SCHOOL BOARD OF LAKE COUNTY, FLORIDA

Natalie Challenger  
Natalie Challenger  
(Type or print name of witness)

BY: Stephanie Luke  
STEPHANIE LUKE, Chair

Gaye Sikkema  
Gaye Sikkema  
(Type or print name of witness)

STATE OF FLORIDA  
COUNTY OF LAKE

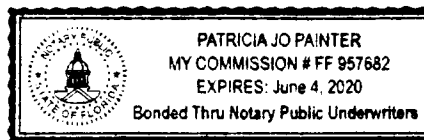
BEFORE ME, the undersigned Notary Public, personally appeared Stephanie Luke, as Chair of the School Board of Lake County, Florida, who acknowledged before me on the 23 day of April, 2018, that she executed the foregoing instrument, and who was either {CHECK ONE}  personally known to me, or who  produced \_\_\_\_\_ as identification.

Patricia Jo Painter  
NOTARY PUBLIC SIGNATURE

PATRICIA JO PAINTER  
Type or print name of Notary

FF 957682  
Commission Number

6.4.2020  
Commission Expiration Date



WARRANTY DEED

Rec 6.00  
St 180.00  
Sur 12.00  
Con 20.00

This Indenture, Made this 26<sup>th</sup> day of February, 1975,  
Between CLYDE ROGERS, joined by his wife, ESTHER ROGERS, GLENN  
ROGERS, joined by his wife, LOIS J. ROGERS, and REGENT R. WEBER,  
a woman, of the county of Lake, State of Florida, grantors,  
and <sup>P</sup>THE SCHOOL BOARD OF LAKE COUNTY,  
whose post office address is 201 West Burleigh Boulevard, Tavares, Florida,  
grantee,

WITNESSETH, That said grantors, for and in consideration  
of the sum of TEN AND NO/100 DOLLARS, and other good and  
valuable considerations to said grantors in hand paid by  
said grantee, the receipt whereof is hereby acknowledged, have  
granted, bargained and sold to the said grantee, and grantee's  
heirs and assigns forever, the following described land,  
situate, lying and being in the County of Lake, State of Florida,  
to-wit:

From the SW corner of the SE 1/4 of Section 9, Township  
19 South, Range 24 East, Lake County, Florida, run  
North 0°35'00" E. along the West line of the SE 1/4 a  
distance of 1029.53 ft., thence South 89°28'30" E. 26.51  
ft. to the SW corner of Lot 5, Block 43, Town of Fruitland  
Park, Florida, and the Point of Beginning of this description;  
run thence North 0°18'20" E. 885.44 ft., thence South  
89°51'30" E. 941.02 ft., thence South 30°16'00" E.  
298.55 ft., thence North 89°51'30" W. 125.60 ft., thence  
South 0°30'10" W. 634.41 ft., thence N. 89°28'30" West  
965.10 ft., to the P.O.B., containing 20.00 acres.

and said grantors do hereby fully warrant the title to said  
land and will defend the same against the lawful claims of  
all persons whomsoever.

IN WITNESS WHEREOF, grantors have hereunto set grantors'  
hands and seals the day and year first above written.

Signed, sealed and delivered  
in our presence:

*[Signature]*

*Inogene K. Merrill*  
As to Clyde Rogers and wife,  
Esther Rogers

*[Signature]* (SEAL)  
CLYDE ROGERS

*[Signature]* (SEAL)  
ESTHER ROGERS

MAR 14 2 10 PM '75  
RECORDED AND INDEXED  
CLERK CIRCUIT COURT  
LAKE COUNTY FLA

Esther E. Roberts

Imogene K. Merrill  
As to Glenn Rogers and wife,  
Lois J. Rogers

Imogene K. Merrill  
Esther E. Roberts  
As to Regent R. Weber

Glenn Rogers (SEAL)  
GLENN ROGERS

Lois J. Rogers (SEAL)  
LOIS J. ROGERS

Regent R. Weber (SEAL)  
REGENT R. WEBER

STATE OF FLORIDA  
COUNTY OF LAKE

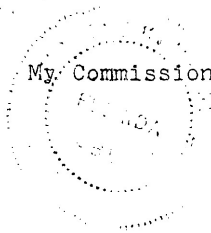
I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared CLYDE ROGERS and wife, ESTHER ROGERS; GLENN ROGERS and wife, LOIS J. ROGERS; and REGENT R. WEBER, to me known to be the persons described in and who executed the foregoing instrument and acknowledged before me that they executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 26<sup>th</sup> day of February, 1975.

Imogene K. Merrill  
Notary Public

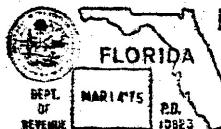
My Commission Expires:

Notary Public, State of Florida at Large  
My Commission Expires March 26, 1976  
bonded By American Fire & Casualty Co.,



LAKE COUNTY

0 7 7 0 6 9



DOCUMENTARY SUR TAX  
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STATE OF FLORIDA  
DOCUMENTARY STAMP TAX  
DEPT OF REVENUE  
MAR 14 75  
180.00



City of Fruitland Park  
Aerial Map (Existing School/New Site) Fruitland Park Elementary



# Conceptual Site Plan

## Site Plan Information

Site Size: 18.96 Acres

Parking Spaces: 200

## Car Stacking:

110 cars single stacked

205 cars double stacked

## School Information

Two-Story Elementary

- Administration
- Media
- Multi-Purpose/Dining/Kitchen
- Academics/Classrooms
- ESE Programs
- Art & Music Classrooms
- Flex & Collaborative Learning Spaces



TRAFFIC IMPACT ANALYSIS  
**FRUITLAND PARK ELEMENTARY SCHOOL**  
LAKE COUNTY, FLORIDA



Prepared for:

Klima Weeks Civil Engineering, Inc.  
385 Douglas Avenue, Suite 2100  
Altamonte Springs, Florida 32714

Prepared by:

Traffic Planning and Design, Inc.  
535 Versailles Drive  
Maitland, Florida 32751  
407-628-9955

June 2021

TPD № 5456

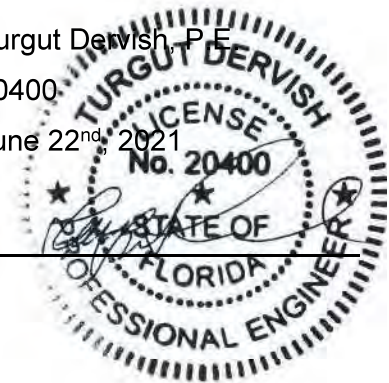
## PROFESSIONAL ENGINEERING CERTIFICATION

I hereby certify that I am a Professional Engineer properly registered in the State of Florida practicing with Traffic Planning & Design, Inc., a corporation authorized to operate as an engineering business, EB-3702, by the State of Florida Department of Professional Regulation, Board of Professional Engineers, and that I have prepared or approved the evaluations, findings, opinions, conclusions, or technical advice attached hereto for:

**PROJECT:** Fruitland Park Elementary School  
**LOCATION:** Fruitland Park, Lake County  
**CLIENT:** Klima Weeks Civil Engineering, Inc.

I hereby acknowledge that the procedures and references used to develop the results contained in these computations are standard to the professional practice of Transportation Engineering as applied through professional judgment and experience.

**NAME:** Turgut Dervish, P.E.  
**P.E. No.:** 20400  
**DATE:** June 22<sup>nd</sup>, 2021  
**SIGNATURE:** \_\_\_\_\_



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## INTRODUCTION

This traffic analysis was undertaken in order to assess the traffic impact of the proposed Fruitland Park Elementary School in Fruitland Park, Lake County. The project site is located on the northeast quadrant of the intersection of Olive Avenue and Urick Street and will consist of an elementary school with a capacity of 1,000 students. The school is anticipated to be built by 2024. Access to the site is proposed via full access driveways on Urick Street and on Olive Avenue. **Figure 1** depicts the location of the project site and the surrounding roadway network and the preliminary site plan is provided in **Figure 2**.

### Methodology

This analysis was conducted in accordance with the *Lake-Sumter Metropolitan Planning Organization (MPO) Traffic Impact Study (TIS) Guidelines*. A traffic study methodology was submitted to and approved by the County. The study methodology and correspondence are included in **Appendix A**. Based on the trip generation of the proposed project, as discussed later in this report, a Tier 2 traffic Impact Study (TIS) is required. Data utilized in the analysis consisted of a preliminary site plan provided by Project Engineers, traffic volume data and Level of Service standards obtained from the Lake County *Transportation Management System (TMS) Spreadsheets*, and intersection turning movement counts obtained by TPD Inc.

### Study Area

As per Lake-Sumter MPO's Traffic Impact Study Methodology and Guidelines, the study area for a Tier 2 TIS includes roadway segments listed in the Lake County TMS. These guidelines require an area within a minimum of one-mile radius from the main access point of the proposed project plus all roadways where the project's peak hour trips consume 5% or more of a roadway's two-way peak hour LOS, and one-half the total trip length associated with the land use of the proposed development.



The roadway segments included in the analysis are:

- CR 468, from CR 466A to Pine Ridge Dairy Road
- CR 468, from Pine Ridge Dairy Road to Griffin Road
- CR 468, from Griffin Road to SR 44
- CR 25A, from CR 466A To US 27/US 441

The intersections included in the analysis are:

- Urick Street & Olive Avenue
- CR 468 & Urick Street
- CR 25A (S. Dixie Avenue/Thomas Avenue) & Urick Street
- Site Access Driveways







Fruitland Park Elementary School  
Project No 5456  
Figure 1

Project Location



**Preliminary Site Plan**

Fruitland Park Elementary School  
 Project No 5456  
 Figure 2



## EXISTING CONDITIONS ANALYSIS

An existing conditions analysis was conducted for the study roadway segments and intersections utilizing existing traffic volumes and roadway geometry to establish their current operating conditions.

### Roadway Segment Analysis

The study roadway roadways were analyzed by comparing the existing traffic volumes of each segment with the adopted LOS/capacity values for the P.M. peak hour. The existing traffic volumes and the adopted capacities for each segment were obtained from the County's Annual Traffic Counts database. The existing P.M. peak hour roadway capacity analysis is summarized in **Table 1**. Relevant information on existing traffic volumes and roadway capacities is included in the Lake County Annual Traffic Counts in **Appendix B**. As shown, the existing conditions analysis of P.M. peak hour traffic conditions indicated that all the study roadway segments currently operate within their adopted Level of Service capacities.

**Table 1  
Existing Roadway Capacity Analysis**

Seg ID	Roadway	Segment	Lanes	LOS Std <sup>(1)</sup>	PH Dir Capacity <sup>(2)</sup>	Dir	Existing Vol <sup>(3)</sup>	Existing V/C	Existing LOS
490	CR 468	CR 466A to Pine Ridge Dairy Rd	2LU	D	530	NB/EB	177	0.33	C
						SB/WB	178	0.34	C
480	CR 468	Pine Ridge Dairy Rd to Griffin Rd	2LU	D	680	NB/EB	282	0.41	C
						SB/WB	297	0.44	C
436	CR 468	Griffin Rd to SR 44	2LU	D	620	NB/EB	406	0.65	C
						SB/WB	333	0.54	C
482	CR 25A	CR 466A to US 27/441	2LU	D	530	NB/EB	286	0.54	D
						SB/WB	250	0.47	C

<sup>(1)</sup> Based on Lake County's "Concurrency Management Data, Inventory and Analysis"

<sup>(2)</sup> Based on FDOT's Generalized Service Volume Tables

<sup>(3)</sup> From 2020 Lake County Annual Traffic Counts



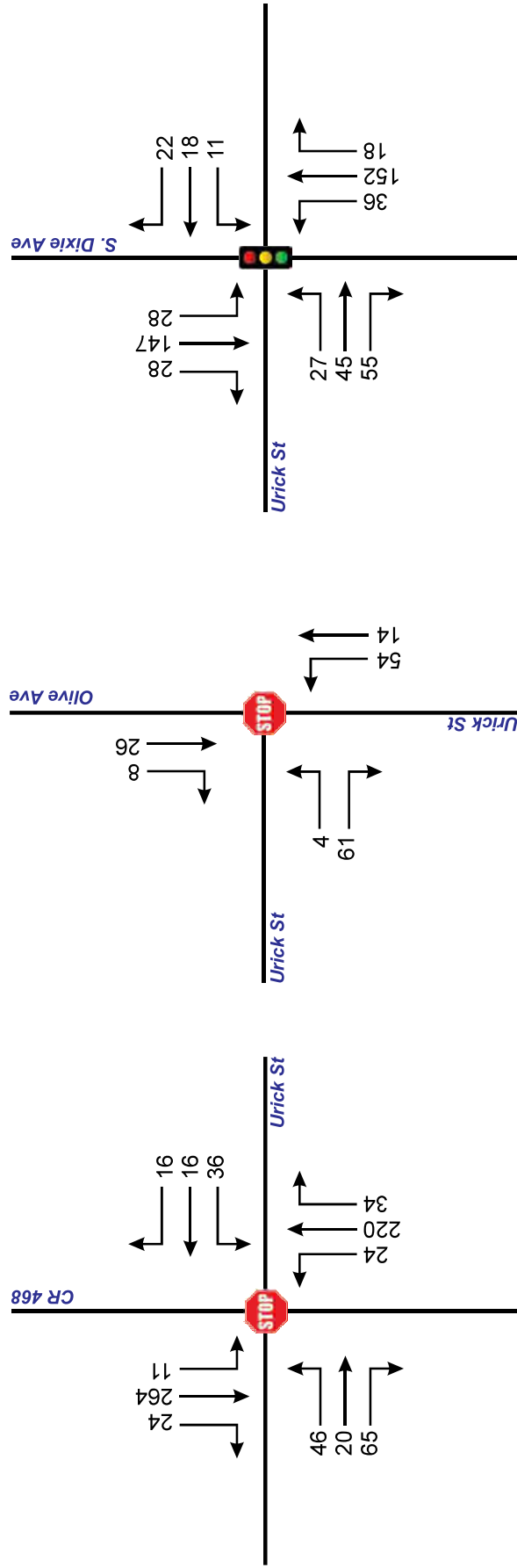
## Intersection Analysis

The study intersections were analyzed in accordance with the procedures of the *Highway Capacity Manual (HCM)* using *Synchro* software. The capacity analysis at the intersections was performed using the existing intersection geometry and traffic volumes during the A.M. peak hours. **Figure 3** depicts the A.M. peak hour traffic volumes at the study intersections. The traffic counts were taken in May 2021 when the seasonal factor was 1.07 based on the FDOT seasonal factor report. Therefore, the counts were adjusted accordingly. The raw intersection counts are included in **Appendix C** along with FDOT's seasonal factor report and signal timings obtained from the County. The intersection capacity analysis results are summarized in **Table 2** which indicate that the study intersections currently operate within the adopted Levels of Service standards. Detailed intersection capacity worksheets are included in **Appendix D**.

**Table 2**  
**Existing Intersection Capacity Analysis**

#	Intersection	Control	EB		WB		NB		SB		Overall	
			Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS
1	Urick St & Olive St	TWSC	0.5	A	--	--	0.0	A	9.3	A	2.1	A
2	Urick St & CR 468	TWSC	15.4	C	16.5	C	0.7	A	0.3	A	4.4	A
3	Urick St & S Dixie Ave	Signal	19.3	B	19.1	B	13.4	B	14.0	B	15.4	B





# Existing A.M. Peak Hour Volumes

Fruitland Park Elementary School  
 Project No 5456  
 Figure 3



## PROPOSED DEVELOPMENT AND TRIP GENERATION

To determine the impact of the proposed development, an analysis of its trip generation characteristics was conducted. This included the determination of the trips to be generated as well as their distribution and assignment to the area roadways.

### Trip Generation

Trip generation rates were obtained from the 10<sup>th</sup> Edition of the Institute of Transportation Engineers (ITE) *Trip Generation Manual*. **Table 3** provides a summary of the trip generation for the proposed school. As indicated, the project is expected to generate a total of 1,890 new daily trips of which 670 will occur during the A.M. peak hour and 340 will occur during P.M. peak hour. Copies of the ITE trip generation worksheets are included in the Study Methodology (Appendix A).

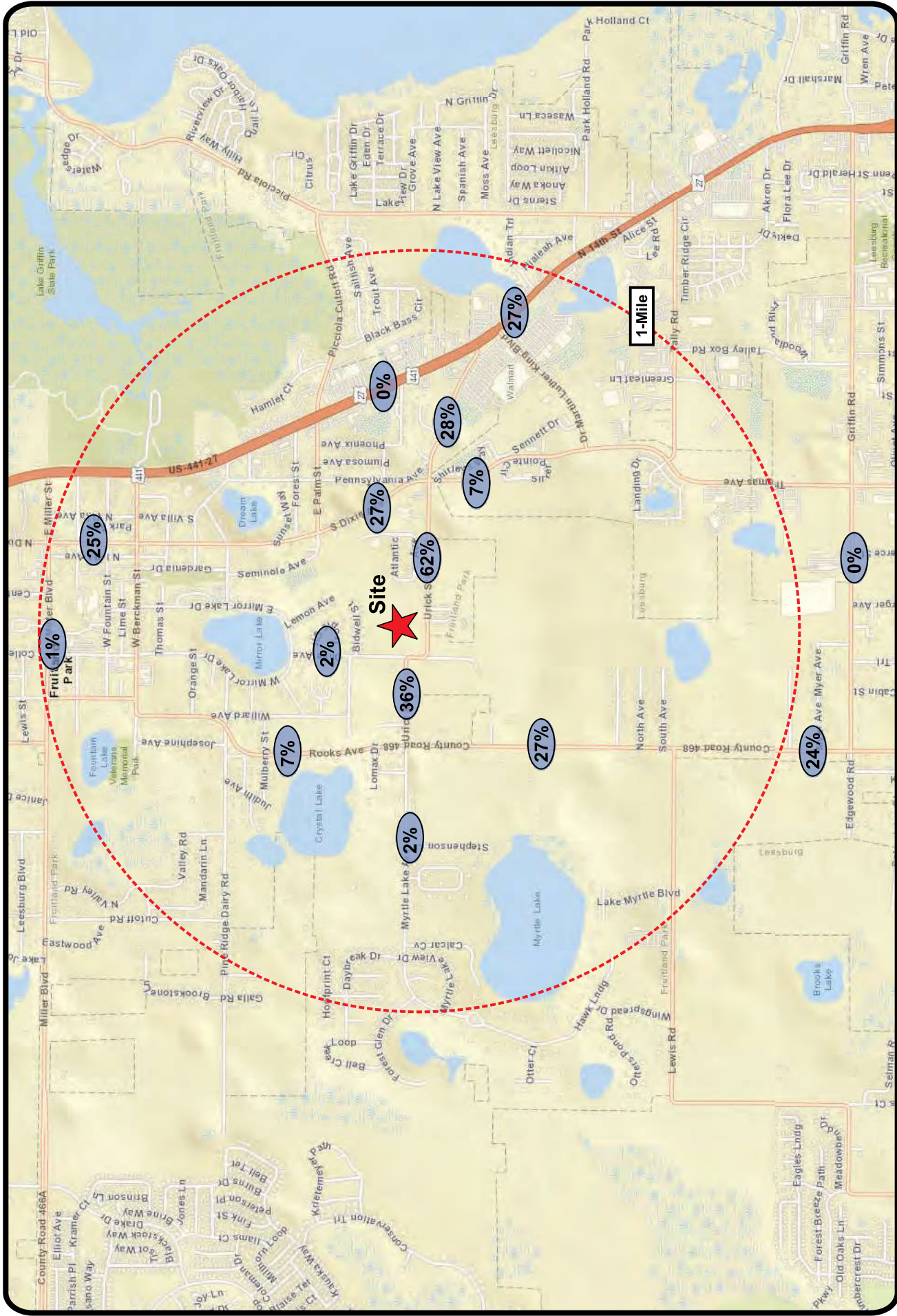
**Table 3  
Trip Generation Summary**

ITE Code	Land Use	Size	Daily		A.M. Peak Hour				P.M. Peak Hour			
			Rate	Trips	Rate	Enter	Exit	Total	Rate	Enter	Exit	Total
520	Elementary School	1,000 Students	1.89	1,890	0.67	362	308	670	0.34	153	187	340
<b>Total Trips</b>				<b>1,890</b>	<b>--</b>	<b>362</b>	<b>308</b>	<b>670</b>	<b>--</b>	<b>153</b>	<b>187</b>	<b>340</b>

### Trip Distribution / Trip Assignment

The trip distribution pattern for the proposed project was estimated using the currently adopted Central Florida Regional Planning Model (CFRPM 6.4). A Select Zone Analysis (SZA) was conducted by modifying the 2030 interim year model network to include a Traffic Analysis Zone (TAZ) representing the proposed project and the model's socio-economic data updated to reflect the proposed project buildout. The trip distribution was manually adjusted in the project vicinity in consideration of the access configuration. The trip distribution model plot is included in the Study Methodology (Appendix A). The trip distribution in the impact area is illustrated in **Figure 4**. Utilizing this distribution, the development project trips were assigned to the area roadways.





# Project Trip Distribution

Fruitland Park Elementary School  
 Project No 5456  
 Figure 4



## PROJECTED TRAFFIC CONDITIONS

Projected traffic conditions were assessed in order to evaluate the impact of the proposed development within its area of influence. The projected conditions were estimated by combining the P.M. peak hour project trips with background traffic volumes.

### Background Traffic Projections

Projected traffic volumes consist of background traffic combined with site generated traffic. Typically, background traffic volumes are determined by expanding existing peak hour traffic volumes to the buildout year using an annual growth rate. A historical trend analysis was conducted based on the Annual Average Daily Traffic (AADT) data obtained from the Lake County TMS Database for the surrounding roadway segments in the vicinity of the project (see **Appendix E**). Based on this historical trend analysis, an average annual growth rate of 0.40% was calculated. Therefore, a minimum of 2% annual growth rate was used in the analysis. This growth rate was applied to the existing traffic volumes as appropriate in order to determine the projected background volumes in the project buildout year.

### Roadway Segment Analysis

The projected roadway segment analysis was performed by comparing the total projected P.M. peak hour traffic volume of each segment with the respective capacity at the adopted LOS standard. The P.M. peak hour analysis, as summarized in **Table 4**, revealed that all the study roadway segments will continue to operate within the adopted LOS standards upon the addition of project trips.





**Table 4  
Projected Roadway Capacity Analysis**

Seg ID	Roadway	Segment	Lns	LOS Std	PH Dir Capacity	Dir	Backg'd Vol	Backg'd V/C	Backd'd LOS	Trip Dist	Project Vol	Total Vol	Projected V/C	Projected LOS
490	CR 468	CR 466A to Pine Ridge Dairy Rd	2LU	D	530	NB/EB	188	0.35	C	7.0%	13	201	0.38	C
						SB/WB	189	0.36	C		11	200	0.38	C
480	CR 468	Pine Ridge Dairy Rd to Griffin Rd	2LU	D	680	NB/EB	299	0.44	C	27.0%	41	340	0.50	D
						SB/WB	315	0.46	C		50	365	0.54	D
436	CR 468	Griffin Rd to SR 44	2LU	D	620	NB/EB	430	0.69	C	24.0%	37	467	0.75	C
						SB/WB	353	0.57	C		45	398	0.64	C
482	CR 25A	CR 466A to US 27/441	2LU	D	530	NB/EB	303	0.57	D	27.0%	50	353	0.67	D
						SB/WB	265	0.50	C		41	306	0.58	D



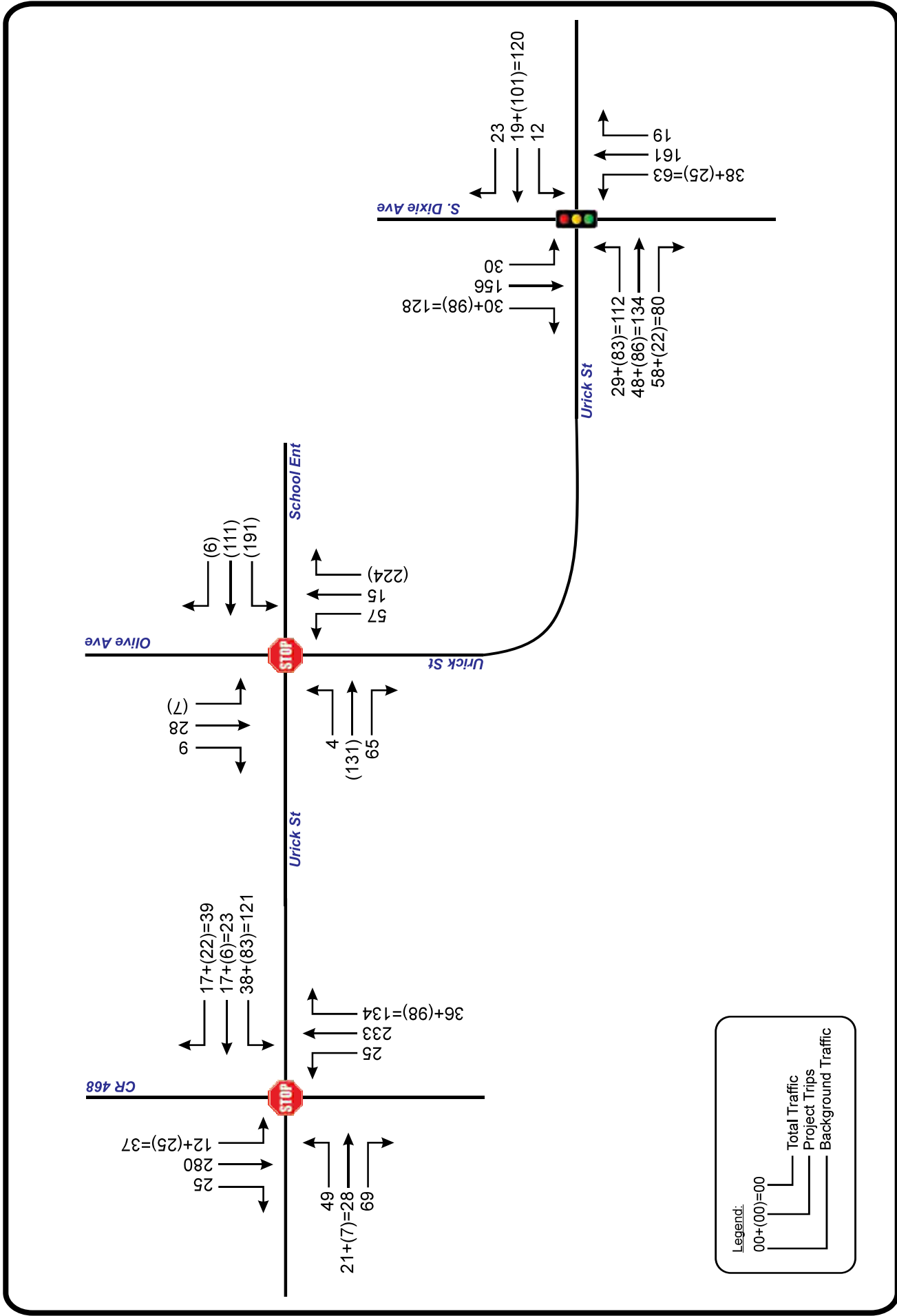
## Intersection Analysis

To assess the projected operating conditions at the study intersections, intersection capacity analyses were conducted using *Synchro* software. The total A.M. peak hour traffic volumes were determined by combining background traffic and project trips as previously discussed. **Figure 5** shows the projected A.M. peak hour intersection turning movement volumes for the study intersections. The projected Levels of Service, with project trips included, are summarized in **Table 5**. The results indicate that the study intersections and site access driveways are projected to operate at satisfactory Levels of Service upon the addition of project trips, similar to existing conditions. It should be noted that the intersection of Urick Street/Olive Street which will serve the school's main entrance was analyzed as an All-Way Stop Control in place of the existing Two-Way Stop Control on the southbound approach on Olive Street. Detailed printouts of each intersection capacity analysis are included in **Appendix F**.

**Table 5**  
**Projected Intersection Capacity Analysis**

#	Intersection	Control	EB		WB		NB		SB		Overall	
			Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS
1	Urlick St & Olive St / School Ent	AWSC	10.8	B	13.7	B	11.0	B	9.6	A	11.9	B
2	Urlick St & CR 468	TWSC	20.9	C	41.3	E	0.5	A	0.9	A	10.5	B
3	Urlick St & S Dixie Ave	Signal	20.8	C	23.8	C	15.1	B	18.8	B	19.3	B





Projected A.M. Peak Hour Volumes

Fruitland Park Elementary School  
Project No 5456  
Figure 5



## Turn Lane Analysis

As indicated earlier, the site is proposed to be served by a full access driveway on the east leg of the Olive Street/Urlick Street intersection in addition to a bus entrance on Olive Street and a secondary entrance on Urlick Street. The main entrance will be used as a parent access for drop-off/pick-up time periods.

An analysis was conducted to assess the need for a northbound right turn lane at the main entrance at the Urlick Street/Olive Street intersection using information from the FDOT, *Driveway Information Guide* 2008. Excerpts from the guide are provided in **Appendix G**. The report recommends that an exclusive right turn lane is warranted when there are 80 or more right turning vehicles per hour for roadways with speed limit of 45 mph or less. The projected entering right turn volumes at this location (posted speed limit 30 mph) are more than 80 vehicles per hour. Therefore, an exclusive entering right turn lane is recommended. The length of this turn lane is recommended to be 185 feet based on FDOT's Index 301 deceleration distance.



## STUDY CONCLUSIONS

This traffic analysis was undertaken in order to assess the traffic impact of the proposed Fruitland Park Elementary School in Fruitland Park, Lake County. The project is located on the northeast quadrant of the intersection of Olive Avenue and Urick Street and will consist of an elementary school with a capacity of 1,000 students. The school is anticipated to be built by 2024. The results of the study as documented herein are summarized below:

- The proposed development is projected to generate 1,890 new daily trips, of which 670 will occur in the A.M peak hour and 340 will occur in the P.M. peak hour.
- The roadway segment analysis indicated that all the study roadway segments currently operate at acceptable Levels of Service. The study roadway segments are projected to operate at acceptable Levels of Service, similar to existing conditions, upon the addition of project trips.
- The intersection analysis indicated that all the study intersections currently operate at satisfactory Levels of Service and will continue to do so upon the addition of project trips.
- Access to the site is proposed via a full access driveway on the east leg of the Urick Street/Olive Street intersection. Additionally, the site will have a bus access on Olive Street and a secondary access on Urick Street. The main entrance will be used as a parent access for drop-off/pick-up time periods. A northbound right turn lane is recommended at this intersection to adequately serve the project trips. Additionally, the site access is recommended to have an All-Way Stop Control in place of the existing Two-Way Stop Control on the southbound approach on Olive Street.



## **APPENDICES**

## **APPENDIX A**

Study Methodology and Correspondence

## Mina Atassi

---

**From:** Lewis, Sharon E <SELewis@lakecountyfl.gov>  
**Sent:** Tuesday, May 11, 2021 12:53 PM  
**To:** Mina Atassi  
**Cc:** Earhart, Jeffrey; Gadiel, George; Lynch, Seth  
**Subject:** RE: Fruitland Park Elementary School TIA Methodology

**Mina,**

Please use the Lake County Annual 2020 Traffic data

Annual traffic counts at the link below

[ftp://ftp.co.lake.fl.us/Public Works/Engineering/Annual%20Counts/2020/](ftp://ftp.co.lake.fl.us/Public%20Works/Engineering/Annual%20Counts/2020/)



SHARON E LEWIS, MSCTM  
*Traffic Project Engineer*

**PUBLIC WORKS**  
*Engineering*

*A P.O Box 7800, Tavares, FL 32778*  
*P 352-253-9050 | F 352-253-6016*  
*E selewis@lakecountyfl.gov | W [www.lakecountyfl.gov](http://www.lakecountyfl.gov)*

*NOTE: Florida has a very broad public records law.*  
*Your email communications may be subject to public disclosure.*

---

**From:** Mina Atassi <mina@tpdtraffic.com>  
**Sent:** Monday, May 10, 2021 3:57 PM  
**To:** Lewis, Sharon E <SELewis@lakecountyfl.gov>  
**Cc:** Rita Merhi <rita@tpdtraffic.com>  
**Subject:** FW: Fruitland Park Elementary School TIA Methodology

**CAUTION:** This email originated from outside of your organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good Afternoon Sharon,

I wanted to follow up regarding the methodology for the elementary school project in Fruitland Park. Please let me know if you have any questions or comments.

Thank you for your time.

**Mina Atassi, EI**  
Traffic Planning and Design, Inc.  
535 Versailles Drive  
Maitland, Florida 32751  
(407) 628-9955  
[mina@tpdtraffic.com](mailto:mina@tpdtraffic.com)

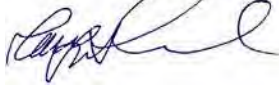




# MEMORANDUM

DATE: April 27<sup>th</sup>, 2021

TO: Sharon Lewis, MS  
Lake County Public Works

FROM: Mina Atassi, E.I.  
Turgut Dervish, P.E. 

RE: **Traffic Impact Analysis Methodology**  
Fruitland Park Elementary School  
TPD No. 5456

The following is an outline of the proposed methodology for the Traffic Impact Study for the Fruitland Elementary School in Lake County, Florida. The project site is located on the northeast quadrant of the intersection of Olive Avenue and Urick Street. **Figure 1** depicts the site location and the area roadways.

## 1. Proposed Development

The proposed development will consist of an elementary school with a capacity of 850 students. The school is anticipated to be built by 2024.

## 2. Trip Generation

Trip generation data from the 10th Edition of the Institute of Transportation Engineers (ITE) *Trip Generation Manual* will be used for the trip generation estimation of the development. **Table 1** provides a summary of the trip generation for the proposed development calculated with the ITE data. The project is expected to generate a total of 1,607 new daily trips of which 553 will occur during the A.M. peak hour and 289 will occur during P.M. peak hour. The ITE trip generation worksheets are included in **Attachment A**.

**Table 1: Trip Generation Calculation Summary**

ITE Code	Land Use	Size	Daily		A.M. Peak Hour				P.M. Peak Hour			
			Rate	Trips	Rate	Enter	Exit	Total	Rate	Enter	Exit	Total
520	Elementary School	850 Students	1.89	1,607	0.67	308	262	570	0.34	130	159	289
<b>Total Trips</b>				<b>1,607</b>	<b>--</b>	<b>308</b>	<b>262</b>	<b>570</b>	<b>--</b>	<b>130</b>	<b>159</b>	<b>289</b>

Note:

The ITE equation rates were where the R-squared correlation coefficient was greater than 0.75



# Project Location

Fruitland Park Elementary School  
Project No 5456  
Figure 1



### 3. Trip Distribution

The trip distribution pattern for the proposed project was estimated using the currently adopted Central Florida Regional Planning Model (CFRPM). A Select Zone Analysis (SZA) was conducted by modifying the 2020 interim year model network to include a Traffic Analysis Zone (TAZ) representing the proposed project and the model's socio-economic data updated to reflect the proposed project buildout. The trip distribution was manually adjusted in the project vicinity in consideration of the access configuration. The model is shown in **Figure 2**. The model distribution plot is included in **Attachment B**.

### 4. Impact Area

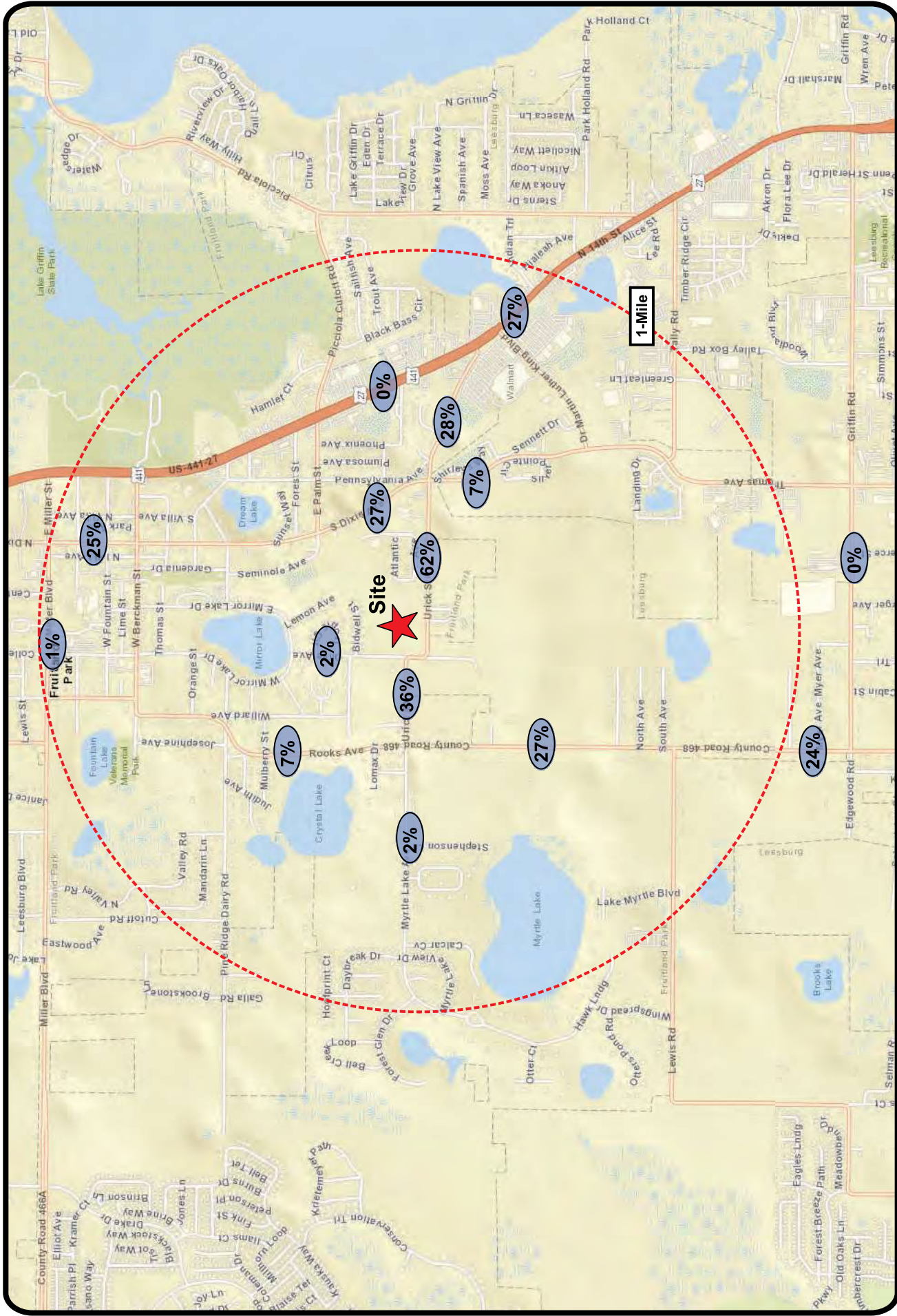
As per Lake-Sumter MPO's Traffic Impact Study Methodology and Guidelines, the study area for a Tier 2 TIS includes roadway segments listed in the Lake County CMP Database. These guidelines require that the impact area of the development include an area within a minimum of one-mile radius from the main access point of the proposed project plus all roadways where the project's peak hour trips consume 5% or more of a roadway's two-way peak hour LOS, and one-half the total trip length associated with the land use of the proposed development. Based on a significance test shown in **Table 2**, the following roadway segments and intersections are proposed to be included in the analysis:

The roadway segments to be included in the analysis:

- CR 468, from CR 466A to Pine Ridge Dairy Road
- CR 468, from Pine Ridge Dairy Road to Griffin Road
- CR 468, from Griffin Road to SR 44
- CR 25A, from CR 466! To US 27/US 441

The intersections to be included in the area analysis are:

- Urick Street & Olive Avenue
- CR 468 & Urick Street
- CR 25A (S. Dixie Avenue/Thomas Avenue) & Urick Street
- Site Access Driveways



# Project Trip Distribution

Fruitland Park Elementary School  
 Project No 5456  
 Figure 2



**Table 2: Significance Analysis**

Seg ID	Roadway	Segment	Lns	LOS Std	PH Dir Capacity	Dir	Trip Dist	Project Vol	% Sig.
10	CR 468	CR 466A to Pine Ridge Dairy Rd	2LU	D	530	NB/EB	7.0%	11	2.08%
						SB/WB		9	1.70%
12	CR 468	Pine Ridge Dairy Rd to Griffin Rd	2LU	D	680	NB/EB	27.0%	35	5.15%
						SB/WB		43	6.32%
14	CR 468	Griffin Rd to SR 44	2LU	D	620	NB/EB	24.0%	31	5.00%
						SB/WB		38	6.13%
189	CR 25A	CR 466A to US 27/441	2LU	D	530	NB/EB	27.0%	43	8.11%
						SB/WB		35	6.60%
98	CR 460 (MLK Blvd)	Thomas Rd to US 27	2LD	D	710	NB/EB	0.0%	0	0.00%
						SB/WB		0	0.00%
190	Thomas Ave	CR 460 to CR 44A	2LU	D	530	NB/EB	7.0%	11	2.08%
						SB/WB		9	1.70%
171	CR 466A	CR 468 / Rose Ave to US 27	4LD	D	1,470	NB/EB	1.0%	2	0.14%
						SB/WB		1	0.07%
3720	US 27	Lake Ella Rd to CR 466A (Miller Blvdv)	6LD	D	3,020	NB/EB	24.0%	38	1.26%
						SB/WB		31	1.03%
3730	US 27	CR 466A (Miller Blvd) to CR 460 (MLK Blvd)	6LD	D	3,020	NB/EB	0.0%	0	0.00%
						SB/WB		0	0.00%
3740	US 27	CR 460 (Miller Blvd) to CR 466A (Lee Rd)	6LD	D	3,020	NB/EB	27.0%	35	1.16%
						SB/WB		43	1.42%
3190	SR 44	Sumter County Line to CR 468	4LD	D	2,000	NB/EB	13.0%	17	0.85%
						SB/WB		21	1.05%
3200	SR 44	CR 468 to S Lone Oak Dr	4LD	D	2,000	NB/EB	9.0%	14	0.70%
						SB/WB		12	0.60%

## 5. Traffic Impact Assessment

### a) Roadway

- Obtain existing traffic volumes on study roadway segment from Lake County for use in the traffic analysis.
- Determine background traffic will be determined with the use of an annual growth rate obtained from historical AADT in the vicinity of the project. Alternatively, vested trips added to existing traffic to obtain background traffic.
- Combine project traffic with background traffic to obtain total traffic volumes.
- Perform daily and PM peak hour/peak direction roadway analyses utilizing Lake County LOS standards.

b) Intersections

- Conduct intersection counts or use factors to adjust intersection data during the PM peak period at the study intersections.
- Determine background traffic by combining existing traffic counts with committed trips to be provided by the County or with the use of an annual growth rate obtained from historical AADT.
- Combine project traffic with background traffic to obtain total traffic.
- Perform intersection capacity analysis utilizing the HCS or Synchro operational analysis procedures for the A.M. peak hour.

**6. Traffic Report**

Prepare traffic report summarizing study procedures, analyses and recommendations. If you have any questions or concerns, please contact us at (407) 628-9955.

**Attachment A**

# Elementary School (520)

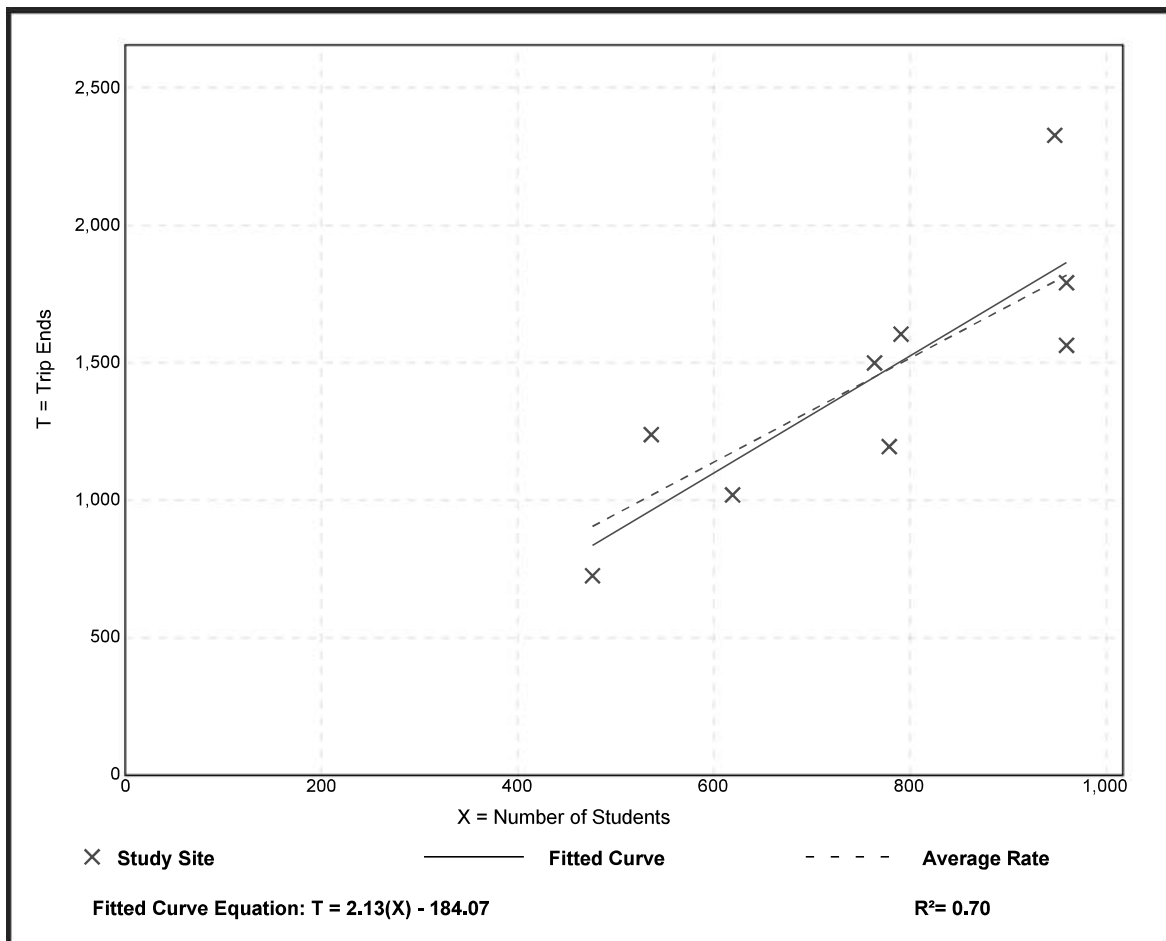
**Vehicle Trip Ends vs: Students**  
**On a: Weekday**

**Setting/Location: General Urban/Suburban**  
Number of Studies: 9  
Avg. Num. of Students: 760  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per Student

Average Rate	Range of Rates	Standard Deviation
1.89	1.51 - 2.45	0.34

## Data Plot and Equation





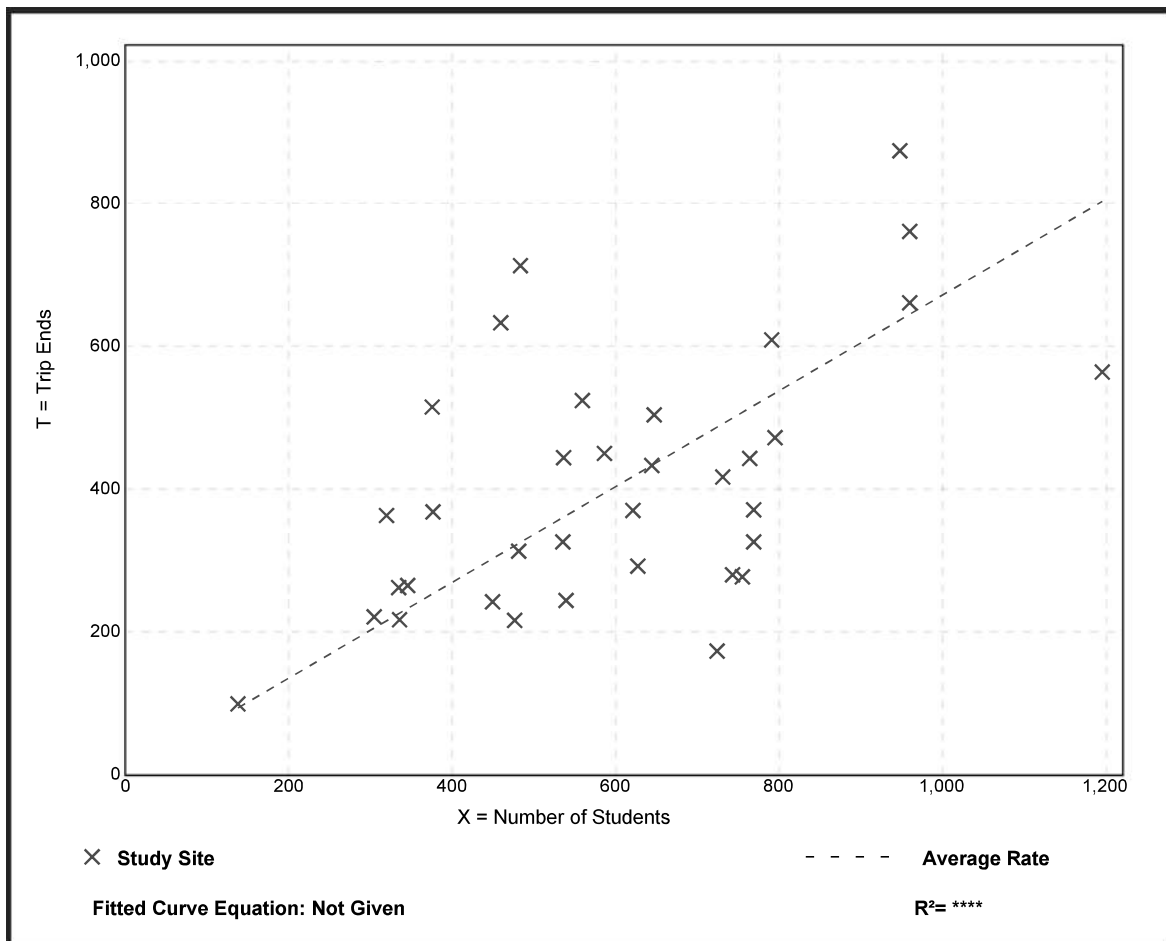
# Elementary School (520)

**Vehicle Trip Ends vs: Students**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 35  
 Avg. Num. of Students: 603  
 Directional Distribution: 54% entering, 46% exiting

## Vehicle Trip Generation per Student

Average Rate	Range of Rates	Standard Deviation
0.67	0.24 - 1.47	0.27

## Data Plot and Equation



# Elementary School (520)

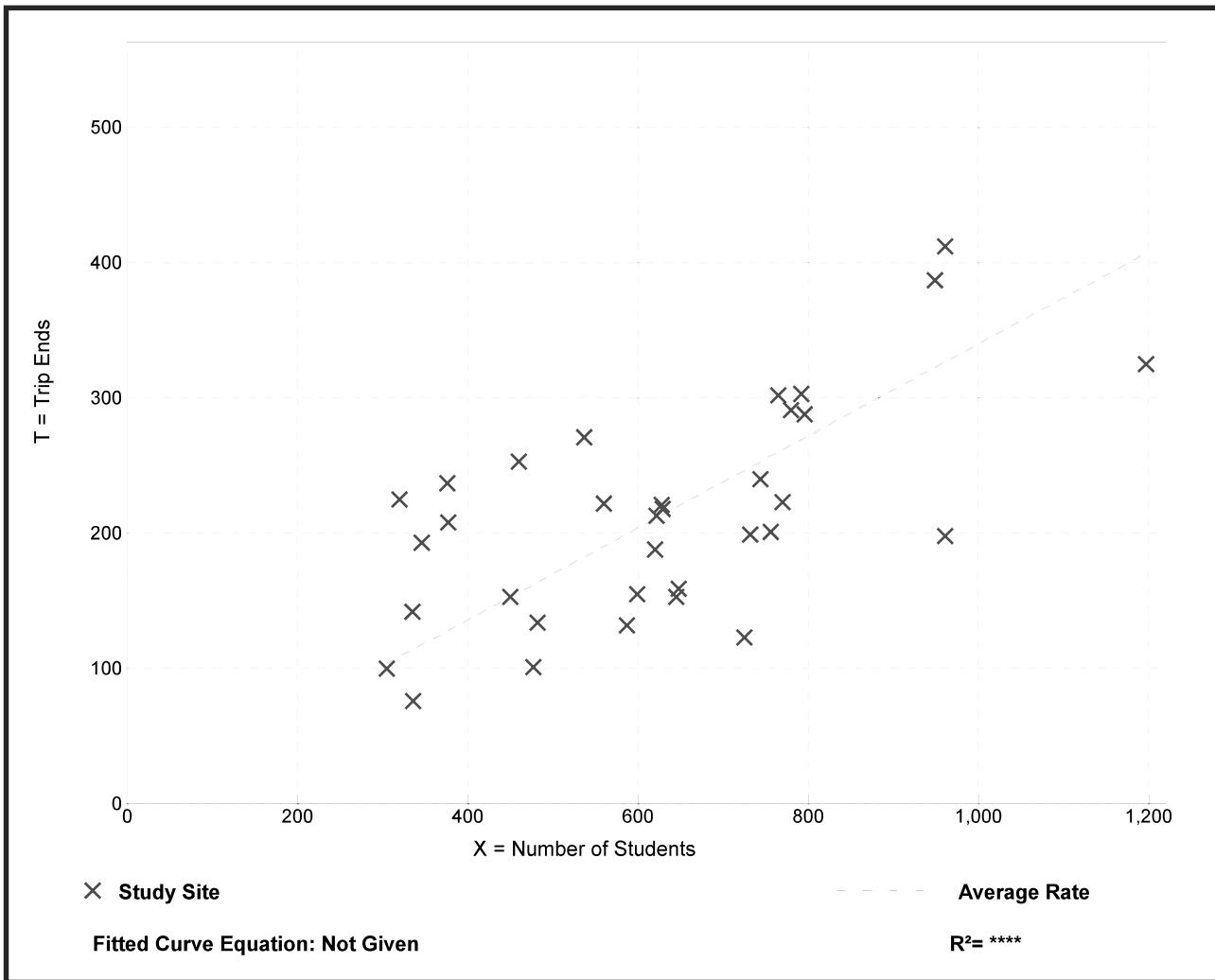
**Vehicle Trip Ends vs: Students**  
**On a: Weekday,**  
**PM Peak Hour of Generator**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 34  
 Avg. Num. of Students: 626  
 Directional Distribution: 45% entering, 55% exiting

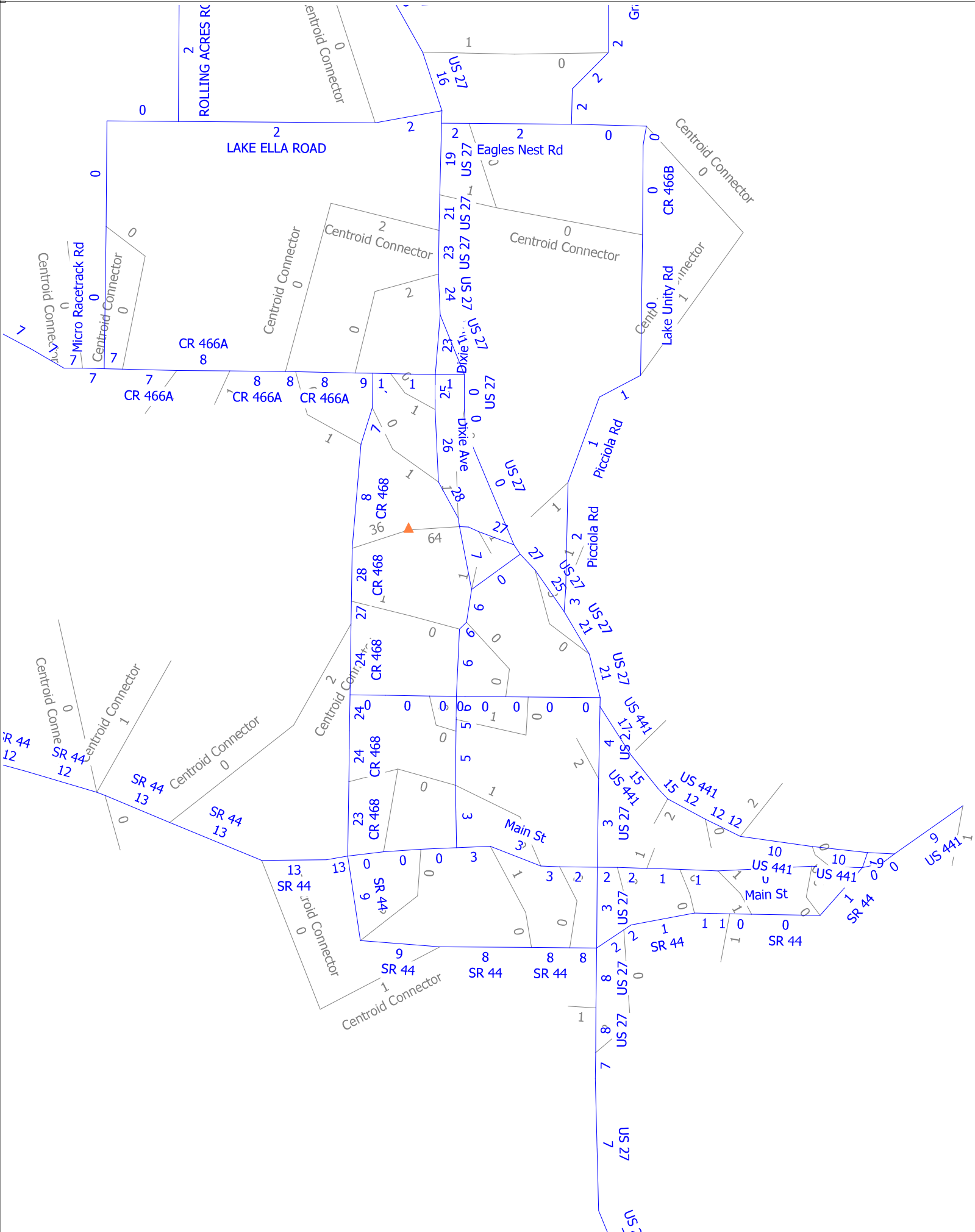
## Vehicle Trip Generation per Student

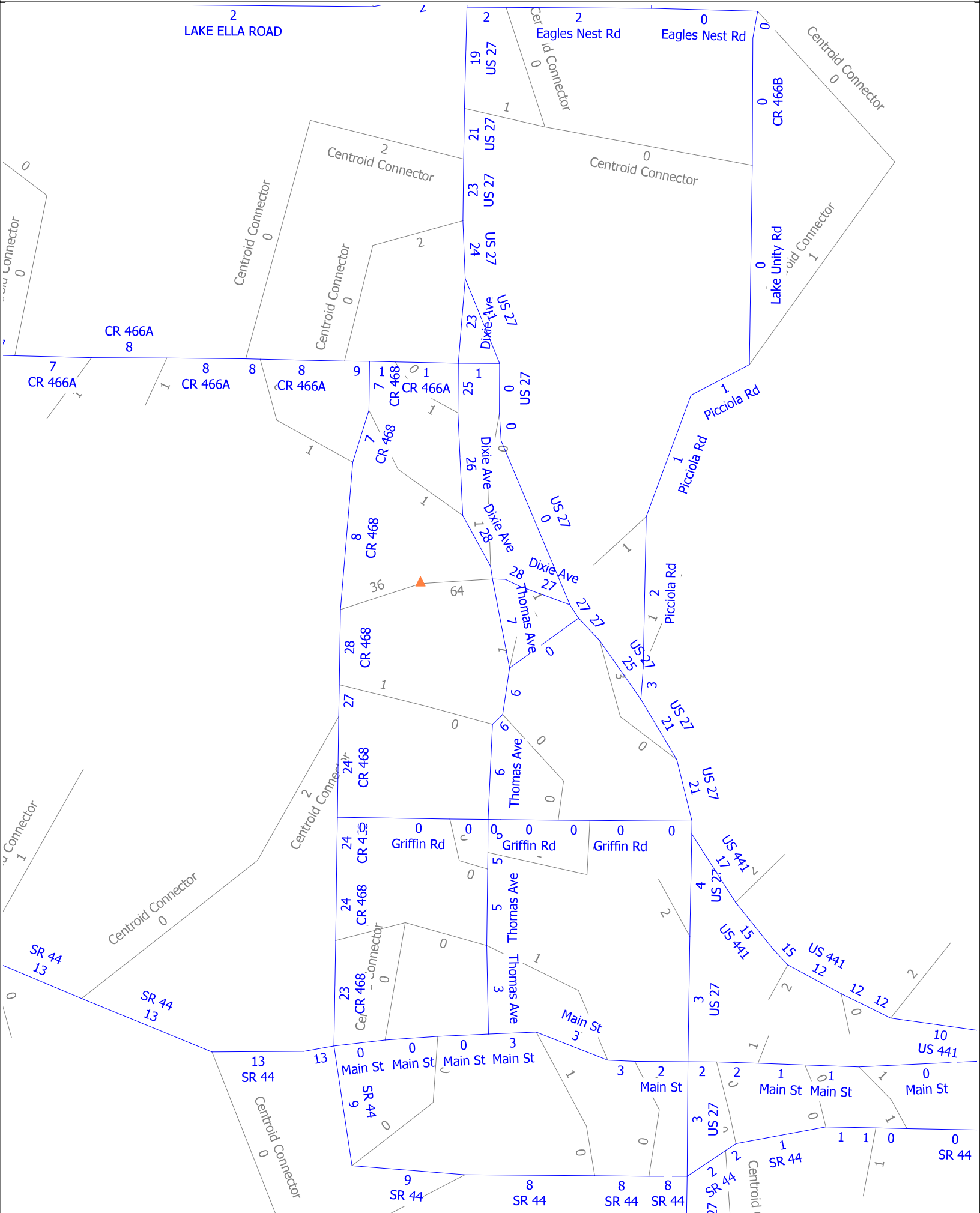
Average Rate	Range of Rates	Standard Deviation
0.34	0.17 - 0.70	0.11

## Data Plot and Equation



**Attachment B**





## **APPENDIX B**

Lake County TMS Database and FDOT Counts







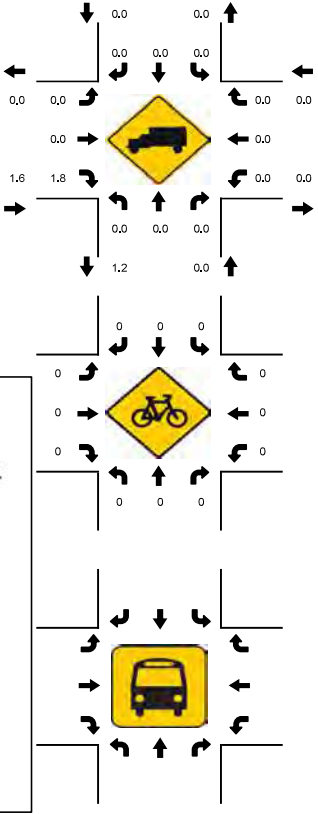
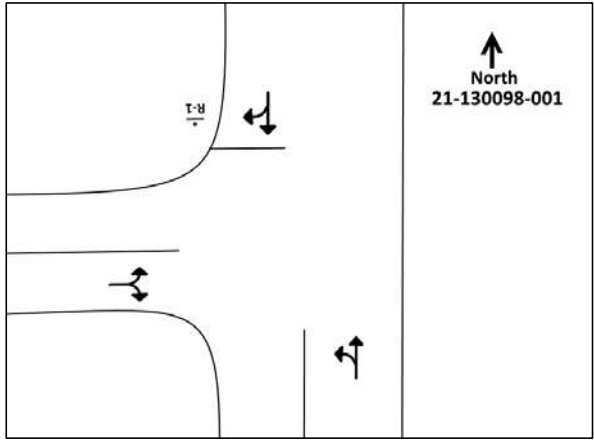
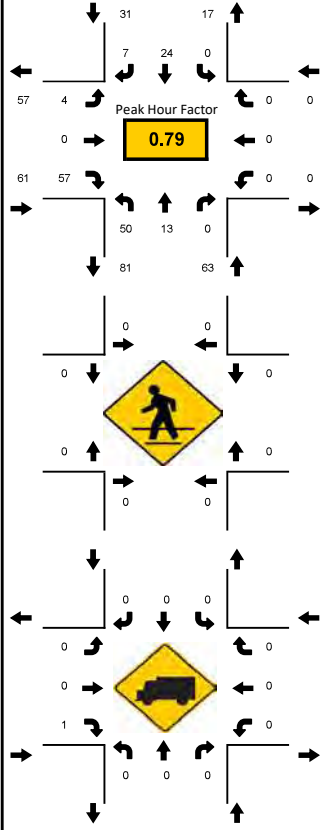
## **APPENDIX C**

**Intersection Traffic Counts, Signal Timings  
and FDOT's Seasonal Factors**

LOCATION: Olive Ave/Urlick St & Urlick St  
 CITY/STATE: Fruitland Park, FL

PROJECT ID: 21-130098-001  
 DATE: Wed, May 19, 2021

Peak-Hour: 07:45 AM - 08:45 AM  
 Peak 15-Minute: 07:45 AM - 08:00 AM



15-Min Count Period Beginning At	Olive Ave/Urlick St Northbound					Olive Ave/Urlick St Southbound					Urlick St Eastbound					Urlick St Westbound					Total	Hourly Total
	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*		
07:00 AM	9	3	0	0		0	5	2	0		2	0	9	0		0	0	0	0		30	140
07:15 AM	11	3	0	0		0	2	4	0		0	0	12	0		0	0	0	0		32	151
07:30 AM	11	3	0	0		0	1	2	0		2	0	10	0		0	0	0	0		29	155
07:45 AM	16	6	0	0		0	6	1	0		3	0	17	0		0	0	0	0		49	155
08:00 AM	14	3	0	0		0	5	4	0		0	0	15	0		0	0	0	0		41	135
08:15 AM	15	2	0	0		0	9	1	0		0	0	9	0		0	0	0	0		36	94
08:30 AM	5	2	0	0		0	4	1	0		1	0	16	0		0	0	0	0		29	58
08:45 AM	10	3	0	0		0	4	1	0		1	0	10	0		0	0	0	0		29	29
Peak 15-Min Flowrates	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Total	
All Vehicles	64	24	0	0		0	36	16	0		12	0	68	0		0	0	0	0		220	
Heavy Trucks	0	0	0	0		0	0	0	0		0	0	4	0		0	0	0	0		4	
Pedestrians	0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	
Bicycles	0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	
Buses	0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	
Stopped Buses	0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	



National Data & Surveying Services

Site Code: 21-130098-001

Date: 05/19/2021

Weather: Sunny

City: Fruitland Park

County: Lake

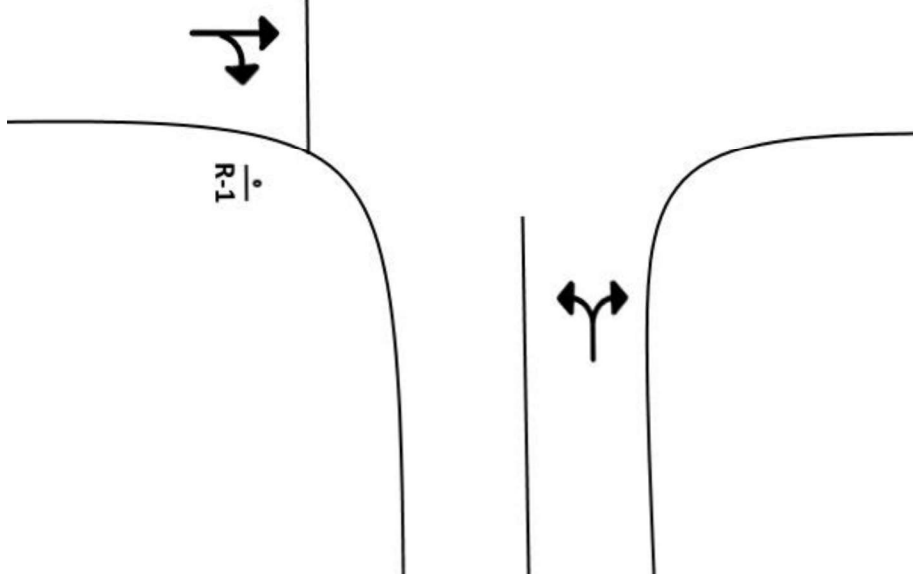
Count Times: 07:00 - 09:00

Control: 1-Way Stop(SB)



N/S Street: Olive Ave/Urlick St

Speed: 25 MPH

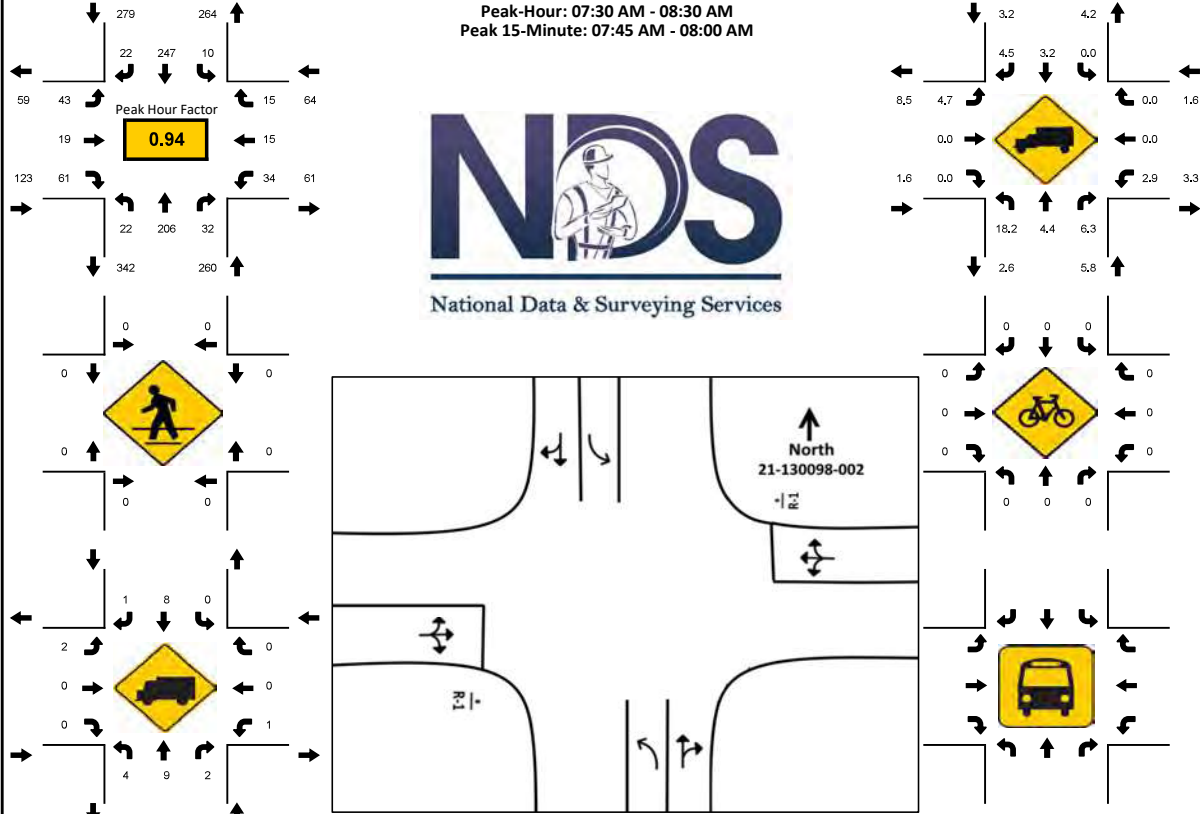


R-1

North  
21-130098-001

E/W Street: <b>Urlick St</b>	Speed: <b>30 MPH</b>
------------------------------	----------------------

Peak-Hour: 07:30 AM - 08:30 AM  
 Peak 15-Minute: 07:45 AM - 08:00 AM



15-Min Count Period Beginning At	CR 468 Northbound					CR 468 Southbound					Urick St/Myrtle Lake Ave Eastbound					Urick St/Myrtle Lake Ave Westbound					Total	Hourly Total
	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*		
07:00 AM	5	43	5	0		2	44	0	0		16	4	11	0		12	0	4	0		146	665
07:15 AM	4	47	3	0		3	61	1	0		10	4	5	0		5	4	1	0		148	709
07:30 AM	5	48	6	0		1	71	3	0		9	6	17	0		8	3	1	0		178	726
07:45 AM	5	53	9	0		5	64	3	0		14	9	12	0		9	5	5	0		193	695
08:00 AM	5	55	6	0		2	62	9	0		13	2	19	0		9	2	6	0		190	625
08:15 AM	7	50	11	0		2	50	7	0		7	2	13	0		8	5	3	0		165	435
08:30 AM	4	53	7	0		3	43	3	0		8	6	12	0		3	3	2	0		147	270
08:45 AM	9	35	4	0		3	42	2	0		5	2	10	0		5	4	2	0		123	123
Peak 15-Min Flowrates	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Total	
All Vehicles	28	220	44	0		20	284	36	0		56	36	76	0		36	20	24	0		880	
Heavy Trucks	8	12	4	0		0	16	4	0		4	0	0	0		4	0	0	0		52	
Pedestrians	0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	
Bicycles	0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	
Buses	0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	
Stopped Buses	0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	



National Data & Surveying Services

Site Code: 21-130098-002

Date: 05/19/2021

Weather: Sunny

City: Fruitland Park

County: Lake

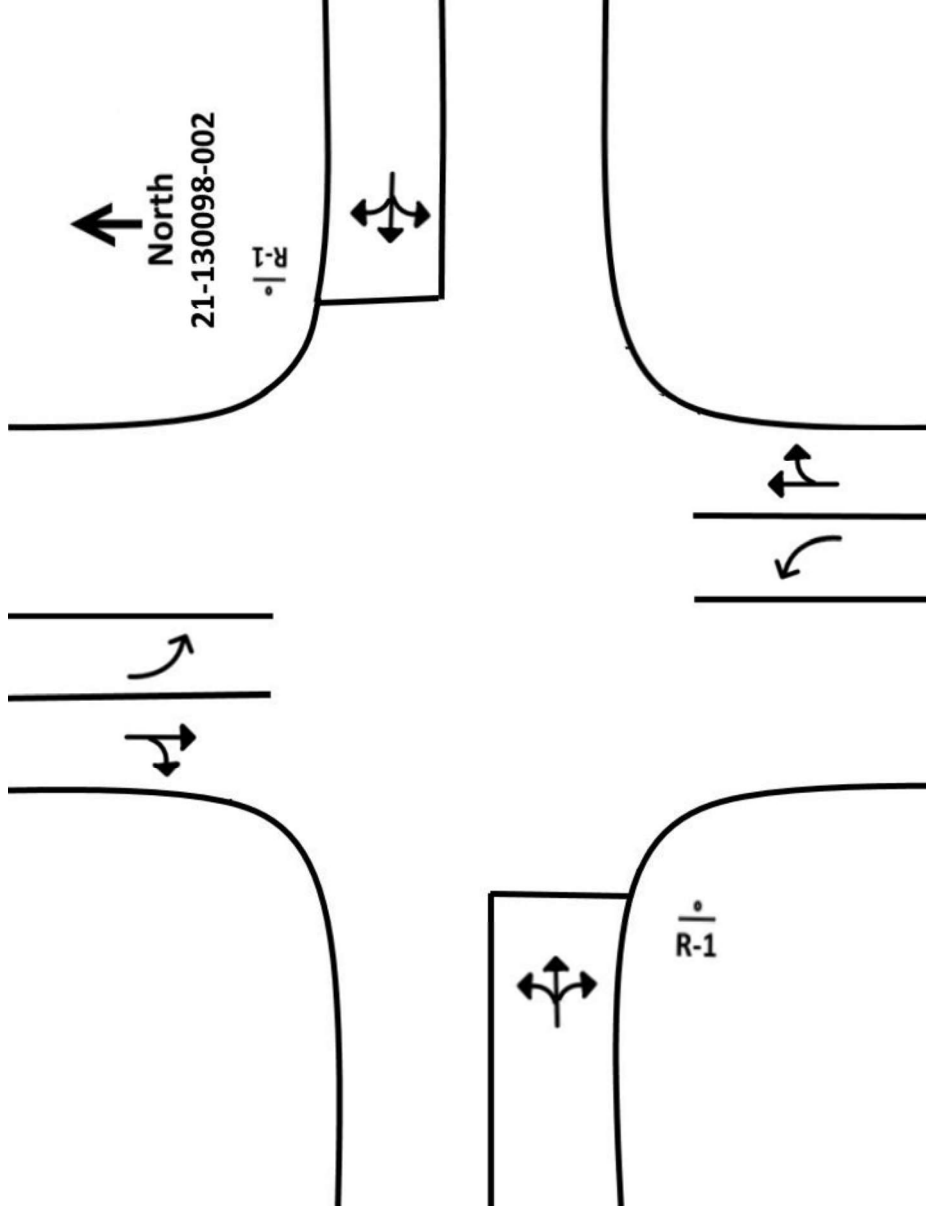
Count Times: 07:00 - 09:00

Control: 2-Way Stop(EB/WB)



N/S Street: CR 468

Speed: 35 MPH



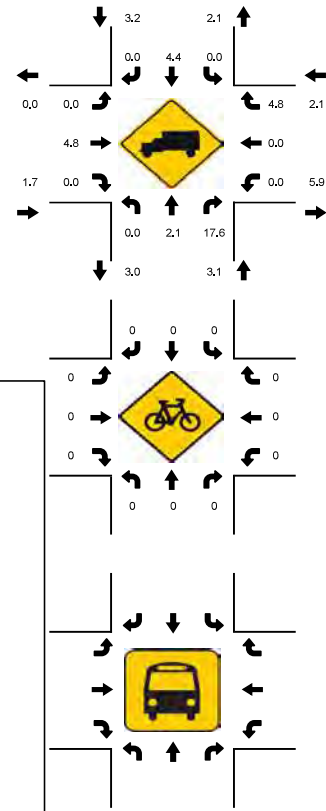
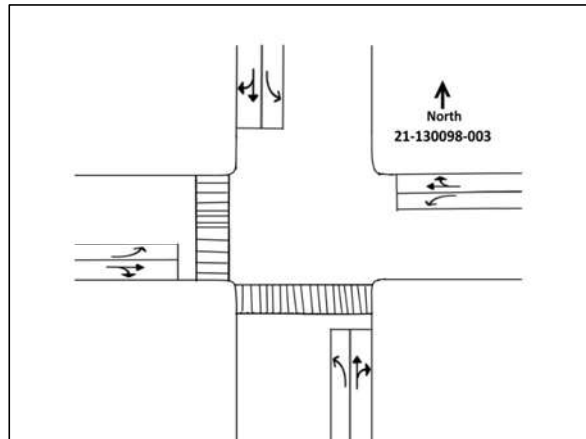
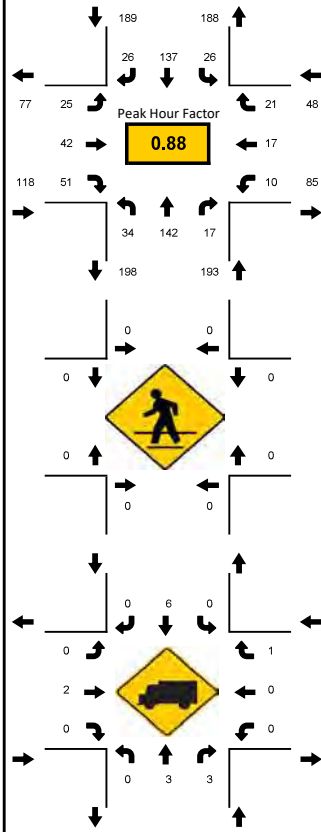
E/W Street: Urick St/Myrtle Lake Ave

Speed: 30 MPH

LOCATION: S Dixie Ave/Thomas Ave & Urick St  
 CITY/STATE: Fruitland Park, FL

PROJECT ID: 21-130098-003  
 DATE: Wed, May 19, 2021

Peak-Hour: 07:45 AM - 08:45 AM  
 Peak 15-Minute: 08:00 AM - 08:15 AM



15-Min Count Period Beginning At	S Dixie Ave/Thomas Ave Northbound					S Dixie Ave/Thomas Ave Southbound					Urick St Eastbound					Urick St Westbound					Total	Hourly Total
	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*		
07:00 AM	7	18	1	0		2	18	2	0		3	8	17	0		4	3	2	0		85	442
07:15 AM	8	22	2	0		0	22	7	0		4	15	7	0		2	3	2	0		94	512
07:30 AM	13	25	3	0		1	33	7	0		6	9	4	0		4	5	6	0		116	548
07:45 AM	8	37	5	0		4	36	7	0		9	12	15	0		2	6	6	0		147	548
08:00 AM	9	40	6	0		7	37	9	0		4	14	14	0		4	6	5	0		155	492
08:15 AM	12	31	5	0		9	33	7	0		6	5	13	0		0	3	6	0		130	337
08:30 AM	5	34	1	0		6	31	3	0		6	11	9	0		4	2	4	0		116	207
08:45 AM	10	25	0	0		5	18	1	0		3	10	2	0		4	6	7	0		91	91
Peak 15-Min Flowrates	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Left	Thru	Rgt	U	R*	Total	
All Vehicles	48	160	24	0		36	148	36	0		36	56	60	0		16	24	24	0		668	
Heavy Trucks	0	4	8	0		0	20	0	0		0	4	0	0		0	0	4	0		40	
Pedestrians	0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	
Bicycles	0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	
Buses	0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	
Stopped Buses	0	0	0	0		0	0	0	0		0	0	0	0		0	0	0	0		0	



National Data & Surveying Services



N/S Street: **S Dixie Ave/Thomas Ave**

Speed: **30 MPH**

Site Code: **21-130098-003**

Date: **05/19/2021**

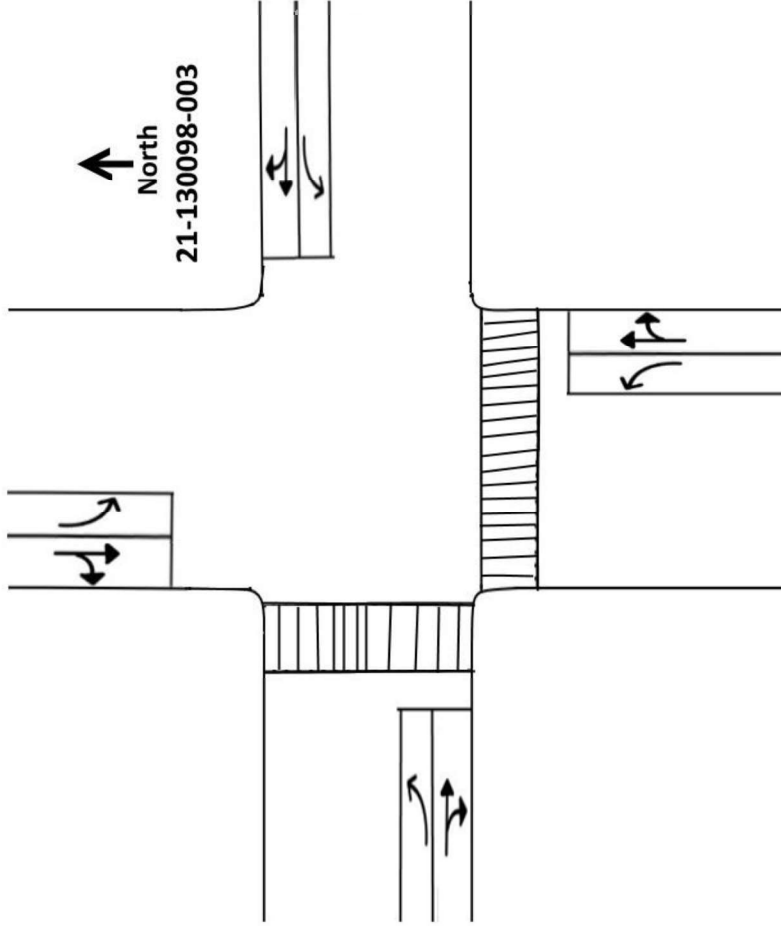
Weather: **Sunny**

City: **Fruitland Park**

County: **Lake**

Count Times: **07:00 - 09:00**

Control: **Signalized**



E/W Street: **Urick St**

Speed: **30 MPH**

SIGNAL TIMING

PHASES	1	2	3
NT/ST	00:26	00:24	00:24
ET/WT	00:24	00:23	00:24

LAKE COUNTY - TRAFFIC SIGNAL OPERATIONS

**CARTEGRAPH ID: FP-S-390**

**DATE: 07/31/2015**

**INTERSECTION NAME AND ID#: THOMAS AVE (CR 25A) & URICK ST**

PHASE	1	2	3	4	5	6	7	8
	SBL	NB	EBL	WB	NBL	SB	WBL	EB
INITIAL	5	15	5	8	5	15	5	8
PASSAGE	3	3	3	3	3	3	3	3
YELLOW	3.7	4.0	3.7	3.7	4.0	3.7	3.7	3.7
RED CLEAR	2.2	2.3	2.2	2.5	2.1	2.6	2.1	2.5
MAX 1	15	50	15	20	15	50	15	20
MAX 2								
WALK				7		7		
DON'T WALK				16		17		
RECALL		MIN				MIN		
DET. FUNC.		L				L		

**SYSTEM TIMING**

PATTERN	CYCLE	OFFSET	COORDINATED		BASE DAY 1	BASE DAY 2
	Sec.	Sec.	Phase	Sequence	Mon.- Fri.	Sat.- Sun.

**SPLIT ALLOCATION - Sec.**

PHASE	1	2	3	4	5	6	7	8

NOTES: Naztec 980

1) Stop in Walk feature activated.



2020 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL  
 CATEGORY: 1100 LAKE COUNTYWIDE

WEEK	DATES	SF	MOCF: 0.93 PSCF
* 1	01/01/2020 - 01/04/2020	0.99	1.06
* 2	01/05/2020 - 01/11/2020	0.95	1.02
* 3	01/12/2020 - 01/18/2020	0.91	0.98
* 4	01/19/2020 - 01/25/2020	0.90	0.97
* 5	01/26/2020 - 02/01/2020	0.88	0.95
* 6	02/02/2020 - 02/08/2020	0.87	0.94
* 7	02/09/2020 - 02/15/2020	0.86	0.92
* 8	02/16/2020 - 02/22/2020	0.89	0.96
* 9	02/23/2020 - 02/29/2020	0.91	0.98
*10	03/01/2020 - 03/07/2020	0.94	1.01
*11	03/08/2020 - 03/14/2020	0.97	1.04
*12	03/15/2020 - 03/21/2020	0.99	1.06
*13	03/22/2020 - 03/28/2020	1.08	1.16
14	03/29/2020 - 04/04/2020	1.16	1.25
15	04/05/2020 - 04/11/2020	1.24	1.33
16	04/12/2020 - 04/18/2020	1.32	1.42
17	04/19/2020 - 04/25/2020	1.26	1.35
18	04/26/2020 - 05/02/2020	1.20	1.29
19	05/03/2020 - 05/09/2020	1.14	1.23
20	05/10/2020 - 05/16/2020	1.08	1.16
21	05/17/2020 - 05/23/2020	1.07	1.15
22	05/24/2020 - 05/30/2020	1.05	1.13
23	05/31/2020 - 06/06/2020	1.04	1.12
24	06/07/2020 - 06/13/2020	1.03	1.11
25	06/14/2020 - 06/20/2020	1.01	1.09
26	06/21/2020 - 06/27/2020	1.02	1.10
27	06/28/2020 - 07/04/2020	1.03	1.11
28	07/05/2020 - 07/11/2020	1.04	1.12
29	07/12/2020 - 07/18/2020	1.04	1.12
30	07/19/2020 - 07/25/2020	1.04	1.12
31	07/26/2020 - 08/01/2020	1.03	1.11
32	08/02/2020 - 08/08/2020	1.02	1.10
33	08/09/2020 - 08/15/2020	1.02	1.10
34	08/16/2020 - 08/22/2020	1.01	1.09
35	08/23/2020 - 08/29/2020	1.01	1.09
36	08/30/2020 - 09/05/2020	1.01	1.09
37	09/06/2020 - 09/12/2020	1.00	1.08
38	09/13/2020 - 09/19/2020	1.00	1.08
39	09/20/2020 - 09/26/2020	0.99	1.06
40	09/27/2020 - 10/03/2020	0.98	1.05
41	10/04/2020 - 10/10/2020	0.97	1.04
42	10/11/2020 - 10/17/2020	0.96	1.03
43	10/18/2020 - 10/24/2020	0.96	1.03
44	10/25/2020 - 10/31/2020	0.96	1.03
45	11/01/2020 - 11/07/2020	0.97	1.04
46	11/08/2020 - 11/14/2020	0.97	1.04
47	11/15/2020 - 11/21/2020	0.97	1.04
48	11/22/2020 - 11/28/2020	0.98	1.05
49	11/29/2020 - 12/05/2020	0.98	1.05
50	12/06/2020 - 12/12/2020	0.98	1.05
51	12/13/2020 - 12/19/2020	0.99	1.06
52	12/20/2020 - 12/26/2020	0.95	1.02
53	12/27/2020 - 12/31/2020	0.91	0.98

\* PEAK SEASON

27-FEB-2021 10:30:04

830UPD

5\_1100\_PKSEASON.TXT

## **APPENDIX D**

Existing Intersection Capacity Analysis Worksheets

Intersection						
Int Delay, s/veh	2.1					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	
Traffic Vol, veh/h	4	61	54	14	26	8
Future Vol, veh/h	4	61	54	14	26	8
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	4	66	59	15	28	9

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	74	0	0	141	67
Stage 1	-	-	-	67	-
Stage 2	-	-	-	74	-
Critical Hdwy	4.12	-	-	6.42	6.22
Critical Hdwy Stg 1	-	-	-	5.42	-
Critical Hdwy Stg 2	-	-	-	5.42	-
Follow-up Hdwy	2.218	-	-	3.518	3.318
Pot Cap-1 Maneuver	1526	-	-	852	997
Stage 1	-	-	-	956	-
Stage 2	-	-	-	949	-
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	1526	-	-	849	997
Mov Cap-2 Maneuver	-	-	-	849	-
Stage 1	-	-	-	953	-
Stage 2	-	-	-	949	-

Approach	EB	WB	SB
HCM Control Delay, s	0.5	0	9.3
HCM LOS			A

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1526	-	-	-	880
HCM Lane V/C Ratio	0.003	-	-	-	0.042
HCM Control Delay (s)	7.4	0	-	-	9.3
HCM Lane LOS	A	A	-	-	A
HCM 95th %tile Q(veh)	0	-	-	-	0.1

Intersection												
Int Delay, s/veh	4.4											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕		↕	↕		↕	↕	
Traffic Vol, veh/h	46	20	65	36	16	16	24	220	34	11	264	24
Future Vol, veh/h	46	20	65	36	16	16	24	220	34	11	264	24
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	355	-	-	355	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	94	94	94	94	94	94	94	94	94	94	94	94
Heavy Vehicles, %	5	2	2	3	2	2	18	4	6	2	3	5
Mvmt Flow	49	21	69	38	17	17	26	234	36	12	281	26





















Major/Minor	Minor2		Minor1		Major1			Major2				
Conflicting Flow All	639	640	294	667	635	252	307	0	0	270	0	0
Stage 1	318	318	-	304	304	-	-	-	-	-	-	-
Stage 2	321	322	-	363	331	-	-	-	-	-	-	-
Critical Hdwy	7.15	6.52	6.22	7.13	6.52	6.22	4.28	-	-	4.12	-	-
Critical Hdwy Stg 1	6.15	5.52	-	6.13	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.15	5.52	-	6.13	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.545	4.018	3.318	3.527	4.018	3.318	2.362	-	-	2.218	-	-
Pot Cap-1 Maneuver	385	393	745	371	396	787	1168	-	-	1293	-	-
Stage 1	687	654	-	703	663	-	-	-	-	-	-	-
Stage 2	684	651	-	654	645	-	-	-	-	-	-	-
Platoon blocked, %												
Mov Cap-1 Maneuver	355	381	745	315	384	787	1168	-	-	1293	-	-
Mov Cap-2 Maneuver	355	381	-	315	384	-	-	-	-	-	-	-
Stage 1	672	648	-	688	648	-	-	-	-	-	-	-
Stage 2	637	637	-	568	639	-	-	-	-	-	-	-

Approach	EB		WB		NB		SB	
HCM Control Delay, s	15.4		16.5		0.7		0.3	
HCM LOS	C		C					

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1168	-	-	486	386	1293	-
HCM Lane V/C Ratio	0.022	-	-	0.287	0.187	0.009	-
HCM Control Delay (s)	8.2	-	-	15.4	16.5	7.8	-
HCM Lane LOS	A	-	-	C	C	A	-
HCM 95th %tile Q(veh)	0.1	-	-	1.2	0.7	0	-

HCM 6th Signalized Intersection Summary  
 3: Urick St & S Dixie Ave

Existing Traffic Volumes  
 A.M. Peak Hour

												
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	27	45	55	11	18	22	36	152	18	28	147	28
Future Volume (veh/h)	27	45	55	11	18	22	36	152	18	28	147	28
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	29	49	60	12	20	24	39	165	20	30	160	30
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	365	124	152	305	111	133	474	505	61	480	455	85
Arrive On Green	0.03	0.16	0.16	0.02	0.14	0.14	0.04	0.31	0.31	0.03	0.30	0.30
Sat Flow, veh/h	1781	765	937	1781	774	929	1781	1636	198	1781	1532	287
Grp Volume(v), veh/h	29	0	109	12	0	44	39	0	185	30	0	190
Grp Sat Flow(s),veh/h/ln	1781	0	1702	1781	0	1703	1781	0	1835	1781	0	1819
Q Serve(g_s), s	0.7	0.0	2.9	0.3	0.0	1.1	0.7	0.0	3.9	0.6	0.0	4.1
Cycle Q Clear(g_c), s	0.7	0.0	2.9	0.3	0.0	1.1	0.7	0.0	3.9	0.6	0.0	4.1
Prop In Lane	1.00		0.55	1.00		0.55	1.00		0.11	1.00		0.16
Lane Grp Cap(c), veh/h	365	0	277	305	0	243	474	0	567	480	0	540
V/C Ratio(X)	0.08	0.00	0.39	0.04	0.00	0.18	0.08	0.00	0.33	0.06	0.00	0.35
Avail Cap(c_a), veh/h	627	0	465	602	0	466	713	0	1588	741	0	1574
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	17.4	0.0	18.9	18.0	0.0	19.0	11.5	0.0	13.4	11.6	0.0	13.9
Incr Delay (d2), s/veh	0.1	0.0	0.9	0.1	0.0	0.4	0.1	0.0	0.3	0.1	0.0	0.4
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	0.3	0.0	1.1	0.1	0.0	0.4	0.3	0.0	1.5	0.2	0.0	1.5
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	17.5	0.0	19.8	18.1	0.0	19.4	11.5	0.0	13.7	11.7	0.0	14.3
LnGrp LOS	B	A	B	B	A	B	B	A	B	B	A	B
Approach Vol, veh/h	138			56			224			220		
Approach Delay, s/veh	19.3			19.1			13.4			14.0		
Approach LOS	B			B			B			B		
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	7.6	21.9	7.6	13.4	8.2	21.3	6.6	14.4				
Change Period (Y+Rc), s	5.9	* 6.3	5.9	* 6.2	6.1	* 6.3	* 5.8	* 6.2				
Max Green Setting (Gmax), s	9.1	* 44	9.1	* 14	8.9	* 44	* 9.2	* 14				
Max Q Clear Time (g_c+I1), s	2.6	5.9	2.7	3.1	2.7	6.1	2.3	4.9				
Green Ext Time (p_c), s	0.0	1.1	0.0	0.1	0.0	1.2	0.0	0.3				

Intersection Summary

HCM 6th Ctrl Delay	15.4
HCM 6th LOS	B

Notes

User approved pedestrian interval to be less than phase max green.  
 \* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.

## **APPENDIX E**

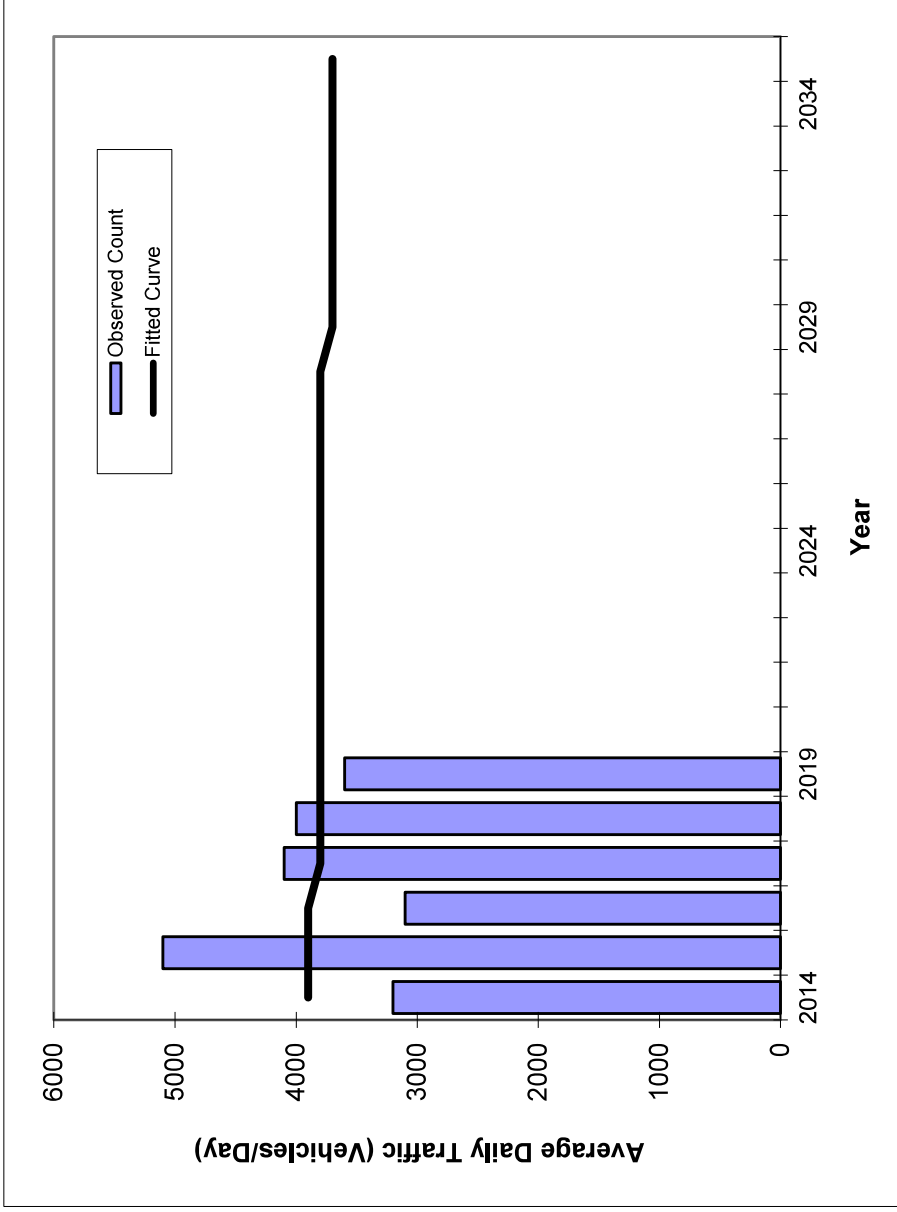
Trends Analysis Worksheets

# Traffic Trends - V03.a

## CR 468 -- CR 466A to Pine Ridge Dairy Rd

FIN#	1234
Location	1

County:	Lake (11)
Station #:	10
Highway:	CR 468



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2014	3200	3900
2015	5100	3900
2016	3100	3900
2017	4100	3800
2018	4000	3800
2019	3600	3800
2024 Opening Year Trend		
2024	N/A	3800
2029 Mid-Year Trend		
2029	N/A	3700
2034 Design Year Trend		
2034	N/A	3700
TRANPLAN Forecasts/Trends		

** Annual Trend Increase:	-9
Trend R-squared:	0.05%
Trend Annual Historic Growth Rate:	-0.51%
Trend Growth Rate (2019 to Design Year):	-0.18%
Printed:	11-Jun-21
<b>Straight Line Growth Option</b>	

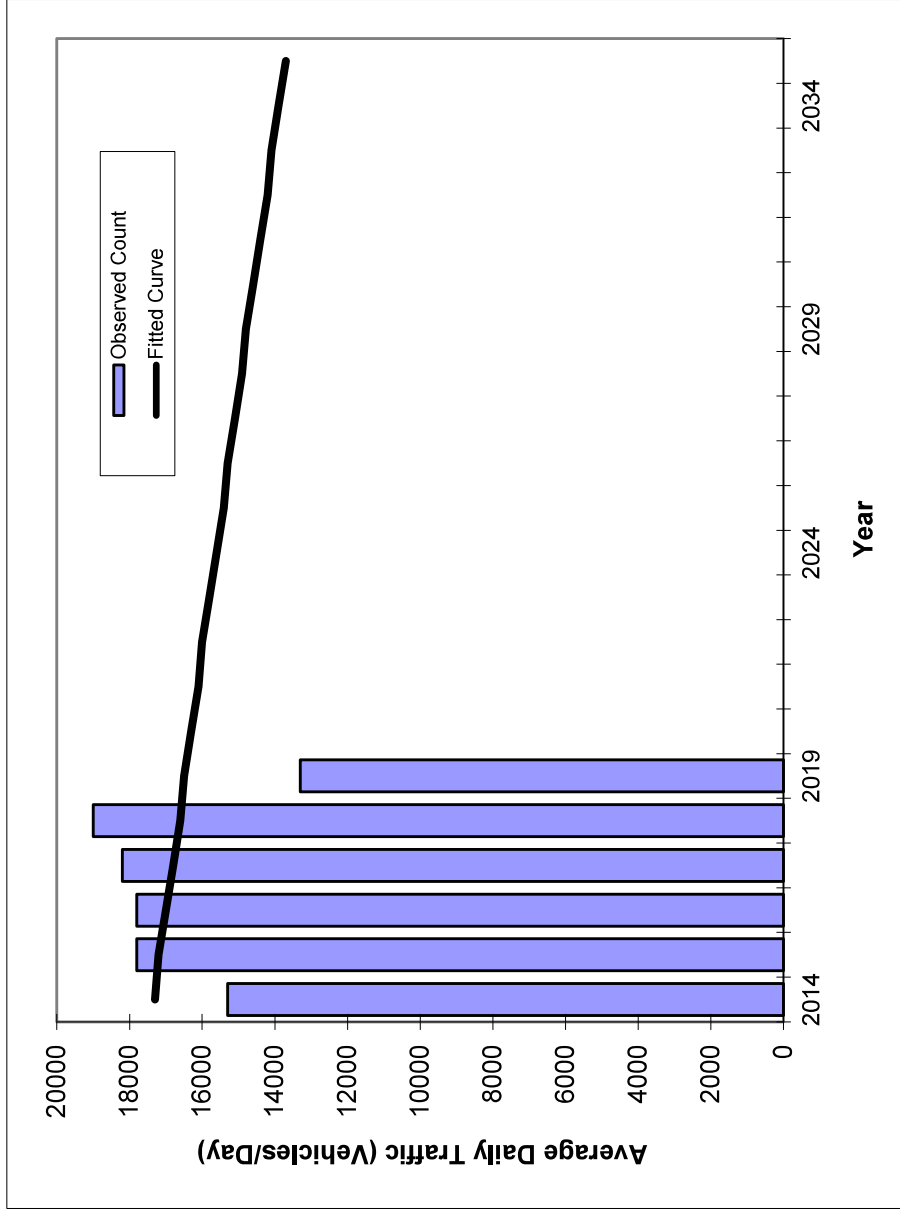
\*Axle-Adjusted

# Traffic Trends - V03.a

## CR 468 -- Pine Ridge Dairy Rd to Griffin Rd

FIN#	1234
Location	1

County:	Lake (11)
Station #:	11
Highway:	CR 468



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2014	15300	17300
2015	17800	17200
2016	17800	17000
2017	18200	16800
2018	19000	16600
2019	13300	16500

2024 Opening Year Trend	
2024	N/A 15600
2029 Mid-Year Trend	
2029	N/A 14800
2034 Design Year Trend	
2034	N/A 13900

TRANPLAN Forecasts/Trends

** Annual Trend Increase:	-171
Trend R-squared:	2.21%
Trend Annual Historic Growth Rate:	-0.92%
Trend Growth Rate (2019 to Design Year):	-1.05%
Printed:	11-Jun-21

**Straight Line Growth Option**

\* Axle-Adjusted

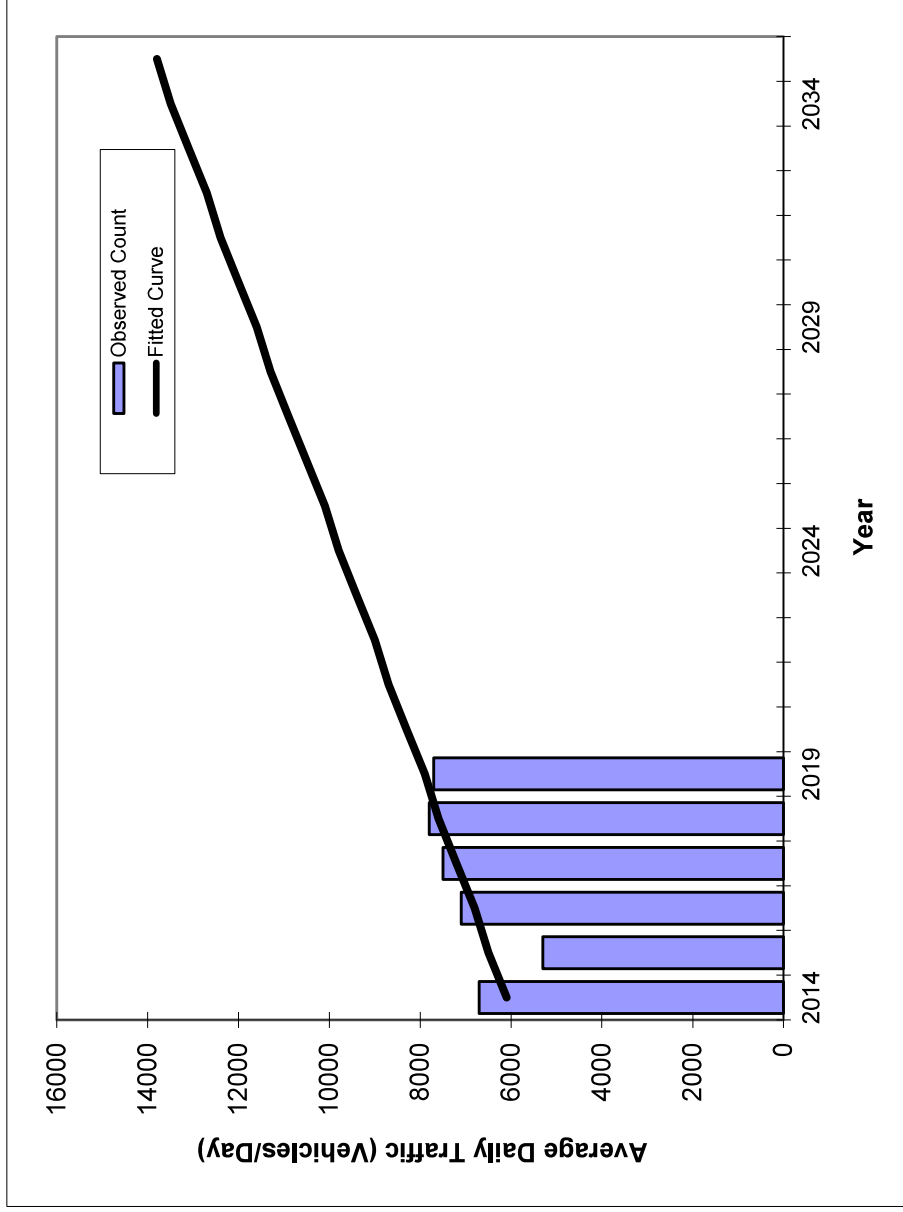


# Traffic Trends - V03.a

## CR 468 -- Griffin Rd to SR 44

FIN#	1234
Location	1

County:	Lake (11)
Station #:	14
Highway:	CR 468



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2014	6700	6100
2015	5300	6500
2016	7100	6800
2017	7500	7200
2018	7800	7600
2019	7700	7900
<b>2024 Opening Year Trend</b>		
2024	N/A	9800
<b>2029 Mid-Year Trend</b>		
2029	N/A	11600
<b>2034 Design Year Trend</b>		
2034	N/A	13500
<b>TRANPLAN Forecasts/Trends</b>		

** Annual Trend Increase:	369
Trend R-squared:	54.42%
Trend Annual Historic Growth Rate:	5.90%
Trend Growth Rate (2019 to Design Year):	4.73%
Printed:	11-Jun-21
<b>Straight Line Growth Option</b>	

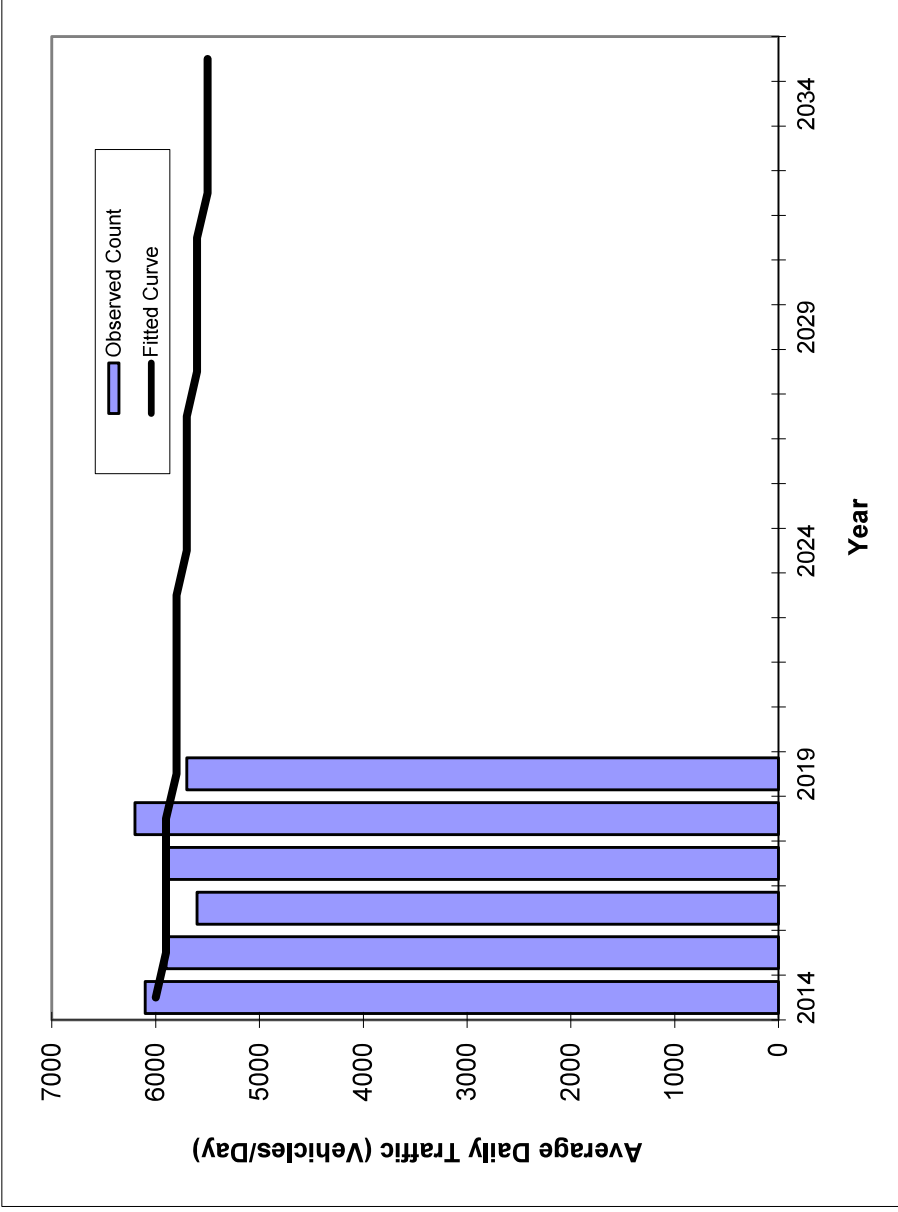
\* Axle-Adjusted

# Traffic Trends - V03.a

## CR 460 (MLK Blvd) -- Thomas Rd to US 27

FIN#	1234
Location	1

County:	Lake (11)
Station #:	98
Highway:	CR 460 (MLK Blvd)



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2014	6100	6000
2015	5900	5900
2016	5600	5900
2017	5900	5900
2018	6200	5900
2019	5700	5800

2024 Opening Year Trend	
2024	N/A 5700
2029 Mid-Year Trend	
2029	N/A 5600
2034 Design Year Trend	
2034	N/A 5500
TRANPLAN Forecasts/Trends	

** Annual Trend Increase:	-23
Trend R-squared:	3.52%
Trend Annual Historic Growth Rate:	-0.67%
Trend Growth Rate (2019 to Design Year):	-0.34%
Printed:	11-Jun-21
<b>Straight Line Growth Option</b>	

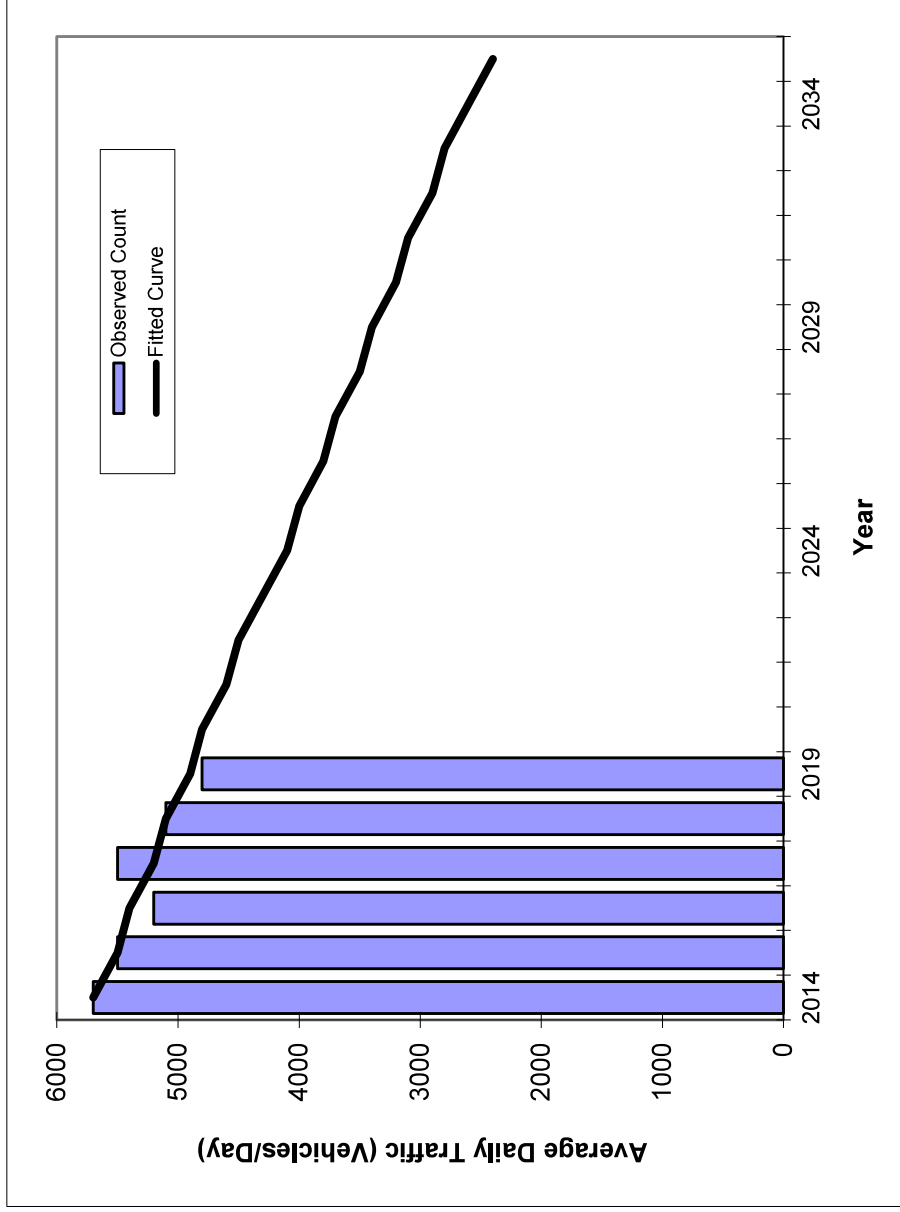
\* Axle-Adjusted

# Traffic Trends - V03.a

## CR 25A -- CR 466 A to US 27/441

FIN#	1234
Location	1

County:	Lake (11)
Station #:	189
Highway:	CR 25A



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2014	5700	5700
2015	5500	5500
2016	5200	5400
2017	5500	5200
2018	5100	5100
2019	4800	4900
2024 Opening Year Trend		
2024	N/A	4100
2029 Mid-Year Trend		
2029	N/A	3400
2034 Design Year Trend		
2034	N/A	2600
TRANPLAN Forecasts/Trends		

** Annual Trend Increase:	-154
Trend R-squared:	77.14%
Trend Annual Historic Growth Rate:	-2.81%
Trend Growth Rate (2019 to Design Year):	-3.13%
Printed:	11-Jun-21
<b>Straight Line Growth Option</b>	

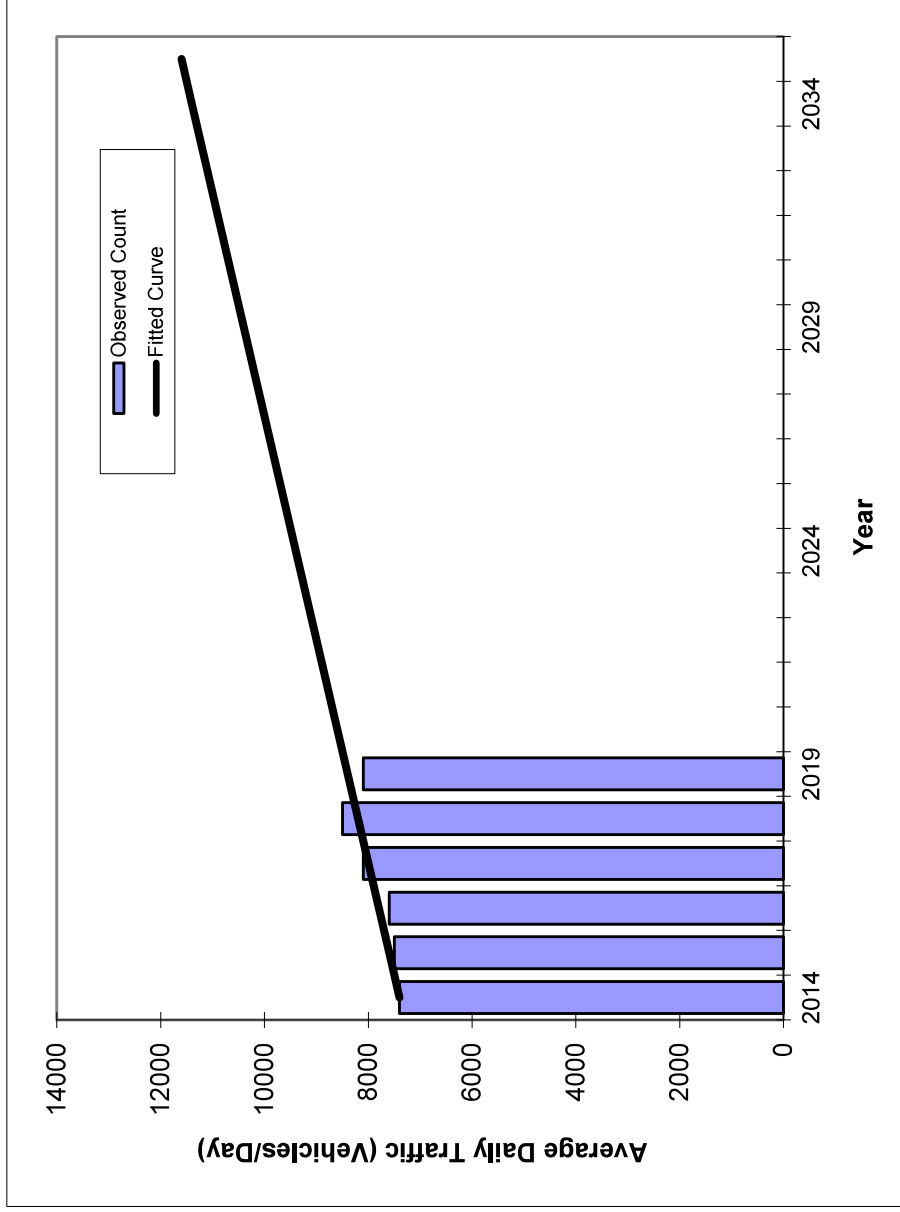
\* Axle-Adjusted

# Traffic Trends - V03.a

## THOMAS AVE -- CR 460 to CR 44A

FIN#	1234
Location	1

County:	Lake (11)
Station #:	190
Highway:	THOMAS AVE



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2014	7400	7400
2015	7500	7600
2016	7600	7800
2017	8100	8000
2018	8500	8200
2019	8100	8400

2024 Opening Year Trend	
2024	N/A 9400
2029 Mid-Year Trend	
2029	N/A 10400
2034 Design Year Trend	
2034	N/A 11400
TRANPLAN Forecasts/Trends	

** Annual Trend Increase:	200
Trend R-squared:	75.00%
Trend Annual Historic Growth Rate:	2.70%
Trend Growth Rate (2019 to Design Year):	2.38%
Printed:	11-Jun-21
<b>Straight Line Growth Option</b>	

\* Axle-Adjusted

**APPENDIX F**

Projected Intersection Capacity Analysis Worksheets

Intersection	
Intersection Delay, s/veh	11.9
Intersection LOS	B

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	4	131	65	191	111	6	57	15	224	7	28	9
Future Vol, veh/h	4	131	65	191	111	6	57	15	224	7	28	9
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Heavy Vehicles, %	2	2	2	2	2	2	2	2	2	2	2	2
Mvmt Flow	4	142	71	208	121	7	62	16	243	8	30	10
Number of Lanes	0	1	0	0	1	0	0	1	1	0	1	0

Approach	EB	WB	NB	SB
Opposing Approach	WB	EB	SB	NB
Opposing Lanes	1	1	1	2
Conflicting Approach Left	SB	NB	EB	WB
Conflicting Lanes Left	1	2	1	1
Conflicting Approach Right	NB	SB	WB	EB
Conflicting Lanes Right	2	1	1	1
HCM Control Delay	10.8	13.7	11	9.6
HCM LOS	B	B	B	A

Lane	NBLn1	NBLn2	EBLn1	WBLn1	SBLn1
Vol Left, %	79%	0%	2%	62%	16%
Vol Thru, %	21%	0%	66%	36%	64%
Vol Right, %	0%	100%	33%	2%	20%
Sign Control	Stop	Stop	Stop	Stop	Stop
Traffic Vol by Lane	72	224	200	308	44
LT Vol	57	0	4	191	7
Through Vol	15	0	131	111	28
RT Vol	0	224	65	6	9
Lane Flow Rate	78	243	217	335	48
Geometry Grp	7	7	2	2	5
Degree of Util (X)	0.141	0.364	0.318	0.5	0.08
Departure Headway (Hd)	6.494	5.382	5.267	5.376	6.003
Convergence, Y/N	Yes	Yes	Yes	Yes	Yes
Cap	553	667	683	670	595
Service Time	4.231	3.119	3.306	3.411	4.056
HCM Lane V/C Ratio	0.141	0.364	0.318	0.5	0.081
HCM Control Delay	10.3	11.2	10.8	13.7	9.6
HCM Lane LOS	B	B	B	B	A
HCM 95th-tile Q	0.5	1.7	1.4	2.8	0.3

Intersection												
Int Delay, s/veh	10.5											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕		↕	↕		↕	↕	
Traffic Vol, veh/h	49	28	69	121	23	39	25	233	134	37	280	25
Future Vol, veh/h	49	28	69	121	23	39	25	233	134	37	280	25
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Stop	Stop	Stop	Stop	Stop	Stop	Free	Free	Free	Free	Free	Free
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	355	-	-	355	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	94	94	94	94	94	94	94	94	94	94	94	94
Heavy Vehicles, %	5	2	2	3	2	2	18	4	6	2	3	5
Mvmt Flow	52	30	73	129	24	41	27	248	143	39	298	27

Major/Minor	Minor2		Minor1			Major1			Major2			
Conflicting Flow All	796	835	312	815	777	320	325	0	0	391	0	0
Stage 1	390	390	-	374	374	-	-	-	-	-	-	-
Stage 2	406	445	-	441	403	-	-	-	-	-	-	-
Critical Hdwy	7.15	6.52	6.22	7.13	6.52	6.22	4.28	-	-	4.12	-	-
Critical Hdwy Stg 1	6.15	5.52	-	6.13	5.52	-	-	-	-	-	-	-
Critical Hdwy Stg 2	6.15	5.52	-	6.13	5.52	-	-	-	-	-	-	-
Follow-up Hdwy	3.545	4.018	3.318	3.527	4.018	3.318	2.362	-	-	2.218	-	-
Pot Cap-1 Maneuver	301	304	728	295	328	721	1150	-	-	1168	-	-
Stage 1	628	608	-	645	618	-	-	-	-	-	-	-
Stage 2	616	575	-	593	600	-	-	-	-	-	-	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	255	287	728	234	310	721	1150	-	-	1168	-	-
Mov Cap-2 Maneuver	255	287	-	234	310	-	-	-	-	-	-	-
Stage 1	614	588	-	630	604	-	-	-	-	-	-	-
Stage 2	544	562	-	489	580	-	-	-	-	-	-	-

Approach	EB		WB			NB			SB		
HCM Control Delay, s	20.9		41.3			0.5			0.9		
HCM LOS	C		E								

Minor Lane/Major Mvmt	NBL	NBT	NBR	EBLn1WBLn1	SBL	SBT	SBR
Capacity (veh/h)	1150	-	-	380	284	1168	-
HCM Lane V/C Ratio	0.023	-	-	0.409	0.685	0.034	-
HCM Control Delay (s)	8.2	-	-	20.9	41.3	8.2	-
HCM Lane LOS	A	-	-	C	E	A	-
HCM 95th %tile Q(veh)	0.1	-	-	1.9	4.6	0.1	-

HCM 6th Signalized Intersection Summary  
 3: Urick St & S Dixie Ave

Projected Traffic Volumes  
 A.M. Peak Hour

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (veh/h)	112	134	80	12	120	23	63	161	19	30	156	128
Future Volume (veh/h)	112	134	80	12	120	23	63	161	19	30	156	128
Initial Q (Qb), veh	0	0	0	0	0	0	0	0	0	0	0	0
Ped-Bike Adj(A_pbT)	1.00		1.00	1.00		1.00	1.00		1.00	1.00		1.00
Parking Bus, Adj	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Work Zone On Approach	No			No			No			No		
Adj Sat Flow, veh/h/ln	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870	1870
Adj Flow Rate, veh/h	122	146	87	13	130	25	68	175	21	33	170	139
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Percent Heavy Veh, %	2	2	2	2	2	2	2	2	2	2	2	2
Cap, veh/h	354	231	138	262	221	42	357	489	59	449	259	212
Arrive On Green	0.08	0.21	0.21	0.02	0.14	0.14	0.06	0.30	0.30	0.04	0.27	0.27
Sat Flow, veh/h	1781	1098	654	1781	1524	293	1781	1638	197	1781	952	778
Grp Volume(v), veh/h	122	0	233	13	0	155	68	0	196	33	0	309
Grp Sat Flow(s),veh/h/ln	1781	0	1753	1781	0	1818	1781	0	1835	1781	0	1730
Q Serve(g_s), s	3.1	0.0	6.7	0.3	0.0	4.4	1.5	0.0	4.6	0.7	0.0	8.7
Cycle Q Clear(g_c), s	3.1	0.0	6.7	0.3	0.0	4.4	1.5	0.0	4.6	0.7	0.0	8.7
Prop In Lane	1.00		0.37	1.00		0.16	1.00		0.11	1.00		0.45
Lane Grp Cap(c), veh/h	354	0	369	262	0	263	357	0	547	449	0	471
V/C Ratio(X)	0.34	0.00	0.63	0.05	0.00	0.59	0.19	0.00	0.36	0.07	0.00	0.66
Avail Cap(c_a), veh/h	505	0	439	530	0	455	540	0	1454	679	0	1371
HCM Platoon Ratio	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Upstream Filter(I)	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00	1.00	0.00	1.00
Uniform Delay (d), s/veh	18.0	0.0	19.8	19.6	0.0	22.0	13.6	0.0	15.2	13.5	0.0	17.8
Incr Delay (d2), s/veh	0.6	0.0	2.2	0.1	0.0	2.1	0.3	0.0	0.4	0.1	0.0	1.6
Initial Q Delay(d3),s/veh	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
%ile BackOfQ(50%),veh/ln	1.2	0.0	2.7	0.1	0.0	1.9	0.5	0.0	1.8	0.3	0.0	3.3
Unsig. Movement Delay, s/veh												
LnGrp Delay(d),s/veh	18.5	0.0	22.0	19.7	0.0	24.1	13.8	0.0	15.6	13.6	0.0	19.4
LnGrp LOS	B	A	C	B	A	C	B	A	B	B	A	B
Approach Vol, veh/h	355			168			264			342		
Approach Delay, s/veh	20.8			23.8			15.1			18.8		
Approach LOS	C			C			B			B		
Timer - Assigned Phs	1	2	3	4	5	6	7	8				
Phs Duration (G+Y+Rc), s	7.9	22.8	10.3	14.2	9.3	21.3	6.7	17.8				
Change Period (Y+Rc), s	5.9	* 6.3	5.9	* 6.2	6.1	* 6.3	* 5.8	* 6.2				
Max Green Setting (Gmax), s	9.1	* 44	9.1	* 14	8.9	* 44	* 9.2	* 14				
Max Q Clear Time (g_c+I1), s	2.7	6.6	5.1	6.4	3.5	10.7	2.3	8.7				
Green Ext Time (p_c), s	0.0	1.2	0.1	0.4	0.0	2.1	0.0	0.6				

Intersection Summary												
HCM 6th Ctrl Delay	19.3											
HCM 6th LOS	B											

Notes  
 User approved pedestrian interval to be less than phase max green.  
 \* HCM 6th computational engine requires equal clearance times for the phases crossing the barrier.





**City of Fruitland Park, Florida**  
**Community Development Department**  
 506 W. Berckman St., Fruitland Park, Florida 34731  
 Tel: (352) 360-6727 Fax: (352) 360-6652  
 www.fruitlandpark.org

<i>Sta Use Only</i>	
Case No.:	_____
Fee Paid:	_____
Receipt No.:	_____

## Development Application

Contact Information:

Owner Name: Rufus M. Holloway Jr  
 Address: 1616 Lake Shore Drive, Orlando, FL 32803  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Applicant Name: Park Square Homes - Suresh Gupta  
 Address: 5200 Vineland Road, Suite 200, Orlando, FL 32811  
 Phone: 407-529-3043 Email: darnette@parksquarehomes.com

Engineer Name: Half Associates, Inc. - Charles C. Hiott  
 Address: 902 N. Sinclair Ave., Tavares, FL 32778  
 Phone: 352-343-8481 Email: chiott@half.com

Property and Project Information:

**PROJECT NAME\*:** Park Square Homes Fruitland Park Phase 1  
 \*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: Urick Street

Parcel Number(s): 1289866, 1289874, 1289904, 1430411, 1639808, 1699959, 1772435, 3540468, 3691334, 39000702 Section: 16 / 9 Township: 19 Range 24

Area of Property: 177.7 acres (68.77 - Phase 1) Nearest Intersection: Thomas Avenue and Urick Street  
 Existing Zoning: MUPUD Existing Future Land Use Designation: Mixed Use  
 Proposed Zoning: MUPUD Proposed Future Land Use Designation: Mixed Use

The property is presently used for: Agriculture  
 The property is proposed to be used for: 163 lot subdivision  
 Do you currently have City Utilities? yes

Application Type:

- |  |  |   |  |
|--|--|---|--|
| <input type="checkbox"/> Annexation      | <input type="checkbox"/> Comp Plan Amendment         | <input type="checkbox"/> Rezoning               | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance        | <input type="checkbox"/> Special Exception Use       | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat          |
| <input type="checkbox"/> Minor Lot Split | <input checked="" type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Construction Plan      | <input type="checkbox"/> ROW/Plat Vacate     |
| <input type="checkbox"/> Site Plan       | <input type="checkbox"/> Minor Site Plan             | <input type="checkbox"/> Replat of Subdivision  |  |

Please describe your request in detail: Construct 163 single family lot subdivision

**Required Data, Documents, Forms & Fees**

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Printed Name: Suresh Gupta

Signature: 

Date: 9/1/2021

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

# Development Application Checklist

## The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd)     Current Deed     Aerial Photo  
 Property Appraiser Information     Electronic Copy of Application     Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through [www.lakecountyfl.gov/maps/](http://www.lakecountyfl.gov/maps/). Note: All maps are required to depict adjacent properties at a minimum.

**Failure to provide adequate maps may delay the application process.**

## Other Required Analyses and Maps:

### Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment     Environmental Constraints Map     Requested FLU Map

### Large Scale Comprehensive Plan Amendment Applications:

Maps:     Environmental Constraints     Soils     Requested FLUM Designation     Requested Zoning Map Designation

Analyses:     Environmental Assessment     Utility Availability Analysis     Urban Sprawl Analysis     School Impact Analysis  
 Traffic Impact Analysis     Consistency with the Comp Plan     Florida Master Site File sign-off or Archaeological Survey

Rezoning Applications:     Requested Zoning Map     Justification for Rezoning

### Planned Development Applications:

Maps/Plans:     Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G     Environmental Constraints

Analyses:     Environmental Assessment     Traffic Impact Analysis     Preliminary Concurrency Analysis

Variance Applications:     Justification for Variance

### Special Exception Use Applications:

- Justification for Special Exception Use  
 Site Sketch     List of Special Requirements as Described in LDRs, Chapter 155

### Conditional Use Permit Applications:

- Proposed List of Conditions and Safeguards  
 Site Plan as Described in LDRs, Chapter 155     Written Statement as Described in LDRs, Chapter 155

### Subdivision Applications:

(Preliminary Plan, Improvement Plan and Final Plat)

- As Described in LDRs, Chapter 157

### Minor Subdivision Applications:

- As Described in LDRs, Chapter 157

### Site Plan Applications:

- As Described in LDRs, Chapter 160

APPLICANT AFFIDAVIT

STATE OF FLORIDA

COUNTY OF LAKE

Before me the undersigned authority, personally appeared Suresh Gupta

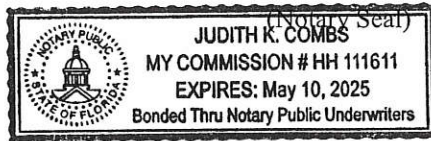
\_\_\_\_\_, who being by me first duly sworn on oath deposes and says:

- 1) That he/she affirms and certifies that he/she understandings and will comply with all ordinances, regulations, and provisions of the City of Fruitland Park, Florida, and that all statements and diagrams submitted herewith are true and accurate to the best of his/her knowledge and belief, and further that this application and attachments shall become part of the Official Records of the City of Fruitland Park, Florida, and are not returnable.
- 2) That the submittal requirements for the application have been completed and attached hereto as part of that application.
- 3) That he/she desires \_\_\_\_\_ to allow \_\_\_\_\_

[Signature]  
Affiant (Applicant's Signature)

State of Florida  
County of Orange

The Foregoing instrument was acknowledged before me this 31 day of August, 2021,  
by Suresh Gupta who is personally known to me or has produced  
\_\_\_\_\_ as identification and who did or did not take an oath



Notary Public - State of Florida  
Commission No HH 111611  
My Commission Expires 5/10/2025

[Signature]  
Signature  
Judith Combs  
Printed Name

OWNER'S AFFIDAVIT

STATE OF FLORIDA

COUNTY OF LAKE

Before me the undersigned authority, personally appeared Rufus M. Holloway Jr

\_\_\_\_\_, who being by me first duly sworn on oath deposes and says:

- 1) That he/she is the fee-simple owner of the property legally described on attached page of this application.
- 2) That he/she desires \_\_\_\_\_ to allow Suresh Gupta  
to act as Agent and/or Applicant in their behalf

- 3) That he/she has appointed \_\_\_\_\_ to act as agent on his/her behalf to accomplish the above. The owner is required to complete the Applicant's Affidavit of this application if no agent is appointed to act on his/her behalf.

Rufus M. Holloway Jr  
Affiant (Owner's Signature)

State of Florida

County of lake

The Foregoing instrument was acknowledged before me this 1 day of September 20 21,  
by Rufus M. Holloway Jr who is personally known to me or has produced  
\_\_\_\_\_ as identification and who did or did not take an oath  
(Notary Seal)

Notary Public - State of Florida  
Commission No HH108368  
My Commission Expires June 20, 2025

Amy M. Spivey  
Signature  
Amy M. Spivey  
Printed Name



# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	HOLLOWAY RUFUS M JR TRUSTEE	<b>Alternate Key:</b>	1289866
<b>Mailing Address:</b>	1616 LAKESHORE DR ORLANDO, FL 32803 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b> ⓘ	16-19-24-0001- 000-00200
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services</a> <a href="#">Map</a> ⓘ
<b>Property Location:</b>	WILDER ST LEESBURG FL 34748 <a href="#">Update Property Location</a> ⓘ	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a> ⓘ
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> ⓘ <a href="#">School Boundary Maps</a> ⓘ
<b>Property Description:</b>	N 726 FT OF W 1/2 OF NE 1/4 OF NE 1/4 ORB 2463 PG 50		
<p><small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small></p>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	NATIVE PASTURE 1 (6500)	0	0	CATTLE	10	AC	\$1,500.00	\$130,000.00

[Click here for Zoning Info](#) ⓘ

[FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">2463 / 50</a>	12/1/2003	Warranty Deed	Qualified	Vacant	\$100,000.00
<a href="#">1462 / 1318</a>	9/1/1996	Warranty Deed	Unqualified	Vacant	\$0.00
<a href="#">1465 / 2485</a>	9/1/1996	Warranty Deed	Unqualified	Vacant	\$0.00
<a href="#">1053 / 951</a>	4/1/1990	Warranty Deed	Qualified	Vacant	\$27,500.00
<a href="#">741 / 2072</a>	1/1/1982	Personal Rep Deed	Unqualified	Vacant	\$1.00
<a href="#">807 / 2457</a>	1/1/1982	Personal Rep Deed	Unqualified	Vacant	\$1.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

## Values and Estimated Ad Valorem Taxes ⓘ

**Values shown below are 2021 WORKING VALUES that are subject to change until certified.**

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market	Assessed	Taxable	Millage	Estimated
---------------	--------	----------	---------	---------	-----------

	Value	Value	Value		Taxes
LAKE COUNTY BCC GENERAL FUND	\$130,000	\$1,500	\$1,500	5.03270	\$7.55
LAKE COUNTY MSTU AMBULANCE	\$130,000	\$1,500	\$1,500	0.46290	\$0.69
SCHOOL BOARD STATE	\$130,000	\$1,500	\$1,500	3.70100	\$5.55
SCHOOL BOARD LOCAL	\$130,000	\$1,500	\$1,500	2.99800	\$4.50
CITY OF FRUITLAND PARK	\$130,000	\$1,500	\$1,500	3.91340	\$5.87
ST JOHNS RIVER FL WATER MGMT DIST	\$130,000	\$1,500	\$1,500	0.22870	\$0.34
LAKE COUNTY VOTED DEBT SERVICE	\$130,000	\$1,500	\$1,500	0.11000	\$0.17
LAKE COUNTY WATER AUTHORITY	\$130,000	\$1,500	\$1,500	0.33680	\$0.51
NORTH LAKE HOSPITAL DIST	\$130,000	\$1,500	\$1,500	0.89500	\$1.34
				<b>Total:</b> 17.6785	<b>Total:</b> \$26.52

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000) ⓘ	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

**This property is benefitting from the following assessment reductions with a checkmark ✓**

---

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Assessment Reduction Savings ⓘ

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$2,271.69**

---

**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on January 18, 2021.

[Site Notice](#)

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	HOLLOWAY RUFUS M JR TRUSTEE	<b>Alternate Key:</b>	1289874
<b>Mailing Address:</b>	1616 LAKESHORE DR ORLANDO, FL 32803 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b> ⓘ	16-19-24-0002- 000-00600
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services</a> <a href="#">Map</a> ⓘ
<b>Property Location:</b>	COUNTY ROAD 468 LEESBURG FL 34748 <a href="#">Update Property Location</a> ⓘ	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a> ⓘ
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> ⓘ <a href="#">School Boundary Maps</a> ⓘ
<b>Property Description:</b>	E 756 FT OF N 1/4 OF NE 1/4 OF NW 1/4 ORB 4998 PG 1829 ORB 4999 PG 1968		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	TIMBER S I 70 (5400)	0	0	TIMBER	5.73	AC		\$2,006.00	\$74,490.00

[Click here for Zoning Info](#) ⓘ [FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">4999 / 1968</a>	9/7/2017	Warranty Deed	Unqualified	Vacant	\$100.00
<a href="#">4998 / 1829</a>	9/6/2017	Warranty Deed	Unqualified	Vacant	\$100.00
<a href="#">2710 / 656</a>	10/1/2004	Warranty Deed	Qualified	Vacant	\$50,000.00
<a href="#">2252 / 1986</a>	1/29/2003	Warranty Deed	Qualified	Improved	\$200,000.00
<a href="#">1017 / 1895</a>	6/1/1989	Warranty Deed	Qualified	Improved	\$125,000.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

## Values and Estimated Ad Valorem Taxes ⓘ

**Values shown below are 2021 WORKING VALUES that are subject to change until certified.**  
The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$74,490	\$2,006	\$2,006	5.03270	\$10.10



LAKE COUNTY MSTU AMBULANCE	\$74,490	\$2,006	\$2,006	0.46290	\$0.93
SCHOOL BOARD STATE	\$74,490	\$2,006	\$2,006	3.70100	\$7.42
SCHOOL BOARD LOCAL	\$74,490	\$2,006	\$2,006	2.99800	\$6.01
CITY OF FRUITLAND PARK	\$74,490	\$2,006	\$2,006	3.91340	\$7.85
ST JOHNS RIVER FL WATER MGMT DIST	\$74,490	\$2,006	\$2,006	0.22870	\$0.46
LAKE COUNTY VOTED DEBT SERVICE	\$74,490	\$2,006	\$2,006	0.11000	\$0.22
LAKE COUNTY WATER AUTHORITY	\$74,490	\$2,006	\$2,006	0.33680	\$0.68
NORTH LAKE HOSPITAL DIST	\$74,490	\$2,006	\$2,006	0.89500	\$1.80
				<b>Total:</b> 17.6785	<b>Total:</b> \$35.47

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000) ⓘ	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
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Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
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Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Assessment Reduction Savings

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$1,281.41**

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**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on January 18, 2021.

**Site Notice**

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	LEESBURG FRUIT CO INC	<b>Alternate Key:</b>	1289904
<b>Mailing Address:</b>	161 LAKE SHORE DR ORLANDO, FL 32803 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b> ⓘ	16-19-24-0002-000-01300
		<b>Millage Group and City:</b>	0001 (UNINCORPORATED)
		<b>2020 Total Certified Millage Rate:</b>	14.7312
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a> ⓘ
<b>Property Location:</b>	COUNTY ROAD 488 LEESBURG FL 34788 <a href="#">Update Property Location</a> ⓘ	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a> ⓘ
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> ⓘ <a href="#">School Boundary Maps</a> ⓘ
<b>Property Description:</b>	S 50 FT OF NE 1/4 OF NW 1/4 ORB 5036 PG 393		
<p><small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small></p>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	PASTURE IMPROVED HAY AVERAGE (6300)	0	0	CATTLE	1.48	AC	\$518.00	\$19,240.00

[Click here for Zoning Info](#) ⓘ [FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">5036 / 393</a>	11/13/2017	Quit Claim Deed	Unqualified	Vacant	\$100.00
<a href="#">1006 / 1006</a>	3/6/1989	Warranty Deed	Unqualified	Vacant	\$0.00
<a href="#">985 / 1842</a>	10/1/1988	Warranty Deed	Multi-Parcel	Vacant	\$1.00
<a href="#">555 / 987</a>	1/1/1974	Misc Deed/Document	Qualified	Vacant	\$103,200.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

## Values and Estimated Ad Valorem Taxes ⓘ

**Values shown below are 2021 WORKING VALUES that are subject to change until certified.**  
The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL	\$19,240	\$518	\$518	5.03270	\$2.61

## FUND

LAKE COUNTY MSTU AMBULANCE	\$19,240	\$518	\$518	0.46290	\$0.24
LAKE COUNTY MSTU FIRE	\$19,240	\$518	\$518	0.47040	\$0.24
SCHOOL BOARD STATE	\$19,240	\$518	\$518	3.70100	\$1.92
SCHOOL BOARD LOCAL	\$19,240	\$518	\$518	2.99800	\$1.55
LAKE COUNTY MSTU STORMWATER	\$19,240	\$518	\$518	0.49570	\$0.26
ST JOHNS RIVER FL WATER MGMT DIST	\$19,240	\$518	\$518	0.22870	\$0.12
LAKE COUNTY VOTED DEBT SERVICE	\$19,240	\$518	\$518	0.11000	\$0.06
LAKE COUNTY WATER AUTHORITY	\$19,240	\$518	\$518	0.33680	\$0.17
NORTH LAKE HOSPITAL DIST	\$19,240	\$518	\$518	0.89500	\$0.46
				<b>Total:</b> 14.7312	<b>Total:</b> \$7.63

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000) 	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

**This property is benefitting from the following assessment reductions with a checkmark ✓**

---

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Assessment Reduction Savings ⓘ

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$275.80**

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Property data last updated on January 18, 2021.

[Site Notice](#)

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	LEESBURG FRUIT COMPANY INC	<b>Alternate Key:</b>	1430411
<b>Mailing Address:</b>	1616 LAKE SHORE DR ORLANDO, FL 32803-1307 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b> ⓘ	09-19-24-0400-046-00000
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a> ⓘ
<b>Property Location:</b>	URICK ST FRUITLAND PARK FL 34731 <a href="#">Update Property Location</a> ⓘ	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a> ⓘ
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> ⓘ <a href="#">School Boundary Maps</a> ⓘ
<b>Property Description:</b>	FRUITLAND PARK BEG SW COR BLK 46, E 400 FT, N 582.55 FT, E 36 FT, N 396.36 FT TO N LINE BLK 46, W TO NW COR BLK 46, S TO POB PB 3 PG 8-9 ORB 737 PGS 1771		
<p><small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small></p>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	TIMBER S I 70 (5400)	0	0		9.3	AC		\$3,255.00	\$120,900.00

[Click here for Zoning Info](#) ⓘ [FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">737 / 1771</a>	11/1/1981	Warranty Deed	Unqualified	Vacant	\$1.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

## Values and Estimated Ad Valorem Taxes ⓘ

**Values shown below are 2021 WORKING VALUES that are subject to change until certified.**  
The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$120,900	\$3,255	\$3,255	5.03270	\$16.38
LAKE COUNTY MSTU AMBULANCE	\$120,900	\$3,255	\$3,255	0.46290	\$1.51

SCHOOL BOARD STATE	\$120,900	\$3,255	\$3,255	3.70100	\$12.05
SCHOOL BOARD LOCAL	\$120,900	\$3,255	\$3,255	2.99800	\$9.76
CITY OF FRUITLAND PARK	\$120,900	\$3,255	\$3,255	3.91340	\$12.74
ST JOHNS RIVER FL WATER MGMT DIST	\$120,900	\$3,255	\$3,255	0.22870	\$0.74
LAKE COUNTY VOTED DEBT SERVICE	\$120,900	\$3,255	\$3,255	0.11000	\$0.36
LAKE COUNTY WATER AUTHORITY	\$120,900	\$3,255	\$3,255	0.33680	\$1.10
NORTH LAKE HOSPITAL DIST	\$120,900	\$3,255	\$3,255	0.89500	\$2.91
				<b>Total:</b> 17.6785	<b>Total:</b> \$57.55

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000) ⓘ	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>

Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Assessment Reduction Savings ⓘ

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$2,079.79**

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Property data last updated on January 18, 2021.  
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# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	RUFUS M HOLLOWAY JR FAMILY TRUST	<b>Alternate Key:</b>	1639808
<b>Mailing Address:</b>	1616 LAKE SHORE DR ORLANDO, FL 32803 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b> ⓘ	09-19-24- 0400-046- 00002
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a> ⓘ
<b>Property Location:</b>	WILDER ST FRUITLAND PARK FL 34731 <a href="#">Update Property Location</a> ⓘ	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a> ⓘ
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> ⓘ <a href="#">School Boundary Maps</a> ⓘ
<b>Property Description:</b>	FRUITLAND PARK FROM SW COR OF BLK 46 RUN S 89DEG 43MIN 16SEC E 400 FT, N 00DEG 26MIN 56SEC E 582.55 FT, E 36 FT, N 396.36 FT TO N LINE OF BLK 46, E ALONG SAID N LINE OF BLK 46 A DIST OF 400 FT FOR POB, RUN S 00DEG 26MIN 10SEC W 489 FT, S 89DEG 30MIN 00SEC E 448.9 FT TO E LINE OF BLK 46, N 00DEG 26MIN 10SEC E ALONG SAID E LINE OF BLK 46 TO N LINE OF BLK 46, W TO POB PB 3 PG 8-9 ORB 4647 PG 957 ORB 5598 PG 2322		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	TIMBER S I 70 (5400)	0	0	STEWARDS	5.04	AC		\$1,764.00	\$65,520.00

[Click here for Zoning Info](#) ⓘ
 [FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">5598 / 2322</a>	12/9/2020	Quit Claim Deed	Multi-Parcel	Vacant	\$100.00
<a href="#">4647 / 957</a>	6/25/2015	Warranty Deed	Multi-Parcel	Vacant	\$142,000.00
<a href="#">2045 / 712</a>	12/18/2001	Warranty Deed	Multi-Parcel	Vacant	\$1.00
<a href="#">1102 / 2465</a>	3/1/1991	Warranty Deed	Multi-Parcel	Vacant	\$1.00
<a href="#">1102 / 2467</a>	3/1/1991	Warranty Deed	Multi-Parcel	Vacant	\$1.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

## Values and Estimated Ad Valorem Taxes ⓘ

Values shown below are 2021 WORKING VALUES that are subject to change until certified.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$65,520	\$1,764	\$1,764	5.03270	\$8.88
LAKE COUNTY MSTU AMBULANCE	\$65,520	\$1,764	\$1,764	0.46290	\$0.82
SCHOOL BOARD STATE	\$65,520	\$1,764	\$1,764	3.70100	\$6.53
SCHOOL BOARD LOCAL	\$65,520	\$1,764	\$1,764	2.99800	\$5.29
CITY OF FRUITLAND PARK	\$65,520	\$1,764	\$1,764	3.91340	\$6.90
ST JOHNS RIVER FL WATER MGMT DIST	\$65,520	\$1,764	\$1,764	0.22870	\$0.40
LAKE COUNTY VOTED DEBT SERVICE	\$65,520	\$1,764	\$1,764	0.11000	\$0.19
LAKE COUNTY WATER AUTHORITY	\$65,520	\$1,764	\$1,764	0.33680	\$0.59
NORTH LAKE HOSPITAL DIST	\$65,520	\$1,764	\$1,764	0.89500	\$1.58
				<b>Total:</b> 17.6785	<b>Total:</b> \$31.18

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000) ⓘ	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

---

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Assessment Reduction Savings ⓘ

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$1,127.11**

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Property data last updated on January 18, 2021.

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# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	LEESBURG FRUIT COMPANY INC	<b>Alternate Key:</b>	1699959
<b>Mailing Address:</b> <a href="#">Update Mailing Address</a>	1616 LAKE SHORE DR ORLANDO, FL 32803-1307	<b>Parcel Number:</b> ⓘ	16-19-24-0001-000-00400
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a> ⓘ
<b>Property Location:</b> <a href="#">Update Property Location</a> ⓘ	LANDING DR LEESBURG FL 34748	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a> ⓘ
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> ⓘ <a href="#">School Boundary Maps</a> ⓘ
<b>Property Description:</b>	N 1/2 OF SE 1/4 OF NE 1/4 ORB 704 PGS 554 556		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	PASTURE IMPROVED HAY AVERAGE (6300)	0	0	CATTLE	20	AC	\$7,000.00	\$130,000.00
2	NATIVE PASTURE 1 (6500)	0	0	CATTLE	3.36	AC	\$504.00	\$21,840.00

[Click here for Zoning Info](#) ⓘ      [FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

There is no sales history information to display.

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

## Values and Estimated Ad Valorem Taxes ⓘ

**Values shown below are 2021 WORKING VALUES that are subject to change until certified.**  
The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$151,840	\$7,504	\$7,504	5.03270	\$37.77
LAKE COUNTY MSTU AMBULANCE	\$151,840	\$7,504	\$7,504	0.46290	\$3.47

SCHOOL BOARD STATE	\$151,840	\$7,504	\$7,504	3.70100	\$27.77
SCHOOL BOARD LOCAL	\$151,840	\$7,504	\$7,504	2.99800	\$22.50
CITY OF FRUITLAND PARK	\$151,840	\$7,504	\$7,504	3.91340	\$29.37
ST JOHNS RIVER FL WATER MGMT DIST	\$151,840	\$7,504	\$7,504	0.22870	\$1.72
LAKE COUNTY VOTED DEBT SERVICE	\$151,840	\$7,504	\$7,504	0.11000	\$0.83
LAKE COUNTY WATER AUTHORITY	\$151,840	\$7,504	\$7,504	0.33680	\$2.53
NORTH LAKE HOSPITAL DIST	\$151,840	\$7,504	\$7,504	0.89500	\$6.72
				<b>Total:</b> 17.6785	<b>Total:</b> \$132.68

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000) ⓘ	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>

Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Assessment Reduction Savings

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$2,551.64**

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**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on January 18, 2021.  
**Site Notice**

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	HOLLOWAY PROPERTIES INC	<b>Alternate Key:</b>	1772435
<b>Mailing Address:</b>	1616 LAKESHORE DR ORLANDO, FL 32803 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b> ⓘ	16-19-24-0001-000-00401
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a> ⓘ
<b>Property Location:</b>	SILVER POINTE CIR LEESBURG FL 34748 <a href="#">Update Property Location</a> ⓘ	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a> ⓘ
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> ⓘ <a href="#">School Boundary Maps</a> ⓘ
<b>Property Description:</b>	S 594 FT OF W 1/2 OF NE 1/4 OF NE 1/4 ORB 701 PG 775		
<p><small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small></p>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	NATIVE PASTURE 1 (6500)	0	0	CATTLE	10	AC	\$1,500.00	\$130,000.00

[Click here for Zoning Info](#) ⓘ

[FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

There is no sales history information to display.

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

## Values and Estimated Ad Valorem Taxes ⓘ

**Values shown below are 2021 WORKING VALUES that are subject to change until certified.**

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$130,000	\$1,500	\$1,500	5.03270	\$7.55
LAKE COUNTY MSTU AMBULANCE	\$130,000	\$1,500	\$1,500	0.46290	\$0.69
SCHOOL BOARD STATE	\$130,000	\$1,500	\$1,500	3.70100	\$5.55

SCHOOL BOARD LOCAL	\$130,000	\$1,500	\$1,500	2.99800	\$4.50
CITY OF FRUITLAND PARK	\$130,000	\$1,500	\$1,500	3.91340	\$5.87
ST JOHNS RIVER FL WATER MGMT DIST	\$130,000	\$1,500	\$1,500	0.22870	\$0.34
LAKE COUNTY VOTED DEBT SERVICE	\$130,000	\$1,500	\$1,500	0.11000	\$0.17
LAKE COUNTY WATER AUTHORITY	\$130,000	\$1,500	\$1,500	0.33680	\$0.51
NORTH LAKE HOSPITAL DIST	\$130,000	\$1,500	\$1,500	0.89500	\$1.34
				<b>Total:</b> 17.6785	<b>Total:</b> \$26.52

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>



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Conservation Classification Assessment Limitation

[Learn More](#) [View the Law](#)

✓ Agricultural Classification

[Learn More](#) [View the Law](#)

## Assessment Reduction Savings ⓘ

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$2,271.69**

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**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on January 18, 2021.  
[Site Notice](#)

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	RUFUS M HOLLOWAY JR FAMILY TRUST	<b>Alternate Key:</b>	3540468
<b>Mailing Address:</b>	1616 LAKE SHORE DR ORLANDO, FL 32803 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b> ⓘ	09-19-24- 0400-046- 00100
		<b>Millage Group and City:</b>	00F2 (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a> ⓘ
<b>Property Location:</b>	WILDER ST FRUITLAND PARK FL 34731 <a href="#">Update Property Location</a> ⓘ	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a> ⓘ
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> ⓘ <a href="#">School Boundary Maps</a> ⓘ
<b>Property Description:</b>	FRUITLAND PARK FROM SW COR OF BLK 46 RUN S 89DEG 43MIN 16SEC E 400 FT FOR POB, RUN N 00DEG 26MIN 56SEC E 342.53 FT, N 89DEG 33MIN 50SEC E 436 FT, N 00DEG 26MIN 10SEC E 140 FT, S 89DEG 30MIN 00SEC E 448.9 FT TO E LINE OF BLK 46, S 00DEG 26MIN 10SEC W 485.8 FT TO S LINE OF BLK 46, N 89DEG 46MIN 00SEC W 884.95 FT TO POB PB 3 PG 8-9 ORB 4647 PG 957 ORB 5598 PG 2322		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class	Value	Land Value
1	TIMBER S I 70 (5400)	0	0	STEWARDS	7.98	AC		\$2,793.00	\$103,740.00

[Click here for Zoning Info](#) ⓘ
 [FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">5598 / 2322</a>	12/9/2020	Quit Claim Deed	Multi-Parcel	Vacant	\$100.00
<a href="#">4647 / 957</a>	6/25/2015	Warranty Deed	Multi-Parcel	Vacant	\$142,000.00
<a href="#">2045 / 712</a>	12/18/2001	Warranty Deed	Multi-Parcel	Vacant	\$124,800.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

## Values and Estimated Ad Valorem Taxes ⓘ

Values shown below are 2021 WORKING VALUES that are subject to change until certified.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$103,740	\$2,793	\$2,793	5.03270	\$14.06
LAKE COUNTY MSTU AMBULANCE	\$103,740	\$2,793	\$2,793	0.46290	\$1.29
SCHOOL BOARD STATE	\$103,740	\$2,793	\$2,793	3.70100	\$10.34
SCHOOL BOARD LOCAL	\$103,740	\$2,793	\$2,793	2.99800	\$8.37
CITY OF FRUITLAND PARK	\$103,740	\$2,793	\$2,793	3.91340	\$10.93
ST JOHNS RIVER FL WATER MGMT DIST	\$103,740	\$2,793	\$2,793	0.22870	\$0.64
LAKE COUNTY VOTED DEBT SERVICE	\$103,740	\$2,793	\$2,793	0.11000	\$0.31
LAKE COUNTY WATER AUTHORITY	\$103,740	\$2,793	\$2,793	0.33680	\$0.94
NORTH LAKE HOSPITAL DIST	\$103,740	\$2,793	\$2,793	0.89500	\$2.50
				<b>Total:</b> 17.6785	<b>Total:</b> \$49.38

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000) ⓘ	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

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This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Assessment Reduction Savings ⓘ

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$1,784.59**

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Property data last updated on January 18, 2021.

**Site Notice**

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	HOLLOWAY RUFUS M JR TRUSTEE	<b>Alternate Key:</b>	3691334
<b>Mailing Address:</b>	1616 LAKESHORE DR ORLANDO, FL 32803 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b> ⓘ	16-19-24-0002- 000-05400
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services</a> <a href="#">Map</a> ⓘ
<b>Property Location:</b>	COUNTY ROAD 468 LEESBURG FL 34748 <a href="#">Update Property Location</a> ⓘ	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a> ⓘ
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> ⓘ <a href="#">School Boundary Maps</a> ⓘ
<b>Property Description:</b>	S 3/4 OF NE 1/4 OF NW 1/4--LESS S 50 FT & LESS RD R/W-- ORB 4998 PG 1831 ORB 4999 PG 1998		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	PASTURE IMPROVED HAY AVERAGE (6300)	0	0	CATTLE	17.47	AC	\$6,115.00	\$113,555.00
2	NATIVE PASTURE 1 (6500)	0	0	CATTLE	10.3	AC	\$1,545.00	\$66,950.00

[Click here for Zoning Info](#) ⓘ [FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">4999 / 1998</a>	9/7/2017	Warranty Deed	Unqualified	Vacant	\$0.00
<a href="#">4998 / 1831</a>	9/6/2017	Warranty Deed	Unqualified	Vacant	\$100.00
<a href="#">1420 / 364</a>	3/1/1996	Trustees Deed	Unqualified	Vacant	\$234,800.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

## Values and Estimated Ad Valorem Taxes ⓘ

**Values shown below are 2021 WORKING VALUES that are subject to change until certified.**  
The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL	\$180,505	\$7,660	\$7,660	5.03270	\$38.55

FUND					
LAKE COUNTY MSTU AMBULANCE	\$180,505	\$7,660	\$7,660	0.46290	\$3.55
SCHOOL BOARD STATE	\$180,505	\$7,660	\$7,660	3.70100	\$28.35
SCHOOL BOARD LOCAL	\$180,505	\$7,660	\$7,660	2.99800	\$22.96
CITY OF FRUITLAND PARK	\$180,505	\$7,660	\$7,660	3.91340	\$29.98
ST JOHNS RIVER FL WATER MGMT DIST	\$180,505	\$7,660	\$7,660	0.22870	\$1.75
LAKE COUNTY VOTED DEBT SERVICE	\$180,505	\$7,660	\$7,660	0.11000	\$0.84
LAKE COUNTY WATER AUTHORITY	\$180,505	\$7,660	\$7,660	0.33680	\$2.58
NORTH LAKE HOSPITAL DIST	\$180,505	\$7,660	\$7,660	0.89500	\$6.86
				<b>Total:</b>	<b>Total:</b>
				17.6785	\$135.42

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000) ⓘ	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Widow / Widower Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Disability Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Tangible Personal Property Exemption (up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Assessment Reduction Savings

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$3,055.64**

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**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

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Property data last updated on January 18, 2021.

**Site Notice**

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	LEESBURG FRUIT COMPANY INC	<b>Alternate Key:</b>	3900702
<b>Mailing Address:</b> <a href="#">Update Mailing Address</a>	1616 LAKE SHORE DR ORLANDO, FL 32803-1307	<b>Parcel Number:</b> ⓘ	16-19-24-0001-000-06500
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2020 Total Certified Millage Rate:</b>	17.6785
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a> ⓘ
<b>Property Location:</b> <a href="#">Update Property Location</a> ⓘ	GRIFFIN RD LEESBURG FL 34748	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a> ⓘ
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> ⓘ <a href="#">School Boundary Maps</a> ⓘ
<b>Property Description:</b>	W 1/2 OF NE 1/4 ORB 704 PGS 554 556		
<p><small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small></p>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	PASTURE IMPROVED HAY AVERAGE (6300)	0	0		38.7	AC	\$13,545.00	\$251,550.00
2	NATIVE PASTURE 1 (6500)	0	0		11.3	AC	\$1,695.00	\$73,450.00
3	TIMBER S I 70 (5400)	0	0		30	AC	\$10,500.00	\$195,000.00

[Click here for Zoning Info](#) ⓘ
 [FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

There is no sales history information to display.

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

## Values and Estimated Ad Valorem Taxes ⓘ

**Values shown below are 2021 WORKING VALUES that are subject to change until certified.**

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$520,000	\$25,740	\$25,740	5.03270	\$129.54
LAKE COUNTY MSTU	\$520,000	\$25,740	\$25,740	0.46290	\$11.92



## AMBULANCE

SCHOOL BOARD STATE	\$520,000	\$25,740	\$25,740	3.70100	\$95.26
SCHOOL BOARD LOCAL	\$520,000	\$25,740	\$25,740	2.99800	\$77.17
CITY OF FRUITLAND PARK	\$520,000	\$25,740	\$25,740	3.91340	\$100.73
ST JOHNS RIVER FL WATER MGMT DIST	\$520,000	\$25,740	\$25,740	0.22870	\$5.89
LAKE COUNTY VOTED DEBT SERVICE	\$520,000	\$25,740	\$25,740	0.11000	\$2.83
LAKE COUNTY WATER AUTHORITY	\$520,000	\$25,740	\$25,740	0.33680	\$8.67
NORTH LAKE HOSPITAL DIST	\$520,000	\$25,740	\$25,740	0.89500	\$23.04
				<b>Total:</b>	<b>Total:</b>
				17.6785	\$455.05

## Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Additional Homestead Exemption (up to an additional \$25,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior Exemption (applied to city millage - up to \$25,000) ⓘ	<a href="#">Learn More</a> <a href="#">View the Law</a>
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
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Blind Exemption (up to \$500)	<a href="#">Learn More</a> <a href="#">View the Law</a>
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Veteran's Disability Exemption (\$5000)	<a href="#">Learn More</a> <a href="#">View the Law</a>
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Veteran's Combat Related Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Deployed Servicemember Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
First Responder Total and Permanent Disability Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Surviving Spouse of First Responder Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
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Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Economic Development Exemption	<a href="#">Learn More</a> <a href="#">View the Law</a>
Government Exemption (amount varies)	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Exemption Savings ⓘ

The exemptions marked with a ✓ above are providing a tax dollar savings of: **\$0.00**

## Assessment Reduction Information (3% cap, 10% cap, Agricultural, Portability, etc.)

This property is benefitting from the following assessment reductions with a checkmark ✓

Save Our Homes Assessment Limitation (3% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
--	---

Save Our Homes Assessment Transfer (Portability)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Non-Homestead Assessment Limitation (10% assessed value cap)	<a href="#">Learn More</a> <a href="#">View the Law</a>
Conservation Classification Assessment Limitation	<a href="#">Learn More</a> <a href="#">View the Law</a>
✓ Agricultural Classification	<a href="#">Learn More</a> <a href="#">View the Law</a>

## Assessment Reduction Savings ⓘ

The assessment reductions marked with a ✓ above are providing a tax dollar savings of: **\$8,737.78**

---

**NOTE:** Information on this Property Record Card is compiled and used by the Lake County Property Appraiser for the sole purpose of ad valorem property tax assessment administration in accordance with the Florida Constitution, Statutes, and Administrative Code. The Lake County Property Appraiser makes no representations or warranties regarding the completeness and accuracy of the data herein, its use or interpretation, the fee or beneficial/equitable title ownership or encumbrances of the property, and assumes no liability associated with its use or misuse. See the posted [Site Notice](#).

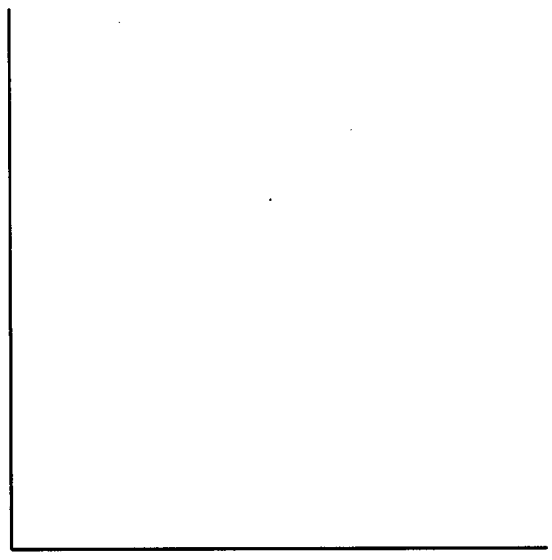
Copyright © 2014 Lake County Property Appraiser. All rights reserved.  
Property data last updated on January 18, 2021.

[Site Notice](#)

THIS INSTRUMENT PREPARED BY & RETURN TO:  
Fred A. Morrison  
McLin Burnsed P.A.  
P.O. Box 491357  
Leesburg, Florida 34749 - 1357



**Quitclaim Deed**



RESERVED FOR RECORDING

**THIS QUIT CLAIM DEED**, executed this 13<sup>th</sup> day of November, 2017, by **THE CITY OF LEESBURG, FLORIDA**, whose address is P.O. Box 490630, Leesburg, Florida 34749, first party, to **LEESBURG FRUIT COMPANY, INC.**, whose address is 161 Lake Shore Drive, Orlando, Florida 32803, second party:

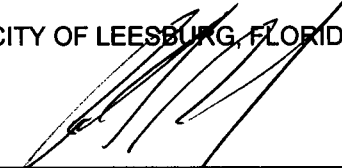
(Wherever used herein, the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so requires.)

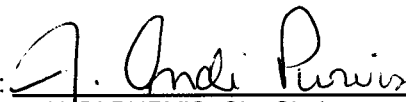
**WITNESSETH**, That the said first party, for and in consideration of the sum of TEN AND NO/100-  
---(\$10.00)---Dollars, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Lake, State of Florida, to-wit:

The South 50 feet of the South 3/4 of the Northeast 1/4 of the Northwest 1/4 of Section 16, Township 19 South, Range 24 East, Lake County, Florida, LESS right of way for Montclair Road, also known as County Road 468.

**TO HAVE AND TO HOLD** the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien equity and claim whatsoever of the said first party, either in law or in equity, to the only proper use, benefit and behoof of the said second party forever.

**IN WITNESS WHEREOF**, the said first party has signed and sealed these presents the day and year first above written.

THE CITY OF LEESBURG, FLORIDA  
BY:   
ROBERT E. BONE, JR., Mayor

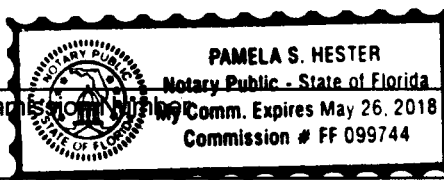
ATTEST:   
ANDI PURVIS, City Clerk

STATE OF FLORIDA  
COUNTY OF LAKE

BEFORE ME, the undersigned Notary Public, personally appeared Robert E. Bone, Jr. as Mayor, and Andi Purvis, as City Clerk, respectively, of the City of Leesburg, Florida, who acknowledged before me on the 14 day of November, 2017, that they executed the foregoing instrument, and who were either {CHECK ONE}  personally known to me, or who  produced \_\_\_\_\_ as identification.

Pamela S. Hester  
NOTARY PUBLIC SIGNATURE

\_\_\_\_\_  
Type or print name of Notary



\_\_\_\_\_  
Commission Expiration Date



**THIS INSTRUMENT PREPARED BY:**

Richard P. Newman/dr  
McLin & Burns P.A.  
Post Office Box 491357  
Leesburg, Florida 34749-1357

**QUIT CLAIM DEED**

**THIS QUIT CLAIM DEED**, executed this 9<sup>th</sup> day of December, 2020, by Rufus M. Holloway, Jr., whose address is 1616 Lakeshore Drive, Orlando, FL 32803, first party, to Rufus M. Holloway, Jr., as Trustee of the Rufus M. Holloway, Jr. Family Trust dated December 15, 1995, as amended and restated September 24, 2014, as amended from time to time, whose address is 1616 Lakeshore Drive, Orlando, FL 32803, with full power to protect, conserve, sell, lease, encumber or otherwise manage and dispose of said property, second party:

(Wherever used herein, the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

**WITNESSETH:** That the said first party, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00), and other valuable considerations, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release, convey and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in Lake County, Florida, to-wit:

Property I.D. Number: 0919240400-046-00002 and 0919240400-046-00100

See attached Exhibit "A"

**GRANTOR WARRANTS AT THE TIME OF THIS CONVEYANCE, THE SUBJECT PROPERTY IS NOT THE GRANTORS' HOMESTEAD WITHIN THE MEANING SET FORTH IN THE CONSTITUTION OF THE STATE OF FLORIDA, NOR IS IT CONTIGUOUS TO OR A PART OF HOMESTEAD PROPERTY.**

**THIS DEED WAS PREPARED WITHOUT A TITLE SEARCH, AND THE LEGAL DESCRIPTION WAS SUPPLIED BY THE PARTIES; THE PREPARER OF THIS INSTRUMENT ASSUMES NO LIABILITY FOR THE STATE OF THE TITLE OR AN INACCURACY OF THE LEGAL DESCRIPTION.**

**TO HAVE AND TO HOLD** the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

**IN WITNESS WHEREOF**, the said first party has signed and sealed these presents the day and year first above written.

Witnesses:

Donna D. Richey  
(Signature of Witness)

Rufus M. Holloway, Jr.  
RUFUS M. HOLLOWAY, JR.

Donna D. Richey  
(Print Name of Witness)

Branna Boyles  
(Signature of Witness)

Branna Boyles  
(Print Name of Witness)

STATE OF FLORIDA  
COUNTY OF Lake

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 14<sup>th</sup> day of December, 2020, by Rufus M. Holloway, Jr., [CHECK ONE]  who is personally known to me or \_\_\_ produced \_\_\_\_\_ as identification.

Donna D. Richey  
NOTARY PUBLIC - STATE OF FLORIDA  
(Signature of Notary Public)  
Donna D. Richey  
(Print Name of Notary Public)

[NOTARY SEAL]

My Commission Expires: 9/18/2022



**DONNA D. RICHEY**  
Commission # GG 242134  
Expires September 18, 2022  
Bonded Thru Budget Notary Service

GG 242134  
(Serial/Commission Number)

**EXHIBIT "A"**

A portion of Lots 1, 2 and 3, Block 46, TOWN OF FRUITLAND PARK, FLORIDA, according to the plat thereof, as recorded in Plat Book 3, Page 8, of the Public Records of Lake County, Florida, all being more particularly described as follows: From the Southwest corner of Block 46, run East 400 feet to Point of Beginning; North 582.55 feet, East 36 feet, North 396.36 feet to North line of Block 46, East to Northeast corner of Block 46, South to Southeast corner Block 46, West to Point of Beginning, Section 9, Township 19 South, Range 24 East, Lake County, Florida.

LESS AND EXCEPT: Commence at the Southwest corner of aforesaid Block 46 (also being the South 1/4 corner of Section 9, Township 19 South, Range 24 East); thence South 89°43'16" East, along the South line of Block 46, a distance of 400.00 feet; thence North 00°26'56" East, 342.53 feet, for the point of beginning; from said point of beginning continue North 00°26'56" East, 239.91 feet; thence South 89°33'50" East, 36.00 feet; thence North 00°25'26" East 396.16 feet, to the South line of Urick Street (a 50 foot right-of-way); thence along said South right-of-way line, South 89°30'00" East, 400.00 feet; thence South 00°26'10" West, 629.00 feet thence South 89°33'50" West, 436.00 feet, to the Point of Beginning.



**THIS INSTRUMENT PREPARED BY:**

Richard P. Newman/dr  
McLin & Burns P.A.  
Post Office Box 491357  
Leesburg, Florida 34749-1357

**QUIT CLAIM DEED**

**THIS QUIT CLAIM DEED**, executed this 9<sup>th</sup> day of December, 2020, by Rufus M. Holloway, Jr., whose address is 1616 Lakeshore Drive, Orlando, FL 32803, first party, to Rufus M. Holloway, Jr., as Trustee of the Rufus M. Holloway, Jr. Family Trust dated December 15, 1995, as amended and restated September 24, 2014, as amended from time to time, whose address is 1616 Lakeshore Drive, Orlando, FL 32803, with full power to protect, conserve, sell, lease, encumber or otherwise manage and dispose of said property, second party:

(Wherever used herein, the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

**WITNESSETH:** That the said first party, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00), and other valuable considerations, in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release, convey and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in and to the following described lot, piece or parcel of land, situate, lying and being in Lake County, Florida, to-wit:

Property I.D. Number: 0919240400-046-00002 and 0919240400-046-00100

See attached Exhibit "A"

**GRANTOR WARRANTS AT THE TIME OF THIS CONVEYANCE, THE SUBJECT PROPERTY IS NOT THE GRANTORS' HOMESTEAD WITHIN THE MEANING SET FORTH IN THE CONSTITUTION OF THE STATE OF FLORIDA, NOR IS IT CONTIGUOUS TO OR A PART OF HOMESTEAD PROPERTY.**

**THIS DEED WAS PREPARED WITHOUT A TITLE SEARCH, AND THE LEGAL DESCRIPTION WAS SUPPLIED BY THE PARTIES; THE PREPARER OF THIS INSTRUMENT ASSUMES NO LIABILITY FOR THE STATE OF THE TITLE OR AN INACCURACY OF THE LEGAL DESCRIPTION.**

**TO HAVE AND TO HOLD** the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien equity and claim whatsoever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

**IN WITNESS WHEREOF**, the said first party has signed and sealed these presents the day and year first above written.

Witnesses:

Donna D. Richey  
(Signature of Witness)

Rufus M. Holloway, Jr.  
RUFUS M. HOLLOWAY, JR.

Donna D. Richey  
(Print Name of Witness)

Branna Boyles  
(Signature of Witness)

Branna Boyles  
(Print Name of Witness)



STATE OF FLORIDA  
COUNTY OF Lake

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 14<sup>th</sup> day of December, 2020, by Rufus M. Holloway, Jr., [CHECK ONE]  who is personally known to me or \_\_\_ produced \_\_\_\_\_ as identification.

Donna D. Richey  
NOTARY PUBLIC - STATE OF FLORIDA  
(Signature of Notary Public)

[NOTARY SEAL]

Donna D. Richey  
(Print Name of Notary Public)

My Commission Expires: 9/18/2022



**DONNA D. RICHEY**  
Commission # GG 242134  
Expires September 18, 2022  
Bonded Thru Budget Notary Service

GG 242134  
(Serial/Commission Number)

**EXHIBIT "A"**

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LESS AND EXCEPT: Commence at the Southwest corner of aforesaid Block 46 (also being the South 1/4 corner of Section 9, Township 19 South, Range 24 East); thence South 89°43'16" East, along the South line of Block 46, a distance of 400.00 feet; thence North 00°26'56" East, 342.53 feet, for the point of beginning; from said point of beginning continue North 00°26'56" East, 239.91 feet; thence South 89°33'50" East, 36.00 feet; thence North 00°25'26" East 396.16 feet, to the South line of Urick Street (a 50 foot right-of-way); thence along said South right-of-way line, South 89°30'00" East, 400.00 feet; thence South 00°26'10" West, 629.00 feet thence South 89°33'50" West, 436.00 feet, to the Point of Beginning.

**PREPARED BY AND AFTER RECORDING**

**RETURN TO:**

Thomas D. Sims, Esquire  
Johnson Pope Bokor Ruppel & Burns, LLP  
333 Third Avenue North, Suite 200  
St. Petersburg, Florida 33701  
Property Appraisers Identification  
16-19-24-0002-000-00600

\_\_\_\_\_[Space Above This Line For Recording Data]\_\_\_\_\_

**SPECIAL WARRANTY DEED**

THIS INDENTURE is made effective this 7<sup>th</sup> day of ~~August~~ <sup>September</sup>, 2017, by and among the following parties:

**GRANTOR:** Rufus M. Holloway, Jr., a married man, whose address is 1616 Lakeshore Drive, Orlando, Florida 32803

**GRANTEE:** Rufus M. Holloway, Jr., as Trustee of the Rufus M. Holloway, Jr. Family Trust dated December 15, 1995, as amended and restated September 24, 2014, as amended from time to time, whose address is 1616 Lakeshore Drive, Orlando, Florida 32803

**WITNESSETH:**

The Grantor, herein for and in consideration for the sum of Ten Dollars (\$10.00), and other good and valuable consideration in hand paid by Grantee, the receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, releases, conveys and confirms to the Grantee, and to its successors and assigns forever, all of Grantor's right, title and interest in and to that certain real property situate, lying and being in Lake County, more particularly described as follows:

**THE EAST 756 FEET OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.**

**SUBJECT** to easements, reservations, and restrictions of record, if any, which are specifically not reimposed or extended hereby and to taxes for the year 2017 and subsequent years, which are not yet due and payable.

This deed is prepared without survey or title examination, based on information provided by the parties to this transaction.

This is not the homestead of the Grantor.

This is a conveyance to Trustee not pursuant to a sale, and only minimum documentary stamp tax is required.

Full power and authority is granted to Grantee and all Successor Trustees, to protect, conserve, sell, lease, encumber or otherwise to manage and dispose of the land or any part of it; no person dealing with the Trustee or all Successor Trustees shall be bound to see to the application of



**PREPARED BY AND AFTER RECORDING**

**RETURN TO:**

Thomas D. Sims, Esquire  
Johnson Pope Bokor Ruppel & Burns, LLP  
333 Third Avenue North, Suite 200  
St. Petersburg, Florida 33701  
Property Appraisers Identification  
16-19-24-0002-000-05400

\_\_\_\_\_[Space Above This Line For Recording Data]\_\_\_\_\_

**SPECIAL WARRANTY DEED**

THIS INDENTURE is made effective this 7<sup>th</sup> day of September, 2017, by and among the following parties:

**GRANTOR:** Rufus M. Holloway, Jr., a married man, whose address is 1616 Lakeshore Drive, Orlando, Florida 32803

**GRANTEE:** Rufus M. Holloway, Jr., as Trustee of the Rufus M. Holloway, Jr. Family Trust dated December 15, 1995, as amended and restated September 24, 2014, as amended from time to time, whose address is 1616 Lakeshore Drive, Orlando, Florida 32803

**WITNESSETH:**

The Grantor, herein for and in consideration for the sum of Ten Dollars (\$10.00), and other good and valuable consideration in hand paid by Grantee, the receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, releases, conveys and confirms to the Grantee, and to its successors and assigns forever, all of Grantor's right, title and interest in and to that certain real property situate, lying and being in Lake County, more particularly described as follows:

**THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 50 FEET THEREOF AND LESS COUNTY ROAD RIGHT OF WAY.**

**SUBJECT** to easements, reservations, and restrictions of record, if any, which are specifically not reimposed or extended hereby and to taxes for the year 2017 and subsequent years, which are not yet due and payable.

This deed is prepared without survey or title examination, based on information provided by the parties to this transaction.

This is not the homestead of the Grantor.

This is a conveyance to Trustee not pursuant to a sale, and only minimum documentary stamp tax is required.

Full power and authority is granted to Grantee and all Successor Trustees, to protect,

conserve, sell, lease, encumber or otherwise to manage and dispose of the land or any part of it; no person dealing with the Trustee or all Successor Trustees shall be bound to see to the application of any purchase money or to inquire into the validity, expediency or propriety of any such sale or other disposition.

TOGETHER with all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder and easement thereto belonging or in anywise appertaining, and the Grantor does hereby covenant that Grantor does fully warrant the title to the above described real estate so hereby conveyed and will defend the same against the lawful claims, arising out of events occurring prior to the recording of this Deed, of all persons claiming by, through or under the Grantor, but against none other.

TO HAVE AND TO HOLD the same to the Grantee, its successors and assigns in fee simple, forever.

IN WITNESS WHEREOF, the Grantor has set his hand and seal on the day and year first above written.

WITNESSES:

*[Handwritten Signature]*  
Print Name: Andrea Atkins

*[Handwritten Signature]*  
Rufus M. Holloway, Jr.

*[Handwritten Signature]*  
Print Name: MICHAEL ROSENFELD

STATE OF FLORIDA  
COUNTY OF ORANGE

I HEREBY CERTIFY that on this 26 day of August, 2017, before me appeared Rufus M. Holloway, Jr., who is personally known to me or who has produced a DRIVER'S LICENSE as identification, and he acknowledged the execution of this Special Warranty Deed for the uses and purposes expressed therein.

WITNESS my signature and official seal in the County and State last aforesaid.



*[Handwritten Signature]*  
NOTARY PUBLIC

4179575  
1

CFN 2003156521  
Bk 02463 Pg 0050; (1pg)  
DATE: 12/04/2003 10:04:16 AM  
JAMES C. WATKINS, CLERK OF COURT  
LAKE COUNTY  
RECORDING FEES 5.00  
TRUST FUND 1.00  
DEED DOC 700.00

This instrument was prepared by  
and return to:  
Robert R. Cyrus  
Attorney and Counselor at Law  
Post Office Box 491635  
Leesburg, Florida 34749-1635

Property Appraiser's Parcel ID#:  
16-19-24-0001-000-00200

**WARRANTY DEED**  
(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture, made this 1st day of December, 2003, between, **JACK BOYD SELF** as Trustee of **Sara Horton Self Revocable Trust**, whose address is 123 St. Andrews Street, Jackson, Mississippi 39211 of the County of Hinds, State of Mississippi, grantor, and **RUFUS M. HOLLOWAY JR, Trustee of the RUFUS M. HOLLOWAY, JR. FAMILY TRUST**, dated **December 15, 1995, as amended and restated March 13, 2001, RUFUS M. HOLLOWAY, JR., Settlor and Trustee**, whose address is 1616 Lakeshore Drive, Orlando, Florida 32803, of the County of Orange, State of Florida, grantee,

Witnesseth, that said grantor, for and in consideration of the sum of Ten and No/100 (\$10.00) Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Lake County, Florida, to-wit:

The North 726 feet of the West Half (W 1/2) of the Northeast Quarter (NE 1/4) of the Northeast Quarter (NE 1/4) of Section 16, Township 19 South, Range 24 East, Lake County, Florida. containing eleven (11) acres.

THE FOREGOING PROPERTY IS NOT THE HOMESTEAD OF THE GRANTOR NOR CONTIGUOUS THERETO AND THE GRANTOR RESIDES AT 123 St. Andrews Dr., Jackson, Mississippi 39211.

Together with the power and authority to protect, conserve, sell, lease, encumber or otherwise to manage and dispose of the above described property.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

"Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed, and delivered in our presence.

[Signature]  
Witness Signature  
FRED ADAMS JR.  
Witness Printed Name  
Alberta Pitts  
Witness Signature  
ALBERTA P. HHS  
Witness Printed Name

[Signature]  
JACK BOYD SELF as Trustee  
of Sara Horton Self Revocable Trust

STATE OF MISSISSIPPI  
COUNTY OF HINDS

The foregoing instrument was acknowledged before me this 1st day of December, 2003, by **JACK BOYD SELF** as Trustee of **Sara Horton Self Revocable Trust**, X who is personally known to me; \_\_\_\_\_ who produced identification Type of identification produced: \_\_\_\_\_



Delores McMillan  
Notary Public  
Exp. date: 9/27/05

Rec 4.00  
Doc 45

WARRANTY DEED FROM INDIVIDUAL TO CORPORATION

RAMCO FORM 34

81 31009

C.R. BOOK 737 PAGE 1771

**This Warranty Deed** Made the 4th day of November A. D. 19 81 by RUFUS M. HOLLOWAY, JR., as Trustee of the Rufus M. Holloway, Jr. Revocable Trust, dated January 20, 1978, as amended. hereinafter called the grantor, to

LEESBURG FRUIT COMPANY, INC.

a corporation existing under the laws of the State of Florida with its permanent postoffice address at 1616 Lake Shore Drive, Orlando, Florida 32803 hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth:** That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Lake County, Florida. viz: An undivided seven-ninths interest in and to:

That portion of Block 46 in the Town of Fruitland Park, Florida, according to the plat thereof as recorded in Plat Book 3, page 8, of the Public Records of Lake County, Florida, described as: Begin at the Southwest corner of Block 46 (S 1/4 of Section 9, Township 19 S., Range 24 East, Lake County, Florida); run thence South 89° 46' 00" East along the South line of Block 46 for 400 feet; run thence North 00° 26' 10" East for 582.55 feet; run thence North 89° 33' 50" East for 36 feet; run thence North 00° 26' 10" East for 396.36 feet to the North line of said Block 46; run thence North 89° 29' 50" West along North line of said Block 46 for 433.48 feet to the Northwest corner of said Block 46; run thence South 00° 35' 00" East along West line of said Block 46 for 980.70 feet to the Point of Beginning.

The above real estate being part of the same real estate conveyed to Grantor as shown by Deed recorded ORB 704, page 554, of the Public Records of Lake County.

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in any-wise appertaining.

**To Have and to Hold,** the same in fee simple forever.

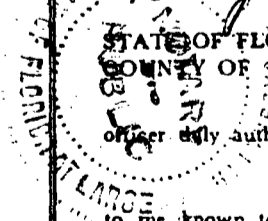
**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1980, and easements and restrictions of record, if any, but this reference thereto shall not operate to reimpose the same.

**In Witness Whereof,** the said grantor has hereunto set his hand and seal the day and first above written.

Signed, sealed and delivered in our presence:

P. C. Gorman  
Betty E. Galbraith

Rufus M. Holloway, Jr.  
RUFUS M. HOLLOWAY, JR., as Trustee



STATE OF FLORIDA,  
COUNTY OF Lake

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appeared

RUFUS M. HOLLOWAY, JR., as Trustee to me known to be the person described in and who executed the foregoing instrument and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 4th day of November, A. D. 19 81.

Betty E. Galbraith

This Instrument prepared by: P. C. Gorman, Attorney  
Address P.O. Box 837, Leesburg, FL 32748

NOTARY PUBLIC STATE OF FLORIDA AT LARGE  
MY COMMISSION EXPIRES MAY 23 1983  
BONDED THRU GENERAL INS UNDERWRITERS

STATE OF FLORIDA  
DOCUMENTARY STAMP TAX  
DEPT. OF REVENUE  
NOV 12 1981  
P.B. 10511

LAKE COUNTY

P. C. GORMAN, 59-0267520  
Attorney at Law, P.O. Box 837  
Leesburg, Florida 32748

CIP RECORDING  
RETURN TO

RECORDED AND RECORDED  
CLERK OF CIRCUIT COURT  
LAKE COUNTY, FLORIDA

NOV 12 10 20 AM '81



# PRELIMINARY PLAT FOR PARK SQUARE FRUITLAND PARK PHASE 1

SECTION 16, TOWNSHIP 19 S, RANGE 24 E &  
SECTION 9, TOWNSHIP 19 S, RANGE 24 E  
CITY OF FRUITLAND PARK  
LAKE COUNTY, FLORIDA

**LEGAL DESCRIPTION:**

ALTERNATE KEY 1289866 - ORB 2463, PG 50  
THE NORTH 726 FEET OF THE WEST HALF (W 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, CONTAINING ELEVEN (11) ACRES.

ALTERNATE KEY 1289874 - ORB 4999, PGS 1968-1969  
THE EAST 756 FEET OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

ALTERNATE KEY 1289904 - ORB 5036, PGS 393-394  
THE SOUTH 50 FEET OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS RIGHT OF WAY FOR MONTCLAIR ROAD, ALSO KNOWN AS COUNTY ROAD 468.

ALTERNATE KEY 1430411 - ORB 737, PG 1771  
THAT PORTION OF BLOCK 46 IN THE TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, DESCRIBED AS: BEGIN AT THE SOUTHWEST CORNER OF BLOCK 46 (S 1/4 OF SECTION 9, TOWNSHIP 19 S, RANGE 24 EAST, LAKE COUNTY, FLORIDA); RUN THENCE SOUTH 89° 46' 00" EAST ALONG THE SOUTH LINE OF BLOCK 46 FOR 400 FEET; RUN THENCE NORTH 00° 26' 10" EAST FOR 582.55 FEET; RUN THENCE NORTH 89° 33' 50" EAST FOR 36 FEET; RUN THENCE NORTH 00° 26' 10" EAST FOR 396.36 FEET TO THE NORTH LINE OF SAID BLOCK 46; RUN THENCE NORTH 89° 29' 50" WEST ALONG NORTH LINE OF SAID BLOCK 46 FOR 433.48 FEET TO THE NORTHWEST CORNER OF SAID BLOCK 46; RUN THENCE SOUTH 00° 35' 00" EAST ALONG WEST LINE OF SAID BLOCK 46 FOR 980.70 FEET TO THE POINT OF BEGINNING.

ALTERNATE KEY 1639808 - ORB 5598, PGS 2322-2334  
A PORTION OF LOTS 1, 2 AND 3, BLOCK 46, TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FROM THE SOUTHWEST CORNER OF BLOCK 46, RUN EAST 400 FEET TO POINT OF BEGINNING; NORTH 582.55 FEET, EAST 36 FEET, NORTH 396.36 FEET TO NORTH LINE OF BLOCK 46, EAST TO NORTHEAST CORNER OF BLOCK 46, SOUTH TO SOUTHEAST CORNER BLOCK 46, WEST TO POINT OF BEGINNING, SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

LESS AND EXCEPT: COMMENCE AT THE SOUTHWEST CORNER OF AFORESAID BLOCK 46 (ALSO BEING THE SOUTH 1/4 CORNER OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST); THENCE SOUTH 89° 43' 16" EAST, ALONG THE SOUTH LINE OF BLOCK 46, A DISTANCE OF 400.00 FEET; THENCE NORTH 00° 26' 56" EAST, 342.53 FEET, FOR THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE NORTH 00° 26' 56" EAST, 239.91 FEET; THENCE SOUTH 89° 33' 50" EAST, 36.00 FEET; THENCE NORTH 00° 25' 26" EAST 396.16 FEET, TO THE SOUTH LINE OF URICK STREET (A 50 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89° 30' 00" EAST, 400.00 FEET; THENCE SOUTH 00° 26' 10" WEST, 639.00 FEET THENCE SOUTH 89° 33' 50" WEST, 436.00 FEET, TO THE POINT OF BEGINNING.

ALTERNATE KEY 1699959 - ORB 704, PGS 556-557  
AN UNDIVIDED ONE-HALF INTEREST IN AND TO:

NW 1/4 OF SE 1/4; N 495 FEET OF SW 1/4 OF SE 1/4; N 165 FEET OF S 825 FEET OF W 1185 FEET OF SW 1/4 OF SE 1/4; E 688 FEET OF W 1188 FEET OF S 1/2 OF SW 1/4 OF SE 1/4; W 1/2 OF NE 1/4; N 1/2 OF SE 1/4 OF NE 1/4, SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND AN UNDIVIDED ONE-HALF INTEREST IN AND TO:  
THE NORTH 652.5 FEET OF THE SOUTH 825 FEET OF THE EAST 132 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16, TOWNSHIP 19 SO., RANGE 24 EAST, LAKE COUNTY, FLORIDA (LESS THE PARCEL CONVEYED BY ALENE B. HOLLOWAY TO JOHN C. BASS AND LOUISE BASS, HIS WIFE, BY DEED RECORDED IN O.R. BOOK 460, PAGE 636, OFFICIAL RECORDS OF LAKE COUNTY, FLORIDA).

ALTERNATE KEY 1772435 - ORB 701, PG 775  
THE SOUTH 594 FEET OF THE W 1/2 OF NE 1/4 OF NE 1/4 SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

ALTERNATE KEY 3540468 - ORB 5598, PGS 2322-2324  
A PORTION OF LOTS 1, 2 AND 3, BLOCK 46, TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FROM THE SOUTHWEST CORNER OF BLOCK 46, RUN EAST 400 FEET TO POINT OF BEGINNING; NORTH 582.55 FEET, EAST 36 FEET, NORTH 396.36 FEET TO NORTH LINE OF BLOCK 46, EAST TO NORTHEAST CORNER OF BLOCK 46, SOUTH TO SOUTHEAST CORNER BLOCK 46, WEST TO POINT OF BEGINNING, SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

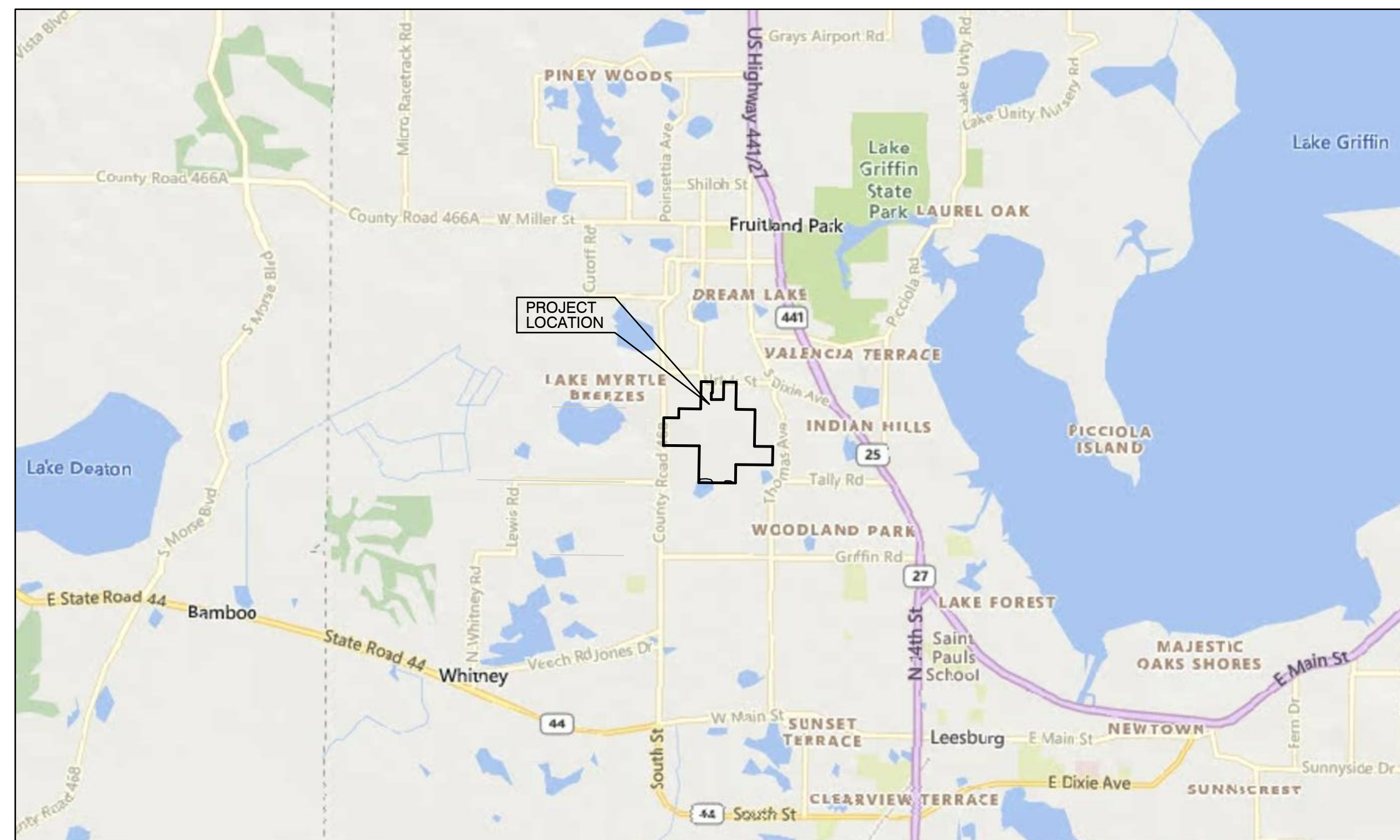
LESS AND EXCEPT: COMMENCE AT THE SOUTHWEST CORNER OF AFORESAID BLOCK 46 (ALSO BEING THE SOUTH 1/4 CORNER OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST); THENCE SOUTH 89° 43' 16" EAST, ALONG THE SOUTH LINE OF BLOCK 46, A DISTANCE OF 400.00 FEET; THENCE NORTH 00° 26' 56" EAST, 342.53 FEET, FOR THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE NORTH 00° 26' 56" EAST, 239.91 FEET; THENCE SOUTH 89° 33' 50" EAST, 36.00 FEET; THENCE NORTH 00° 25' 26" EAST 396.16 FEET, TO THE SOUTH LINE OF URICK STREET (A 50 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89° 30' 00" EAST, 400.00 FEET; THENCE SOUTH 00° 26' 10" WEST, 639.00 FEET; THENCE SOUTH 89° 33' 50" WEST, 436.00 FEET, TO THE POINT OF BEGINNING.

ALTERNATE KEY 3691334 - ORB 4999, PGS 1998-1999  
THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 50 FEET THEREOF AND LESS COUNTY ROAD RIGHT OF WAY.

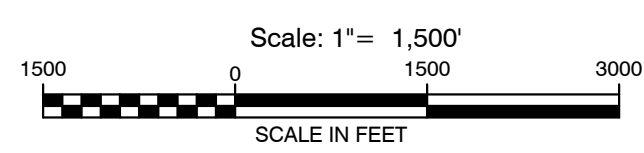
ALTERNATE KEY 3900702 - ORB 704, PGS 554-557  
AN UNDIVIDED ONE-HALF INTEREST IN AND TO:

NW 1/4 OF SE 1/4; N 495 FEET OF SW 1/4 OF SE 1/4; N 165 FEET OF S 825 FEET OF W 1185 FEET OF SW 1/4 OF SE 1/4; E 688 FEET OF W 1188 FEET OF S 1/2 OF SW 1/4 OF SE 1/4; W 1/2 OF NE 1/4; N 1/2 OF SE 1/4 OF NE 1/4, SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

AND AN UNDIVIDED ONE-HALF INTEREST IN AND TO:  
THE NORTH 652.5 FEET OF THE SOUTH 825 FEET OF THE EAST 132 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16, TOWNSHIP 19 SO., RANGE 24 EAST, LAKE COUNTY, FLORIDA (LESS THE PARCEL CONVEYED BY ALENE B. HOLLOWAY TO JOHN C. BASS AND LOUISE BASS, HIS WIFE, BY DEED RECORDED IN O.R. BOOK 460, PAGE 636, OFFICIAL RECORDS OF LAKE COUNTY, FLORIDA).



**LOCATION MAP**



SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C-000	COVER
---	SURVEY COVER
---	SURVEY BOUNDARY 1
---	SURVEY BOUNDARY 2
---	SURVEY BOUNDARY 3
---	SURVEY BOUNDARY 4
C-001	MASTER PLAN
C-100	PRE-PLAT
C-101	PRE-PLAT
C-102	PRE-PLAT
C-103	PRE-PLAT
C-104	PRE-PLAT
C-200	GRADING AND DRAINAGE PLAN
C-201	GRADING AND DRAINAGE PLAN
C-202	GRADING AND DRAINAGE PLAN
C-203	GRADING AND DRAINAGE PLAN
C-204	GRADING AND DRAINAGE PLAN
C-300	UTILITIES PLAN
C-301	UTILITIES PLAN
C-302	UTILITIES PLAN
C-303	UTILITIES PLAN
C-500	SIGNAGE & STRIPING PLAN
C-501	SIGNAGE & STRIPING PLAN
C-502	SIGNAGE & STRIPING PLAN
C-503	SIGNAGE & STRIPING PLAN

**Owner/Developer:**  
PARK SQUARE HOMES  
5200 Vineland Road, Suite 200  
Orlando, FL 32811  
Daniel Arnette

**Engineer/Planner:**  
HALFF ASSOCIATES, INC.  
902 North Sinclair Avenue Tavares, FL  
32778  
(352) 343-8481  
Charles C. Hiott, PE

**Geotechnical:**  
NV5  
201 South Bumby Avenue  
Orlando, FL 3803  
(407) 896-3317  
Mohamed Alrowaimi, Ph.D., PE

**Surveyor:**  
HALFF ASSOCIATES, INC.  
902 North Sinclair Avenue Tavares, FL  
32778  
(352) 343-8481  
John T. McGlohorn, PSM



# BOUNDARY SURVEY

## LEGAL DESCRIPTIONS:

### ALTERNATE KEY 1289866 - ORB 2463, PG 50

THE NORTH 726 FEET OF THE WEST HALF (W 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, CONTAINING ELEVEN (11) ACRES.

### ALTERNATE KEY 1772435 - ORB 701, PG 775

THE SOUTH 594 FEET OF THE W 1/2 OF NE 1/4 OF NE 1/4 SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

### ALTERNATE KEY 1289874 - ORB 4999, PGS 1968-1969

THE EAST 756 FEET OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

### ALTERNATE KEY 1289904 - ORB 5036, PGS 393-394

THE SOUTH 50 FEET OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS RIGHT OF WAY FOR MONTCLAIR ROAD, ALSO KNOWN AS COUNTY ROAD 468.

### ALTERNATE KEY 1430411 - ORB 737, PG 1771

THAT PORTION OF BLOCK 46 IN THE TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, DESCRIBED AS: BEGIN AT THE SOUTHWEST CORNER OF BLOCK 46 (S 1/4 OF SECTION 9, TOWNSHIP 19 S., RANGE 24 EAST, LAKE COUNTY, FLORIDA); RUN THENCE SOUTH 89° 46' 00" EAST ALONG THE SOUTH LINE OF BLOCK 46 FOR 400 FEET; RUN THENCE NORTH 00° 26' 10" EAST FOR 582.55 FEET; RUN THENCE NORTH 89° 33' 50" EAST FOR 36 FEET; RUN THENCE NORTH 00° 26' 10" EAST FOR 396.36 FEET TO THE NORTH LINE OF SAID BLOCK 46; RUN THENCE NORTH 89° 29' 50" WEST ALONG NORTH LINE OF SAID BLOCK 46 FOR 433.48 FEET TO THE NORTHWEST CORNER OF SAID BLOCK 46; RUN THENCE SOUTH 00° 35' 00" EAST ALONG WEST LINE OF SAID BLOCK 46 FOR 980.70 FEET TO THE POINT OF BEGINNING.

### ALTERNATE KEY 1639808 - ORB 5598, PGS 2322-2334

A PORTION OF LOTS 1, 2 AND 3, BLOCK 46, TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FROM THE SOUTHWEST CORNER OF BLOCK 46, RUN EAST 400 FEET TO POINT OF BEGINNING; NORTH 582.55 FEET, EAST 36 FEET, NORTH 396.36 FEET TO NORTH LINE OF BLOCK 46, EAST TO NORTHEAST CORNER OF BLOCK 46, SOUTH TO SOUTHWEST CORNER BLOCK 46, WEST TO POINT OF BEGINNING, SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

LESS AND EXCEPT: COMMENCE AT THE SOUTHWEST CORNER OF AFORESAID BLOCK 46 (ALSO BEING THE SOUTH 1/4 CORNER OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST); THENCE SOUTH 89° 43' 16" EAST, ALONG THE SOUTH LINE OF BLOCK 46, A DISTANCE OF 400.00 FEET; THENCE NORTH 00° 26' 56" EAST, 342.53 FEET, FOR THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE NORTH 00° 26' 56" EAST, 239.91 FEET; THENCE SOUTH 89° 33' 50" EAST, 36.00 FEET; THENCE NORTH 00° 25' 26" EAST 396.16 FEET, TO THE SOUTH LINE OF URICK STREET (A 50 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89° 30' 00" EAST, 400.00 FEET; THENCE SOUTH 00° 26' 10" WEST, 629.00 FEET THENCE SOUTH 89° 33' 50" WEST, 436.00 FEET, TO THE POINT OF BEGINNING.

### ALTERNATE KEY 1699959 - ORB 704, PGS 556-557

AN UNDIVIDED ONE-HALF INTEREST IN AND TO:

NW 1/4 OF SE 1/4; N 495 FEET OF SW 1/4 OF SE 1/4; N 165 FEET OF S 825 FEET OF W 1185 FEET OF SW 1/4 OF SE 1/4; E 688 FEET OF W 1188 FEET OF S 1/2 OF SW 1/4 OF SE 1/4; W 1/2 OF NE 1/4; N 1/2 OF SE 1/4 OF NE 1/4, SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA,

AND AN UNDIVIDED ONE-HALF INTEREST IN AND TO:

THE NORTH 652.5 FEET OF THE SOUTH 825 FEET OF THE EAST 132 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16, TOWNSHIP 19 SO., RANGE 24 EAST, LAKE COUNTY, FLORIDA (LESS THE PARCEL CONVEYED BY ALENE B. HOLLOWAY TO JOHN C. BASS AND LOUISE BASS, HIS WIFE, BY DEED RECORDED IN O.R. BOOK 460, PAGE 636, OFFICIAL RECORDS OF LAKE COUNTY, FLORIDA).

### ALTERNATE KEY 3540468 - ORB 5598, PGS 2322-2324

A PORTION OF LOTS 1, 2 AND 3, BLOCK 46, TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: FROM THE SOUTHWEST CORNER OF BLOCK 46, RUN EAST 400 FEET TO POINT OF BEGINNING; NORTH 582.55 FEET, EAST 36 FEET, NORTH 396.36 FEET TO NORTH LINE OF BLOCK 46, EAST TO NORTHEAST CORNER OF BLOCK 46, SOUTH TO SOUTHWEST CORNER BLOCK 46, WEST TO POINT OF BEGINNING, SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

LESS AND EXCEPT: COMMENCE AT THE SOUTHWEST CORNER OF AFORESAID BLOCK 46 (ALSO BEING THE SOUTH 1/4 CORNER OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST); THENCE SOUTH 89° 43' 16" EAST, ALONG THE SOUTH LINE OF BLOCK 46, A DISTANCE OF 400.00 FEET; THENCE NORTH 00° 26' 56" EAST, 342.53 FEET, FOR THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE NORTH 00° 26' 56" EAST, 239.91 FEET; THENCE SOUTH 89° 33' 50" EAST, 36.00 FEET; THENCE NORTH 00° 25' 26" EAST 396.16 FEET, TO THE SOUTH LINE OF URICK STREET (A 50 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89° 30' 00" EAST, 400.00 FEET; THENCE SOUTH 00° 26' 10" WEST, 629.00 FEET; THENCE SOUTH 89° 33' 50" WEST, 436.00 FEET, TO THE POINT OF BEGINNING.

### ALTERNATE KEY 3691334 - ORB 4999, PGS 1998-1999

THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 50 FEET THEREOF AND LESS COUNTY ROAD RIGHT OF WAY.

### ALTERNATE KEY 3900702 - ORB 704, PGS 554-557

AN UNDIVIDED ONE-HALF INTEREST IN AND TO:

NW 1/4 OF SE 1/4; N 495 FEET OF SW 1/4 OF SE 1/4; N 165 FEET OF S 825 FEET OF W 1185 FEET OF SW 1/4 OF SE 1/4; E 688 FEET OF W 1188 FEET OF S 1/2 OF SW 1/4 OF SE 1/4; W 1/2 OF NE 1/4; N 1/2 OF SE 1/4 OF NE 1/4, SECTION 16, TOWNSHIP 19, RANGE 24 EAST, LAKE COUNTY, FLORIDA,

AND AN UNDIVIDED ONE-HALF INTEREST IN AND TO:

THE NORTH 652.5 FEET OF THE SOUTH 825 FEET OF THE EAST 132 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 16, TOWNSHIP 19 SO., RANGE 24 EAST, LAKE COUNTY, FLORIDA (LESS THE PARCEL CONVEYED BY ALENE B. HOLLOWAY TO JOHN C. BASS AND LOUISE BASS, HIS WIFE, BY DEED RECORDED IN O.R. BOOK 460, PAGE 636, OFFICIAL RECORDS OF LAKE COUNTY, FLORIDA).

NOTE: REGARDING THE USE OF STATUTE DISTANCE OF 1320' THE PARCELS OVERLAP

NOTE: OLIVE AVENUE IS SHOWN BY PLAT BOOK 3, PAGES 8 & 9, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, AS A 50' WIDE PUBLIC STREET

## ACREAGE TABLE

TOTAL PARCEL AREA (PER DESCRIPTIONS).....	176.76± ACRES
LESS PONDS (Waters Edge).....	1.33± ACRES
TOTAL LAND AREA .....	175.43± ACRES

## LEGEND

### ABBREVIATIONS:

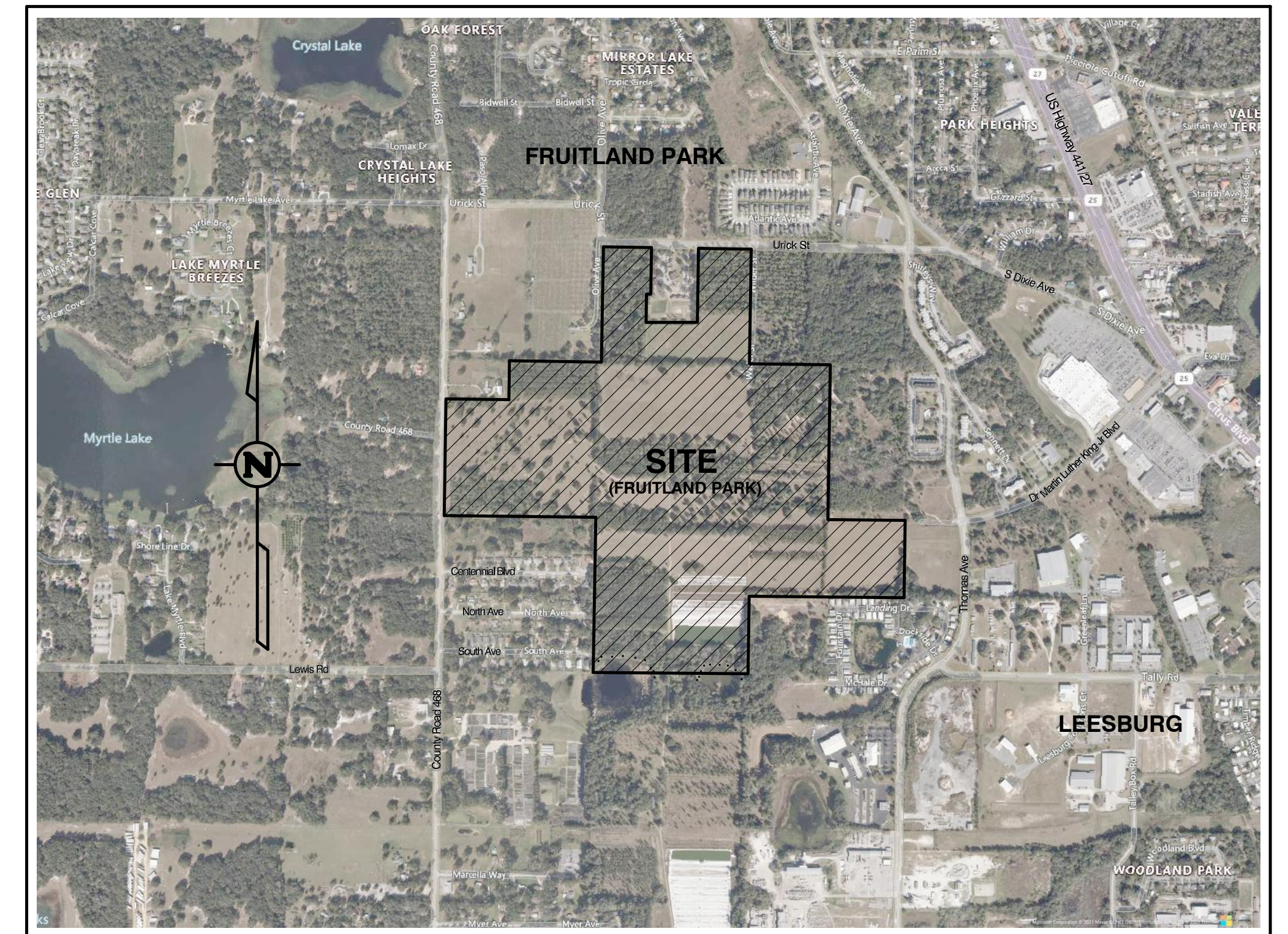
ACAD	AUTOCAD	ICV	IRRIGATION CONTROL VALVE
AC	AIR CONDITIONER PAD	JR	JUNIOR
AKA	ALSO KNOWN AS	L	LENGTH
ALT	ALTERNATE	LAT	LATITUDE
ASPH.	ASPHALT	LONG	LONGITUDE
AVE.	AVENUE	LB	LICENSED BUSINESS
B/C	BACK OF CURB	LS	LICENSED SURVEYOR
BP	BEGIN PROJECT	(M)	MEASURED
BFP	BACKFLOW PREVENTER	N/D	NAIL & DISK
B/W	BARBED WIRE	N.T.S.	NOT TO SCALE
(C)	CALCULATED	ORB	OFFICIAL RECORDS BOOK
CCR	CERTIFIED CORNER RECORD	O.P.U.S.	ONLINE POSITIONING USER SERVICE
CLF	CHAIN LINK FENCE	PG(S)	PAGE(S)
CB	CHORD BEARING	(P)	PLAT
CH	CHORD DISTANCE	PB	PLAT BOOK
CONC.	CONCRETE	POB	POINT OF BEGINNING
C/B	CONCRETE BLOCK	POC	POINT OF COMMENCEMENT
CM	CONCRETE MONUMENT	PI	POINT OF INTERSECTION
CMP	CORRUGATED METAL PIPE	PC	POINT OF CURVATURE
C.R.	COUNTY ROAD	PCC	POINT OF COMPOUND CURVE
DB	DEED BOOK	PRC	POINT OF REVERSE CURVE
Δ	DELTA OR CENTRAL ANGLE	PRM	PERMANENT REFERENCE MONUMENT
(D)	DESCRIBED	PT	POINT OF TANGENCY
DR	DOCTOR	PSM	PROFESSIONAL SURVEYOR AND MAPPER
EOP	EDGE OF PAVEMENT	PVC	POLYVINYLCHLORIDE
EP	END PROJECT	R	RADIUS
FC	FENCE CORNER	RCP	REINFORCED CONCRETE PIPE
FRD	FOUND	RR	RAILROAD
FEE	FINISHED FLOOR ELEVATION	RLS	REGISTERED LAND SURVEYOR
FLD	FIELD	ROW	RIGHT OF WAY
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	R/W	RIGHT OF WAY
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY	SB2	SCHEDULE B 2 ITEM
FIRM	FLOOD INSURANCE RATE MAP	SEC	SECTION
ID	IDENTIFICATION	SQ. FT.	SQUARE FEET
INV.	INVERT	S.R.	STATE ROAD
IP	IRON PIPE	STA	STATION
IR	IRON ROD	(TYP.)	TYPICAL
IRC	IRON ROD & CAP	W	WITH

### SYMBOLS:

	AIR RELEASE VALVE		MONITORING WELL	
	BOLLARD		UTILITY POLE	
	CATCH BASIN (INLET)		UTILITY POLE WITH LIGHT	
	CATEGORY 5 CABLE JUNCTION		FOUND IRON ROD (AS NOTED)	
	CENTERLINE		FOUND NAIL AND DISC (AS NOTED)	
	CLEAN OUT		RECLAIM WATER VALVE	
	CONCRETE POWER POLE		REUSE WATER METER	
	ELECTRIC JUNCTION BOX		REUSE WATER VALVE	
	ELECTRIC METER		SEWER MANHOLE	
	ELECTRIC MARKER		SEWER VALVE	
	FIRE HYDRANT		SET 5/8" IRON ROD & CAP (LB 8348)	
	FLAG POLE		SET 4\"/>	CM (LB 8348)
	FIBER OPTIC BOX		SIGN	
	FIBER OPTIC MARKER		SPRINKLER	
	FOUND CONCRETE MONUMENT (AS NOTED)		STORM MANHOLE	
	GAS METER		TELEPHONE JUNCTION BOX	
	GAS MARKER (UNDERGROUND)		TREE TYPE AND SIZE (AT BREAST HEIGHT)	
	GAS VALVE		TRANSMISSION POWER POLE	
	GROUND LIGHT		WATER METER	
	GUY WIRE		WATER VALVE	
	LIGHT POLE		WATER MARKER	
	MAILBOX		WELL	

### LINETYPES:

	CABLE TV UNDERGROUND		STORM DRAIN LINE
	OVERHEAD UTILITY LINE		TELEPHONE UNDERGROUND
	ELECTRIC UNDERGROUND		WATER LINE
	FIBER OPTIC UNDERGOUND		TOE OF SLOPE
	GAS LINE UNDERGROUND		TOP OF BANK
	SANITARY SEWER LINE (SSL)		RECLAIM WATER
	TRAFFIC SIGNAL WIRES		FENCE LINE (TYPE AS NOTED)



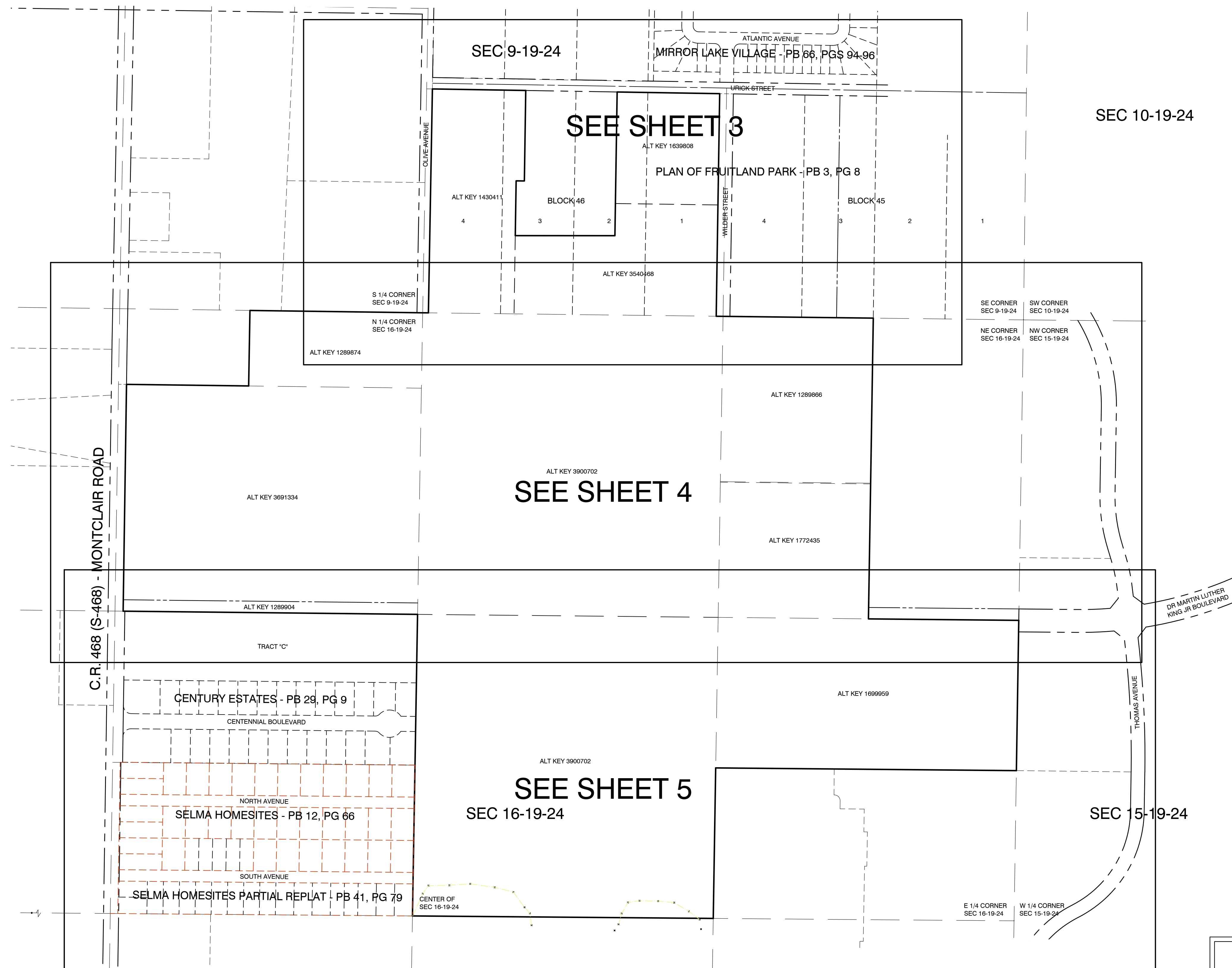
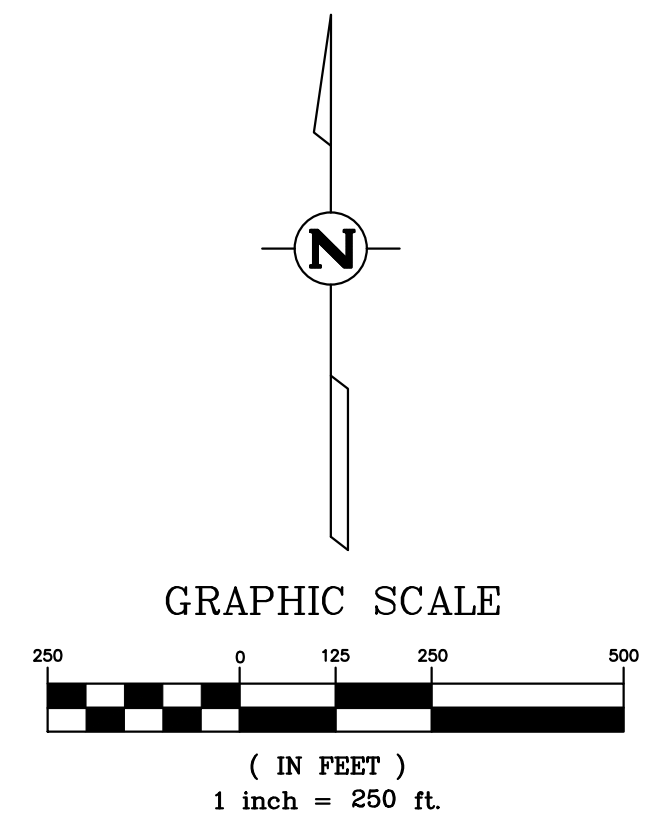
VICINITY MAP  
SCALE: 1" = 1000'

## GENERAL NOTES:

- THE SURVEY MAP (AND/OR) REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- CERTIFICATION IS LIMITED TO PARTIES NAMED HEREON.
- THE PURPOSE OF THIS SURVEY IS TO SHOW THE BOUNDARY AND IMPROVEMENTS, IF ANY, FOR THE SUBJECT PARCELS. SURVEY IS TO BE USED FOR FEE SIMPLE SALE OF PROPERTY.
- BEARINGS AND COORDINATES SHOWN HEREON ARE FLORIDA STATE PLANE COORDINATE EAST ZONE (901) BASED ON FLORIDA PERMANENT REFERENCE NETWORK (FPRN) AS MAINTAINED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION, AND IS BASED ON NORTH AMERICAN DATUM OF 1983 2011 ADJUSTMENT (GPS'83-2011) AND REFERENCED TO THE NORTH LINE OF THE NORTHEAST 1/4 IN SECTION 16-19-24 AS BEING S 89° 19' 17" E. ALL DISTANCES SHOWN ARE IN UNITED STATES SURVEY FEET.
- THE POSITION OF SAID ADJOINING PROPERTIES IS APPROXIMATE. RECORDING DATA FOR ADJOINING PROPERTIES IS BASED ON INFORMATION PROVIDED BY A SEARCH OF PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF TITLE AND THEREFORE IS SUBJECT TO CHANGE DUE TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS, RIGHTS OF WAY, OWNERSHIP OR OTHER MATTERS OF RECORD BY THIS FIRM.
- UNDERGROUND IMPROVEMENTS SUCH AS UTILITIES, FOUNDATIONS, ETC. WERE NOT LOCATED, EXCEPT WHAT IS SHOWN HEREON.
- ONLY THOSE UTILITIES SHOWN HEREON THAT WERE VISIBLE AT THE TIME OF THE SURVEY WERE LOCATED, UNLESS OTHERWISE NOTED. NO ATTEMPT WAS MADE TO LOCATE UNDERGROUND UTILITIES. AN ASCE QUALITY A OR B DESIGNATION WILL BE NECESSARY BEFORE ANY ON SITE WORK TAKES PLACE. CONTACT SUNSHINE ONE CALL AT 811 FOR FURTHER INFORMATION.
- LANDS SHOWN HEREON LIE IN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% CHANCE FLOODPLAIN) AND ZONE "A" (AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL FLOOD CHANCE, NO BASE FLOOD ELEVATION DETERMINED) ACCORDING TO FLOOD INSURANCE RATE MAP: 12069C0306E, 12069C0308 AND 12069C0309, EFFECTIVE DATE: DECEMBER 18, 2012.
- THIS SURVEY HAS BEEN PREPARED UNDER THE DIRECTION AND SUPERVISION OF THE UNDERSIGNED BELOW IN ACCORDANCE WITH THE ADOPTED "STANDARDS OF PRACTICE" FOR LAND SURVEYING AS REQUIRED BY CHAPTER 53-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATE STATUTES.
- WATER BOUNDARY IS SUBJECT TO CHANGE DUE TO NATURAL CAUSES AND MAY OR MAY NOT REPRESENT ACTUAL LOCATION OF THE LIMIT OF TITLE.
- THE BOUNDARY BETWEEN SOVEREIGN (STATE) OWNERSHIP AND PRIVATE UPLAND OWNERSHIP IS THE ORDINARY HIGH WATER LINE. THE ORDINARY HIGH WATER LINE WAS NOT DETERMINED OR LOCATED BY THIS COMPANY.
- THE DIGITAL DRAWING COMPRISING THIS SURVEY WAS PREPARED WITH AUTOCAD CIVIL 3D 2019.
- SYMBOLS SHOWN HEREON ARE NOT TO SCALE AND ARE FOR INFORMATIONAL PURPOSES ONLY.
- DATE OF FIELD WORK IS REFLECTED IN TITLE BLOCK, NOT THE DATE OF SIGNATURE.
- THIS COMPANY ACCEPTS NO RESPONSIBILITY FOR THE MARKETABLE STATUS OF THIS PROPERTY. THIS PROPERTY IS SUBJECT TO ANY AND/OR ALL CITY, COUNTY, STATE AND FEDERAL PLANNING AND ZONING REGULATIONS.
- OWNERSHIP OF FENCES SHOWN HEREON, IF ANY, WAS NOT DETERMINED BY THIS SURVEY. SAID FENCES WERE LOCATED ONLY WHERE DIMENSIONED AND MAY NOT RUN STRAIGHT.
- THIS SURVEY WAS ORDERED BY CHUCK CAVARETTA, PARK SQUARE HOMES, 5200 VINELAND ROAD, SUITE 200, ORLANDO, FLORIDA.
- THIS SURVEY CONTAINS 5 SHEETS AND IS NOT CONSIDERED FULL AND COMPLETE WITHOUT ALL SHEETS

<b>SHEET 1 OF 5</b>		<b>BOUNDARY SURVEY</b> SECTIONS 9 & 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST LAKE COUNTY, FLORIDA.	
CLIENT	Chuck Cavaretta, Park Square Homes	ALTERNATE KEYS 1289866, 1289874, 1289904, 1430411, 1639808, 1699959, 1772435, 3540468, 3691334 AND 3900702, FRUITLAND PARK, FL.	
JOB NO.	211025.0020/A/O 044688.001		
ACAD FILE	21103 Park Sq Homes Brndy		
DATE	XXXX	CHECKED BY: JTM	
DRAWN BY	SMB	FLD. BOOK: 0-19-24/11	
REVISIONS		DATE	
CERTIFIED TO: PARK SQUARE ENTERPRISES, LLC		DATE: JOHN T. McGLORHN, PROFESSIONAL SURVEYOR & MAPPER FLORIDA REGISTRATION NO. 6023	
<b>DRAFT COPY 7/21/2021</b>			
DATE:			
JOHN T. McGLORHN, PROFESSIONAL SURVEYOR & MAPPER FLORIDA REGISTRATION NO. 6023			
		 902 North Sinclair Avenue Tavares, Florida 32778 Office: 352.343.8481 Fax: 352.343.8495 Licensed Business Number: 8349	

# BOUNDARY SURVEY

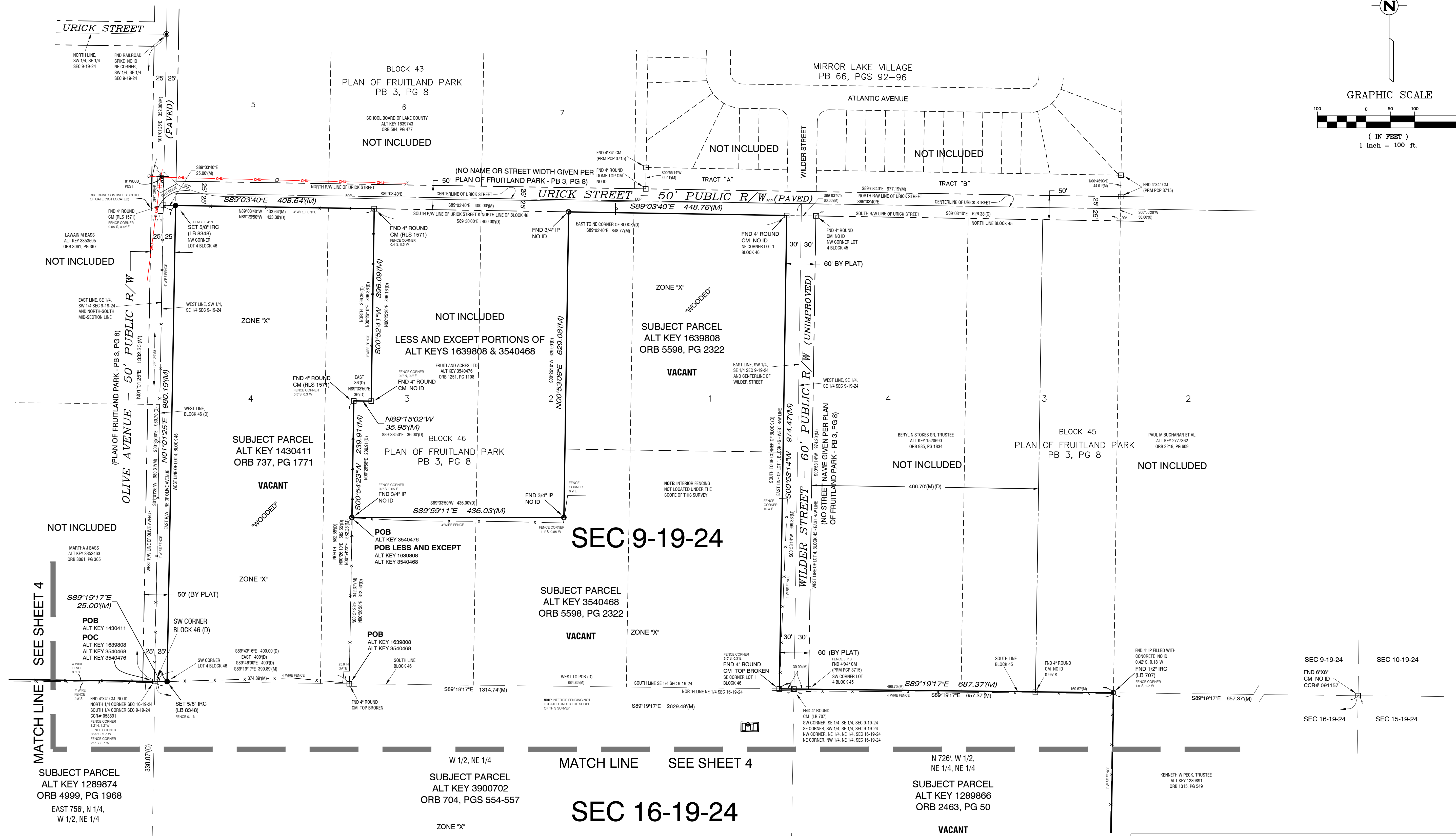
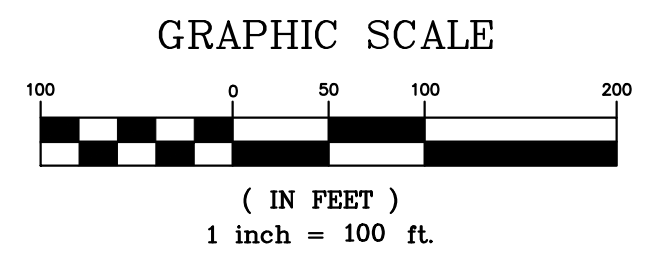
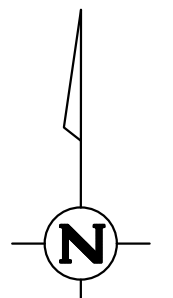


## KEY MAP

DRAFT COPY 7/21/2021

SHEET 2 OF 5		BOUNDARY SURVEY	
		SECTIONS 9 & 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST LAKE COUNTY, FLORIDA.	
CLIENT	Chuck Cavaretta, Park Square Homes	ALTERNATE KEYS	1289866, 1289874, 1289904, 1430411, 1639808, 1699959, 1772435, 3540468, 3691334 AND 3900702, FRUITLAND PARK, FL
JOB NO.	211025.0020/AVO 044888.001		
ACAD FILE	21103 Park Sq Homes Bndy		
DATE	XXXX	CHECKED BY:	JTM
DRAWN BY:	SMB	FLD. BOOK:	9-19-24/II
REVISIONS		DATE	
<b>HALFF</b> <small>502 North Sinclair Avenue Tavares, Florida 32778</small>		<small>Office: 352.343.8481 Fax: 352.343.8495 Licensed Business Number: 8348</small>	

# BOUNDARY SURVEY



**SEC 9-19-24**

**SEC 16-19-24**

SHEET 3 OF 5	
CLIENT	Chuck Cavaretta, Park Square Homes
JOB NO.	211003.0020/AVO 044888.001
ACAD FILE	21103 Park Sq Homes Bndy
DATE	XXXX CHECKED BY: JTM
DRAWN BY:	SMB FLD BOOK: 9-19-24/II
REVISIONS	DATE

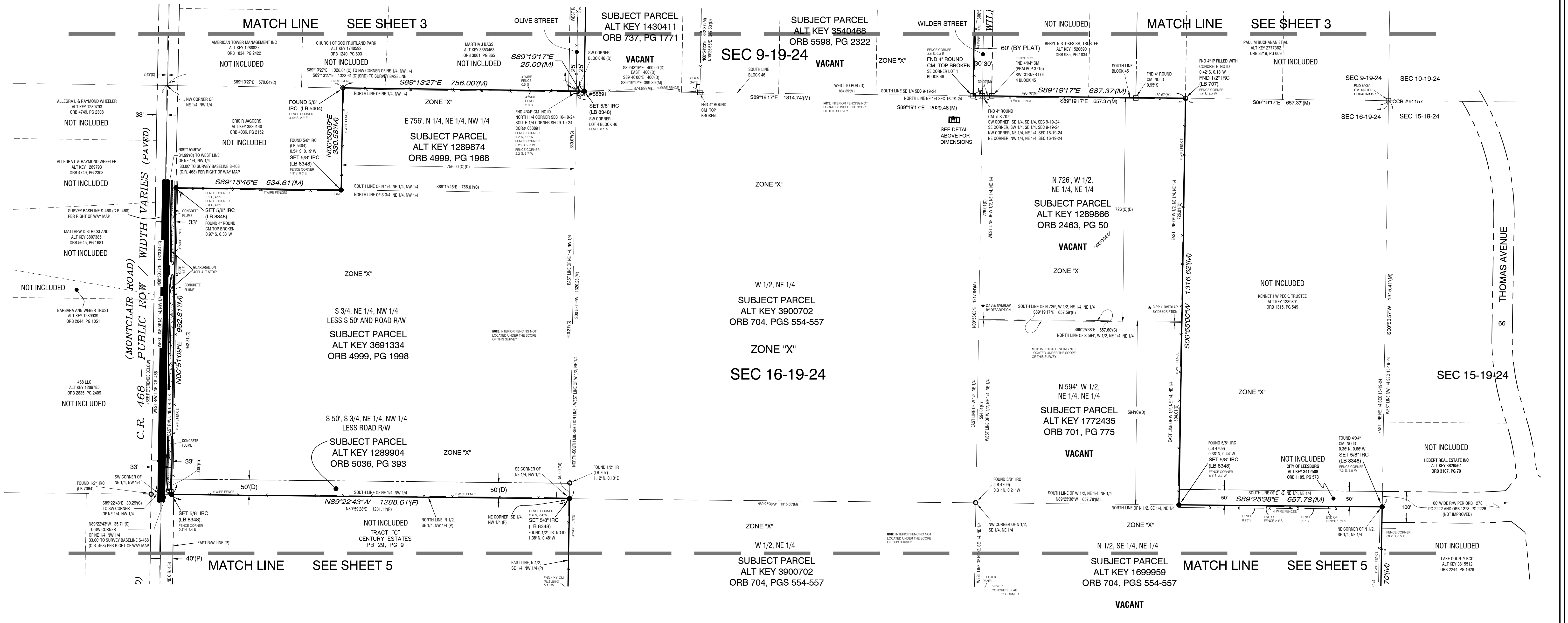
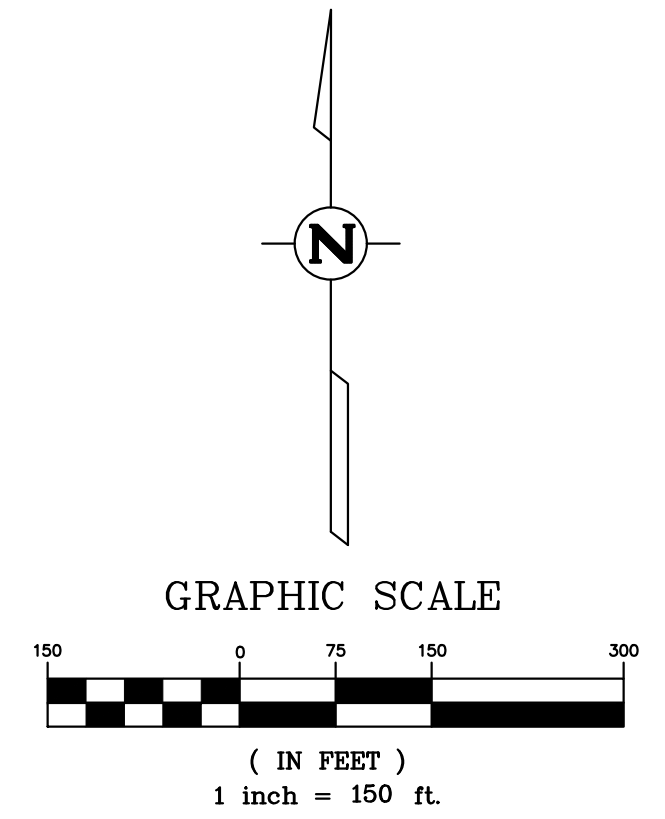
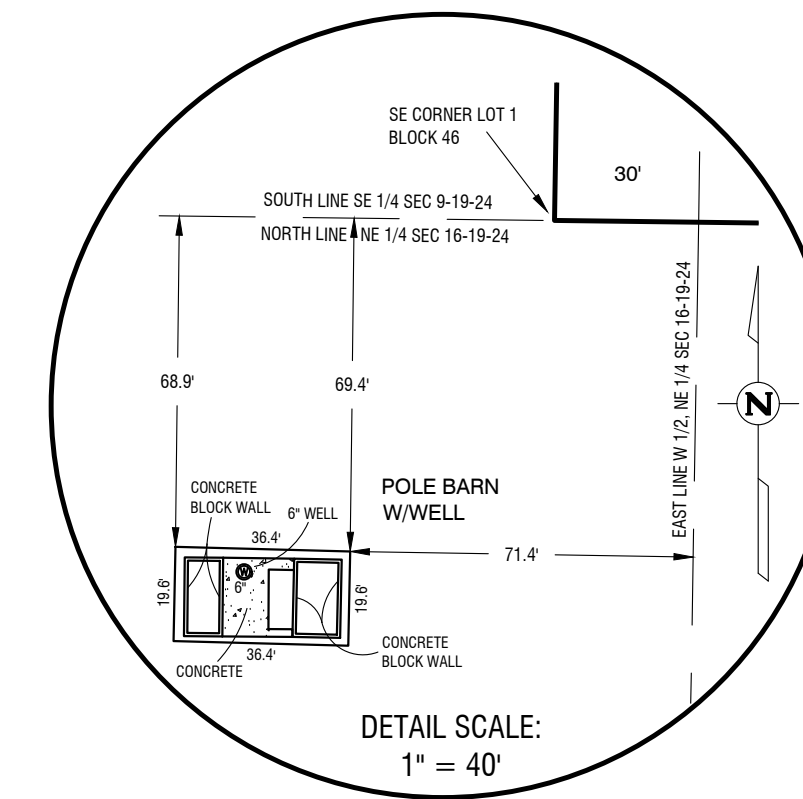
**BOUNDARY SURVEY**  
 SECTIONS 9 & 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST  
 LAKE COUNTY, FLORIDA.

ALTERNATE KEYS 1289866, 1289874, 1289904,  
 1430411, 1639808, 1699959, 1772435, 3540468,  
 3691334 AND 3900702, FRUITLAND PARK, FL

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 Licensed Business Number: 8349

**DRAFT COPY 7/21/2021**

# BOUNDARY SURVEY



\* NOTE:  
 COUNTY ROAD 468 (S-468) SURVEY BASELINE AND RIGHT OF WAY INFORMATION  
 WERE OBTAINED FROM STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF  
 WAY MAP OF S-468, SECTION 11650-2150, SHEET 3, DATED 8-25-58.  
 MAP BOOK 6, PAGE 150, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

SHEET 4 OF 5	
CLIENT	Chuck Cavaretta, Park Square Homes
JOB NO.	211003.0000/AVO 044888.001
ACAD FILE	21103 Park Sq Homes Bndy
DATE	XXXX CHECKED BY: JTM
DRAWN BY:	SMB FLD BOOK: 0-19-24/II
REVISIONS	DATE

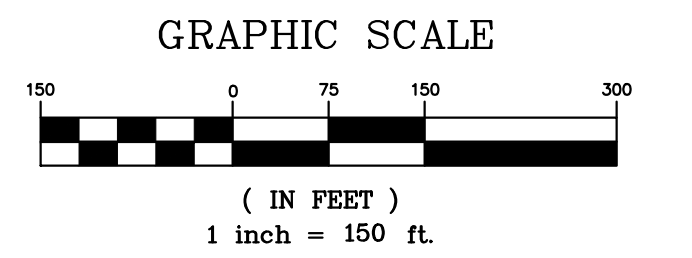
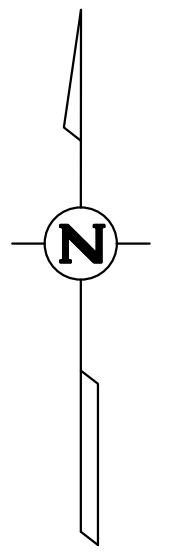
**BOUNDARY SURVEY**  
 SECTIONS 9 & 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST  
 LAKE COUNTY, FLORIDA.

ALTERNATE KEYS 1289866, 1289874, 1289904,  
 1430411, 1639808, 1699959, 1772435, 3540468,  
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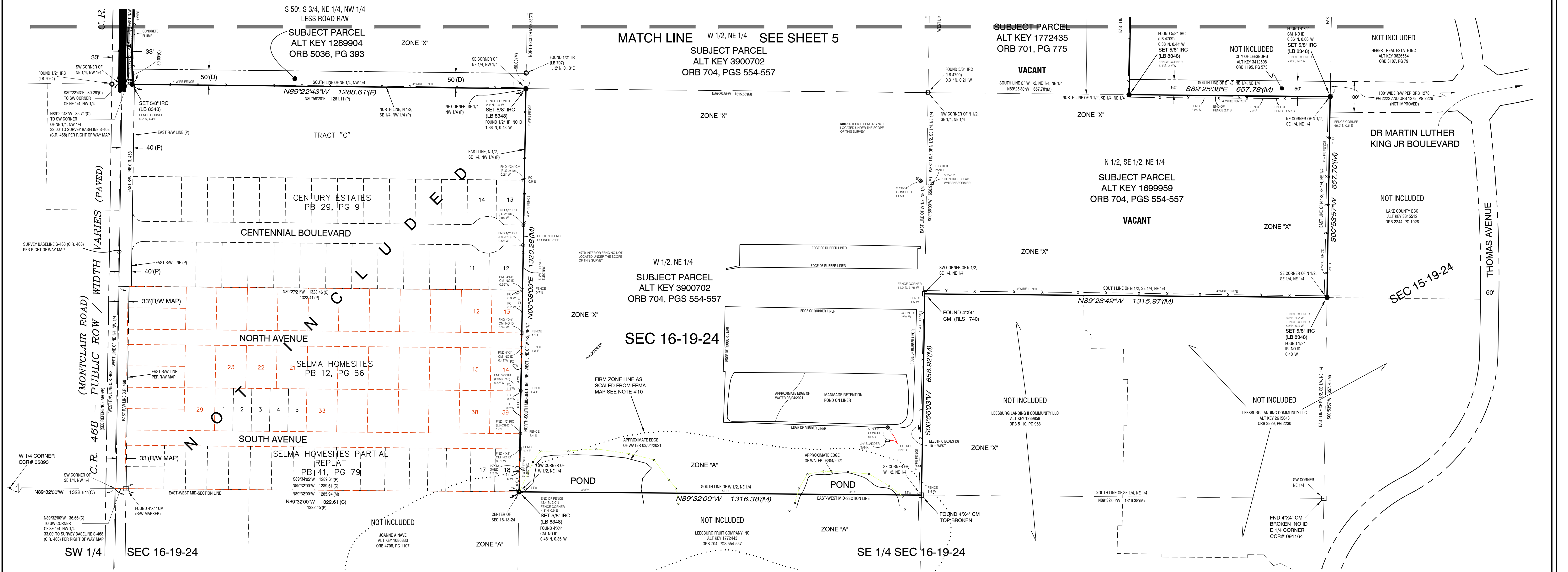
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# BOUNDARY SURVEY



**\* NOTE:**  
 COUNTY ROAD 468 (S-468) SURVEY BASELINE AND RIGHT OF WAY INFORMATION WERE OBTAINED FROM STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP OF S-468, SECTION 11650-2150, SHEET 3, DATED 8-25-58. MAP BOOK 6, PAGE 150, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.



<b>SHEET 5 OF 5</b>		<b>BOUNDARY SURVEY</b>	
		SECTIONS 9 & 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST LAKE COUNTY, FLORIDA.	
CLIENT	Chuck Cavaretta, Park Square Homes	ALTERNATE KEYS	1289866, 1289874, 1289904, 1430411, 1639808, 1699959, 1772435, 3540468, 3691334 AND 3900702, FRUITLAND PARK, FL
JOB NO.	211003.0000		
ACAD FILE	11103 Park Sq Homes Bndy		
DATE	XXXX	CHECKED BY:	JTM
DRAWN BY:	SMB	FLD. BOOK:	9-19-24/II
REVISIONS		DATE	

**DRAFT COPY 7/21/2021**

**HALFF**  
 502 North Sinclair Avenue  
 Tavares, Florida 32778  
 Office: 352.343.8481  
 Fax: 352.343.8495  
 Licensed Business Number: 8349

LAND USE ENTITLEMENT TABLE							
PHASE	SINGLE FAMILY DETACHED (DU)				COMMON AREA (AC)	COMMERCIAL (AC)	INSTITUTIONAL (AC)
	50' WIDE LOT	60' WIDE LOT	70' WIDE LOT	TOTAL			
PHASE 1	141	15	7	163	31.74	0.00	0.00
TOTAL	141	15	7	163	31.74	0.00	0.00

**OVERALL SITE DATA**

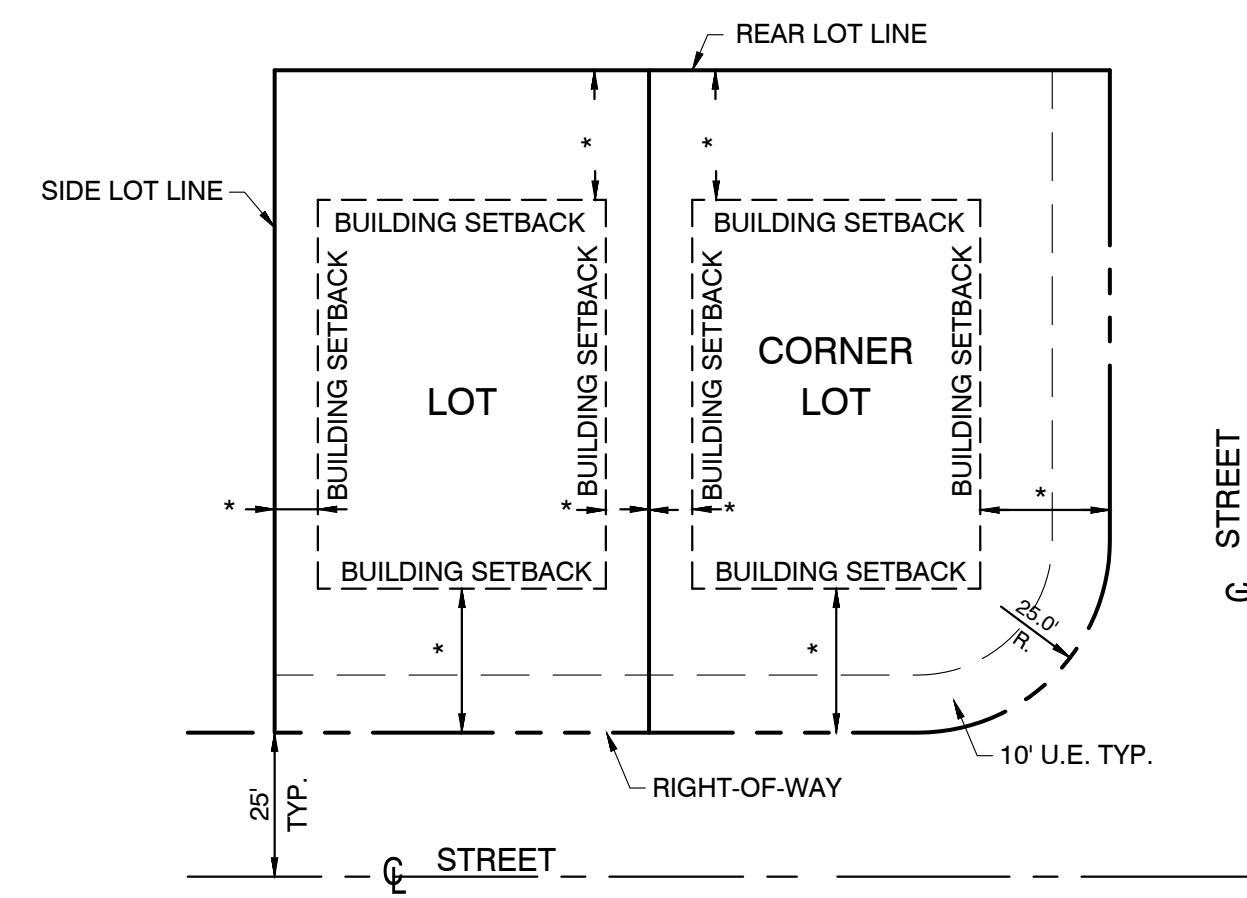
EXISTING ZONING: CITY OF FRUITLAND PARK MUPUD (ORD# 2019-003)  
 LAND USE DESIGNATION: MIXED USE  
 TOTAL PROJECT AREA: ±177.70 AC  
 FLOOD PLAIN: ZONE 'X'; ZONE 'A' PER FEMA PANEL 12069C0306E, 12069C0308E, 12069C0309E, DATED 12/18/2012  
 STORMWATER CONVEYANCE SYSTEM SHALL BE THROUGH SWALES AND STORM PIPE NETWORK TO RETENTION PONDS AND SHALL COMPLY WITH SJRWMD AND CITY OF FRUITLAND PARK STORMWATER DESIGN STANDARDS.  
 ALL EASEMENTS WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.  
 LANDSCAPE BUFFERS ARE SHOWN ON PRELIMINARY PLAT. PLANT SPECIES AND PLANTINGS ARE TO MEET THE CITY OF FRUITLAND PARK LAND DEVELOPMENT REGULATIONS AND THE PUD.  
 WATER: CITY OF FRUITLAND PARK  
 IRRIGATION: CITY OF FRUITLAND PARK  
 SEWER: CITY OF FRUITLAND PARK  
 POWER: DUKE ENERGY  
 PHONE: CENTURYLINK  
 CABLE: COMCAST

**PHASE 1 SITE DATA**

TOTAL AREA OF PHASE 1: ±68.77 AC  
 IMPERVIOUS AREA PHASE 1: ±24.16 AC (35.1% OF TOTAL PROPERTY)  
 PERVIOUS AREA PHASE 1: ±44.61 AC (64.9% OF TOTAL PROPERTY)  
 TOTAL GROSS DENSITY PHASE 1: 2.37 UNITS/AC  
 MAX LOT COVERAGE: 60%  
 TOTAL AREA OF LOTS: ±25.05 AC  
 TOTAL AREA OF DRAINAGE FACILITIES: ±3.95 AC  
 TOTAL AREA OF LANDSCAPED BUFFER: ±19.51 AC  
 TOTAL AREA OF OPEN SPACE: ±18.26 AC  
 TOTAL AREA OF RIGHT OF WAY: ±11.90 AC  
 TOTAL AREA OF DEDICATED TRACTS: ±0.09 AC  
 AVERAGE LOT SIZE: 0.14 AC  
 MAX HEIGHT OF BUILDINGS: 35 FT  
 LENGTH OF ROADS: ±1.83 MILES (9,682 LINEAL FT)  
 LENGTH OF SIDEWALKS: ±17,673 LINEAL FT  
 LENGTH OF TRAILS: ±5,429 LINEAL FT  
 LENGTH OF STOPBAR STRIPING: ±244.34 LINEAL FT  
 LENGTH OF CROSSWALK STRIPING: ±1,816.00 LINEAL FT  
 # OF CROSSWALKS: ±42  
 # OF ADA RAMPS: ±18  
 # OF ADA WARNING MATS: ±51  
 # OF SIGN ASSEMBLIES: ±19

- NOTES:**
- ALL AREAS NOT OTHERWISE DEDICATED TO THE PUBLIC OR THE CITY SHALL BE NOTED PRIVATE AND THE HOA / DEVELOPER WILL BE RESPONSIBLE FOR THEIR INFRASTRUCTURE.
  - STREET LIGHTING SHALL BE THE DEVELOPERS RESPONSIBILITY.
  - ALL WORK SHALL CONFORM TO THE CITY OF FRUITLAND PARK STANDARD DETAILS AND APPLICABLE LAND DEVELOPMENT REGULATIONS.
  - 48-HOUR INSPECTION NOTICE SHALL BE PROVIDED FOR INFRASTRUCTURE AND OBSERVE TESTING. TESTING SHALL BE PROVIDED AS PART OF THE CONSTRUCTION AND SHALL BE AT NO COST TO THE CITY. TESTING SHALL BE PERFORMED BY AN INDEPENDENT ENGINEERING TESTING LABORATORY CERTIFIED IN THE STATE OF FLORIDA.
  - NO TRENCH OR EXCAVATION SHALL BE LEFT OPEN OR UNATTENDED OVERNIGHT, UNLESS THE EXCAVATIONS WITHIN THE CLEAR ZONE OF THE ROADWAY MEET THE DROP OFF CRITERIA OF THE LATEST FDOT DESIGN STANDARDS (INDEX 102) (OF PROPERLY BARRICADED AND SECURED EXCAVATIONS).
  - ALL EARTHWORK MUST BE COMPACTED IN ACCORDANCE WITH FDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE SITE-SPECIFIC GEOTECHNICAL REPORT.
  - ALL CONCRETE SIDEWALK AND DRIVEWAY CONSTRUCTION SHALL BE PERFORMED ON THE COMPACTED SUBGRADE. APPLICANT MUST PROVIDE CONTINUOUS ON-SITE SUPERVISION UNTIL CONCRETE HAS SET SUFFICIENTLY TO ELIMINATE POSSIBILITY OF FOOTPRINTS OR GRAFFITI IN THE FINISH. CONCRETE THAT IS DAMAGED BY SEVERE MARKS SHALL BE REMOVED AND REPLACED.
  - RESTORE ANY DISTURBED AREAS TO ITS ORIGINAL CONDITION.
  - A MAINTENANCE OF TRAFFIC PLAN FOR ANY DISRUPTION OF THE PUBLIC RIGHTS-OF-WAY SHALL BE PROVIDED BY A REGISTERED AND/OR LICENSED ENGINEERING PROFESSIONAL.

TRACT DATA			
TRACT	DESCRIPTION	AREA	OWNED/MAINTAINED
A	OPEN SPACE	0.80 AC	H.O.A.
B	OPEN SPACE/DRY RETENTION	1.59 AC	H.O.A.
C	OPEN SPACE	0.08 AC	H.O.A.
D	OPEN SPACE	1.65 AC	H.O.A.
E	LIFT STATION	0.09 AC	CITY OF FRUITLAND PARK
F	OPEN SPACE / DRY RETENTION	12.57 AC	H.O.A.
G	ACTIVE PARK	4.95 AC	H.O.A.
H	OPEN SPACE / DRY RETENTION	2.85 AC	H.O.A.
I	OPEN SPACE	7.24 AC	DEVELOPER

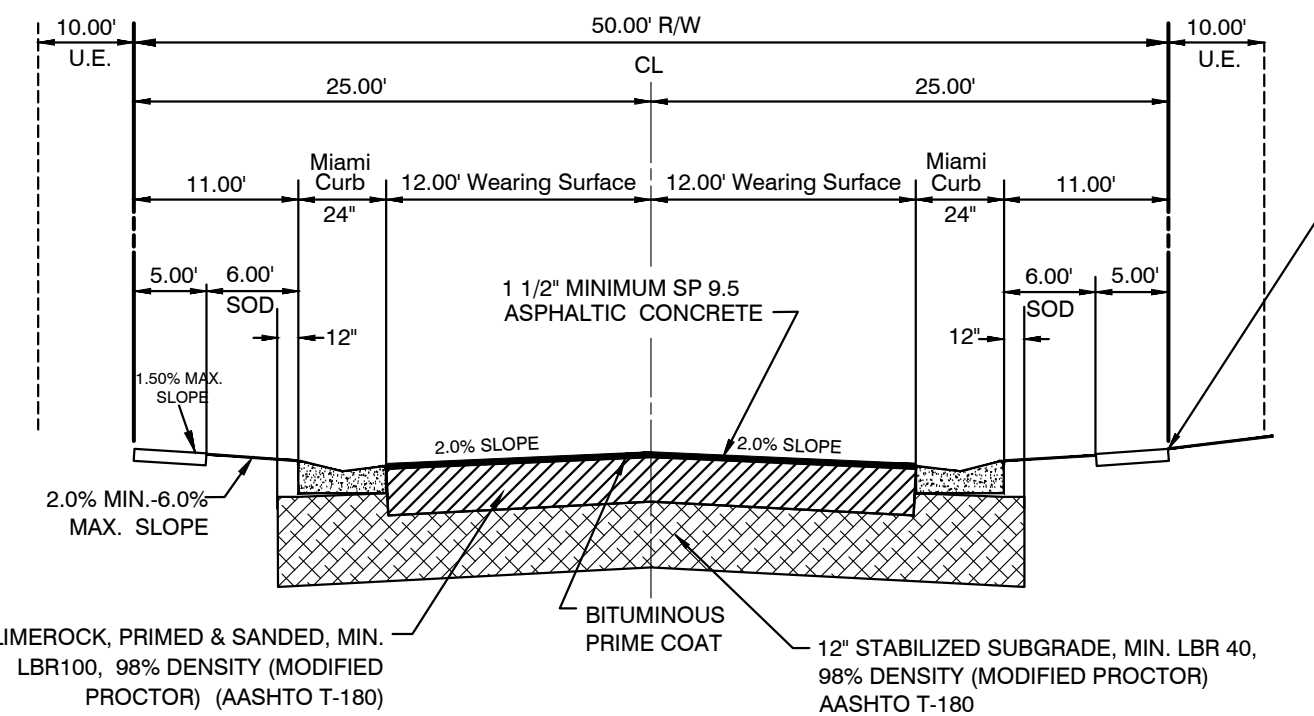


**SINGLE FAMILY DETACHED TYPICAL LOT DETAIL**  
 NOT TO SCALE  
 \* - SEE SITE DATA THIS SHEET

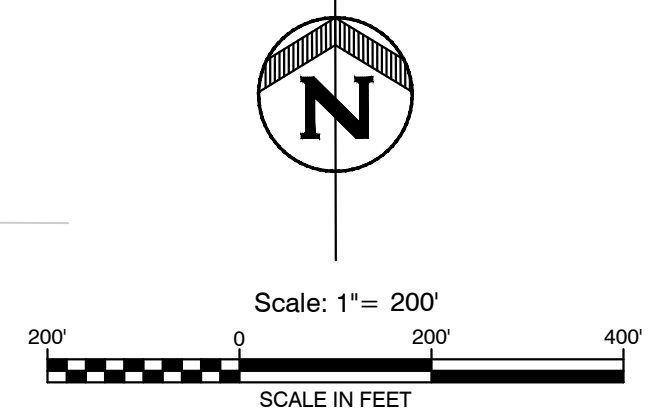
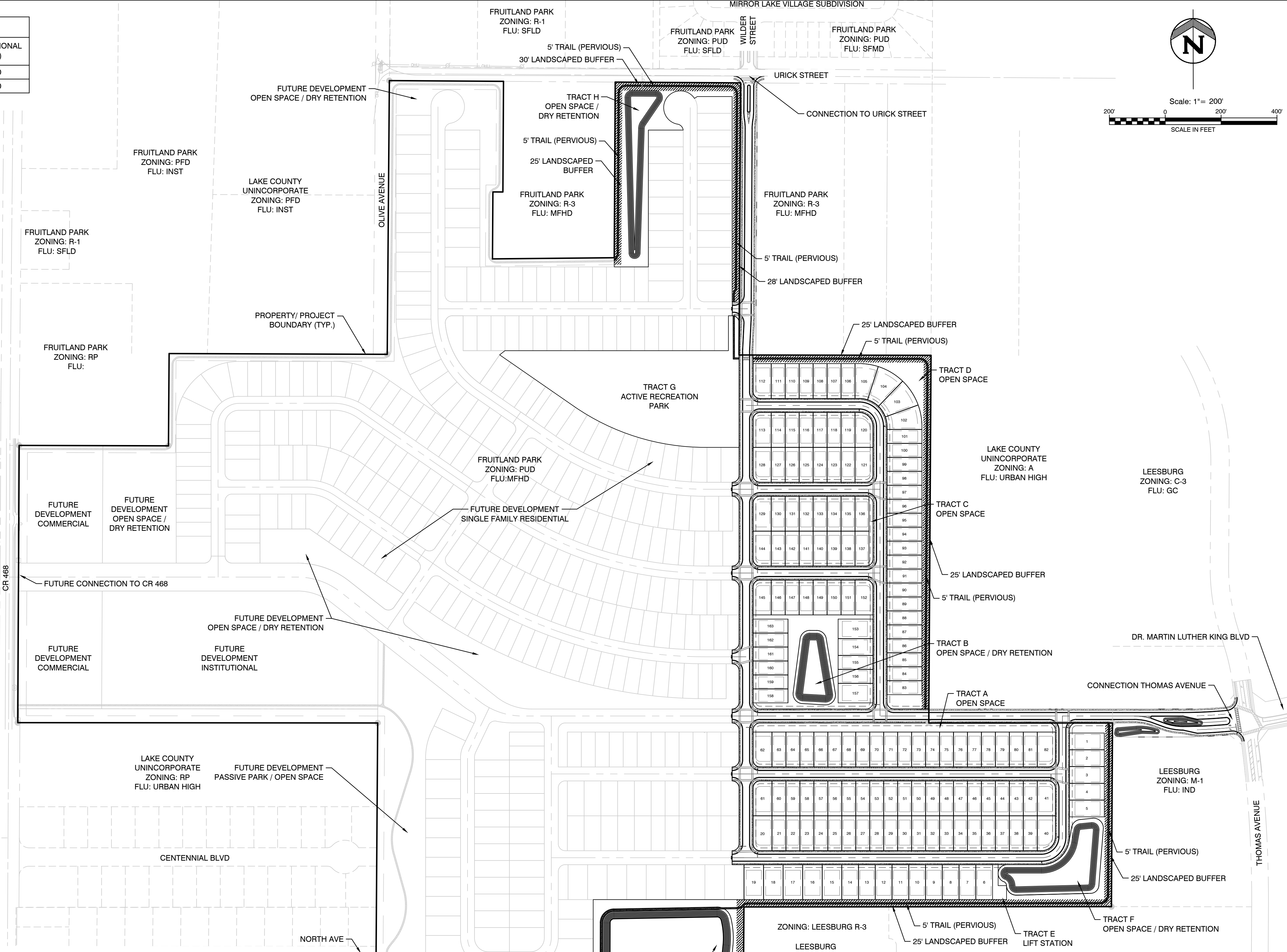
PRIMARY SETBACKS:  
 FRONT (HOUSE): 20'  
 FRONT (GARAGE): 25'  
 FRONT (PORCH): 20'  
 SIDE: 5' (ADJACENT 50' & 60' LOTS)  
 7.5' (ADJACENT 70' LOT)  
 REAR (ADJACENT LOT): 10'  
 REAR (ROADWAY): 15'

CORNER LOT SETBACKS:  
 SIDE (GARAGE): 25'  
 SIDE (ROADWAY): 15'  
 REAR: 20'

ACCESSORY STRUCTURES:  
 5' FROM PROPERTY LINES



**TYPICAL INTERIOR ROAD SECTION**  
 NOT TO SCALE



REVISION	DATE
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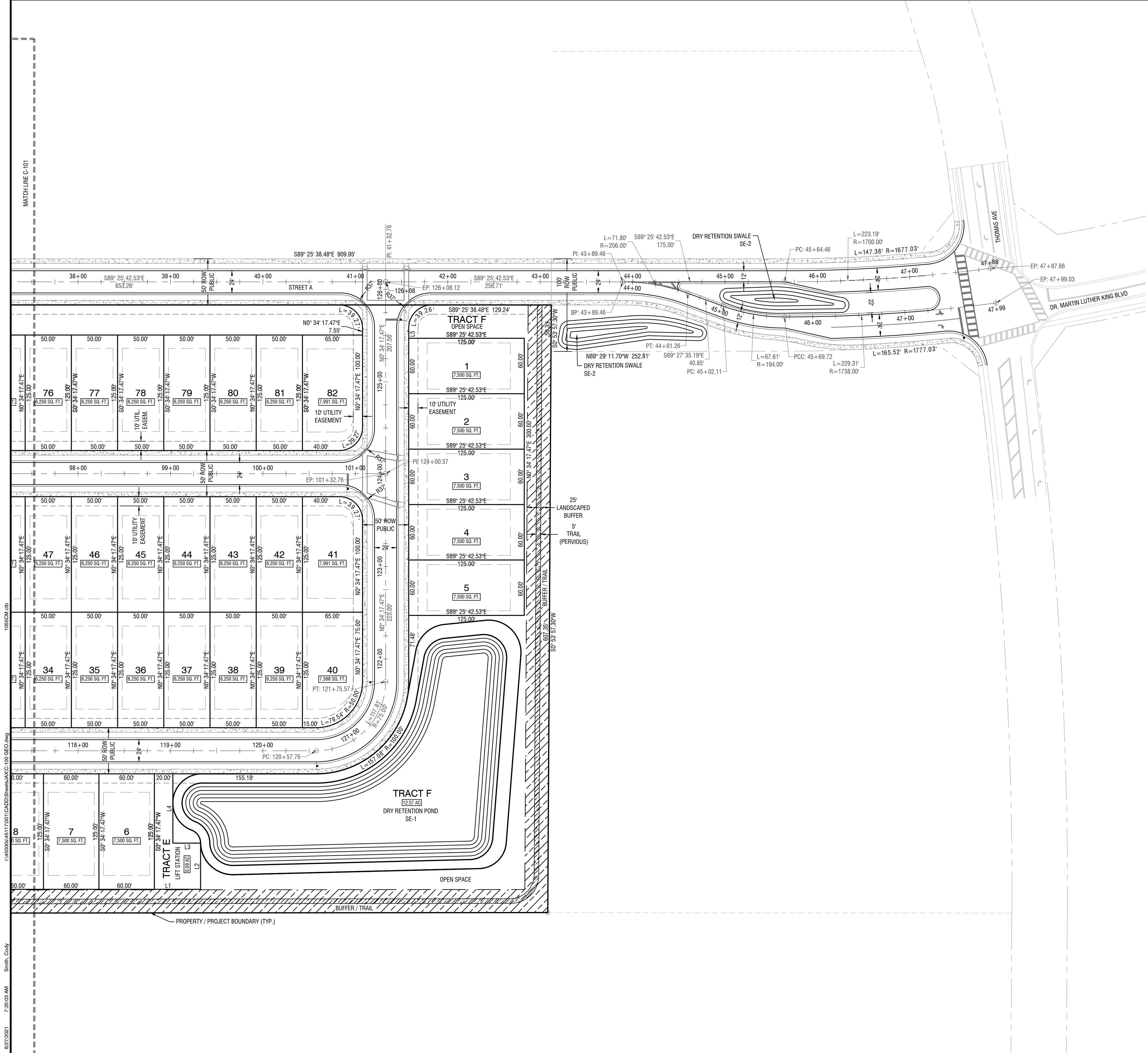
**PARK SQUARE FRUITLAND PARK - PHASE 1**  
**FRUITLAND PARK, FL**  
 C-001  
**MASTER PLAN**

**HALFF**  
 902 North Sinclair Ave.  
 Tallahassee, Florida 32378  
 Office: 352.343.9481  
 Fax: 352.343.9485  
 Certificate of Authorization Number: 33380

DATE: 8/27/2021  
 DESIGNED BY: CBS  
 DRAWN BY: TKG/NTD  
 CHECKED BY: MAC  
 JOB NO.: 045117.001  
**C-001**

CHARLES C. HIOTT, PE  
 Registered Eng 54813

PRE-PLAT SET - NOT FOR CONSTRUCTION



**- LEGEND -**

---	ROAD CENTERLINE	---	EASEMENT
---	RIGHT OF WAY (PROPOSED)	---	BUILDING SETBACK
---	RIGHT OF WAY (EXISTING)	---	EDGE OF ROAD / BACK OF CURB
---	PROPERTY LINE	---	PROPOSED RETAINING WALL

- NOTES:**
1. ALL PAVEMENT BUTT JOINTS, SIDEWALKS, SIDEWALK CURB RAMPS, AND RESIDENTIAL DRIVEWAY APRONS SHALL ADHERE TO CURRENT CITY OF FRUITLAND PARK CONSTRUCTION STANDARDS.
  2. ALL CONCRETE SIDEWALK AND DRIVEWAY CONSTRUCTION SHALL BE PERFORMED ON THE COMPACTED SUBGRADE. APPLICANT MUST PROVIDE CONTINUOUS ON-SITE SUPERVISION UNTIL CONCRETE HAS SET SUFFICIENTLY TO ELIMINATE POSSIBILITY OF FOOTPRINTS OR GRAFFITI IN THE FINISH. CONCRETE THAT IS DAMAGED BY SEVERE MARKS SHALL BE REMOVED AND REPLACED.

**PARCEL LINE AND CURVE TABLE**

LINE#/CURVE#	LENGTH	BEARING/DELTA	RADIUS
L1	50.00	N89° 25' 42.53"W	
L2	50.00	S0° 34' 17.47"W	
L3	30.00	S89° 25' 42.53"E	
L4	75.00	S0° 34' 17.47"W	
L5	382.56	S0° 34' 17.47"W	

DATE									
REVISION									

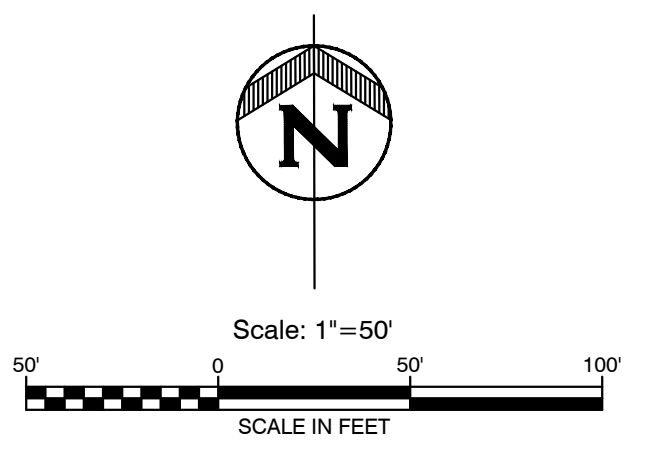
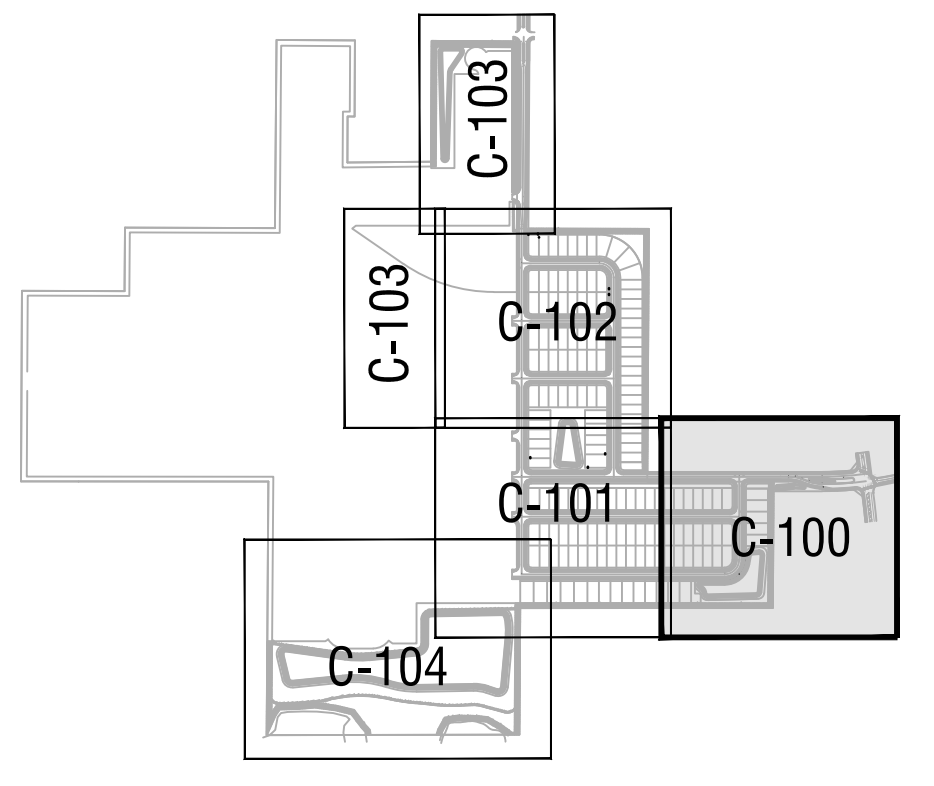
**PARK SQUARE FRUITLAND PARK - PHASE 1**  
**FRUITLAND PARK, FL**  
 C-100  
 PRE-PLAT

902 North Sinclair Ave.  
 Tallahassee, Florida 32378  
 Office: 352.343.9481  
 Fax: 352.343.9495  
 Certificate of Authorization Number: 33580

DATE:	8/27/2021
DESIGNED BY:	CBS
DRAWN BY:	TGK/NTD
CHECKED BY:	MAC
JOB NO.:	045117.001

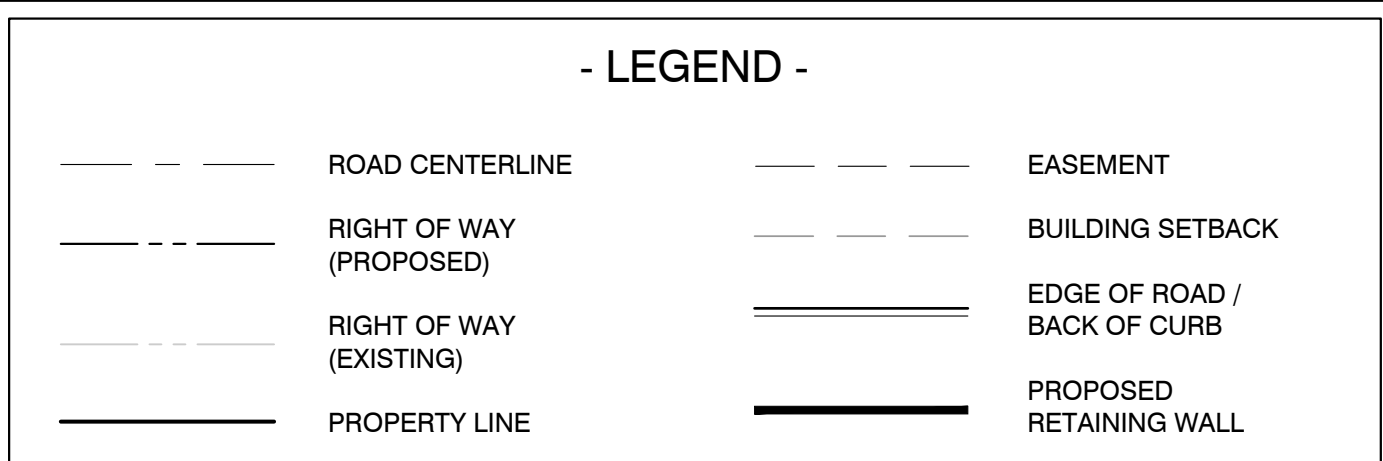
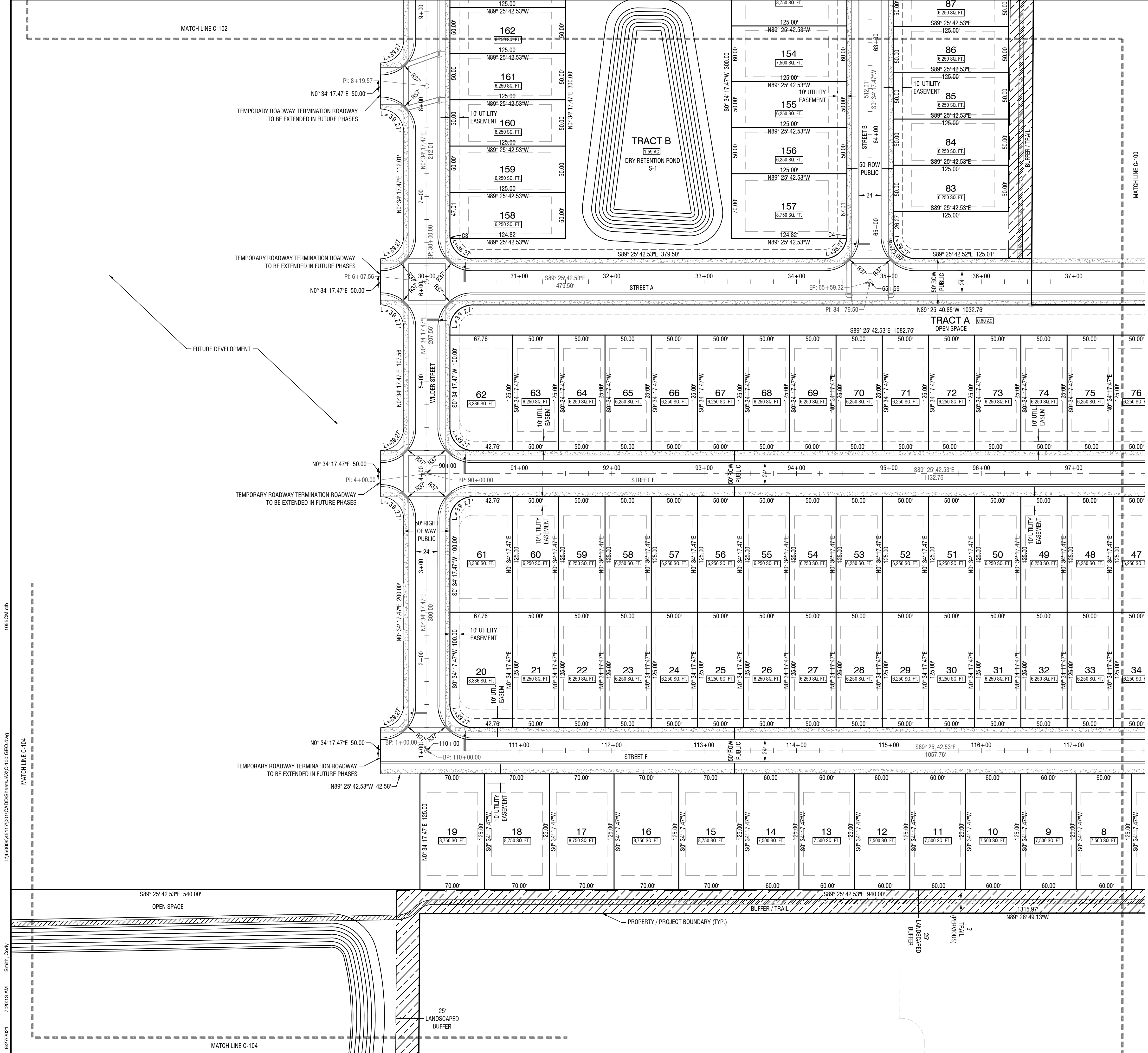
**C-100**

CHARLES C. HIOTT, PE  
 Registered Eng 54813



8/27/2021 7:20:03 AM Smith, Cody  
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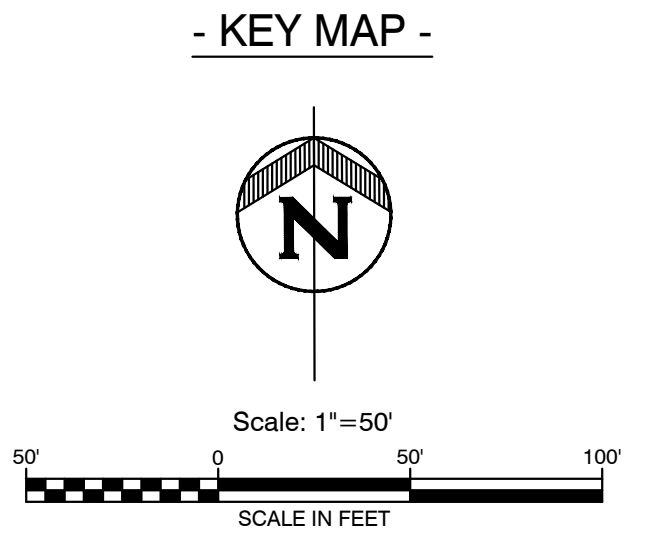
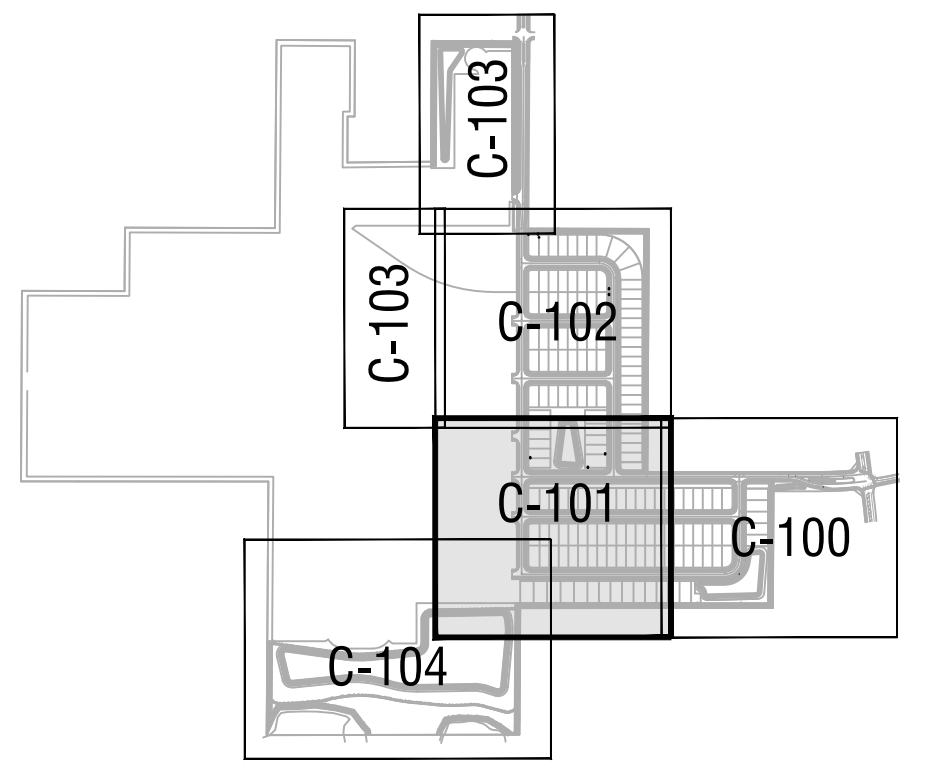


**PARCEL LINE AND CURVE TABLE**

LINE#/CURVE#	LENGTH	BEARING/DELTA	RADIUS
C3	3.00	6.87	25.00
C4	3.00	6.87	25.00

DATE	REVISION
	1
	2
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**PARK SQUARE FRUITLAND PARK - PHASE 1**  
**FRUITLAND PARK, FL**  
**C-101**  
**PRE-PLAT**

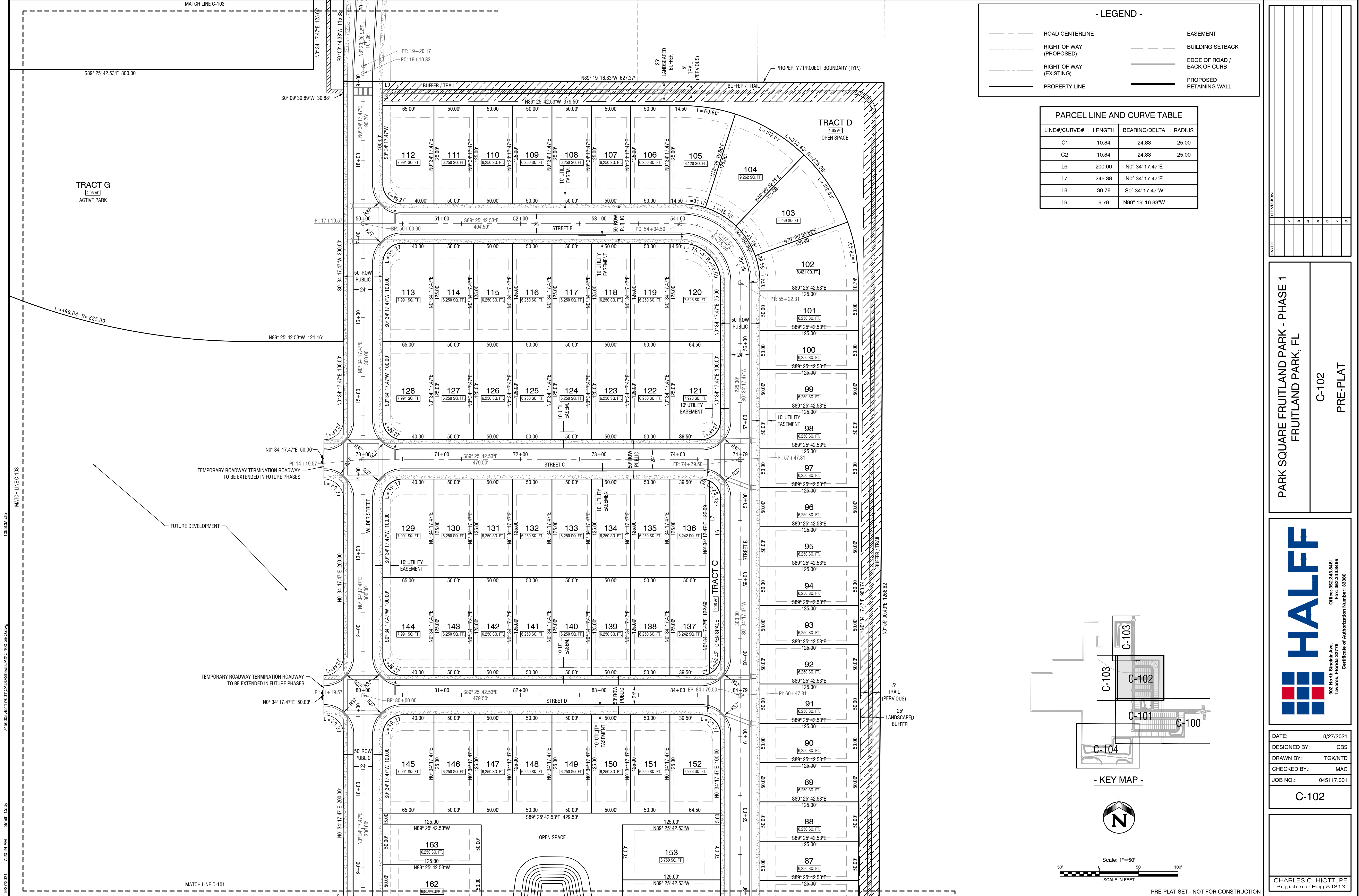


DATE: 8/27/2021  
 DESIGNED BY: CBS  
 DRAWN BY: TKG/NTD  
 CHECKED BY: MAC  
 JOB NO.: 045117.001  
**C-101**

CHARLES C. HIOTT, PE  
 Registered Eng 54813

8/27/2021 7:20:13 AM Smith, Cody I:\4500045117\001\CADD\DWG\HALFF\C-100\_GEO.dwg 1055CM.dwg

PRE-PLAT SET - NOT FOR CONSTRUCTION

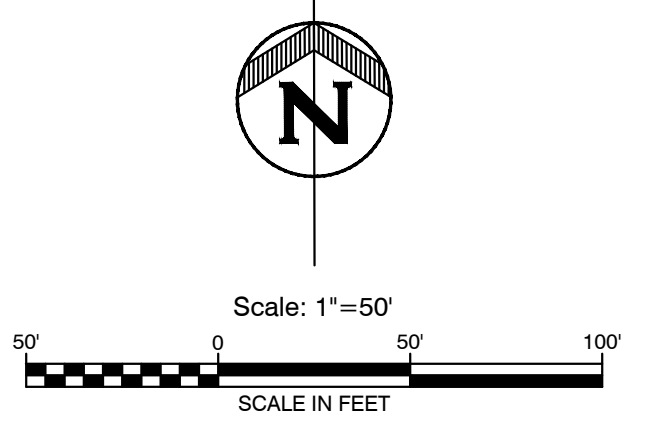
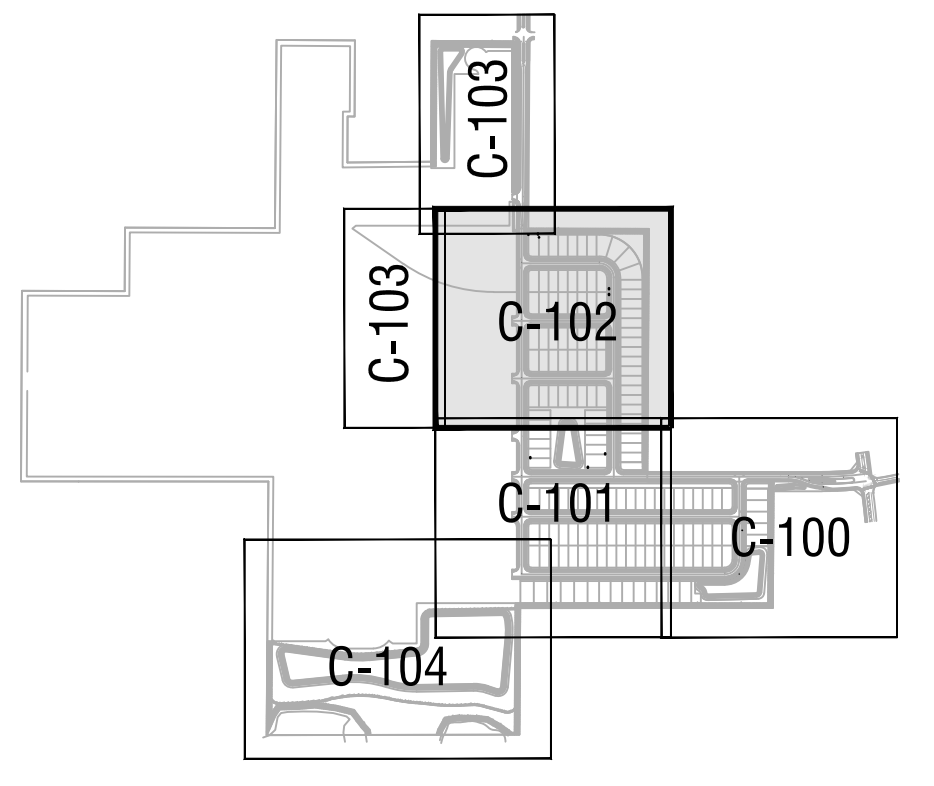


**- LEGEND -**

	ROAD CENTERLINE		EASEMENT
	RIGHT OF WAY (PROPOSED)		BUILDING SETBACK
	RIGHT OF WAY (EXISTING)		EDGE OF ROAD / BACK OF CURB
	PROPERTY LINE		PROPOSED RETAINING WALL

**PARCEL LINE AND CURVE TABLE**

LINE# / CURVE#	LENGTH	BEARING / DELTA	RADIUS
C1	10.84	24.83	25.00
C2	10.84	24.83	25.00
L6	200.00	N0° 34' 17.47"E	
L7	245.38	N0° 34' 17.47"E	
L8	30.78	S0° 34' 17.47"W	
L9	9.78	N89° 19' 16.83"W	



DATE	REVISION
	1
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	6
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**PARK SQUARE FRUITLAND PARK - PHASE 1**  
**FRUITLAND PARK, FL**  
**C-102**  
**PRE-PLAT**

Office: 352.343.9481  
 902 North Sinclair Ave.  
 Tallahassee, Florida 32378  
 Fax: 352.343.9485  
 Certificate of Authorization Number: 33390

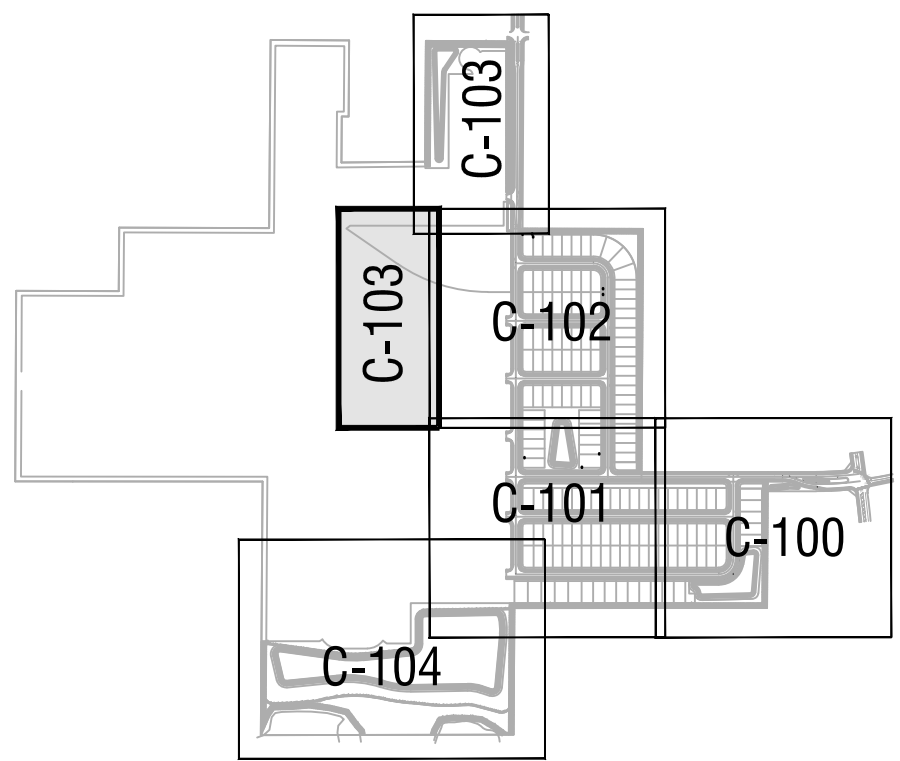
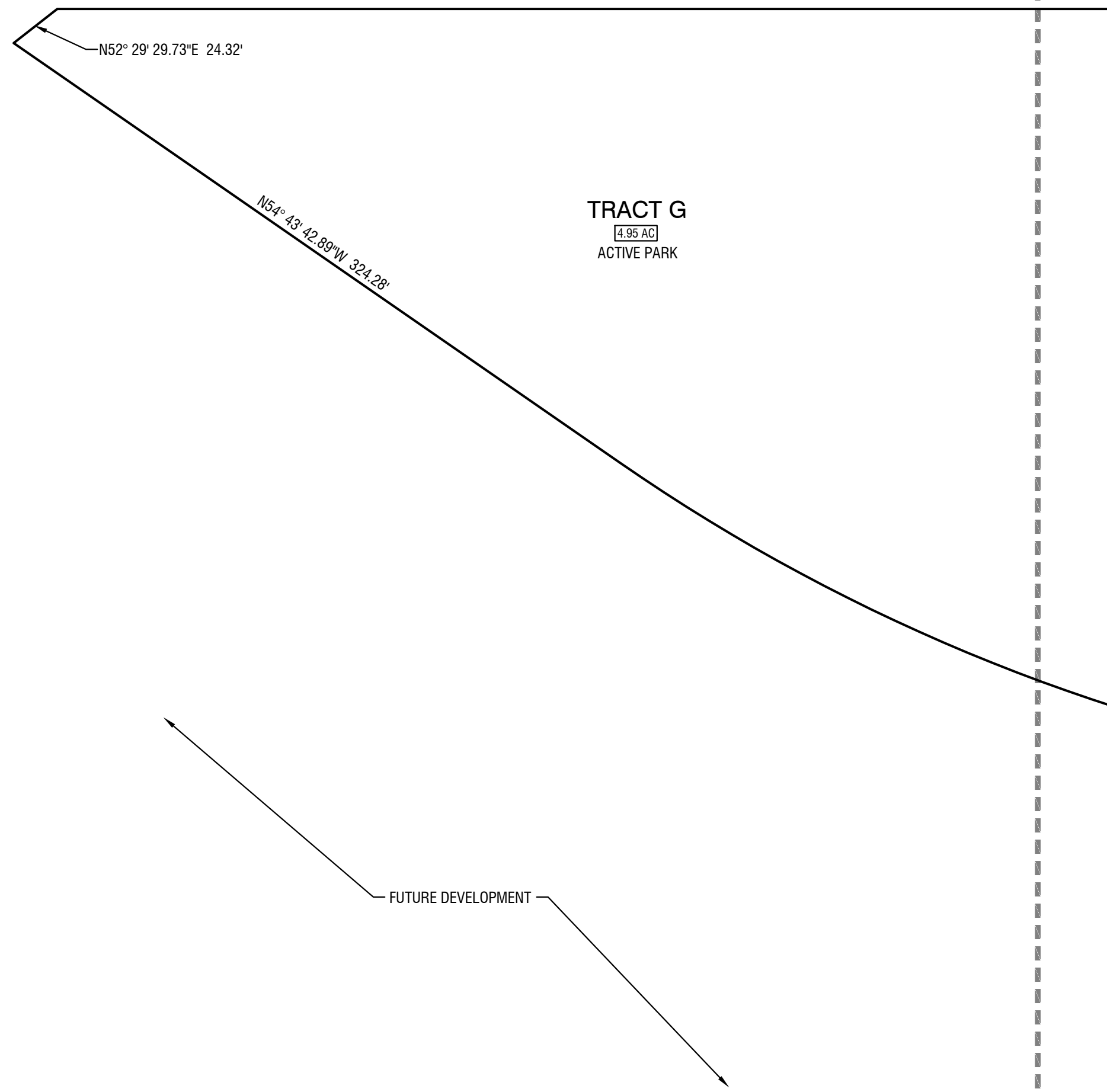
DATE: 8/27/2021  
 DESIGNED BY: CBS  
 DRAWN BY: TKG/NTD  
 CHECKED BY: MAC  
 JOB NO.: 045117.001

**C-102**  
 CHARLES C. HIOTT, PE  
 Registered Eng 54813

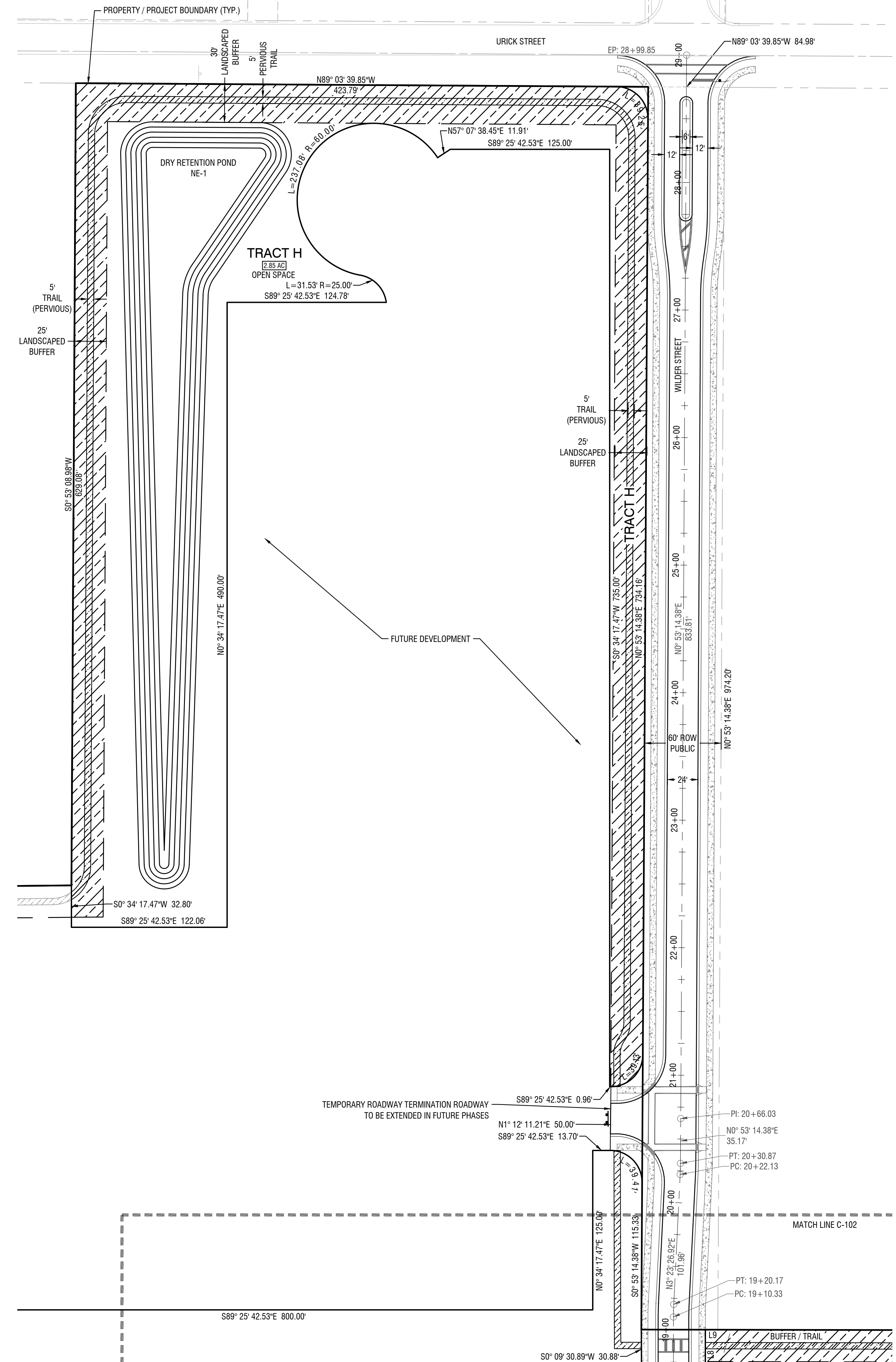
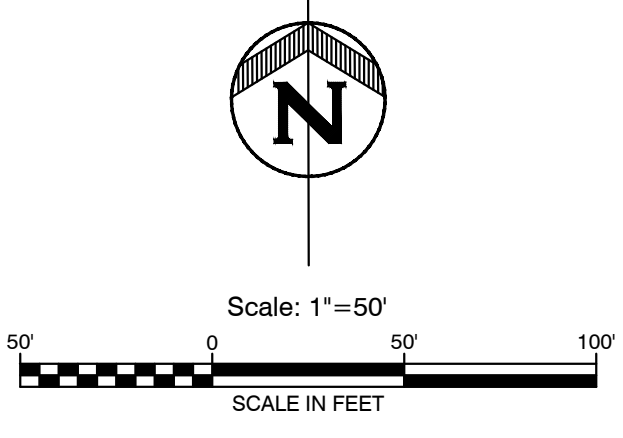
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PRE-PLAT SET - NOT FOR CONSTRUCTION

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- KEY MAP -

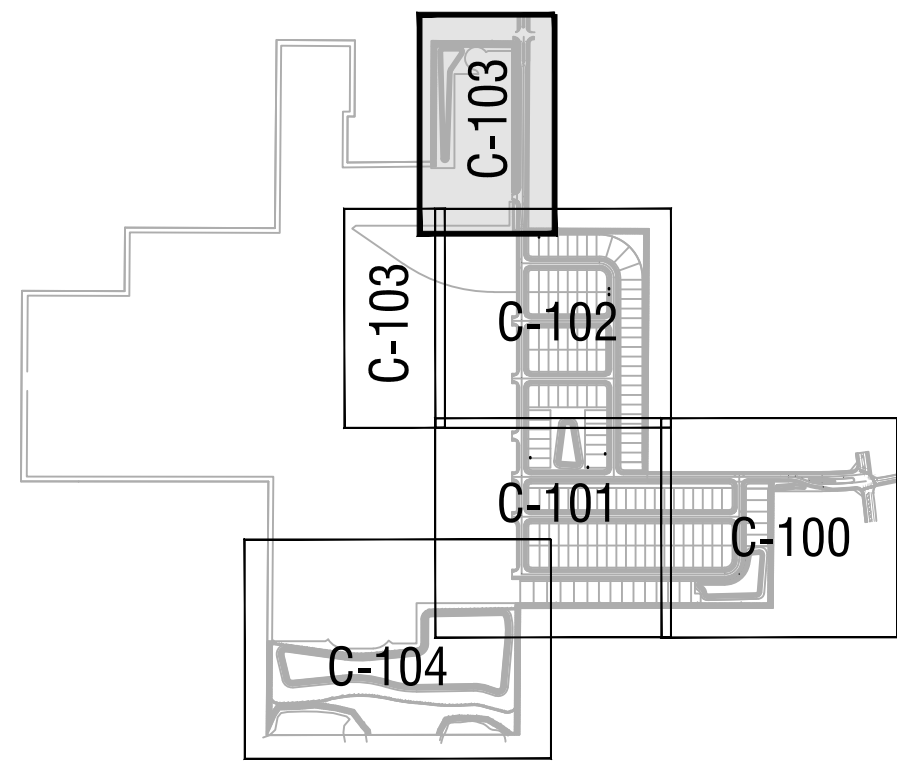


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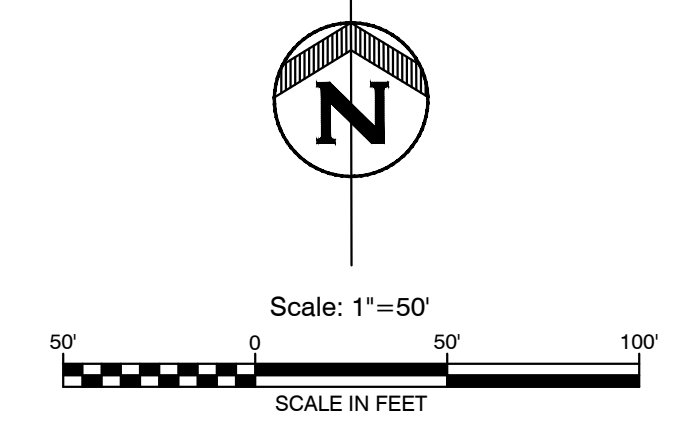
---	ROAD CENTERLINE	---	EASEMENT
- - -	RIGHT OF WAY (PROPOSED)	---	BUILDING SETBACK
---	RIGHT OF WAY (EXISTING)	---	EDGE OF ROAD / BACK OF CURB
---	PROPERTY LINE	---	PROPOSED RETAINING WALL

PARCEL LINE AND CURVE TABLE

LINE#/CURVE#	LENGTH	BEARING/DELTA	RADIUS
L8	30.78	S0° 34' 17.47\"W	
L9	9.78	N89° 19' 16.83\"W	



- KEY MAP -



DATE	REVISION
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PARK SQUARE FRUITLAND PARK - PHASE 1  
FRUITLAND PARK, FL  
C-103  
PRE-PLAT

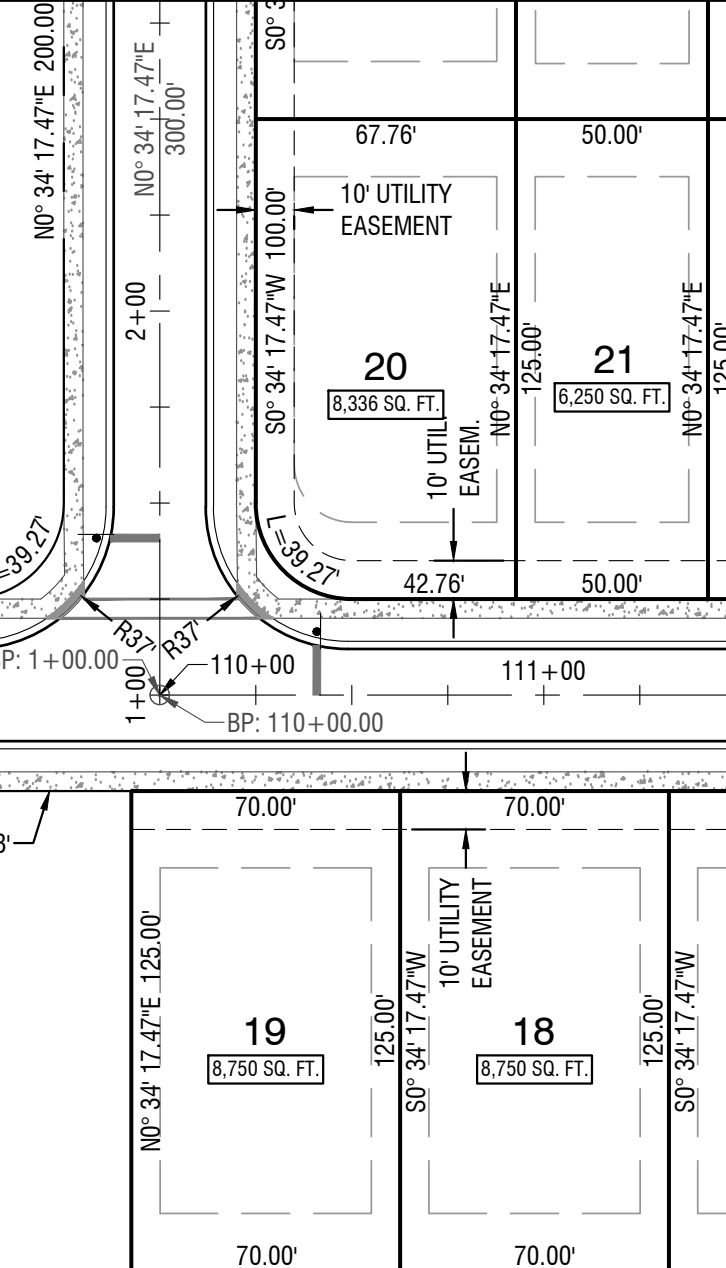
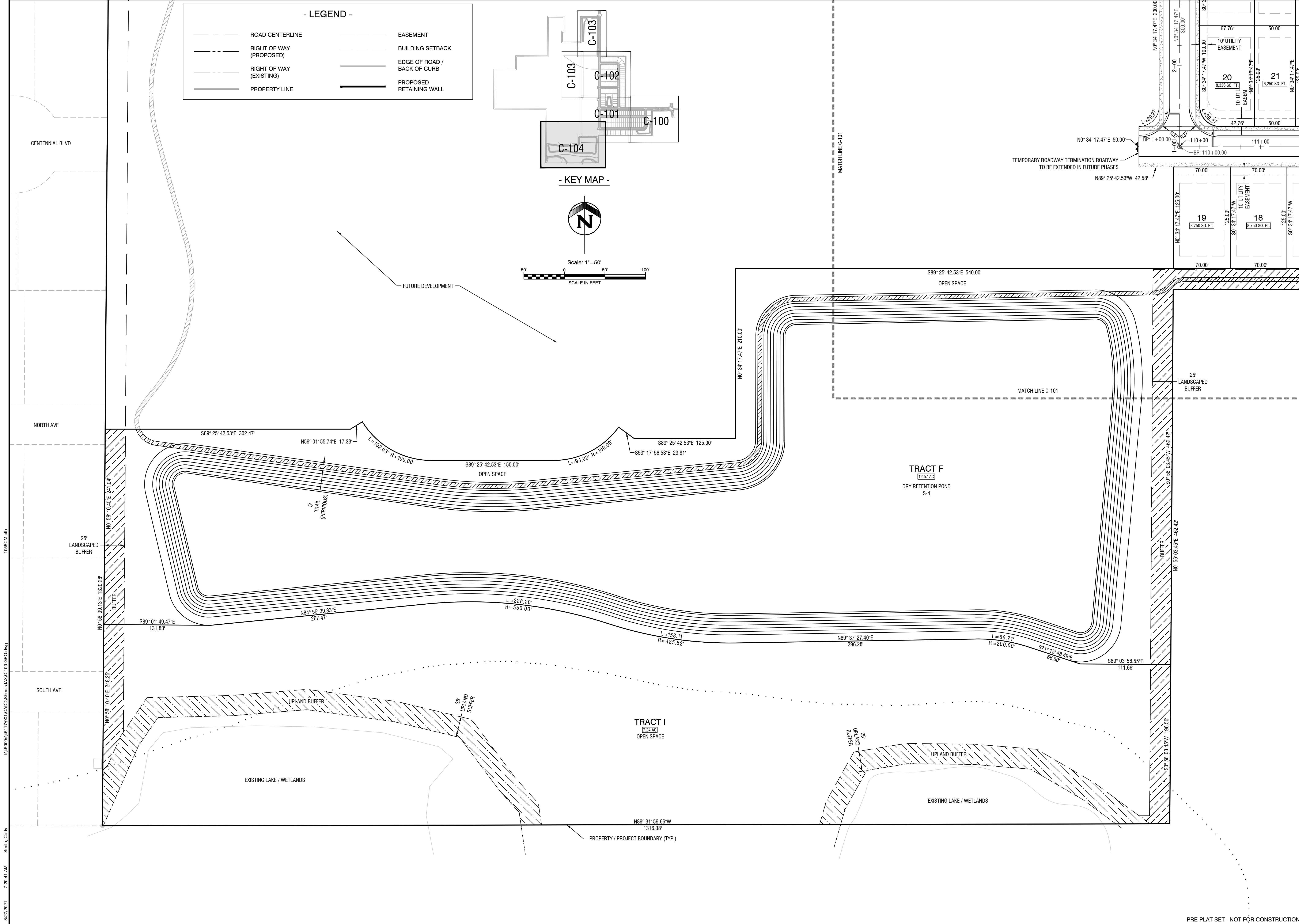
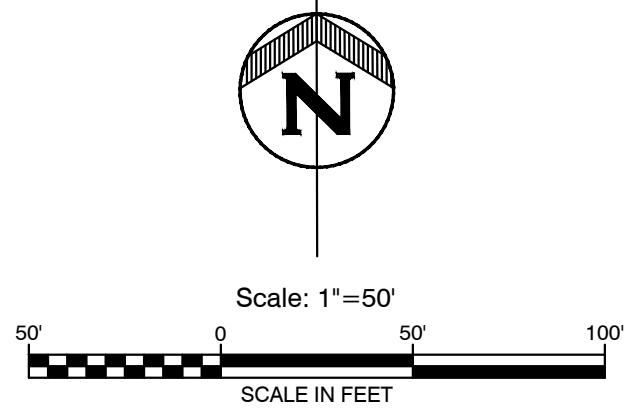
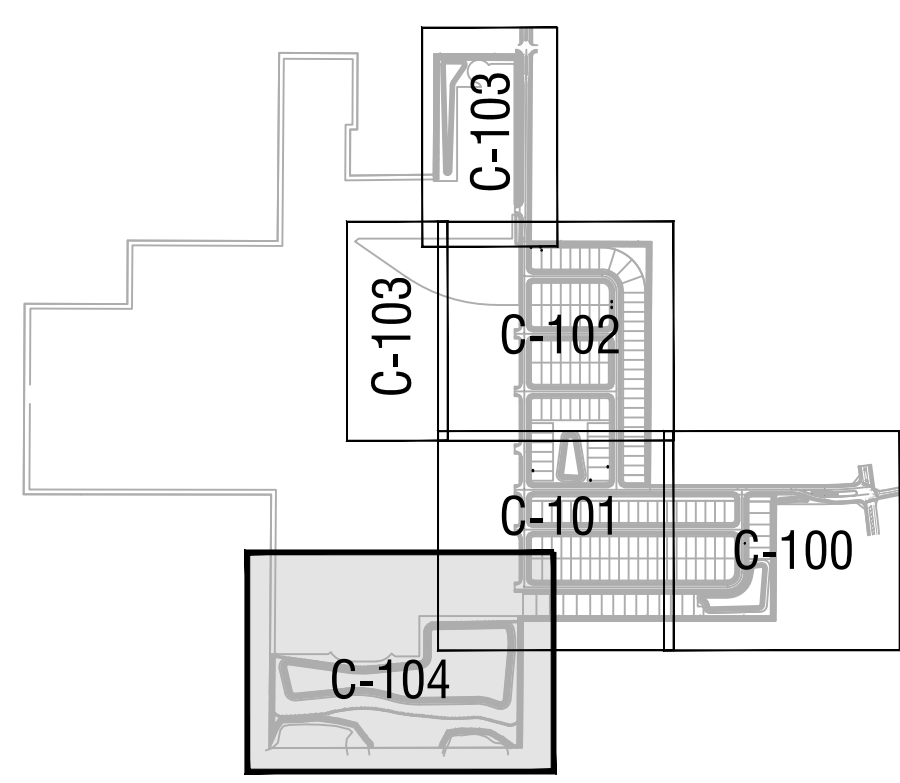
**HALFF**  
902 North Sinclair Ave.  
Tallahassee, Florida 32378  
Office: 352.343.9481  
Fax: 352.343.9485  
Certificate of Authorization Number: 33380

DATE: 8/27/2021  
DESIGNED BY: CBS  
DRAWN BY: TGN/NTD  
CHECKED BY: MAC  
JOB NO.: 045117.001  
C-103

CHARLES C. HIOTT, PE  
Registered Eng 54813

**- LEGEND -**

	ROAD CENTERLINE		EASEMENT
	RIGHT OF WAY (PROPOSED)		BUILDING SETBACK
	RIGHT OF WAY (EXISTING)		EDGE OF ROAD / BACK OF CURB
	PROPERTY LINE		PROPOSED RETAINING WALL



DATE	REVISION

**PARK SQUARE FRUITLAND PARK - PHASE 1**  
**FRUITLAND PARK, FL**

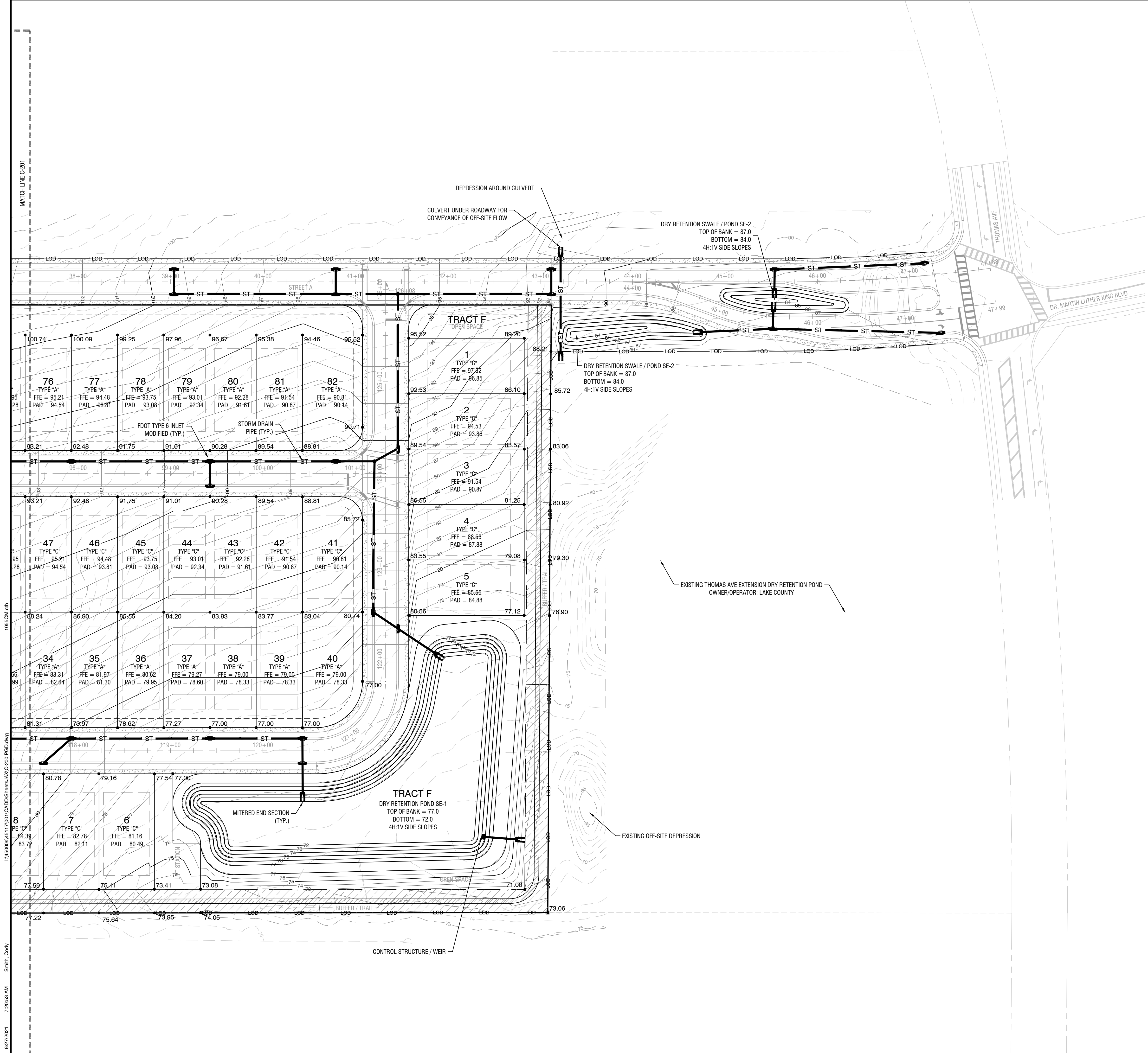
C-104  
PRE-PLAT

902 North Sinclair Ave.  
Tallahassee, Florida 32378  
Office: 352.343.9481  
Fax: 352.343.9495  
Certificate of Authorization Number: 33390

DATE:	8/27/2021
DESIGNED BY:	CBS
DRAWN BY:	TGK/NTD
CHECKED BY:	MAC
JOB NO.:	045117.001
<b>C-104</b>	

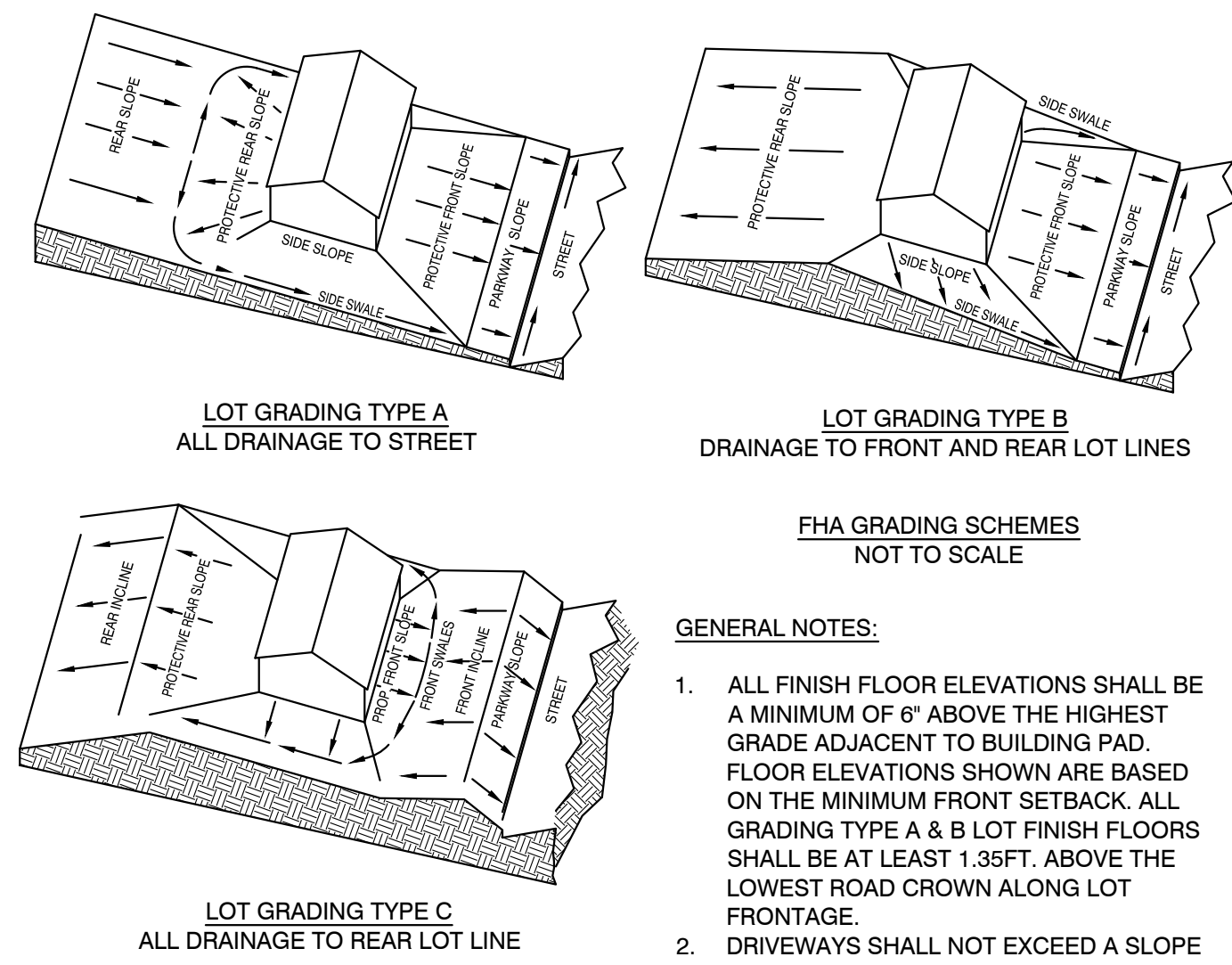
CHARLES C. HIOTT, PE  
Registered Eng 54813

8/27/2021 7:20:41 AM Smith, Cody 1:\450006\45117\001\CADD\DWG\HALFF\C-100\_GEO.dwg 105CM.ctb

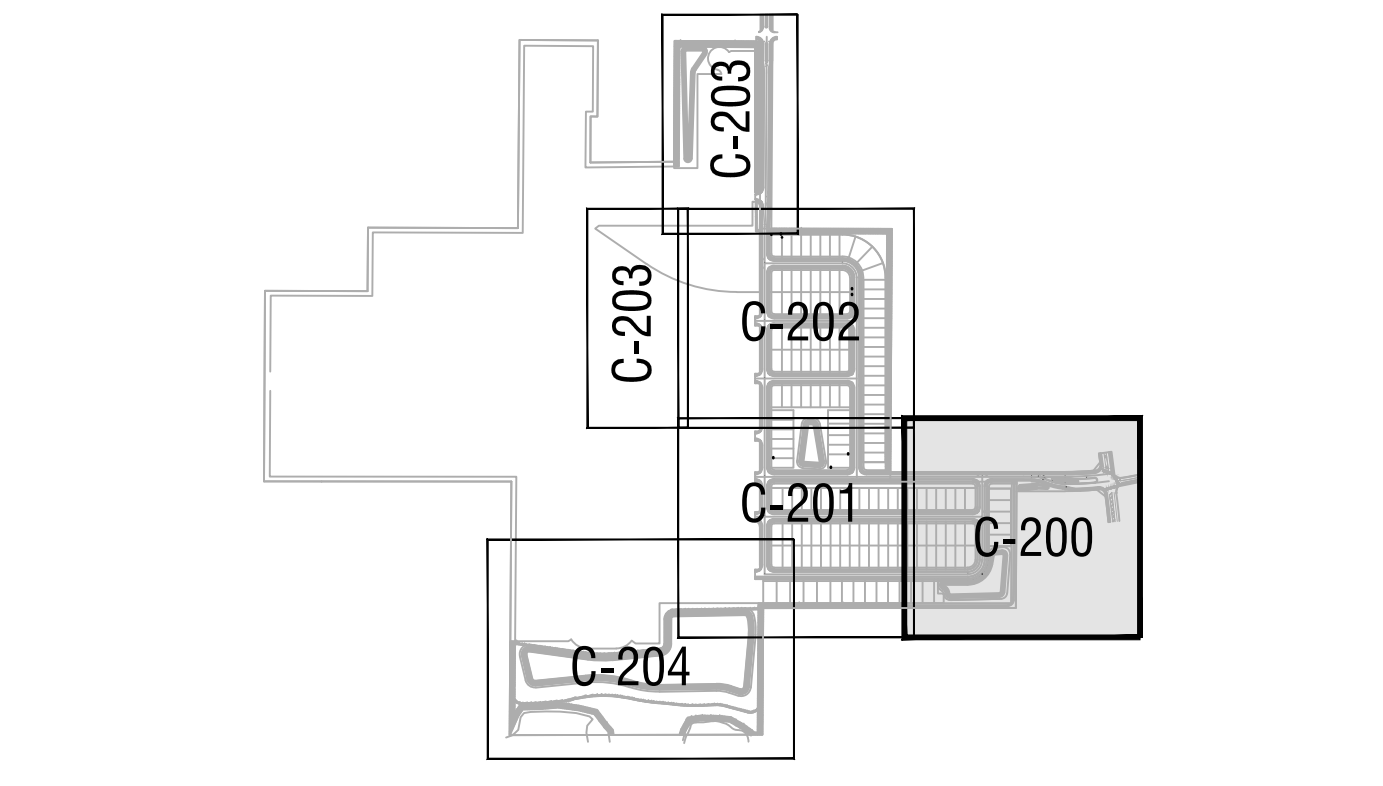


**- LEGEND -**

---	ROAD CENTERLINE	---	EASEMENT
---	RIGHT OF WAY (PROPOSED)	---	SETBACK
---	RIGHT OF WAY (EXISTING)	---	EDGE OF ROAD / BACK OF CURB
---	PROPERTY LINE	---	PROPOSED RETAINING WALL
D-200	DRAINAGE STRUCTURE NUMBER	● 100.00	EXISTING GRADE SPOT ELEVATION
P-200	DRAINAGE PIPE NUMBER	● 100.00	FINISHED GRADE SPOT ELEVATION
ST	PROPOSED STORM SEWER	---	RETAINING WALL
ST	EXISTING STORM SEWER	---	STEM WALL
---	EXISTING GRADE CONTOUR (MAJOR)	---	FINISHED GRADE CONTOUR (MAJOR)
---	EXISTING GRADE CONTOUR (MINOR)	---	FINISHED GRADE CONTOUR (MAJOR)
		---	LIMITS OF DISTURBANCE



- GENERAL NOTES:**
- ALL FINISH FLOOR ELEVATIONS SHALL BE A MINIMUM OF 6" ABOVE THE HIGHEST GRADE ADJACENT TO BUILDING PAD. FLOOR ELEVATIONS SHOWN ARE BASED ON THE MINIMUM FRONT SETBACK. ALL GRADING TYPE A & B LOT FINISH FLOORS SHALL BE AT LEAST 1.35FT. ABOVE THE LOWEST ROAD CROWN ALONG LOT FRONTAGE.
  - DRIVEWAYS SHALL NOT EXCEED A SLOPE OF 10% +/-.
- NOTES:**
- ALL STORMWATER INFRASTRUCTURE WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE CITY OF FRUITLAND PARK LAND DEVELOPMENT REGULATIONS, LATEST EDITION.
  - EROSION CONTROL AND SOD PLANTING SHALL ADHERE TO CURRENT CITY OF FRUITLAND PARK LAND DEVELOPMENT CODE. SEE EROSION AND SEDIMENTATION CONTROL PLAN FOR EROSION CONTROL MEASURES.



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**PARK SQUARE FRUITLAND PARK - PHASE 1**  
**FRUITLAND PARK, FL**

**C-200**

**GRADING AND DRAINAGE PLAN**

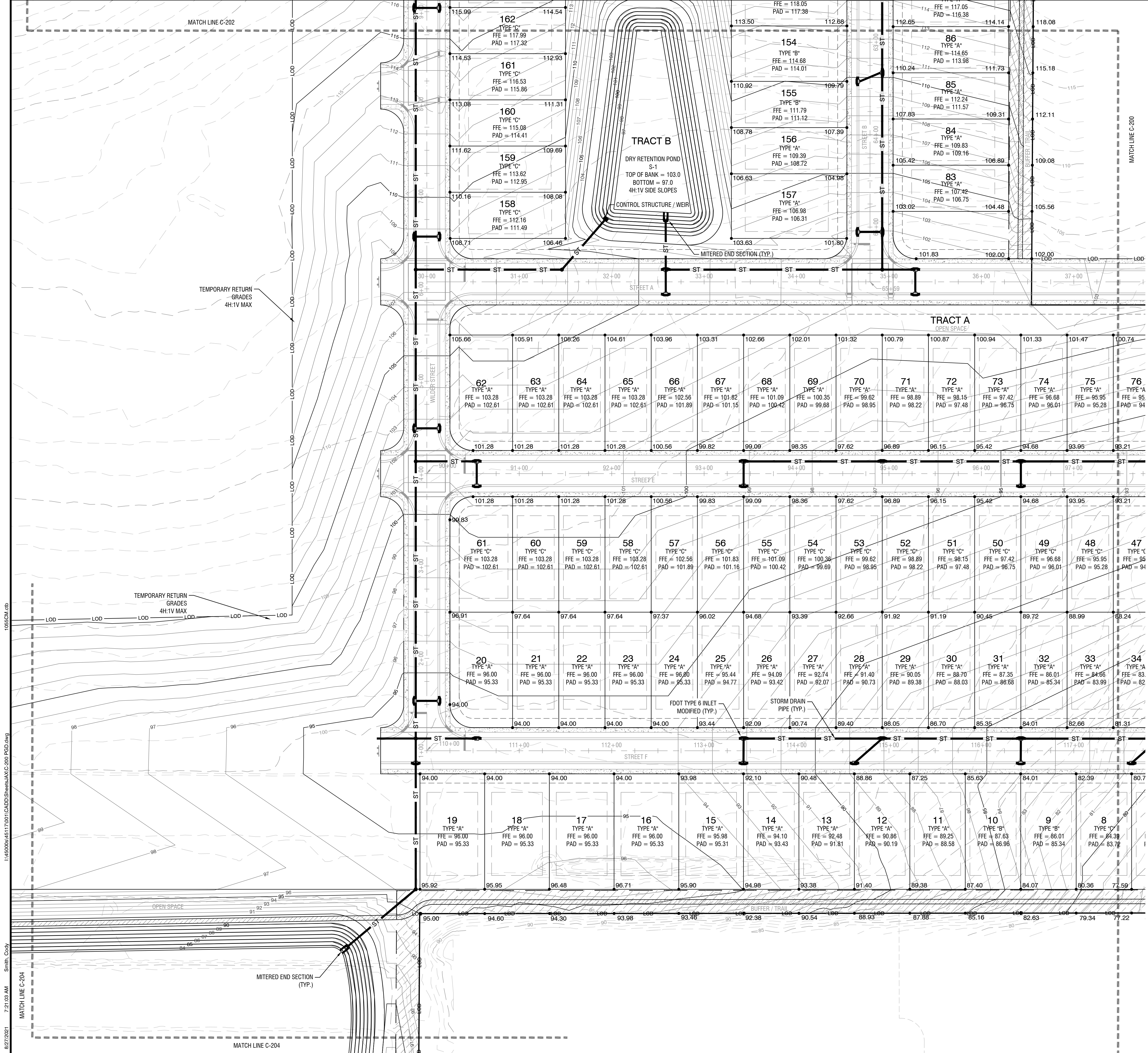
902 North Sinclair Ave.  
Tavares, Florida 32778  
Office: 352.343.9481  
Fax: 352.343.9485  
Certificate of Authorization Number: 33380

DATE:	8/27/2021
DESIGNED BY:	CBS
DRAWN BY:	TGK/NTD
CHECKED BY:	MAC
JOB NO.:	045117.001

**C-200**

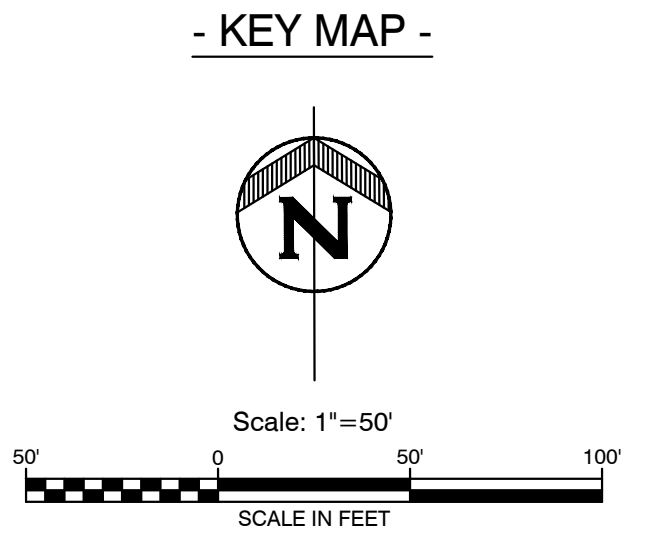
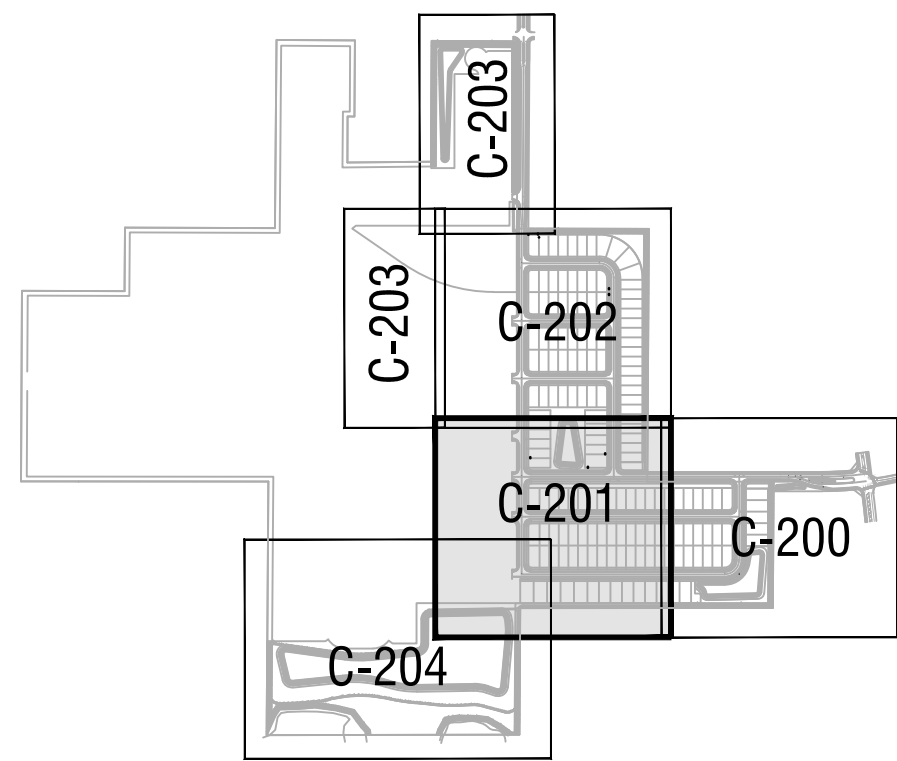
CHARLES C. HIOTT, PE  
Registered Eng 54813

I:\45000\045117\001\CADD\Sheet\HALFF\C-200\_PSD.dwg 10/5/2021 7:20:53 AM Smith, Cody



**- LEGEND -**

	ROAD CENTERLINE		EASEMENT
	RIGHT OF WAY (PROPOSED)		SETBACK
	RIGHT OF WAY (EXISTING)		EDGE OF ROAD / BACK OF CURB
	PROPERTY LINE		PROPOSED RETAINING WALL
	DRAINAGE STRUCTURE NUMBER		EXISTING GRADE SPOT ELEVATION
	DRAINAGE PIPE NUMBER		FINISHED GRADE SPOT ELEVATION
	PROPOSED STORM SEWER		RETAINING WALL
	EXISTING STORM SEWER		STEM WALL
	EXISTING GRADE CONTOUR (MAJOR)		FINISHED GRADE CONTOUR (MAJOR)
	EXISTING GRADE CONTOUR (MINOR)		FINISHED GRADE CONTOUR (MINOR)
			LIMITS OF DISTURBANCE



REVISION	1	2	3	4	5	6	7	8
DATE								

**PARK SQUARE FRUITLAND PARK - PHASE 1**  
**FRUITLAND PARK, FL**  
**C-201**  
**GRADING AND DRAINAGE PLAN**

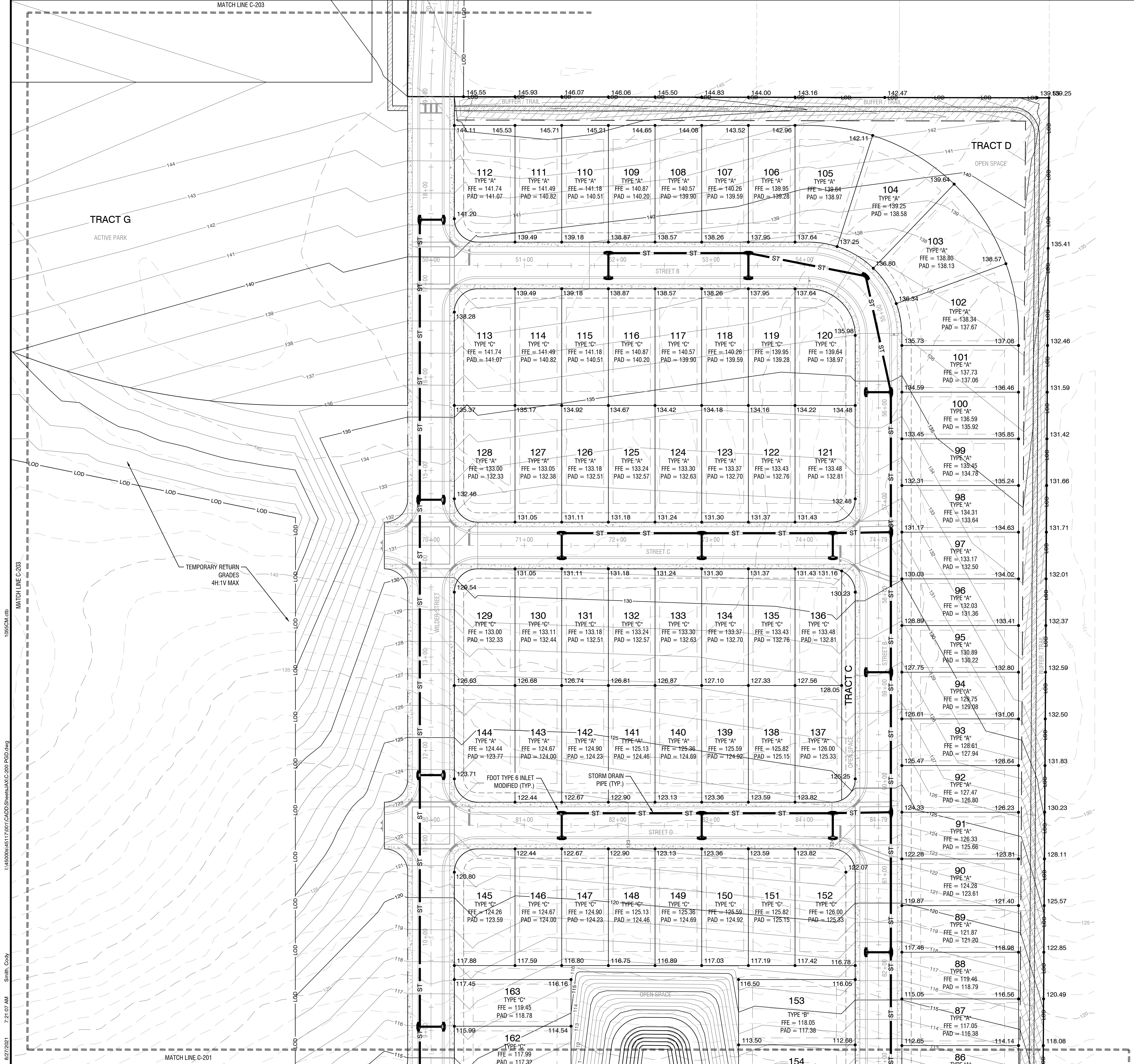
Office: 352.343.9481  
 902 North Sinclair Ave.  
 Tallahassee, Florida 32378  
 Fax: 352.343.9485  
 Certificate of Authorization Number: 33380

DATE: 8/27/2021  
 DESIGNED BY: CBS  
 DRAWN BY: TKG/NTD  
 CHECKED BY: MAC  
 JOB NO.: 045117.001

**C-201**

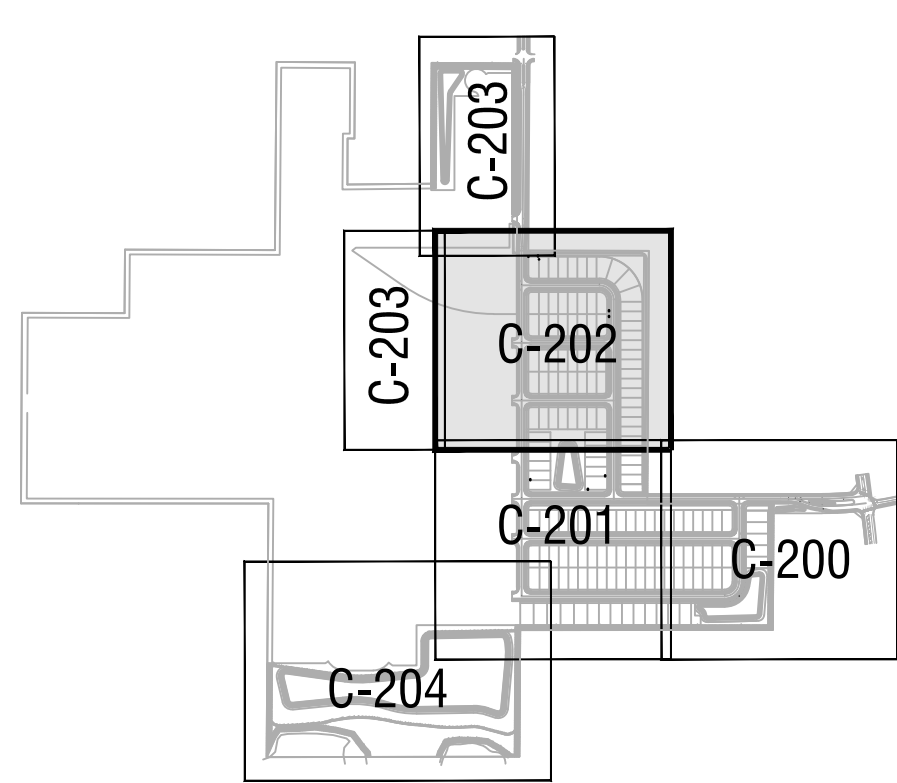
CHARLES C. HIOTT, PE  
 Registered Eng 54813

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 MATCH LINE C-202  
 MATCH LINE C-200  
 MATCH LINE C-203  
 MATCH LINE C-204



**- LEGEND -**

	ROAD CENTERLINE		EASEMENT
	RIGHT OF WAY (PROPOSED)		SETBACK
	RIGHT OF WAY (EXISTING)		EDGE OF ROAD / BACK OF CURB
	PROPERTY LINE		PROPOSED RETAINING WALL
	DRAINAGE STRUCTURE NUMBER		EXISTING GRADE SPOT ELEVATION
	DRAINAGE PIPE NUMBER		FINISHED GRADE SPOT ELEVATION
	PROPOSED STORM SEWER		RETAINING WALL
	EXISTING STORM SEWER		STEM WALL
	EXISTING GRADE CONTOUR (MAJOR)		FINISHED GRADE CONTOUR (MAJOR)
	EXISTING GRADE CONTOUR (MINOR)		FINISHED GRADE CONTOUR (MINOR)
			LIMITS OF DISTURBANCE



**- KEY MAP -**

Scale: 1" = 50'  
SCALE IN FEET

REVISION	DATE	BY	DESCRIPTION

**PARK SQUARE FRUITLAND PARK - PHASE 1**  
**FRUITLAND PARK, FL**

**C-202**

**GRADING AND DRAINAGE PLAN**

Office: 352.343.9481  
Tallahassee, Florida 32376  
Fax: 352.343.9495  
Certificate of Authorization Number: 33380

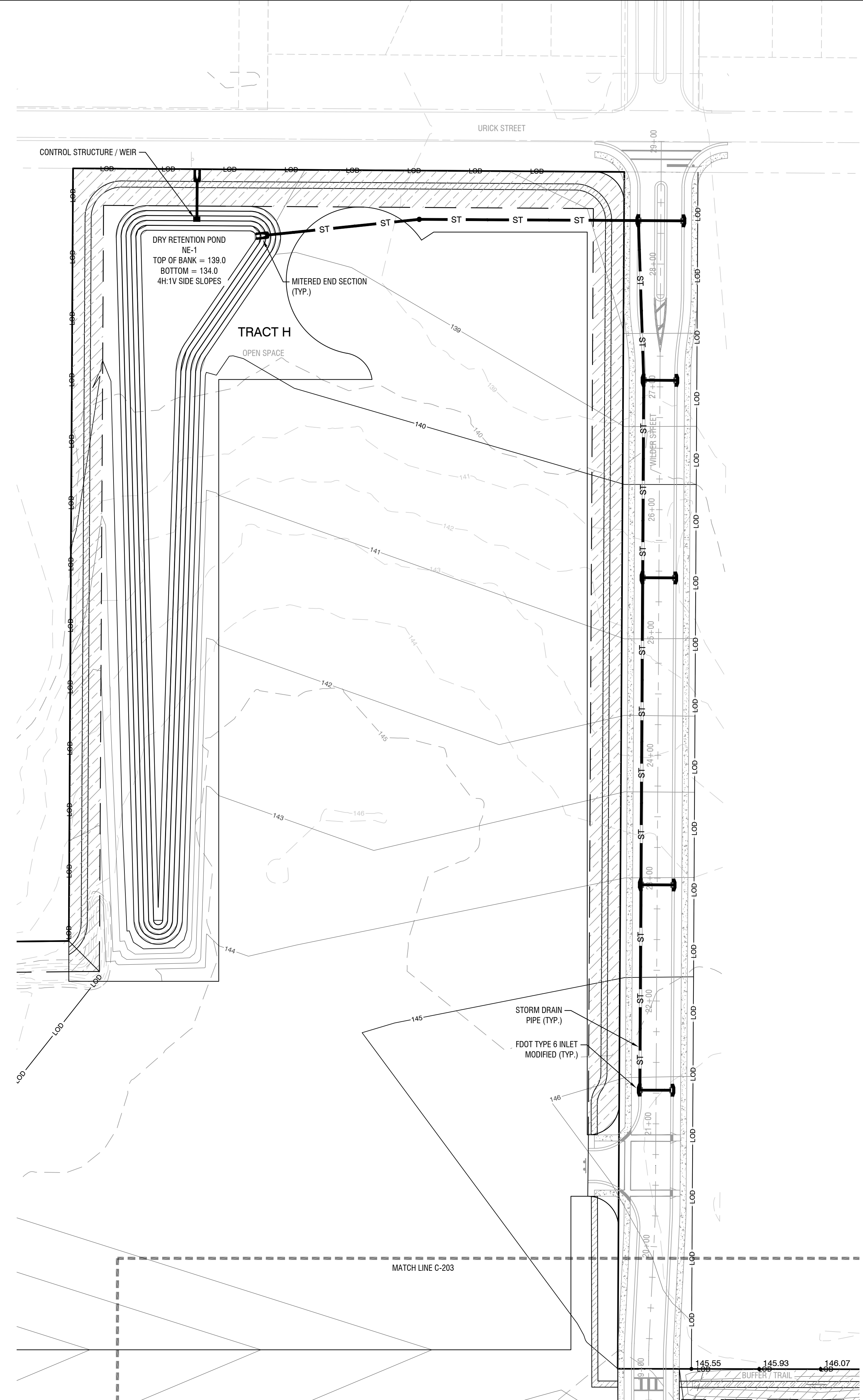
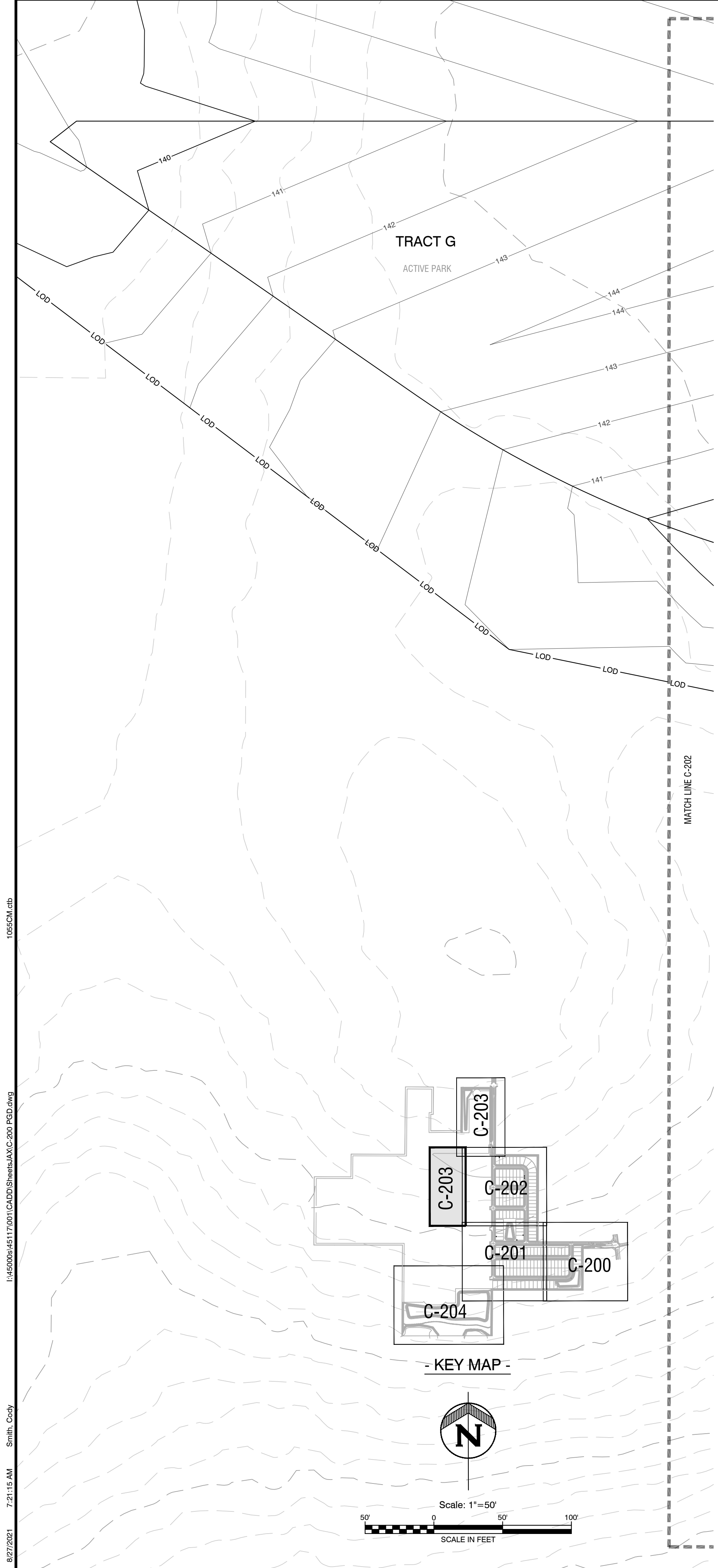
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DESIGNED BY: CBS  
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CHECKED BY: MAC  
JOB NO.: 045117.001

**C-202**

CHARLES C. HIOTT, PE  
Registered Eng 54813

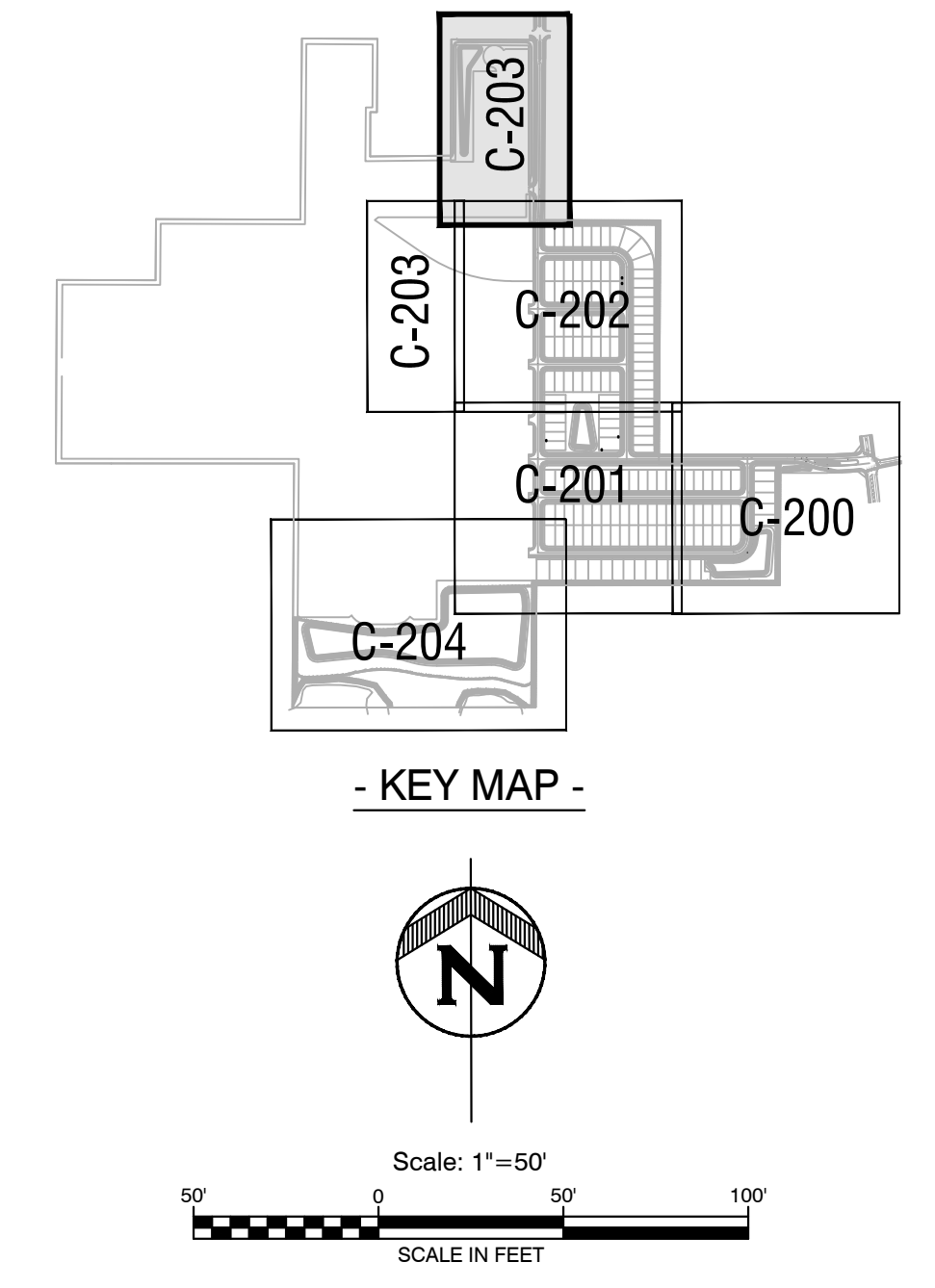
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PRE-PLAT SET - NOT FOR CONSTRUCTION



- LEGEND -

---	ROAD CENTERLINE	---	EASEMENT
---	RIGHT OF WAY (PROPOSED)	---	SETBACK
---	RIGHT OF WAY (EXISTING)	---	EDGE OF ROAD / BACK OF CURB
---	PROPERTY LINE	---	PROPOSED RETAINING WALL
D-200	DRAINAGE STRUCTURE NUMBER	● 100.00	EXISTING GRADE SPOT ELEVATION
P-200	DRAINAGE PIPE NUMBER	● 100.00	FINISHED GRADE SPOT ELEVATION
ST	PROPOSED STORM SEWER	---	RETAINING WALL
ST	EXISTING STORM SEWER	---	STEM WALL
---	EXISTING GRADE CONTOUR (MAJOR)	---	FINISHED GRADE CONTOUR (MAJOR)
---	EXISTING GRADE CONTOUR (MINOR)	---	FINISHED GRADE CONTOUR (MAJOR)
		---	LIMITS OF DISTURBANCE



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PARK SQUARE FRUITLAND PARK - PHASE 1  
FRUITLAND PARK, FL  
C-203  
GRADING AND DRAINAGE PLAN

902 North Sinclair Ave.  
Tavares, Florida 32778  
Office: 352.343.9481  
Fax: 352.343.9485  
Certificate of Authorization Number: 3390

DATE: 8/27/2021  
DESIGNED BY: CBS  
DRAWN BY: TGK/NTD  
CHECKED BY: MAC  
JOB NO.: 045117.001  
C-203

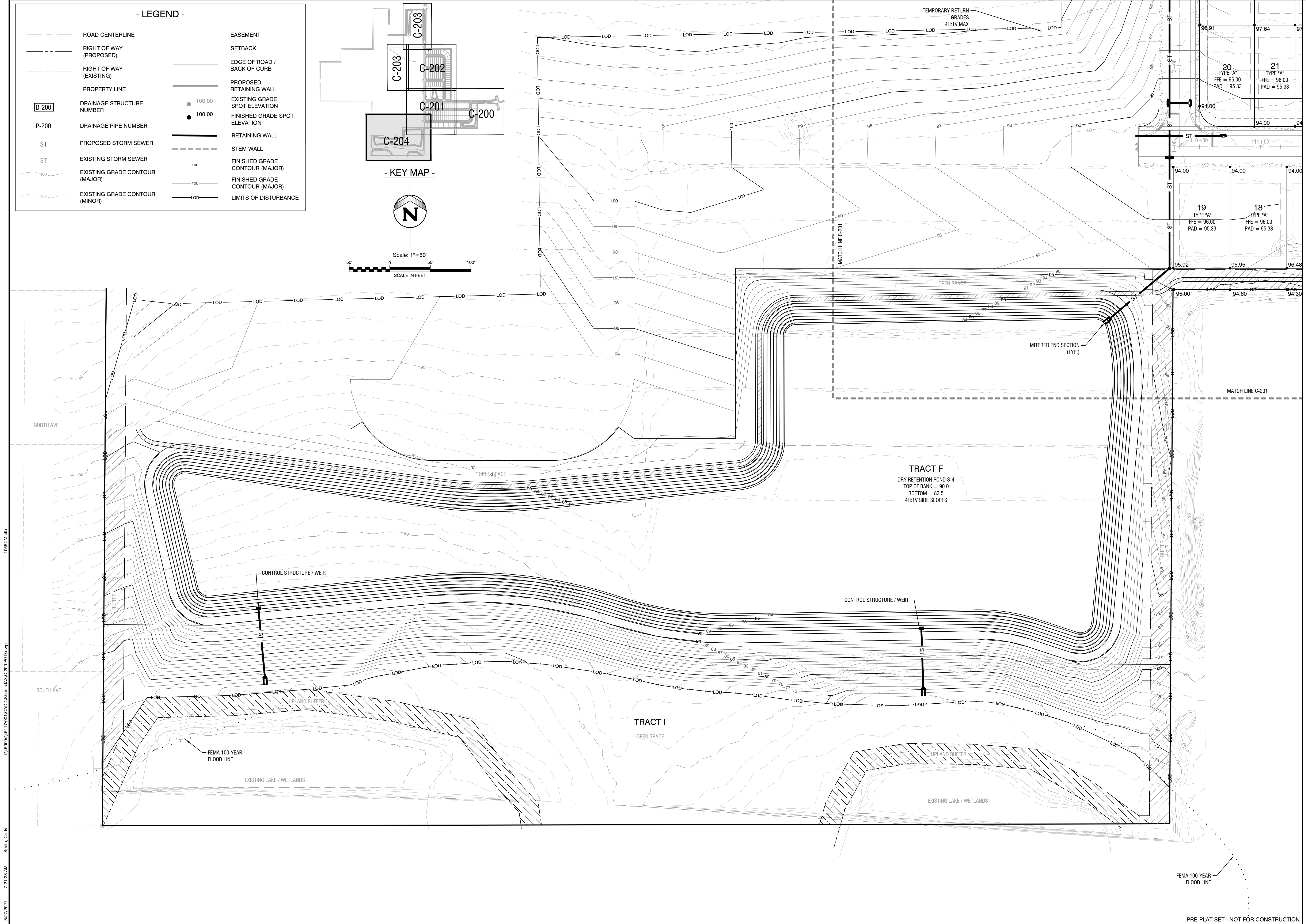
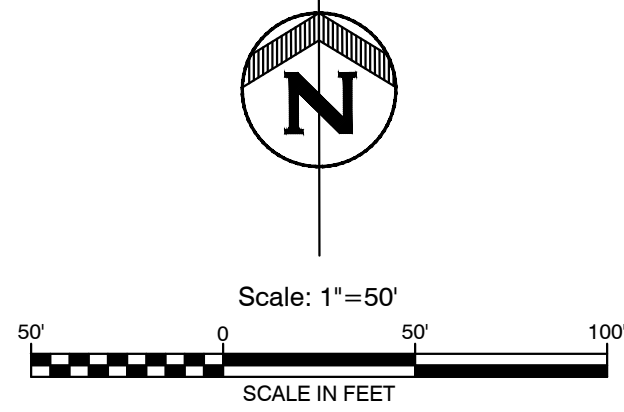
CHARLES C. HIOTT, PE  
Registered Eng 54813



**- LEGEND -**

- ROAD CENTERLINE
- RIGHT OF WAY (PROPOSED)
- RIGHT OF WAY (EXISTING)
- PROPERTY LINE
- D-200** DRAINAGE STRUCTURE NUMBER
- P-200 DRAINAGE PIPE NUMBER
- ST PROPOSED STORM SEWER
- ST EXISTING STORM SEWER
- EXISTING GRADE CONTOUR (MAJOR)
- EXISTING GRADE CONTOUR (MINOR)
- EASEMENT
- SETBACK
- EDGE OF ROAD / BACK OF CURB
- PROPOSED RETAINING WALL
- EXISTING GRADE SPOT ELEVATION
- 100.00 FINISHED GRADE SPOT ELEVATION
- RETAINING WALL
- STEM WALL
- FINISHED GRADE CONTOUR (MAJOR)
- FINISHED GRADE CONTOUR (MAJOR)
- LIMITS OF DISTURBANCE

**- KEY MAP -**



NO.	REVISION	DATE
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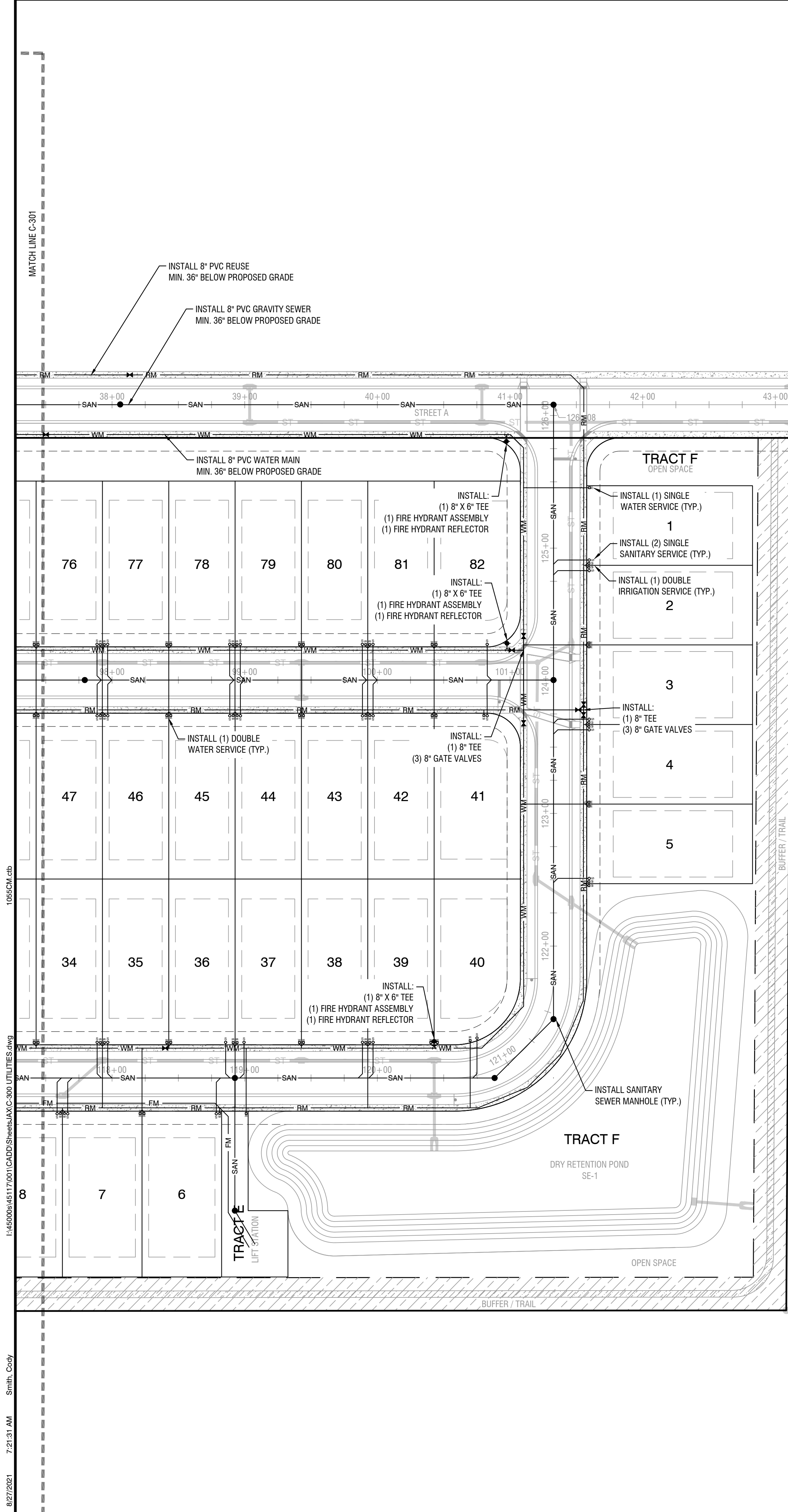
**PARK SQUARE FRUITLAND PARK - PHASE 1**  
**FRUITLAND PARK, FL**  
**C-204**  
**GRADING AND DRAINAGE PLAN**

Office: 352.343.9481  
 902 North Sinclair Ave.  
 Tallahassee, Florida 32378  
 Fax: 352.343.9495  
 Certificate of Authorization Number: 33980

DATE:	8/27/2021
DESIGNED BY:	CBS
DRAWN BY:	TGK/NTD
CHECKED BY:	MAC
JOB NO.:	045117.001
<b>C-204</b>	

CHARLES C. HIOTT, PE  
 Registered Eng 54813

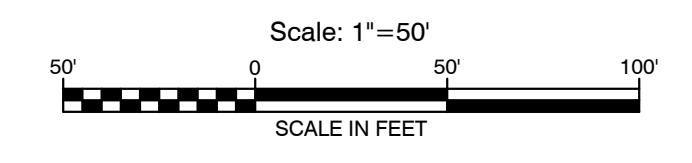
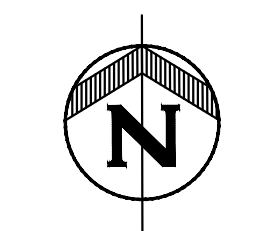
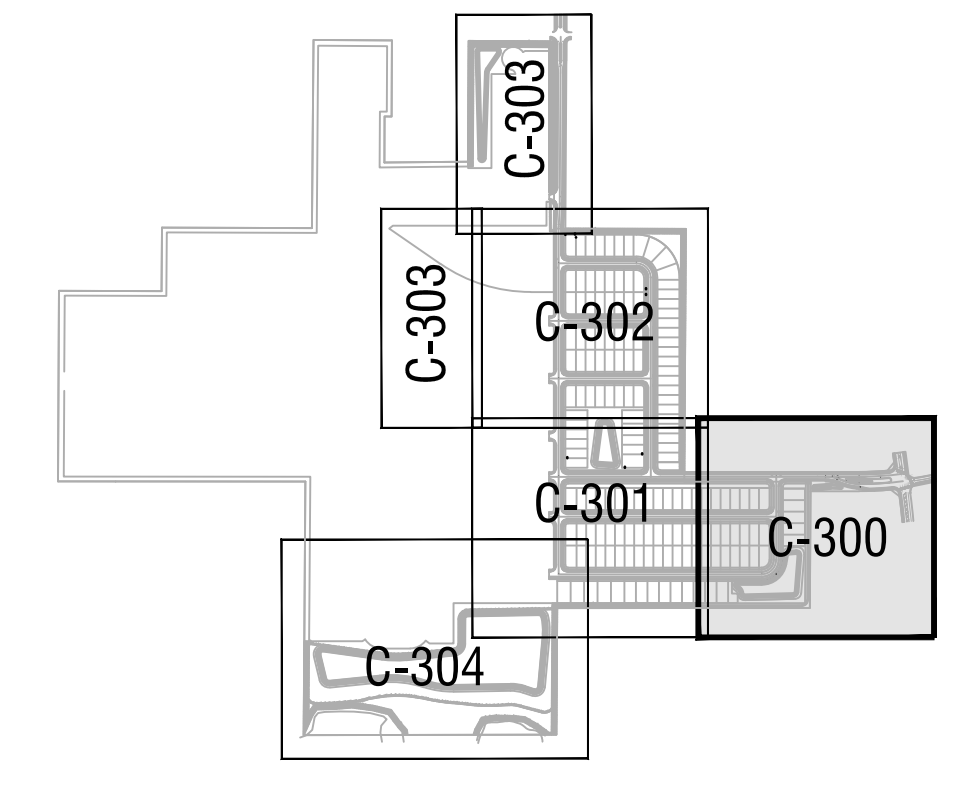
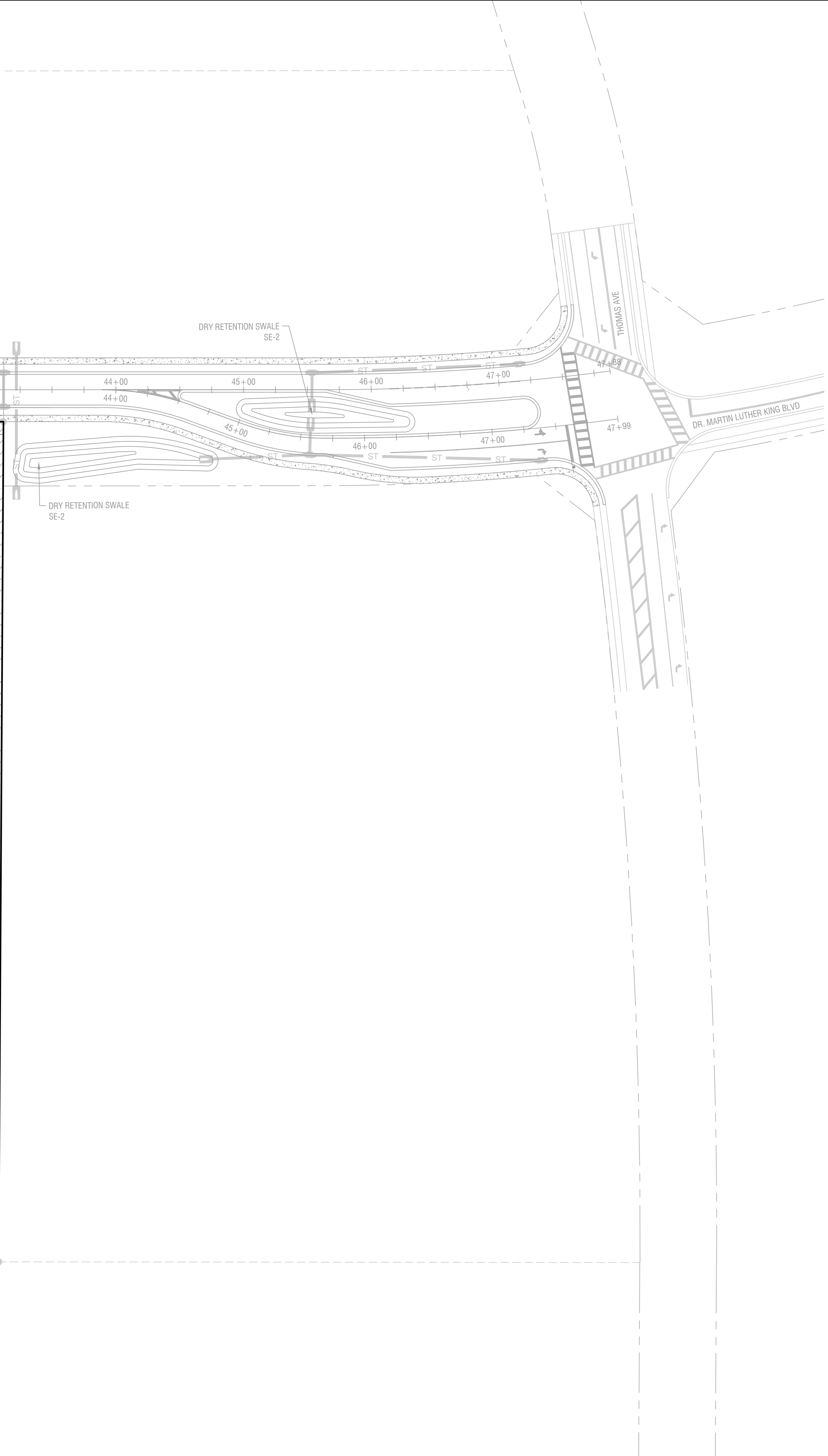
114500045117.001 CAD:\9\hmc\AXC-200\_PSD.dwg  
 8/27/2021 7:21:23 AM Smith, Cody  
 1065CM.ctb



**- LEGEND -**

---	ROAD CENTERLINE	---	EASEMENT
---	RIGHT OF WAY (PROPOSED)	---	SETBACK
---	RIGHT OF WAY (EXISTING)	---	EDGE OF ROAD / BACK OF CURB
---	PROPERTY LINE	---	PROPOSED RETAINING WALL

- NOTES:**
1. ALL UTILITIES SHALL CONFORM TO THE CITY OF FRUITLAND PARK LAND DEVELOPMENT REGULATIONS AND STANDARD DETAILS.
  2. ALL WATER MAINS SHALL BE PVC CONFORMING TO AWWA C-900, DR-18 FOR PIPE SIZES 4" - 12". ALL WATER MAINS UNDER PAVEMENT SHALL BE DUCTILE IRON AND SHALL EXTEND 5' BEYOND THE BACK OF CURB, OR DIRECTIONAL BORES, WHICH SHALL BE SDR-11 HDPE.
  3. ALL WATER MAINS SHALL BE INSTALLED MINIMUM 36" BELOW FINISHED GRADE.
  4. WATER MAINS TO BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  5. ALL SLEEVES UNDER PAVEMENT SHALL EXTEND 5' BEYOND THE BACK OF CURB.
  6. CONTRACT SHALL MARK ALL POINTS WHERE WATER SERVICES CROSS CURB WITH A "W" MARK IN CONCRETE.
  7. ALL FORCE MAINS SHALL BE DR-25 PVC, CLASS 100. ALL FORCE MAINS UNDER PAVEMENT SHALL BE DUCTILE IRON AND SHALL EXTEND 5' BEYOND THE BACK OF CURB.
  8. ALL GRAVITY SEWER MAINS SHALL BE SDR-26 PVC.



PRE-PLAT SET - NOT FOR CONSTRUCTION

REVISION	1	2	3	4	5	6	7	8
DATE								

**PARK SQUARE FRUITLAND PARK - PHASE 1**  
**FRUITLAND PARK, FL**  
**C-300**  
**UTILITIES PLAN**

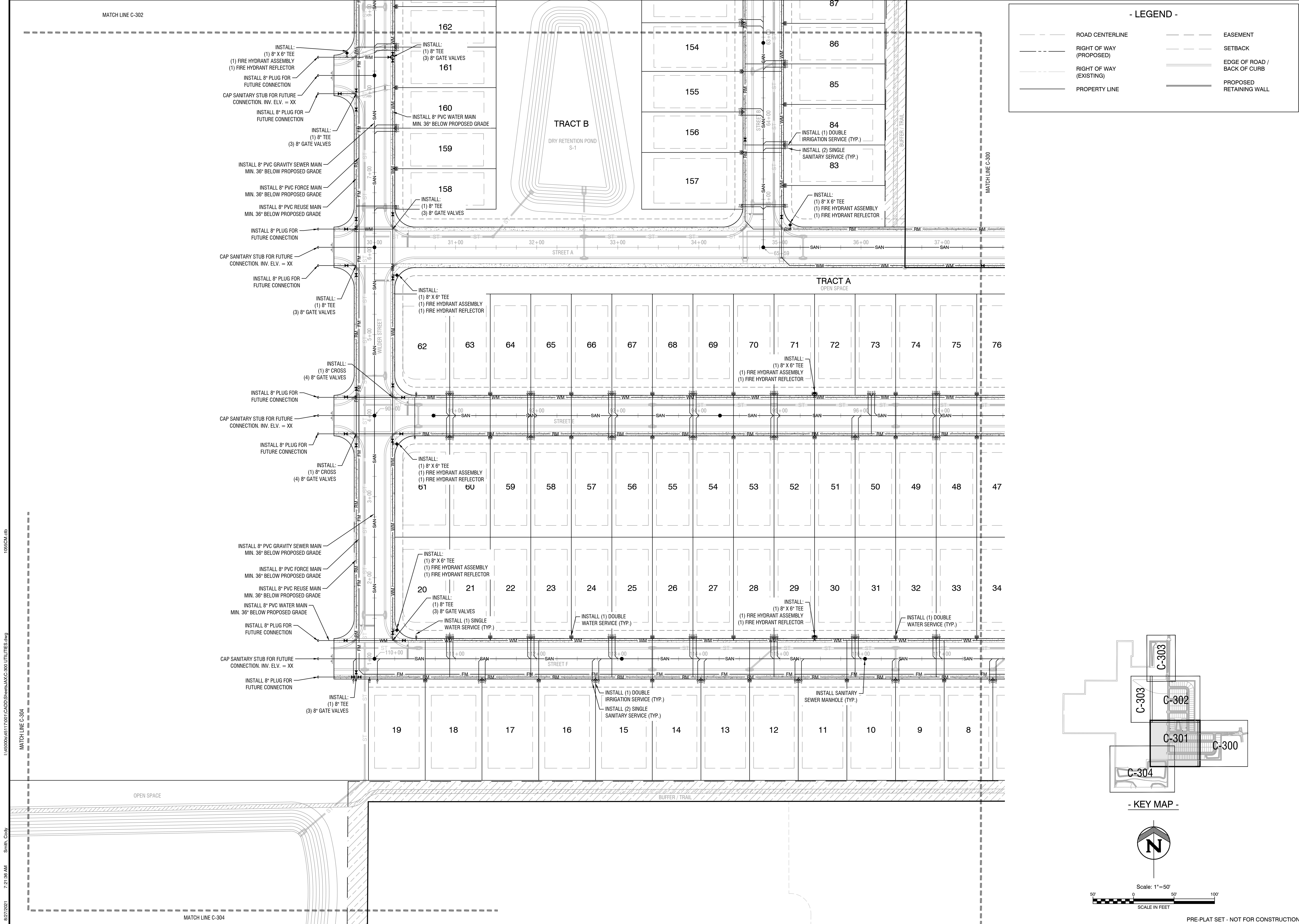


DATE:	8/27/2021
DESIGNED BY:	CBS
DRAWN BY:	TGK/NTD
CHECKED BY:	MAC
JOB NO.:	045117.001

**C-300**

CHARLES C. HIOTT, PE  
 Registered Eng 54813

8/27/2021 7:21:31 AM Smith, Cody  
 I:\45000\45117\001\CADD\DWG\C-300 UTILITIES.dwg 106SCH.dwg



**- LEGEND -**

---	ROAD CENTERLINE	---	EASEMENT
---	RIGHT OF WAY (PROPOSED)	---	SETBACK
---	RIGHT OF WAY (EXISTING)	---	EDGE OF ROAD / BACK OF CURB
---	PROPERTY LINE	---	PROPOSED RETAINING WALL

NO.	REVISION	DATE
1		
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PARK SQUARE FRUITLAND PARK - PHASE 1  
FRUITLAND PARK, FL

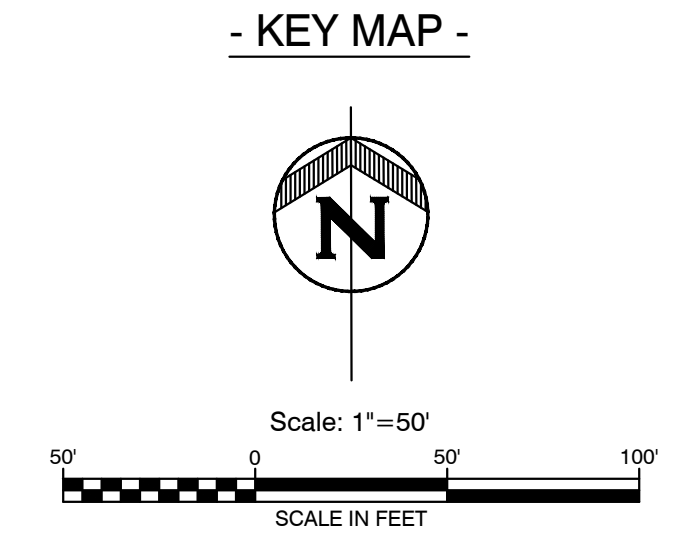
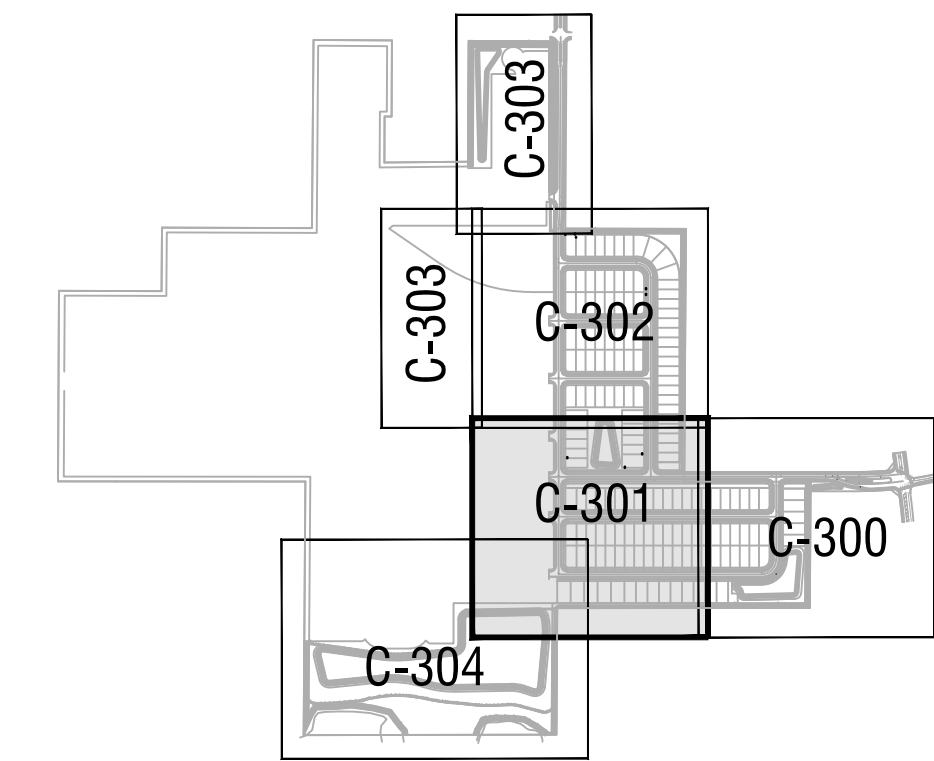
C-301  
UTILITIES PLAN



DATE:	8/27/2021
DESIGNED BY:	CBS
DRAWN BY:	TGK/NTD
CHECKED BY:	MAC
JOB NO.:	045117.001

**C-301**

CHARLES C. HIOTT, PE  
Registered Eng 54813



PRE-PLAT SET - NOT FOR CONSTRUCTION

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 8/27/2021 7:21:36 AM Smith, Cody  
 1065CM.dwg

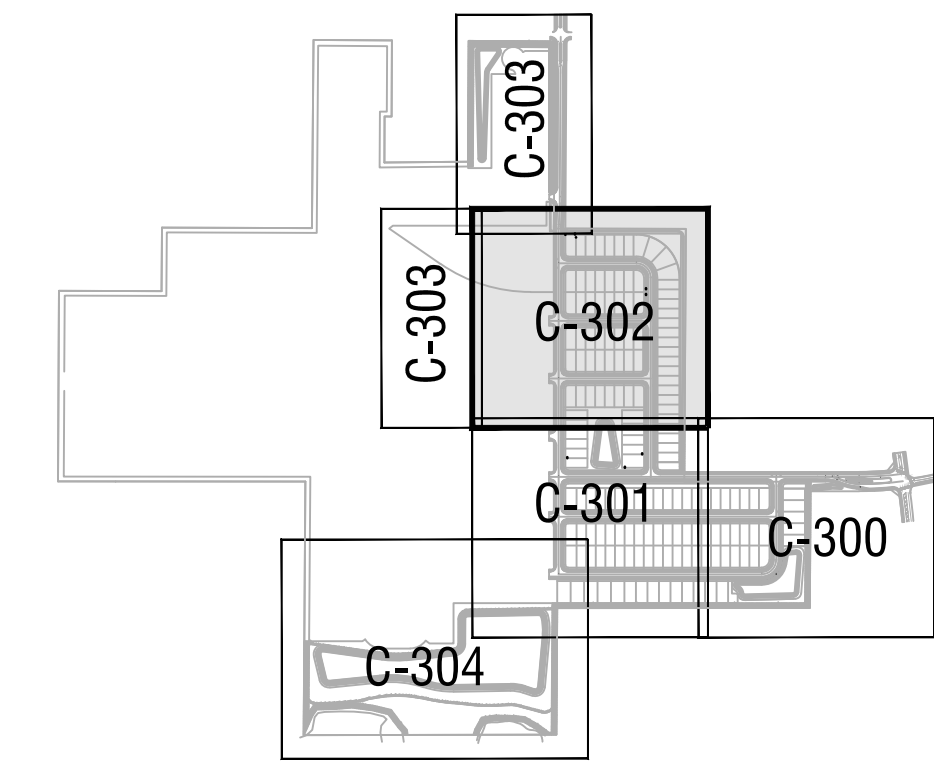
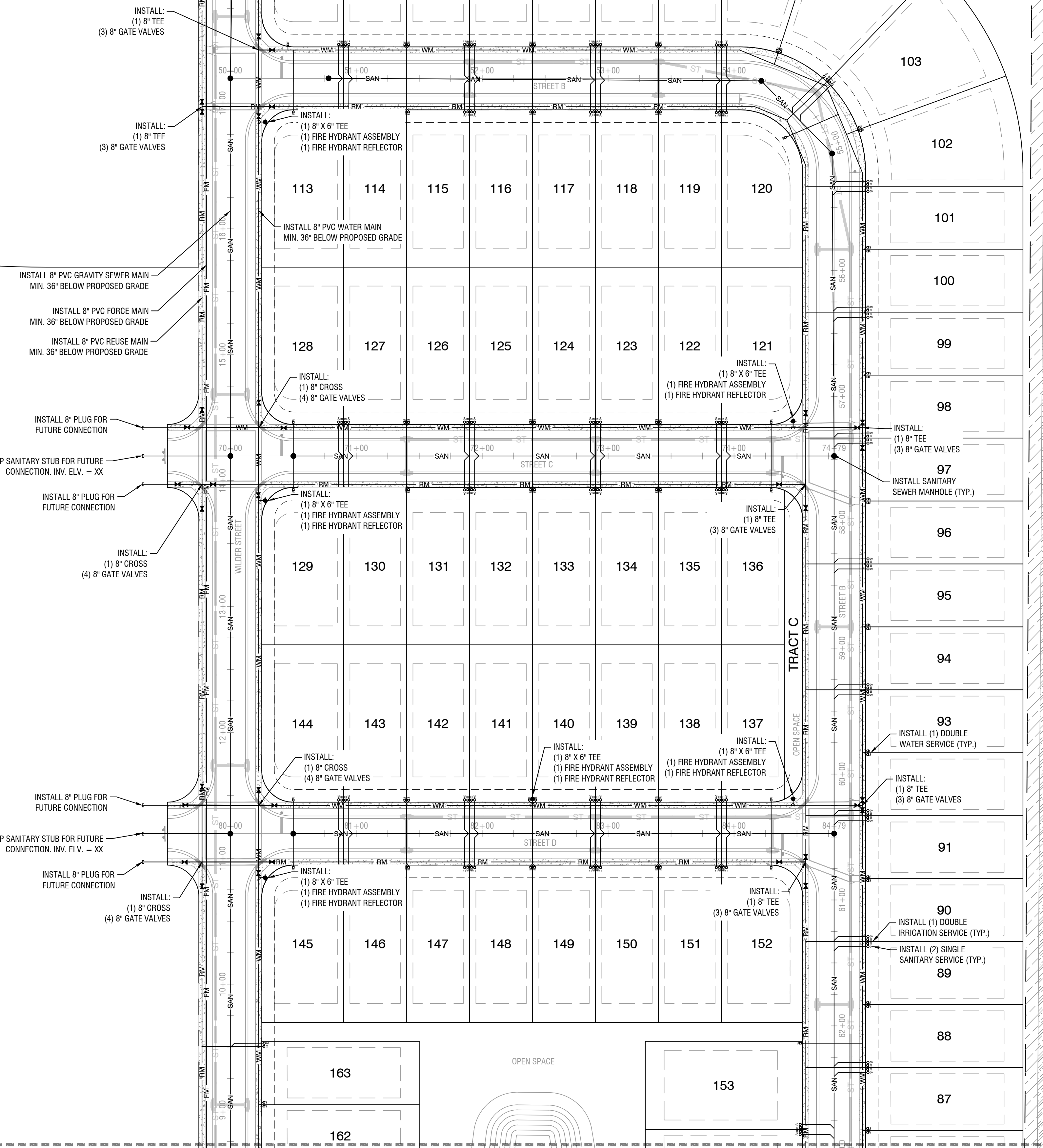
MATCH LINE C-303

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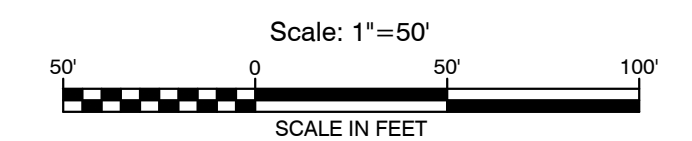
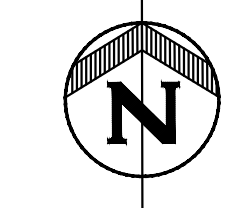
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	RIGHT OF WAY (PROPOSED)		SETBACK
	RIGHT OF WAY (EXISTING)		EDGE OF ROAD / BACK OF CURB
	PROPERTY LINE		PROPOSED RETAINING WALL

TRACT G  
ACTIVE PARK

TRACT D  
OPEN SPACE



- KEY MAP -



PRE-PLAT SET - NOT FOR CONSTRUCTION

REVISION	1	2	3	4	5	6	7	8
DATE								

PARK SQUARE FRUITLAND PARK - PHASE 1  
FRUITLAND PARK, FL

C-302  
UTILITIES PLAN



Office: 352.343.9481  
Tallahassee, Florida 32376  
Certificate of Authorization Number: 33380

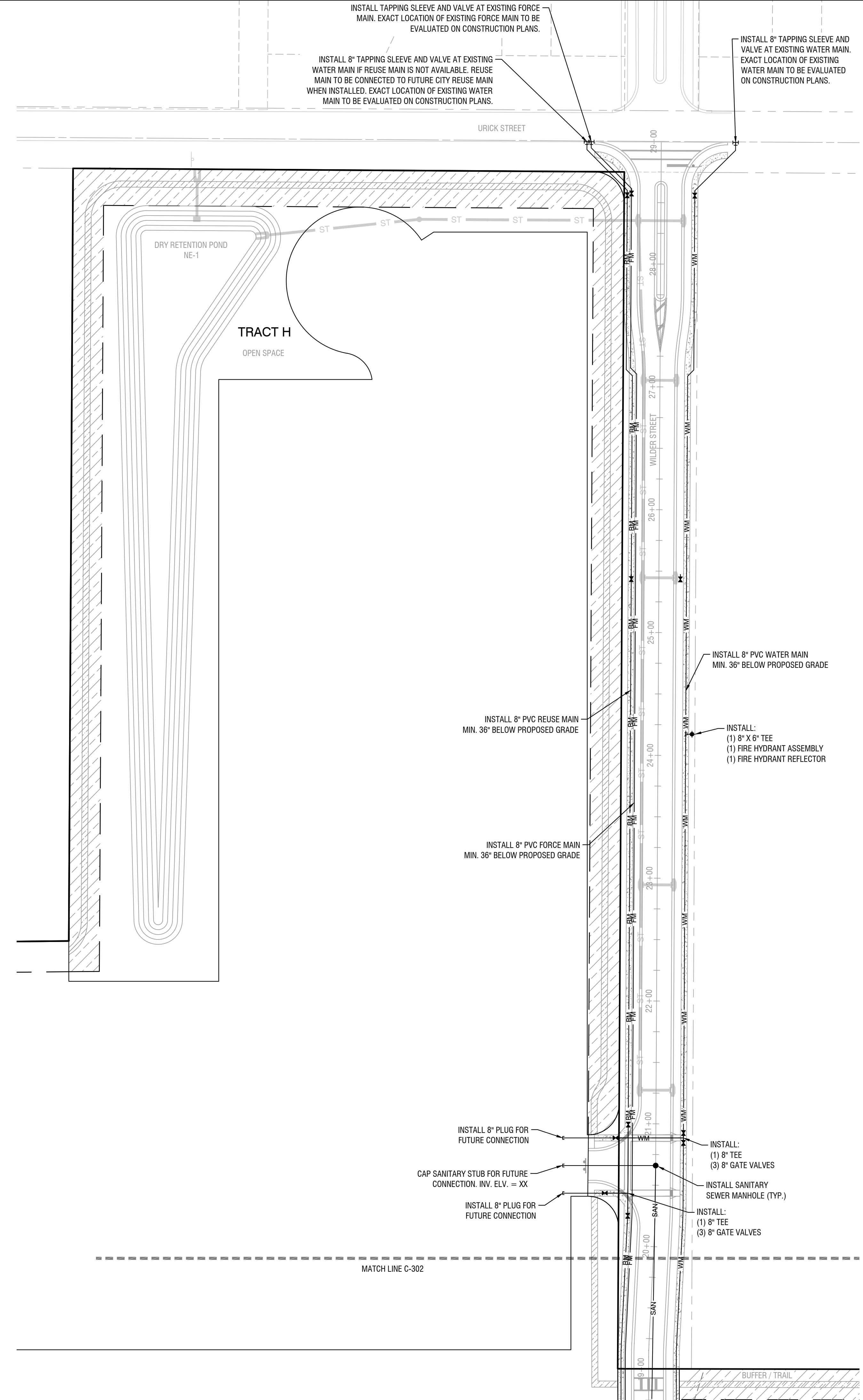
DATE:	8/27/2021
DESIGNED BY:	CBS
DRAWN BY:	TGK/NTD
CHECKED BY:	MAC
JOB NO.:	045117.001

C-302

CHARLES C. HIOTT, PE  
Registered Eng 54813

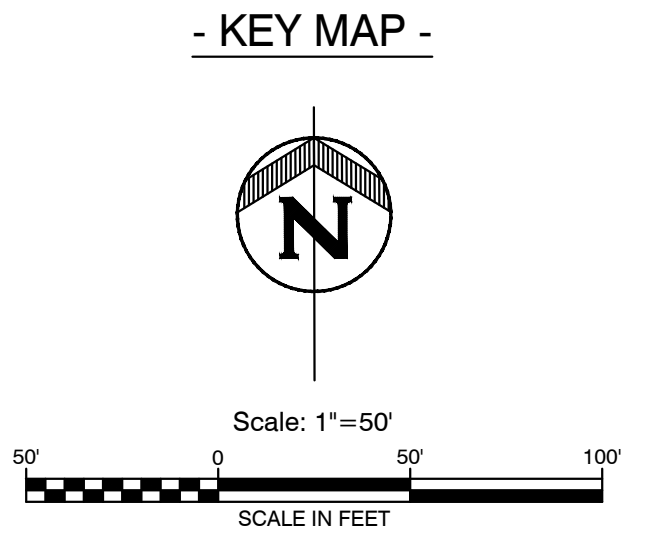
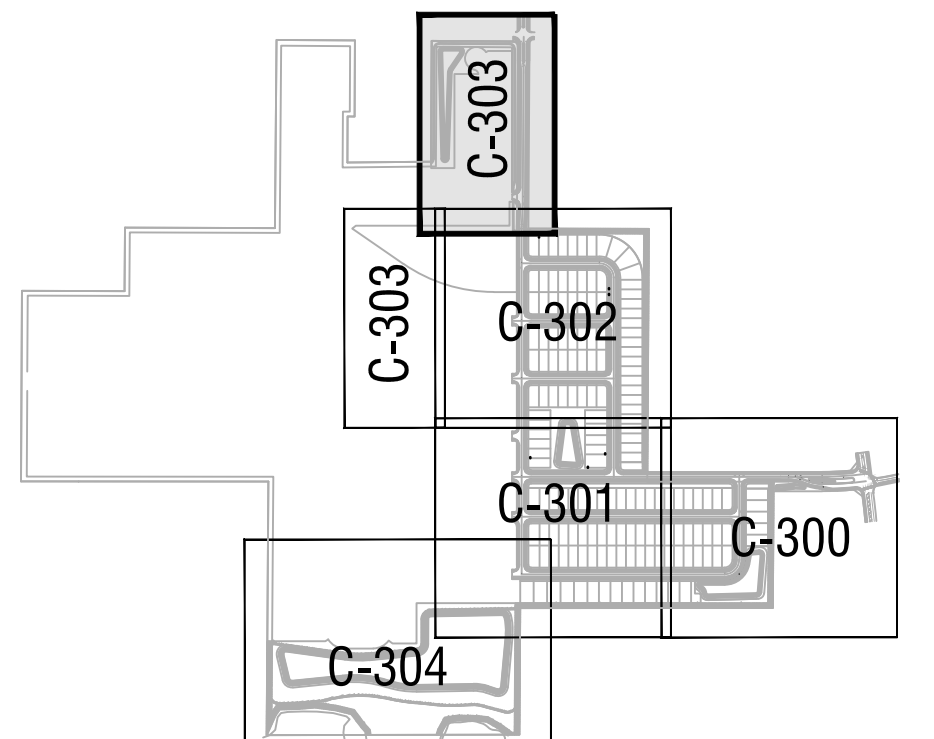
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- LEGEND -

---	ROAD CENTERLINE	---	EASEMENT
- - -	RIGHT OF WAY (PROPOSED)	---	SETBACK
- - -	RIGHT OF WAY (EXISTING)	---	EDGE OF ROAD / BACK OF CURB
---	PROPERTY LINE	---	PROPOSED RETAINING WALL



DATE	REVISION
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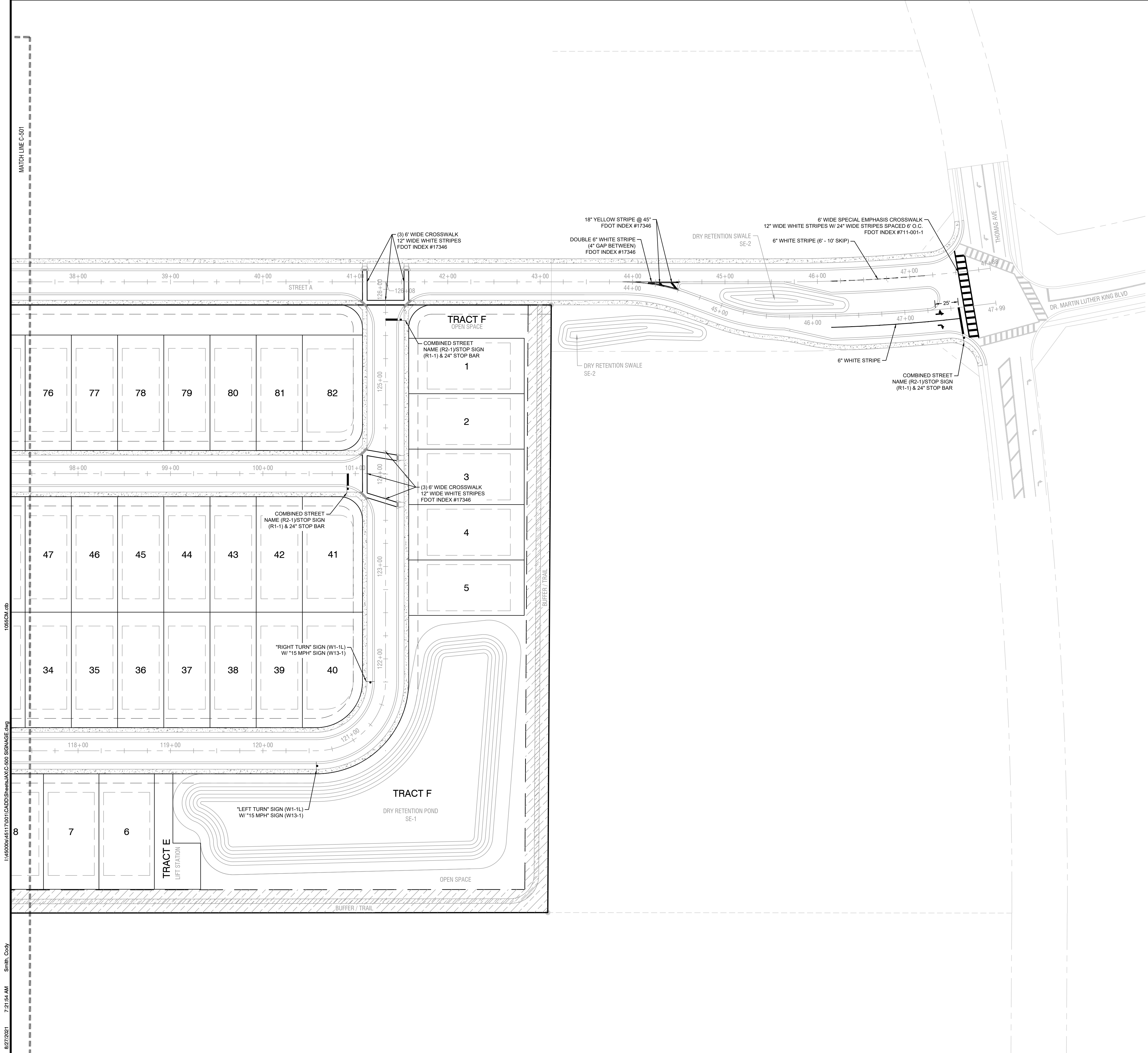
PARK SQUARE FRUITLAND PARK - PHASE 1  
FRUITLAND PARK, FL  
C-303  
UTILITIES PLAN



DATE: 8/27/2021  
DESIGNED BY: CBS  
DRAWN BY: TKG/NTD  
CHECKED BY: MAC  
JOB NO.: 045117.001

C-303

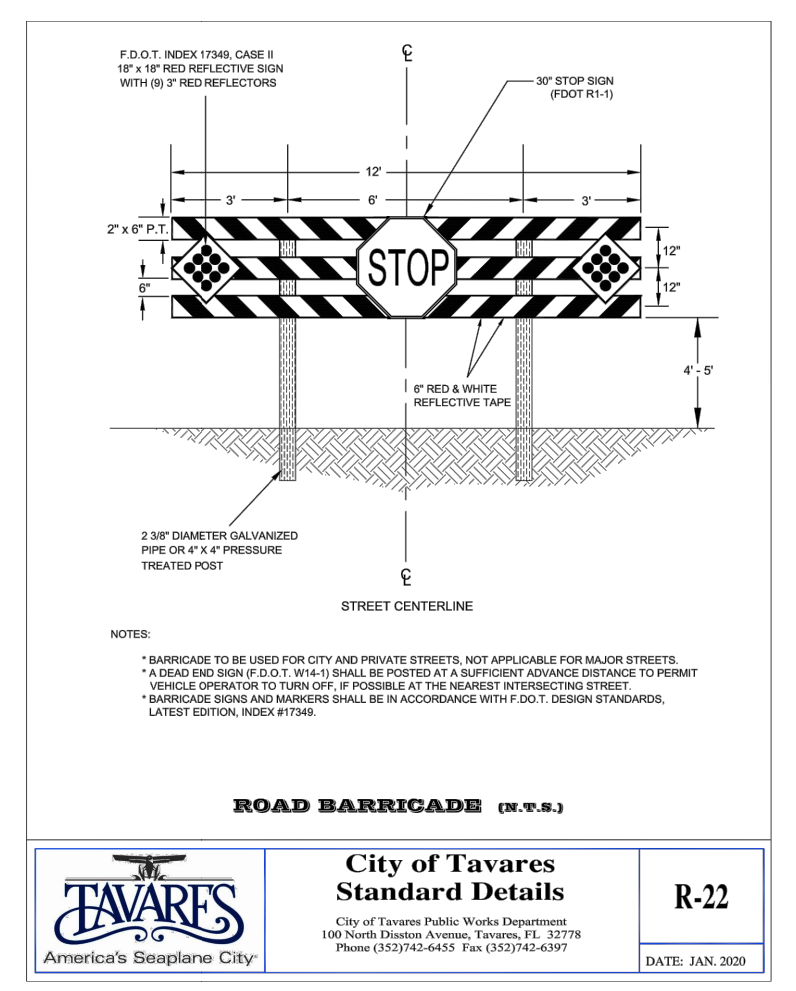
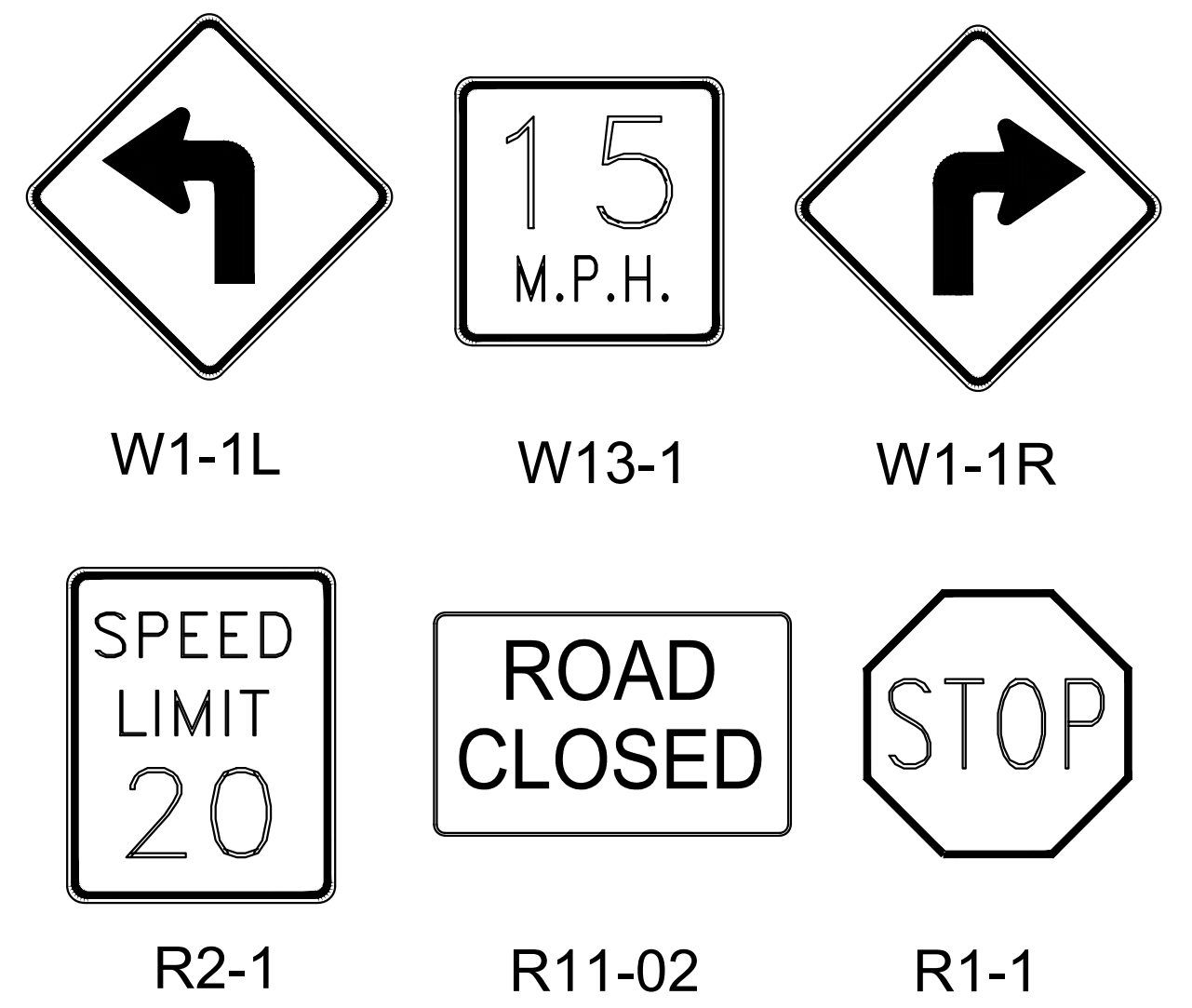
CHARLES C. HIOTT, PE  
Registered Eng 54813



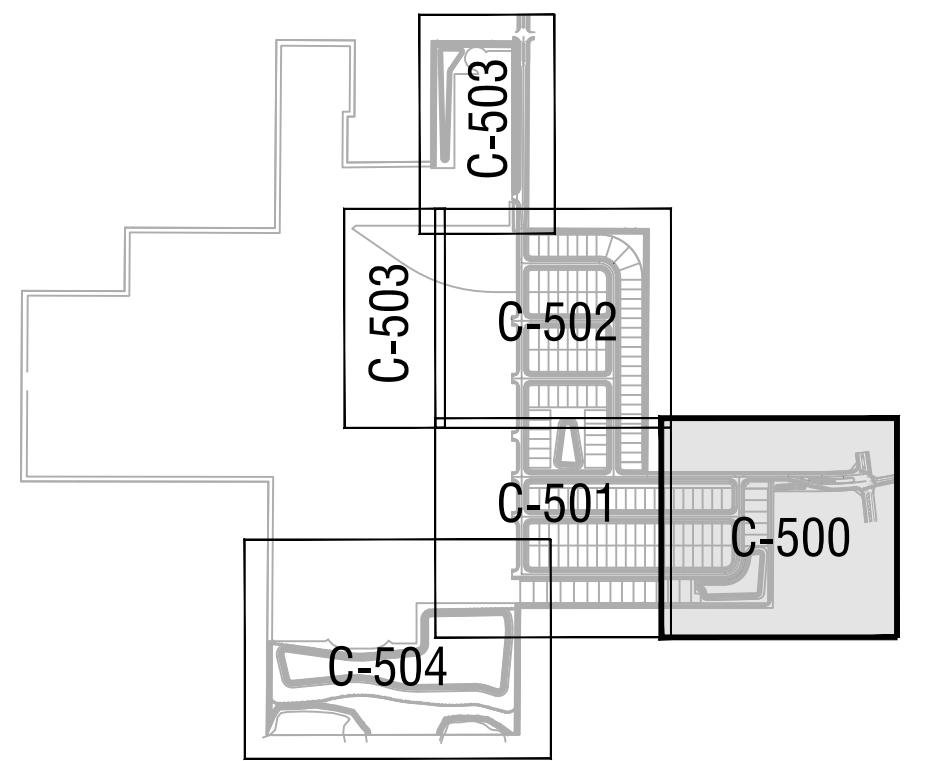
**- LEGEND -**

---	ROAD CENTERLINE	---	EASEMENT
---	RIGHT OF WAY (PROPOSED)	---	BUILDING SETBACK
---	RIGHT OF WAY (EXISTING)	---	EDGE OF ROAD / BACK OF CURB
---	PROPERTY LINE	---	PROPOSED RETAINING WALL

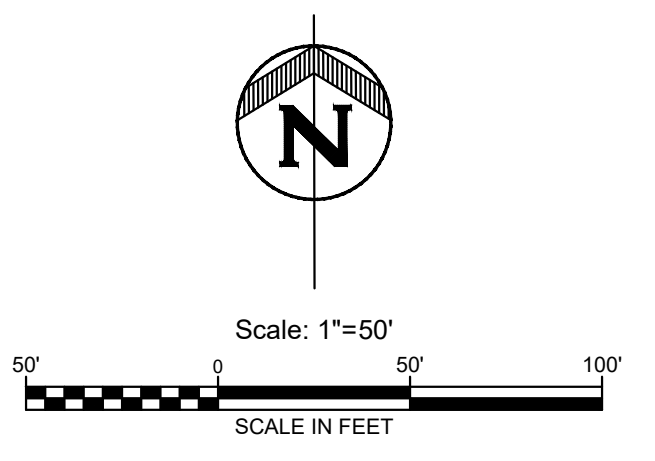
**NOTES:**  
 1. ALL ROADWAY SIGNAGE AND STRIPING SHALL COMPLY WITH THE FHWA MUTCD, FDOT STANDARD PLANS FOR ROAD CONSTRUCTION, AND FDOT STANDARD SPECIFICATIONS, LATEST EDITION.



**- SIGNAGE DETAILS -**



**- KEY MAP -**



NO.	REVISION	DATE

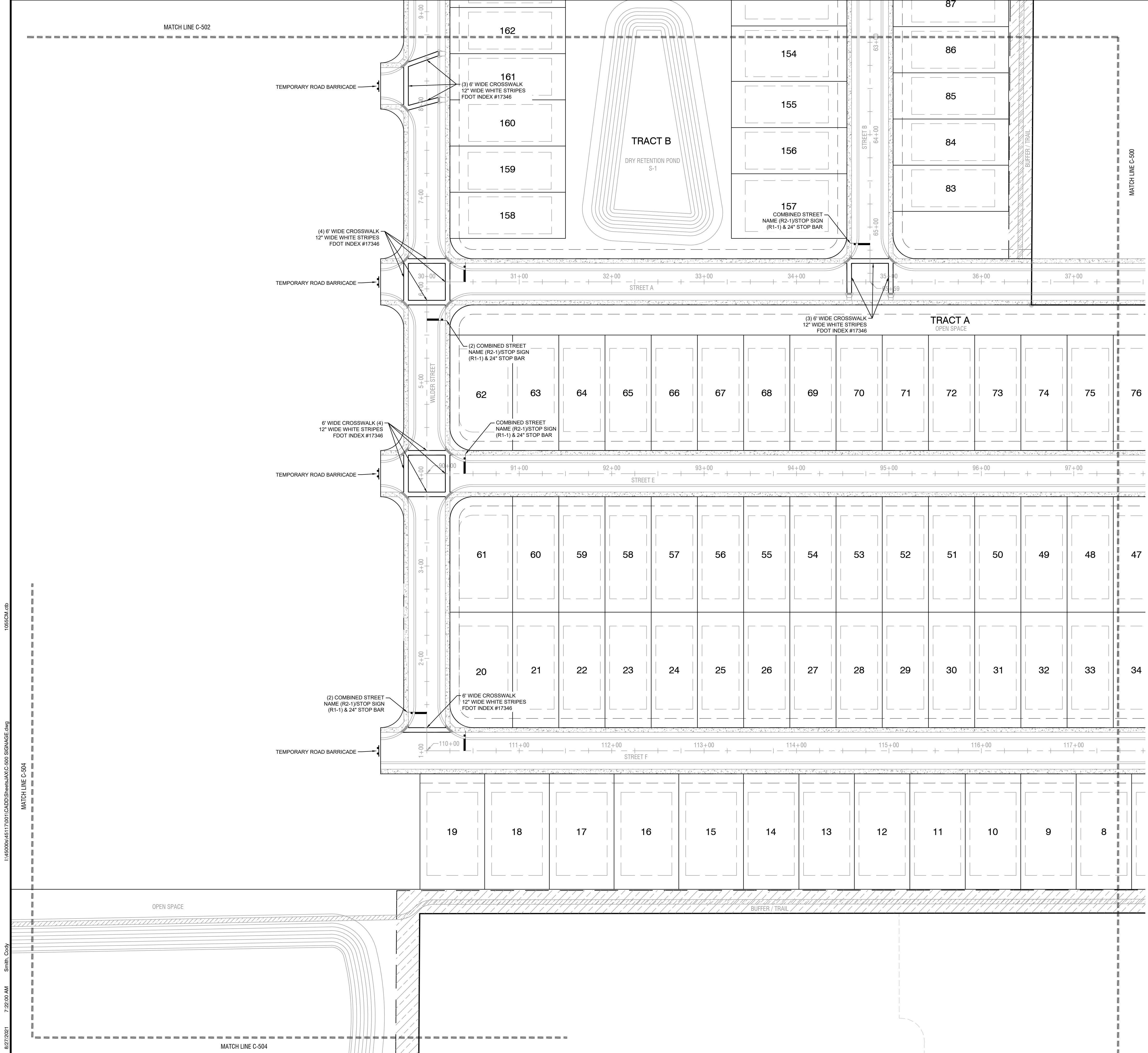
**PARK SQUARE FRUITLAND PARK - PHASE 1  
 FRUITLAND PARK, FL  
 C-500  
 SIGNAGE & STRIPING PLAN**

**HALFF**  
 902 North Sinclair Ave.  
 Tavares, Florida 32778  
 Office: 352.343.9481  
 Fax: 352.343.9485  
 Certificate of Authorization Number: 33380

DATE:	8/27/2021
DESIGNED BY:	CBS
DRAWN BY:	TGK/NTD
CHECKED BY:	MAC
JOB NO.:	045117.001
<b>C-500</b>	

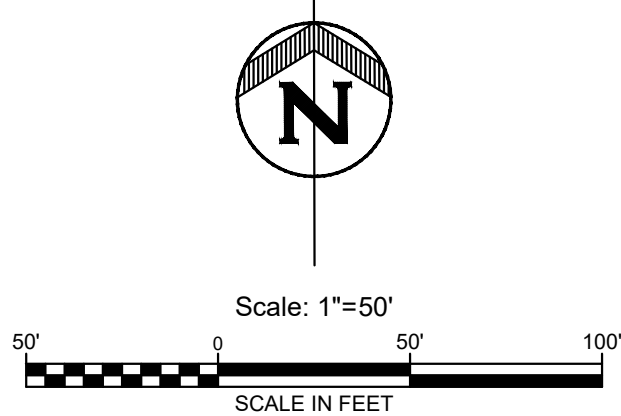
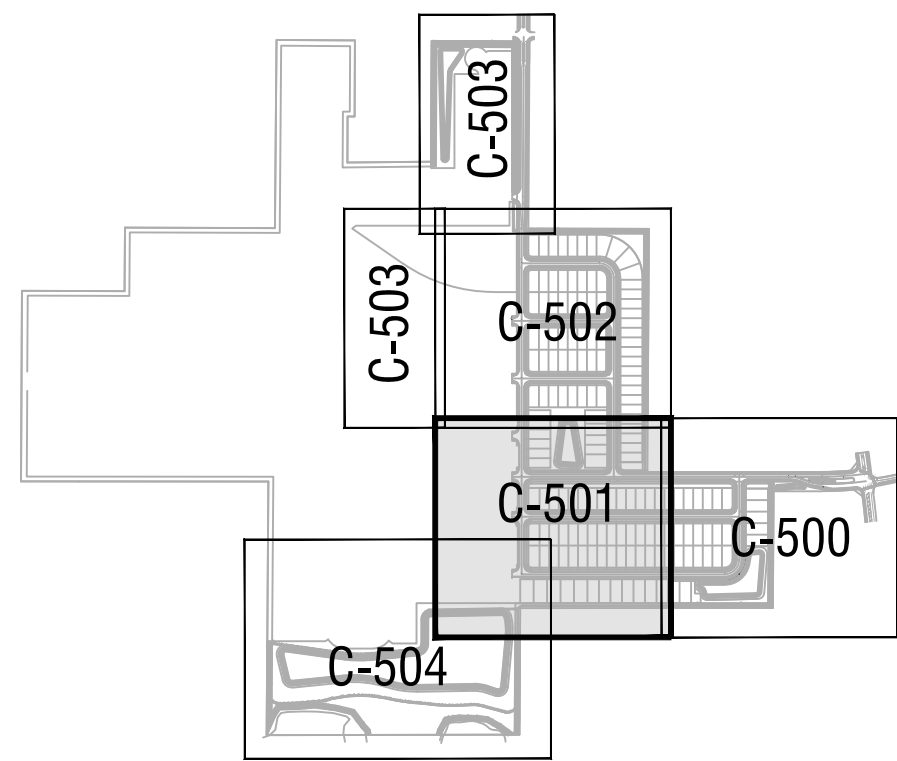
CHARLES C. HIOTT, PE  
 Registered Eng 54813

8/27/2021 7:21:54 AM Smith, Cody 1:\45000\45117\001\CADD\9\HALFF\C-500 SIGNAGE.dwg 105SCH.dwg



**- LEGEND -**

--- ROAD CENTERLINE	--- EASEMENT
- - - RIGHT OF WAY (PROPOSED)	--- BUILDING SETBACK
- - - RIGHT OF WAY (EXISTING)	--- EDGE OF ROAD / BACK OF CURB
--- PROPERTY LINE	--- PROPOSED RETAINING WALL



DATE	REVISION
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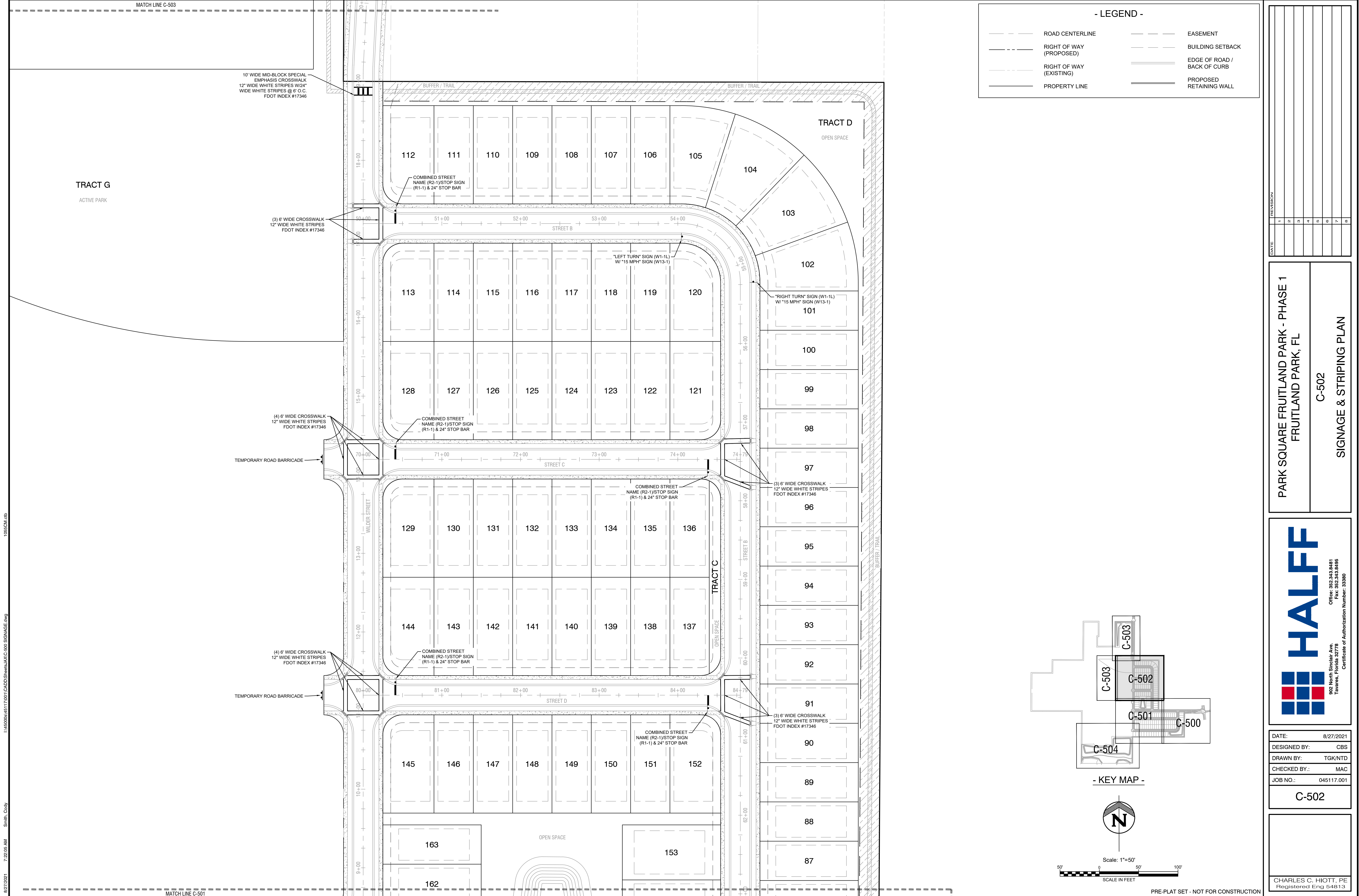
PARK SQUARE FRUITLAND PARK - PHASE 1  
FRUITLAND PARK, FL  
C-501  
SIGNAGE & STRIPING PLAN



DATE: 8/27/2021  
DESIGNED BY: CBS  
DRAWN BY: TGN/NTD  
CHECKED BY: MAC  
JOB NO.: 045117.001  
C-501

CHARLES C. HIOTT, PE  
Registered Eng 54813

8/27/2021 7:22:00 AM Smith, Cody 1:4500045117.001 CAD:\DWG\HALFF\C-500 SIGNAGE.dwg 105SCH.ctb



- LEGEND -

	ROAD CENTERLINE		EASEMENT
	RIGHT OF WAY (PROPOSED)		BUILDING SETBACK
	RIGHT OF WAY (EXISTING)		EDGE OF ROAD / BACK OF CURB
	PROPERTY LINE		PROPOSED RETAINING WALL

DATE	REVISION
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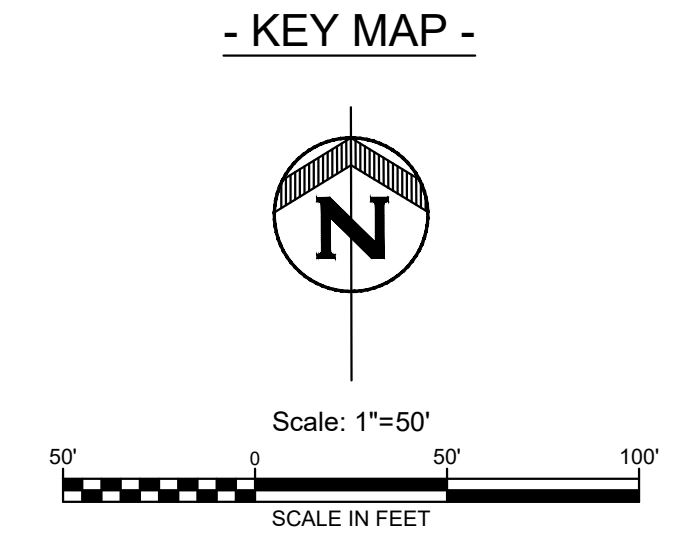
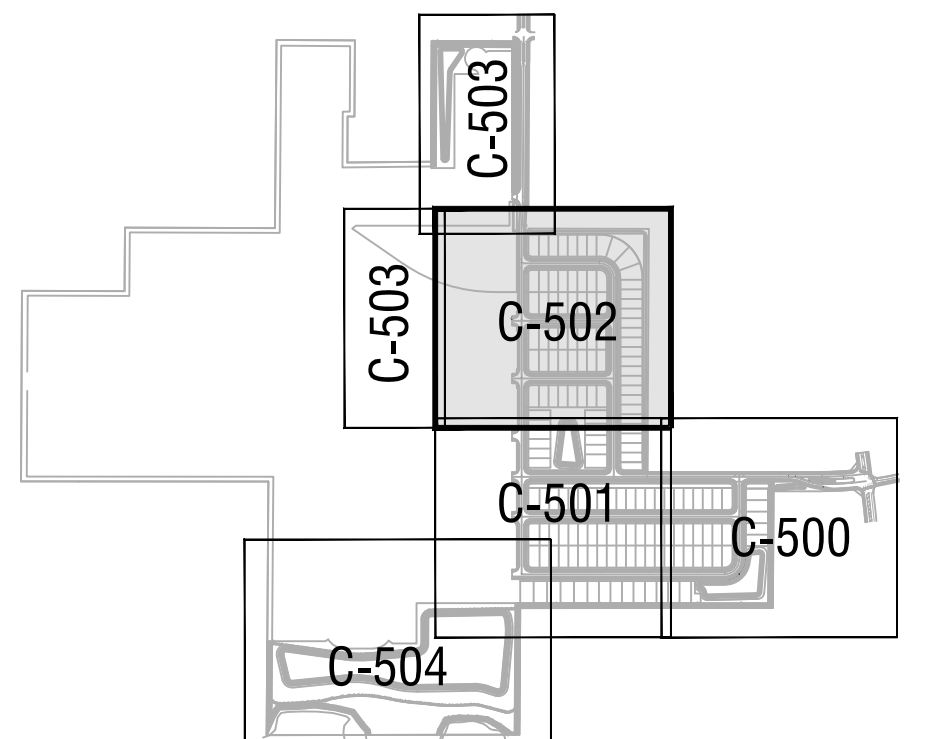
PARK SQUARE FRUITLAND PARK - PHASE 1  
FRUITLAND PARK, FL  
C-502  
SIGNAGE & STRIPING PLAN

Office: 352.343.9481  
Tallahassee, Florida 32376  
Fax: 352.343.8495  
Certificate of Authorization Number: 33380

902 North Sinclair Ave.  
Tallahassee, Florida 32376  
Certificate of Authorization Number: 33380

DATE:	8/27/2021
DESIGNED BY:	CBS
DRAWN BY:	TGK/NTD
CHECKED BY:	MAC
JOB NO.:	045117.001
C-502	

CHARLES C. HIOTT, PE  
Registered Eng 54813

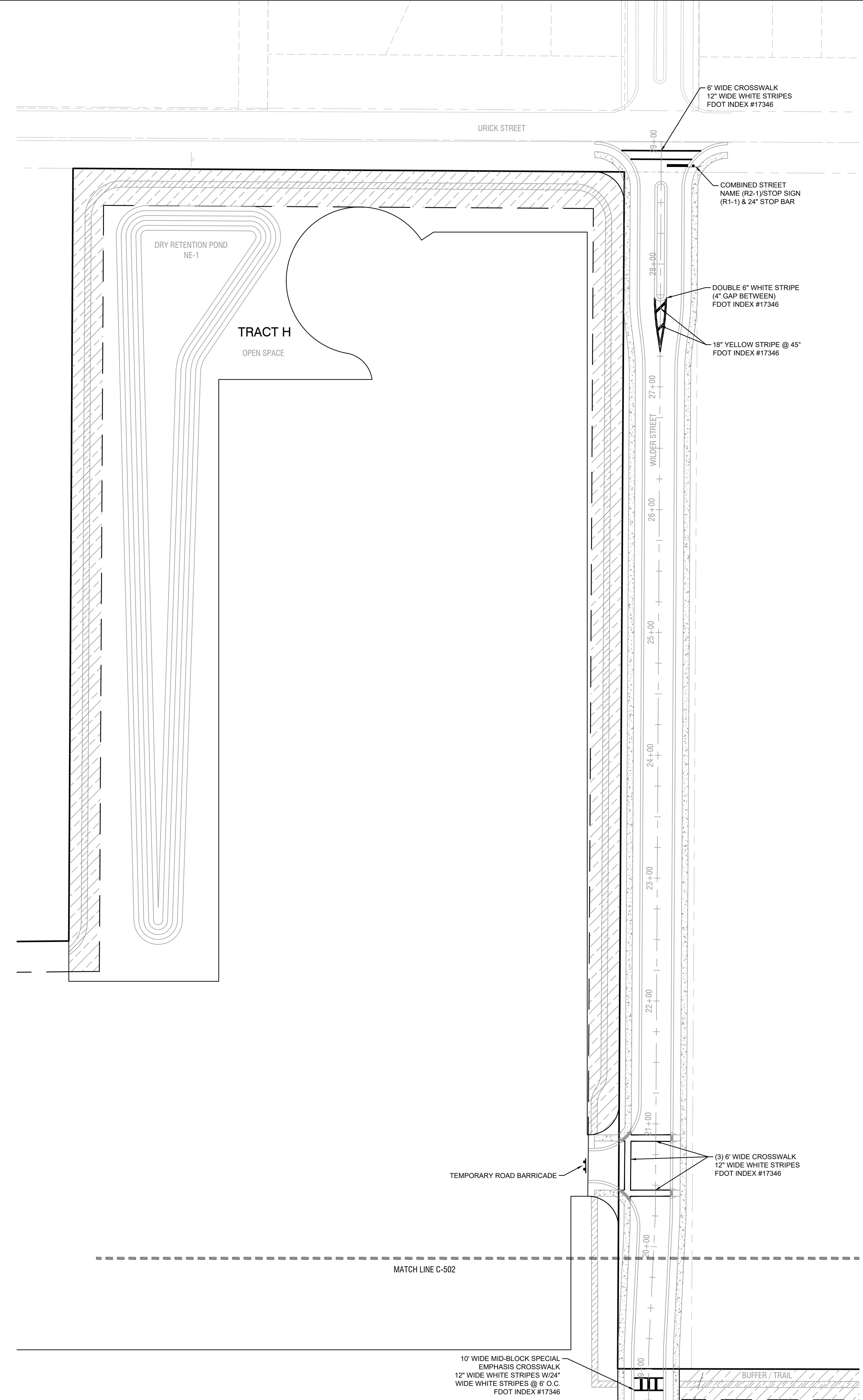


PRE-PLAT SET - NOT FOR CONSTRUCTION

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MATCH LINE C-503  
MATCH LINE C-501

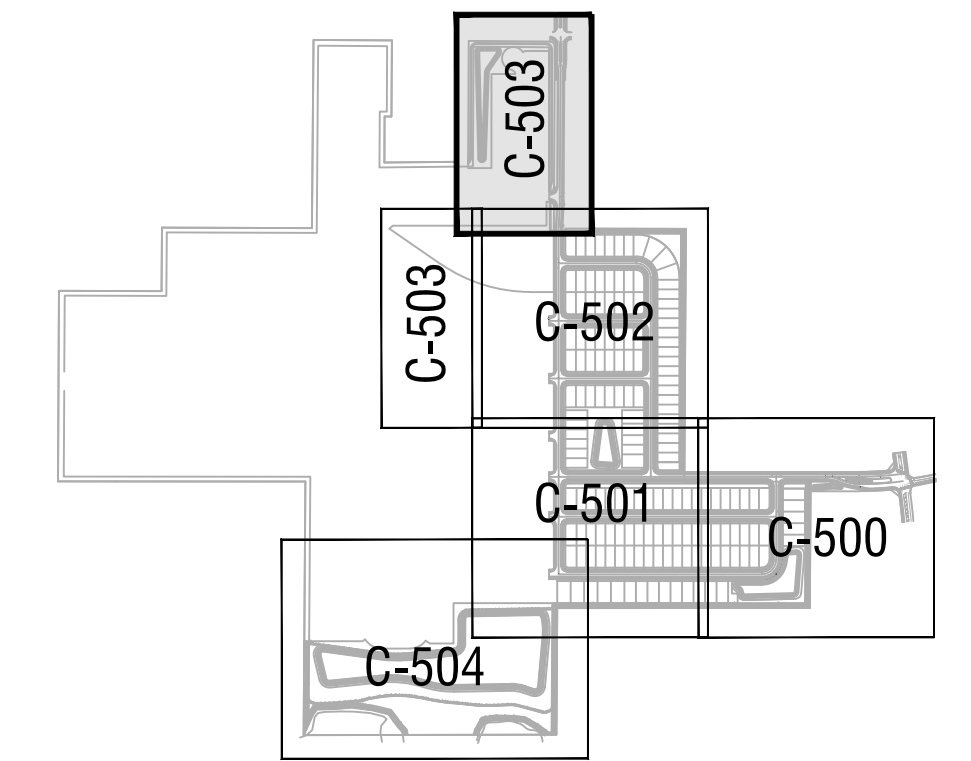


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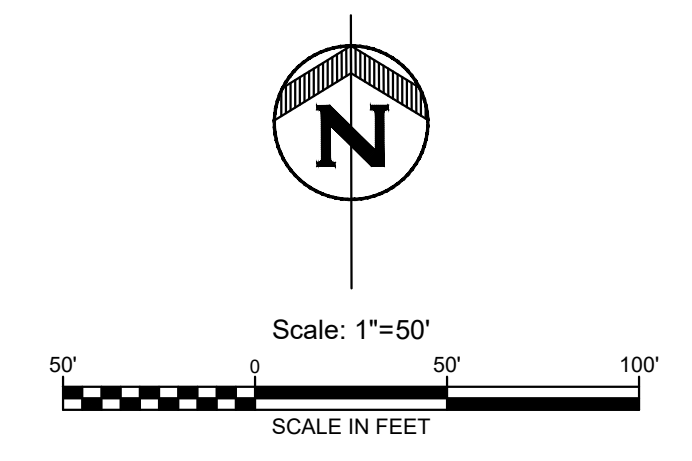


- LEGEND -

--- ROAD CENTERLINE	---	EASEMENT
- - - RIGHT OF WAY (PROPOSED)	---	BUILDING SETBACK
- - - RIGHT OF WAY (EXISTING)	---	EDGE OF ROAD / BACK OF CURB
--- PROPERTY LINE	---	PROPOSED RETAINING WALL



- KEY MAP -



DATE	REVISION
	1
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PARK SQUARE FRUITLAND PARK - PHASE 1  
FRUITLAND PARK, FL  
C-503  
SIGNAGE & STRIPING PLAN

902 North Sinclair Ave.  
Tallahassee, Florida 32376  
Office: 352.343.9481  
Fax: 352.343.9495  
Certificate of Authorization Number: 3390

DATE:	8/27/2021
DESIGNED BY:	CBS
DRAWN BY:	TGK/NTD
CHECKED BY:	MAC
JOB NO.:	045117.001
<b>C-503</b>	

CHARLES C. HIOTT, PE  
Registered Eng 54813

⊕ 24" OAK Denotes tree location, size and type  
 UNK Denotes unknown tree type

**SHEET INDEX**  
 SHEET 1 - NOTES & TOPOGRAPHIC & TREE SURVEY  
 SHEETS 2 THRU 9 - TOPOGRAPHIC & TREE SURVEY  
 SHEET 10 - 11 - DETAIL SHEET  
 SHEETS 12 THRU 16 - TREE TABLES

**SURVEYOR'S NOTES:**  
 THIS IS NOT A BOUNDARY SURVEY.

The purpose of this survey is to depict the size and type of trees on the site.

Trees sizes depicted hereon are based on the diameter of the tree in inches measured at breast height.

There may be easements and restrictions of record and/or private agreements not furnished to this surveyor or shown on this survey that may affect property rights and/or land use rights of the subject property.

This survey was performed without the benefit of an insurance title commitment.

There may be environmental issues and/or other matters regulated by various departments of federal, state or local governments affecting the subject property not shown on this survey.

This survey was performed for the sole and exclusive benefit of the entities listed hereon and shall not be relied upon by any other entity or individual whomsoever.

This survey is not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper.

Unless otherwise noted or shown hereon, there are no apparent and/or unobstructed, above ground encroachments. The disposition of any potential encroaching improvements shown is beyond professional purview and subject to legal interpretation.

Elevations shown hereon are based on City of Leesburg Datum, Benchmark number LE16, elevation being 136.997. North American Vertical Datum 1988

Last date in field: August 16, 2021.

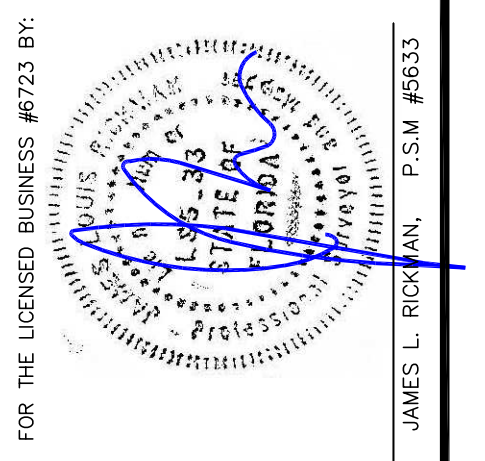


**SURVEYING • MAPPING  
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16 EAST PLANT STREET  
 WINTER GARDEN, FLORIDA 34787  
 (407) 654-5355 FAX (407) 654-5356

**TOPOGRAPHIC & TREE SURVEY  
 OF  
 FRUITLAND PARK**  
 SECTION 29, TOWNSHIP 23 SOUTH, RANGE 27 EAST  
 ORANGE COUNTY, FLORIDA

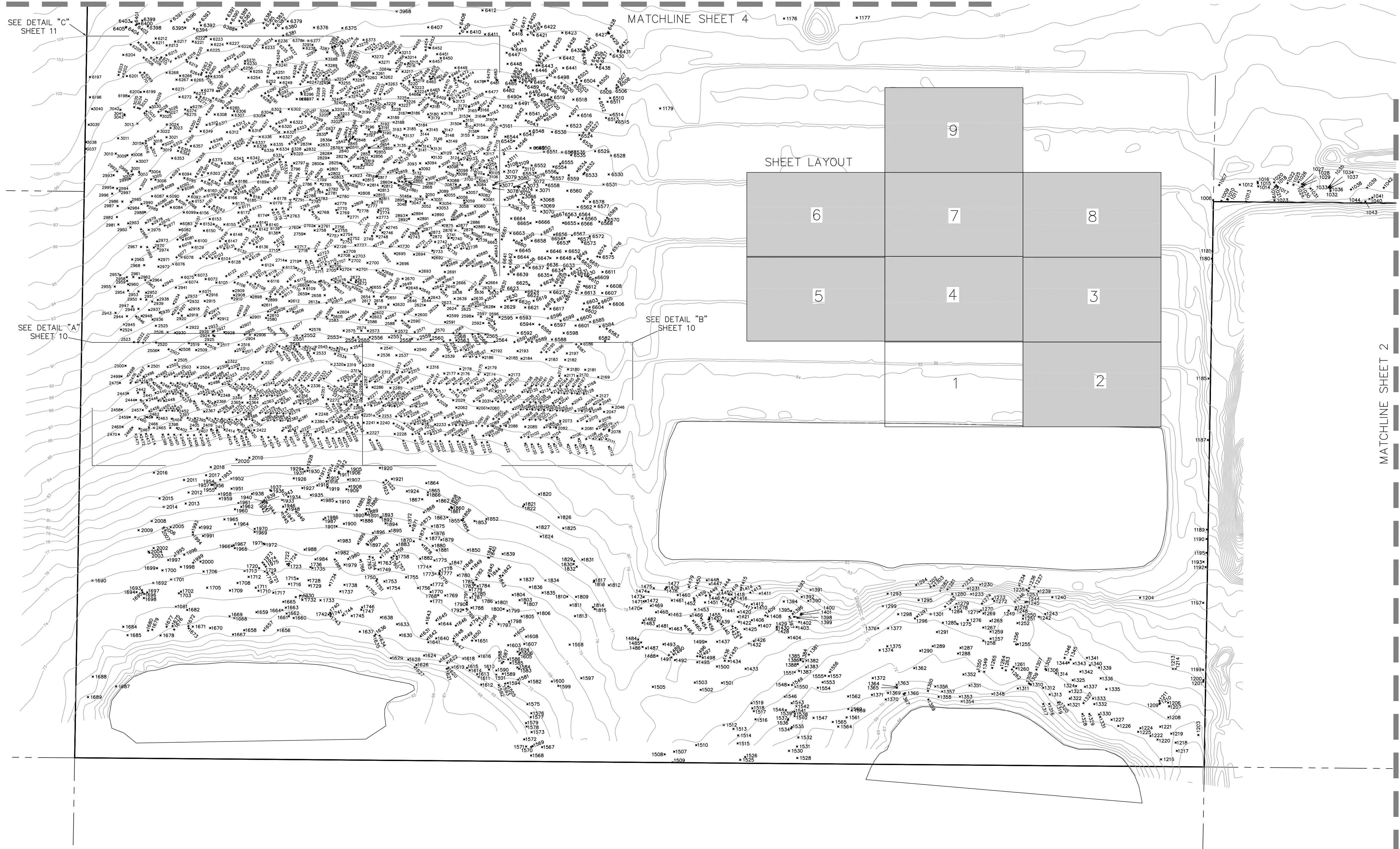
**FOR:  
 PARK SQUARE HOMES**



DATE	REVISIONS

JOB # 20210417  
 DATE: 9/13/21  
 SCALE: 1" = 60'  
 CALC BY: DY  
 FIELD BY: KH  
 DRAWN BY: CDK  
 CHECKED BY: DY

**SHEET 1 OF 16**



Drawing name: L:\Data\20210417\Topo\20210417-000-Tree-Survey-SHEET-1-Tree

⊕ 24" OAK Denotes tree location, size and type  
 UNK Denotes unknown tree type

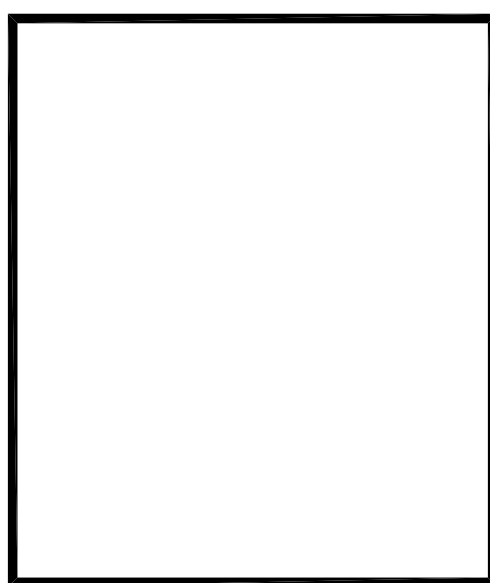


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16 EAST PLANT STREET  
 WINTER GARDEN, FLORIDA 34787  
 (407) 654-5355 FAX (407) 654-5356

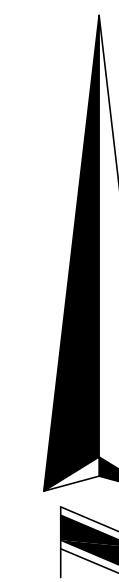
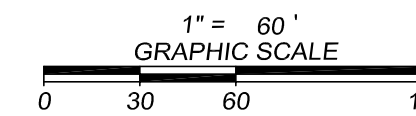
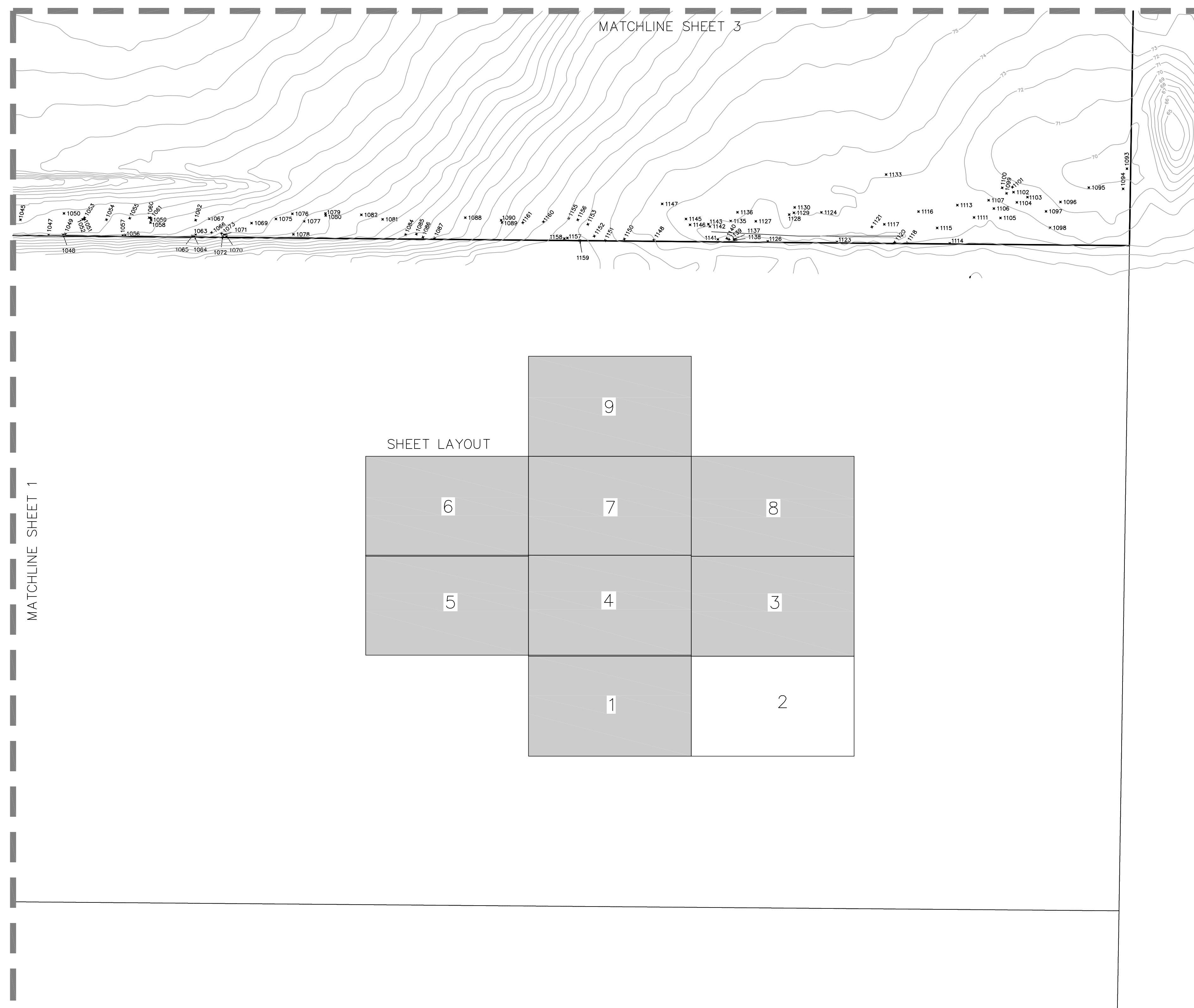
**TOPOGRAPHIC & TREE SURVEY  
 OF  
 FRUITLAND PARK**  
 SECTION 29, TOWNSHIP 23 SOUTH, RANGE 27 EAST  
 ORANGE COUNTY, FLORIDA

**FOR:**  
 PARK SQUARE HOMES



DATE	REVISIONS

JOB # 20210417  
 DATE: 9/13/21  
 SCALE: 1" = 60'  
 CALC BY: DY  
 FIELD BY: KH  
 DRAWN BY: CDK  
 CHECKED BY: DY



⊕ 24" OAK Denotes tree location, size and type  
 UNK Denotes unknown tree type



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 GEOSPATIAL SERVICES**  
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16 EAST PLANT STREET  
 WINTER GARDEN, FLORIDA 34787  
 (407) 654-5355 FAX (407) 654-5356

**TOPOGRAPHIC & TREE SURVEY  
 OF  
 FRUITLAND PARK**  
 SECTION 29, TOWNSHIP 23 SOUTH, RANGE 27 EAST  
 ORANGE COUNTY, FLORIDA

**FOR:**  
 PARK SQUARE HOMES

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NO.	DATE	REVISIONS

JOB # 20210417  
 DATE: 9/13/21  
 SCALE: 1" = 60'  
 CALC BY: DY  
 FIELD BY: KH  
 DRAWN BY: CDK  
 CHECKED BY: DY

Drawing name: L:\Data\20210417\Topo\20210417-Topo Tree Survey - SHEET-3 TREE

⊕ 24" OAK Denotes tree location, size and type  
 UNK Denotes unknown tree type

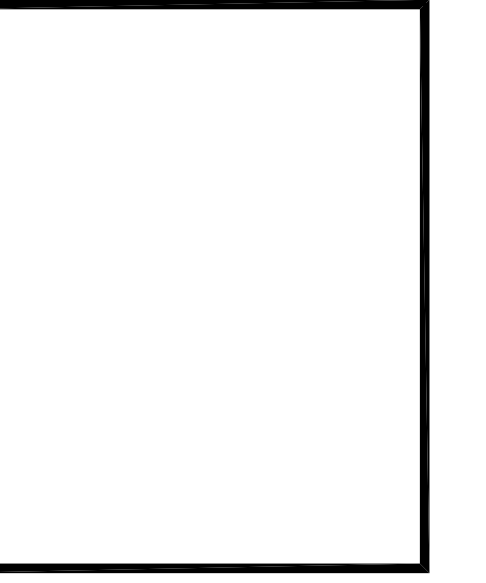


**SURVEYING • MAPPING  
 GEOSPATIAL SERVICES**  
 www.allen-company.com

16 EAST PLANT STREET  
 WINTER GARDEN, FLORIDA 34787  
 (407) 654-5355 FAX (407) 654-5356

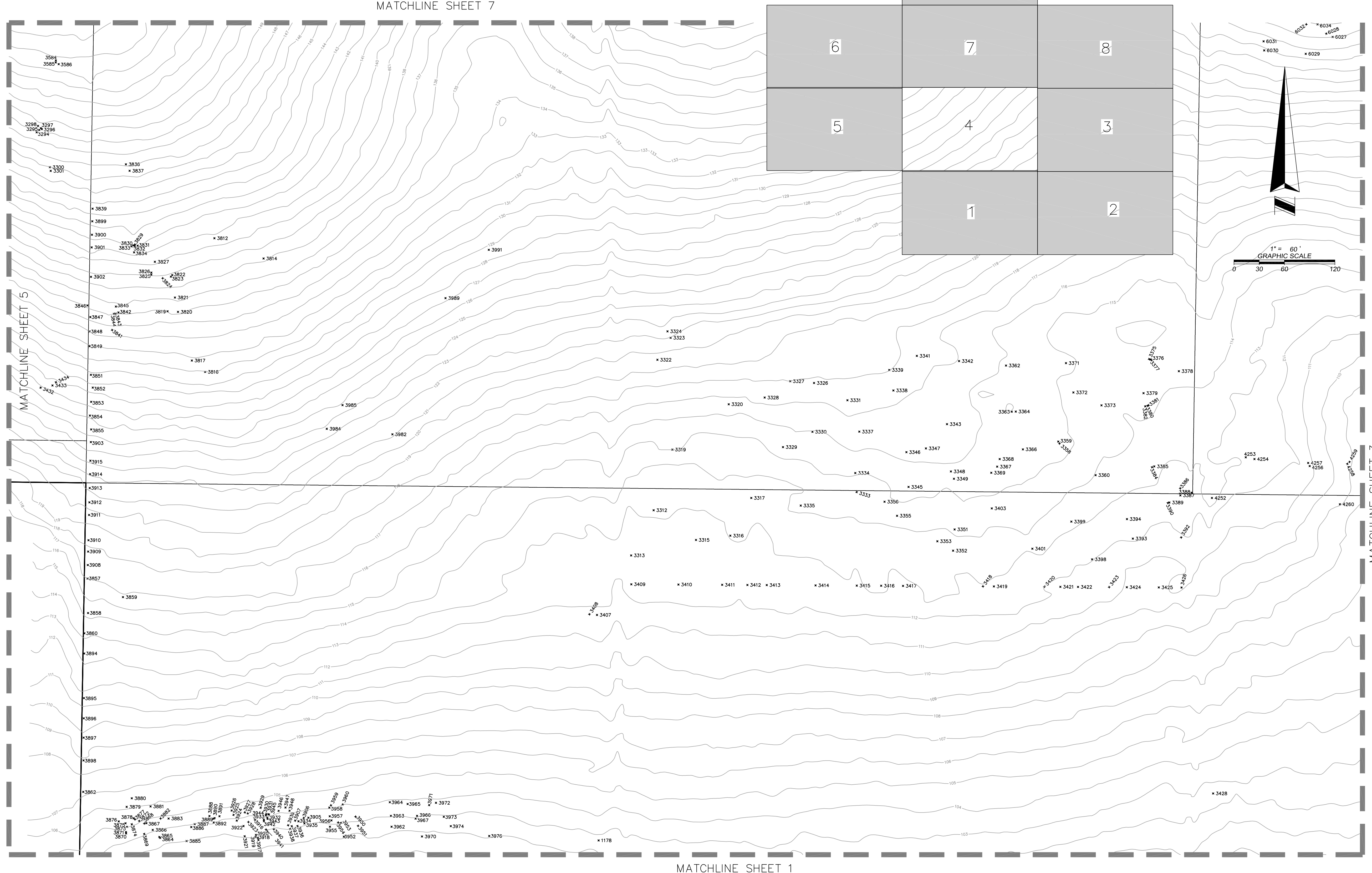
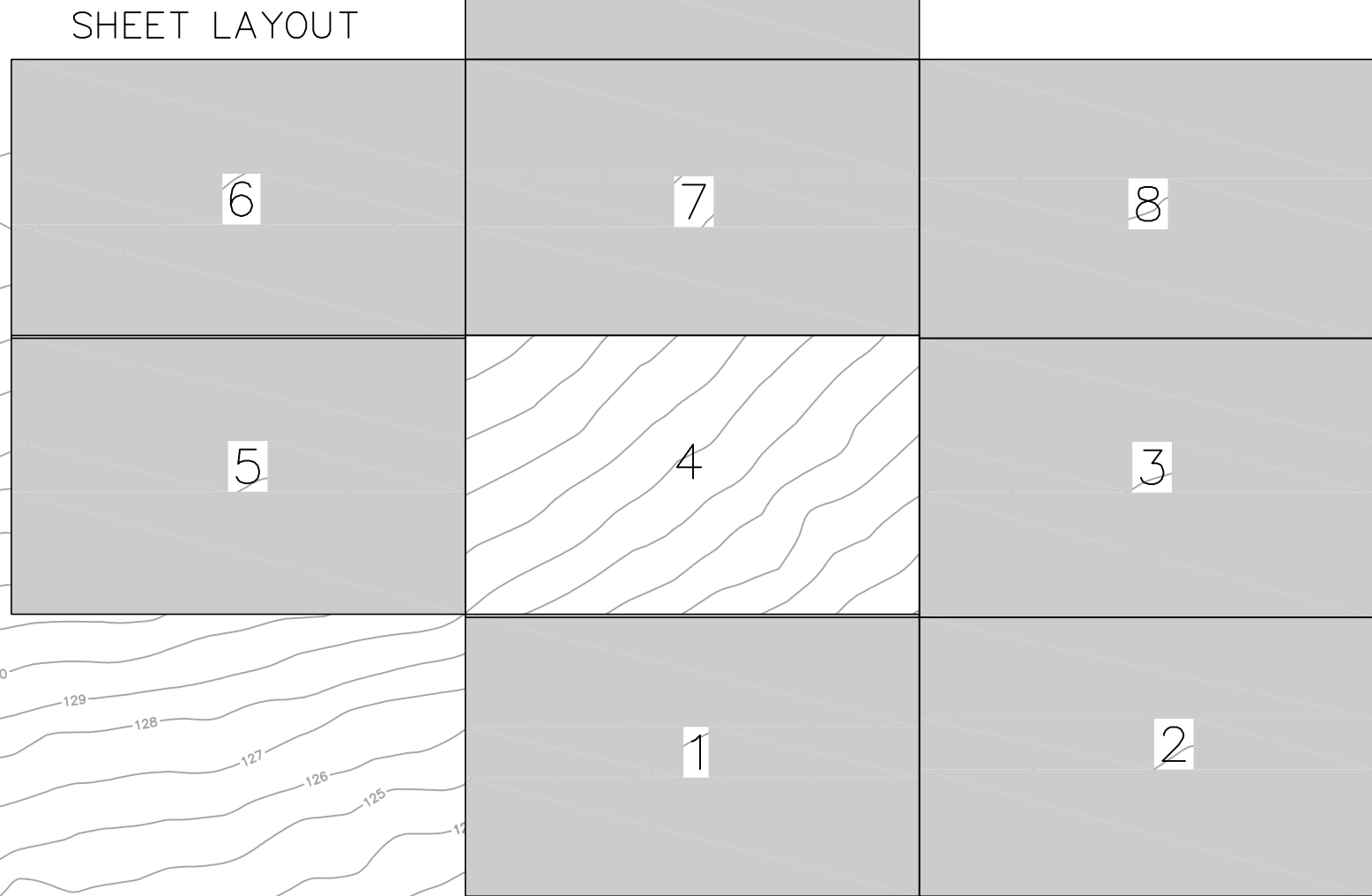
**TOPOGRAPHIC & TREE SURVEY  
 OF  
 FRUITLAND PARK**  
 SECTION 29, TOWNSHIP 23 SOUTH, RANGE 27 EAST  
 ORANGE COUNTY, FLORIDA

FOR:  
 PARK SQUARE HOMES



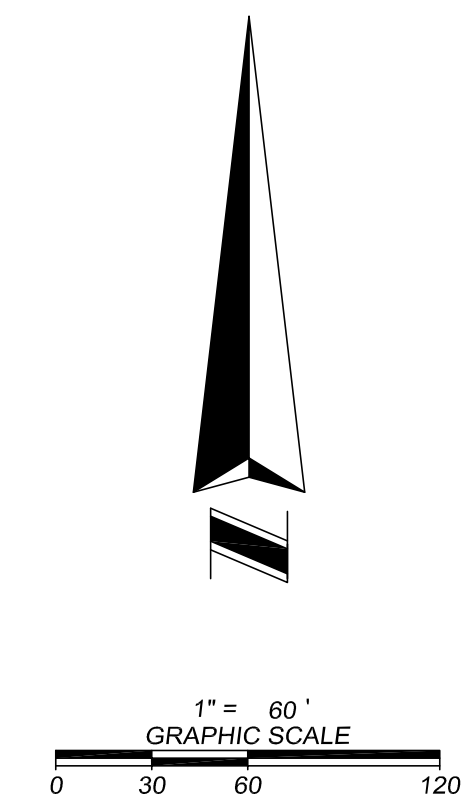
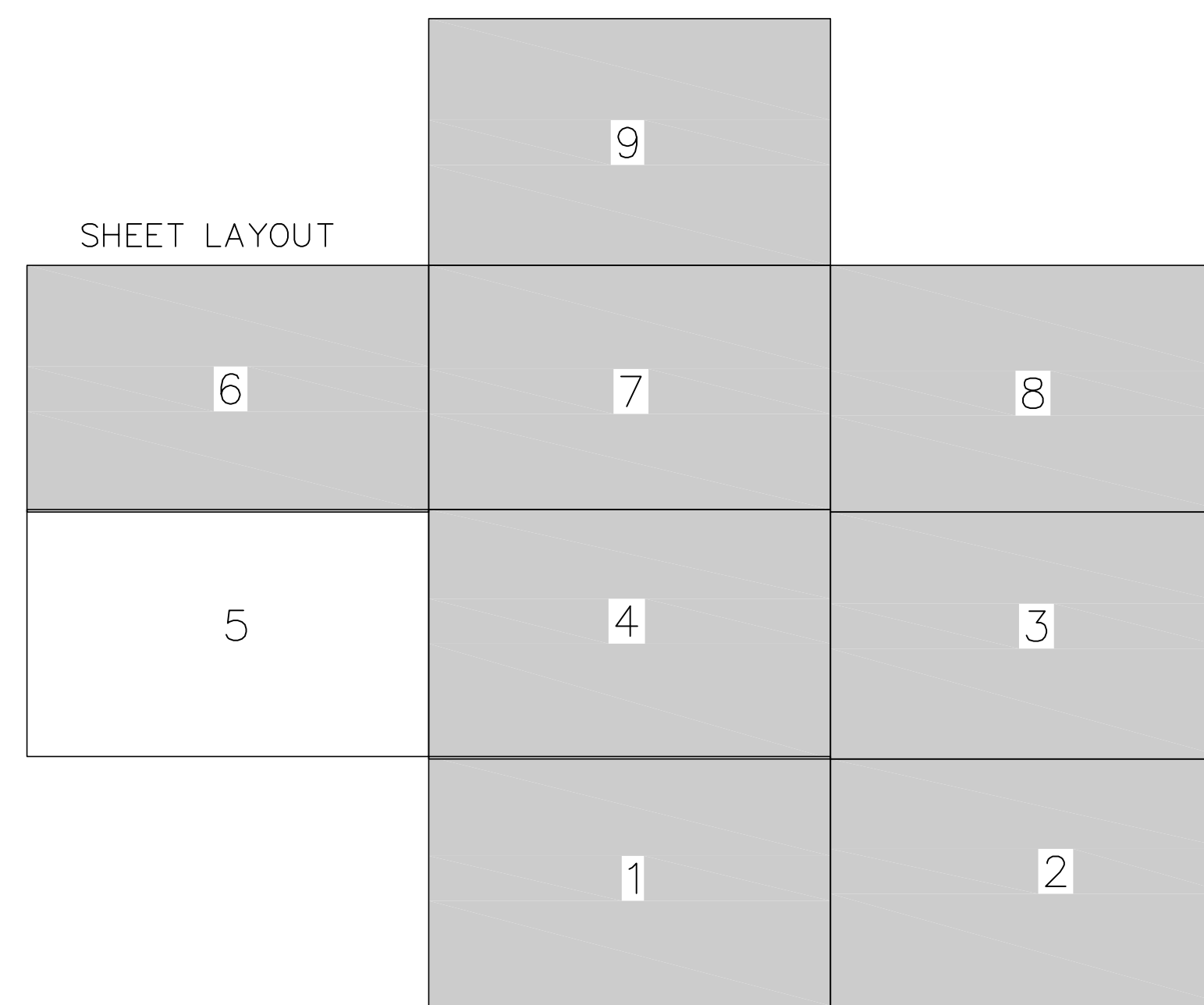
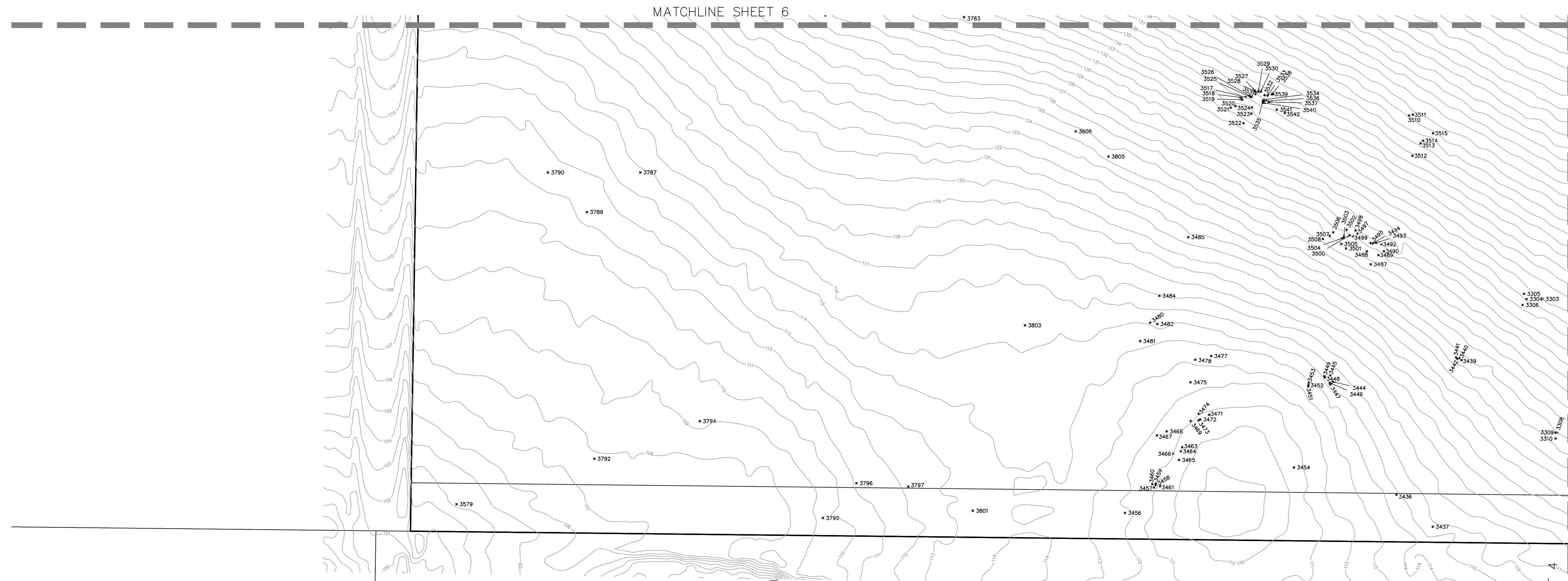
NO.	DATE	REVISIONS

JOB # 20210417  
 DATE: 9/13/21  
 SCALE: 1" = 60'  
 CALC BY: DY  
 FIELD BY: KH  
 DRAWN BY: CDK  
 CHECKED BY: DY



Drawing name: L:\Data\20210417\Topo\20210417-Topo Tree Survey - SHEET 4 - TREE

⊕ 24" OAK Denotes tree location, size and type  
 UNK Denotes unknown tree type

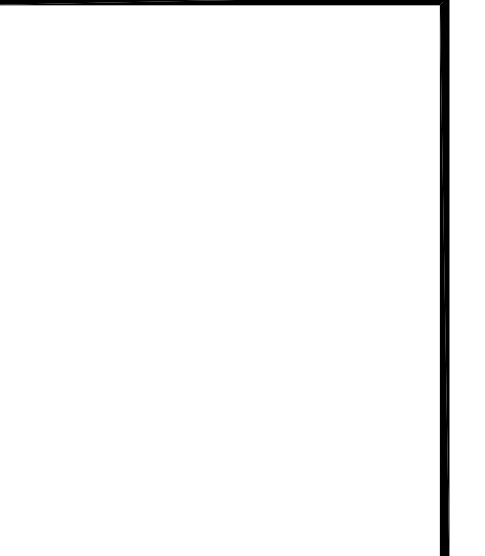


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**TOPOGRAPHIC & TREE SURVEY  
 OF  
 FRUITLAND PARK**  
 SECTION 29, TOWNSHIP 23 SOUTH, RANGE 27 EAST  
 ORANGE COUNTY, FLORIDA

FOR:  
 PARK SQUARE HOMES

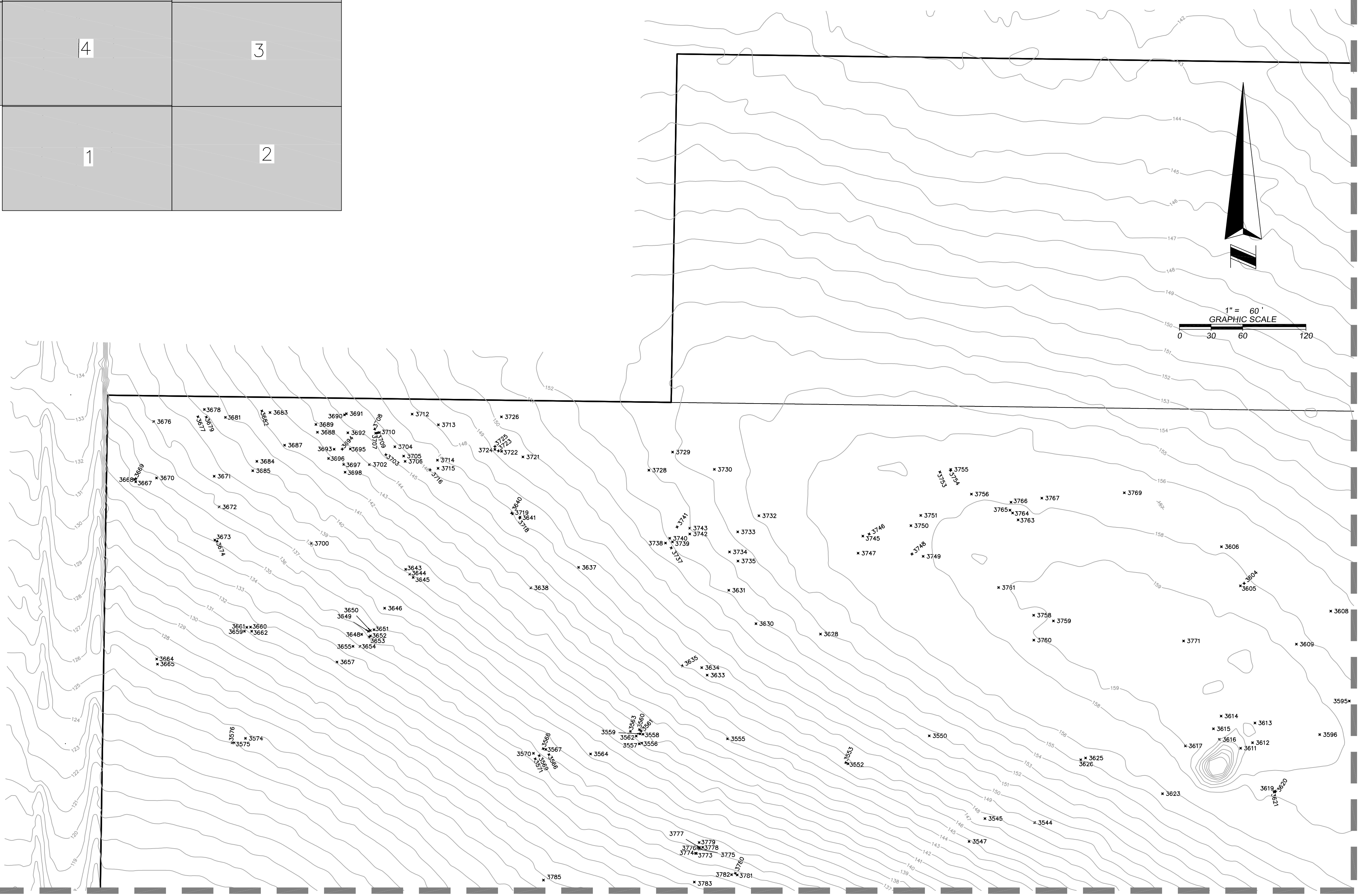
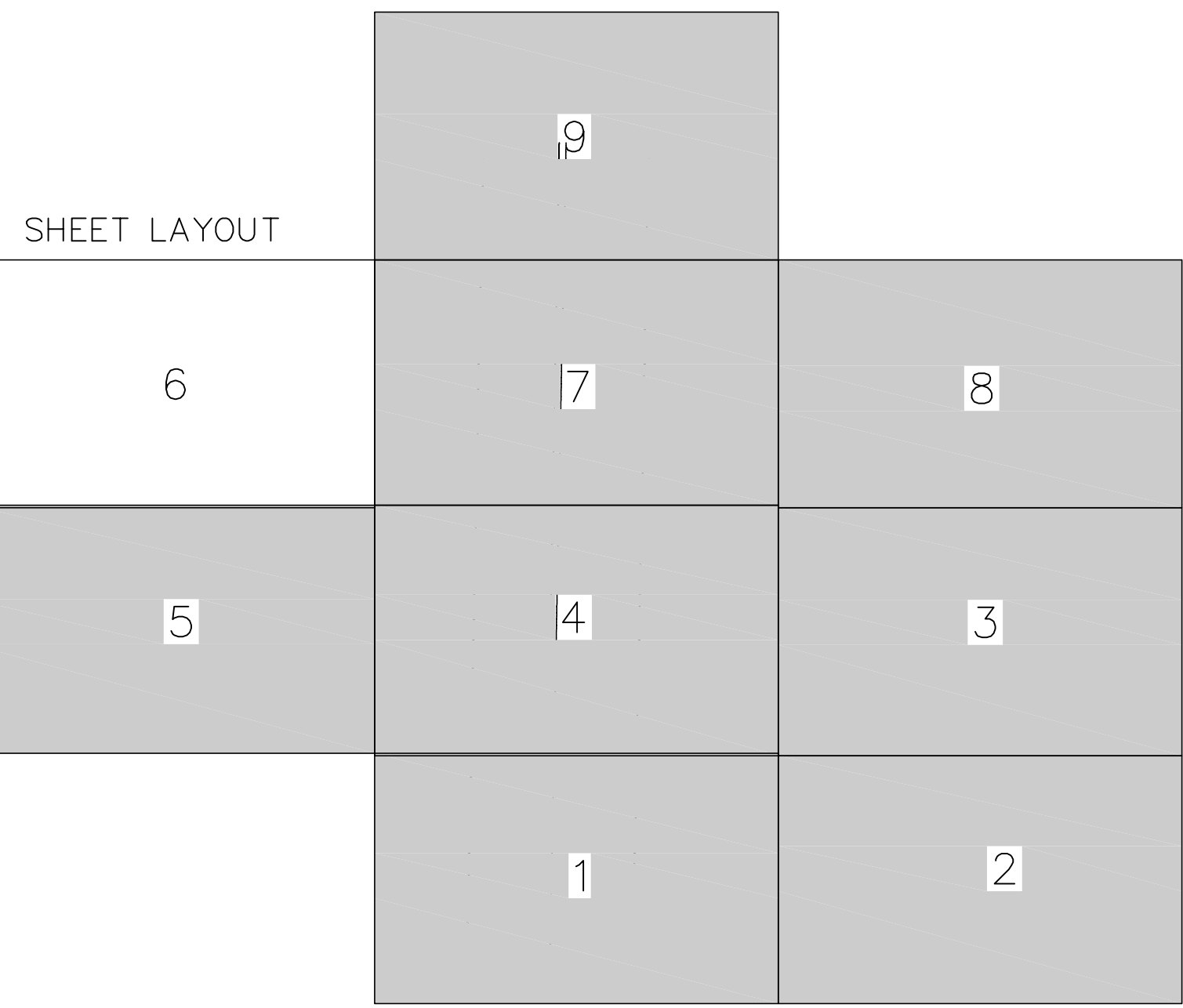


NO.	DATE	REVISIONS

JOB # 20210417  
 DATE 9/13/21  
 SCALE: 1" = 60'  
 CALC BY: DY  
 FIELD BY: KH  
 DRAWN BY: CDK  
 CHECKED BY: DY

Drawing name: L:\Data\20210417\Draw\20210417-TPD\_TREE\_SURVEY\_SHEET-5-TREE

⊕ 24" OAK Denotes tree location, size and type  
 UNK Denotes unknown tree type



Drawing name: L:\Data\20210417\Topo\20210417-Topo Tree Survey - SHEET 6 - TREE



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 SECTION 29, TOWNSHIP 23 SOUTH, RANGE 27 EAST  
 ORANGE COUNTY, FLORIDA

**FOR:**  
 PARK SQUARE HOMES


NO.	DATE	REVISIONS

JOB # 20210417  
 DATE: 9/13/21  
 SCALE: 1" = 60'  
 CALC BY: DY  
 FIELD BY: KH  
 DRAWN BY: CDK  
 CHECKED BY: DY

**SHEET 6 OF 16**

⊕ 24" OAK Denotes tree location, size and type  
 UNK Denotes unknown tree type



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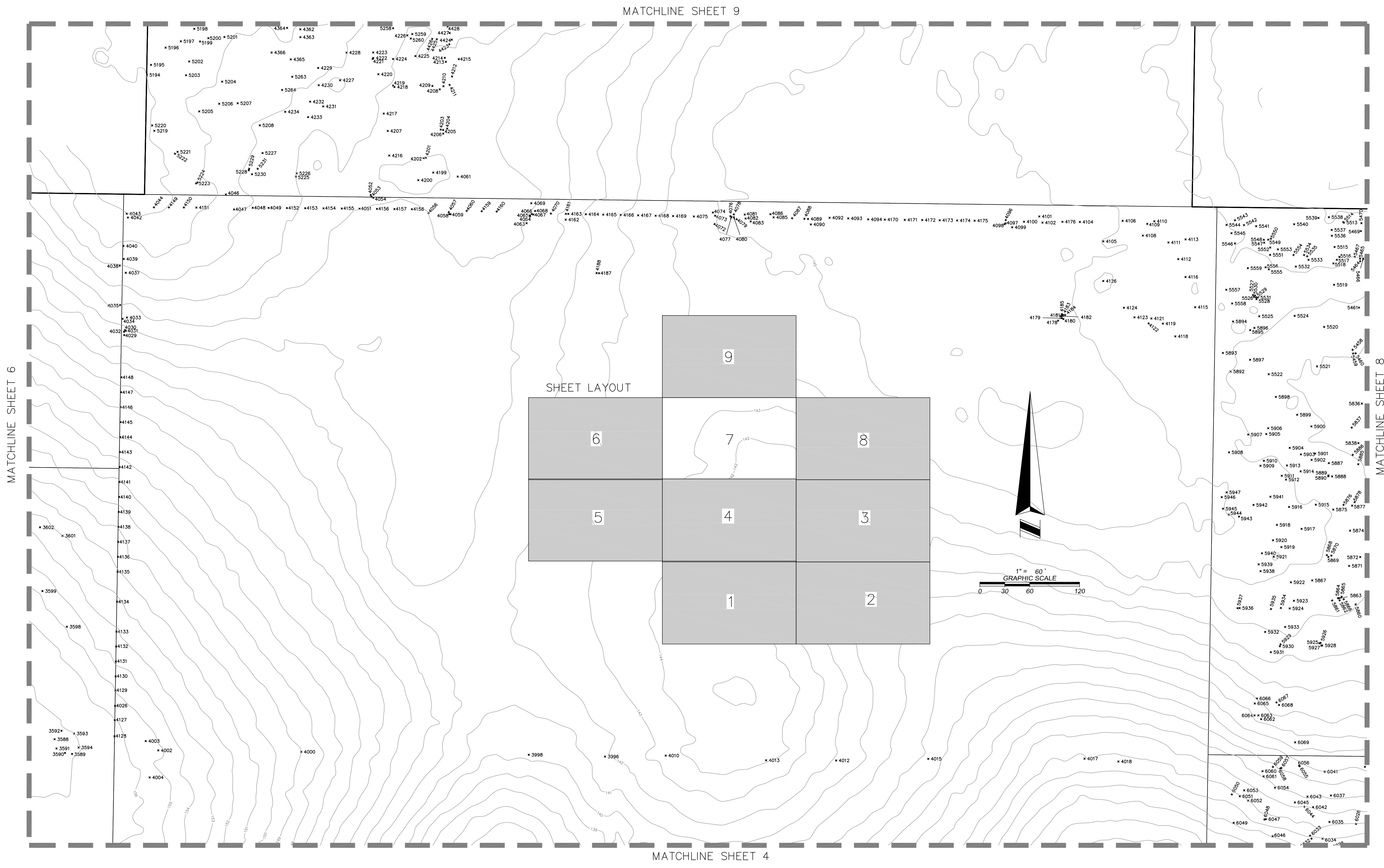
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 OF  
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 SECTION 29, TOWNSHIP 23 SOUTH, RANGE 27 EAST  
 ORANGE COUNTY, FLORIDA

FOR:  
 PARK SQUARE HOMES

NO.	DATE	REVISIONS

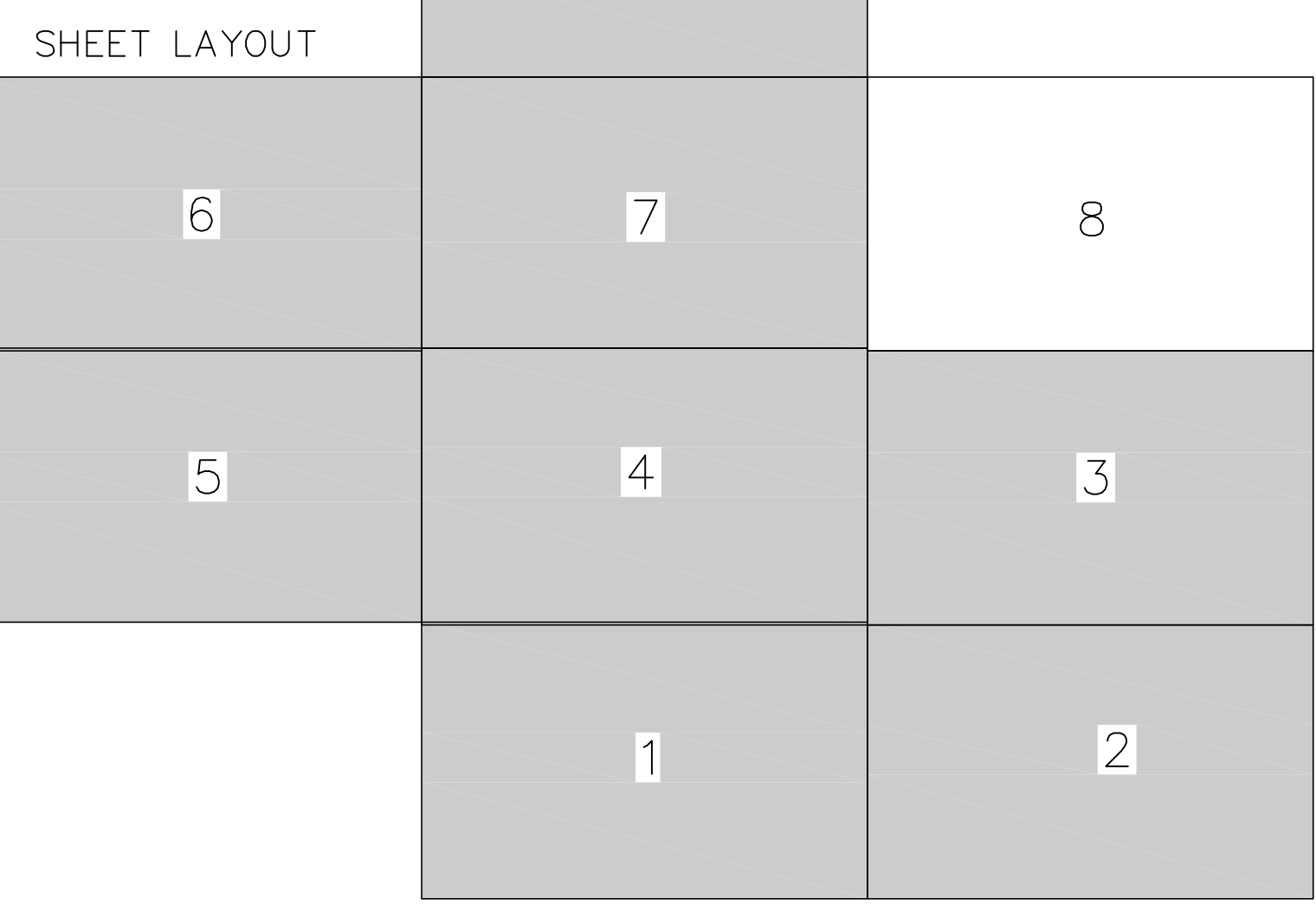
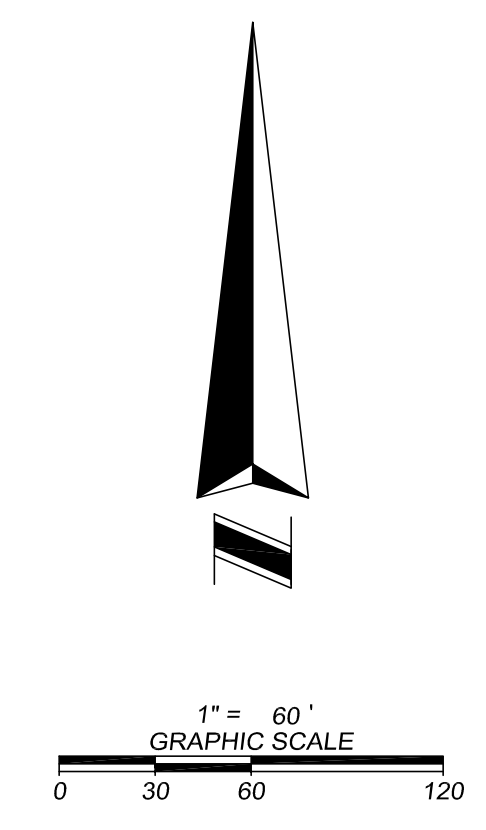
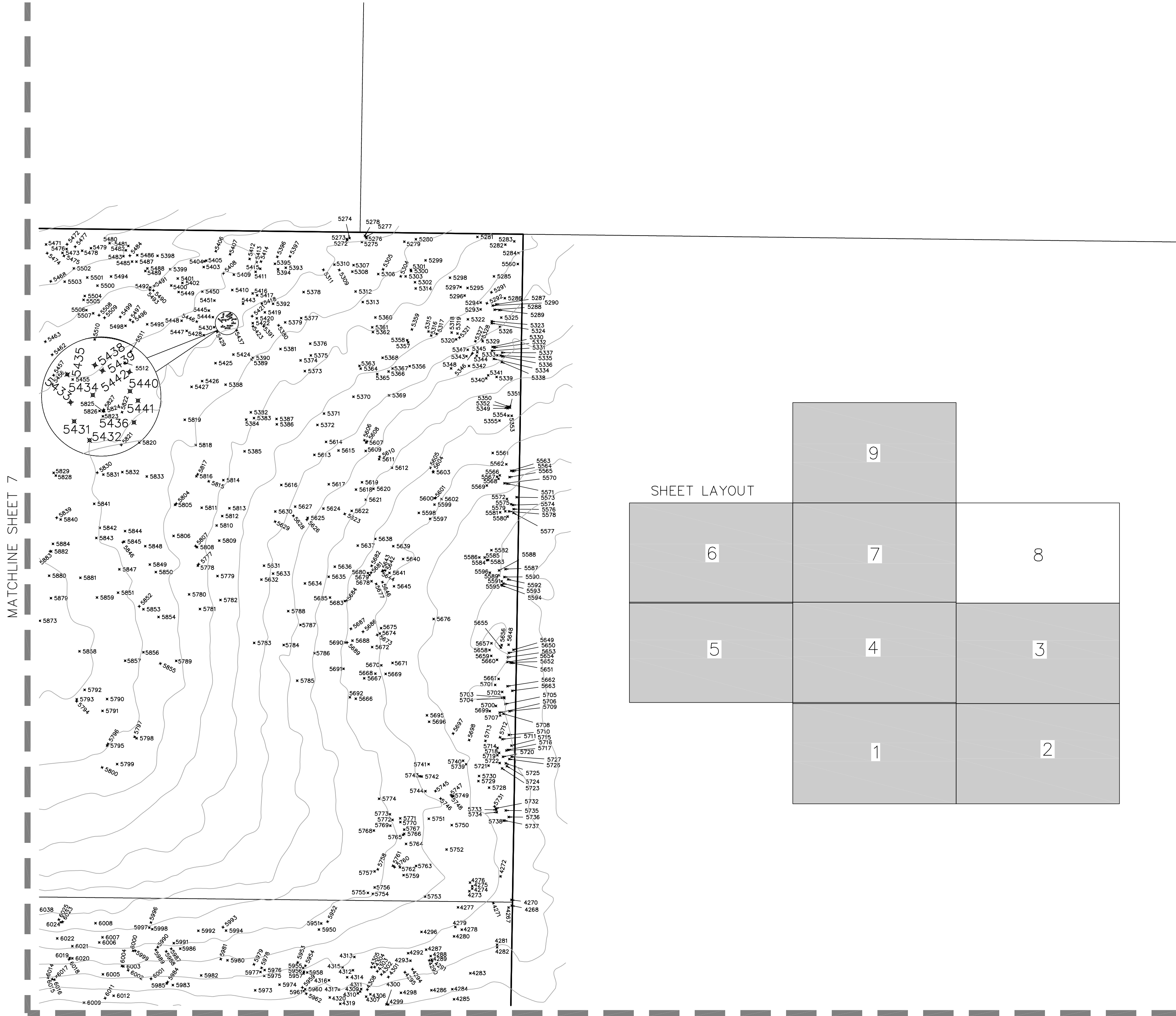
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 DATE 9/13/21  
 SCALE 1" = 60'  
 CALC BY: DY  
 FIELD BY: KH  
 DRAWN BY: CDK  
 CHECKED BY: DY



Drawing name: L:\Data\20210417.dwg; 20210417 - TOPO TREE SURVEY SHEET 7 - TREE



⊕ 24" OAK Denotes tree location, size and type  
 UNK Denotes unknown tree type



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 OF  
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 SECTION 29, TOWNSHIP 23 SOUTH, RANGE 27 EAST  
 ORANGE COUNTY, FLORIDA

FOR:  
 PARK SQUARE HOMES

NO.	DATE	REVISIONS

JOB # 20210417  
 DATE: 9/13/21  
 SCALE: 1" = 60'  
 CALC BY: DY  
 FIELD BY: KH  
 DRAWN BY: CDK  
 CHECKED BY: DY

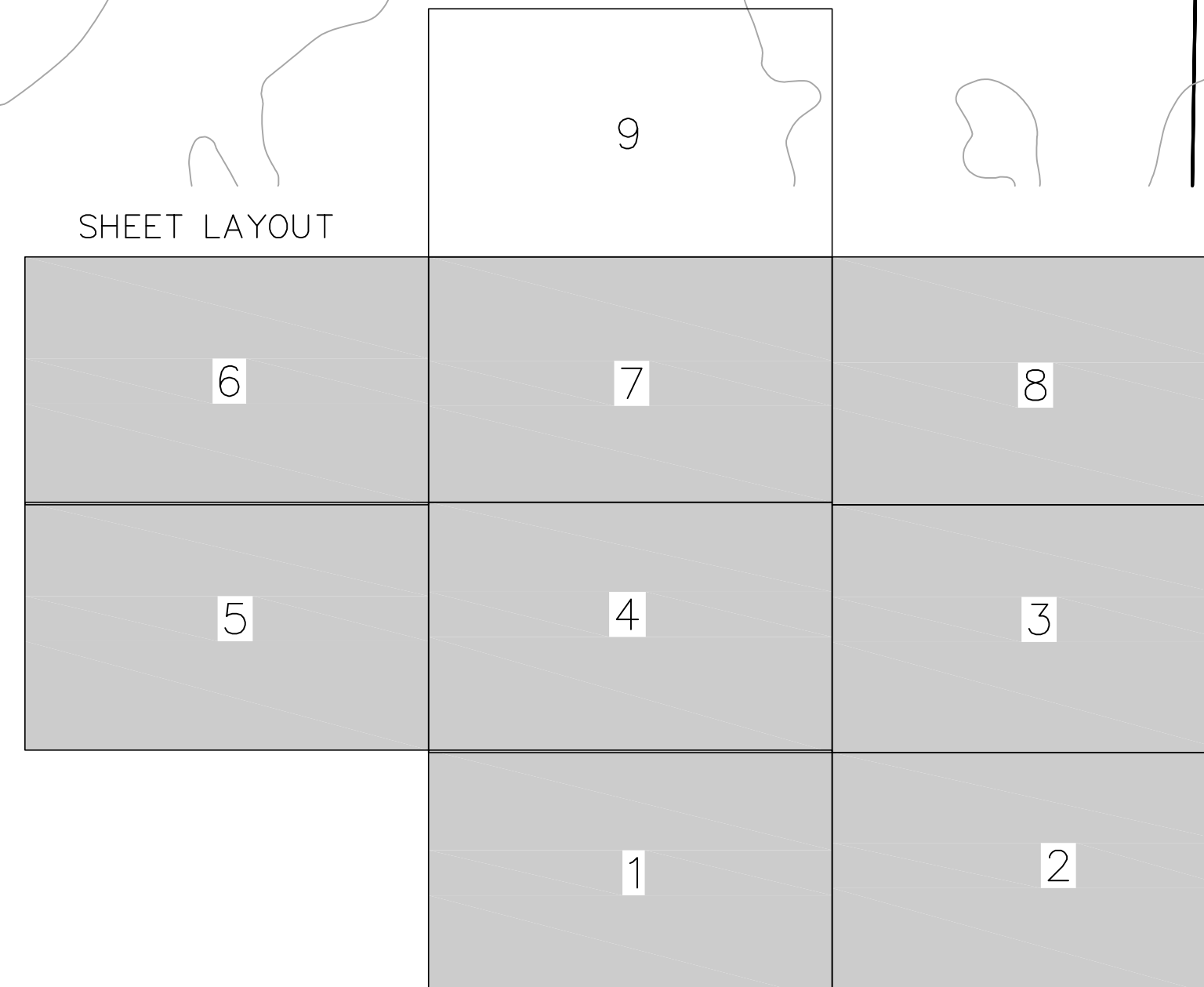
Drawing name: L:\Data\20210417\Topo\20210417-TOPO TREE-SURVEY SHEET-8-TREE

⊕ 24" OAK Denotes tree location, size and type  
UNK Denotes unknown tree type



MATCHLINE SHEET 7

SHEET LAYOUT



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SECTION 29, TOWNSHIP 23 SOUTH, RANGE 27 EAST  
ORANGE COUNTY, FLORIDA

FOR:  
PARK SQUARE HOMES

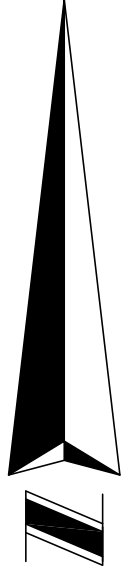

DATE	REVISIONS

JOB # 20210417  
DATE: 9/13/21  
SCALE: 1" = 60'  
CALC BY: DY  
FIELD BY: KH  
DRAWN BY: CDK  
CHECKED BY: DY

SHEET 9 OF 16

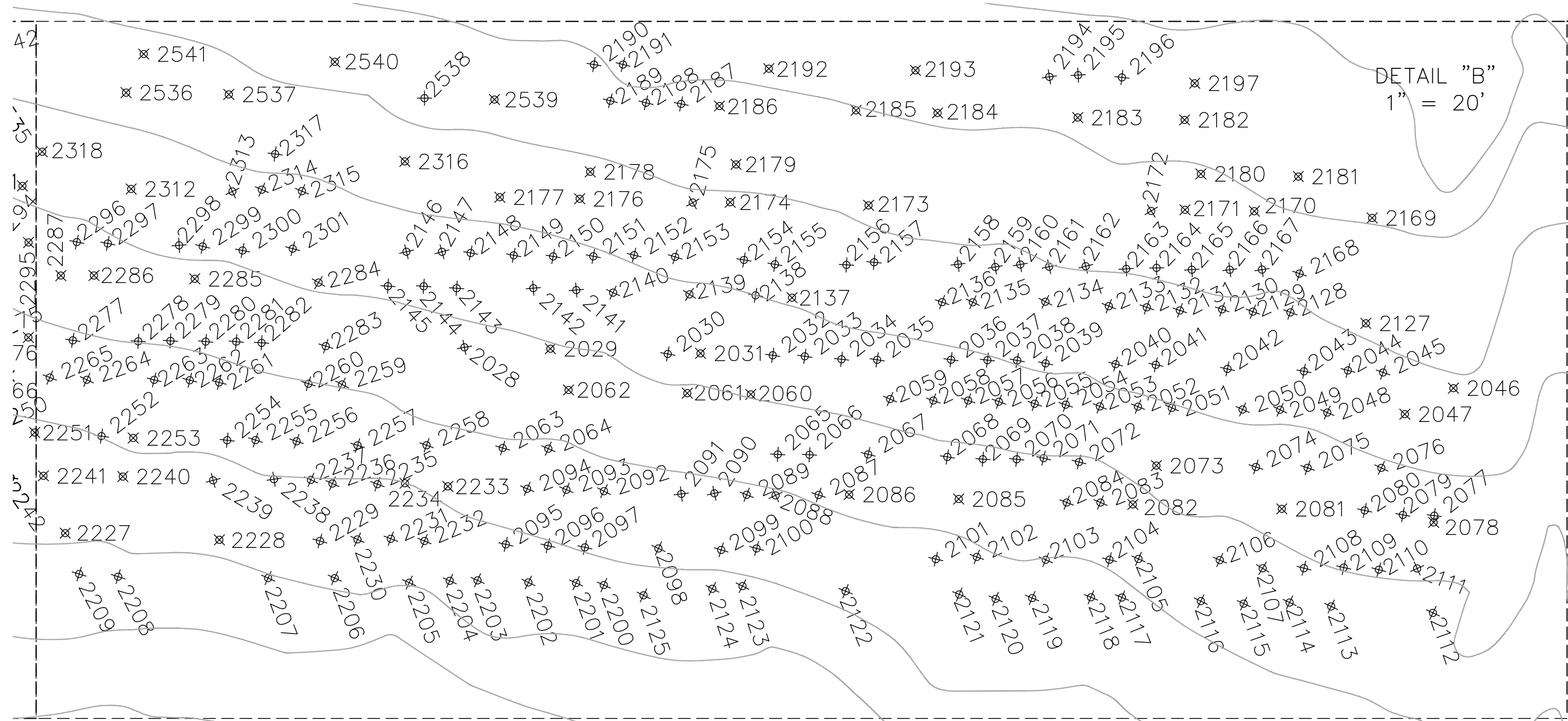
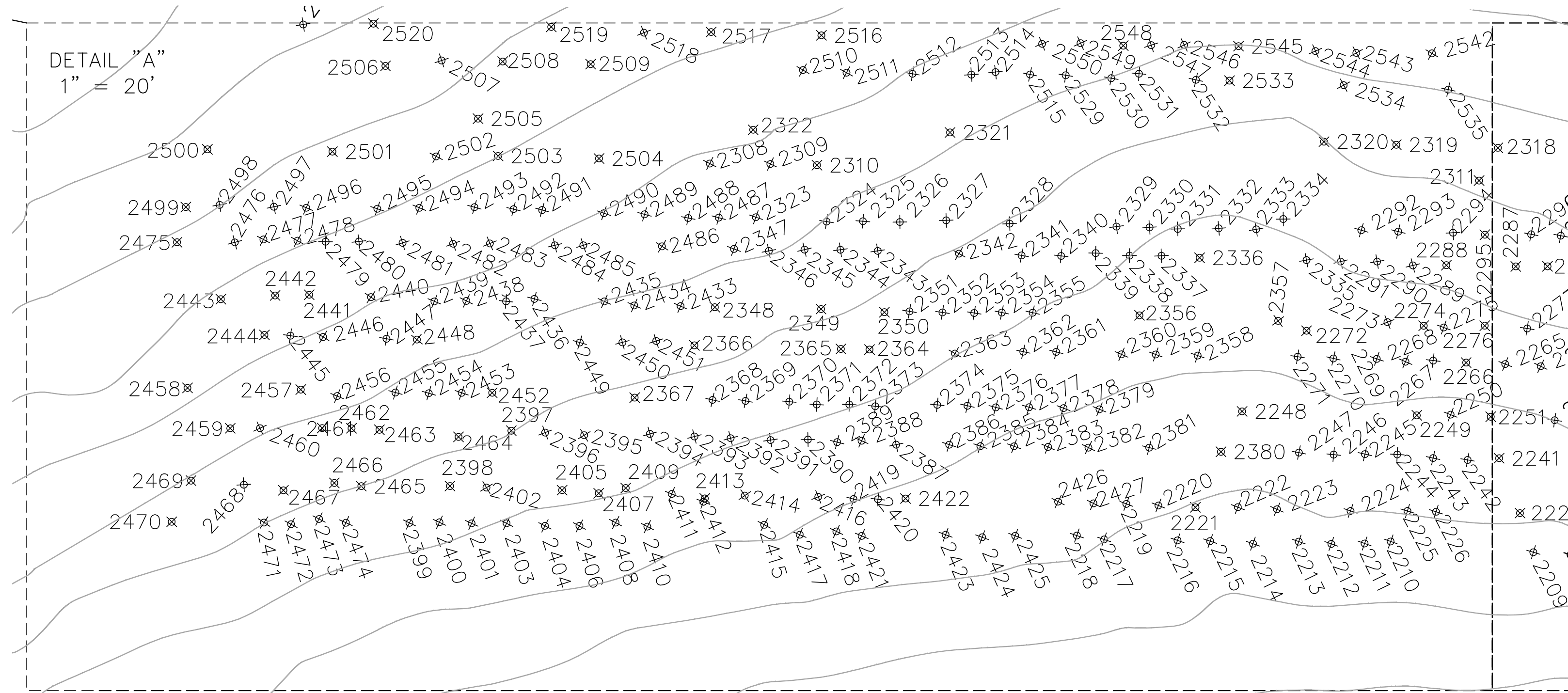
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⊕ 24" OAK Denotes tree location, size and type  
 UNK Denotes unknown tree type



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FOR:  
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NO.	DATE	REVISIONS

JOB #	20210417
DATE:	9/13/21
SCALE:	1" = 60'
CALC BY:	DY
FIELD BY:	KH
DRAWN BY:	CDK
CHECKED BY:	DY

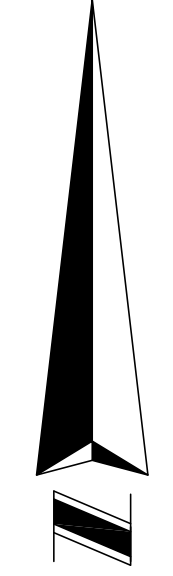
Drawing name: L:\Data\20210417\Draw\20210417.dwg PLOTTED: 9/13/21 10:55:00 AM SHEET 10 OF 16

⊕ 24" OAK Denotes tree location, size and type  
UNK Denotes unknown tree type



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DETAIL "C"  
1" = 20'

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REVISIONS	DATE

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CHECKED BY: DY

SHEET 12 OF 16

⊕ 24" OAK Denotes tree location, size and type  
UNK Denotes unknown tree type

POINT	DESCRIPTION
1007	21" OAK
1008	12" OAK
1009	8" UNK
1010	4" OAK
1011	12" OAK
1012	15" OAK
1013	16" OAK
1014	2 7/8" OAK
1015	8" OAK
1016	4" OAK
1017	8" OAK
1018	8" OAK
1019	5" OAK
1020	4" OAK
1021	5" UNK
1022	14" OAK
1023	16" OAK
1024	7" OAK
1025	4" OAK
1026	7" OAK
1027	4" UNK
1028	8" OAK
1029	7" OAK
1030	4" OAK
1031	12" SYCAMORE
1032	11" OAK
1033	9" OAK
1034	7" OAK
1035	4" OAK
1036	14" OAK
1037	8 1/3" OAK
1038	13" OAK
1039	4" SYCAMORE
1040	10" OAK
1041	6" OAK
1042	9 1/10" SYCAMORE
1043	10" UNK
1044	4" OAK
1045	18" OAK
1046	17" OAK
1047	22" OAK
1048	8" OAK
1049	7" OAK
1050	7" OAK
1051	12" OAK
1052	6" OAK
1053	8" OAK
1054	16" OAK
1055	8" ELM
1056	17" OAK
1057	18" OAK
1058	14" OAK
1059	5" OAK
1060	9" OAK
1061	12" OAK
1062	19" OAK
1063	18" OAK
1064	15" OAK
1065	9" UNK
1066	9" OAK
1067	6" OAK
1068	8" ELM
1070	7" OAK
1071	14" OAK
1072	16" OAK
1073	12" OAK
1075	8" UNK
1076	8" OAK
1077	9" SYCAMORE
1078	13" OAK
1079	2 7/8" OAK
1080	5" OAK
1081	8" UNK
1082	7" OAK
1084	17" OAK
1085	13" OAK
1086	12" OAK
1087	12" OAK
1088	14" PALM
1089	15" OAK
1090	5" UNK
1093	28" OAK
1094	25" OAK
1095	5" OAK
1096	4" OAK
1097	5" UNK
1098	5" UNK
1099	4" OAK
1100	5" OAK
1101	5" OAK
1102	7" UNK
1103	12" UNK
1104	7" UNK
1105	5" UNK
1106	4" UNK
1107	7" UNK
1111	5" UNK
1113	6" UNK
1114	28" OAK
1115	13" CAMPHOR
1116	7" OAK

1117	10" UNK
1118	9" OAK
1120	8" OAK
1121	7 1/11" UNK
1123	28" OAK
1124	11" UNK
1126	13" OAK
1127	11" UNK
1128	8" UNK
1129	8" UNK
1130	5" UNK
1133	4 7/8" OAK
1135	8" OAK
1136	4" OAK
1137	15" OAK
1138	15" OAK
1139	4" OAK
1140	14" OAK
1141	11" PALM
1142	9" UNK
1143	18" OAK
1145	8" OAK
1146	11" UNK
1147	7" UNK
1148	60" OAK
1150	7" OAK
1151	11" OAK
1152	10" OAK
1153	7" OAK
1155	6" OAK
1156	5" CEDAR
1157	14" OAK
1158	8 1/3" OAK
1159	13" OAK
1160	11 1/15" OAK
1161	5" ELM
1163	7" UNK
1164	8" OAK
1166	9" OAK
1168	4" OAK
1169	17" OAK
1170	5" OAK
1172	2 6/8" OAK
1173	9" OAK
1174	7" OAK
1176	46" OAK
1177	5 1/2" OAK
1178	12" PALM
1179	28" MAGNOLIA
1180	8" ELM
1181	7" OAK
1185	20" OAK
1187	5" OAK
1189	5 1/2" OAK
1190	9" OAK
1192	14" OAK
1193	11" CAMPHOR
1195	4" OAK
1197	54" OAK
1199	34" OAK
1200	12" OAK
1201	30" OAK
1203	24" OAK
1204	18" OAK
1206	8" PINE
1207	6" PINE
1208	12" PINE
1209	9" PINE
1210	7" OAK
1211	6" OAK
1213	12" OAK
1214	15" OAK
1216	8" OAK
1217	6" OAK
1218	6" OAK
1219	5" OAK
1220	7" OAK
1221	14" PINE
1222	14" OAK
1224	17" PINE
1225	14" OAK
1226	12" UNK
1227	8" CAMPHOR
1230	15" OAK
1231	11" OAK
1232	10" OAK
1233	5" OAK
1234	11" OAK
1235	5" OAK
1236	12" OAK
1237	5" OAK
1239	11" OAK
1240	5" OAK
1242	20" OAK
1243	14" OAK
1244	18" CAMPHOR
1245	8" CAMPHOR
1246	20" CAMPHOR
1247	24" CAMPHOR
1248	10" CAMPHOR

1249	14" CAMPHOR
1250	9" CAMPHOR
1251	6" CAMPHOR
1252	6" CAMPHOR
1253	16" CAMPHOR
1255	13" OAK
1256	4" OAK
1257	7" OAK
1258	12" OAK
1259	15" SYCAMORE
1260	12" OAK
1261	10" OAK
1262	8" OAK
1263	6" OAK
1264	7" OAK
1265	6" OAK
1267	8" OAK
1268	7" OAK
1269	5" OAK
1270	14" SYCAMORE
1271	4" OAK
1272	8" OAK
1273	9" OAK
1274	8" OAK
1275	12" OAK
1276	11" OAK
1278	8" UNK
1279	5" OAK
1280	4" OAK
1281	11" OAK
1282	2 7/8" OAK
1283	12" UNK
1284	18" SYCAMORE
1285	11" OAK
1287	13" OAK
1288	15" OAK
1289	6" OAK
1290	14" SYCAMORE
1291	15" SYCAMORE
1292	12" OAK
1294	11" OAK
1295	24" SYCAMORE
1296	11" SYCAMORE
1297	7" CAMPHOR
1298	16" SYCAMORE
1299	5" OAK
1301	8" SYCAMORE
1302	8" OAK
1303	10" OAK
1305	4" OAK
1306	13" OAK
1307	9" OAK
1308	14" OAK
1309	5" OAK
1310	15" MAGNOLIA
1311	9" ELM
1312	5" OAK
1313	7" CAMPHOR
1314	6" OAK
1316	4" OAK
1317	5" OAK
1319	17" UNK
1320	13" UNK
1321	9" OAK
1322	5" CAMPHOR
1323	5" CAMPHOR
1324	7" UNK
1325	12" UNK
1327	8" OAK
1328	4 1/8" CAMPHOR
1329	3 1/4" CAMPHOR
1330	2 1/8" CAMPHOR
1331	7" CAMPHOR
1332	7" OAK
1333	5" CAMPHOR
1335	8" OAK
1337	5" OAK
1339	14" PINE
1340	14" OAK
1341	10" CAMPHOR
1342	5" CAMPHOR
1343	4" CAMPHOR
1344	7" UNK
1345	9" UNK
1346	7" UNK
1348	19" OAK
1349	11" OAK
1350	11" OAK
1351	12" PINE
1352	8" OAK
1353	13" OAK
1354	8" OAK
1355	5" OAK
1359	7" OAK
1360	8" OAK
1362	11" UNK
1363	7" OAK

1364	8" OAK
1365	4" OAK
1366	9" OAK
1367	8" OAK
1369	5 7/8" ELM
1370	5" OAK
1371	5" ELM
1372	8" ELM
1374	8" SYCAMORE
1375	7" OAK
1376	13" UNK
1377	24" SYCAMORE
1381	14" OAK
1382	5" OAK
1383	7" OAK
1384	18" OAK
1385	5" OAK
1386	9" OAK
1387	17" PINE
1388	12" OAK
1390	9" OAK
1391	5" OAK
1392	26" OAK
1393	11" OAK
1394	28" OAK
1395	10" UNK
1396	8" OAK
1397	9 1/12" OAK
1398	10" OAK
1399	9" OAK
1400	5" OAK
1401	6" OAK
1402	4 7/8" OAK
1403	11" OAK
1404	2 1/10" OAK
1406	5" OAK
1407	17" OAK
1408	11" OAK
1409	5" UNK
1410	18" OAK
1411	8" OAK
1412	8" OAK
1413	6" OAK
1414	10" OAK
1415	12" OAK
1416	10" UNK
1417	7" OAK
1418	10" OAK
1419	12" OAK
1420	7" UNK
1421	6" OAK
1422	12" OAK
1423	13" UNK
1424	4" OAK
1425	10" UNK
1426	11" OAK
1428	9" UNK
1429	13" OAK
1430	4" OAK
1432	6" OAK
1433	18" OAK
1434	9" UNK
1435	5" OAK
1436	8" MAGNOLIA
1437	10" MAGNOLIA
1439	10" UNK
1440	7" OAK
1441	8" OAK
1442	9" UNK
1443	5" OAK
1444	4 7/8" OAK
1445	11" OAK
1446	11" UNK
1447	8" OAK
1448	6" OAK
1449	13" OAK
1450	4" UNK
1451	5" OAK
1452	5" UNK
1453	8" OAK
1454	11" OAK
1455	11" UNK
1456	7" OAK
1457	7" OAK
1459	7 7/8" OAK
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1461	8" UNK
1462	20" OAK
1463	13" OAK
1464	14" OAK
1465	7" UNK
1466	14" OAK
1468	5" OAK
1469	11" OAK
1470	8" OAK
1471	20" OAK
1472	4" OAK
1473	13" OAK
1474	6" OAK
1475	12" UNK

1476	13" OAK
1477	4" OAK
1478	8" OAK
1479	4" OAK
1481	12" OAK
1482	4" OAK
1483	14" UNK
1484	14" OAK
1485	14" OAK
1486	6" OAK
1487	12" OAK
1488	11" UNK
1489	11" UNK
1490	7" OAK
1491	7" UNK
1492	14" OAK
1493	4" OAK
1495	8" MAGNOLIA
1496	9" OAK
1497	8" OAK
1498	5" OAK
1499	5" OAK
1500	13" OAK
1501	5" MAGNOLIA
1502	17" OAK
1503	14" OAK
1505	8 1/4" OAK
1507	42" OAK
1508	42" OAK
1509	7" MAGNOLIA
1510	62" OAK
1512	5" OAK
1514	32" OAK
1515	18" OAK
1516	11" OAK
1517	8" MAGNOLIA
1518	9" OAK
1519	6" OAK
1520	17 1/2" OAK
1526	13" OAK
1528	20" OAK
1530	17" OAK
1531	16" OAK
1532	11" OAK
1534	13" UNK
1535	13" UNK
1536	10" OAK
1537	8" OAK
1538	8" OAK
1539	8" OAK
1540	5" OAK
1541	6" OAK
1542	5" OAK
1543	7" OAK
1544	6" OAK
1546	5" OAK
1547	7" OAK
1548	12" OAK
1549	11" OAK
1550	5" OAK
1551	11" UNK
1553	7" OAK
1554	8" OAK
1555	9" OAK
1556	5" OAK
1557	8" OAK
1559	7" CAMPHOR
1560	5" CAMPHOR
1561	4 1/5" CAMPHOR
1562	5" CAMPHOR
1564	4" CAMPHOR
1565	6" CAMPHOR
1567	7" OAK
1568	11" OAK
1569	5" OAK
1570	5" OAK
1571	9" OAK
1572	9" OAK
1573	9" OAK
1575	7" OAK
1576	9" CAMPHOR
1577	14" OAK
1578	6" OAK
1579	9" OAK
1581	5" OAK
1582	13" OAK
1589	9" OAK
1584	4" OAK
1585	10" PINE
1586	6" OAK
1587	9" UNK
1588	15" PINE
1589	5" OAK
1590	23" OAK
1591	5" CAMPHOR
1592	13" OAK
1593	5" OAK
1594	9" OAK
1595	7" OAK

1597	22" OAK
1598	52" OAK
1599	10" OAK
1600	10" OAK
1602	5" OAK
1603	



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TOPOGRAPHIC & TREE SURVEY  
OF  
FRUITLAND PARK  
SECTION 29, TOWNSHIP 23 SOUTH, RANGE 27 EAST  
ORANGE COUNTY, FLORIDA

FOR:  
PARK SQUARE HOMES

Table with 2 columns: DATE, REVISIONS. Contains a grid for recording revision details.

JOB # 20210417  
DATE: 9/13/21  
SCALE: 1" = 60'  
CALC BY: DY  
FIELD BY: KH  
DRAWN BY: CDK  
CHECKED BY: DY

⊕ 24" OAK Denotes tree location, size and type  
UNK Denotes unknown tree type

Main data table with 10 columns of tree identifiers (e.g., 2365, 2366, 2367) and their corresponding tree types (e.g., 7" OAK, 8" OAK, 10" OAK).

Drawing name: L:\Data\20210417.dwg, 20210417 - 10:00 AM, REG - SJK/EC





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TOPOGRAPHIC & TREE SURVEY  
OF  
FRUITLAND PARK  
SECTION 29, TOWNSHIP 23 SOUTH, RANGE 27 EAST  
ORANGE COUNTY, FLORIDA

FOR:  
PARK SQUARE HOMES

Table with 2 columns: DATE, REVISIONS

JOB # 20210417  
DATE: 9/13/21  
SCALE: 1" = 60'  
CALC BY: DY  
FIELD BY: KH  
DRAWN BY: CDK  
CHECKED BY: DY

⊕ 24" OAK Denotes tree location, size and type  
UNK Denotes unknown tree type

Main table containing tree survey data with columns for tree ID, size, and type. Includes trees 5197-5317 and 5318-5417.

Drawings source: L:\Users\20210417\Draws\20210417\_2020\_TREE\_SURVEY\_SHEET\_15\_TABLES



⊕ 24" OAK Denotes tree location, size and type  
 UNK Denotes unknown tree type

6447	7" OAK
6448	4" OAK
6449	6" OAK
6450	8" OAK
6451	4" OAK
6452	10" OAK
6453	4" OAK
6454	8" OAK
6455	5" OAK
6456	5" OAK
6457	10" OAK
6458	4" / 74" OAK
6459	5" OAK
6460	7" OAK
6461	6" OAK
6462	7" OAK
6463	7" OAK
6464	7" OAK
6465	8" OAK
6466	8" OAK
6467	7" OAK
6468	7" OAK
6469	5" OAK
6470	8" OAK
6471	7" OAK
6472	6" OAK
6473	8" OAK
6474	11" OAK
6475	7" OAK
6476	6" OAK
6477	5" OAK
6478	5" OAK
6479	5" / 6" / 7" OAK
6480	8" OAK
6481	6" OAK
6482	7" OAK
6483	6" OAK
6484	8" OAK
6485	7" OAK
6486	5" OAK
6487	6" OAK
6488	6" OAK
6489	6" OAK
6490	7" OAK
6491	8" OAK
6492	6" OAK
6493	4" OAK
6494	8" OAK
6495	6" OAK
6496	5" OAK
6497	8" OAK
6498	6" OAK
6499	7" OAK
6500	6" OAK
6501	5" OAK
6502	5" OAK
6503	11" OAK
6504	6" OAK
6505	6" OAK
6506	14" OAK
6507	4" OAK
6508	4" OAK
6509	5" OAK
6510	12" OAK
6511	13" OAK
6512	13" OAK
6513	13" OAK
6514	15" OAK
6515	14" OAK
6516	7" OAK
6517	11" OAK
6518	14" OAK
6519	7" OAK
6520	4" / 6" OAK
6521	6" OAK
6522	11" OAK
6523	4" OAK
6524	4" OAK
6525	12" OAK
6526	6" OAK
6527	4" OAK
6528	10" OAK
6529	12" OAK
6530	7" OAK
6531	13" OAK
6532	11" OAK
6533	6" OAK
6534	6" OAK
6535	9" OAK
6536	8" OAK
6537	11" OAK
6538	13" OAK
6539	4" OAK
6540	8" OAK
6541	12" OAK
6542	6" OAK
6543	8" OAK
6544	6" OAK
6545	6" OAK
6546	12" OAK

6547	7" OAK
6548	7" OAK
6549	6" OAK
6550	13" OAK
6551	6" OAK
6552	8" OAK
6553	7" OAK
6554	9" OAK
6555	6" OAK
6556	11" OAK
6557	6" OAK
6558	6" OAK
6559	6" OAK
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6561	13" OAK
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6601	13" OAK
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6605	5" OAK
6606	15" OAK
6607	16" OAK
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6611	4" OAK
6612	14" OAK
6613	7" OAK
6614	8" OAK
6615	11" OAK
6616	14" OAK
6617	7" OAK
6618	13" OAK
6619	7" OAK
6620	11" OAK
6621	7" OAK
6622	9" OAK
6623	8" OAK
6624	9" OAK
6625	10" OAK
6626	9" OAK
6627	12" OAK
6628	8" OAK
6629	10" OAK
6630	10" OAK
6631	7" OAK
6632	8" OAK
6633	10" OAK
6634	9" OAK
6635	7" OAK
6636	7" OAK
6637	9" OAK
6638	12" OAK
6639	9" OAK
6640	8" OAK
6641	5" OAK
6642	9" OAK
6643	8" OAK
6644	9" OAK
6645	8" OAK
6646	10" OAK
6647	7" OAK
6648	9" OAK
6649	8" OAK

6650	7" OAK
6651	9" OAK
6652	9" OAK
6653	9" OAK
6654	4" OAK
6655	4" OAK
6656	10" OAK
6657	8" OAK
6658	7" OAK
6659	7" OAK
6660	6" OAK
6661	12" OAK
6662	11" OAK
6663	7" OAK
6664	7" OAK
6665	8" OAK
6666	7" OAK
6667	12" OAK



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**TOPOGRAPHIC & TREE SURVEY  
 OF  
 FRUITLAND PARK  
 SECTION 29, TOWNSHIP 23 SOUTH, RANGE 27 EAST  
 ORANGE COUNTY, FLORIDA**

FOR:  
 PARK SQUARE HOMES

	REVISIONS
	DATE

JOB # \_\_\_\_\_ 20210417  
 DATE: \_\_\_\_\_ 9/13/21  
 SCALE: \_\_\_\_\_ 1" = 60'  
 CALC BY: \_\_\_\_\_ DY  
 FIELD BY: \_\_\_\_\_ KH  
 DRAWN BY: \_\_\_\_\_ CDK  
 CHECKED BY: \_\_\_\_\_ DY



# Austin Environmental Consultants, Inc.

316 Church Street • Kissimmee, Florida • 34741 • Phone: 407.935.0535

January 20, 2021

Chuck Cavaretta, VP Land  
Park Square Homes  
5200 Vineland Road, Suite 200  
Orlando, FL 32811

**RE: Ecological Site Assessment Fruitland Park – 155 acres**

Mr. Cavaretta,

On January 8, 2021, a biologist with Austin Environmental Consultants, Inc. (AEC) visited a property consisting of approximately 155 acres in the Leesburg/Fruitland Park area in Lake County, Florida to evaluate the presence of onsite wetlands and review the property for the potential presence of protected species. The property location is depicted on the included **Aerial Map/Location Map**, the property represents a mostly undeveloped property located in Lake County, FL.

## VEGETATION

The property consists predominantly of upland pasture areas. There were also tree framing activities along with two small littoral wetland areas adjacent to two small surface water areas. The two small littoral wetlands within the property are directly adjacent the two referenced surface water areas. These wetland areas are classified as Fresh Water Marshes see the **FLUCCS Map**. While on property the wetland jurisdictional boundary was marked and GPS points were collected. This community (FLUCCS 641) consists of vegetation including Carolina willow (*Salix caroliniana*), primrose willow (*Ludwigia peruviana*) and cinnamon fern (*Osmunda cinnamomea*).

Large portions of the property are currently used as Pasture land (FLUCCS 211). The vegetation within these areas is dominated by pasture grasses including Bahia grass (*Paspalum notatum*) along with scattered live oaks (*Quercus virginiana*), laurel oaks (*Quercus laurifolia*), slash pine (*Pinus elliottii*), and cabbage palm (*Sabal palmetto*).

Several areas within this subject property were identified as tree nursery operations (FLUCCS 241). Various types of planted trees occur in these areas including palm trees, various oaks, and crepe myrtles (*Lagerstroemia indica*).

Two portions of the property were classified as oak-pine mixed forest (FLUCCS 423). Within this area the property is characterized by vegetation that consisting of a mix of live oaks, laurel oaks, long leaf pine (*Pinus palustris*), slash pine, cabbage palm, grapevine (*Vitis spp.*), blackberry (*Rubus spp.*), saw palmetto (*Serenoa repens*), Caesar

weed (*Urena lobata*), camphor trees (*Cinnamomum camphora*) and white beggar-ticks (*Bidens pilosa*).

Two areas within the subject property are identified as Hardwood – Conifer Mixed (FLUCCS 434). The canopy within these areas is composed of a mix of live oaks, laurel oaks, long leaf pine, slash pine, cabbage palm. The understory includes gallberry (*Ilex glabra*) and lantana (*Lantana camara*).

Within the subject property several areas of Coniferous Plantations (FLUCCS 441) where identified. The vegetation within these areas consists predominately of rows of planted long leaf pine or slash pine. Scattered beneath the canopy vegetation is a variable mix of young cabbage palm, grapevine, camphor trees, and a sparse occurrence of white beggar-ticks and lantana.

## SOILS

The onsite soil types were classified according to the Soil Survey for Lake County, Florida and available USDA Natural Resource Conservation Service (NRCS) GIS layers (see attached **Soils Map**).

The onsite soils include four (4) different soil types. (see **Table 1**).

Table 1 - On-site Soil Types		
ID#	Soil Name	Hydric Rating
5	Apopka sand, 0 to 5 percent slopes	No
8	Candler fine sand, 0 to 5 percent slopes	No
9	Candler fine sand, 5 to 12 percent slopes	No
45	Tavares sand, 0 to 5 percent slopes	No

## LISTED SPECIES

**Bald Eagle (*Haliaeetus leucocephalus*):** Although the bald eagle is no longer listed under the Endangered Species Act, it is still afforded protection by the USFWS under the Migratory Bird Treaty Act and the Bald and Golden Eagle Protection Act. Site reviews did not identify any bald eagle nests on or immediately adjacent to the property. A review of the FWC bald eagle nest database was conducted to determine if there are any known bald eagle nests that could affect development of the property. The database review revealed that there are no known eagle nests that have potential to affect development of the subject property.

**Gopher Tortoise (*Gopherus polyphemus*):** The gopher tortoise is listed as threatened by the State of Florida, and is a candidate for listing under the federal Endangered Species Act. This widely distributed species utilizes numerous upland habitat types, both native and altered. A pedestrian survey of the subject property found both active and inactive gopher tortoise burrows within the property boundaries.

Prior to land clearing and/or construction, it is advised that a 100% survey of all potentially suitable gopher tortoise habitat be performed. Any tortoise burrow that has the potential to be impacted by site manipulation must be excavated/trapped, and any

resident tortoise relocated offsite. Accordingly, a permit from the FFWCC will be required to capture and relocate the resident tortoises.

Sand skink (*Neoseps reynoldsi*): The property falls within the USFWS Consultation Area for this federally-listed, threatened species. The USFWS defines suitable habitat within the Consultation Area to include well-drained, sandy soils that occur on elevations of 82 feet above sea level or higher.

The subject property meets the definition of suitable habitat, so AEC performed comprehensive pedestrian surveys of the subject property by carefully inspecting any areas of open sand for characteristic skink tracks. No sand skinks or skink tracks were observed during the site review. Numerous tracks of other species were observed, demonstrating that conditions were favorable for sand skink tracks to be detected if skinks were present.



The site has a long history of agricultural use, including citrus, improved pasture, nursery operations, planted pine, and row crops. Areas with patches of open sand occur sporadically on the site. The areas with open sand represent minimally suitable skink habitat, though no skink tracks were observed or identified within these areas or elsewhere on the property.

However, based on experience with similar sites and updated USFWS criteria for sand skink surveys (July 31, 2020), it is recommended that a coverboard survey be conducted within areas of open sand to verify the presence or absence of sand skinks. Formal surveys to document the absence of skinks can only be conducted between March 1 and May 15, and involve placing 2' x 2' plywood "coverboards" within all areas of suitable habitat at a density of forty (40) coverboards per-acre. Coverboards are checked once per week for four consecutive weeks for signs of sand skinks.

No other protected species or signs of their presence were identified during AEC's site, or are expected to occur.

If you have any questions about the information contained in this report, please contact Bruce Williams of Austin Environmental Consultants.

Sincerely,



Randy L. Austin, M.S., President  
Austin Environmental Consultants, Inc.

PHOTOS



FLUCCS 211



FLUCCS 241 (Palms)



FLUCCS 241



FLUCCS 241 (Crape myrtle)



FLUCCS 423





FLUCCS 434



FLUCCS 441



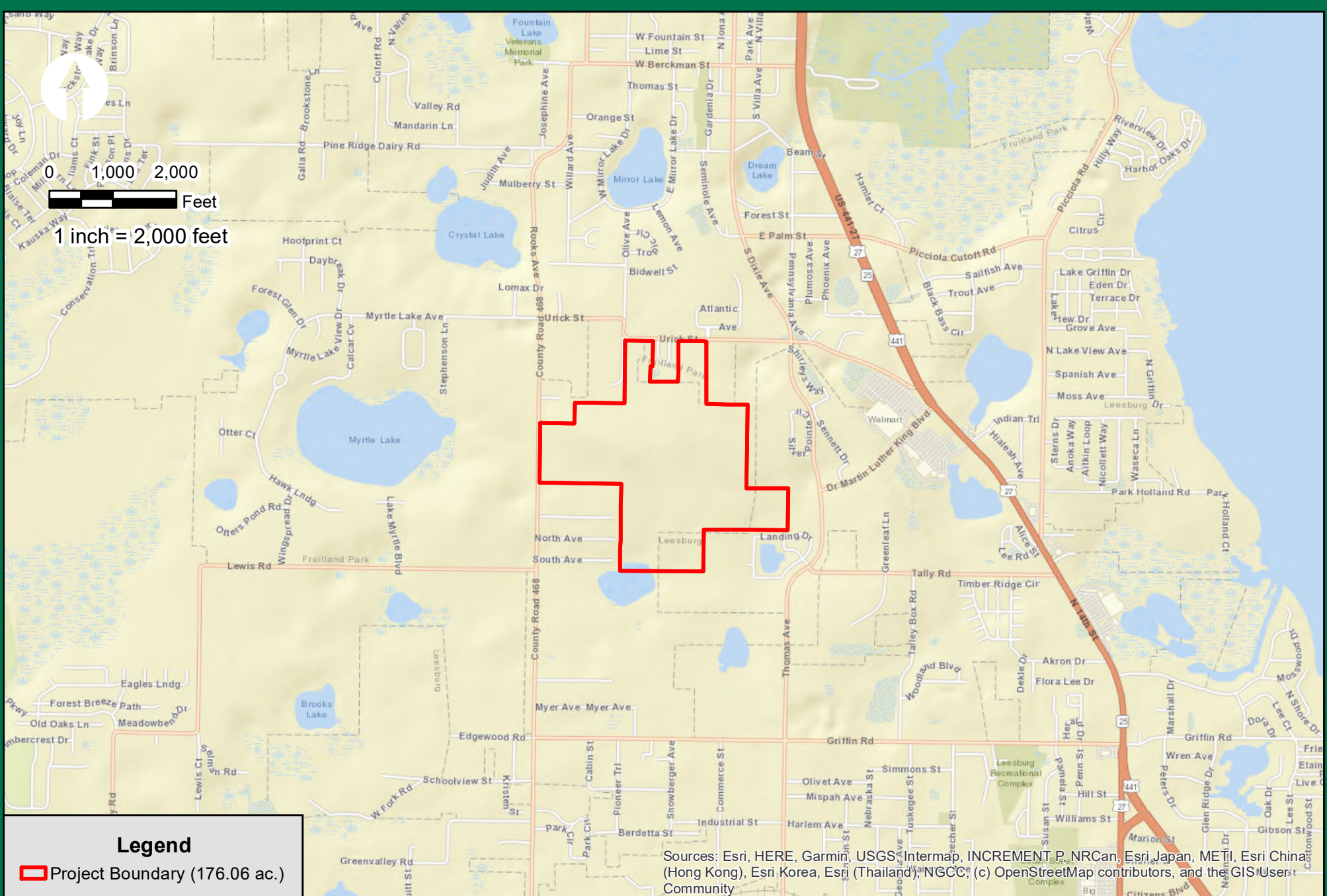
FLUCCS 641


## GOPHER TORTOISE BURROWS





## ATTACHMENTS

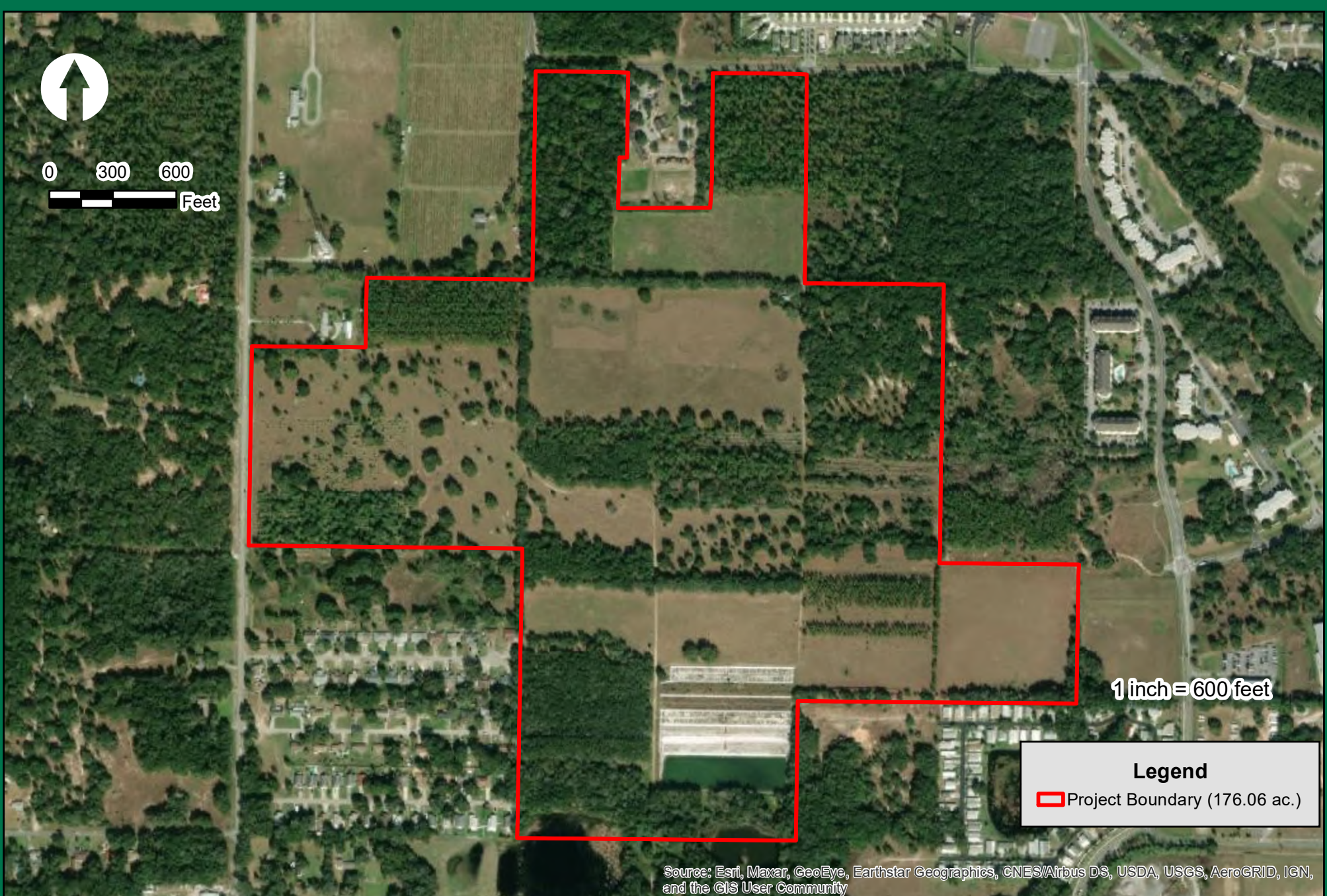


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 Kissimmee, Florida 34741  
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# FLUCCS MAP

## FRUITLAND PARK

Lake County, FL



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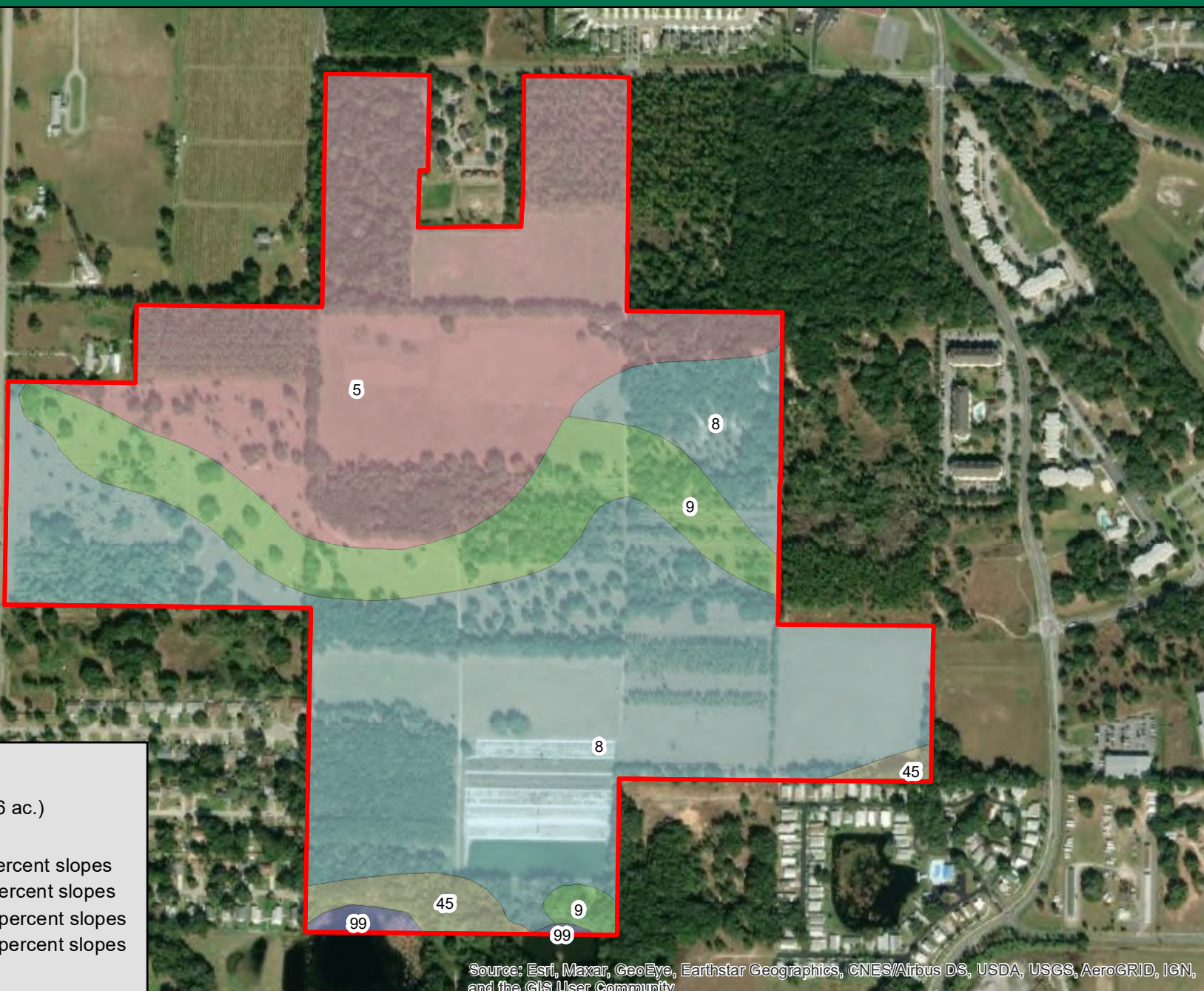
## AERIAL MAP

## FRUITLAND PARK

Lake County, FL



0 300 600  
Feet  
1 inch = 600 feet



**Legend**

Project Boundary (176.06 ac.)

**SOILS**

- 5: Apopka sand, 0 to 5 percent slopes
- 8: Candler sand, 0 to 5 percent slopes
- 9: Candler sand, 5 to 12 percent slopes
- 45: Tavares sand, 0 to 5 percent slopes
- 99: Water

Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



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**SOILS MAP**

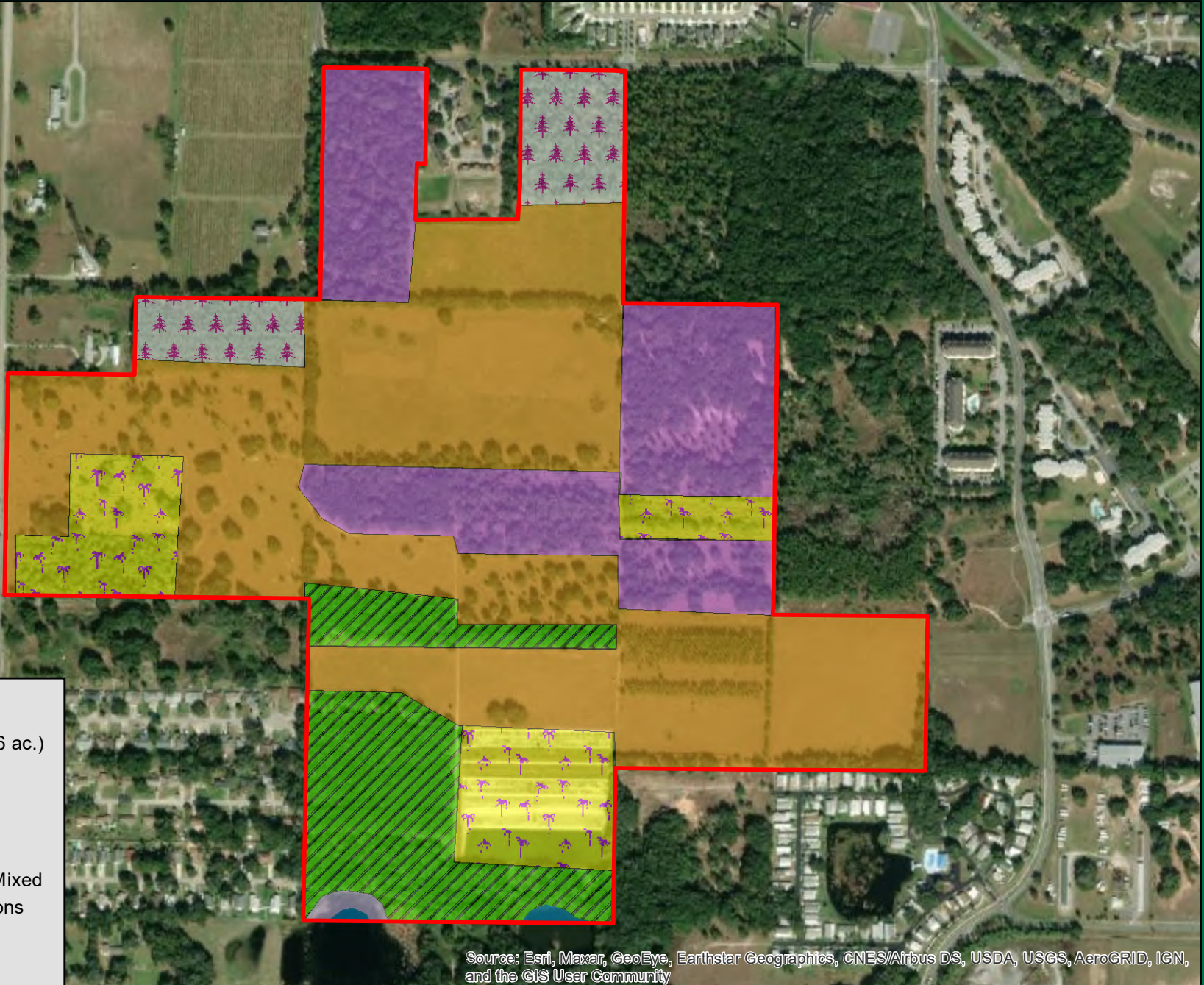
**FRUITLAND PARK**

Lake County, FL





0 300 600  
 Feet  
 1 inch = 600 feet



**Legend**

Project Boundary (176.06 ac.)

**FLUCCS**

- 211, Improved Pastures
- 241, Tree Nurseries
- 423, Oak-Pine-Hickory
- 434, Hardwood Conifer Mixed
- 441, Coniferous Plantations
- 530, Reservoirs
- 641, Feshwater Marsh

Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



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**FLUCCS MAP**

**FRUITLAND PARK**

Lake County, FL

# GEOTECHNICAL ENGINEERING REPORT

## 155+/- Acres Fruitland Park – Holloway Property

Southeast of CR 468 & Urick Street

Fruitland Park, Lake County, FL

February 17, 2021

Prepared for:

Michael McQuarrie, Land Development Manager

### **Park Square Homes**

5200 Vineland Rd, Suite 200

Orlando, FL 32811

**N|V|5**

201 South Bumby Avenue  
Orlando, Florida 32803

## EXECUTIVE SUMMARY

A Geotechnical exploration was performed for the proposed 155+/- Acres Fruitland Park – Holloway Property located on Southeast of CR 468 & Urick Street, Fruitland Park, Lake County, Florida. A site vicinity map is presented on **Drawing No. 1 of Appendix A**.

Based on the filed explorations performed on site, which included a total of 32 Standard Penetration Test (SPT) borings advanced to depths of 15 feet below grade and 30 hand auger borings to 6 feet, the proposed site development, and our experience with general subsoil conditions and similar developments, the following summarized our main geotechnical recommendations:

- The encountered subsoil conditions consisted of very loose to very dense fine sand to fine sand with silt in the top 2 to 13.5 feet followed by a layer of loose to very dense silty fine sand to the explored depth of 15 feet. Borings B-14, B-15, B-16, B-17, and B-29 encountered loose to medium dense fine sand to fine sand with silt in the entire explored depth of 15 feet.
- The subsoil conditions are considered suitable to adequately support the anticipated residential buildings and structures on typical shallow foundations in the form of spread/strip footings and/or monolithic slab foundation supported on site soil or structural fill. Bearing pressure in the order of 2,000 to 3,000 psf are feasible with minimum footing width of 3 feet and minimum embedment depth of 3 feet assuming the 2 feet below the foundation level are compacted to 95% of modified Proctor Density. Total settlement is expected to be less than 1 inch. Detailed foundation design and construction recommendations are presented later in the report.
- The near surface soil in the majority of the project site consisted of clean fine sands to fine sand with silts, which are suitable as a subgrade material for conventional pavement sections. Generally, groundwater table was not encountered in the top 10 feet below the existing ground surface except in borings B-15 & B17, which encountered the groundwater at depths of 6.5 and 7 feet below the existing ground surface. We estimate that during the seasonal high ground water level to be below 10 feet of current grades, however, groundwater might be perched on top of the silty sand layer during the wet season, which typically runs from June through October. We expect the majority of the pavement areas satisfy the requirement of having a minimum distance of 2 feet below the pavement section to the estimated seasonal high groundwater level. Typical pavement sections are provided later in the report.
- Around the area of exiting stormwater pond, groundwater table was not encountered in the top 10 feet. It should be noted that the existing pond had standing water, which is possibly due to the use of liner at the pond's bottom. We anticipated perched groundwater levels during normal wet seasonal, with seasonal high groundwater table to be about 5 feet below the exiting ground surface. Based on the field permeability tests performed, the shallow clean fine sand to fine sand with silt has vertical permeability rate of about 20 feet/day. Stormwater design parameters are presented later in the report.

This report shall be read in its entirety so that the recommendations presented herein are fully understood and properly implemented in the project geotechnical design.

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## ATTACHMENTS

Drawing No. 1	Topographic Vicinity Map
Drawing No. 2	USDA Soils Map
Drawing No. 3	Boring Location Plan
Attachment No. 1	Borings Logs
Attachment No. 2	General Notes
Attachment No. 3	Field Permeability Test Results

## 1.0 PROJECT INFORMATION

The proposed proposed 155+/- Acres Fruitland Park – Holloway Property located on Southeast of CR 468 & Urick Street, Fruitland Park, Lake County, Florida. A site vicinity map is presented on **Drawing No. 1** of **Attachments**. We understand current site grade in the vicinity of this project are approximately at elevation about +75 to +140 feet NGVD.

We were provided with conceptual site plan. The project site is about 155 acres. The site development will include single family homes with the associated roadway and stormwater management area. The outparcels, commercial, and institutional portions are not included in this scope.

## 2.0 PURPOSE

The purpose of our services on this project is to explore the shallow subsurface in order to provide geotechnical engineering recommendations for:

- Subsurface soil conditions
- Groundwater conditions
- Earthwork and excavation
- Foundation design and construction
- Floor slab design and construction
- Pavement design and construction
- Stormwater management system design parameters

## 3.0 FIELD EXPLORATION

The subsurface conditions at the site were explored with 62 test borings, thirty-two (32) SPT borings advanced to depths of 15 feet below grade and thirty (30) hand auger borings to 6 feet below grade at the approximate locations shown on **Drawing No. 3** of **Attachments**. The boring locations were marked and identified in the field using a GPS unit.

It should be noted that 2 borings were drilled to depth of 15 feet around the perimeter of the existing pond to evaluate the area of the proposed stormwater pond. Two field permeability tests were conducted at these locations. Results of constant head field permeability is provided in **Attachment No. 3** and the stormwater design parameters are presented later in the report.

Thirty-two (32) Standard Penetration Test Borings (SPT) were drilled to depths of 15 feet below the existing ground surface with a truck-mounted drill rig utilizing the rotary wash method. Samples of the subsurface materials were recovered at two foot intervals within the upper 10 feet of the boring and at roughly five-foot intervals thereafter using a Standard Penetration Test split-spoon sampler (SPT) in substantial accordance with ASTM D-1586, "Standard Test Method for Standard Penetration Test and Split-Barrel Sampling of Soils." This test procedure drives a 1.4-inch I.D. split-tube sampler into the subsurface profile using a 140-pound hammer falling 30 inches. The number of blows required to drive the sampler the second and third six-inch increments is the SPT N-value, in blows per foot, and is an indication of material strength. Upon completion of the borings, the boreholes were backfilled to the ground surface with soil cuttings.

Thirty (30) hand auger borings were performed to depth of 6 feet below the existing ground surface. The hand auger boring procedure consisted of manually turning a 3-inch diameter, 6-inch long sampler into the soil until it was full. The sampler was then retrieved and the soils in the sampler were visually examined and classified. The procedure was repeated until the desired termination depth was achieved. Samples of representative strata were obtained for further visually examination and classification in our laboratory.

The soil samples recovered from the borings were classified by a geotechnical engineer. The collected samples were later re-examined to confirm field classifications. Visual soil classifications were made in accordance with ASTM D2487 and ASTM D2488. Condition encountered at each boring location are indicated on the individual boring logs shown in **Attachment No. 1** of **Appendix A**. Strata contacts shown on these boring logs are approximate. The boring data reflects conditions at the specific test location only, and at the time the borings were drilled.

## 4.0 LOCAL GEOLOGY

The geology of Lake County can be broadly divided into six geologic formations on or near the surface. From the oldest and deepest formation of Eocene age to the youngest formation of Pleistocene-Recent age (the Crystal River, the Suwannee Limestone, the Hawthorn, the Fort Preston, the Fort Thompson, and Ocala Limestone). Recently deposited sandy and clayey marine terraces cover these formations, except in a few small areas where erosion has exposed the older strata.

The Crystal River Formation, a hard, cavernous, and porous limestone, is the only formation that underlies the entire county. This formation is not exposed any place in the county. The Suwannee Limestone overlies the Crystal River Formation. The only exposure in the county is at the bottom of the Palatka River near State Highway 48. There may be other exposures in the southwestern part of the county. The formation is so deeply buried by the sandy deposits that it has had little effect on soil formation. The Hawthorn Formation consists of interbedded sand, clay, marl, limestone, fuller's earth, and phosphate. Land pebble phosphate, old oyster shells, manatee ribs, and many different shell fragments are scattered over the land surface 1 mile southwest of Howey-In-The-Hills. Phosphatic material is exposed along the sides and bottoms of some of the nearby sinks. The recently deposited sand is so thick. The Fort Preston Formation underlies approximately 54 percent of the county. The sediments are poorly sorted quartz grains in a clay matrix. It ranges in size from very fine sand to pebbles. The clay fraction is predominantly kaolin. The Fort Thompson Formation, just north and east of Lake Apopka, underlies about 3 percent of the county. This formation consists of both fresh and marine deposits that were laid down during several oscillations of the sea. Most of this area is capped with fibrous organic material. The Ocala Limestone Formation underlies the entire county. This formation is as much as 98 percent carbonates. Water moved downward through the blanket of sand that overlies the Ocala Formation. The water dissolved and removed much of the carbonate material and created many caverns of various sizes and shapes. The collapse of these caverns created the many fine lakes in the county.

## 5.0 GENERAL POTENTIAL FOR SINKHOLE DEVELOPMENT

Sinkhole development occurs in Florida and varies geographically from areas with almost no potential or a very low potential to areas with a high potential where sinkholes occur frequently. The subject property is approximately in Area III on the United States Geological Survey map entitled "Sinkhole Type, Development, and Distribution in Florida".

Area III typically has soil cover between 30 and 200 feet thick that consists of mainly cohesive clayey sediments of low permeability. Sinkholes are most numerous, of varying size, and develop abruptly. Cover-collapse sinkholes dominate in Area III.

During our limited shallow explorations, we did not encounter traditional signs associated with potential sinkhole development including abnormal downward pore water pressure gradients, obvious raveled zones, surface depressions, etc. However, this evaluation was not planned to specifically address sinkhole potential.

It should be noted that there were five recorded sinkholes within one-mile radius of the project site based on Subsidence Incident Reports (SIRs) data map by Florida Department of Environmental Protection. The recorded sinkholes were all located to the south (southeast and southwest) of the project site with size ranging from 4 to 8 feet in depth and 2 to 15 feet in width.

If the sinkhole potential of the site is to be evaluated, additional site-specific data must be obtained. This might include using geophysical methods such as Electrical Resistivity tests and additional geotechnical tests such as Cone Penetrometer Test (CPT) soundings, and/or more/deeper Standard Penetration Test borings. Interpretation of the test data should be done by a professional geologist/engineer familiar with the use of these tests under local conditions. However, it should be noted that even if indicators of sinkhole activity are found, it is impossible to predict if, when or precisely where a sinkhole may occur. If requested, NV5 can assist in assessing the sinkhole potential of the location of the proposed construction.

## 6.0 SOIL AND GROUNDWATER CONDITIONS

### 6.1 SOIL SURVEY

The USDA Soil Survey of Lake County, Florida, as shown on **Drawing No. 2**, was reviewed for a general description of the near-surface soil types that may be anticipated at the site. It should be noted that the Soil Survey is not intended as a substitute for site-specific geotechnical exploration; rather it is a useful tool in planning a project scope in that it provides information on soil types likely to be encountered. The major shallow subsurface profile at the project site is represented in the following:

*5 – Apopka sand, 0 to 5% slopes:* The parent material consists of eolian deposits and/or sandy and loamy marine deposits. Depth to a root-restrictive layer is greater than 80 inches. The natural drainage class is well drained. Capacity of the most limiting layer to transmit water is moderately high to high. Available water capacity is very low. This soil is not flooded. It is not ponded. Depth to water table is more than 80 inches.

*8 – Candler sand, 0 to 5% slopes:* The parent material consists of eolian deposits and/or sandy and loamy marine deposits. Depth to a root-restrictive layer is greater than 80 inches. The natural drainage class is excessively drained. Capacity of the most limiting layer to transmit water is high to very high. Available water capacity is very low. This soil is not flooded. It is not ponded. Depth to water table is more than 80 inches.

*9 – Candler sand, 5 to 12% slopes:* The parent material consists of eolian deposits and/or sandy and loamy marine deposits. Depth to a root-restrictive layer is greater than 80 inches. The natural drainage class is excessively drained. Capacity of the most limiting layer to transmit water is high to very high. Available water capacity is very low. This soil is not flooded. It is not ponded. Depth to water table is more than 80 inches.

45 – *Tavares sand, 0 to 5% slopes*: The parent material consists of eolian or sandy marine deposits. Depth to a root-restrictive layer is greater than 80 inches. The natural drainage class is moderately well drained. Capacity of the most limiting layer to transmit water is high to very high. Available water capacity is very low. This soil is not flooded. It is not ponded. Depth to water table is about 42 to 72 inches.

## 6.2 SUBSURFACE CONDITIONS

Based on the results of the SPT borings and hand augers, the encountered subsoil conditions consisted of very loose to very dense fine sand to fine sand with silt in the top 2 to 13.5 feet followed by a layer of loose to very dense silty fine sand to the explored depth of 15 feet. Borings B-14, B-15, B-16, B-17, and B-29 encountered loose to medium dense fine sand to fine sand with silt in the entire explored depth of 15 feet.

Conditions encountered at each boring location are indicated on the individual boring logs shown in **Attachment No. 1**. Stratification boundaries on the boring logs represent the approximate location of changes in native soil types; in situ, the transition between materials may be gradual.

## 6.3 GROUNDWATER

The borings were observed during drilling for the presence and level of groundwater. Generally, groundwater table was not encountered in the top 10 feet below the existing ground surface except in two borings (B-15 & B17) which encountered the groundwater at depths of 6.5 and 7 feet below the existing ground surface. We estimate that during the seasonal high ground water level to be below 10 feet of current grades, however, groundwater might be perched on top of the silty sand layer during the wet season, which typically runs from June through October.

Around the area of proposed stormwater pond, groundwater table was not encountered in the top 10 feet. We anticipated perched groundwater levels during normal wet seasonal, with seasonal high groundwater table to be about 5 feet below the exiting ground surface.

It should be recognized that fluctuations of the groundwater table will occur due to seasonal variations in the amount of rainfall, runoff and other factors not evident at the time the boring was performed. Therefore, groundwater levels during construction or at other times in the future may be higher or lower than the levels indicated on the boring logs.

Our estimates of the seasonal groundwater conditions are based on the USDA Soil Survey, the encountered soil types and groundwater and do not represent the temporary rise in water table occurs immediately following a storm events.

## 7.0 CONCLUSIONS AND RECOMMENDATIONS

The following conclusions and recommendations are based on the project characteristics previously described, the data obtained from our field explorations, and our experience with similar subsurface conditions and construction types. If subsurface conditions different from those disclosed by the borings are encountered during construction, we should be notified immediately so that we might review the following recommendations in light of such changes.



## 7.1 FOUNDATIONS

We anticipated the building would be wood frame and stucco block. In our opinion, the proposed building can be supported by shallow foundation system in the form of spread/strip footings and/or monolithic slab foundation, bearing on native soil or newly placed fill extending to native soil. Assuming the site is prepared as recommended in Earthwork section of this report. Design recommendations for shallow foundations for the proposed townhouses are presented below:

- For shallow spread footings: we recommend to use a net allowable bearing pressure of 3,000 psf to size the column footings. Footings should be embedded to a minimum of 30 inches below lowest adjacent grades and should be at least 30 inches wide.
- For shallow strip/wall footings: we recommend to use a net allowable bearing pressure of 2,500 psf to size the strip/wall footings. Footings should be embedded to a minimum of 30 inches below lowest adjacent grades and should be at least 24 inches wide.
- For monolithic slab foundation: we recommend to use a net allowable bearing pressure of 2,000 psf to size the edge beams of the monolithic slab foundation. The edge beams should be embedded to a minimum of 18 inches below lowest adjacent grades and should be at least 12 inches wide.
- Total settlement of recommended shallow foundations is expected to be less than 1 inch. Differential settlement is expected to be less than ½ inch between column footing, less than ½ inch over 40 feet for strip footing, and less than ½ inch over 40 feet for monolithic slab foundation.
- Footing subgrade soils should be approved by the geotechnical engineer or his representative prior to placement of concrete and steel. As a minimum acceptance criterion, the footing subgrade soils should be compacted to a minimum density of 95% of the soils modified Proctor maximum dry density to a depth of 24 inches under foundation level.
- A minimum of one field density to a minimum depth of 1 foot below the footing subgrade per column footing and per 50 linear feet for wall and monolithic slab foundation should be performed.
- The base of all foundation excavations should be free of water and loose soil prior to placing concrete. Concrete should be placed soon after excavating to reduce bearing soil disturbance. Should the soils at bearing level become excessively dry, disturbed or saturated, the affected soil should be moisture conditioned and re-compacted or removed prior to placing concrete. Place a lean concrete mud-mat over the bearing soils if the excavations must remain open over night or for an extended period of time. It is recommended that the geotechnical engineer be retained to observe and test the soil foundation bearing materials.
- NV5 anticipates hand-operated compaction equipment will be utilized, as necessary, in footing cuts, following any mass grading. If unsuitable bearing soils are encountered in footing excavations, the excavation should be extended deeper to suitable soils and the footing could bear directly on these soils at the lower level or on suitable backfill placed in the excavations. Over-excavation for compacted backfill placement below footings should extend laterally beyond all edges of the footings. The over-excavation should then be backfilled up to the footing base elevation per the preceding general earthwork specifications, using hand operated compaction equipment in footing cuts.

## 7.2 GROUND FLOOR SLABS

Ground floor slabs may be supported on grade or engineered fill. Slab subgrades should be properly prepared as recommended above under Site Preparation and Grading and Drainage.

Slabs on grade may be designed using a modulus of subgrade reaction of 125 pounds per cubic inch (pci). Slabs should be reinforced for the loads that they will sustain and construction joints should be provided at frequent intervals.

Slabs in contact with soil are subject to movement of moisture from the soil upward through the slab. To prevent such moisture vapor transmission, a moisture barrier should be placed on the slab subgrade, and should be protected from damage during construction. Construction joints should be provided with water stops in any permanently submerged areas.

## 7.3 EARTHWORK

### 7.3.1 Site Preparation

Geotechnical site preparation for construction should consist of removal of all existing structures, foundations, pavements, underground utilities, landscape, and other deleterious materials within proposed building and pavement footprints. Any voids created by the removal of these deleterious materials should be properly backfilled as described in the paragraphs below.

After preparation as described above, areas for structures that will have slabs on grade or pavements should be proof rolled with a heavy roller (with vibrator turned off) or loaded truck. The proof rolling should be observed by the geotechnical engineer to identify and mitigate any weak subgrade conditions evidenced by yielding or rutting at the wheels of the roller or truck.

The site preparation recommended above should include the planned structure and pavement footprints plus a five-foot perimeter.

### 7.3.2 Fill Material and compaction requirements

In general, fill soils should consist of either inorganic, non-plastic sand having less than 12% material passing the No. 200 sieve. In particular, fill soils placed within the upper 12 inches of the subgrade of building grade slabs on grade should consist of either sand with less than 10% passing the number 200 sieve.

Based on our boring data the near-surface sand should satisfy the fill criteria, but might require localized sorting and moisture-conditioning prior to re-use. In any event, representative samples of the fill soils should be collected for classification and compaction testing. The maximum dry density, optimum moisture content, gradation, and plasticity should be determined. These tests are needed for quality control of the compacted fill.

Fill soils should be placed with loose lift thicknesses of not more than 12 inches, moisture-conditioned to within two (2) percent of the optimum moisture content based on ASTM D-1557, and compacted to a minimum of 95 percent relative compaction. One test should be performed for each 2,500 square feet of fill area per lift of fill soils. If during the compaction process fill shows evidence of yielding under the weight of the roller, it should be scarified and re-compacted, or removed and replaced with fill described above.

The vibrations produced by the operation of the compactor should be monitored for potential adverse effect on adjacent existing structures, pavements, and utilities. If nearby structures will be affected by the vibration of the compactor, the compaction procedure may require modification as approved by the geotechnical engineer.

### 7.3.3 Grading and Drainage

Final surrounding grades should be sloped away from the structure on all sides to prevent ponding of water. Roof drainage should discharge to the stormwater system or a minimum of 10 feet beyond the footprint of the proposed structures where there are pervious surfaces. Site grades should be set considering the estimated seasonal high groundwater.

### 7.3.4 Earthwork Construction Consideration

Construction traffic over the completed subgrade should be avoided to the extent practical. The site should also be graded to prevent ponding of surface water on the prepared subgrades or in excavations. If the subgrade should become desiccated, saturated, or disturbed, the affected material should be removed or these materials should be scarified, moisture conditioned, and re-compacted prior to floor slab and pavement construction.

Installation of landscape drains should be considered around the back sides of curbs to collect and control landscape irrigation and other water entering through landscaping from entering the sides of the pavement sections, reducing the potential for water-related damage. Landscape drains should be routed to the stormwater collection or other positive outfall, away from the pavement.

The geotechnical engineer should be retained during the construction phase of the project to observe earthwork and to perform necessary tests and observations during subgrade preparation; proof-rolling; placement and compaction of controlled compacted fills; backfilling of excavations into the completed subgrade, and just prior to construction of building floor slabs.

## 7.4 LATERAL EARTH PRESSURES

Backfill materials against walls should be sands with less than 12 percent fines passing the U.S. Standard No. 200 Sieve. For this backfill material, we recommend the following design parameters:

Material:	Sand
Friction Angle ( $\phi$ ):	30°
Active Earth Pressure Coefficient:	0.33
Passive Earth Pressure Coefficient:	3.0
At-rest Earth Pressure Coefficient:	0.5
Moist Unit Weight ( $\gamma_m$ ):	115 pcf
Saturated Unit Weight ( $\gamma_{sat}$ ):	120 pcf
Footing Base Coefficient of Friction:	0.4

If walls are provided with adequate drainage, the moist unit weight ( $\gamma_m$ ) may be used in calculations. For portions of the walls below the groundwater table or where hydrostatic pressures can build up

should be analyzed using effective unit weights ( $\gamma_{\text{sat}} - \gamma_{\text{water}}$ ); however, hydrostatic pressures must then be added to the load on the wall.

For uniform surcharge loads, the additional pressure on the wall may be calculated using 0.5 times the surcharge pressure for braced walls and 0.33 times the surcharge pressure for unbraced walls. Lateral earth pressures from point loads and line loads bearing closer than a distance equal to the wall height from the wall should be analyzed on a case by case basis once loads are identified.

## 7.5 EXCAVATION AND DEWATERING

Groundwater levels were not encountered in the drilled boreholes in the top 10 feet. While groundwater is not expected to have a significant impact on shallow foundation excavations, some utility excavations may require dewatering to facilitate installation depending on the utility invert elevations and the time of year of construction. Localized dewatering, if required, may be achieved with pumps and sumps. Dewatering for deeper excavations including installation of utility systems and appurtenances for storm drains and sewer lines might require well points around those excavations. All dewatering and subsequent effluent discharge should meet the requirements of the local jurisdictional agencies

During dewatering the adjacent properties must be monitored for adverse impacts from dewatering drawdown. The dewatering subcontractor should submit a proposed design for dewatering operations to the owner for review and approval prior to commencing work.

Shallow excavations into the near-surface materials will likely stand vertical for short periods of time only. The excavation sides will unravel over time as they are exposed to weather and construction traffic. Deeper excavations, especially those that extend below the groundwater table, as well as excavations that will remain open for longer periods of time will require support in the form of temporary shoring or sliding trench boxes to prevent instability of excavation walls and to protect workers from injury. All excavations should comply with Occupational Safety and Health Administration (OSHA) design and safety requirements. Shoring designs should be signed and sealed by a Florida-licensed professional engineer, and should be provided for the Owner's review.

## 7.6 PAVEMENT

The near surface soil in the majority of the project site consisted of clean fine sands to fine sand with silts, which are suitable as a subgrade material for conventional pavement sections. Generally, groundwater table was not encountered in the top 10 feet below the existing ground surface except in two borings (B-15 & B17) which encountered the groundwater at depths of 6.5 and 7 feet below the existing ground surface. We estimate that during the seasonal high ground water level to be below 10 feet of current grades, however, groundwater might be perched on top of the silty sand layer during the wet season, which typically runs from June through October. We expect the majority of the pavement areas satisfy the requirement of having a minimum distance of 2 feet below the pavement section to the estimated seasonal high groundwater level.

Traffic loads are not given yet, but are anticipated to consist mostly of passenger cars, light pick-up trucks, and occasional large trash collection trucks. Based on the above information and assumptions, the minimum recommend pavement sections are as follows:

### 7.6.1 Light Duty- Passenger Cars Only

- 1.5 inches of asphaltic concrete structural course according to FDOT Specifications Section 330, 331 (Marshall).
- 6 inches of limerock base compacted to at least 98 percent of the Modified Proctor maximum dry density (AASHTO T-180 or ASTM D-1557). Limerock base courses should be mined from a Florida Department of Transportation (FDOT) approved source, should have a minimum LBR value of 100.
- 12 inches of compacted natural subgrade stabilized to a minimum Limerock Bearing Ratio (LBR; Florida Method of Test Designation FM 5-515) value of 40. Stabilization of the sub-base should be accomplished using coarse aggregate as well-graded crushed concrete or FDOT-approved limerock stabilization material. The subgrade should be compacted to at least 95 percent of the Modified Proctor maximum dry density (AASHTO T-180 or ASTM D-1557).

### 7.6.2 Heavy Duty Driveways and Areas Accessed by Truck Traffic

- 2 inches of asphaltic concrete structural course according to FDOT Specifications Section 330, 331 (Marshall).
- 8 inches of limerock base compacted to at least 98 percent of the Modified Proctor maximum dry density (AASHTO T-180 or ASTM D-1557). Limerock base courses should be mined from a Florida Department of Transportation (FDOT) approved source, should have a minimum LBR value of 100.
- 12 inches of compacted natural subgrade stabilized to a minimum Limerock Bearing Ratio (LBR; Florida Method of Test Designation FM 5-515) value of 40. Stabilization of the sub-base should be accomplished using coarse aggregate as well-graded crushed concrete or FDOT-approved limerock stabilization material. The subgrade should be compacted to at least 95 percent of the Modified Proctor maximum dry density (AASHTO T-180 or ASTM D-1557).

## 7.7 SEISMIC CONSIDERATIONS

The 2014 Florida Building Code (effective June 30, 2015) now requires the geotechnical engineer to provide a Seismic Site Classification. Based on the explored profiles at the building boring locations, we do not believe it is a reasonably conservative assumption that the unexplored depths beyond boring termination and extending to a depth of 100 feet would support consideration of site classification D. Therefore, in lieu of additional, deeper exploration (i.e. deeper SPT borings, seismic CPT soundings) at these locations we recommend consideration of site classification E at these locations.

Seismic considerations will seldom control the structural design of buildings in Central Florida (as compared to wind loading conditions). If seismic considerations control the structural design, we can provide a proposal to perform additional services to measure shear wave velocity such as MASW (multichannel analysis of surface waves), ReMi testing (refraction microtremor), seismic cone penetrometer (SCPT) testing to see if the site classification improves.

## 7.8 STORMWATER MANAGEMNT DESIGN

Around the area of exiting stormwater pond, groundwater table was not encountered in the top 10 feet. It should be noted that the existing pond has standing water, which is possibly due to the use of liner at the pond’s bottom. We anticipated perched groundwater levels during normal wet seasonal, with seasonal high groundwater table to be about 5 feet below the exiting ground surface. Based on the field permeability tests performed, the shallow clean fine sand to fine sand with silt has vertical permeability rate of about 20 feet/day.

Based on the soil type from USDA soil maps, our site exploration, laboratory results, the table below presents our recommendations for the Stormwater design parameters for the proposed stormwater pond:

Parameter	Stormwater Area (PB-1 & PB-2)
Estimated depth to the confining layer	6 feet
Encountered depth to the groundwater table (GWT)	> 10 feet
Estimated depth to seasonal high water table (ESHWT)	5 feet
Measured average hydraulic conductivity	46 feet/day
Recommended vertical hydraulic conductivity	20 feet/day
Recommended horizontal hydraulic conductivity	30 feet/day
Recommended fillable porosity	30 percent

## 8.0 LIMITATIONS

This report has been prepared for the exclusive use of the Owner and other members of the design/construction team for the specific projects discussed in this report. This report has been prepared in accordance with generally accepted local geotechnical engineering practices; no other warranty is expressed or implied.

The evaluation and recommendations submitted in this report are based in part upon the data collected from the field exploration. The nature or extent of variations throughout the subsurface profile may not become evident until the time of construction. If variations then appear evident, it may be necessary to evaluate our recommendations as provided in this report. In the event changes are made in the nature, design or locations of the proposed project construction, the conclusions and recommendations contained in this report shall not be considered valid unless the changes are reviewed and conclusions modified or verified in writing by NV5.

The scope of services did not include any environmental assessment or investigation for the presence or absence of wetlands, chemically hazardous or toxic materials in the soil, surface water, groundwater or air, on or below or around the site.

## **9.0 CLOSURE**

We appreciate the opportunity to provide geotechnical engineering services on this project. In the event that you have any questions concerning the contents of this report, or if we may be of further assistance, please do not hesitate to contact us.

Sincerely,

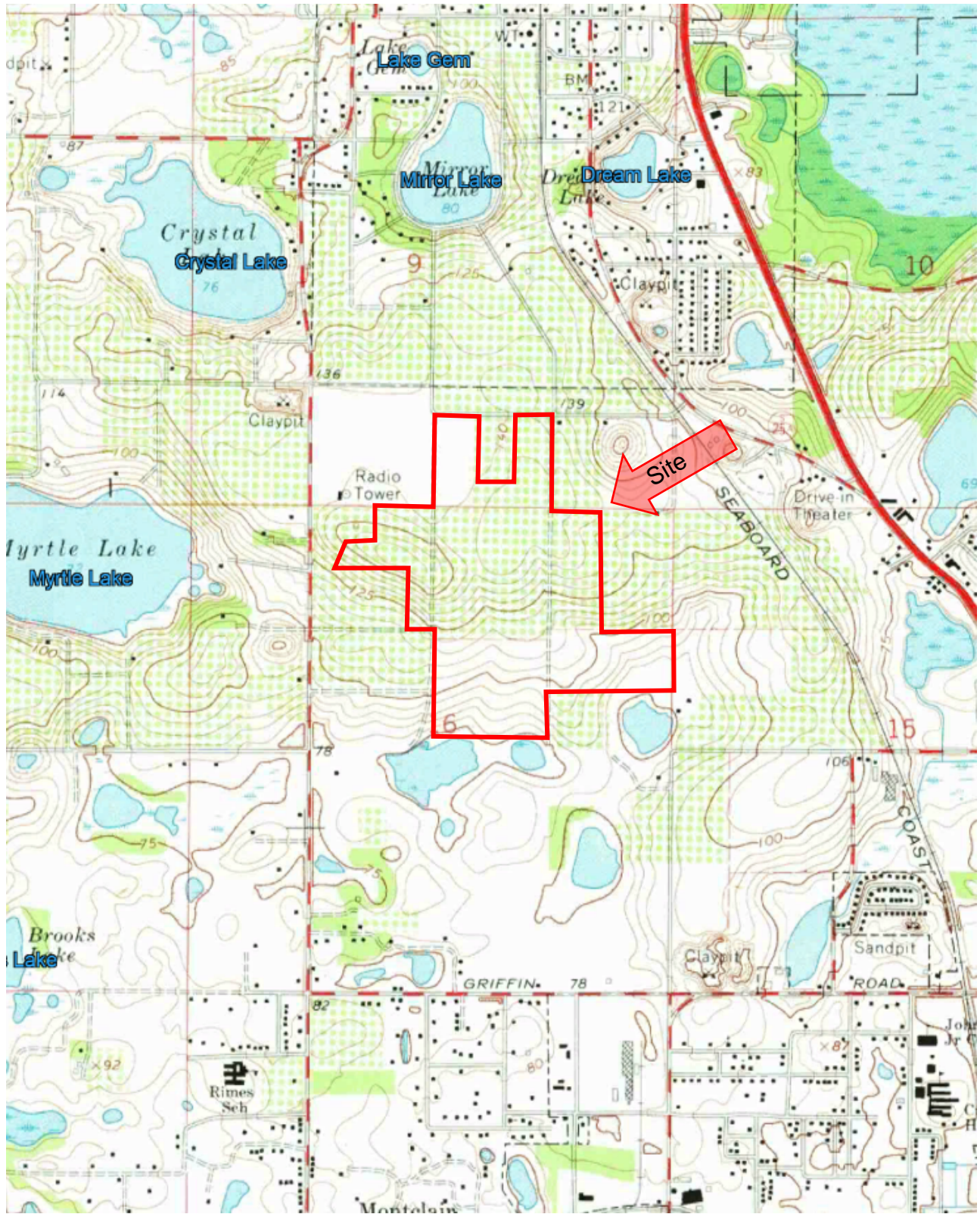
NV5, Inc.

Mohamed Alrowaimi, Ph.D., P.E.  
Project Manager

Amr M. Sallam, Ph.D., P.E.  
Director CQA Services, Vice President  
Florida License No. 67578

## **ATTACHMENTS**

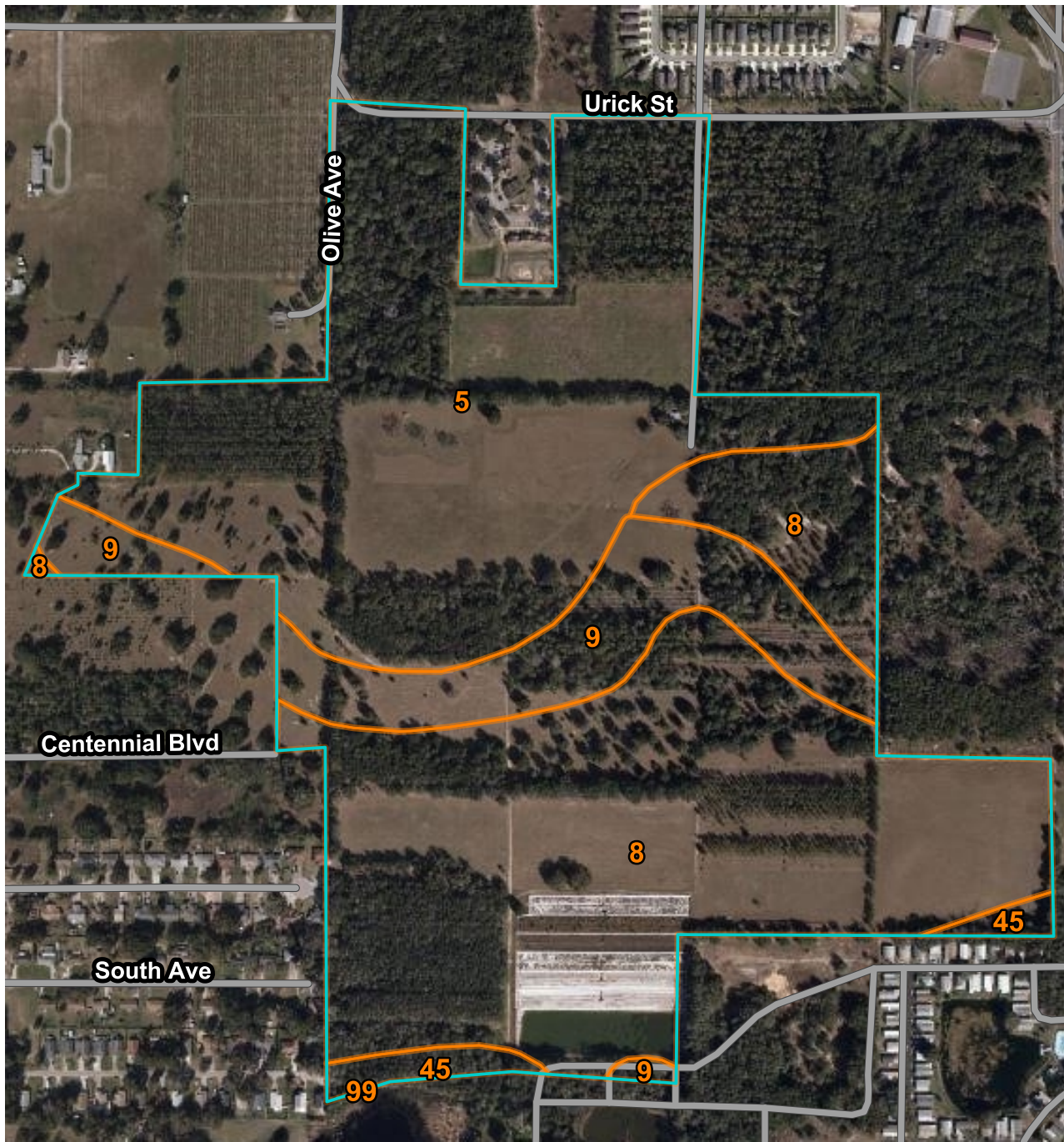




Topographic map image courtesy of the U.S. Geological Survey  
 Quadrangles include: Leesburg West, FL (1966)



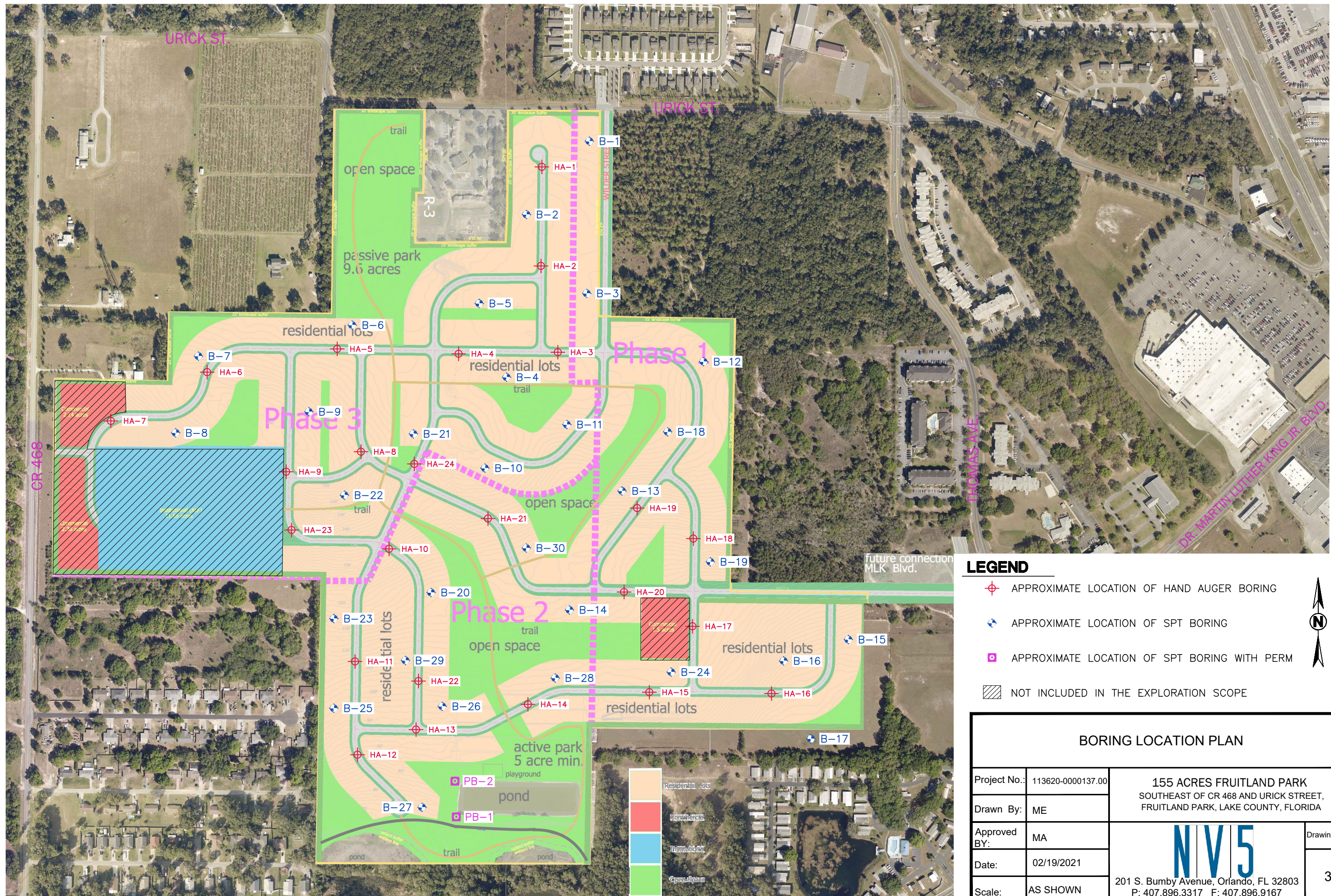
Project No.:	113620-000013700		<b>TOPOGRAPHIC VICINITY MAP</b> Acres Fruitland Park Southeast of CR 468 & Urick Street Fruitland Park, Lake County, Florida	Drawing No.
Designed By:	M.A.			1
Approved By:	A.M.S.			
Date:	02/17/2021			201 S. Bumby Avenue, Orlando, FL 32803
Scale:	NTS	P: 407.896.3317 F: 407.896.9167		







**Soils Map Index - U.S.D.A. Soil Survey for Orange County, Florida**

- 5—Apopka sand, 0 to 5 % slopes
- 8—Candler sand, 0 to 5% slopes
- 9—Candler sand, 5 to 12% slopes
- 45—Tavares sand, 0 to 5% slopes
- 99—Water

Project No.:	113620-0000137.00		<b>USDA SOILS MAP</b> Acres Fruitland Park Southeast of CR 468 & Urick Street Fruitland Park, Lake County, Florida	Drawing No.
Designed By:	M.A.			2
Approved By:	A.M.S.			
Date:	02/16/2021	201 S. Bumby Avenue, Orlando, FL 32803		
Scale:	NTS	P: 407.896.3317 F: 407.896.9167		




**LEGEND**

-  APPROXIMATE LOCATION OF HAND AUGER BORING
-  APPROXIMATE LOCATION OF SPT BORING
-  APPROXIMATE LOCATION OF SPT BORING WITH PERM
-  NOT INCLUDED IN THE EXPLORATION SCOPE



**BORING LOCATION PLAN**

Project No.:	113620-0000137.00	<b>155 ACRES FRUITLAND PARK</b> SOUTHEAST OF CR 468 AND URICK STREET, FRUITLAND PARK, LAKE COUNTY, FLORIDA	 201 S. Bumby Avenue, Orlando, FL 32803 P: 407.896.3317 F: 407.896.9167
Drawn By:	ME		
Approved BY:	MA	Drawing No. <div style="font-size: 2em; font-weight: bold; margin: 10px 0;">3</div>	
Date:	02/19/2021		
Scale:	AS SHOWN		

Attachment No. 1  
Borings Logs

Date	Started: 1/7/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-1
	Completed: 1/7/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84556	Longitude: -81.90829	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft.)	Hour	Date	

										Visual Classification
0										SAND (SP), light brown, fine grained, loose to very dense
				SPT-1	2-3-4-4 N=7					
				SPT-2	10-25-30-34 N=55				SP	
5				SPT-3	28-50/3" N>50	3	3			
				SPT-4	50/4" N>50					6.0'
				SPT-5	28-31-30-30 N=61					SILTY SAND (SM), with cementation, orangish-brown, fine to coarse grained, very dense
10									SM	
				SPT-6	21-25-30 N=55					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/7/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-2
	Completed: 1/7/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84463	Longitude: -81.90906	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft)	Hour	Date	

Visual Classification										
0				SPT-1	4-5-5-4 N=10					SAND (SP), light brown to grayish-brown, fine grained, loose to medium dense
				SPT-2	6-7-7-7 N=14				SP	
										4.0'
5				SPT-3	8-9-10-10 N=19					SILTY SAND (SM), orangish-brown, fine to coarse grained, medium dense to very dense
				SPT-4	10-12-11-13 N=23					
				SPT-5	18-20-21-20 N=41				SM	
10										
				SPT-6	23-28-30 N=58					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/7/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-3
	Completed: 1/7/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84364	Longitude: -81.90818	Surface Elevation:
--------------------	----------------------	--------------------

Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type	Groundwater		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Depth (ft)	Hour	Date
										Visual Classification			

0										SAND (SP), brown, fine grained, loose
				SPT-1	2-2-3-2 N=5					2.0'
				SPT-2	2-3-3-4 N=6	16	34			SILTY SAND (SM), with cementation, orangish-brown, fine to coarse grained, loose to very dense
5				SPT-3	3-4-5-5 N=9					
				SPT-4	8-10-10-11 N=20					
				SPT-5	12-15-20-22 N=35				SM	
10										
				SPT-6	28-30-31 N=61					15.0'
15										

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/13/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-4
	Completed: 1/13/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84247	Longitude: -81.90945	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft.)	Hour	Date	

										Visual Classification
0										SAND (SP), light brown, fine grained, loose to medium dense
				SPT-1	4-5-5-6 N=10					
				SPT-2	3-4-5-5 N=9					
5				SPT-3	6-7-7-9 N=14				SP	
				SPT-4	12-10-11-12 N=21					8.0'
				SPT-5	26-31-50/3" N>50	10	18			SILTY SAND (SM), with cementation, orangish-brown, fine to coarse grained, very dense
10									SM	
				SPT-6	50/3" N>50					15.0'
15										

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.



Date	Started: 1/7/201	Project Number 113620-0000137.00	Project 155-acres Fruitland Park		Boring No. B-5
	Completed: 1/7/201				
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ	

Latitude: 28.84332	Longitude: -81.90985	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft)	Hour	Date	

										Visual Classification
0										SAND (SP), light brown, fine grained, loose to medium dense
				SPT-1	2-3-3-4 N=6					
				SPT-2	4-3-3-2 N=6				SP	
5				SPT-3	5-5-6-7 N=11					
				SPT-4	8-10-11-12 N=21					6.0'
				SPT-5	12-13-15-18 N=28					SILTY SAND (SM), with cementation, orangish-brown, fine to coarse grained, medium dense to very dense
10									SM	
				SPT-6	21-31-38 N=69					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/11/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-6
	Completed: 1/11/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84305	Longitude: -81.91165	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft)	Hour	Date	

										Visual Classification
0										SAND (SP), light brown to grayish brown, fine grained, loose
				SPT-1	2-2-3-3 N=5					
				SPT-2	2-2-3-3 N=5				SP	
5				SPT-3	2-3-5-8 N=8	3	3			6.0'
				SPT-4	6-13-18-24 N=31					SILTY SAND (SM), with cementation, orangish-brown, fine to coarse grained, dense to very dense
				SPT-5	24-35-39-40 N=74				SM	
10										
				SPT-6	21-26-24 N=50					15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/11/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-7
	Completed: 1/11/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84281	Longitude: -81.91387	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft)	Hour	Date	

Visual Classification										
0										SAND (SP), brown, fine grained, loose to medium dense
				SPT-1	3-3-2-3 N=5					
				SPT-2	3-3-3-4 N=6				SP	
5				SPT-3	4-6-8-8 N=14					
				SPT-4	10-16-14-20 N=30	12	20			6.0'
				SPT-5	28-26-32-38 N=58					
10									SM	
				SPT-6	28-27-25 N=52					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/11/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-8
	Completed: 1/11/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84164	Longitude: -81.91436	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft.)	Hour	Date	

Visual Classification										
0										SAND (SP), brown, fine grained, loose
				SPT-1	2-2-3-3 N=5				SP	2.0'
				SPT-2	7-6-5-5 N=11					SILTY SAND (SM), with cementation, orangish-brown, fine to coarse grained, medium dense to dense
5				SPT-3	7-6-6-6 N=12					
				SPT-4	27-24-22-24 N=46					
				SPT-5	9-13-16-19 N=23				SM	
10										
				SPT-6	21-25-23 N=48					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/13/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-9
	Completed: 1/13/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84204	Longitude: -81.91221	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft)	Hour	Date	

Visual Classification										
0										SAND (SP), brown, fine grained, loose to medium dense
				SPT-1	4-5-5-6 N=10					
				SPT-2	3-3-4-5 N=7				SP	
5				SPT-3	5-6-6-7 N=12					
				SPT-4	7-8-11-10 N=19					
										8.0'
				SPT-5	13-15-21-20 N=36				SM	SILTY SAND (SM), with cementation, orangish-brown, fine to coarse grained, dense to very dense
10										
				SPT-6	50/3" N>50					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/13/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-10
	Completed: 1/13/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84130	Longitude: -81.90976	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft.)	Hour	Date	

Visual Classification										
0										SAND (SP), light brown, fine grained, loose to medium dense
				SPT-1	4-5-5-4 N=10					
				SPT-2	5-6-7-6 N=13					
										4.0'
5				SPT-3	8-10-13-12 N=23					SILTY SAND (SM), with cementation, orangish-brown, fine to coarse grained, medium dense to very dense
				SPT-4	15-18-20-27 N=38					
				SPT-5	28-34-50/4" N>50					
10										
				SPT-6	50/3" N>50					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/13/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-11
	Completed: 1/13/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84172	Longitude: -81.90831	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft.)	Hour	Date	

										Visual Classification
0										SAND (SP), light brown, fine grained, loose to medium dense
				SPT-1	3-4-4-5 N=8					SP
				SPT-2	5-6-6-7 N=12					4.0'
5				SPT-3	7-10-13-12 N=23					SILTY SAND (SM), with cementation, orangish-brown, fine to coarse grained, medium dense to very dense
				SPT-4	15-20-24-22 N=44					
				SPT-5	24-50/3" N>50					SM
10										
				SPT-6	50/3' N>50					15.0'
15										

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/14/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-12
	Completed: 1/14/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84279	Longitude: -81.90657	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft)	Hour	Date	

Visual Classification										
0										SAND (SP), light brown, fine grained, loose
				SPT-1	2-3-3-4 N=6					SP
				SPT-2	3-3-4-3 N=7					4.0'
5				SPT-3	4-3-5-7 N=8					SILTY SAND (SM), with cementation, light brown to orangish-brown, fine to coarse grained, loose to very dense
				SPT-4	8-12-18-22 N=30					
				SPT-5	20-23-27-29 N=50					SM
10										
				SPT-6	21-27-24 N=51					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.



Date	Started: 1/14/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-13
	Completed: 1/14/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84072	Longitude: -81.90769	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft.)	Hour	Date	

Visual Classification										
0										SAND (SP), light brown, fine grained, very loose to loose
				SPT-1	1-1-2-2 N=3					SP
				SPT-2	2-2-3-3 N=5					4.0'
5				SPT-3	4-7-11-14 N=18					SILTY SAND (SM), light orangish-gray to orangish-brown, fine to coarse grained, medium dense to dense
				SPT-4	13-16-21-26 N=37					
				SPT-5	9-7-10-10 N=17					SM
10										
				SPT-6	7-11-11 N=22	22	35			
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/14/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-14
	Completed: 1/14/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.83930	Longitude: -81.90852	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft)	Hour	Date	

Visual Classification										
0										SAND (SP), light brown to grayish-brown, fine grained, very loose to loose
				SPT-1	2-3-2-2 N=5					
				SPT-2	2-2-2-3 N=4				SP	
5				SPT-3	2-1-1-2 N=2					
				SPT-4	3-4-5-6 N=9					- fine to coarse grained at 6' to 8'
				SPT-5	5-7-6-5 N=13				SM	SILTY SAND (SM), orangish-brown, fine to coarse grained, medium dense
10										
										13.5'
				SPT-6	6-6-9 N=15				SP	SAND (SP), light orangish-brown, fine to coarse grained, medium dense
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/15/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-15
	Completed: 1/15/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.83926	Longitude: -81.90414	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft)	Hour	Date	

Visual Classification										
0										SAND WITH SILT (SP-SM), dark gray, fine grained, loose
				SPT-1	2-3-3-3 N=6				SP-SM	2.0'
				SPT-2	4-6-5-5 N=11					SAND (SP), gray to brown, fine grained, loose to medium dense
5				SPT-3	5-4-4-5 N=8					
				SPT-4	4-3-3-5 N=6				SP	
				SPT-5	4-5-4-5 N=9					
10										13.5'
				SPT-6	3-4-5 N=9				SP-SM	SAND WITH SILT (SP-SM), light brown, fine grained, loose
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

<b>Date</b>	Started: 1/15/2021	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> B-16
	Completed: 1/15/2021				
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ	

Latitude: 28.83902	Longitude: -81.90545	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	<b>Location: See Drawing No. 3 for boring location.</b>			
										<b>Sample Type</b> G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		<b>Groundwater</b>	
										Depth (ft)	Hour	Date	

										<b>Visual Classification</b>		
0										SAND (SP), grayish-brown to light brown, fine grained, loose to medium dense		
		SPT-1	2-3-4-6 N=7									
		SPT-2	4-5-7-7 N=12									
5		SPT-3	4-6-5-5 N=11									
		SPT-4	5-4-4-4 N=8					SP				
		SPT-5	3-3-4-3 N=7									
10												
		SPT-6	6-8-11 N=19									
15												15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/15/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-17
	Completed: 1/15/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.83804	Longitude: -81.90505	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft.)	Hour	Date	

Visual Classification										
0										SAND WITH SILT (SP-SM), dark gray, fine grained, loose
				SPT-1	3-4-4-6 N=8				SP-SM	2.0'
				SPT-2	6-7-6-7 N=13					SAND (SP), light brown to grayish-brown, fine grained, very loose to medium dense
5				SPT-3	5-3-3-4 N=6					
				SPT-4	3-3-2-2 N=5				SP	
				SPT-5	3-2-2-2 N=4					
10										13.5'
				SPT-6	3-3-3 N=6				SP-SM	SAND WITH SILT (SP-SM), light grayish-brown, fine grained, loose
15										15.0'

Notes:

Boring terminated at depth of (15.0').

Boring latitude and longitude were approximated, not surveyed.

Borehole backfilled with soil cuttings.

Date	Started: 1/14/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-18
	Completed: 1/14/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84176	Longitude: -81.90686	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft.)	Hour	Date	

Visual Classification										
0										SAND (SP), light brown to brown, fine grained, loose
				SPT-1	2-2-3-3 N=5					SP
				SPT-2	3-3-2-2 N=5					4.0'
5				SPT-3	2-3-4-7 N=7					SILTY SAND (SM), with cementation, orangish-brown, fine to coarse grained, loose to very dense
				SPT-4	10-13-16-21 N=29					
				SPT-5	21-25-27-31 N=52					SM
10										
				SPT-6	18-26-20 N=46					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

<b>Date</b>	Started: 1/15/2021	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park	<b>Boring No.</b> B-19
	Completed: 1/15/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

<b>Latitude:</b> 28.84013	<b>Longitude:</b> -81.90620	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location:</b> See Drawing No. 3 for boring location.			
										<b>Sample Type</b> G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	<b>Groundwater</b>		
										<b>Visual Classification</b>	<b>Depth (ft)</b>	<b>Hour</b>	<b>Date</b>

<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	SPT-1	2-3-3-3 N=6					<b>USCS Class.</b>	<b>Visual Classification</b>
				SPT-2	3-4-4-3 N=8						
				SPT-3	3-5-6-4 N=11						
				SPT-4	4-5-5-5 N=10	3	4	SP	SAND (SP), light brown to brown, fine grained, loose to medium dense		
				SPT-5	4-3-4-4 N=7						
				SPT-6	7-11-13 N=24			SM			
					13.5'						
					15.0'						

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.





Date	Started: 1/8/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-21
	Completed: 1/8/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84185	Longitude: -81.91078	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft)	Hour	Date	

Visual Classification										
0										SAND (SP), light brown to brown, fine grained, very loose to medium dense
				SPT-1	3-3-4-4 N=7					
				SPT-2	2-2-1-2 N=3					
5				SPT-3	3-3-2-2 N=5					
				SPT-4	3-4-3-3 N=7				SP	
				SPT-5	8-7-9-9 N=16					
10										
										13.5'
				SPT-6	15-15-17 N=32				SM	SILTY SAND (SM), orangish-brown, fine to coarse grained, dense
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/8/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-22
	Completed: 1/8/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84078	Longitude: -81.91169	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft)	Hour	Date	

Visual Classification										
0										SAND (SP), light brown to grayish-brown, fine grained, loose
				SPT-1	3-3-4-2 N=7					SP
				SPT-2	2-3-6-9 N=9					4.0'
5				SPT-3	11-11-13-15 N=24	12	25			SILTY SAND (SM), orangish-brown, fine to coarse grained, medium dense to dense
				SPT-4	24-24-26-27 N=50					
				SPT-5	11-18-19-17 N=37					SM
10										
				SPT-6	14-18-20 N=38					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/8/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-23
	Completed: 1/8/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.83951	Longitude: -81.91190	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft.)	Hour	Date	

Visual Classification										
0										SAND (SP), light brown to brown, fine grained, loose to medium dense
				SPT-1	2-3-3-3 N=6					
				SPT-2	4-4-3-4 N=7					
5				SPT-3	3-2-4-3 N=6					
				SPT-4	4-4-3-3 N=7				SP	
				SPT-5	6-8-8-8 N=16					
10										
										13.5'
				SPT-6	17-16-18 N=34				SM	SILTY SAND (SM), orangish-brown, fine to coarse grained, dense
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

<b>Date</b>	<b>Started: 1/14/2021</b>	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> B-24
	<b>Completed: 1/14/2021</b>				
	<b>Hammer Type: Safety</b>	<b>Drilling Method: Mud Rotary</b>	<b>Logged By: Integrity</b>		<b>Reviewed By: XZ</b>

<b>Latitude: 28.83845</b>	<b>Longitude: -81.90699</b>	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>			
										<b>Sample Type</b> G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	<b>Groundwater</b>		
											<b>Depth (ft)</b>	<b>Hour</b>	<b>Date</b>

										<b>Visual Classification</b>
0				SPT-1	2-3-2-3 N=5					SAND (SP), light brown to grayish-brown, fine grained, loose
				SPT-2	2-3-3-2 N=6				SP	
5				SPT-3	2-2-3-4 N=5					
				SPT-4	4-5-5-4 N=10					SILTY SAND (SM), orangish-brown, fine to coarse grained, medium dense
				SPT-5	4-6-6-8 N=12				SM	
10										
				SPT-6	7-8-8 N=16					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/14/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-25
	Completed: 1/14/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.83838	Longitude: -81.91189	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft.)	Hour	Date	

Visual Classification										
0										SAND (SP), light brown to brown, fine grained, very loose to loose
				SPT-1	2-3-4-5 N=7					
				SPT-2	2-2-2-2 N=4				SP	
5				SPT-3	3-2-2-4 N=4					
				SPT-4	2-3-4-4 N=7					
										8.0'
				SPT-5	5-6-6-5 N=12	7	13			SILTY SAND (SM), orangish-brown, fine grained, medium dense
10									SM	
				SPT-6	7-8-8 N=16					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/14/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-26
	Completed: 1/14/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.83808	Longitude: -81.91020	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft.)	Hour	Date	

Visual Classification										
0										SAND (SP), light brown, fine grained, loose
				SPT-1	1-3-5-7 N=8					
				SPT-2	4-3-2-3 N=5				SP	
5				SPT-3	3-2-4-4 N=6					6.0'
				SPT-4	3-3-4-5 N=7					SILTY SAND (SM), orangish-brown, fine grained, loose to medium dense
				SPT-5	4-4-5-5 N=9					
10									SM	
				SPT-6	7-11-13 N=24					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/14/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-27
	Completed: 1/14/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.83683	Longitude: -81.91066	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft)	Hour	Date	

										Visual Classification	
0										SAND (SP), light brown to grayish-brown, fine grained, loose	
				SPT-1	2-2-3-4 N=5						
				SPT-2	2-3-3-4 N=6						
5				SPT-3	3-5-4-5 N=9						
				SPT-4	3-3-4-4 N=7						
										8.0'	
				SPT-5	5-6-5-6 N=11	6	12				SILTY SAND (SM), orangish-brown, fine grained, medium dense
10											
				SPT-6	8-7-8 N=15						
15											15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/14/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-28
	Completed: 1/14/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.83827	Longitude: -81.90861	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft.)	Hour	Date	

Visual Classification										
0										SAND (SP), light brown to grayish-brown, fine grained, loose
				SPT-1	2-2-3-4 N=5					
				SPT-2	3-4-4-3 N=8				SP	
5				SPT-3	3-3-4-4 N=7					6.0'
				SPT-4	3-4-6-5 N=10					SILTY SAND (SM), orangish-brown, fine grained, loose to medium dense
				SPT-5	4-5-5-6 N=10				SM	
10										
				SPT-6	8-10-12 N=22					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.



Date	Started: 1/14/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-29
	Completed: 1/14/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.83899	Longitude: -81.91087	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft)	Hour	Date	

Visual Classification										
0										SAND (SP), light brown to light orangish-brown, fine grained, very loose to medium dense
				SPT-1	2-4-4-3 N=8					
				SPT-2	4-2-2-2 N=4					
5				SPT-3	3-2-2-2 N=4					
				SPT-4	3-3-2-4 N=5				SP	
				SPT-5	4-5-4-6 N=9	4	5			
10										
				SPT-6	9-11-17 N=28					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/14/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. B-30
	Completed: 1/14/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.84042	Longitude: -81.90915	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft)	Hour	Date	

Visual Classification										
0				SPT-1	2-2-2-3 N=4					SAND (SP), brown to grayish-brown, fine grained, very loose to loose
				SPT-2	2-3-4-3 N=7					
										4.0'
5				SPT-3	5-8-9-12 N=17	14	32			SILTY SAND (SM), orangish-brown, fine to coarse grained, medium dense to dense
				SPT-4	14-18-22-25 N=40					
				SPT-5	13-15-19-16 N=34					
10										
				SPT-6	12-10-13 N=23					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/14/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. PB-1
	Completed: 1/14/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.83664	Longitude: -81.91012	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft.)	Hour	Date	

Visual Classification										
0				SPT-1	6-7-8-6 N=15					SAND (SP), light brown to brown, fine grained, loose to medium dense
				SPT-2	6-6-4-5 N=10				SP	
5				SPT-3	4-4-5-4 N=9					
				SPT-4	7-11-16-20 N=27					SILTY SAND (SM), light gray to light orangish-gray, fine to coarse grained, medium dense
				SPT-5	9-11-17-15 N=28				SM	
10										
				SPT-6	8-10-13 N=23					
15										

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

Date	Started: 1/14/2021	Project Number 113620-0000137.00	Project 155-acres Fruitland Park	Boring No. PB-2
	Completed: 1/14/2021			
	Hammer Type: Safety	Drilling Method: Mud Rotary	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.83704	Longitude: -81.91013	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	Groundwater		
										Depth (ft)	Hour	Date	

Visual Classification										
0										SAND (SP), light brown to brown, fine grained, loose to medium dense
				SPT-1	8-10-9-7 N=19					
				SPT-2	6-7-5-4 N=12				SP	
5				SPT-3	4-4-4-6 N=8					
				SPT-4	9-14-19-23 N=33					SILTY SAND (SM), light gray to light orangish-gray, fine to coarse grained, medium dense to dense
				SPT-5	11-13-16-14 N=29					
10									SM	
				SPT-6	9-11-15 N=26					
15										15.0'

Notes:  
 Boring terminated at depth of (15.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.  
 Borehole backfilled with soil cuttings.

<b>Date</b>	Started: 1/13/2021	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> HA-1
	Completed: 1/13/2021				
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>	

<b>Latitude: 28.84524</b>	<b>Longitude: -81.90877</b>	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

										<b>Visual Classification</b>		
0										SAND (SP), brown, fine grained		
				Aug-1					SP			
										4.0'		
5				Aug-2		8	15		SM	SILTY SAND (SM), orangish-brown, fine grained		
										6.0'		

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	<b>Started: 1/13/2021</b>		<b>Project Number</b> <b>113620-0000137.00</b>	<b>Project</b> <b>155-acres Fruitland Park</b>		<b>Boring No.</b> <b>HA-2</b>	
	<b>Completed: 1/13/2021</b>						
	<b>Hammer Type:</b>		<b>Drilling Method:</b>		<b>Logged By: Integrity</b>		<b>Reviewed By: XZ</b>

<b>Latitude: 28.84399</b>		<b>Longitude: -81.90877</b>		<b>Surface Elevation:</b>			
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		<b>Depth (ft)</b>	<b>Hour</b>	<b>Date</b>
<b>Visual Classification</b>														

0	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	524	525	526	527	528	529	530	531	532	533	534	535	536	537	538	539	540	541	542	543	544	545	546	547	548	549	550	551	552	553	554	555	556	557	558	559	560	561	562	563	564	565	566	567	568	569	570	571	572	573	574	575	576	577	578	579	580	581	582	583	584	585	586	587	588	589	590	591	592	593	594	595	596	597	598	599	600	601	602	603	604	605	606	607	608	609	610	611	612	613	614	615	616	617	618	619	620	621	622	623	624	625	626	627	628	629	630	631	632	633	634	635	636	637	638	639	640	641	642	643	644	645	646	647	648	649	650	651	652	653	654	655	656	657	658	659	660	661	662	663	664	665	666	667	668	669	670	671	672	673	674	675	676	677	678	679	680	681	682	683	684	685	686	687	688	689	690	691	692	693	694	695	696	697	698	699	700	701	702	703	704	705	706	707	708	709	710	711	712	713	714	715	716	717	718	719	720	721	722	723	724	725	726	727	728	729	730	731	732	733	734	735	736	737	738	739	740	741	742	743	744	745	746	747	748	749	750	751	752
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<b>Date</b>	Started: 1/13/2021	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> HA-4
	Completed: 1/13/2021				
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>	

<b>Latitude: 28.84268</b>	<b>Longitude: -81.91014</b>	<b>Surface Elevation:</b>			
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

										<b>Visual Classification</b>		
0										SAND (SP), brown, fine grained		
				Aug-1		4	3		SP			
										4.0'		
5				Aug-2					SM	SILTY SAND (SM), orangish-brown, fine grained		
										6.0'		

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.



<b>Date</b>	Started: 1/13/2021	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park	<b>Boring No.</b> HA-5
	Completed: 1/13/2021			
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>

<b>Latitude: 28.84273</b>	<b>Longitude: -81.91188</b>	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

										<b>Visual Classification</b>									
0											SAND (SP), brown, fine grained								
				Aug-1					SP										4.0'
5				Aug-2					SM										6.0'

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	<b>Started: 1/15/2021</b>	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> HA-6
	<b>Completed: 1/15/2021</b>				
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>	

<b>Latitude: 28.84261</b>	<b>Longitude: -81.91359</b>	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

<b>Visual Classification</b>										
0	-	-	-	-	-	-	-	-	-	SAND (SP), brown, fine grained
			Aug-1						SP	
										4.0'
5	-	-	-	-	-	-	-	-	-	SILTY SAND (SM), orangish-brown, fine grained
			Aug-2						SM	
										6.0'

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	<b>Started: 1/15/2021</b>	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> HA-7
	<b>Completed: 1/15/2021</b>				
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>	

<b>Latitude: 28.84184</b>	<b>Longitude: -81.91509</b>	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

<b>Visual Classification</b>										
0	-	-	-	-	-	-	-	-	-	SAND (SP), brown, fine grained
				Aug-1					SP	
										4.0'
5	-	-	-	-	-	-	-	-	-	SILTY SAND (SM), orangish-brown, fine grained
				Aug-2	8	15			SM	
										6.0'

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	Started: 1/13/2021		<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> HA-8	
	Completed: 1/13/2021						
	Hammer Type:		Drilling Method:		Logged By: Integrity		Reviewed By: XZ

Latitude: 28.84162			Longitude: -81.91153			Surface Elevation:		
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

Visual Classification										
0	-	-	-	-	-	-	-	-	-	SAND (SP), brown, fine grained
				Aug-1					SP	
										4.0'
5	-	-	-	-	-	-	-	-	-	SILTY SAND (SM), orangish-brown, fine grained
				Aug-2					SM	
										6.0'

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

Date	Started: 1/15/2021		Project Number 113620-0000137.00				Project 155-acres Fruitland Park			Boring No. HA-9		
	Completed: 1/15/2021											
	Hammer Type:			Drilling Method:			Logged By: Integrity			Reviewed By: XZ		
Latitude: 28.84136			Longitude: -81.91260				Surface Elevation:					
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.		
										Sample Type		
										Groundwater		
									Visual Classification			
0										SAND (SP), brown, fine grained		
				Aug-1					SP			
										4.0'		
5				Aug-2					SM	SILTY SAND (SM), orangish-brown, fine grained		
										6.0'		

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	<b>Started: 1/14/2021</b>	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park	<b>Boring No.</b> HA-10
	<b>Completed: 1/14/2021</b>			
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>

<b>Latitude: 28.84010</b>	<b>Longitude: -81.91122</b>	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>			
										<b>Sample Type</b> G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	<b>Groundwater</b>		
											<b>Depth (ft)</b>	<b>Hour</b>	<b>Date</b>
<b>Visual Classification</b>													

0										SAND (SP), brown, fine grained
		Aug-1							SP	
										4.0'
5										SILTY SAND (SM), orangish-brown, fine grained
		Aug-2							SM	
										6.0'

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	<b>Started: 1/15/2021</b>	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> HA-11
	<b>Completed: 1/15/2021</b>				
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>	

<b>Latitude: 28.83898</b>	<b>Longitude: -81.91165</b>	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

<b>Visual Classification</b>											
0	-	-	-	-	-	-	-	-	-	-	SAND (SP), brown, fine grained
				Aug-1					SP		
										4.0'	
5	-	-	-	-	-	-	-	-	-	-	SILTY SAND (SM), orangish-brown, fine grained
				Aug-2					SM		
										6.0'	

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	Started: 1/15/2021		<b>Project Number</b> 113620-0000137.00				<b>Project</b> 155-acres Fruitland Park			<b>Boring No.</b> HA-12				
	Completed: 1/15/2021													
	<b>Hammer Type:</b>		<b>Drilling Method:</b>			<b>Logged By: Integrity</b>			<b>Reviewed By: XZ</b>					
<b>Latitude: 28.83745</b>			<b>Longitude: -81.91162</b>			<b>Surface Elevation:</b>								
<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date
<b>Visual Classification</b>														
0				Aug-1					SP	SAND (SP), brown, fine grained				
										4.0'				
5				Aug-2					SM	SILTY SAND (SM), orangish-brown, fine grained				
										6.0'				

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.



Date		Started: 1/15/2021		Project Number 113620-0000137.00				Project 155-acres Fruitland Park			Boring No. HA-13		
		Completed: 1/15/2021											
Hammer Type:		Drilling Method:				Logged By: Integrity			Reviewed By: XZ				
Latitude: 28.83769				Longitude: -81.91064				Surface Elevation:					
Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	Location: See Drawing No. 3 for boring location.			
										Sample Type			Groundwater
										G - Bulk / Grab Sample	Depth (ft)	Hour	Date
										SPT - 2" O.D. 1.4" I.D. Tube Sample			
										MC - 3" O.D. 2.4" I.D. Ring Sample			
										NR - No Recovery			
										* - Uncorrected Blow Counts			
										Visual Classification			
0										SAND (SP), brown, fine grained			
				Aug-1					SP				
										4.0'			
5				Aug-2					SM	SILTY SAND (SM), orangish-brown, fine grained			
										6.0'			

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.





<b>Date</b>	<b>Started: 1/14/2021</b>	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> HA-16
	<b>Completed: 1/14/2021</b>				
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>	

<b>Latitude: 28.83818</b>	<b>Longitude: -81.90555</b>	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

										<b>Visual Classification</b>		
0										SAND (SP), brown, fine grained		
				Aug-1		4	3		SP			
										4.0'		
5				Aug-2					SM	SILTY SAND (SM), orangish-brown, fine grained		
										6.0'		

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.





<b>Date</b>	Started: 1/14/2021	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> HA-19
	Completed: 1/14/2021				
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>	

<b>Latitude: 28.84055</b>	<b>Longitude: -81.90739</b>	<b>Surface Elevation:</b>			
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

<b>Visual Classification</b>										
0	-	-	-	-	-	-	-	-	-	SAND (SP), brown, fine grained
			Aug-1						SP	
										4.0'
5	-	-	-	-	-	-	-	-	-	SILTY SAND (SM), orangish-brown, fine grained
			Aug-2		8	15			SM	
										6.0'

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	Started: 1/14/2021	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> HA-20
	Completed: 1/14/2021				
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>	

<b>Latitude: 28.83953</b>	<b>Longitude: -81.90775</b>	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

<b>Visual Classification</b>										
0	-	-	-	-	-	-	-	-	-	SAND (SP), brown, fine grained
				Aug-1					SP	
										4.0'
5	-	-	-	-	-	-	-	-	-	SILTY SAND (SM), orangish-brown, fine grained
				Aug-2					SM	
										6.0'

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.



<b>Date</b>	Started: 1/14/2021	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> HA-21
	Completed: 1/14/2021				
	Hammer Type:	Drilling Method:	Logged By: Integrity	Reviewed By: XZ	

Latitude: 28.84057	Longitude: -81.90971	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	<b>Location: See Drawing No. 3 for boring location.</b>			
										<b>Sample Type</b>		<b>Groundwater</b>	
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour

										<b>Visual Classification</b>			
0			Aug-1						SP		SAND (SP), brown, fine grained		
											4.0'		
5			Aug-2						SM		SILTY SAND (SM), orangish-brown, fine grained		
											6.0'		

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	<b>Started: 1/15/2021</b>	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> HA-22
	<b>Completed: 1/15/2021</b>				
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>	

<b>Latitude: 28.83873</b>	<b>Longitude: -81.91068</b>	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

<b>Visual Classification</b>										
0	-	-	-	-	-	-	-	-	-	SAND (SP), brown, fine grained
			Aug-1						SP	
										4.0'
5	-	-	-	-	-	-	-	-	-	SILTY SAND (SM), orangish-brown, fine grained
			Aug-2						SM	
										6.0'

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	<b>Started: 1/15/2021</b>	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> HA-23
	<b>Completed: 1/15/2021</b>				
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>	

<b>Latitude: 28.84033</b>	<b>Longitude: -81.91257</b>	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

<b>Visual Classification</b>											
0	-	-	-	-	-	-	-	-	-	-	SAND (SP), brown, fine grained
				Aug-1					SP		
										4.0'	
5	-	-	-	-	-	-	-	-	-	-	SILTY SAND (SM), orangish-brown, fine grained
				Aug-2					SM		
										6.0'	

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	Started: 1/13/2021		<b>Project Number</b> 113620-0000137.00				<b>Project</b> 155-acres Fruitland Park			<b>Boring No.</b> HA-24				
	Completed: 1/13/2021													
<b>Hammer Type:</b>			<b>Drilling Method:</b>			<b>Logged By: Integrity</b>			<b>Reviewed By: XZ</b>					
<b>Latitude: 28.84127</b>			<b>Longitude: -81.91061</b>			<b>Surface Elevation:</b>								
<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		<b>Depth (ft)</b>	<b>Hour</b>	<b>Date</b>
<b>Visual Classification</b>														
	0			Aug-1					SP	SAND (SP), brown, fine grained				
	5			Aug-2	8	17			SM	SILTY SAND (SM), orangish-brown, fine grained				

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	<b>Started: 1/13/2021</b>	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park	<b>Boring No.</b> HA-25
	<b>Completed: 1/13/2021</b>			
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>

<b>Latitude: 28.84130</b>	<b>Longitude: -81.90893</b>	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

										<b>Visual Classification</b>		
0										SAND (SP), brown, fine grained		
				Aug-1					SP			
										4.0'		
5				Aug-2					SM	SILTY SAND (SM), orangish-brown, fine grained		
										6.0'		

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	Started: 1/14/2021	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> HA-26
	Completed: 1/14/2021				
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>	

<b>Latitude: 28.84192</b>	<b>Longitude: -81.90793</b>	<b>Surface Elevation:</b>			
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

<b>Visual Classification</b>										
0	-	-	-	-	-	-	-	-	-	SAND (SP), brown, fine grained
			Aug-1						SP	
										4.0'
5	-	-	-	-	-	-	-	-	-	SILTY SAND (SM), orangish-brown, fine grained
			Aug-2						SM	
										6.0'

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	<b>Started: 1/14/2021</b>	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> HA-27
	<b>Completed: 1/14/2021</b>				
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>	

<b>Latitude: 28.83879</b>	<b>Longitude: -81.90445</b>	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

										<b>Visual Classification</b>		
0										SAND (SP), brown, fine grained		
				Aug-1					SP			
										4.0'		
5				Aug-2		9	20		SM	SILTY SAND (SM), orangish-brown, fine grained		
										6.0'		

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	Started: 1/14/2021	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park	<b>Boring No.</b> HA-28
	Completed: 1/14/2021			
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>

<b>Latitude: 28.83827</b>	<b>Longitude: -81.90861</b>	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>			
										<b>Sample Type</b> G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts	<b>Groundwater</b>		
											<b>Depth (ft)</b>	<b>Hour</b>	<b>Date</b>

<b>Visual Classification</b>										
0										SAND (SP), brown, fine grained
				Aug-1					SP	
										4.0'
5				Aug-2					SM	SILTY SAND (SM), orangish-brown, fine grained
										6.0'

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.



<b>Date</b>	Started: 1/14/2021	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park		<b>Boring No.</b> HA-29
	Completed: 1/14/2021				
	<b>Hammer Type:</b>	<b>Drilling Method:</b>	<b>Logged By: Integrity</b>	<b>Reviewed By: XZ</b>	

<b>Latitude: 28.84149</b>	<b>Longitude: -81.90660</b>	<b>Surface Elevation:</b>
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<b>Groundwater Depth (ft.)</b>	<b>Depth (ft.)</b>	<b>Graphical Log</b>	<b>Sample Taken</b>	<b>Sample ID</b>	<b>SPT N-Value</b>	<b>Moisture Content (%)</b>	<b>% Passing No. 200</b>	<b>Other Tests and Remarks</b>	<b>USCS Class.</b>	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date

										<b>Visual Classification</b>		
0										SAND (SP), brown, fine grained		
				Aug-1					SP			
										4.0'		
5				Aug-2		7	14		SM	SILTY SAND (SM), orangish-brown, fine grained		
										6.0'		

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

<b>Date</b>	Started: 1/14/2021	<b>Project Number</b> 113620-0000137.00	<b>Project</b> 155-acres Fruitland Park	<b>Boring No.</b> HA-30
	Completed: 1/14/2021			
	Hammer Type:	Drilling Method:	Logged By: Integrity	Reviewed By: XZ

Latitude: 28.83943	Longitude: -81.90552	Surface Elevation:
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Groundwater Depth (ft.)	Depth (ft.)	Graphical Log	Sample Taken	Sample ID	SPT N-Value	Moisture Content (%)	% Passing No. 200	Other Tests and Remarks	USCS Class.	<b>Location: See Drawing No. 3 for boring location.</b>				
										<b>Sample Type</b>		<b>Groundwater</b>		
										G - Bulk / Grab Sample SPT - 2" O.D. 1.4" I.D. Tube Sample MC - 3" O.D. 2.4" I.D. Ring Sample NR - No Recovery * - Uncorrected Blow Counts		Depth (ft)	Hour	Date
										<b>Visual Classification</b>				

0	4.0'	Aug-1	SP	SAND (SP), brown, fine grained
5	6.0'	Aug-2	SM	SILTY SAND (SM), orangish-brown, fine grained

Notes:  
 Boring terminated at depth of (6.0').  
 Groundwater initially not encountered.  
 Boring latitude and longitude were approximated, not surveyed.

Attachment No. 2

General Notes

# GENERAL NOTES

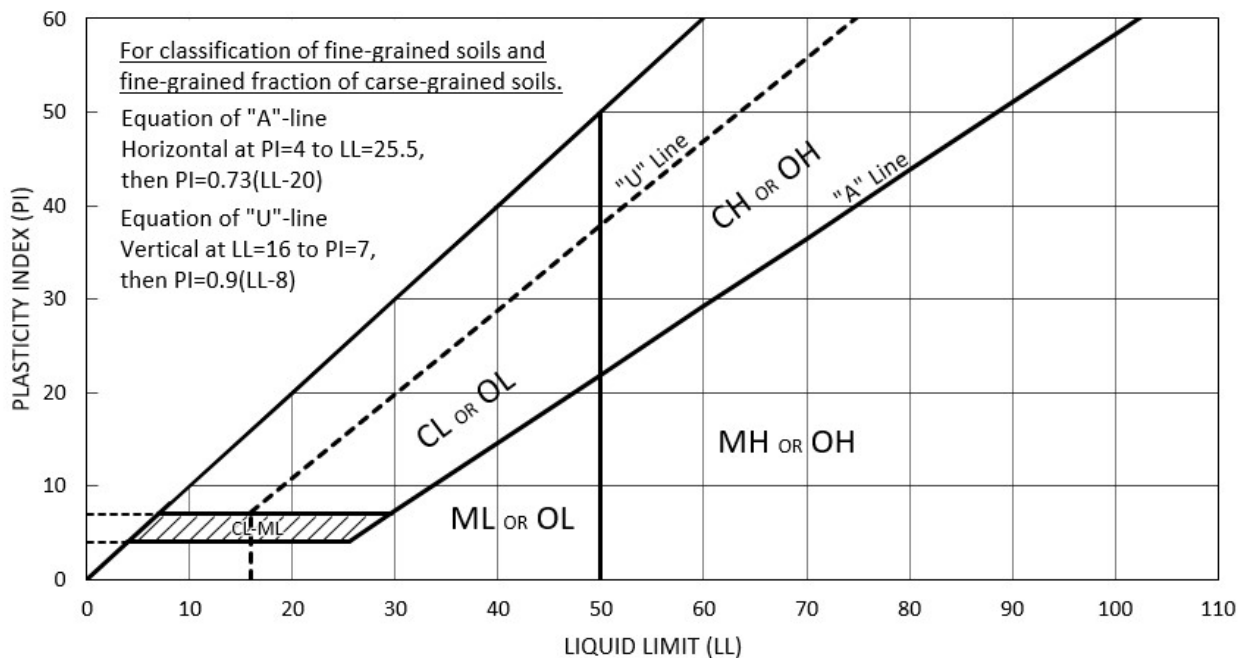
## Standard Penetration Test (SPT)



Evaluation of the apparent density of coarse-grained soil (more than 50% retained on No. 200 sieve)		Evaluation of the consistency of fine-grained soils (50% or more passed the No. 200 sieve)	
$N_{60}$	Apparent Density	$N_{60}$	Consistency
0 - 4	Very loose	<2	Very soft
>4 - 10	Loose	2 - 4	Soft
>10 - 30	Medium dense	4 - 8	Medium stiff
>30 - 50	Dense	8 - 15	Stiff
>50	Very dense	15 - 30	Very stiff
		>30	Hard

Grain size terminology		Plasticity description	
Major components of sample	Particle size	Plasticity Range	Adjective
Boulders	Over 12 inch (300mm)	0	Nonplastic
Cobbles	12 inch to 3 inch (300mm to 75 mm)	1-10	Low plasticity
Gravel	3inch to #4 sieve (75mm to 4.75mm)	>10-20	Medium plasticity
Sand	#4 to #200 sieve (4.75mm to 0.075mm)	>20-40	High plasticity
Silt or clay	Passing #200 sieve (0.075mm)	>40	Very plastic

**Plasticity Chart for Unified Soil Classification System (ASTM D2487)**



### References

Samtani, N.C., Nowatzki, E.A., (2006). "NHI Course No. 132012, Soils and Foundations, Reference Manual - Volume I, Report No. FHWA-NHI-06-088," Federal Highway Administration, U.S. Department of Transportation.

Attachment No. 3  
Field Permeability Test Results

### Input From Test

Pond No.	-				
Test Location	PB-2	PB-1			
Test Depth (ft)	4-5	4-5			
Soil Type	SP	SP			
Diameter of Gravel Pack, $D$ (in)	3.00	3.00			
Riser Height, $H_r$ (ft)	2.3	2.0			
Groundwater Depth, $D_{wt}$ (ft)*	5.0	5.0			
Length of Gravel Pack, $L$ (ft)	1.0	1.5			
Water Level in Casing, $D_{wl}$ (ft)	0.0	0.0			
Flow, $q$ (gal/min)	4.35	5.77			
Flow, $q$ (ft <sup>3</sup> /day)	837.0	1110.6			
Field Horizontal Permeability Rate, $k_h$ (ft/day)	<b>44.4</b>	<b>47.7</b>			

\* temporary groundwater depth due to charging the hole before test

### Calculations

$$m = \sqrt{\frac{k_h}{k_v}}$$

*Transformation Ratio*

$$m = \sqrt{2}$$

*Assuming  $k_v = 0.5k_h$*

$$H_c = D_{wt} + H_r - D_{wl}$$

*Constant Piezometric Head*

$$k_m = q \div 2.75 \cdot D \cdot H_c$$

$$k_h = q \cdot \frac{\ln \left[ m \cdot \frac{L}{D} + \sqrt{1 + \left( m \cdot \frac{L}{D} \right)^2} \right]}{2 \cdot \pi \cdot L \cdot H_c}$$

*From NAVFAC TM 5-818-5\* PG. 35*

$$k_m = q \div 2.75 D \cdot H_c$$

$$k_m = \sqrt{k_h \cdot k_v}$$

