



506 WEST BERCKMAN STREET  
FRUITLAND PARK, FL 34731

PHONE: 352 360-6727  
FAX: 352 360-6652

<b>Board Members:</b> Al Goldberg, Chairman Carlisle Burch Daniel Dicus, Vice Chair Fred Collins Walter Birriel	<b>Others:</b> Greg Beliveau, LPG Tracy Kelley, CDD Kelly Turner, Administrative Assistant
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**AGENDA**  
**PLANNING & ZONING BOARD**  
**SEPTEMBER 17, 2020**  
**6:00PM**

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- I. **INVOCATION AND PLEDGE OF ALLEGIANCE:**
- II. **ROLL CALL:**
- III. **MINUTES FROM PREVIOUS MEETING:** Approve regular Planning and Zoning Board meeting minutes from August 20, 2020.
- IV. **OLD BUSINESS:** None
- V. **NEW BUSINESS:**
  - A. Ross Triplex Rezoning (Alt Key 3619218)

Rezoning application submitted by Terry Ross for a parcel identified by alternate key number 3619218. Applicant proposes rezoning from Single Family Medium Density Residential (R-2) to Residential Professional (RP) to allow for future development of a triplex. Multi-family dwelling units are permitted within the Residential Professional (RP) zoning district. Zoning of adjacent parcels support proposed rezoning.
  - B. Ross Triplex Unity of Title (Alt Keys 1431638 & 3619218)

Declaration of Unity of Title application submitted by Terry Ross for two parcels identified by alternate key numbers 1431638 and 3619218. Applicant proposes unification of parcels for future development of a triplex. The area of combined parcels is approximately 20,634.71 square feet. Parcels have road frontage on both Sunset Way and Forest Street.

C. Eustis Roofing Minor Site Plan (Alt Key)

Minor Site Plan application submitted by Jason Reisman on behalf of Eustis Roofing Company, Inc. Applicant proposes utilizing existing commercial building at 2191 US HWY 441 for operation of roofing business. The existing 43,248 square foot commercial building fronts US Highway 27/441. The property is zoned General Commercial (C-2) in which "Maintenance Contractors" are listed as a permitted use. The building was previously used as a gym under the business name Section 8 Crossfit. The Future Land Use designation is Commercial - High Intensity.

**BOARD MEMBERS' COMMENTS:**

**PUBLIC COMMENTS:**

**ADJOURNMENT:**



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FRUITLAND PARK, FL 34731

PHONE: 352 360-6727  
FAX: 352 360-6652

<b>Board Members:</b> Al Goldberg, Chairman Carlisle Burch Daniel Dicus Fred Collins Walter Birriel	<b>Others:</b> Greg Beliveau, LPG Tracy Kelley, CDD Kelly Turner, Administrative Assistant
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**MINUTES  
PLANNING & ZONING BOARD  
AUGUST 20, 2020  
6:00PM**

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- I. **INVOCATION AND PLEDGE OF ALLEGIANCE:** Meeting called to order at 6:03PM. Administrative Assistant Turner led the invocation and Pledge of Allegiance.
- II. **ROLL CALL:** All Board members present with the exception of Board member Collins. Present LPG Beliveau, CDD Kelley and Administrative Assistant Turner.
- III. **MINUTES FROM PREVIOUS MEETING:** Approve regular Planning and Zoning Board meeting minutes from March 19, 2020. Motion to approve Dicus. Second Birriel. Approved 4-0.
- IV. **OLD BUSINESS:** None
- V. **NEW BUSINESS:**
  - A. Recommend and elect Vice Chair and Chair  
  
Elect Vice Chair to the Planning and Zoning Board for the remainder of fiscal year 2019/2020 and fiscal year 2020/2021. Elect Chair for fiscal year 2020/2021.  
  
Motion to recommend Board member Goldberg as Chair by Board member Dicus. Second Birriel. Approved 4-0.

Motion to recommend Board member Dicus as Vice Chair by Board member Goldberg. Second Birriel. Approved 4-0.

Chairman Goldberg recognized appointment by City Commission Mr. Carlisle Burch to the Planning and Zoning Board. Board member Purlee officially resigned by letter of resignation on June 1, 2020.

#### B. Amendment to City of Fruitland Park Land Development Regulations

The City proposes to adopt Ordinance 2020-008, amending Chapter 161 Section 161.010(b) adopting the Florida Building Code by reference; adding Section 161.010(c) violation provisions and Section 161.010(d) elevation requirements.

LPG Beliveau gave introduction to Ordinance 2020-008, amending Chapter 161 that portion of the Florida Building Code reference.

Board member Dicus referenced pending adoption of revised Land Development Regulations; Section 3 of the current LDR whereas hereby amended section any person in any violation of code provisions who does this pertain to? LPG Beliveau explained the building code has its own code of violations outside of any city code and this just is used as a reference. Board member Dicus also questioned Section 6; foundations. CDD Kelley made reference to errors in to other jurisdictions further assuring foundations are found within the approved plot plan and/or site plan. Board member Dicus believes this will hinder residential construction and recommends adding provision of case by case basis or sites greater than ten (10) units.

Chairman Goldberg commented the Ordinance is respected and past experience having the foundation survey would have prevented requirement of flood hazard insurance.

Motion to recommend approval of Ordinance 2020-008 adding language in Section Six (6) to include requirement be limited to a case by case basis for residential buildings of ten (10) dwelling units or greater by Vice Chairman Dicus. Second Birriel. Approved 4-0.

#### C. Community United Methodist Church (CUMC) Unity of Title (Alt Key 1639409 & 1248329)

Unity of Title application submitted by Curley Elliott, Board Trustee, on behalf of Community United Methodist Church (CUMC). Applicant recently received approval to rezone 404 West Fountain Street to Public Facilities District (PFD), to be used as a food pantry for the church. Main access to the food pantry, located at 404 West Fountain Street, is provided from the existing parking lot, located on 309 College Avenue. Applicant proposes to unify property located at 404 West Fountain Street with 309 College Avenue, as one parcel under single ownership and operation.

LPG Beliveau gave introduction to Unity of Title and reason for application meeting requirements for recent and approved rezoning application.

LPG Beliveau gave introduction to Unity of Title application to make current use of food pantry be a part of the Community United Church properties and make corrections to application reflective of Lake County, and the State of FL.

Motion to approve Unity of Title for Alt Key 1639409 & 1248329 by Board member Burch. Second Dicus. Approved 4-0.

#### D. Community United Methodist Church (CUMC) Site Plan (Alt Key 1639409)

Minor Site Plan application submitted by Curley Elliott, Board Trustee, on behalf of Community United Methodist Church (CUMC). Applicant recently rezoned property located at 404 West Fountain Street from Single Family Medium Density Residential (R-2) to Public Facilities District (PFD) to be used as the church food pantry. Per Section 160.020, Fruitland Park Land Development Regulations, changing the use of a structure requires site plan approval through City Commission.

LPG Beliveau gave introduction to Site Plan application noting notations relating to grade of ADA parking and provide location of fire hydrant.

Motion to approve Minor Site Plan for Alt Key 1639409 with site plan notations by Board member Birriel. Second Dicus. Approved 4-0.

#### E. Samuel Clayton Rector Variance (Alt Key 2908823)

Application submitted by Samuel Clayton Rector requesting a variance from the schedule of setback requirements found in Chapter 154.040 Size and Dimension Criteria. Applicant applied for a residential building permit for an addition to existing single family home. Building plans did not meet required fifteen foot (15') side setback. Applicant requests a variance to allow a proposed five foot (5') setback.

LPG Beliveau gave introduction to Variance application requesting a proposed five foot (5') setback allowing for an addition to existing single family home. LPG Beliveau read from applicant Rector Engineer letter of record and inquired why construction commenced prior to variance application approval allowing for building permit approval. LPG Beliveau recommended CDD Kelley forward Engineer letter of record and photos taken of improvements prior to approvals.

Chairman Goldberg disclosed pre P&Z Board meeting applicant Rector attempted to discuss variance application. Chairman Goldberg also disclosed informed City of Fruitland Park Building Department of improvements completed prior to approvals.

Vice Chairman Dicus disclosed pre P&Z Board meeting applicant Rector attempted to discuss variance application and petitioned for members of P&Z Board.

Applicant Samuel Clayton Rector approached podium for public comments. Applicant Rector stated work commenced prior to variance approval; that he (the variance applicant), building official, and engineer all came together to make decisions under a “gentleman’s agreement.”

Chairman Goldberg inquired if Applicant Rector (a licensed contractor) builds without building permits regularly and an engineer does not have authority to instruct a contractor to build without a building permit. Applicant Rector responded not all work requires a permit.

Vice Chairman Dicus inquired if Board members would grant a variance if the applicant had not commenced improvements.

CDD Kelley clarified a building official does not approve zoning review or approvals.

Board member Birriel commented the improvements should not have been done in this fashion.

Chairman Goldberg inquired if there were any further Board comments. Vice Chair Dicus requested to be excused from comments.

Motion to approve Variance application by Chairman Goldberg. Second Dicus. Birriel yes. Goldberg no. Dicus yes. Burch yes. Approved 3-1.

**BOARD MEMBERS’ COMMENTS:** No further comments.

**PUBLIC COMMENTS:** No comments.

**ADJOURNMENT:** 6:56PM



**City of Fruitland Park, Florida**  
**Community Development Department**  
 506 W. Berckman St., Fruitland Park, Florida 34731  
 Tel: (352) 360-6727 Fax: (352) 360-6652  
 www.fruitlandpark.org

Staff Use Only	
Case No.:	_____
Fee Paid:	_____
Receipt No.:	_____

## Development Application

Contact Information:

Owner Name: Terry + Rachel Ross  
 Address: 911 Hawk Landing  
 Phone: 352 728 6053 Email: ROSSP1bg6@gmail.com

Applicant Name: Terry Ross  
 Address: 911 Hawk Landing  
 Phone: 352 728 6053 Email: ROSSP1bg2@gmail.com

Engineer Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Property and Project Information:

**PROJECT NAME\*:** \_\_\_\_\_  
\*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: DIXIE AVE - Forest St. - Sunset way  
 Parcel Number(s): 3619218 - 1431638 Section: 09 Township: 19 Range 24  
 Area of Property: \_\_\_\_\_ Nearest Intersection: DIXIE AVE & Forest St.  
 Existing Zoning: R-2 Existing Future Land Use Designation: \_\_\_\_\_  
 Proposed Zoning: RP Proposed Future Land Use Designation: \_\_\_\_\_  
 The property is presently used for: VACANT  
 The property is proposed to be used for: TRIPLEX  
 Do you currently have City Utilities? water-

Application Type:

- |  |  |   |  |
|--|--|---|--|
| <input type="checkbox"/> Annexation      | <input type="checkbox"/> Comp Plan Amendment   | <input checked="" type="checkbox"/> Rezoning    | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance        | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat          |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan      | <input type="checkbox"/> Construction Plan      | <input type="checkbox"/> ROW/Plat Vacate     |
| <input type="checkbox"/> Site Plan       | <input type="checkbox"/> Minor Site Plan       | <input type="checkbox"/> Replat of Subdivision  |  |

Please describe your request in detail: REZONE 3619218 lot 7 to SAME ZONING AS 1431638 lot 6

**Required Data, Documents, Forms & Fees**

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Printed Name: Terry Ross

Signature: [Handwritten Signature] Date: 7-29-2020

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

**ORDINANCE 2020-009**

**AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, REZONING APPROXIMATELY 0.20 ± ACRES OF PROPERTY GENERALLY LOCATED NORTH OF FOREST STREET AND EAST OF SOUTH DIXIE AVE. FROM SF MEDIUM DENSITY (R-2) TO THE DESIGNATION OF RESIDENTIAL PROFESSIONAL (RP) WITHIN THE CITY LIMITS OF FRUITLAND PARK; DIRECTING THE CITY MANAGER TO AMEND THE ZONING MAP OF THE CITY OF FRUITLAND PARK; PROVIDING FOR SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT HEREWITH; PROVIDING FOR SCRIVENER'S ERRORS AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, a petition has been submitted by Terry and Rachel Ross as applicants, on behalf of Dream Lake Properties, LLC, as Owner, requesting that approximately 0.2 acres of real property located on Sunset Way (the "Property") be rezoned from City of Fruitland Park R-2 to City of Fruitland Park RP; and

**WHEREAS**, the petition bears the signature of all applicable parties; and

**WHEREAS**, the required notice of the proposed rezoning has been properly published; and

**WHEREAS**, the City Commission reviewed said petition, the recommendations of the Planning and Zoning Board, staff report and any comments, favorable or unfavorable, from the public and surrounding property owners at a public hearing duly advertised;

**NOW, THEREFORE, BE IT ORDAINED** by the City Commission of the City of Fruitland Park, Florida, as follows:

Section 1. The following described property consisting of approximately 0.2 ± acres of land located on Sunset Way shall hereafter be designated as RP – Residential Professional, as defined in the Fruitland Park Land Development Regulations. The property is more particularly described as:

**LEGAL DESCRIPTION: Lot 7, Block B, 1<sup>ST</sup> ADDITION TO DREAM LAKE SUBDIVISION, according to the plat thereof recorded in Plat Book 3, Page 13, of the Public Records of Lake County, Florida.**

**Parcel Alternate Key No. 3619218**

Section 2. That the City Manager, or designee, is hereby directed to amend, alter, and implement the official zoning maps of the City of Fruitland Park, Florida to include said designation consistent with this Ordinance.

Section 3. That the zoning classification is consistent with the Comprehensive Plan of the City of Fruitland Park, Florida.



Section 4. If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

Section 5. Scrivener’s errors in the legal description may be corrected without a public hearing or at public meeting, by re-recording the original ordinance or a certified copy of the ordinance and attaching the correct legal description.

Section 6. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 7. This Ordinance shall become effective in accordance with law.

**PASSED AND ORDAINED** in regular session of the City Commission of the City of Fruitland Park, Lake County, Florida, this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Chris Cheshire, Mayor  
City of Fruitland Park, Florida

ATTEST:

Approved as to Form:

\_\_\_\_\_  
Esther Coulson, CMC, City Clerk  
(SEAL)

\_\_\_\_\_  
Anita Geraci-Carver, City Attorney

Mayor Cheshire	____(Yes), ____ (No), ____ (Abstained), ____ (Absent)
Vice Mayor Gunter	____(Yes), ____ (No), ____ (Abstained), ____ (Absent)
Commissioner Bell	____(Yes), ____ (No), ____ (Abstained), ____ (Absent)
Commissioner DeGrave	____(Yes), ____ (No), ____ (Abstained), ____ (Absent)
Commissioner Mobilian	____(Yes), ____ (No), ____ (Abstained), ____ (Absent)

Passed First Reading \_\_\_\_\_

Passed Second Reading \_\_\_\_\_

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	DREAM LAKE PROPERTIES LLC	<b>Alternate Key:</b>	3619218
<b>Mailing Address:</b> <a href="#">Update Mailing Address</a>	28345 COLUMBIA RD TAVARES, FL 32778	<b>Parcel Number:</b>	09-19-24-1200-00B-00700
		<b>Millage Group and City:</b>	00F2 (FRUITLAND PARK)
		<b>2019 Total Certified Millage Rate:</b>	17.9898
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a>
<b>Property Location:</b> <a href="#">Update Property Location</a>	SUNSET WAY FRUITLAND PARK FL 34731	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a>
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> <a href="#">School Boundary Maps</a>
<b>Property Description:</b>	FRUITLAND PARK 1ST ADD DREAM LAKE LOT 7 BLK B PB 3 PG 13   ORB 3770 PG 1633		

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	VACANT COMMERCIAL (1000)	0	0		8712	SF	\$0.00	\$19,166.00

[Click here for Zoning Info](#)

[FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">3770 / 1633</a>	5/8/2009	Warranty Deed	Unqualified	Vacant	\$100.00
<a href="#">3238 / 425</a>	8/14/2006	Warranty Deed	Qualified	Vacant	\$26,400.00

[Click here to search for mortgages, liens, and other legal documents.](#)

## Values and Estimated Ad Valorem Taxes

Values shown below are 2020 CERTIFIED VALUES.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$19,166	\$19,166	\$19,166	5.07340	\$97.24
LAKE COUNTY MSTU	\$19,166	\$19,166	\$19,166	0.46290	\$8.87

Prepared by, Record, and Return to:  
Lori A. Bulecza-Hoffman, an employee of  
Brokers Title of Leesburg, LLC  
9800 U.S. Hwy 441, Suite #106  
Leesburg, Florida 34788  
Prepared incidental to the issuance of  
a policy of title insurance

File Number: 20-185

Consideration: \$25,000.00

**General Warranty Deed**

*PAR  
18/*

Made this July 31, 2020 A.D. By Dream Lake Properties, LLC, a Florida Limited Liability Company, whose address is: P O Box 692, Tavares, Florida 32778, hereinafter called the grantor, to Terry F. Ross and Rachel A. Ross, husband and wife, whose post office address is: 911 Hawk Landing, Fruitland Park, Florida 34731, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Lake County, Florida, viz:

Parcel 1:

That part of Lots 1, 2, 3 and 4, lying East of the Easterly line of the right of way of Old U.S. Highway No. 441 and Lot 6, all in Block B, 1ST ADDITION TO DREAM LAKE SUBDIVISION, according to the plat thereof recorded in Plat Book 3, Page 13, of the Public Records of Lake County, Florida.

Parcel 2:

Lot 7, Block B, 1ST ADDITION TO DREAM LAKE SUBDIVISION, according to the plat thereof recorded in Plat Book 3, Page 13, of the Public Records of Lake County, Florida.

Said property did not constitute the Grantor(s) homestead, nor was it adjacent to or contiguous with their homestead, the homestead of the spouse of the Grantor(s) nor any member of the household of the Grantor(s) reside thereon, as defined by Article X, Section 4 of the Florida Constitution or laws.

Parcel ID Number: 09-19-24-1200-00B-00100

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2019.

**In Witness Whereof**, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

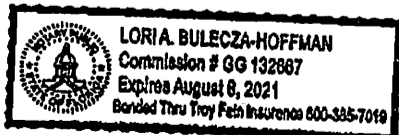
Melanie Hicks  
Witness Printed Name **Melanie Hicks**

Lori A. Bulecza-Hoffman  
Witness Printed Name **Lori A. Bulecza-Hoffman**

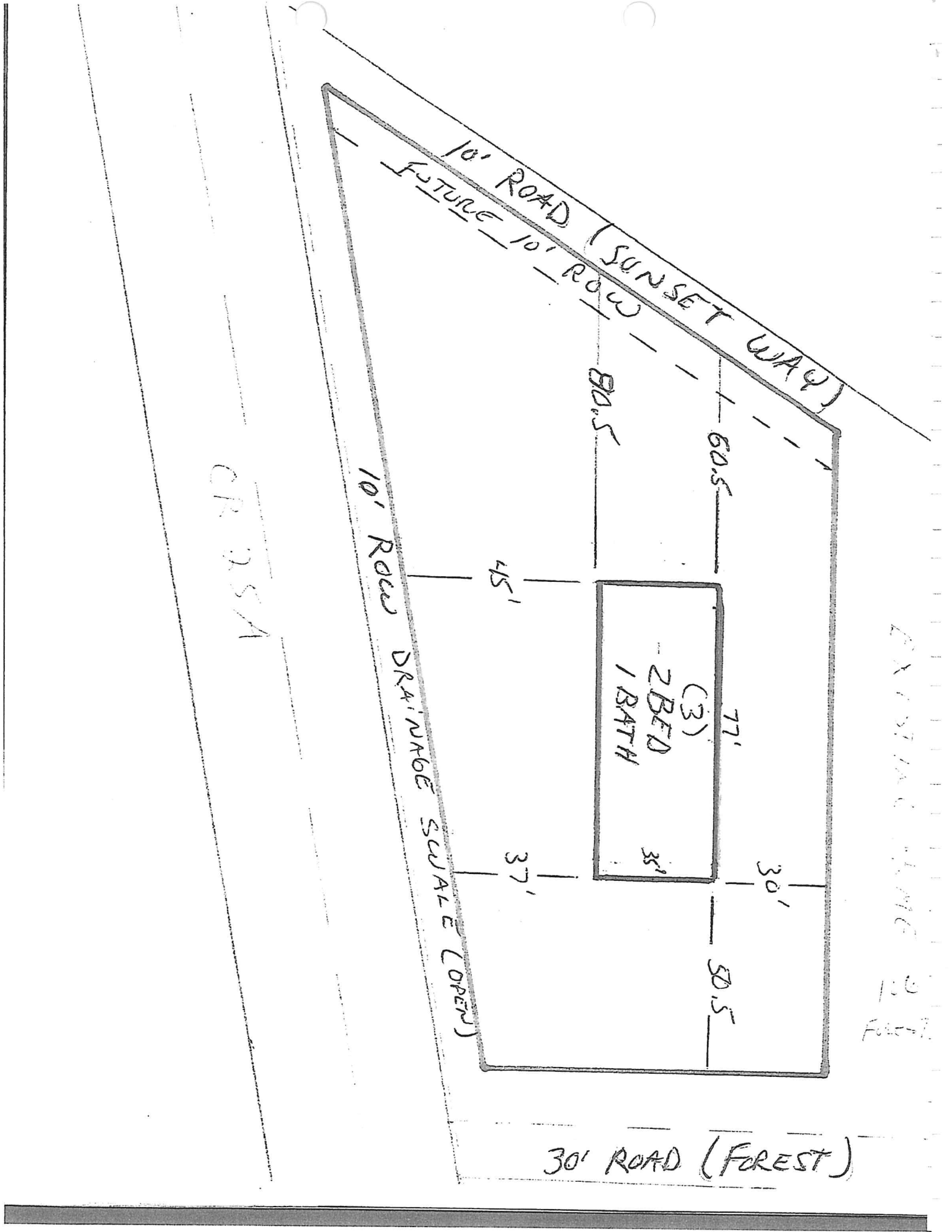
Dream Lake Properties, LLC  
[Signature] (Seal)  
By: John SanFelippo, its Manager  
Address: P O Box 692, Tavares, Florida 32778

State of Florida  
County of Lake

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 31st day of July, 2020, by John SanFelippo, Manager for Dream Lake Properties, LLC, a Florida Limited Liability Company, who is/are personally known to me or who has produced FL DI, as identification.



[Signature]  
Notary Public **Lori A. Bulecza-Hoffman**  
Print Name:  
My Commission Expires:



10' ROAD (SUNSET WAY)  
FUTURE 10' ROW

60.5'  
80.5'

10' ROAD DRAINAGE SWALE (OPEN)

77'  
(3)  
- 2 BED  
1 BATH  
35'

45'  
30'  
37'

50.5'

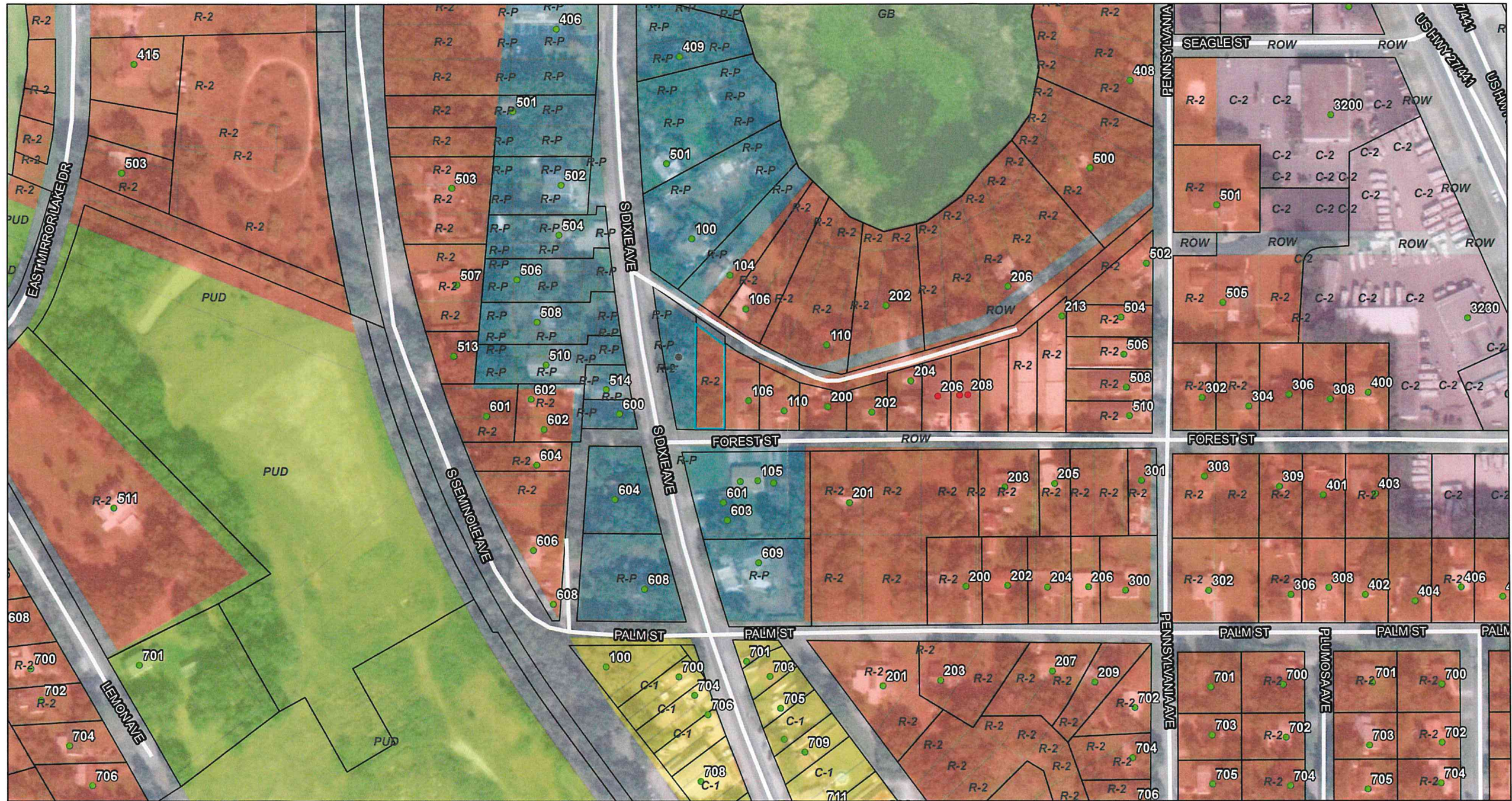
30' ROAD (FOREST)

CR 25A

EXHIBIT PLUME 2  
100  
F0000

# Zoning

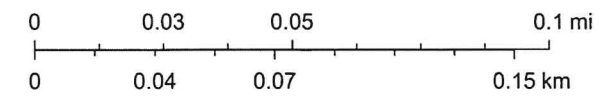
## Ross



7/16/2020, 4:59:09 PM

Fruitland Park Zoning	C-2	Fruitland Park Addresses	Local Streets
R-2	C-1	ACTIVE	Parcel Information
R-P	ROW	INACTIVE	
PUD	GB		

1:2,257



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

# FLU- Mixed Community

Ross



7/16/2020, 4:56:44 PM

Fruitland Park Addresses

Parcel Information

Fruitland Park Future Land Use

SFMD, Single Family Medium Density

COMM, Commercial

ACTIVE

INACTIVE

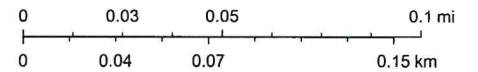
Local Streets

MC, Mixed Community

Open Space - Conservation

ROW, Transportation

1:2,257



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



CITY OF FRUITLAND PARK

DECLARATION OF UNITY OF TITLE (Individual/Partnership/Corporation)



THIS Declaration of Unity of Title, made this 29 day of July, 2020 by;

Terry F. Ross AND Rachel A. Ross

Name of Property Owner(s)

911 HAWK LANDING Fruitland Park, FL 34731

Address of Property Owner(s)

of; OWNER. Title/Position

County of LAKE, State of FL, hereinafter referred to as "Declarant," pursuant to the City of Fruitland Park Land Development Regulations, being the fee owner of the following described real property located in Fruitland Park, Florida, to wit:

Alternate Key Number(s): 3619218 1431638

Sec 09 Twp 19 Rng 24

Hereby make the following declarations of condition, limitation and restriction on said lands, hereinafter to be known and referred to as a Declaration of Unity of Title, as to the following particulars:

- 1. That the aforesaid plot of, or combination of separate lots, plots, parcels, acreage or portions thereof, shall hereinafter be declared to be unified under one title as an indivisible building site.
2. That the said property shall henceforth be considered as one plot or parcel of land, and that no portion thereof shall be sold, assigned, transferred, conveyed or devised separately except in its entirety as one plot or parcel of land.
3. Purpose of unity TO Build triplex apartments.

DECLARANT further agrees that this Declaration of Unity of Title shall constitute a covenant to run with the land, as provided by law, and shall be binding upon the Declarant, his/her heirs, successors and assigns, and all parties claiming under him/her until such time as the same may be released in writing by the City of Fruitland Park, a political subdivision of the State of Florida. Declarant also agrees that this Declaration of Unity of Title shall be recorded in the Public Records of Lake County, Florida.

IN WITNESS WHEREOF, Declarant has executed this instrument in the manner provided by law, on the day and year first above written. Signed, Sealed and Delivered in our presence as witness:

Witnesses: Joanne Britt Signature, Joanne Britt Type/Print Name of Witness

Owner/Partner/Corporation: Rachel A Ross Signature, Terry Ross, Rachel A Ross Type/Print Name, OWNERS. Type/Print Title/Position

2.

Joanne Britt  
Signature

Joanne Britt

Type/Print Name of Witness

Rachel A Ross  
Signature

Rachel A Ross

Type/Print Name

Owner

Type/Print Title/Position

State of Florida  
County of Lake

The foregoing instrument was acknowledged before me this 29 day of July 2020,

By Terry F. Ross + Rachel Ross, partner or agent partner/agent on behalf of

Terry F. Ross + Rachel Ross

Name of Person acknowledged

Name of Partnership/Corporation

who is personally known to me or who has produced \_\_\_\_\_ as identification and  
who did (did not) take an oath. Type of Identification

Joanne Britt  
Signature of Acknowledger

April 28, 2021

My Commission Expires



### City Staff Approval

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Type/Print Title/Position

\_\_\_\_\_  
Type/Print Name





**RESOLUTION 2020-057**

**A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, AUTHORIZING THE MAYOR TO EXECUTE A DECLARATION OF UTILITY OF TITLE UNIFYING AS AN INDIVISIBLE BUILDING SITE, TWO PROPERTIES LOCATED ON SUNSET WAY, FRUITLAND PARK, FLORIDA, OWNED BY DREAM LAKE PROPERTIES, LLC AND IDENTIFIED BY THE LAKE COUNTY PROPERTY APPRAISER AS ALTERNATE KEY NUMBER 3619218 AND ALTERNATE KEY NUMBER 1431638; PROVIDING FOR A DECLARATION OF UNITY OF TITLE TO BE RECORDED IN THE PUBLIC RECORDS OF LAKE COUNTY; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, Dream Lake Properties LLC, a Florida limited liability company, owns 2 parcels of real property more particularly described below which it desires to unify as one indivisible building site; and

**WHEREAS**, it is necessary to authorize the Mayor of the City of Fruitland Park to execute the necessary document to effectuate the unity of title.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, LAKE COUNTY, FLORIDA, AS FOLLOWS:**

**Section 1. Authorization.**

The Mayor is authorized to execute the Declaration of Unity of Title attached hereto for the purpose of unifying the real property more particularly described below.

**LEGAL DESCRIPTION: Lot 7, Block B, 1<sup>ST</sup> ADDITION TO DREAM LAKE SUBDIVISION, according to the plat thereof recorded in Plat Book 3, Page 13, of the Public Records of Lake County, Florida.**

**AND**

**That part of Lots 1, 2 3 and 4, lying East of the Easterly line of the right of way of Old U.S. Highway No. 441 and Lot 6, all in Block B, 1<sup>ST</sup> ADDITION TO DREAM LAKE SUBDIVISION, according to the plat thereof recorded in Plat Book 3, Page 13, of the Public Records of Lake County, Florida.**

**Section 2. Recording of Notice.** The Mayor or designee is directed to record the Declaration of Unity of Title, **a copy of which is attached hereto**, in the public records of Lake County, Florida, and provide a copy to the Lake County Property Appraiser.

**Section 3. Effective Date.**

This resolution shall become effective immediately upon its passage.

PASSED and ADOPTED at a regular meeting of the City Commission of the City of Fruitland Park, Lake County, Florida this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

SEAL

CITY COMMISSION OF THE CITY OF  
FRUITLAND PARK, FLORIDA

\_\_\_\_\_  
CHRIS CHESHIRE, MAYOR

ATTEST:

\_\_\_\_\_  
ESTHER COULSON, CITY CLERK

Mayor Cheshire \_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)  
Vice Chairman Gunter \_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)  
Commissioner DeGrave \_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)  
Commissioner Mobilian \_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)  
Commissioner Bell \_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)

Approved as to form:

\_\_\_\_\_  
Anita Geraci-Carver, City Attorney

Record and Return to:  
City of Fruitland Park  
506 W Bereckman St.  
Fruitland Park, FL 34731

## NOTICE OF DECLARATION OF UNITY OF TITLE

This Declaration of Unity of Title, made this \_\_\_\_ day of \_\_\_\_\_, 2020, by Dream Lake Properties LLC, a Florida limited liability company, having an address of 28345 Columbia Rd, Tavares, Florida 32778, hereinafter referred to as the “Declarant” being the fee owner of the following described real property located in Lake County, Florida:

Alt. Key Numbers: **3619218 AND 1431638**

Parcel Id. Numbers: 09-19-24-1200-00B-00700 and 09-19-24-1200-00B-00100

### LEGAL DESCRIPTION:

**Lot 7, Block B, 1<sup>ST</sup> ADDITION TO DREAM LAKE SUBDIVISION, according to the plat thereof recorded in Plat Book 3, Page 13, of the Public Records of Lake County, Florida.**

**AND**

**That part of Lots 1, 2 3 and 4, lying East of the Easterly line of the right of way of Old U.S. Highway No. 441 and Lot 6, all in Block B, 1<sup>ST</sup> ADDITION TO DREAM LAKE SUBDIVISION, according to the plat thereof recorded in Plat Book 3, Page 13, of the Public Records of Lake County, Florida.**

Hereby makes the following declarations of condition, limitation, and restriction on the Property, hereinafter to be known and referred to as a Declaration of Unity of Title, as to the following particulars:

1. That the afore-described plot of, or combination of separate lots, plots, parcels, acreage or portions thereof, shall hereafter be declared to be unified under one title as an indivisible building site. **See attached Sketch of Description.**
2. That the Property shall henceforth be considered as one plot or parcel of land, and that no portion thereof shall be sold, assigned, transferred, conveyed or devised separately except in its entirety as one plot or parcel of land.
3. The purpose of unity is to unify as one indivisible building site for construction thereon.

Declarant further agrees that this Declaration of Unity of Title shall constitute a covenant to run with the land, as provided by law, and shall be binding upon the Declarant, its successors and assigns, and all parties claiming under such parties until such time as the same be released in writing by the City of Fruitland Park, a Florida municipality of the

State of Florida. Declarant also agrees this Declaration of Unity of Title shall be recorded in the Public Records of Lake County, Florida.

IN WITNESS WHEREOF, Declarant has executed this instrument in the manner provided by law on the day and year above written. Signed, sealed, and delivered in our presence as witnesses:

WITNESSES

**CITY OF FRUITLAND PARK**

\_\_\_\_\_  
Signature of Witness #1

\_\_\_\_\_  
Chris Cheshire, Mayor

\_\_\_\_\_  
Print Name of Witness #1

Attest:

\_\_\_\_\_  
Signature of Witness #2

\_\_\_\_\_  
Esther Coulson, City Clerk

\_\_\_\_\_  
Print Name of Witness #2

**State of Florida**  
**County of Lake**

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this \_\_\_\_ day of \_\_\_\_\_, 2020, by Chris Cheshire, as Mayor of the City of Fruitland Park, a Florida municipal corporation on behalf of the corporation. He is  personally known to me or who produced \_\_\_\_\_ as identification.

Notary Stamp:

\_\_\_\_\_  
Signature of Notary

# BOUNDARY SURVEY

## LEGAL DESCRIPTION

**PARCEL 1:**  
 THAT PART OF LOTS 1, 2, 3 AND 4, LYING EAST OF THE  
 EASTERLY LINE OF THE RIGHT OF WAY OF OLD U.S. HIGHWAY  
 NO. 441 AND LOT 6, ALL IN BLOCK B, 1ST ADDITION TO DREAM  
 LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED  
 IN PLAT BOOK 3, PAGE 13, OF THE PUBLIC RECORDS OF LAKE  
 COUNTY, FLORIDA.

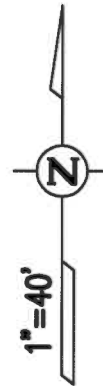
**PARCEL 2:**  
 LOT 7, BLOCK B, 1ST ADDITION TO DREAM LAKE SUBDIVISION,  
 ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 3,  
 PAGE 13, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

## NOTES:

1. THE SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. CERTIFICATION IS LIMITED TO PARTIES NAMED HEREON.
3. BEARINGS SHOWN HEREON ARE FLORIDA STATE PLANE COORDINATE EAST ZONE.
4. THE LEGAL DESCRIPTION WAS SUPPLIED BY THE CLIENT.
5. SURVEY PREPARED WITH BENEFIT OF COMMITMENT FOR TITLE BY BROKERS TITLE OF LEESBURG, LLC, WITH COMMITMENT DATE JULY 13, 2020, COMMITMENT NO. 8584344.
6. UNDERGROUND IMPROVEMENTS SUCH AS UTILITIES, FOUNDATIONS, ETC. WERE NOT LOCATED.
7. THIS SURVEY MEETS ALL APPLICABLE REQUIREMENTS OF THE FLORIDA STANDARDS OF PRACTICE AS CONTAINED IN RULE 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE.
8. LANDS SHOWN HEREON LIE IN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN) ACCORDING TO FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 12069C 0306 E EFFECTIVE DATE: DECEMBER 18, 2012.

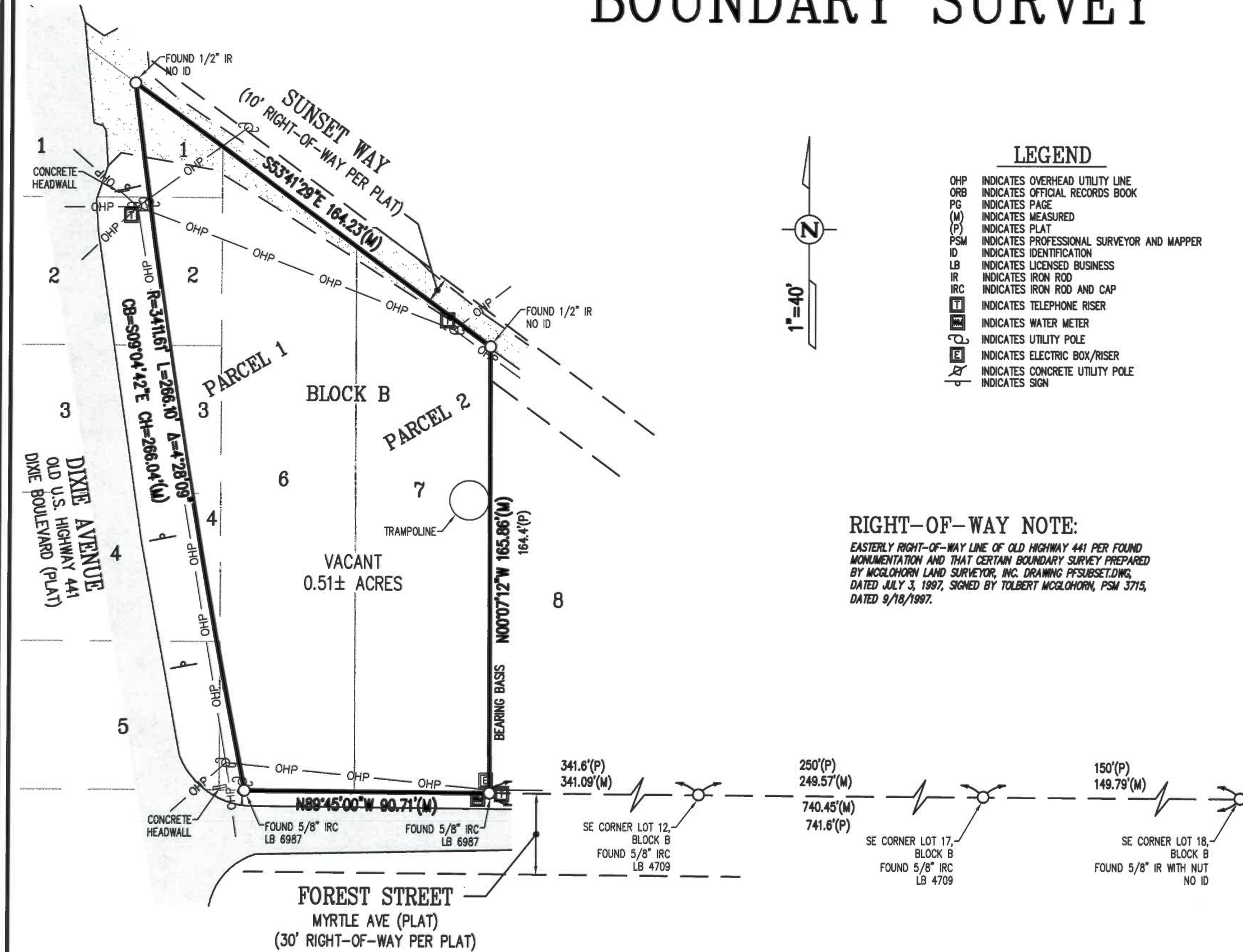
## LEGEND

- OHP INDICATES OVERHEAD UTILITY LINE
- ORB INDICATES OFFICIAL RECORDS BOOK
- PG INDICATES PAGE
- (M) INDICATES MEASURED
- (P) INDICATES PLAT
- PSM INDICATES PROFESSIONAL SURVEYOR AND MAPPER
- ID INDICATES IDENTIFICATION
- LB INDICATES LICENSED BUSINESS
- IR INDICATES IRON ROD
- IRC INDICATES IRON ROD AND CAP
- T INDICATES TELEPHONE RISER
- W INDICATES WATER METER
- U INDICATES UTILITY POLE
- E INDICATES ELECTRIC BOX/RISER
- P INDICATES CONCRETE UTILITY POLE
- S INDICATES SIGN



## RIGHT-OF-WAY NOTE:

EASTERLY RIGHT-OF-WAY LINE OF OLD HIGHWAY 441 PER FOUND MONUMENTATION AND THAT CERTAIN BOUNDARY SURVEY PREPARED BY MCGLOHORN LAND SURVEYOR, INC. DRAWING PFSUBSET.DWG, DATED JULY 3, 1997, SIGNED BY TOLBERT MCGLOHORN, PSM 3715, DATED 9/18/1997.



## CERTIFIED TO

TERRY F. ROSS AND RACHEL A. ROSS  
 BROKERS TITLE OF LEESBURG, LLC  
 COMMONWEALTH LAND TITLE INSURANCE COMPANY

CLIENT	TERRY ROSS
JOB NO.	S20105
ACAD FILE	S20105 ROSS
FIELD DATE	8/18/2020
DRAWN BY:	JH
REVISIONS	
CHECKED BY:	KMJ
FLD. BOOK:	V20-50/10
DATE	

**CFB** CLYMER FARNER BARLEY, Inc.  
 4450 NE 83RD RD. WILDWOOD, FL 34785  
 (352)748-3128  
 WWW.CFB-INC.COM CA 44709

8/19/2020  
 DATE

*Kaye M. Jameson*  
 KAYE M. JAMESON, PROFESSIONAL SURVEYOR & MAPPER  
 FLORIDA REGISTRATION NO. 5912

S:\SURVEY\NEW SURVEY\LAKE NON-VILLAGES PROJECTS\subdivisions\DREAM LAKE\S20105.ROSS.dwg - Bdy-OwnersShip - 8/19/2020 2:14:53 PM - Survey2

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	DREAM LAKE PROPERTIES LLC	<b>Alternate Key:</b>	1431638
<b>Mailing Address:</b>	28345 COLUMBIA RD TAVARES, FL 32778 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b>	09-19-24-1200-00B-00100
		<b>Millage Group and City:</b>	00F1 (FRUITLAND PARK)
		<b>2019 Total Certified Millage Rate:</b>	17.9898
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a>
<b>Property Location:</b>	SUNSET WAY FRUITLAND PARK FL 34731 <a href="#">Update Property Location</a>	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a>
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> <a href="#">School Boundary Maps</a>
<b>Property Description:</b>	FRUITLAND PARK 1ST ADD DREAM LAKE LOTS 1, 2, 3 & 4 E OF OLD HWY, LOT 6 BLK B PB 3 PG 13   ORB 3770 PGS 1631 1632		

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	VACANT COMMERCIAL (1000)	0	0		11761	SF	\$0.00	\$25,874.00

[Click here for Zoning Info](#)

[FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">3770 / 1631</a>	5/8/2009	Warranty Deed	Unqualified	Vacant	\$100.00
<a href="#">3238 / 423</a>	8/14/2006	Warranty Deed	Unqualified	Vacant	\$105,300.00
<a href="#">1344 / 1733</a>	2/1/1995	Warranty Deed	Multi-Parcel	Improved	\$38,900.00

[Click here to search for mortgages, liens, and other legal documents.](#)

## Values and Estimated Ad Valorem Taxes

Values shown below are 2020 CERTIFIED VALUES.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes

# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	DREAM LAKE PROPERTIES LLC	<b>Alternate Key:</b>	3619218
<b>Mailing Address:</b>	28345 COLUMBIA RD TAVARES, FL 32778 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b>	09-19-24-1200-00B-00700
		<b>Millage Group and City:</b>	00F2 (FRUITLAND PARK)
		<b>2019 Total Certified Millage Rate:</b>	17.9898
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a>
<b>Property Location:</b>	SUNSET WAY FRUITLAND PARK FL 34731 <a href="#">Update Property Location</a>	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a>
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> <a href="#">School Boundary Maps</a>
<b>Property Description:</b>	FRUITLAND PARK 1ST ADD DREAM LAKE LOT 7 BLK B PB 3 PG 13   ORB 3770 PG 1633		

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	VACANT COMMERCIAL (1000)	0	0		8712	SF	\$0.00	\$19,166.00

[Click here for Zoning Info](#)

[FEMA Flood Map](#)

## Miscellaneous Improvements

There is no improvement information to display.

## Sales History

**NOTE:** This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">3770 / 1633</a>	5/8/2009	Warranty Deed	Unqualified	Vacant	\$100.00
<a href="#">3238 / 425</a>	8/14/2006	Warranty Deed	Qualified	Vacant	\$26,400.00

[Click here to search for mortgages, liens, and other legal documents.](#)

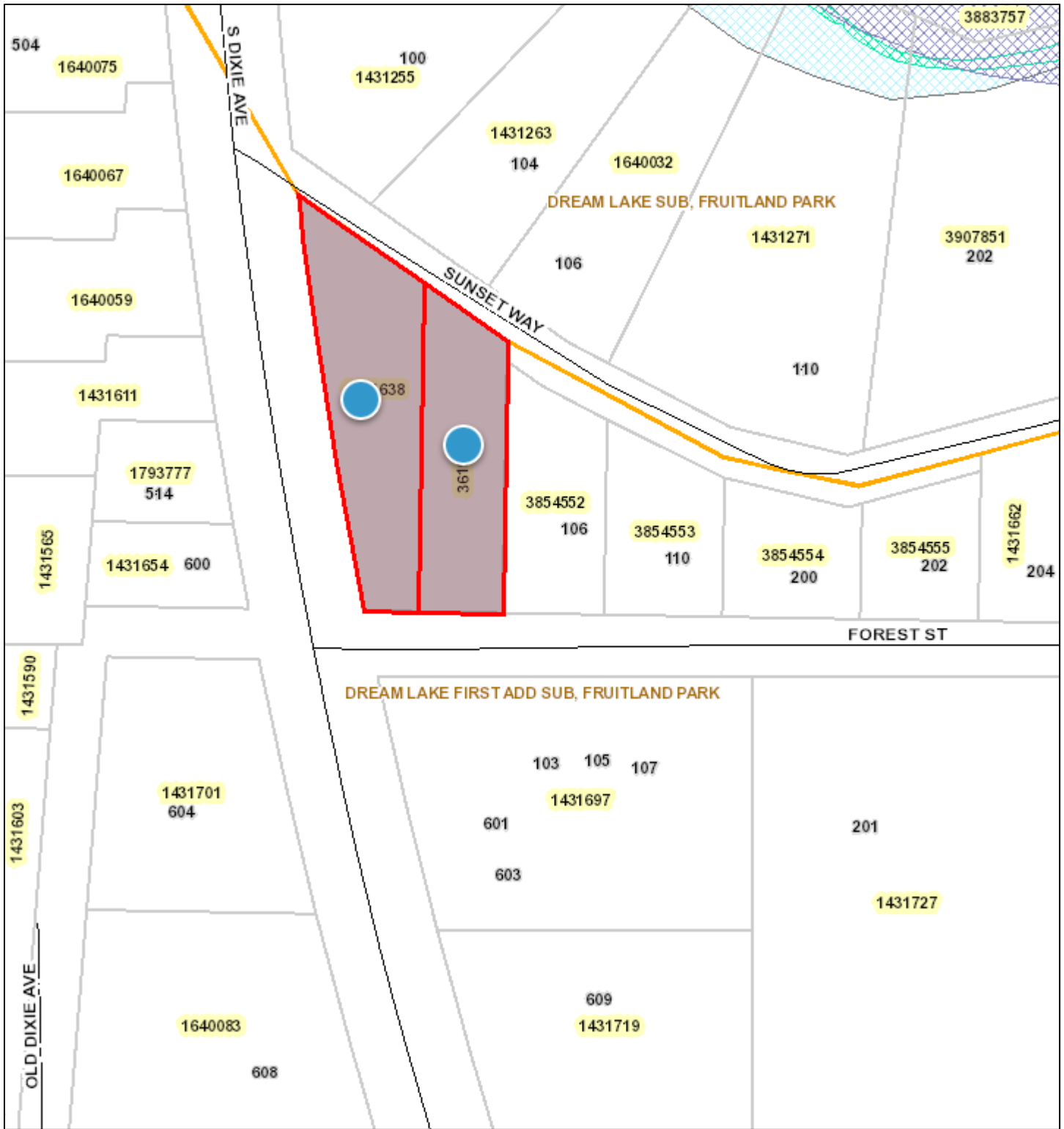
## Values and Estimated Ad Valorem Taxes

Values shown below are 2020 CERTIFIED VALUES.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$19,166	\$19,166	\$19,166	5.07340	\$97.24
LAKE COUNTY MSTU	\$19,166	\$19,166	\$19,166	0.46290	\$8.87

# Aerial Map



August 6, 2020

1:1,000

**pointLayer**

Override 1

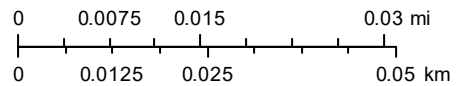
**polygonLayer**

Override 1  
 County Boundary  
 Street Names

Local Streets  
 Subdivision Boundaries  
 Address Locations  
 Property Name  
 Tax Parcels Alternate Key  
 Tax Parcels  
 Surrounding Counties

**Flood Zones 2002**

A  
 AE  
 Floodway  
 X



Lake BCC





**DEVELOPMENT REVIEW LETTER  
TERRY ROSS  
REZONING AND UNITY OF TITLE APPLICATIONS  
SEPTEMBER 9, 2020**

**Property Owner(s):** Terry F. Ross and Rachel A. Ross

**Applicant:** Terry Ross

**Appointed Agent:** Self

**Phone:** (352) 728-6053

**Email:** [rossplbg1@gmail.com](mailto:rossplbg1@gmail.com)

**Mailing Address:** 911 Hawk Lndg  
Fruitland Park, FL 34731

**Project Name:** Ross Triplex Rezoning

**Parcel ID:** 09-19-24-1200-00B-00700

**Alt Key:** 3619218

**Project Address:** Sunset Way  
Fruitland Park, FL 34731

**Project Name:** Ross Triplex Unity of Title

**Parcel IDs:** 09-19-24-1200-00B-00700 & 09-19-24-1200-00B-00100

**Alt Keys:** 3619218 & 1431638

**Project Address(es):** Sunset Way  
Fruitland Park, FL 34731

Mr. Ross:

Herein are the comments following the regularly scheduled TRC meeting:

**Development Review:**

The *initial application fees* are as follows:

Development Application Fees (City)	\$215.00 PAID
LPG (Land Planner)	\$645.00 PAID
BESH (Engineer)	\$700.00 PAID
Mailings	\$524.40
Newspaper Advertisement	*Actual Cost
Lake County Recording Fee	*Actual Cost

Per City Ordinance 2008-023 these are the applicable fees as of date; however, there may be additional fees associated with the application(s) that will be passed to the applicant(s), including addressing through Lake County Public Safety Support and Contractual Services.

**City Attorney Review:**

Updated sketch of description for unified parcel by licensed surveyor required.

**City Engineer (BESH) Review:**

SJRWMD permit or exemption letter to be submitted with Site Plan application.

1. The survey depicts an ever so small sliver of Lot 5, Block B, to be a part of the parcel in question. The current deed of record as well as the previous deeds of record do not include any part of Lot 5. The survey would need to be revised to take this sliver out of the survey or steps should be taken to have it included in the ownership (an attorney should address this issue to clear up ownership).
2. The survey has a couple scrivener's errors in the description on the face of the survey. One is that the Old Highway is 441 not "44" and the other is Plat Book 3, Page 13 not "113".

**City Land Planner Review:**

No comments received at time of review.

**City Building Review:**

No comments.

**City Code Enforcement Review:**

No comments.

**City Fire Review:**

No comments at this time.

We reserve the right to review for fire protection during engineering [site plan] review.

1. Hydrants
2. Fire lines
3. Turning radius

**City Police Review:**

No Law Enforcement concerns at this time.

**City Public Works Department Review:**

No comments received at time of review.

**City Staff Review:**

Staff recommends approval of the rezoning and unity of title.

**City of Leesburg Utilities Review:**

Leesburg Electric has no objections. The property is bordered by Overhead power on both road frontages.

**Lake County Public Schools Review:**

Four or less residential dwellings units are exempt from school concurrency review.

Development Application Review: Page 3

**Lake County Public Works Review:**

No comments received at time of review.



**City of Fruitland Park, Florida**  
**Community Development Department**  
 506 W. Berckman St., Fruitland Park, Florida 34731  
 Tel: (352) 360-6727 Fax: (352) 360-6652  
 www.fruitlandpark.org

<i>Staff Use Only</i>	
Case No.:	_____
Fee Paid:	_____
Receipt No.:	_____

## Development Application

Contact Information:

Owner Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Applicant Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Engineer Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Property and Project Information:

**PROJECT NAME\*:** \_\_\_\_\_

\*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: \_\_\_\_\_

Parcel Number(s): \_\_\_\_\_ Section: \_\_\_\_\_ Township: \_\_\_\_\_ Range \_\_\_\_\_

Area of Property: \_\_\_\_\_ Nearest Intersection: \_\_\_\_\_

Existing Zoning: \_\_\_\_\_ Existing Future Land Use Designation: \_\_\_\_\_

Proposed Zoning: \_\_\_\_\_ Proposed Future Land Use Designation: \_\_\_\_\_

The property is presently used for: \_\_\_\_\_

The property is proposed to be used for: \_\_\_\_\_

Do you currently have City Utilities? \_\_\_\_\_

Application Type:

- |  |  |   |  |
|--|--|---|--|
| <input type="checkbox"/> Annexation      | <input type="checkbox"/> Comp Plan Amendment   | <input type="checkbox"/> Rezoning               | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance        | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat          |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan      | <input type="checkbox"/> Construction Plan      | <input type="checkbox"/> ROW/Plat Vacate     |
| <input type="checkbox"/> Site Plan       | <input type="checkbox"/> Minor Site Plan       | <input type="checkbox"/> Replat of Subdivision  |  |

Please describe your request in detail: \_\_\_\_\_

**Required Data, Documents, Forms & Fees**

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Printed Name: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

## RESOLUTION 2020-058

**A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, GRANTING MINOR SITE PLAN APPROVAL TO ALLOW FOR USE OF THE IMPROVED REAL PROPERTY OWNED BY DRIVEN INVESTORS LLC FOR OPERATION OF A ROOFING COMPANY INCLUDING OFFICE AND WAREHOUSE; PROVIDING FOR CONDITIONS; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, Eustis Roofing Company Inc. and Driven Investors LLC has filed an application for Minor Site Plan Approval to allow for use of an existing building to be improved for purposes of operating its roofing company, including office and warehouse on real property located at 2191 US Hwy 441, Fruitland Park; and

**WHEREAS**, the City Commission of the City of Fruitland Park have considered the application in accordance with the Land Development Regulations for Minor Site Plan Approval in Chapter 160 of the Land Development Regulations, subject to conditions;

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, LAKE COUNTY, FLORIDA, AS FOLLOWS:**

### **Section 1. Granting of Minor Site Plan Approval.**

The application filed by Eustis Roofing Company Inc. and Driven Investors LLC (hereafter referred to as “Applicant”), to allow for improvements to an existing church building and use of the property for operation of its roofing company, to include office space and warehouse and associated uses on real property located at 2191 US Hwy 441, Fruitland Park is hereby GRANTED, with conditions, for the following described property:

Alt. Key Numbers: **2802227**

Parcel Id. Numbers: 33-18-24-0001-000-01902

**LEGAL DESCRIPTION: See attached Exhibit A.**

### **Section 2. Conditions of Approval.**

- (1) Prior to the start of any use of the building as a church food pantry, the Applicant shall resolve, to the satisfaction of the City Manager or designee, the following Planning and Administrative Matters:
  - (a) The applicant is required to connect the Property/improvements to the City’s sewer force main located along US Hwy 441, and shall pay any and all fees associated with such connection. Connection must meet City and state regulations and specifications.

- (2) This conditioned approval may also be revoked by the City Commission, at any time, if the above conditions are not followed and met by the Applicant. The Site Plan is attached hereto and incorporated herein.

**Section 3. Effective Date.**

This resolution shall become effective immediately upon its passage.

PASSED and ADOPTED at a regular meeting of the City Commission of the City of Fruitland Park, Lake County, Florida this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

SEAL

CITY COMMISSION OF THE CITY OF  
FRUITLAND PARK, FLORIDA

\_\_\_\_\_  
CHRIS CHESHIRE, MAYOR

ATTEST:

\_\_\_\_\_  
ESTHER COULSON, CITY CLERK

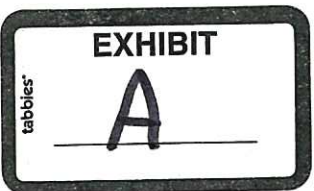
Mayor Cheshire \_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)  
Vice Chairman Gunter \_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)  
Commissioner DeGrave \_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)  
Commissioner Mobilian \_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)  
Commissioner Bell \_\_\_\_\_ (Yes), \_\_\_\_\_ (No), \_\_\_\_\_ (Abstained), \_\_\_\_\_ (Absent)

Approved as to form:

\_\_\_\_\_  
Anita Geraci-Carver, City Attorney

PARCEL ID #: 3318240001-000-01902

The North 136.87 feet of the following described tract: That part of the Southeast 1/4 of the Northeast 1/4 of Section 33, Township 18 South, Range 24 East, in Lake County, Florida, bounded and described as follows: From the Northeast corner of the said Southeast 1/4 of the Northeast 1/4, run South 89°48'20" West along the North line of the said Southeast 1/4 of the Northeast 1/4 a distance of 834 feet, more or less, to a point on the Easterly line of the right of way of U.S. Highway No. 441, thence run South 0°32'40" West along the Easterly line of the said right of way 365.07 feet for a point of beginning; From said point of beginning, run North 89°48'20" East 318.2 feet, thence South 0°12'30" East 385.75 feet to the North line of land conveyed to Ed Brawner by Deed recorded in Official Record Book 317, Page 134, Public Records of Lake County, Florida, thence South 89°49'40" West along the North line of said land conveyed to Ed Brawner, 373 feet, more or less, to the Easterly line of the right of way of U.S. Highway No. 441, thence North 0°32'40" East along said right of way 385.75 feet, more or less, to the point of beginning.



**Record and Return to:**  
City of Fruitland Park  
506 W. Berckman St  
Fruitland Park, FL 34731

## **NOTICE OF SITE PLAN APPROVAL**

TO: Driven Investors, LLC  
1240 Palmetto Rd.  
Eustis, FL 32726

You are hereby notified that site plan approval subject to the conditions outlined below has been given for improvements to an existing structure on the property more particularly described herein which lies wholly within the city limits of the City of Fruitland Park.

**LEGAL DESCRIPTION:**

Alt. Key Numbers: 2802227

Parcel Id. Numbers: 33-18-24-0001-000-01902

See attached **Exhibit A** attached hereto.

The applicant must connect the Property/improvements to the City's sewer force main located along US Hwy 441, and shall pay any and all fees associated with such connection. Connection must meet City and state regulations and specifications.

Under penalty of law, the above-referenced property may not be subdivided or split without the express written approval of the City Commission of the City of Fruitland Park.

---

Chris Cheshire, Mayor  
City of Fruitland Park

Attest:

---

Esther B. Coulson, City Clerk  
City of Fruitland Park  
Approved as to form:

---

Anita Geraci-Carver, City Attorney  
City of Fruitland Park



PARCEL ID #: 3318240001-000-01902

The North 136.87 feet of the following described tract: That part of the Southeast 1/4 of the Northeast 1/4 of Section 33, Township 18 South, Range 24 East, in Lake County, Florida, bounded and described as follows: From the Northeast corner of the said Southeast 1/4 of the Northeast 1/4, run South 89°48'20" West along the North line of the said Southeast 1/4 of the Northeast 1/4 a distance of 834 feet, more or less, to a point on the Easterly line of the right of way of U.S. Highway No. 441, thence run South 0°32'40" West along the Easterly line of the said right of way 365.07 feet for a point of beginning; From said point of beginning, run North 89°48'20" East 318.2 feet, thence South 0°12'30" East 385.75 feet to the North line of land conveyed to Ed Brawner by Deed recorded in Official Record Book 317, Page 134, Public Records of Lake County, Florida, thence South 89°49'40" West along the North line of said land conveyed to Ed Brawner, 373 feet, more or less, to the Easterly line of the right of way of U.S. Highway No. 441, thence North 0°32'40" East along said right of way 385.75 feet, more or less, to the point of beginning.



# PROPERTY RECORD CARD

## General Information

<b>Name:</b>	DRIVEN INVESTORS LLC	<b>Alternate Key:</b>	2802227
<b>Mailing Address:</b>	1240 PALMETTO RD EUSTIS, FL 32726 <a href="#">Update Mailing Address</a>	<b>Parcel Number:</b> ⓘ	33-18-24-0001-000-01902
		<b>Millage Group and City:</b>	000F (FRUITLAND PARK)
		<b>2019 Total Certified Millage Rate:</b>	17.9898
		<b>Trash/Recycling/Water/Info:</b>	<a href="#">My Public Services Map</a> ⓘ
<b>Property Location:</b>	2191 US HIGHWAY 441 FRUITLAND PARK FL 34731 <a href="#">Update Property Location</a> ⓘ	<b>Property Name:</b>	-- <a href="#">Submit Property Name</a> ⓘ
		<b>School Information:</b>	<a href="#">School Locator &amp; Bus Stop Map</a> ⓘ <a href="#">School Boundary Maps</a> ⓘ
<b>Property Description:</b>	FROM NE COR OF SE 1/4 OF NE 1/4 RUN S 89DEG 48MIN 20SEC W     ALONG N LINE OF SD SE 1/4 OF NE 1/4 TO A PT ON E'LY LINE OF   R/W OF HWY 441, S 0DEG 32MIN 40SEC W ALONG E'LY LINE OF SD     R/W 365.07 FT TO POB, FROM POB RUN N 89DEG 48MIN 20SEC E   318.2 FT, S 0DEG 12MIN 30SEC E 136.87 FT, S 89DEG 49MIN   40SEC W TO E'LY LINE OF R/W OF HWY 441, N 0DEG 32MIN 40SEC E   ALONG SD R/W TO POB   ORB 5375 PG 1632		
<small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small>			

## Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	STORE 1 STORY FREE STANDING (1100)	0	0		43248	SF	\$0.00	\$166,505.00

[Click here for Zoning Info](#) ⓘ      [FEMA Flood Map](#)

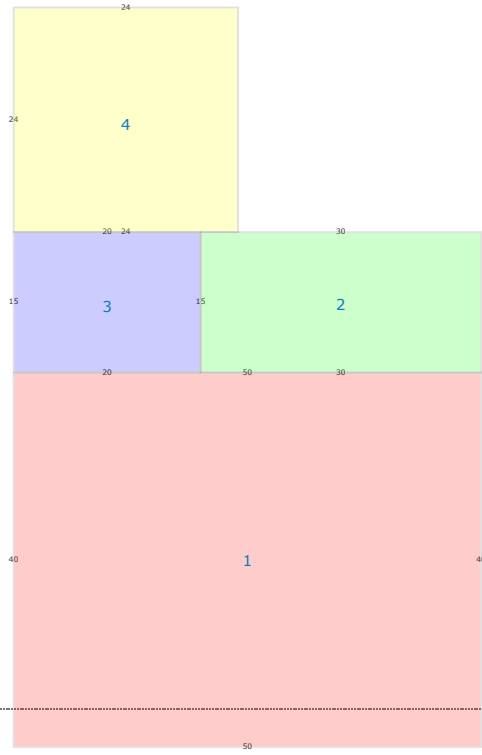
## Commercial Building(s)

### Building 1

Commercial	Building Value: \$79,587.00							
<b>Summary</b>	<b>Section(s)</b>							
Year Built: 1986	<b>Section No.</b>	<b>Section Type</b>	<b>Wall Height</b>	<b>No. Stories</b>	<b>Ground Floor Area</b>	<b>Basement</b>	<b>Basement Finished</b>	<b>Map Color</b>
Total Square Footage: 3326	1	FINISHED LIVING AREA (FLA)	12	1	2000	0%	0%	<input type="checkbox"/>
Full Bathrooms: 0	<b>Interior Finish</b>		<b>Percent</b>		<b>Sprinkler</b>		<b>A/C</b>	
	(11C)		100.00 %		No		Yes	

Half Bathrooms: 1  
 Elevators: 0  
 Elevator Landings: 0  
 Escalators: 0  
 Residential Units: 0  
 Kitchens: 0  
 Fireplaces: 0  
 Structure Type: 04 : 100.00 %  
 Exterior Walls:

2	FINISHED LIVING AREA (FLA)	12	1	450	0%	0%	<input type="checkbox"/>
<b>Interior Finish (48C)</b>		<b>Percent</b>		<b>Sprinkler</b>		<b>A/C</b>	
		100.00 %		No		Yes	
3	FINISHED LIVING AREA (FLA)	12	1	300	0%	0%	<input type="checkbox"/>
<b>Interior Finish (48C)</b>		<b>Percent</b>		<b>Sprinkler</b>		<b>A/C</b>	
		100.00 %		No		Yes	
4	FINISHED LIVING AREA (FLA)	8	1	576	0%	0%	<input type="checkbox"/>
<b>Interior Finish (48C)</b>		<b>Percent</b>		<b>Sprinkler</b>		<b>A/C</b>	
		100.00 %		No		Yes	

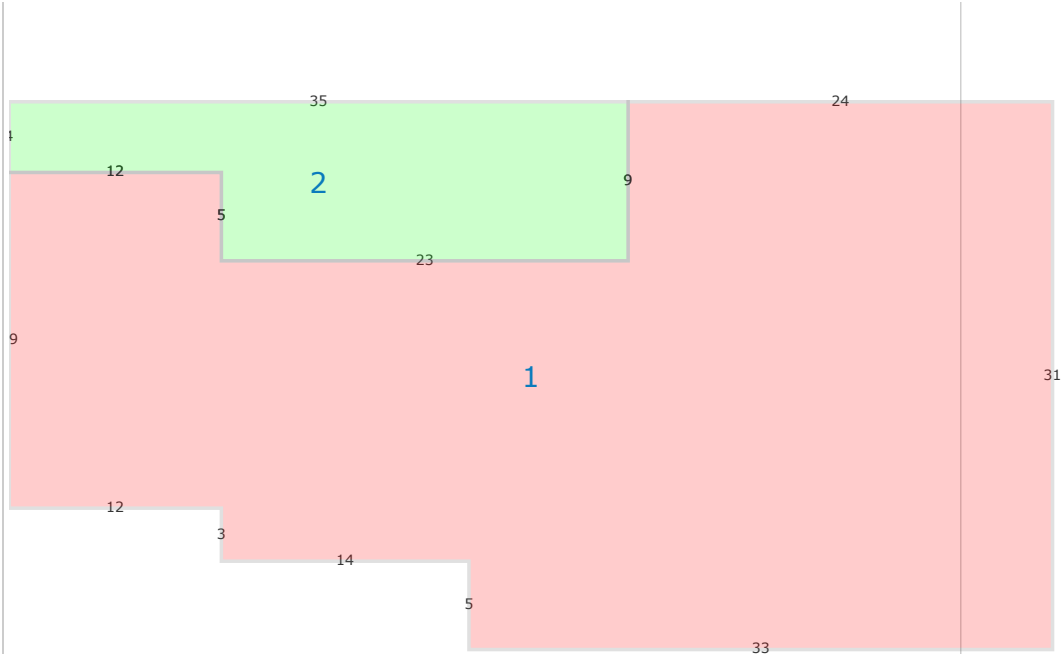


[View Larger](#)

**Building 2**

Commercial	Building Value: \$82,019.00							
<b>Summary</b>	<b>Section(s)</b>							
Year Built: 1988	<b>Section No.</b>	<b>Section Type</b>	<b>Wall Height</b>	<b>No. Stories</b>	<b>Ground Floor Area</b>	<b>Basement</b>	<b>Basement Finished</b>	<b>Map Color</b>
Total Square Footage: 1663	1	FINISHED LIVING AREA (FLA)	8	1	1408	0%	0%	<input type="checkbox"/>
Full Bathrooms: 2	<b>Interior Finish (01C)</b>		<b>Percent</b>		<b>Sprinkler</b>		<b>A/C</b>	
Half Bathrooms: 0			100.00 %		No		Yes	
Elevators: 0	2	FINISHED LIVING AREA (FLA)	8	1	255	0%	0%	<input type="checkbox"/>
Elevator Landings: 0	<b>Interior Finish (01C)</b>		<b>Percent</b>		<b>Sprinkler</b>		<b>A/C</b>	
Escalators: 0			100.00 %		No		Yes	
Residential Units: 0								

Kitchens: 0  
 Fireplaces: 0  
 Structure Type:  
 Concrete Block  
 or Masonry Walls  
 Exterior Walls:  
 09 : 100.00 %



[View Larger](#)

### Miscellaneous Improvements

No.	Type	No. Units	Unit Type	Year	Depreciated Value
0001	PAVING (PAV)	4225	SF	1986	\$5,915.00
0002	FENCING (FEN)	2172	SF	1986	\$1,251.00
0003	PAVING (PAV)	300	SF	2009	\$470.00
0004	UTILITY BUILDING - UNFINISHED (UBU)	360	SF	2009	\$1,013.00

### Sales History

**NOTE:** This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
<a href="#">5375 / 1632</a>	11/13/2019	Warranty Deed	Qualified	Improved	\$380,000.00
<a href="#">4853 / 2108</a>	10/18/2016	Warranty Deed	Qualified	Improved	\$395,000.00
<a href="#">2687 / 1951</a>	8/24/2004	Warranty Deed	Unqualified	Improved	\$0.00
<a href="#">2485 / 2406</a>	1/8/2004	Warranty Deed	Qualified	Improved	\$322,500.00
<a href="#">861 / 879</a>	12/1/1985	Warranty Deed	Qualified	Vacant	\$54,000.00

[Click here to search for mortgages, liens, and other legal documents.](#)

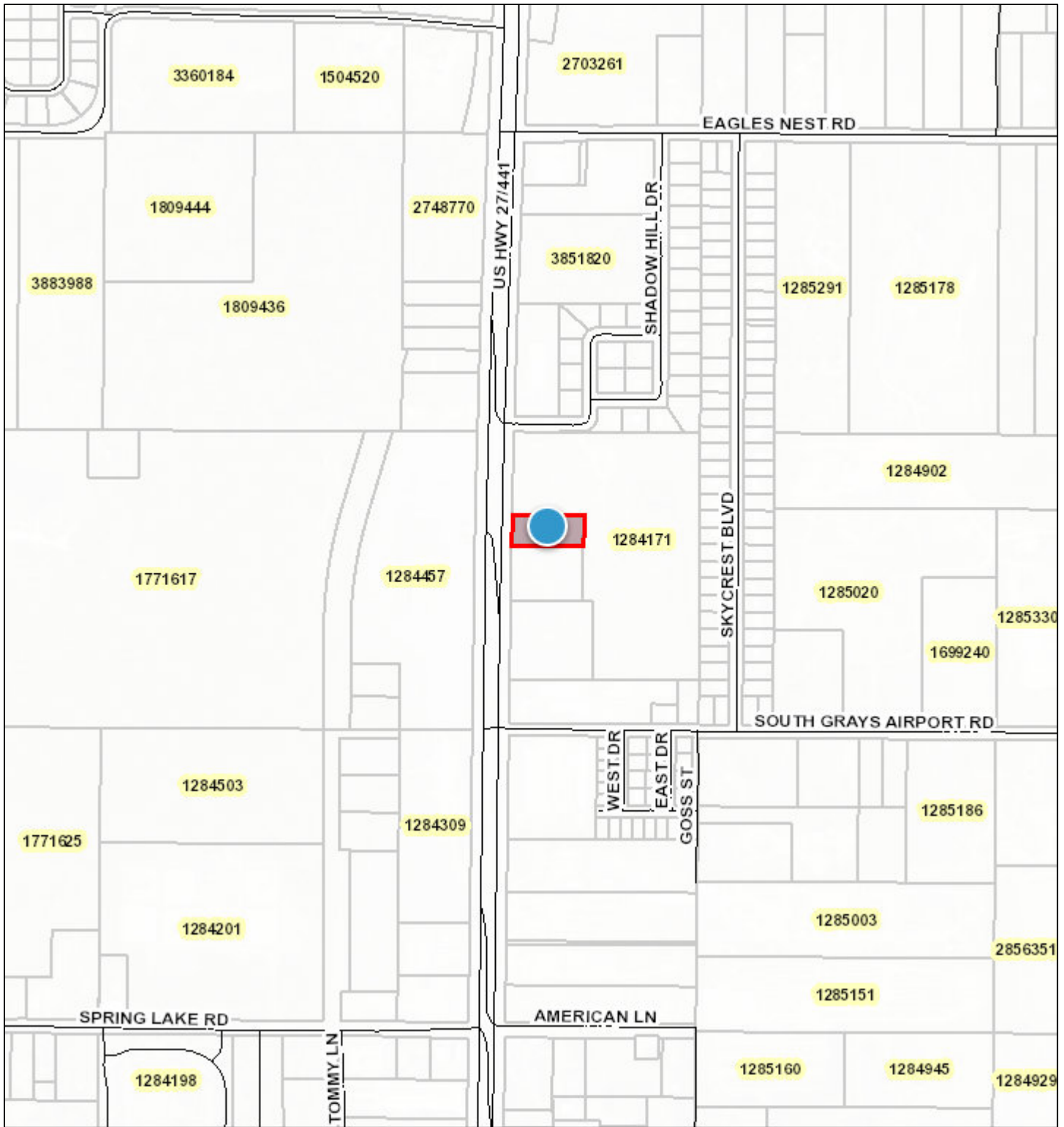
### Values and Estimated Ad Valorem Taxes

**Values shown below are 2020 CERTIFIED VALUES.**

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$336,760	\$336,760	\$336,760	5.03270	\$1,694.81
LAKE COUNTY MSTU AMBULANCE	\$336,760	\$336,760	\$336,760	0.46290	\$155.89
SCHOOL BOARD STATE	\$336,760	\$336,760	\$336,760	3.70100	\$1,246.35
SCHOOL BOARD LOCAL	\$336,760	\$336,760	\$336,760	2.99800	\$1,009.61
CITY OF FRUITLAND PARK	\$336,760	\$336,760	\$336,760	3.91340	\$1,317.88

# Location Map



March 20, 2020

1:7,500

**pointLayer**

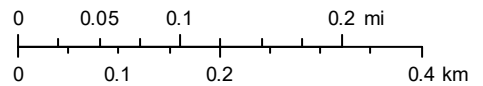
 Override 1

**polygonLayer**

 Override 1

Street Names

-  Local Streets
-  Tax Parcels Alternate Key
-  Tax Parcels



Lake BCC

# FLU MAP



3/20/2020, 4:58:10 PM

1:4,514

Fruitland Park Addresses Parcel Information

- ACTIVE
- INACTIVE

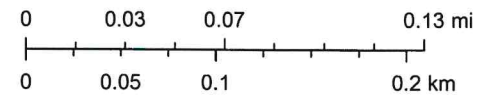
Fruitland Park Future Land Use

SFMD, Single Family Medium Density

MFHD, Multiple Family/High Density

COMM, Commercial

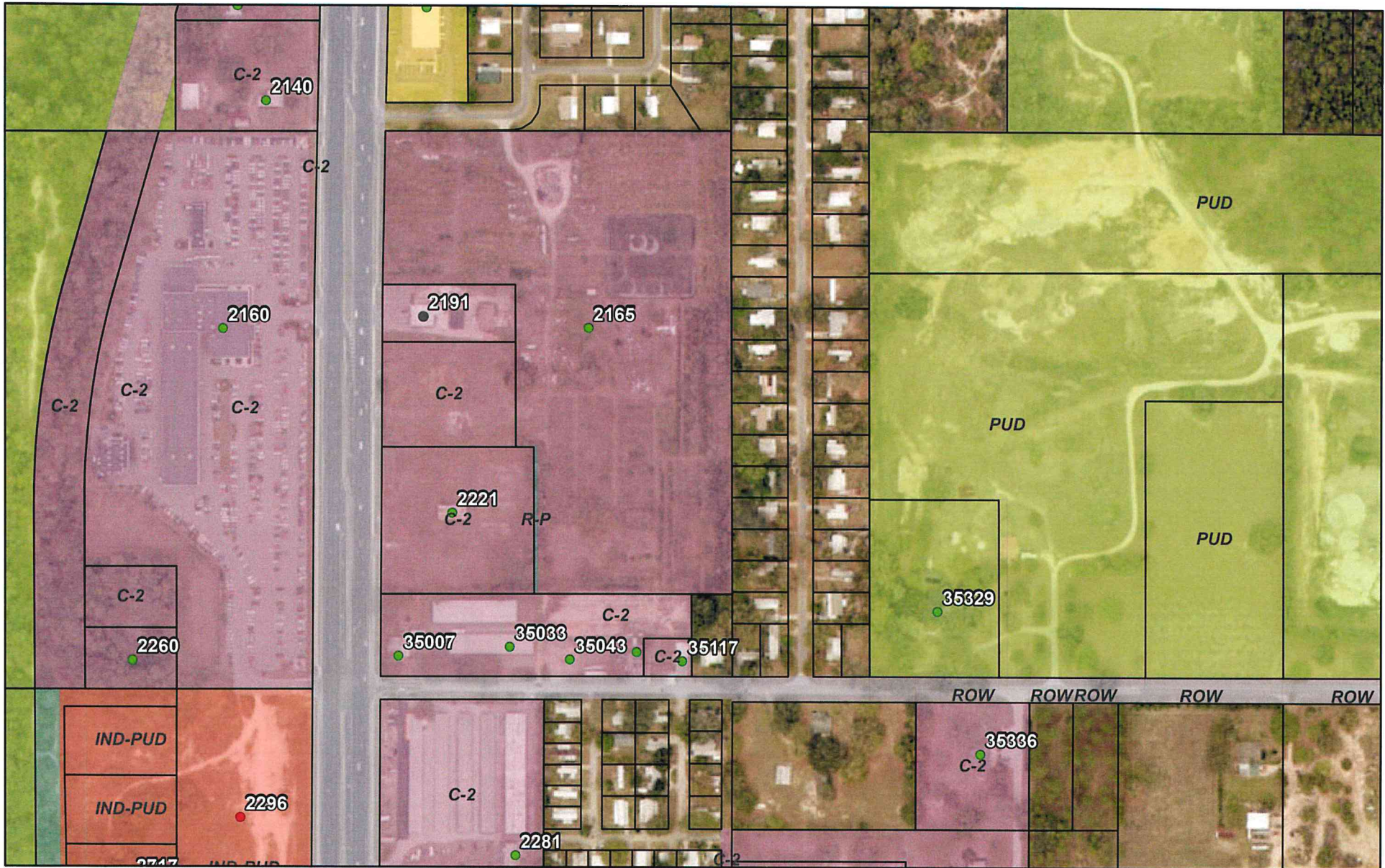
MC, Mixed Community



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus












Web AppBuilder for ArcGIS

# Zoning Map

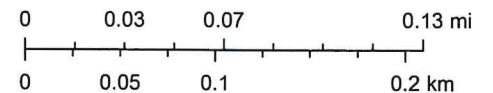


3/20/2020, 4:59:29 PM

Fruitland Park Zoning

 C-2	 R-3	Fruitland Park Addresses	 Parcel Information
 R-P	 C-1	 ACTIVE	
 PUD	 PFD	 INACTIVE	
 ROW	 IND-PUD		

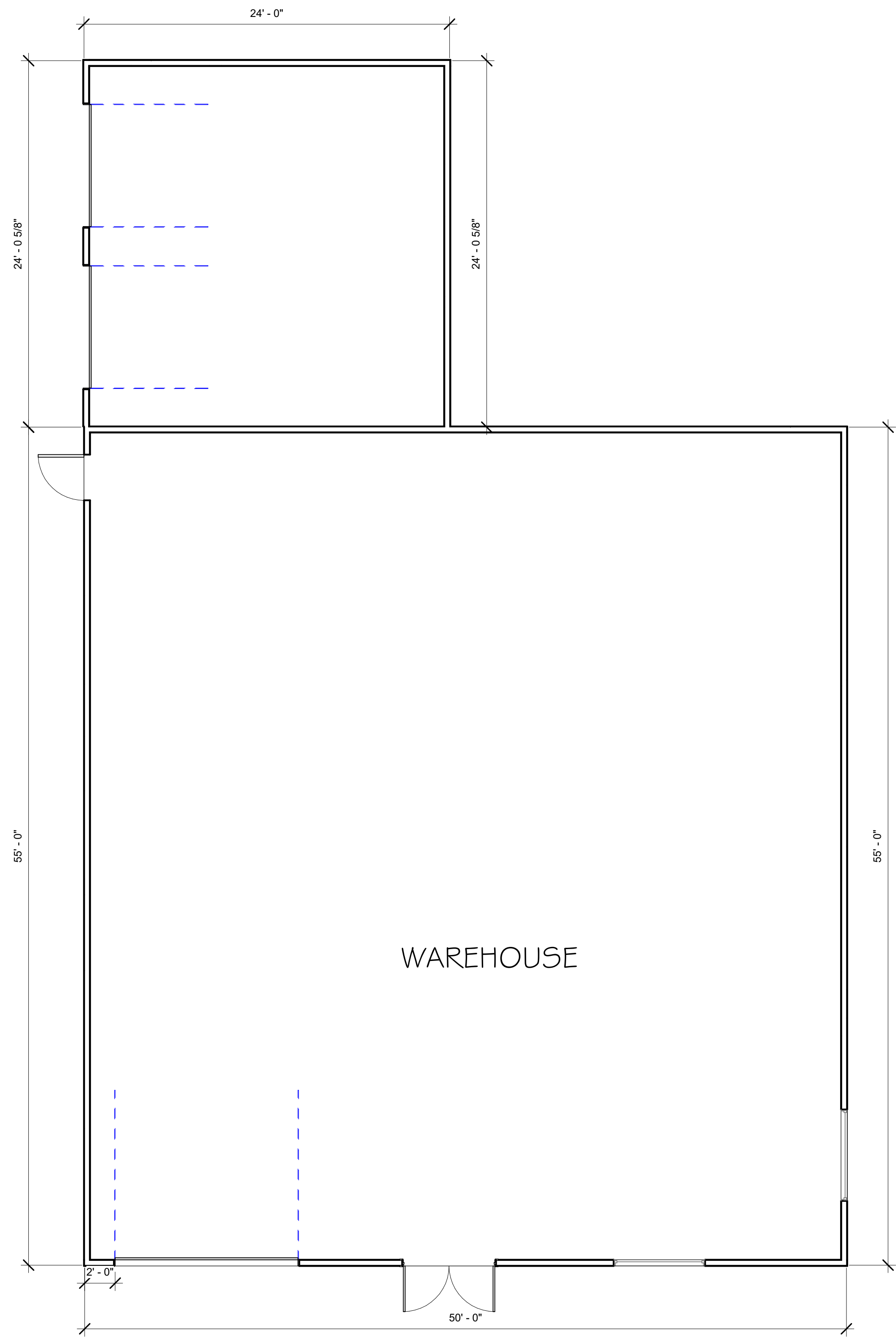
1:4,514



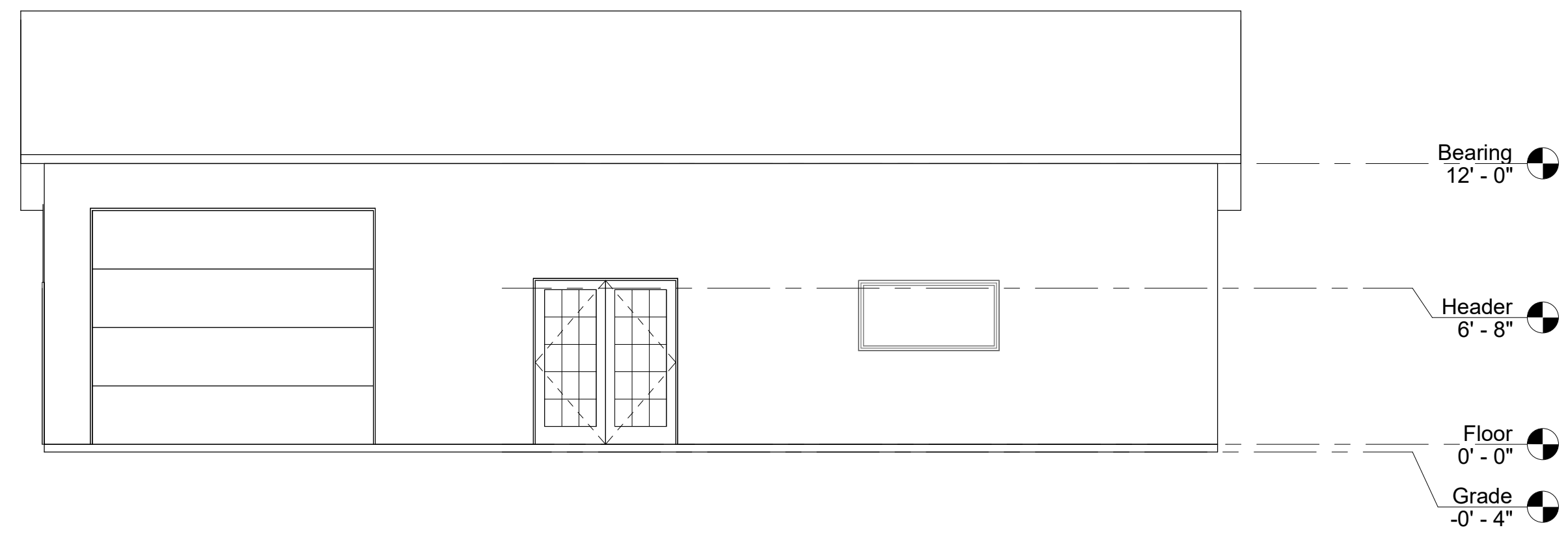
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus

Web AppBuilder for ArcGIS

State of Florida, USDA FSA, GeoEye, Maxar | Municipalities of Astatula, Clermont, Eustis, Fruitland Park, Groveland, Mount Dora, Tavares and Umatilla, Mascotte |



① Floor  
3/16" = 1'-0"



② FRONT VIEW  
3/16" = 1'-0"

2191 US HWY 441  
FRUITLAND PARK ,FL

CUSTOMER REVIEW SET  
NOT FOR CONSTRUCTION

**RoMac**  
BUILDING SUPPLY  
LIC. # CBC1252465  
700 East Main Street  
Leesburg, FL 34748  
PH: (352) 314-3197  
RomacLumber.com

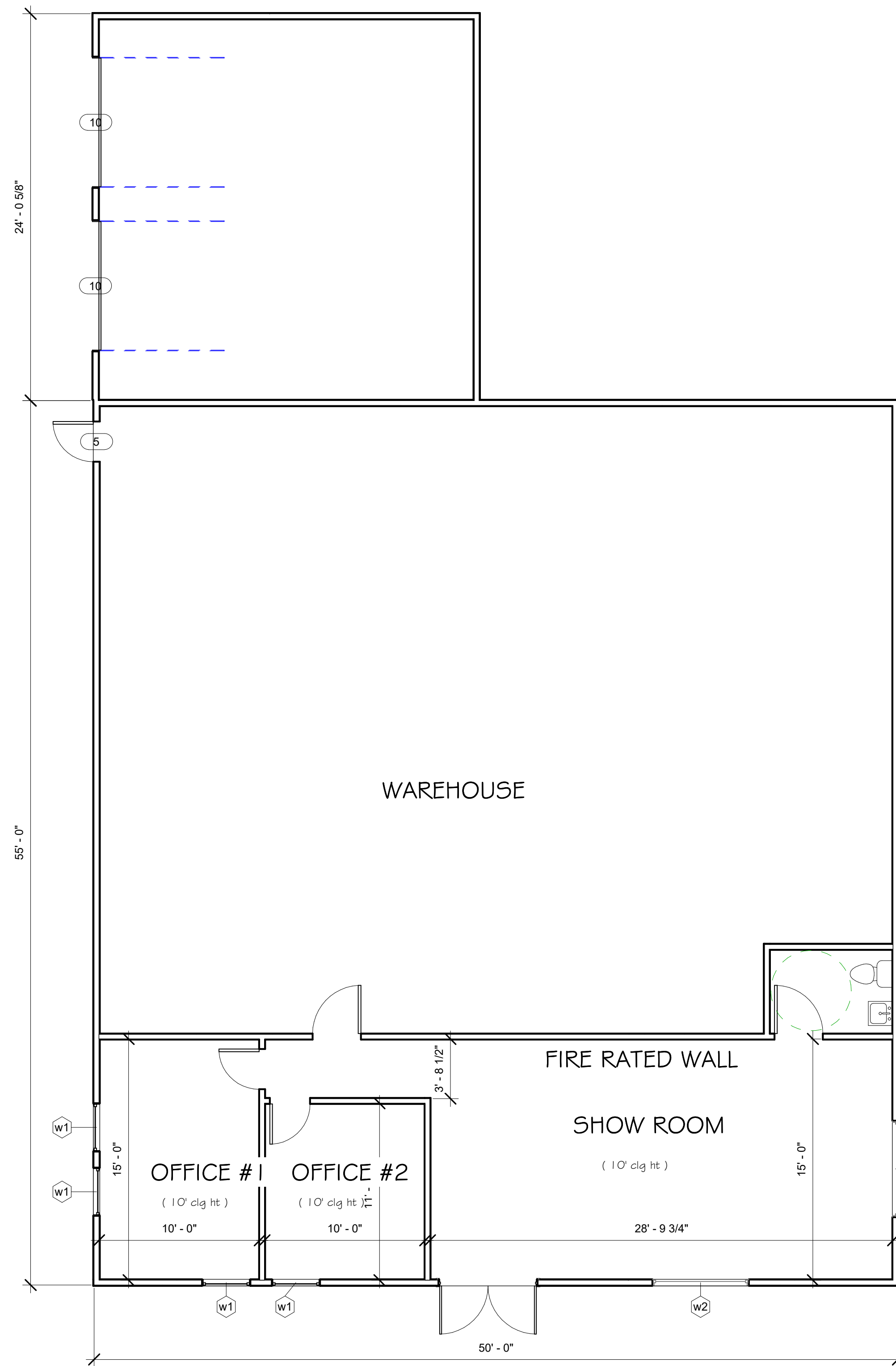
K&A CONSTRUCTION  
**EUSTIS ROOFING**  
Address

existing floor plan  
5726  
DRAFTER  
DATE  
6/30/2020

**A-1**

THIS SET OF PLANS AND ITS CONTENT IS COPYRIGHT OF ROMAC BUILDING SUPPLY. ALL RIGHTS RESERVED





3 -3D- 1  
12" = 1'-0"

1 proposed  
3/16" = 1'-0"

SCOPE OF WORK

- \* REMOVE EXISTING ROLL UP DOOR AND CREATE OPENING FOR (2) 3050 WINDOWS
- \* CREATE OPENINGS LEFT ELEVATION FOR (2) 3050 WINDOWS
- \* INSTALL INTERIOR NON BEARING WALLS FOR OFFICES
- \* INSTALL FRAME NON BEARING FIRE RATED WALL AND DOORS

Window Schedule						
Count	Type Mark	Family and Type	Width	Height	Phase Created	Design Pressure
4	w1	Single Hung: 36" x 60"	3' - 0"	5' - 0"	New Construction	
4	w2	Fixed: 72x36	6' - 0"	3' - 0"	Existing	

Area Schedule (Gross Building)	
Name	Area
existing warehouse area	2508 SF
office #1	165 SF
office #2	118 SF
showroom	550 SF
	3341 SF

CUSTOMER REVIEW SET  
NOT FOR CONSTRUCTION

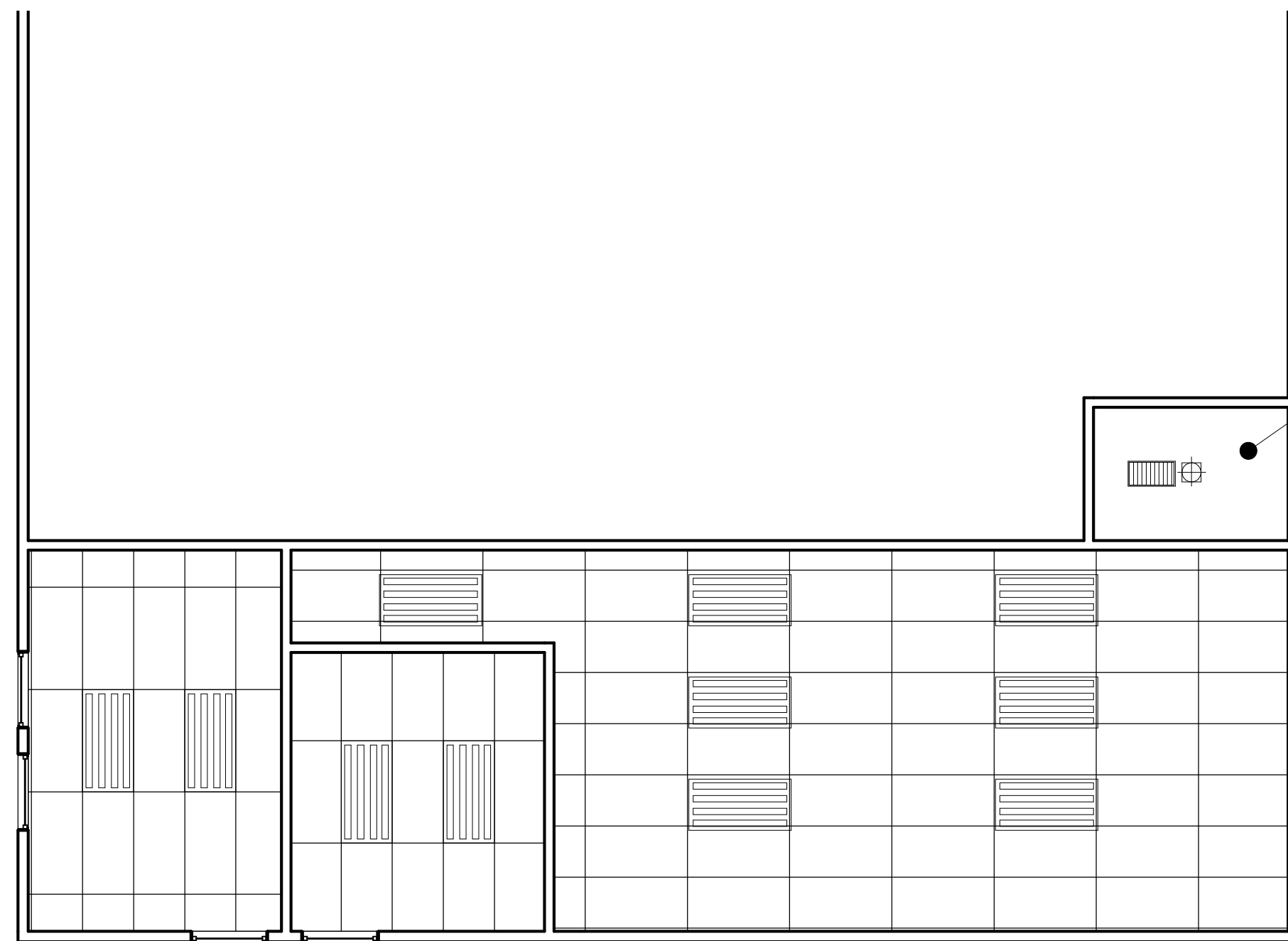
**Romac**  
BUILDING SUPPLY  
LIC. # CBC1252465  
700 East Main Street  
Leesburg, FL 34748  
PH: (352) 314-3197  
RomacLumber.com

K&A CONSTRUCTION  
**EUSTIS ROOFING**  
Address

proposed plan  
5726  
DRAFTER  
DATE  
6/30/2020

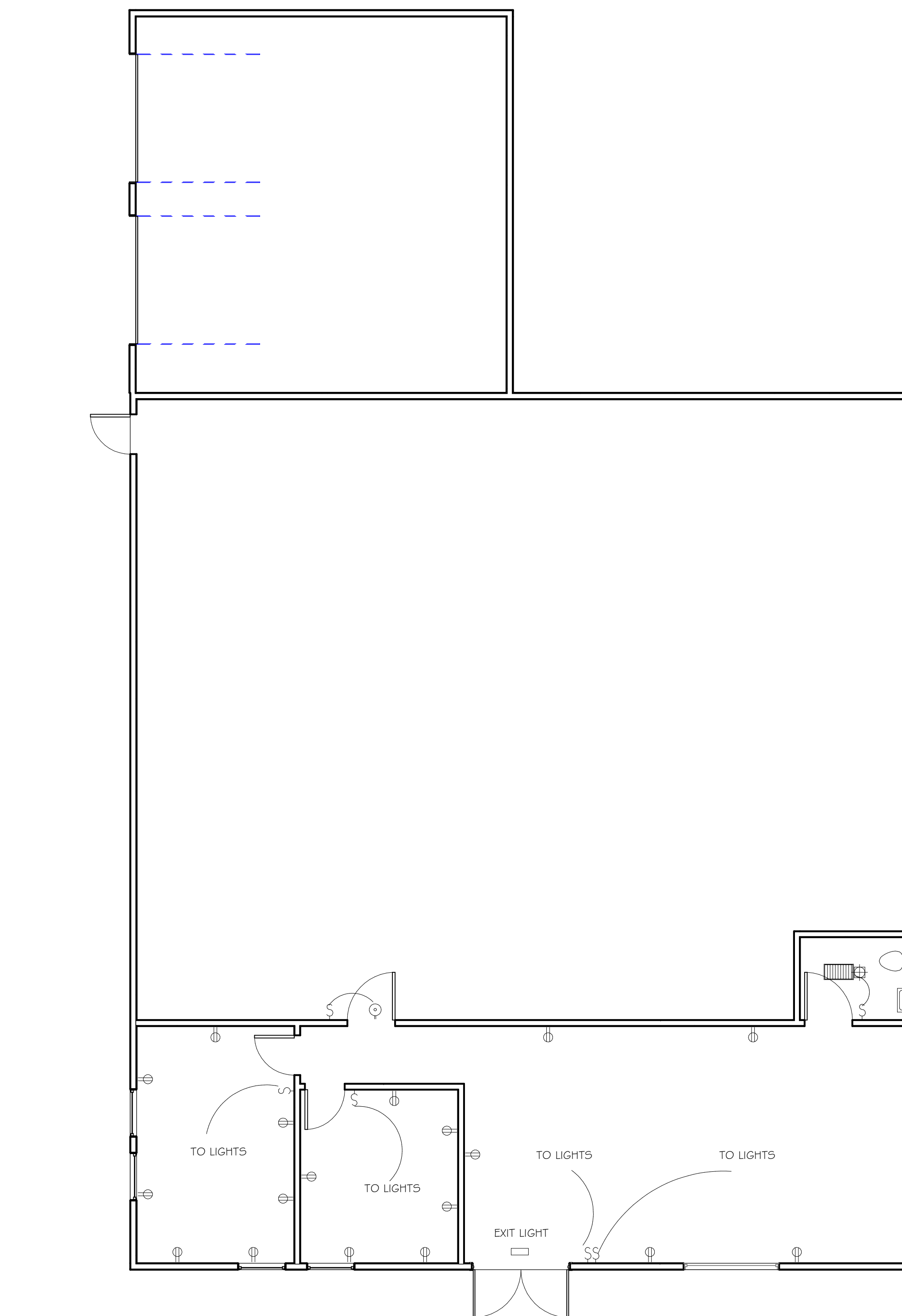
**A-2**

THIS SET OF PLANS AND ITS CONTENT IS COPYRIGHT OF ROMAC BUILDING SUPPLY. ALL RIGHTS RESERVED



CEILING GRID PLAN

2X4 CEILING JOIST W  
MIN 1/2" DRYWALL at  
8' clg



② ELECTRICAL  
3/16" = 1'-0"

electrical legend	
s	switch
⊕	ceiling light
⊕	duplex
⊕ <sup>gfi</sup>	gfi duplex
⊕ <sup>220</sup>	220 volt duplex
⊕	wall hung light
⊕	vent

ALL WIRING PER 2014 NEC CODE WHICH INCLUDE, ARC FAULT BREAKERS, TAMPER PROOF RECEPTACLES, GFI RECEPTACLES, WEATHER PROOF RECEPTACLES, IN SERVICE COVERS, SMOKE AND CO2 DETECTOR RILES TO BE FOLLOWED.

WIRING SHALL BE 14AWG ROMEX EXCEPT KITCHEN AND BATH RECEPTACLES.

SINGLE APPLIANCES WIRE TO BE SIZED ACCORDING TO MANUFACTURER SPECIFICATIONS. BONDING HOME TO EARTH SHALL BE ACCOMPLISHED BY A SLAB UNDERGROUND AND ONE DRIVEN COPPER CLAD 5/8" DIA. ROD, 8 FEET DEEP ALL ON #4 SOLID BARE WIRE.

The air removed by every mechanical exhaust system shall be discharged to the outdoors in accordance with Section M1506.3. Air shall not be exhausted into an attic, soffit, ridge vent or crawl space

**CUSTOMER REVIEW SET  
NOT FOR CONSTRUCTION**

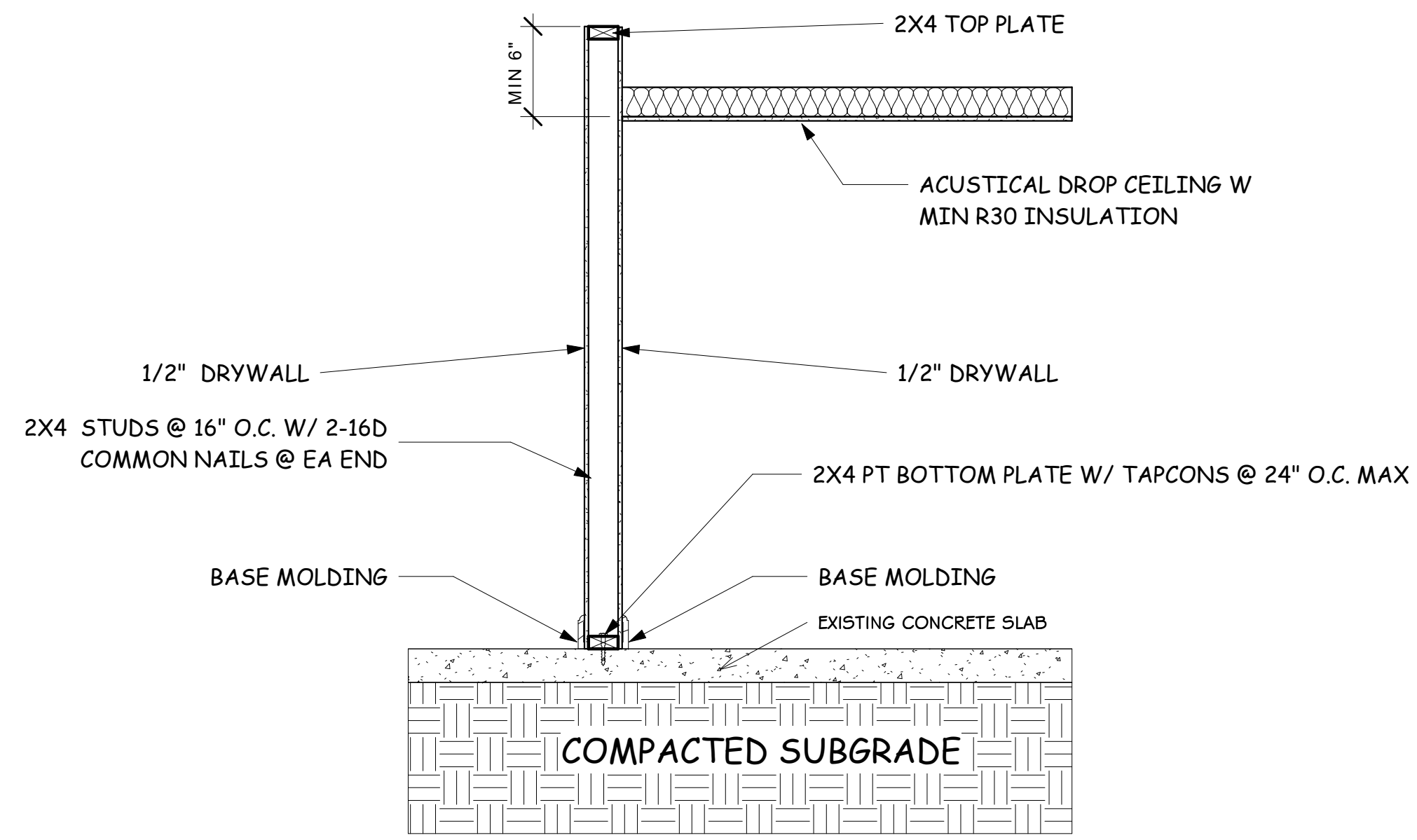
**Romac**  
BUILDING SUPPLY  
LIC. # CBC1252465  
700 East Main Street  
Leesburg, FL 34748  
PH: (352) 314-3197  
RomacLumber.com

**EUSTIS ROOFING**  
K&A CONSTRUCTION  
Address

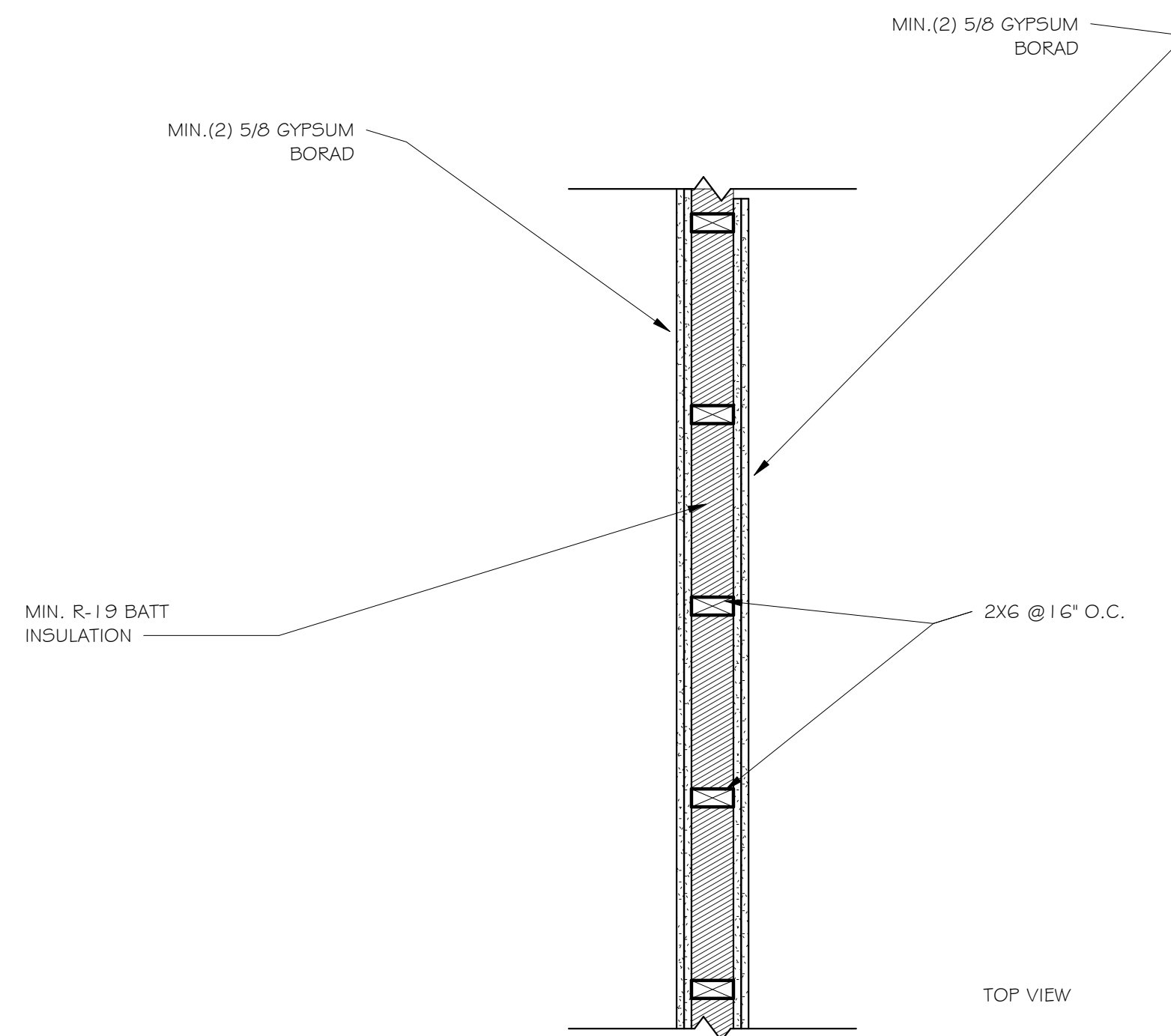
ELECTRICAL  
5726  
DRAFTER  
DATE  
6/30/2020

**A-3**

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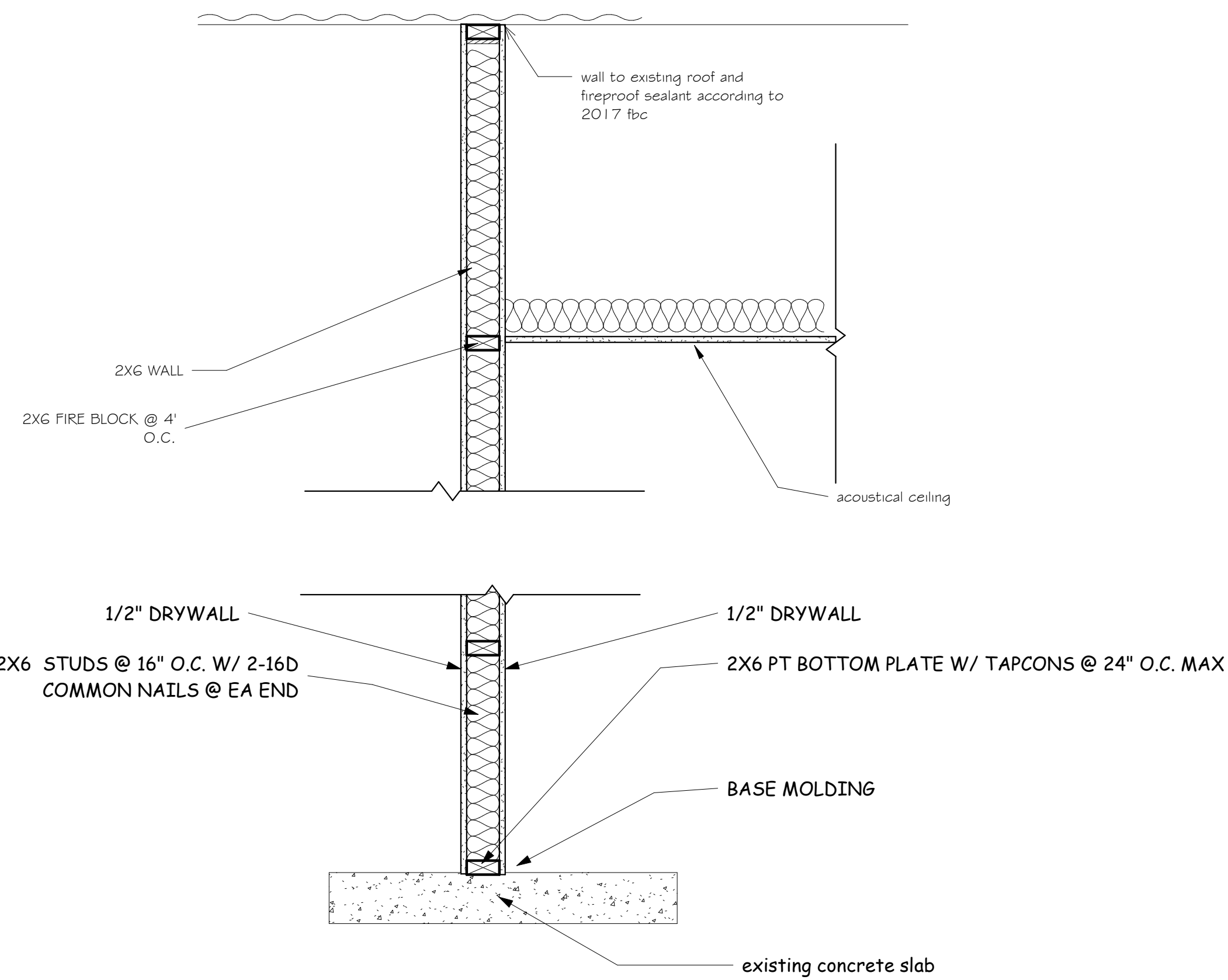


① INTERIOR FRAMR WALL NON BEARING  
3/4" = 1'-0"



2HR FIRE RATED WALL

③ 2hr fire rated wall top view  
1" = 1'-0"



② 2hr fire rated detail  
1" = 1'-0"

CUSTOMER REVIEW SET  
NOT FOR CONSTRUCTION

**Romac**  
BUILDING SUPPLY  
LIC. # CBC1252465  
700 East Main Street  
Leesburg, FL 34748  
PH: (352) 314-3197  
RomacLumber.com

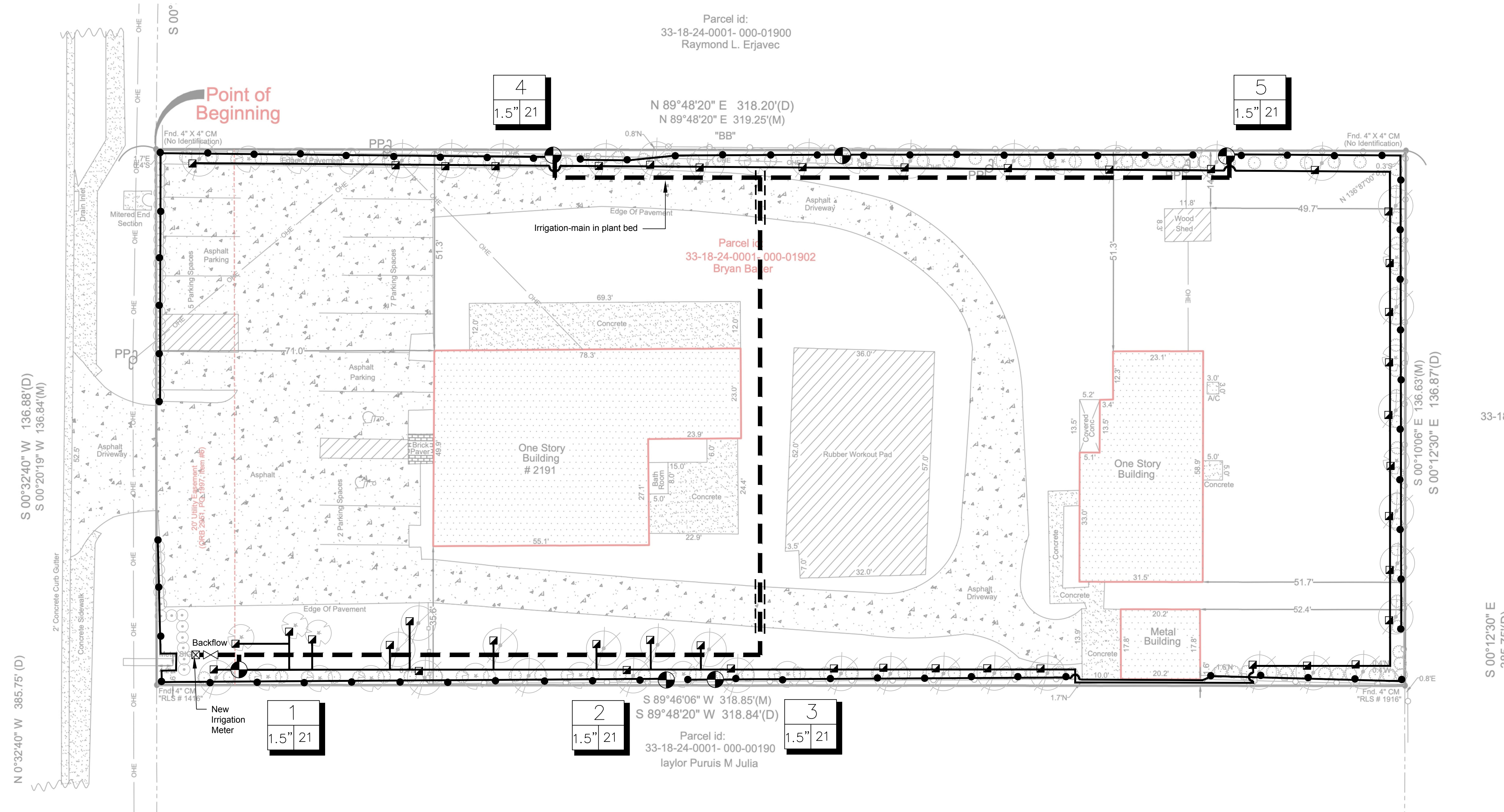
K&A CONSTRUCTION  
**EUSTIS ROOFING**  
Address

STRUCTURAL DETAILS  
5726  
DRAFTER  
DATE  
6/30/2020

SD-1

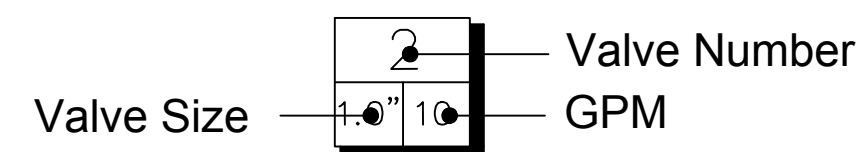


(130' Right-of-Way)  
**U.S. HIGHWAY 441**  
 (Asphalt Road)



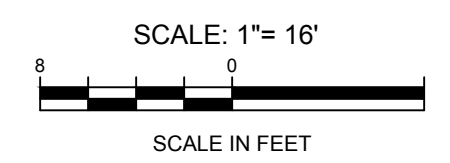
## IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY.
	Rain Bird 1800-1400 Flood Fixed Flow Rate (0.50 GPM), Full Circle Bubblers	41
	Rain Bird 1806AP Spray Nozzle (1.0 - 1.5 GPM), Adjustable Full Circle Spray	70
	Rain Bird 150 PGA 1 1/2" Valve	5
	Irrigation Mainline: PVC Schedule 40 - 1 1/2"	
	Irrigation Lateral: PVC Schedule 40 - 1"	
	Irrigation Lateral: PVC Schedule 40 - 3/4"	
	Pipe Sleeve: PVC Schedule 80 - 3"	



### IRRIGATION NOTES

- PIPE ROUTING AND VALVE LOCATIONS AND SLEEVE LOCATIONS ARE DIAGRAMMATICAL ONLY. ALL PIPES AND EQUIPMENT ARE TO BE WITHIN THE LANDSCAPE AREA OF THE PROPERTY.
- IRRIGATION CONTRACTOR IS TO AVOID ANY CONFLICT WITH THE TREE AND SHRUB PLANTINGS.
- ALL HEADS TO HAVE RECLAIMED WATER USE INDICATORS.
- ALL PIPES SHALL BE PURPLE IN COLOR TO DENOTE USE OF RECLAIMED WATER.
- EXACT LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.
- A RAIN SENSOR TO BE INSTALLED AS SPECIFIED



Parcel id:  
 33-18-24-0001- 000-01900  
 Raymond L. Erjavec

S 00°12'30" E  
 385.75'(D)

REVISIONS:

**MONN DESIGNS INC.**  
 Scott W. Monn, FLA6667000  
 1256 Magnolia Farms Court, Eustis, FL 32726  
 Phone: 352.455.9479  
 smonn@comcast.net

**EUSTIS ROOFING**  
**'FRUITLAND PARK LOCATION'**  
 2191 U.S. HIGHWAY 441 FRUITLAND PARK, FL 34731

DRAWN BY: SM  
 CHECKED BY: SM

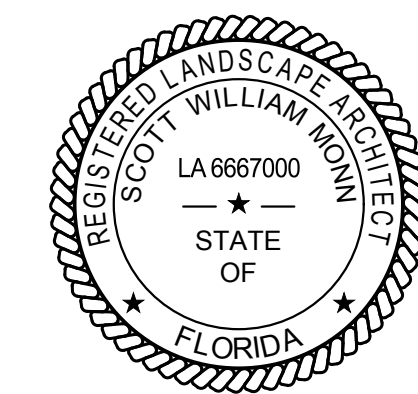
FILE NUMBER:  
 E.R.F.P.L.

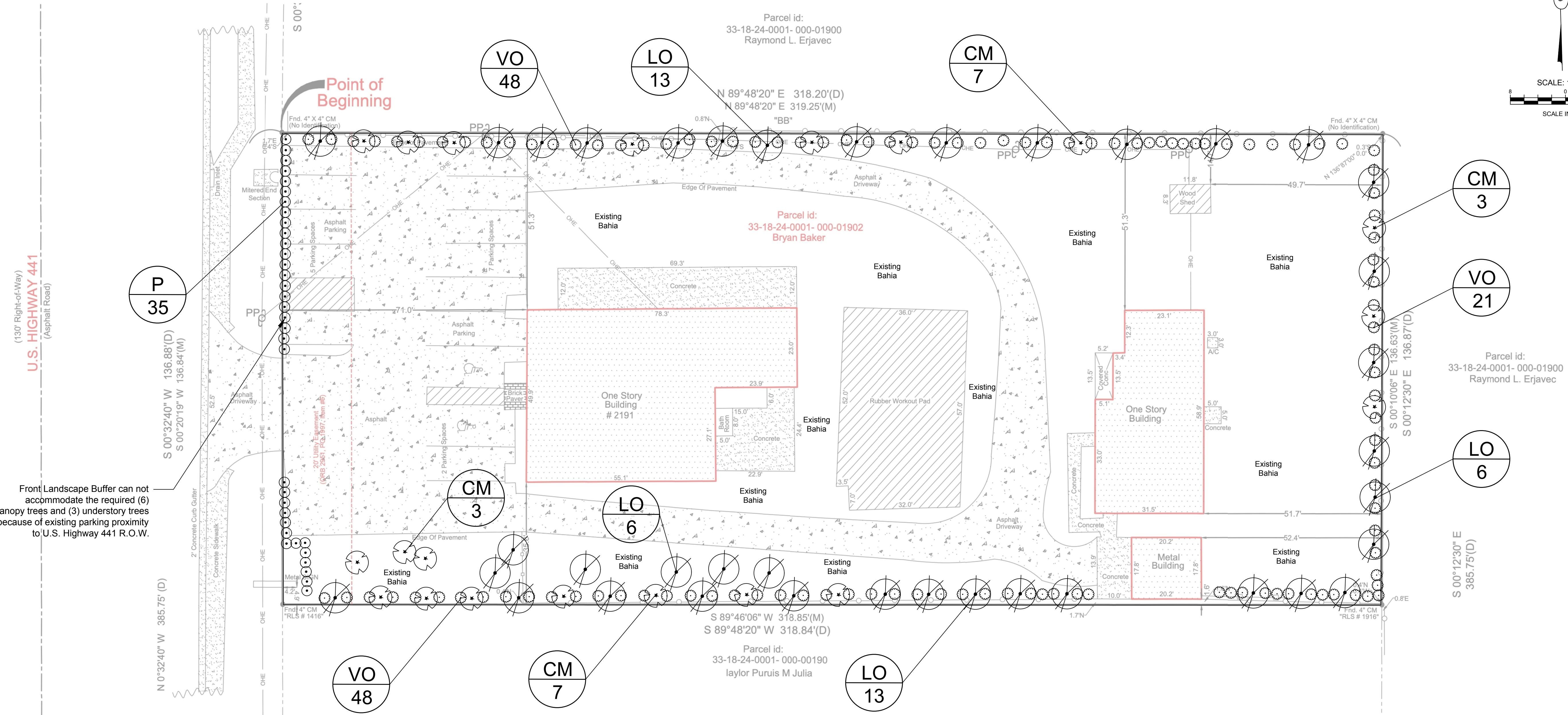
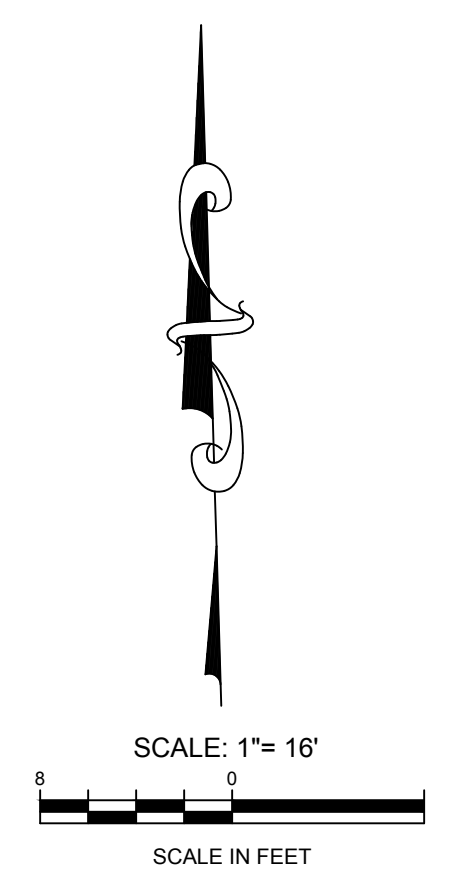
ISSUE DATE:  
 08/03/20

SHEET SIZE  
 24 X 36

IRRIGATION  
 PLAN

SHEET NUMBER  
**IP1.00**





Front Landscape Buffer can not accommodate the required (6) canopy trees and (3) understory trees because of existing parking proximity to U.S. Highway 441 R.O.W.

## PLANT SCHEDULE

TREES	QTY.	COMMON NAME	BOTANICAL NAME	CONT	DBH	SIZE	SPACING	REMARKS
CM	20	Crepemyrtle (Musk.)	Lagerstroemia indica	15 gal.	0.5"	6'H	As Shown	NN, MDT
LO	38	Live Oak	Quercas virginiana	45 gal.	1.5"	12' H	As Shown	NN, MDT
SHRUBS	QTY.	COMMON NAME	BOTANICAL NAME	CONT	HEIGHT	WIDTH	SPACING	REMARKS
P	35	Podocarpus	Podocarpus macrophyllus	7 gal.	30"	24"	3' O.C.	NN, MDT
VO	117	Viburnum O.	Viburnum odoratissum	7 gal.	30"	24"	6' O.C.	NN, MDT

### LANDSCAPE NOTES

ALL PLANTS HAVE MODERATE OR HIGH DROUGHT TOLERANCE  
 DBH IS MEASURED FOUR (4) FEET ABOVE THE GROUND  
 ALL PLANTS ARE TO BE FLORIDA #1 OR BETTER  
 AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL LANDSCAPED AREAS  
 ALL PLANTING AREAS ARE TO RECEIVE A MINIMUM OF 3" OF MULCH

### Buffer Requirements

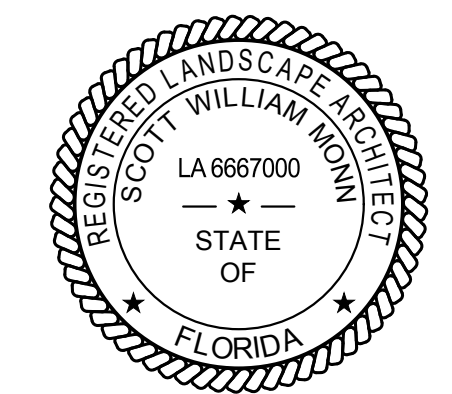
Site Zoning = C-2  
 4 Canopy Trees / 100'  
 2 Understory Trees / 100'  
 15 Shrubs / 100'

**North Property Line Buffer (10')**  
 Canopy Trees Required 12.8 (13 Shown)  
 Understory Trees Required 6.4 (7 Shown)  
 Shrubs Required (48) (48 Shown)

**South Property Line Buffer (10')**  
 Canopy Trees Required 12.8 (13 Shown)  
 Understory Trees Required 6.4 (7 Shown)  
 Shrubs Required (48) (48 Shown)

**East Property Line Buffer (15')**  
 Canopy Trees Required 5.48 (6 Shown)  
 Understory Trees Required 2.7 (3 Shown)  
 Shrubs Required (20.6) (21 Shown)

**West Property Line Buffer (15')**  
 Canopy Trees Required 5.48 (6 Shown)  
 (due to space constraints, trees are interior)  
 Understory Trees Required 2.7 (3 Shown)  
 (due to space constraints, trees are interior)  
 Shrubs Required (20.6) (35 Shown)



REVISIONS:

**MONN DESIGNS INC.**  
 Scott W. Monn, FLA6667000  
 1256 Magnolia Farms Court, Eustis, FL 32726  
 Phone: 352.455.9479  
 smonn@comcast.net

**EUSTIS ROOFING  
 'FRUITLAND PARK LOCATION'**  
 2191 U.S. HIGHWAY 441 FRUITLAND PARK, FL 34731

DRAWN BY: SM  
 CHECKED BY: SM

FILE NUMBER:  
 E.R.F.P.L.

ISSUE DATE:  
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SHEET SIZE  
 24 X 36

LANDSCAPE  
 PLAN

SHEET NUMBER  
**LP1.00**