



506 WEST BERCKMAN STREET
FRUITLAND PARK, FL 34731

PHONE: 352 360-6727
FAX: 352 360-6652

Board Members: Al Goldberg, Chairman Carlisle Burch Daniel Dicus Fred Collins Walter Birriel	Others: Greg Beliveau, LPG Tracy Kelley, CDD Kelly Turner, Administrative Assistant
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AGENDA
PLANNING & ZONING BOARD
AUGUST 20, 2020
6:00PM

- I. **INVOCATION AND PLEDGE OF ALLEGIANCE:**
- II. **ROLL CALL:**
- III. **MINUTES FROM PREVIOUS MEETING:** Approve regular Planning and Zoning Board meeting minutes from March 19, 2020.
- IV. **OLD BUSINESS:** None
- V. **NEW BUSINESS:**
 - A. Recommend and elect Vice Chair and Chair

Elect Vice Chair to the Planning and Zoning Board for the remainder of fiscal year 2019/2020 and fiscal year 2020/2021. Elect Chair for fiscal year 2020/2021.
 - B. Amendment to City of Fruitland Park Land Development Regulations

The City proposes to adopt Ordinance 2020-008, amending Chapter 161 Section 161.010(b) adopting the Florida Building Code by reference; adding Section 161.010(c) violation provisions and Section 161.010(d) elevation requirements.

C. Community United Methodist Church (CUMC) Unity of Title (Alt Key 1639409 & 1248329)

Unity of Title application submitted by Curley Elliott, Board Trustee, on behalf of Community United Methodist Church (CUMC). Applicant recently received approval to rezone 404 West Fountain Street to Public Facilities District (PFD), to be used as a food pantry for the church. Main access to the food pantry, located at 404 West Fountain Street, is provided from the existing parking lot, located on 309 College Avenue. Applicant proposes to unify property located at 404 West Fountain Street with 309 College Avenue, as one parcel under single ownership and operation.

D. Community United Methodist Church (CUMC) Site Plan (Alt Key 1639409)

Minor Site Plan application submitted by Curley Elliott, Board Trustee, on behalf of Community United Methodist Church (CUMC). Applicant recently rezoned property located at 404 West Fountain Street from Single Family Medium Density Residential (R-2) to Public Facilities District (PFD) to be used as the church food pantry. Per Section 160.020, Fruitland Park Land Development Regulations, changing the use of a structure requires site plan approval through City Commission.

E. Samuel Clayton Rector Variance (Alt Key 2908823)

Application submitted by Samuel Clayton Rector requesting a variance from the schedule of setback requirements found in Chapter 154.040 Size and Dimension Criteria. Applicant applied for a residential building permit for an addition to existing single family home. Building plans did not meet required fifteen foot (15') side setback. Applicant requests a variance to allow a proposed five foot (5') setback.

BOARD MEMBERS' COMMENTS:

PUBLIC COMMENTS:

ADJOURNMENT:



506 WEST BERCKMAN STREET
FRUITLAND PARK, FL 34731

PHONE: 352-360-6727
FAX: 352-360-6652

Board Members: Al Goldberg, Chairman Daniel Dicus Fred Collins Philip Purlee, Vice Chair Walter Birriel	Others: Greg Beliveau, LPG Tracy Kelley, CDD Kelly Turner, Administrative Assistant
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**MINUTES
PLANNING & ZONING BOARD
MARCH 19, 2020
6:00PM**

- I. **INVOCATION AND PLEDGE OF ALLEGIANCE:** Meeting called to order at 6:00PM. Administrative Assistant Turner led the invocation and Pledge of Allegiance.
- II. **ROLL CALL:** All Board members present with the exception of Vice Chair Purlee and Board member Birriel. Also absent CDD Kelley. Present LPG Beliveau and Administrative Assistant Turner.
- III. **MINUTES FROM PREVIOUS MEETING:** Board member Collins made motion to approve regular Planning and Zoning Board meeting minutes from January 16, 2020. Second by Board member Dicus. Approved 3-0.
- IV. **OLD BUSINESS:** None
- V. **NEW BUSINESS:**

A. Community United Methodist Church of Fruitland Park, LLC Rezoning (Alt Key #1639409)

Mr. Curley B. Elliott, Trustees Chair for Community United Methodist Church of Fruitland Park, LLC, made application to rezone an existing single family residence currently being utilized as a food pantry for the church. Planning and Zoning Board to consider Ordinance 2020-002 approving the rezoning of approximately 0.28 ± acres of property generally located north of West Fountain Street and east of College Avenue

from Single Family Medium Density (R2) to the designation of Public Facilities District (PFD) for City Commission approval.

LPG Beliveau introduced the application for rezoning subject property located at 404 West Fountain Street, a single family residence adjacent to the Community United Methodist Church parcel. LPG Beliveau read through the Development Review Letter which gave a synopsis of TRC and staff comments. The food pantry will utilize the existing church parking lot to provide access and to the food pantry. LPG Beliveau stated a member of the Lake County School Board called their office directly to inquire if a traffic conflict would exist since both Fruitland Park Elementary School and the food pantry front West Fountain Street. The School Board was informed the existing church parking lot would be utilized, so they had no further issues. LPG Beliveau stated the current church building is being overwhelmed due to growth so the church acquired the adjacent residence to serve as the food pantry. A side walk has been constructed to allow foot traffic from the main church parking lot to the rear of the residence. The conceptual site plan includes one handicapped parking space as well as the current driveway.

Notice of Public hearing was mailed to adjoining property owners. Ten (10) notices were sent certified mail. Zero (0) notices were returned either in favor or opposed and one (1) notice was returned undeliverable.

Mr. Curley Elliott in attendance to represent application on behalf of Community United Methodist Church. Board member Dicus questioned the hours of operation. Applicant Elliott responded the food pantry is open on Tuesdays and Thursdays from 1:00PM until 3:00PM with peak hours from 1:00PM through 1:45PM. The current recipients enter and exit through the rear door of the property with no traffic coming from West Fountain Street. The food pantry does not currently serve recipients that utilize the handicapped parking space. The food pantry was previously located within the same building as the pre-school so adjacent property was purchased to keep excess persons away from the pre-school building.

Board member Dicus made motion to approve the rezoning of the Community United Methodist Church property from R-2 to PFD. Second by Board member Collins.
Approved 3-0.

BOARD MEMBERS' COMMENTS: None

PUBLIC COMMENTS: None

ADJOURNMENT: Meeting adjourned at 6:12PM.

ORDINANCE 2020-008

AN ORDINANCE OF THE CITY OF FRUITLAND PARK, FLORIDA, RELATING TO BUILDING REGULATIONS; UPDATING REFERENCES TO THE FLORIDA BUILDING CODE WITHIN CHAPTER 161 OF THE CITY OF FRUITLAND PARK LAND DEVELOPMENT CODE TO THE MOST RECENT VERSION OF THE FLORIDA BUILDING CODE; AMENDING SECTION 161.010(b) OF THE LAND DEVELOPMENT CODE BY ADOPTING CERTAIN AMENDMENTS TO THE FLORIDA BUILDING CODE; DIRECTING THE CITY MANAGER TO TRANSMIT THE AMENDMENTS TO THE FLORIDA BUILDING COMMISSION AS REQUIRED BY STATUTE; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, City of Fruitland Park adopted the most recent Florida Building Code, as it may be amended from time to time by the State; and

WHEREAS, the Florida Legislature has adopted the 6th Edition of the 2017 Building Code; and

WHEREAS, the City wishes to update its land development code to reference the most up to date version of the Florida Building Code; and

WHEREAS, enforcement of the Florida Building Code is the responsibility of local governments; and

WHEREAS, Section 553.73(4)(b), Florida Statutes, authorizes Florida local governments to make local administrative amendments and technical amendments to its building codes, provided they are not less stringent than the minimum standards described in the Florida Building Code; and

WHEREAS, the City of Fruitland Park has advertised as required by law for a public hearing prior to adoption of this Ordinance by placing a legal advertisement in a newspaper of general circulation no less than 10 days prior to the public hearing notifying the public of this Ordinance and of the public hearing to be held at 6:00 p.m. on _____ at City Hall located at 506 West Berckman Street, Fruitland Park, Florida; and

WHEREAS, a duly noticed public hearing was conducted on such proposed amendments as advertised; and

WHEREAS, at the public hearing the City Council determined it is necessary to adopt the amendments to the Florida Building Code as specified herein for the purpose of

enhancing the safety, health, and welfare of City residents; and

WHEREAS, the Council based its determination upon a review of local conditions which demonstrated a local need to strengthen the Florida Building Code beyond the needs or regional variation addressed by the Florida Building Code; and

WHEREAS, the amendments specified herein are no more stringent than necessary to address the local need; and

WHEREAS, the City Commission of the City of Fruitland Park, Lake County, Florida hereby finds and declares that the adoption of this ordinance is necessary, appropriate, and in the public interest of the citizens of this community.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA:

Section 1. Recitals The recitals set forth above are hereby adopted as legislative findings of the City Commission of the City of Fruitland Park

Section 2. Section 161.010(b) of the Land Development Code of the City of Fruitland Park, Florida, is hereby amended to read as follows::

(b) Adopted Building Code. The provisions of the 2017 Florida Building Code, as it may be amended from time to time by the State, is hereby adopted by reference, to the same extent as if fully set out in this article, for the purpose of regulating the construction, alteration, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures in the city. Not less than one (1) copy of such code shall be maintained on file in the office of the building department.

~~(b) — Adopted Building Codes.~~

The following building codes are adopted:

~~Standard Building Code, 1988 edition, as amended, published by the Southern Building Code Congress International, Inc., Birmingham, Alabama, with the exception of Appendix N.~~

~~Standard Mechanical Code, 1988 edition, as amended, published by the Southern Building Code Congress International, Inc., Birmingham, Alabama.~~

~~Standard Plumbing Code, 1988 edition, as amended, published by the Southern Building Code Congress International, Inc., Birmingham, Alabama.~~

~~Standard Gas Code, 1988 edition, as amended, published by the Southern Building Code Congress International, Inc., Birmingham, Alabama.~~

~~Standard Housing Code, 1988 edition, as amended, published by the Southern Building Code Congress International, Inc., Birmingham, Alabama.~~

~~Standard Swimming Pool Code, 1985 edition, as amended, published by the Southern Building Code Congress International, Inc., Birmingham, Alabama, with one amendment as follows:~~

~~Delete Section 304.1 in its entirety and replace it with the following: All design, construction and workmanship for public pools shall be in conformity with the "Minimum Standards for Public Swimming Pools," dated April 1, 1977; and private pools shall be in conformity with the "Standard for Residential Swimming Pools," dated November 1987. Both standards are published by the National Spa and Pool Institute, Alexandria, Virginia. Engineered designs having the seal and signature of a relevant licensed engineer may be accepted in lieu of conforming to these standards.~~

~~CABO One and Two Family Dwelling Code, 1986 edition, as amended, with 1987 and 1988 amendments and one other amendment, as follows:~~

~~Revise Section R 202 by adding Subsection R 202.7 as follows: R 202.7 — Hurricane Load. All masonry buildings and masonry accessory structures shall be designed to resist hurricane loads and wind loads specified in Table R 202 by complying with Appendix D 102 of the Standard Building Code, 1988 edition, published by the Southern Building Code Congress International, Inc., Birmingham, Alabama.~~

~~National Electrical Code, 1990 edition, as amended, published by the National Fire Protection Association, Quincy, Massachusetts, effective November 1, 1990, with five amendments as follows:~~

~~*Aluminum and Copper Clad Aluminum Conductors.*~~

~~The minimum size of any aluminum or copper clad aluminum electrical conductor used for the purpose of bonding, grounding or carrying lighting or power current shall be AWG 1. This requirement shall not apply to manufactured housing units certified under the State of Florida third party inspection statutes, or to listed and approved appliances, machinery, equipment and assemblies.~~

~~*Conductor Protection; Raceways.*~~

~~All buildings, additions and other structures shall have all electrical conductors used for the purpose of carrying lighting or power current over fifty (50) volts AC installed in a listed and approved raceway. This requirement shall not apply to single and two family dwellings or their accessory structures.~~

~~*Electric Service Entrance Conductors — Supply Side.*~~

~~All service entrance conductors shall be installed in a listed and approved raceway from the point of connection with the utility company's conductors all the way to the meter enclosure.~~

~~*Electric Service Entrance Conductors—Load Side.*~~

~~All service entrance conductors shall be installed in a listed and approved raceway from the meter enclosure to the service disconnecting means. The total length of such service entrance conductors measured from the point of entry into the building to the service disconnecting means shall be no longer than five feet unless protected by an overcurrent device.~~

~~*Electric Service—Rating of Disconnect.*~~

~~The service disconnecting means shall have a rating of not less than one hundred fifty (150) amps for any single or two family dwelling, or less than one hundred (100) amps for any dwelling unit in a multi-family building. This requirement shall not apply to hotel or motel rooms.~~

~~Florida Sanitary Code of the Division of Health of the Department of Health and Rehabilitative Service published pursuant to Section 381.031, Florida Statutes, as amended.~~

~~Accessibility of Handicapped Persons, Chapter 553, Part V, Florida Statutes, as amended.~~

~~Fruitland Park Energy Efficient Building Code, as amended.~~

Section 3. The Land Development Code of the City of Fruitland Park, Florida is hereby amended by adding Section 161.010(c) which reads as follows:

(c) Any person who shall violate a provision of the code adopted in subsection (a), or fail to comply therewith, or with any of the requirements thereof, shall be punished as provided in section 10-99 or through code enforcement proceedings pursuant to F.S. Ch. 162, and chapter 35 of the Code of Ordinances.

Section 4. The Land Development Code of the City of Fruitland Park, Florida is hereby amended by adding Section 161.010(d) which reads as follows:

(d) The city adopts the following technical amendment to Section R322.2.1 of the 6th Edition of the Florida Building Code, Residential 2017 relating to flood provisions:

R322.2.1 Elevation requirements.

1. Buildings and structures in flood hazard areas not designated as Coastal A Zones shall have the lowest floors elevated to or above the base flood elevation plus 1.5 feet or the design flood elevation, whichever is higher.
2. In areas of shallow flooding (AO Zones), buildings and structures shall have the lowest floor (including basement) elevated at least as high above the highest adjacent grade as the depth number specified in feet on the FIRM plus 1.5 feet, or at least 3.5 feet if a depth number is not specified.

3. Basement floors that are below grade on all sides shall be elevated to or above the base flood elevation plus 1.5 feet or the design flood elevation, whichever is higher.

Exception: Enclosed areas below the design flood elevation, including basements whose floors are not below grade on all sides, shall meet the requirements of Section R322.2.2.

Section 5. The Land Development Code of the City of Fruitland Park, Florida is hereby amended by adding Section 161.010(e) which reads as follows:

(e) The city adds the following technical amendment to a new Section 1612.4.2 of the 6th Edition of the Florida Building Code, Building (2017) relating to flood provisions:

1612.4.2 Elevation requirements. The minimum elevation requirements shall be as specified in ASCE 24 or the base flood elevation plus 1.5 feet, whichever is higher.

Section 6. The Land Development Code of the City of Fruitland Park, Florida is hereby amended by adding Section 161.010(f) which reads as follows:

(f) The city adds the following administrative amendment to Section 110.3.1 of the 6th Edition of the Florida Building Code. Building (2017) relating to required foundation inspections:

Permit holder shall engage a certified surveyor to produce a form board survey (or foundation survey; depending on construction design) to verify the project is consistent with the City approved site plan/survey (plot plan).

1. Permit holder shall submit this form board/foundation survey to the City for review and approval prior to pouring the slab. This document may be hand delivered to the Community Development Department, mailed to City Hall and addressed to the Community Development Department and/or submitted to the Community Development Department via email in digitally signed pdf format.
2. The form board survey shall be forwarded to the Flood Plain Manager or designee and reviewed to confirm consistency with the City approved site plan/survey (plot plan).
 - a. **IMPORTANT:** The slab may not be poured until the formboard survey has been approved and determined to comply with all City of Fruitland Park requirements.
 - b. **The Building Official** may waive the requirements on a case by case basis when the Building Official or designee has visited the site to verify site conditions.

SECTION 7. Directions to City Manager. The City Manager is directed to forward a copy of this Ordinance, after adoption, to the Florida Building Commission as provided in Section 553.73(4)(b) 5, Florida Statutes, within 30 days of said adoption.

SECTION 8. Conflicting Ordinances. All ordinances or parts of ordinances, land development code ordinances or parts of said ordinances in conflict with this Ordinance are hereby repealed.

SECTION 9. Severability. If any section, sentence, phrase, word or portion of this Ordinance is determined to be invalid, unlawful or unconstitutional, said determination shall not be held to invalidate or impair the validity, force or effect of any other section, sentence, phrase, word or portion of this Ordinance not otherwise determined to be invalid, unlawful or unconstitutional.

SECTION 10. Effective Date. This Ordinance shall become effective immediately upon adoption; however, the technical amendments set forth herein shall not become effective until 30 days after the amendment has been received and published by the Florida Building Commission.

PASSED and ORDAINED this _____ day of _____, 2020, by the City Commission of the City of Fruitland Park, Florida.

SEAL CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA

CHRIS CHESHIRE, MAYOR

ATTEST:

ESTHER COULSON, CITY CLERK

Mayor Cheshire	____(Yes), ____ (No), ____ (Abstained), ____ (Absent)
Vice Mayor Gunter	____(Yes), ____ (No), ____ (Abstained), ____ (Absent)
Commissioner Bell	____(Yes), ____ (No), ____ (Abstained), ____ (Absent)
Commissioner DeGrave	____(Yes), ____ (No), ____ (Abstained), ____ (Absent)
Commissioner Mobilian	____(Yes), ____ (No), ____ (Abstained), ____ (Absent)

First Reading _____
Second Reading _____

Approved as to form and legality:

Anita Geraci-Carver, City Attorney



City of Fruitland Park, Florida
Community Development Department
 506 W. Berckman St., Fruitland Park, Florida 34731
 Tel: (352) 360-6727 Fax: (352) 360-6652
 www.fruitlandpark.org

Staff Use Only	
Case No.:	_____
Fee Paid:	_____
Receipt No.:	_____

Development Application

Contact Information:

Owner Name: Community United Methodist Church Fruitland Park
 Address: 309 College Avenue Fruitland Park FL 34731
 Phone: 352-787-1829 Email: _____
 Applicant Name: Curley B. Elliott
 Address: 3378 Lazy Acres Lane, The Villages FL 32163
 Phone: 352-561-6067 Email: elliottcb1944@gmail.com
 Engineer Name: Jack L Gries, Gries Engineering Inc
 Address: 715 Balmoral Circle, Leesburg FL 34748
 Phone: 352-787-6661 Email: _____

Property and Project Information:

PROJECT NAME*: Minor Site Plan Approval for change of use
*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.
 Property Address: 404 W. Fountain Street Fruitland Park FL 34731
 Parcel Number(s): 09-19-24-0400-010 Section: 09 Township: 19 Range 24
 Area of Property: 1.2869 acres Nearest Intersection: College & Fountain
 Existing Zoning: Public Facilities District Existing Future Land Use Designation: _____
 Proposed Zoning: _____ Proposed Future Land Use Designation: _____
 The property is presently used for: church food pantry
 The property is proposed to be used for: church food pantry
 Do you currently have City Utilities? yes

Application Type:

- | | | | |
|--|---|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Construction Plan | <input type="checkbox"/> ROW/Plat Vacate |
| <input type="checkbox"/> Site Plan | <input checked="" type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Replat of Subdivision | |

Please describe your request in detail: _____

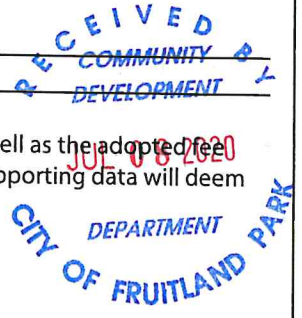
Required Data, Documents, Forms & Fees

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Printed Name: CURLEY B. ELLIOTT

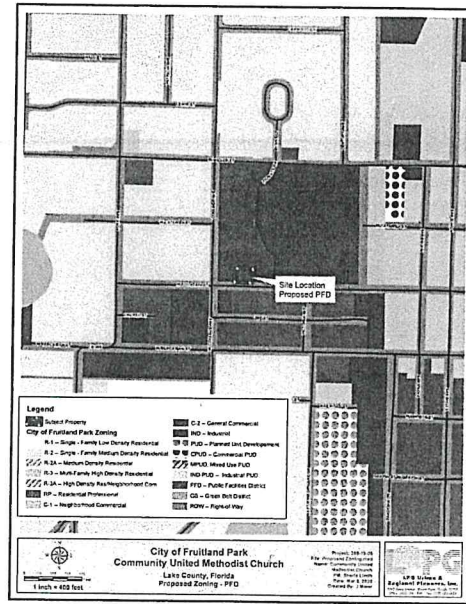
Signature: Curley B. Elliott Date: 6-23-20

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

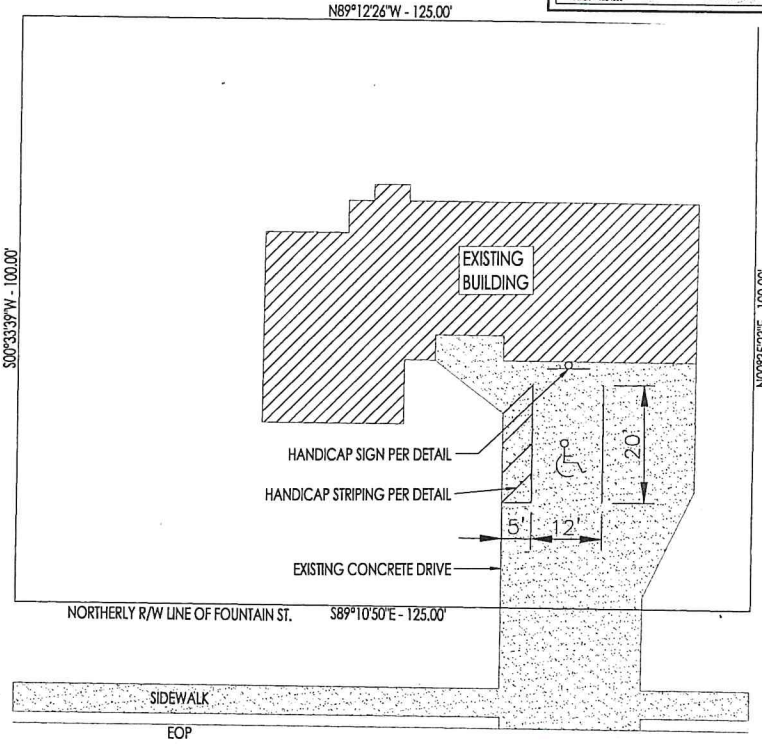
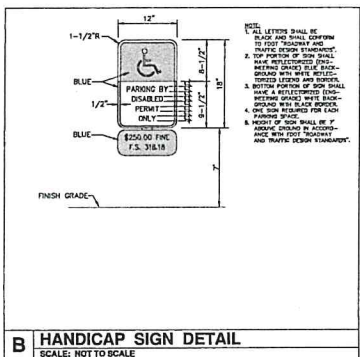
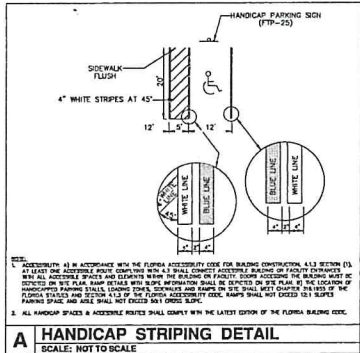


Size of Building: 1,253 sq feet
 Used for food pantry (church)
 City of Fruitland Park is providing
 water and sewer.
 This is not a phased development.
 Property size: .2869 acres or 12,500sqft

RECEIVED
 COMMUNITY BY
 DEVELOPMENT
 JUL 08 2020
 DEPARTMENT
 CITY OF FRUITLAND PARK



PFD



PFD

PFD

RP

PARKING STRIPING
 SCALE: 1"=10'

Digitally signed by Jack L. Gries
 DN: cn=J. Gries Engineering Inc
 ou=AO141000000167000BDFEG
 -0028BCE, c=US, o=Jack L. Gries
 Date: 2020.06.17 15:33:50 -0400



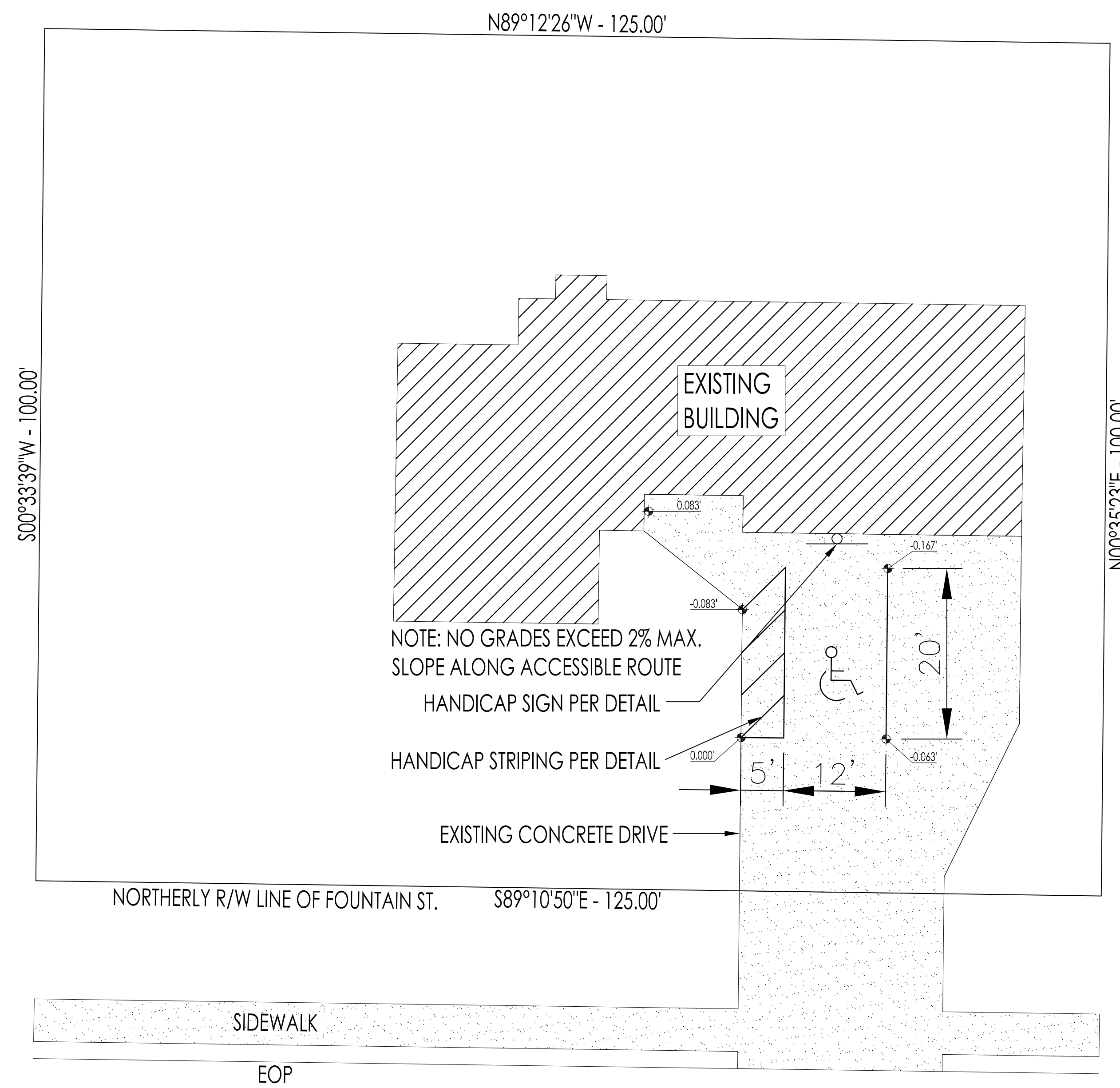
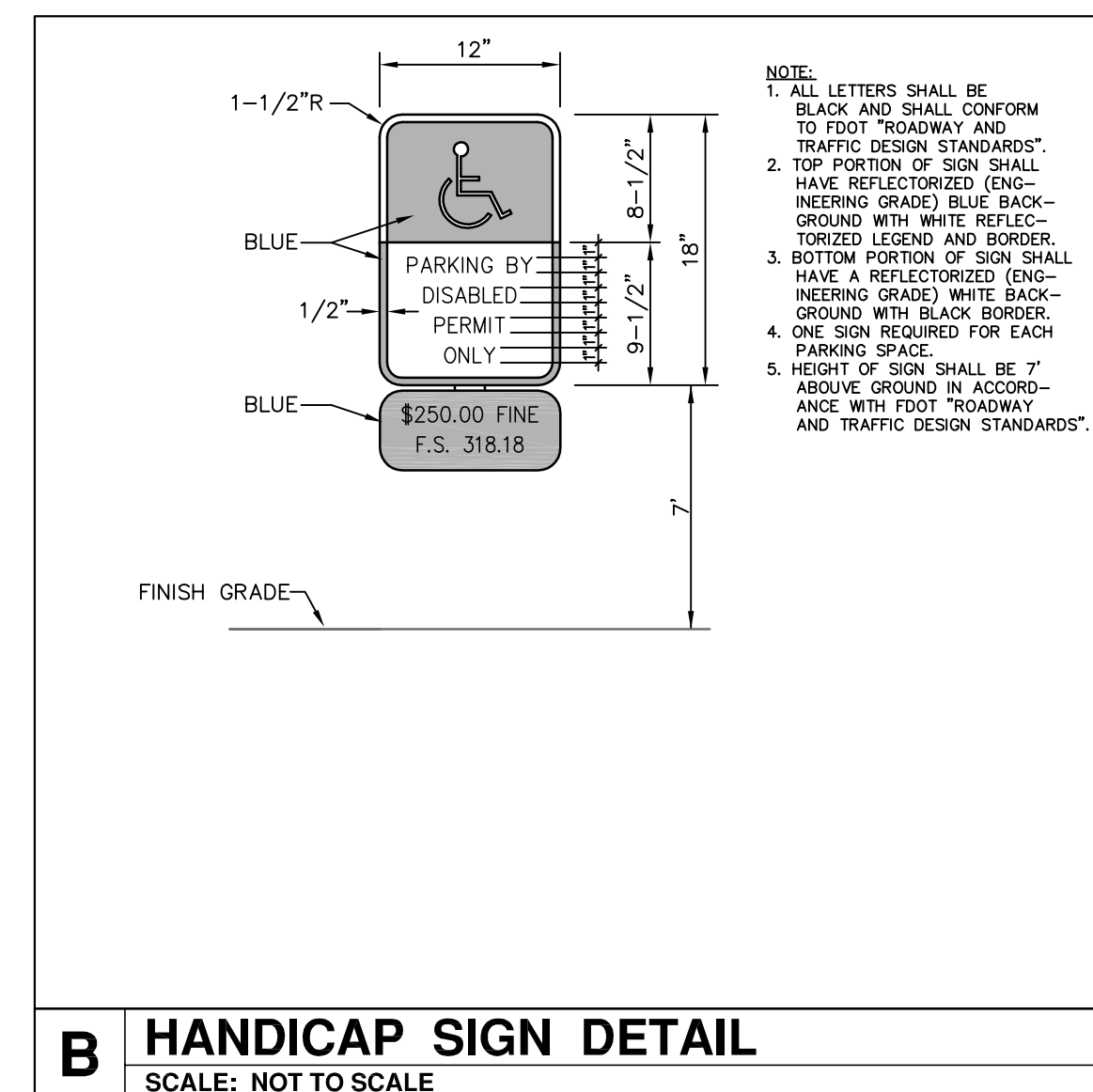
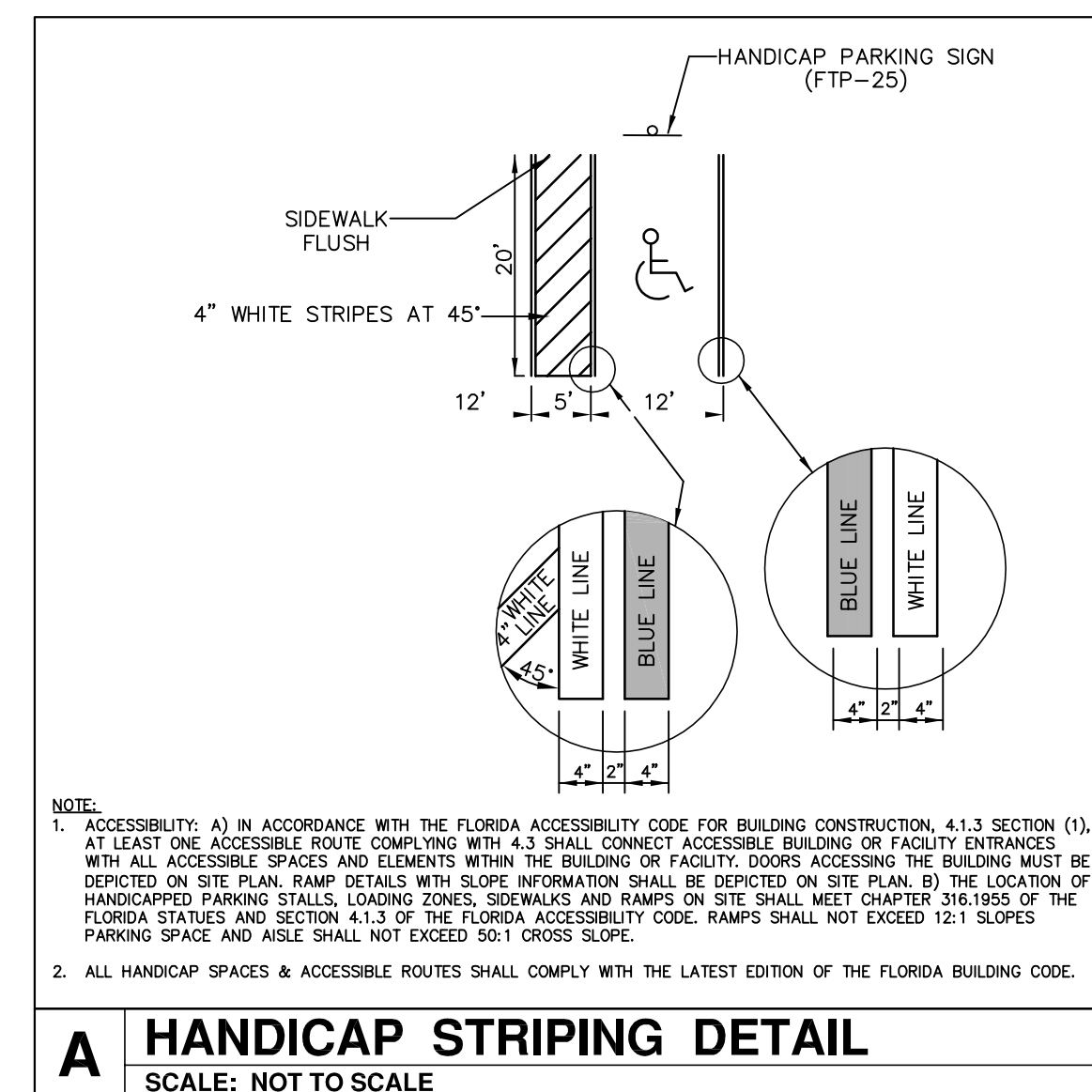
DATE: 06/17/2020
 TIME: 15:33:50
 USER: JLG

100% COMPLETE
 404 WEST FOUNTAIN ST
 FRUITLAND PARK, FL 34715
 TEL: 813-833-1313
 FAX: 813-833-1314
 JACK L. GRIES ENGINEERING, INC.
 13301 W. UNIVERSITY BLVD. SUITE 100
 FORT MYERS, FL 33907
 TEL: 888-888-8888

PROPOSED PARKING SPACE DESIGN FOR:
COMMUNITY UNITED METHODIST CHURCH
 404 WEST FOUNTAIN ST
 FRUITLAND PARK, FL 34715
PARKING STRIPING

P1

*Signed engineering available as a separate document (document loses digital signature when modified to attach to agenda packet)



PARKING STRIPING
SCALE: 1"=10'

PRELIM: 2020X1
REV: 07/23/2020
DESIGNER: RFW
CHECKER: PER PLAN

715 S. UNIVERSITY AVENUE
SUITE 300
ORLANDO, FL 32801
TEL: (407) 251-9161
FAX: (407) 251-9161

GRUES ENGINEERING, INC.

CIVIL ENGINEERING
FLORIDA P.E. LICENSE # 33570

PROPOSED PARKING SPACE DESIGN FOR:
COMMUNITY UNITED METHODIST CHURCH
404 WEST FOUNTAIN ST
FRUITLAND PARK FL 34731

PARKING STRIPING

P1



RESOLUTION 2020-38

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, GRANTING MINOR SITE PLAN APPROVAL TO ALLOW FOR USE OF AN EXISTING CHURCH BUILDING OWNED BY COMMUNITY UNITED METHODIST CHURCH OF FRUITLAND PARK, INC. AS A CHURCH OWNED FOOD PANTRY; PROVIDING FOR CONDITIONS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Community United Methodist Church of Fruitland Park, Inc. has filed an application for Minor Site Plan Approval to allow for use of an existing church building as a church food pantry on real property located at 404 W. Fountain Street, Fruitland Park, that has an existing building; and

WHEREAS, the City Commission of the City of Fruitland Park have considered the application in accordance with the Land Development Regulations for Minor Site Plan Approval in Chapter 160 of the Land Development Regulations, subject to conditions;

NOW THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF MONTVERDE, LAKE COUNTY, FLORIDA, AS FOLLOWS:

Section 1. Granting of Minor Site Plan Approval.

The application filed by Community United Methodist Church of Fruitland Park, Inc. (hereafter referred to as "Applicant"), to allow for use of an existing church building as a food pantry for use associated with the church on real property located at 404 W. Fountain Street is hereby granted, with conditions, for the following described property:

Alt. Key Numbers: **1639409 & 1248329**

Parcel Id. Numbers: 09-19-24-0400-010-00000 and 09-19-24-0400-005-00000

LEGAL DESCRIPTION:

The East 125 feet of the West 250 feet of the South 100 feet of Block 10 in the Town of Fruitland Park, Florida, according to the map or plat thereof as recorded in Plat Book 3, Page 9, Public Records of Lake County, Florida.

AND

The West 250 feet of Block 5, less the right of way for SR-466A, the West 250 feet of Catawba Street, lying between Blocks 5 and 10, and the West 250 feet of Block 10 in the City of Fruitland Park, according to the plat thereof as recorded in Plat Book 3, Pages 8 -9 of the Public Records of Lake County, Florida, LESS AND EXCEPT the East 125 feet of the West 250 feet of the South 100 feet of the South 100 feet of the aforesaid Block 10.

Section 2. Conditions of Approval.

- (1) Prior to the start of any use of the building as a church food pantry, the Applicant shall resolve, to the satisfaction of the City Manager or designee, the following Planning and Administrative Matters:
 - (a) The Applicant shall meet the City Engineer’s reasonable requirements, including but not limited to ADA compliance of the building and parking area.
- (2) This conditioned approval may also be revoked by the City Commission, at any time, if the above conditions are not followed and met by the Applicant. The Site Plan is attached hereto and incorporated herein.

Section 3. Effective Date.

This resolution shall become effective immediately upon its passage.

PASSED and ADOPTED at a regular meeting of the City Commission of the City of Fruitland Park, Lake County, Florida this _____ day of _____, 2020.

SEAL

CITY COMMISSION OF THE CITY OF
FRUITLAND PARK, FLORIDA

CHRIS CHESHIRE, MAYOR

ATTEST:

ESTHER COULSON, CITY CLERK

Mayor Cheshire _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
 Vice Chairman Gunter _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
 Commissioner DeGrave _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
 Commissioner Mobilian _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
 Commissioner Bell _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)

Approved as to form:

Anita Geraci-Carver, City Attorney



CITY OF FRUITLAND PARK
DECLARATION OF UNITY OF TITLE
(Individual/Partnership/Corporation)

Resubmitted
Date



THIS Declaration of Unity of Title, made this 9th day of MARCH, 2020 by;

COMMUNITY UNITED METHODIST CHURCH

Name of Property Owner(s)

309 COLLEGE AVENUE, FRUITLAND PARK, FL. 34731

Address of Property Owner(s)

of; COMMUNITY U.M.C.
Name of Partnership/Corporation

LLC
Title/Position

County of LAKE, State of SUMTER, hereinafter referred to as "Declarant," pursuant to the City of Fruitland Park Land Development Regulations, being the fee owner of the following described real property located in Fruitland Park, Florida, to wit:

Alternate Key Number(s): 1639409 1248329

Sec 09 Twp 19 Rng 24

The East 125 feet of the West 250 feet of the South 100 feet of Block 10 in the Town of Fruitland Park, Florida, according to the plat thereof recorded in Plat Book 13, Page 9, Public Records of Lake County, Florida.

Hereby make the following declarations of condition, limitation and restriction on said lands, hereinafter to be known and referred to as a Declaration of Unity of Title, as to the following particulars:

1. That the aforesaid plot of, or combination of separate lots, plots, parcels, acreage or portions thereof, shall hereinafter be declared to be unified under one title as an indivisible building site.
2. That the said property shall henceforth be considered as one plot or parcel of land, and that no portion thereof shall be sold, assigned, transferred, conveyed or devised separately except in its entirety as one plot or parcel of land.
3. Purpose of unity PROPERTY BEING ZONED TO PFD TO BE COMBINED WITH CHURCH PARCEL

DECLARANT further agrees that this Declaration of Unity of Title shall constitute a covenant to run with the land, as provided by law, and shall be binding upon the Declarant, his/her heirs, successors and assigns, and all parties claiming under him/her until such time as the same may be released in writing by the City of Fruitland Park, a political subdivision of the State of Florida. Declarant also agrees that this Declaration of Unity of Title shall be recorded in the Public Records of Lake County, Florida.

IN WITNESS WHEREOF, Declarant has executed this instrument in the manner provided by law, on the day and year first above written. Signed, Sealed and Delivered in our presence as witness:

Witnesses

1.

Georgia L. Davis
Signature

Georgia L. Davis
Type/Print Name of Witness

Owner/Partner/Corporation

Curley B. Elliott
Signature

CURLEY B. ELLIOTT
Type/Print Name

CHAIR TRUSTEES
Type/Print Title/Position



2. [Signature]
Signature

Rich Elkin
Type/Print Name of Witness

[Signature]
Signature

Preslee Price
Type/Print Name

[Signature]
Type/Print Title/Position

State of Florida
County of Lake

The foregoing instrument was acknowledged before me this 24th day of June 2020,

By _____, partner or agent partner/agent on behalf of

Name of Person acknowledged

Name of Partnership/Corporation

who is personally known to me or who has produced _____ as identification and who did (did not) take an oath. Type of Identification

[Signature]
Signature of Acknowledger

7/4/21
My Commission Expires

(SEAL)  ANITA J. FLOHR
Commission # GG 102579
Expires July 4, 2021
Bonded Thru Budget Notary Services

***Applicant to submit revised application (change Sumter to Florida on page 1) and Surveyor's Sketch of Description prior to resolution being recorded.*KT** **City Staff Approval**

Signature

Type/Print Title/Position

Type/Print Name





**DEVELOPMENT REVIEW APPLICATION
COMMUNITY UNITED METHODIST CHURCH OF FRUITLAND PARK, INC.
MINOR SITE PLAN AND UNITY OF TITLE
July 21, 2020**

Property Owner/Applicant: Community United Methodist Church of Fruitland Park, Inc.

Phone: 352-787- 1829

Email: No email address on file

Address: 309 College Avenue
Fruitland Park, FL 34731

Appointed Agent: Curley B. Elliott, Board Trustee

Phone: 352-561-6067 or 717-329-6760

Email: elliottcb1944@gmail.com

Address: 3378 Lazy Acres Lane
The Villages, FL 32163

Project Name: CUMC Minor Site and Unity of Title

Parcel ID: 09-19-24-0400-010-0000

Alt Key: 1639409

Project Address: 404 W Fountain Street
Fruitland Park, FL 34731

Mr. Elliott:

Herein are the comments preceding the informal TRC review of July 21, 2020.

Development Review:

The *initial application fees* are as follows:

Development Application Fees (City) \$200.00 **PAID**

LPG (Land Planner) *Actual Cost

BESH (Engineer) *Actual Cost

Mailings *Actual Cost

Newspaper Advertisement *Actual Cost

Lake County Recording Fee *Actual Cost

Per City Ordinance 2008-023 these are the applicable fees as of date; however, there may be additional fees associated with the application(s) that will be passed to the applicant(s), including addressing through Lake County Public Safety Support and Contractual Services.

City Attorney Review:

No comments received at time of Development Application Review.

City Engineer (BESH) Review:

Show ADA compliance by labeling the existing grade at the parking space to show less than 2% slope, and show grades for ADA accessible route to front door.

City Land Planner Review:

Staff recommends approval of Site Plan subject to approval of City Engineer. Staff recommends approval of Unity of Title subject to correction of document. The proposed unity of title has an error as found on page 1 – it reads State of Sumter and should read State of Florida.

City Building Review:

No comments.

City Code Enforcement Review:

No comments.

City Fire Review:

Please show location of the closet hydrant. Provide fire flow requirements per NFPA 1; 18.4 minimum fire flow shall be 1500GPM (Gallons Per Minute) for 2 hours.

City Police Review:

No comments received at time of Development Application Review.

City Public Works Department Review:

City Utilities (Sewer) is available from church building across from Fountain Street, should the applicant be required to connect. Connection would be assumed by the church at cost of equipment and pipe installation, and applicable impact fees.

City Staff Review:

Staff recommends approval of Minor Site Plan and Unity of Title pending all comments are addressed. The food pantry is to utilize the church's existing parking lot in rear of subject property as main access to the pantry; this includes all deliveries.

City of Leesburg Utilities Review:

Electric Department; no comments. Gas Department; natural gas is available.

Lake County Public Schools Review:

No comments received at time of Development Application Review.

Lake County Public Works Review:

No comments.

RESOLUTION 2020-037

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, AUTHORIZING THE MAYOR TO EXECUTE A DECLARATION OF UNITY OF TITLE UNIFYING AS AN INDIVISIBLE BUILDING SITE, TWO PROPERTIES LOCATED AT 404 WEST FOUNTAIN STREET AND 309 COLLEGE AVENUE, FRUITLAND PARK, FLORIDA, OWNED BY COMMUNITY UNITED METHODIST CHURCH OF FRUITLAND PARK, INC. AND IDENTIFIED BY THE LAKE COUNTY PROPERTY APPRAISER AS ALTERNATE KEY NUMBER 1639409 AND ALTERNATE KEY NUMBER 1248329; PROVIDING FOR A DECLARATION OF UNITY OF TITLE TO BE RECORDED IN THE PUBLIC RECORDS OF LAKE COUNTY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Community United Methodist Church of Fruitland Park, Inc. owns 2 parcels of real property more particularly described below which it desires to unify as one indivisible building site; and

WHEREAS, it is necessary to authorize the Mayor of the City of Fruitland Park to execute the necessary document to effectuate the unity of title.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, LAKE COUNTY, FLORIDA, AS FOLLOWS:

Section 1. Authorization.

The Mayor is authorized to execute the Declaration of Unity of Title attached hereto for the purpose of unifying the real property more particularly described below.

LEGAL DESCRIPTION: The East 125 feet of the West 250 feet of the South 100 feet of Block 10 in the Town of Fruitland Park, Florida, according to the map or plat thereof as recorded in Plat Book 3, Page 9, Public Records of Lake County, Florida.

AND

The West 250 feet of Block 5, less the right of way for SR-466A, the West 250 feet of Catawba Street, lying between Blocks 5 and 10, and the West 250 feet of Block 10 in the City of Fruitland Park, according to the plat thereof as recorded in Plat Book 3, Pages 8 -9 of the Public Records of Lake County, Florida, LESS AND EXCEPT the East 125 feet of the West 250 feet of the South 100 feet of the South 100 feet of the aforesaid Block 10.

Section 2. Recording of Notice. The Mayor or designee is directed to record the Declaration of Unity of Title, **a copy of which is attached hereto**, in the public records of Lake County, Florida, and provide a copy to the Lake County Property Appraiser.

Section 3. Effective Date.

This resolution shall become effective immediately upon its passage.

PASSED and ADOPTED at a regular meeting of the City Commission of the City of Fruitland Park, Lake County, Florida this _____ day of _____, 2020.

SEAL

CITY COMMISSION OF THE CITY OF
FRUITLAND PARK, FLORIDA

CHRIS CHESHIRE, MAYOR

ATTEST:

ESTHER COULSON, CITY CLERK

Mayor Cheshire _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Vice Chairman Gunter _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner DeGrave _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner Mobilian _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner Bell _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)

Approved as to form:

Anita Geraci-Carver, City Attorney

Record and Return to:
City of Fruitland Park
506 W Berckman St.
Fruitland Park, FL 34731

NOTICE OF DECLARATION OF UNITY OF TITLE

This Declaration of Unity of Title, made this ____ day of _____, 2020, by Community United Methodist Church of Fruitland Park, Inc., having an address of 309 College Avenue, Fruitland Park, Florida 34731, hereinafter referred to as the “Declarant” being the fee owner of the following described real property located in Lake County, Florida:

Alt. Key Numbers: **1639409 & 1248329**

Parcel Id. Numbers: 09-19-24-0400-010-00000 and 09-19-24-0400-005-00000

LEGAL DESCRIPTION:

The East 125 feet of the West 250 feet of the South 100 feet of Block 10 in the Town of Fruitland Park, Florida, according to the map or plat thereof as recorded in Plat Book 3, Page 9, Public Records of Lake County, Florida.

AND

The West 250 feet of Block 5, less the right of way for SR-466A, the West 250 feet of Catawba Street, lying between Blocks 5 and 10, and the West 250 feet of Block 10 in the City of Fruitland Park, according to the plat thereof as recorded in Plat Book 3, Pages 8 -9 of the Public Records of Lake County, Florida, LESS AND EXCEPT the East 125 feet of the West 250 feet of the South 100 feet of the South 100 feet of the aforesaid Block 10.

Hereby makes the following declarations of condition, limitation, and restriction on the Property, hereinafter to be known and referred to as a Declaration of Unity of Title, as to the following particulars:

1. That the afore-described plot of, or combination of separate lots, plots, parcels, acreage or portions thereof, shall hereafter be declared to be unified under one title as an indivisible building site. **See attached Sketch of Description.**
2. That the Property shall henceforth be considered as one plot or parcel of land, and that no portion thereof shall be sold, assigned, transferred, conveyed or devised separately except in its entirety as one plot or parcel of land.
3. The purpose of unity is to unify as one indivisible building site for construction thereon.

Declarant further agrees that this Declaration of Unity of Title shall constitute a covenant to run with the land, as provided by law, and shall be binding upon the Declarant, its successors and assigns, and all parties claiming under such parties until such time as the same be released in writing by the City of Fruitland Park, a Florida municipality of the

State of Florida. Declarant also agrees this Declaration of Unity of Title shall be recorded in the Public Records of Lake County, Florida.

IN WITNESS WHEREOF, Declarant has executed this instrument in the manner provided by law on the day and year above written. Signed, sealed, and delivered in our presence as witnesses:

WITNESSES

CITY OF FRUITLAND PARK

Signature of Witness #1

Chris Cheshire, Mayor

Print Name of Witness #1

Attest:

Signature of Witness #2

Esther Coulson, City Clerk

Print Name of Witness #2

State of Florida
County of Lake

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this ____ day of _____, 2020, by Chris Cheshire, as Mayor of the City of Fruitland Park, a Florida municipal corporation on behalf of the corporation. He is personally known to me or who produced _____ as identification.

Notary Stamp:

Signature of Notary



City of Fruitland Park, Florida
Community Development Department
 506 W. Berckman St., Fruitland Park, Florida 34731
 Tel: (352) 360-6727 Fax: (352) 360-6652
 www.fruitlandpark.org

Staff Use Only

Case No.: _____
 Fee Paid: _____
 Receipt No.: _____

Development Application

Contact Information:

Owner Name: SAMUEL CLAYTON RECTOR
 Address: 304 N. VALLEY RD, FRUITLAND PARK, FL 34731
 Phone: (352) 408-7437 Email: ANNIECLAY5@COMCAST.NET

Applicant Name: SAMUEL CLAYTON RECTOR
 Address: 304 N. VALLEY RD, FRUITLAND PARK, FL 34731
 Phone: (352) 408-7437 Email: ANNIECLAY5@COMCAST.NET

Engineer Name: GRIES ENGINEERING INC.
 Address: 715 BALMORAL CIRCLE, LEESBURG, FL 34748
 Phone: (352) 787-6161 Email: _____

RECEIVED
 COMMUNITY
 DEVELOPMENT
 JUL 17 2020
 CITY OF FRUITLAND PARK
 DEPARTMENT

Property and Project Information:

PROJECT NAME*: RECTOR IN-LAW QUARTERS ADDITION
 *A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: 304 N. VALLEY RD, FRUITLAND PARK, FL 34731
 Parcel Number(s): 05-19-24-0030-000-01700 Section: _____ Township: _____ Range: _____

Area of Property: 33093.62 ft² Nearest Intersection: 466A & VALLEY RD.
 Existing Zoning: R-1 Existing Future Land Use Designation: HOME
 Proposed Zoning: R-1 Proposed Future Land Use Designation: HOME

The property is presently used for: RESIDENCE
 The property is proposed to be used for: RESIDENCE
 Do you currently have City Utilities? YES

Application Type:

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Planned Development |
| <input checked="" type="checkbox"/> Variance | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Construction Plan | <input type="checkbox"/> ROW/Plat Vacate |
| <input type="checkbox"/> Site Plan | <input type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Replat of Subdivision | |

Please describe your request in detail: I'M ADDING ON AN IN-LAW LIVING AREA TO THE BACK OF MY EXISTING SHED. IT'S CURRENTLY AT 5' SETBACK

Required Data, Documents, Forms & Fees

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

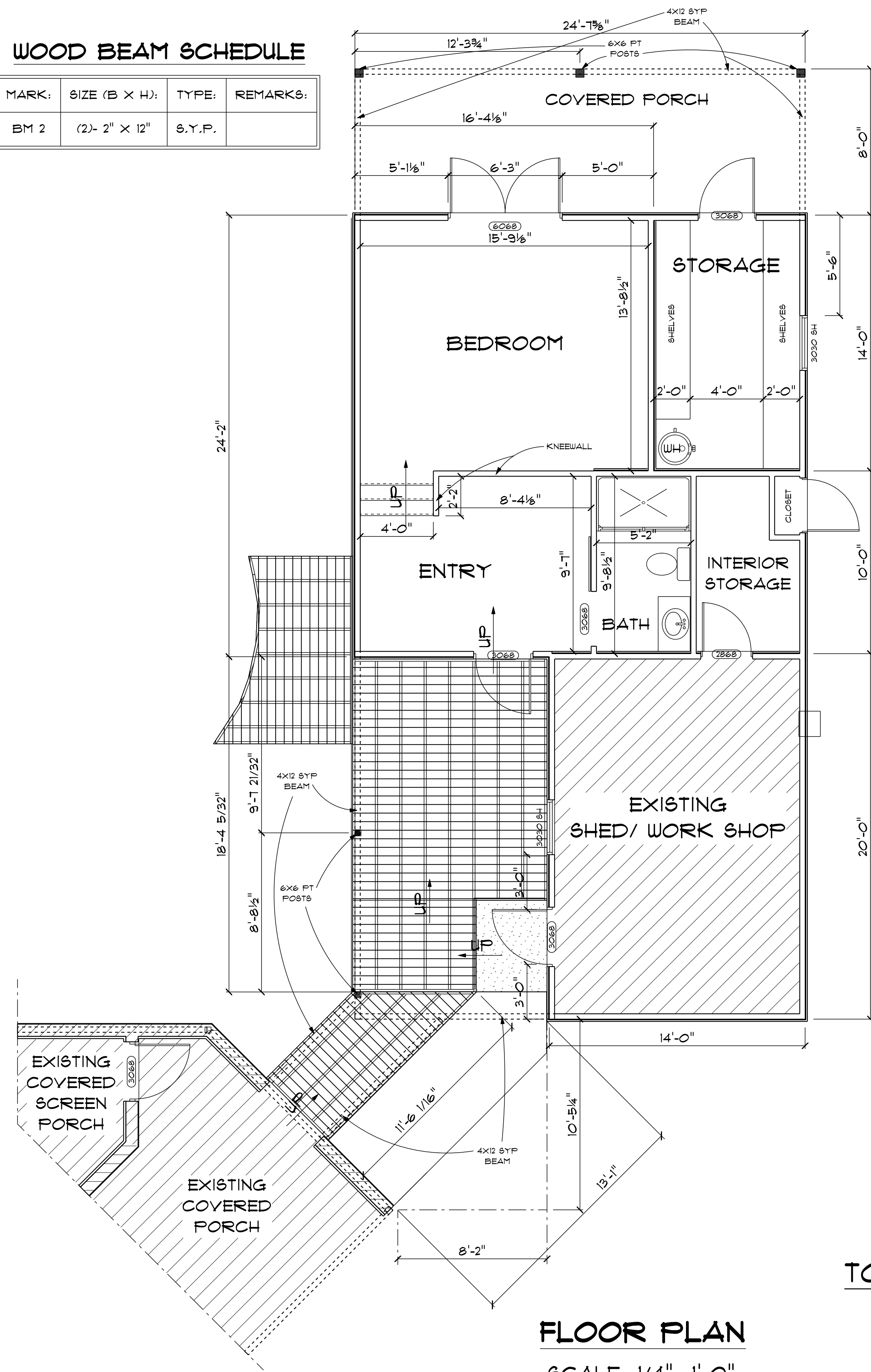
Printed Name: SAMUEL CLAYTON RECTOR

Signature: [Handwritten Signature] Date: 7/16/20

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

WOOD BEAM SCHEDULE

MARK:	SIZE (B X H):	TYPE:	REMARKS:
BM 2	(2)- 2" X 12"	S.Y.P.	



FLOOR PLAN

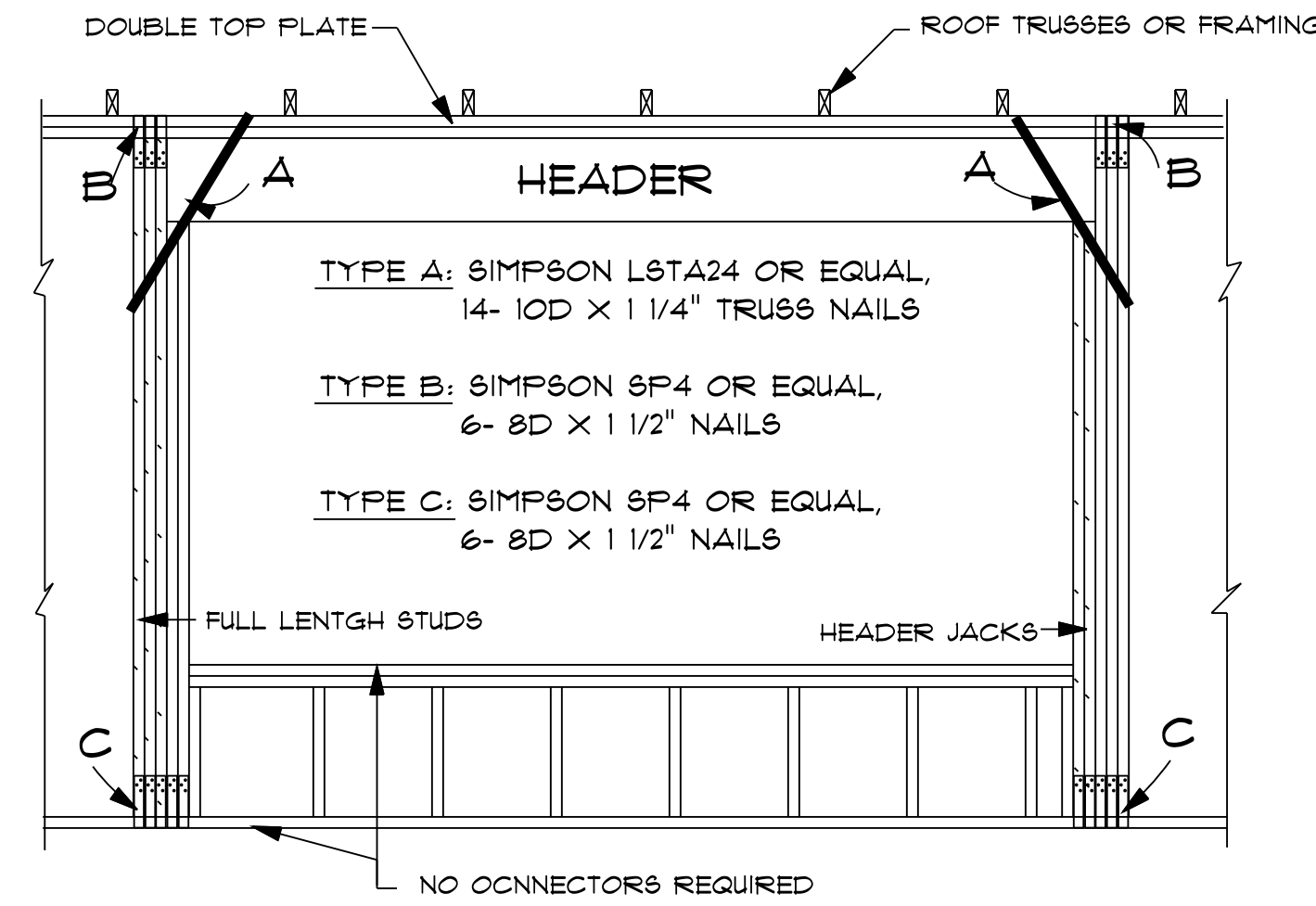
SCALE: 1/4" = 1'-0"

MINIMUM STUD & JACK REQUIREMENTS

MAXIMUM HEADER SPAN (FT.):	3'	6'	9'	12'	15'	18'	STUD SPACING:	WALL HEIGHT:
* OF JACK STUDS:	1	1	2	2	3	3	16"	10 FT OR LESS
* OF FULL LENGTH STUDS AT END OF HEADER:	1	2	2	3	3	3	24"	10 FT OR MORE

DESIGN NOTES:

- ~ THE EXISTING SHED/ WORKSHOP IS 14'X20'.
- ~ ALL EXPOSED WOOD FRAMING MATERIALS WILL BE MADE FROM GROUND CONTACT, PRESSURE TREATED WOOD.
- ~ EXISTING ROOF COVERING FOR GAMEROOM/ WORKSHOP WILL BE REMOVED SO THAT THE NEW METAL ROOF PANELS WILL BE ATTACHED OVER THE WHOLE STRUCTURE.
- ~ ELECTRIC SUPPLY TO THE NEW ADDITION WILL COME FROM THE EXTERIOR PANEL OF THE EXISTING HOUSE.
- ~ A MINI SPLIT HYAC SYSTEM WILL BE USED IN THIS NEW ADDITION.
- ~ NO ENERGY CALCS WILL BE REQUIRED WITH THE MINI SPLIT SYSTEM.

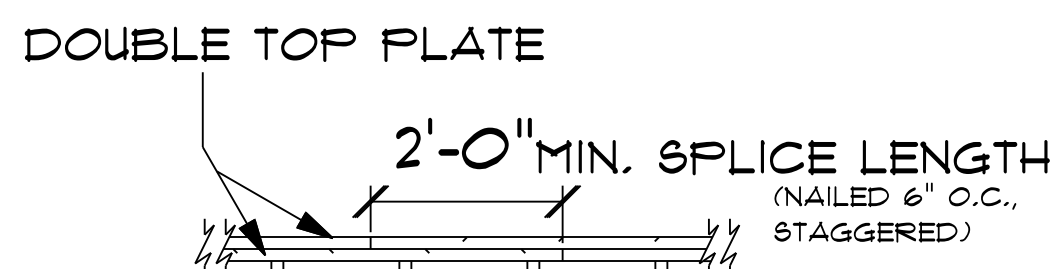


TYPICAL FRAMING & CONNECTIONS FOR OPENINGS

SCALE: 3/8" = 1'-0"

- FOOTAGES:**
- ~ EXISTING SHED: 280 FT²
 - ~ ADDITION (LIVING): 428 FT²
 - ~ ADDITION (STORAGE): 186 FT²
 - ~ COVERED DECK: 214 FT²

TOTAL COMPLETED COMBINED FOOTAGE: 1108 FT²

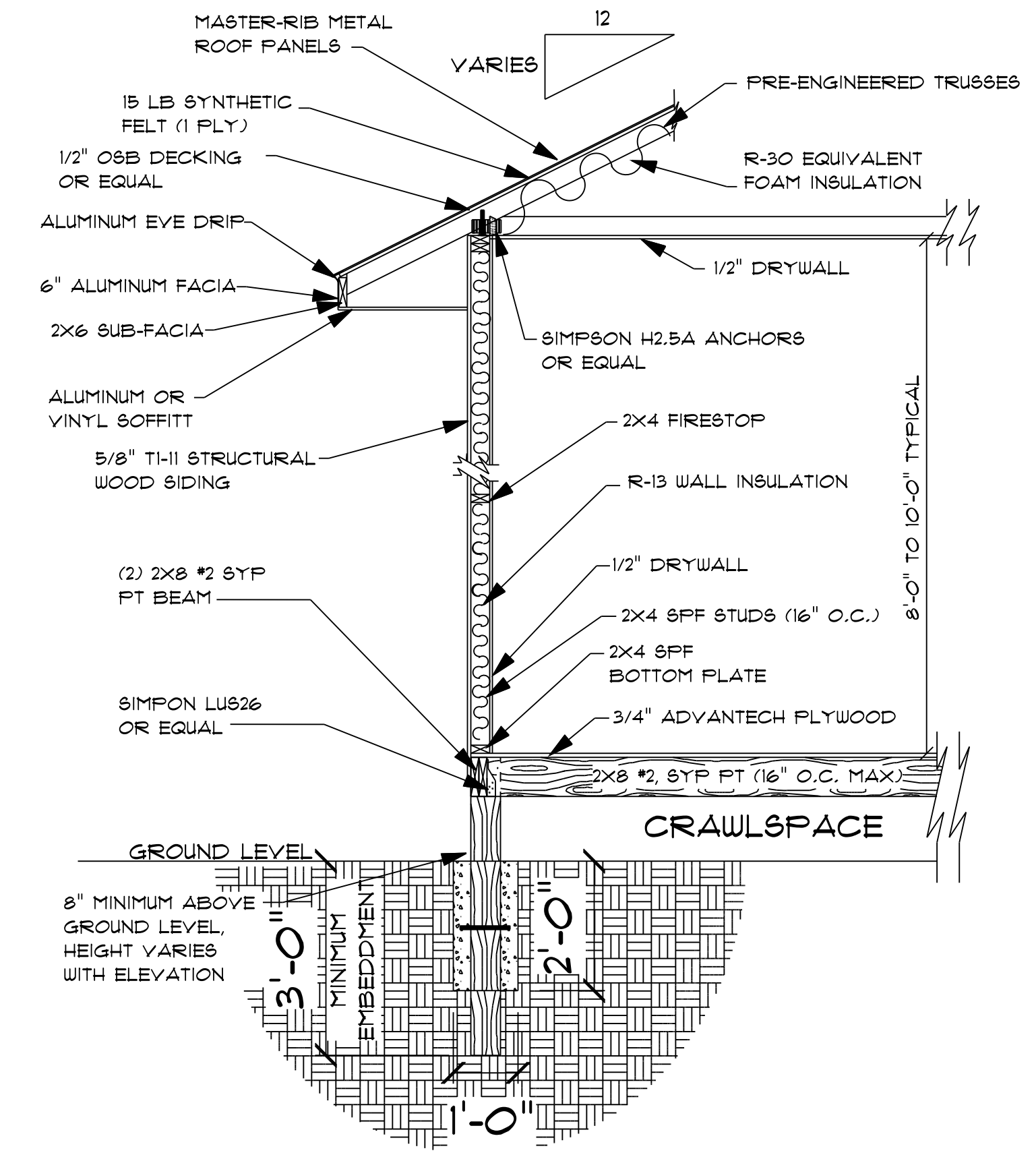


TOP PLATE SPLICE DETAIL

SCALE: 1/2" = 1'-0"

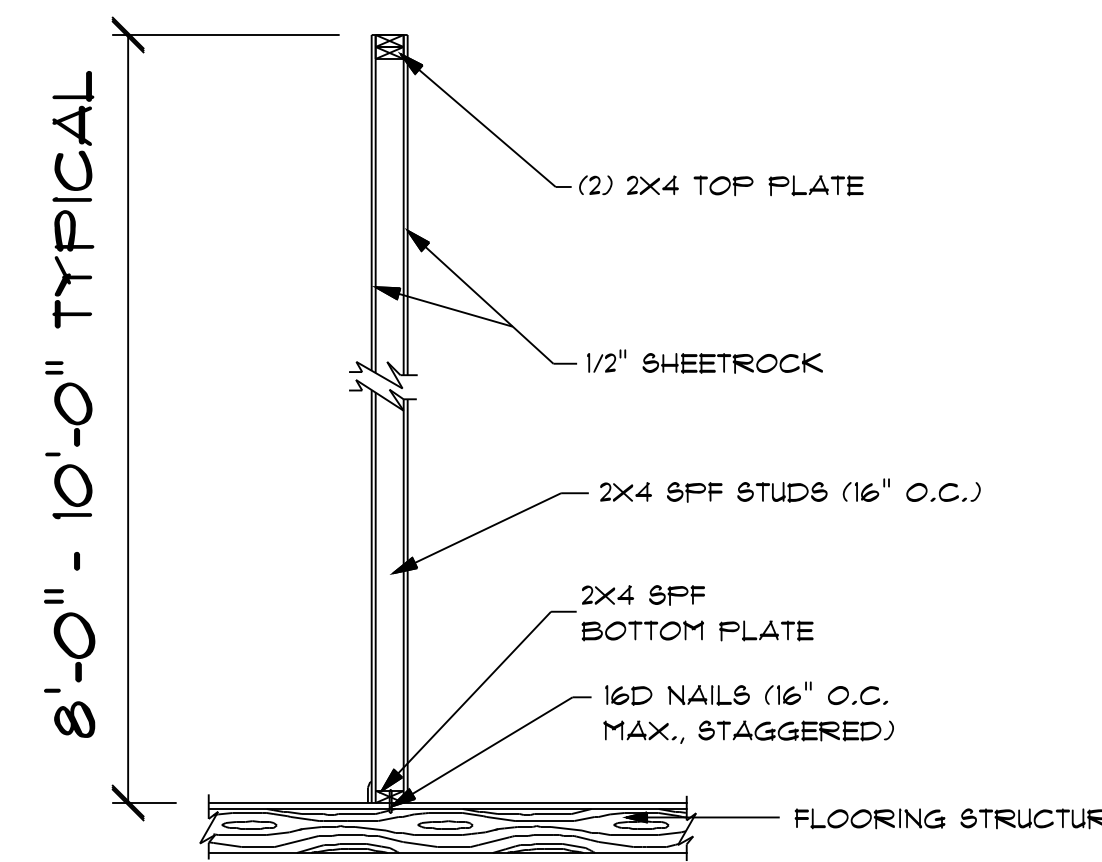
STRAPPING SCHEDULE

NAME:	FASTENER TYPE:	FASTENER SIZE:	FASTENER COUNT:	PRODUCT APPROVAL CODE:
SIMPSON H2.5A	NAILS	10D X 1 1/2"	10	FL 10456
SIMPSON LSTA24	NAILS	10D X 1 1/2"	14	FL 10852
SIMPSON LUS26Z	NAILS	10D	8	FL 10655
SIMPSON LUS28Z	NAILS	16D	10	FL 10655
SIMPSON SP4Z	NAILS	10D X 1 1/2"	6	FL 10456



EXTERIOR MAIN WALL SECTION (TYPICAL)

SCALE: 1/2" = 1'-0"



TYPICAL NON LOAD BEARING INTERIOR FRAME WALL DETAIL

SCALE: 1/2" = 1'-0"

2011 STRUCTURAL DATA CHART

*1. DATA: 2011 FLORIDA BUILDING CODE

1603.1.1 FLOOR LIVE LOAD: 100 psf
 1603.1.2 ROOF LIVE LOAD: 20 psf
 1603.1.3 ROOF SNOW LOAD: 0 psf
 1603.1.4 WIND DESIGN DATA: 140 mph Vult/ 108 mph Vead
 RISK CATEGORY: 2
 WIND EXPOSURE: 'C' / HORIZONTAL DIRECTION/ NO TOPOGRAPHIC EFFECTS
 ENCLOSURE: 'ENCLOSED', + 0.18, - 0.18
 WALL- COMPONENTS & CLAD: Fnat = + 42.1 psf / - 42.3 psf
 ROOF- COMPONENTS & CLAD: Fnat = + 24.6 psf / - 42.1 psf
 (NUMBERS NOT MODIFIED FOR AREA CORRECTION)

1603.1.5 EARTHQUAKE DESIGN DATA:
 RISK CATEGORY: 2
 SEISMIC IMPORTANCE FACTOR: 1
 MBR ACCELERATION PARAMETERS: Sa: 0.0784, S1: 0.0398
 SITE CLASS: 'D'
 DBR ACCELERATION PARAMETERS: Sds: 0.0905, Sd1: 0.0436
 SEISMIC DESIGN CATEGORY: 'A'
 REINFORCED MASONRY SHEAR WALLS
 REINFORCED MASONRY SHEAR WALLS
 DESIGN BASE SHEAR: 3254 lbf/ HORIZONTAL DIRECTION/ ABOVE BASE
 SEISMIC RESPONSE COEFFICIENT: Ca: 0.0226
 RESPONSE MODIFICATION COEFFICIENT: 'R'
 ANALYSIS USED: EQUIVALENT LATERAL FORCE ANALYSIS

1603.1.6 GEOTECHNICAL: 3000 psf
 1603.1.7 FLOOD: 'ZONE X' NOT IN A FLOOD HAZARD ZONE

THE STRUCTURAL SYSTEM FOR THIS BUILDING HAS BEEN REVIEWED FOR COMPLIANCE WITH CHAPTER 16 OF THE 2014 FLORIDA BUILDING CODE USING ASCE/SEI 1-10, 140 MPH, 3 SECOND GUST.

THIS DRAWING AND DESIGN IS VALID FOR 12 MONTHS AFTER THE DATE IT IS SIGNED & SEALED. IT IS SIGNED & SEALED FOR THE STRUCTURAL PORTION OF THIS DRAWING ONLY.

REV	DESCRIPTION	DATE

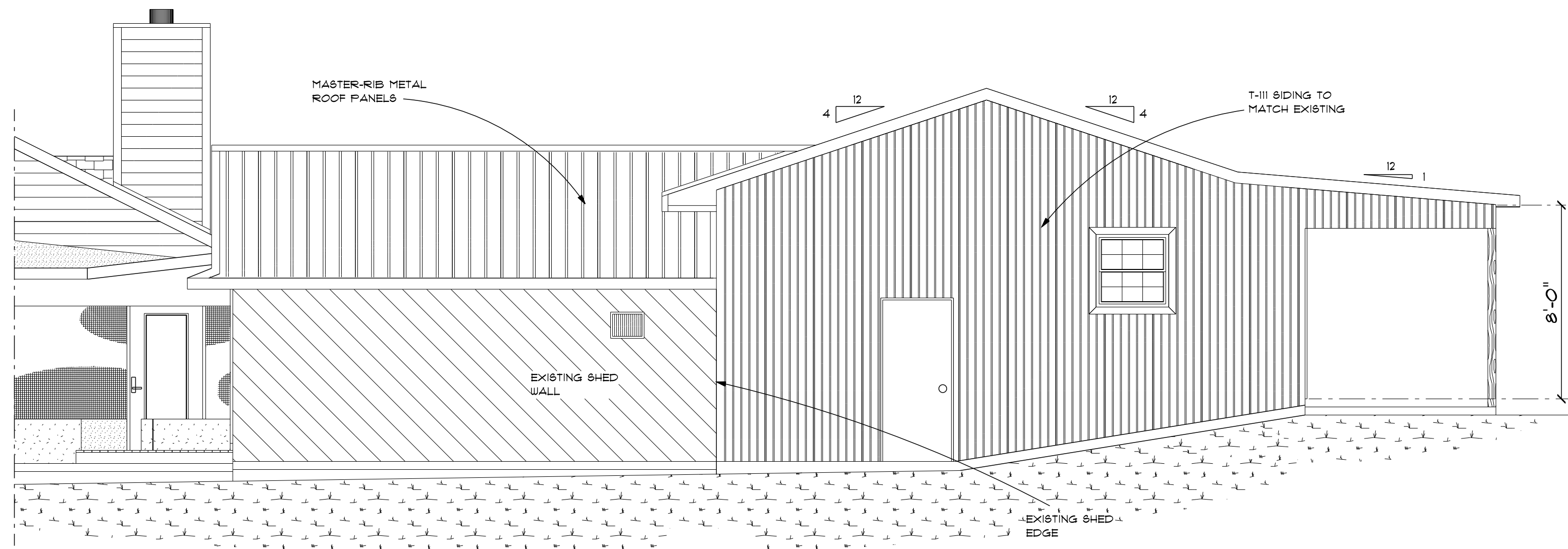
GRIES ENGINEERING, INC.
 715 BALMORAL CIRCLE
 LEESBURG, FL 34748
 OFF: (352) 787-6161
 FLORIDA P.E. LICENSE # 33570 FAX: (352) 328-2931

FLOOR PLAN, DETAILS & NOTES

IN-LAW QUARTERS ADDITION FOR:
 SAMUEL & ANNETTE RECTOR
 304 N. VALLEY RD.
 FRUITLAND PARK, FL 34731

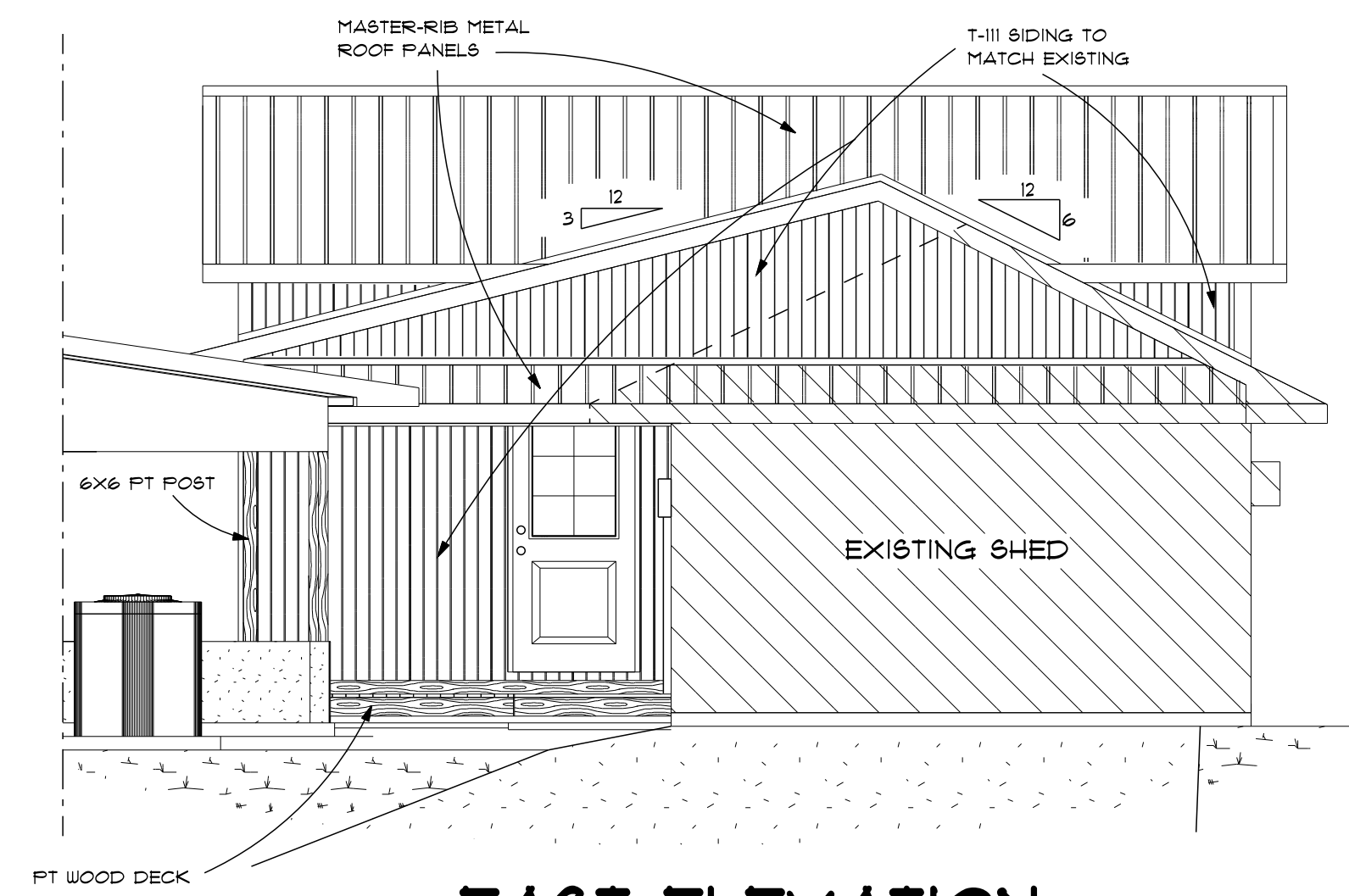
DRAWN BY
 S.C.R.
 CHECKED BY
 J. GRIES
 DATE
 7 / 16 / 20
 SCALE
 AS SHOWN
 PROJECT NO.
 * 3581

SHEET
B-1



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

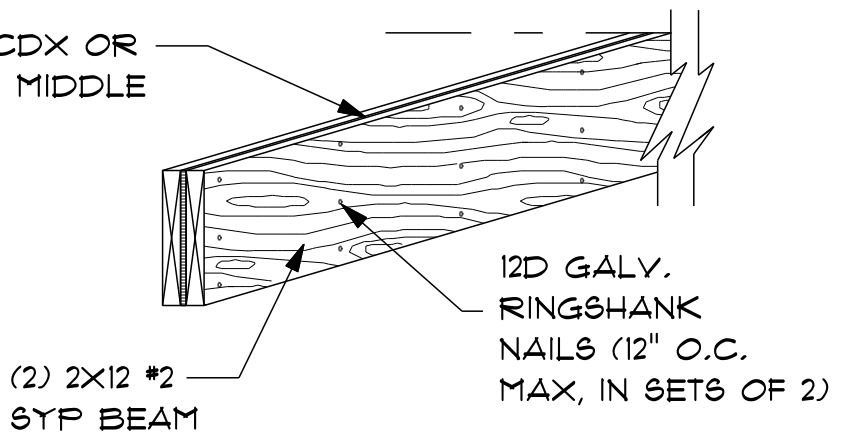


EAST ELEVATION

SCALE: 1/4" = 1'-0"

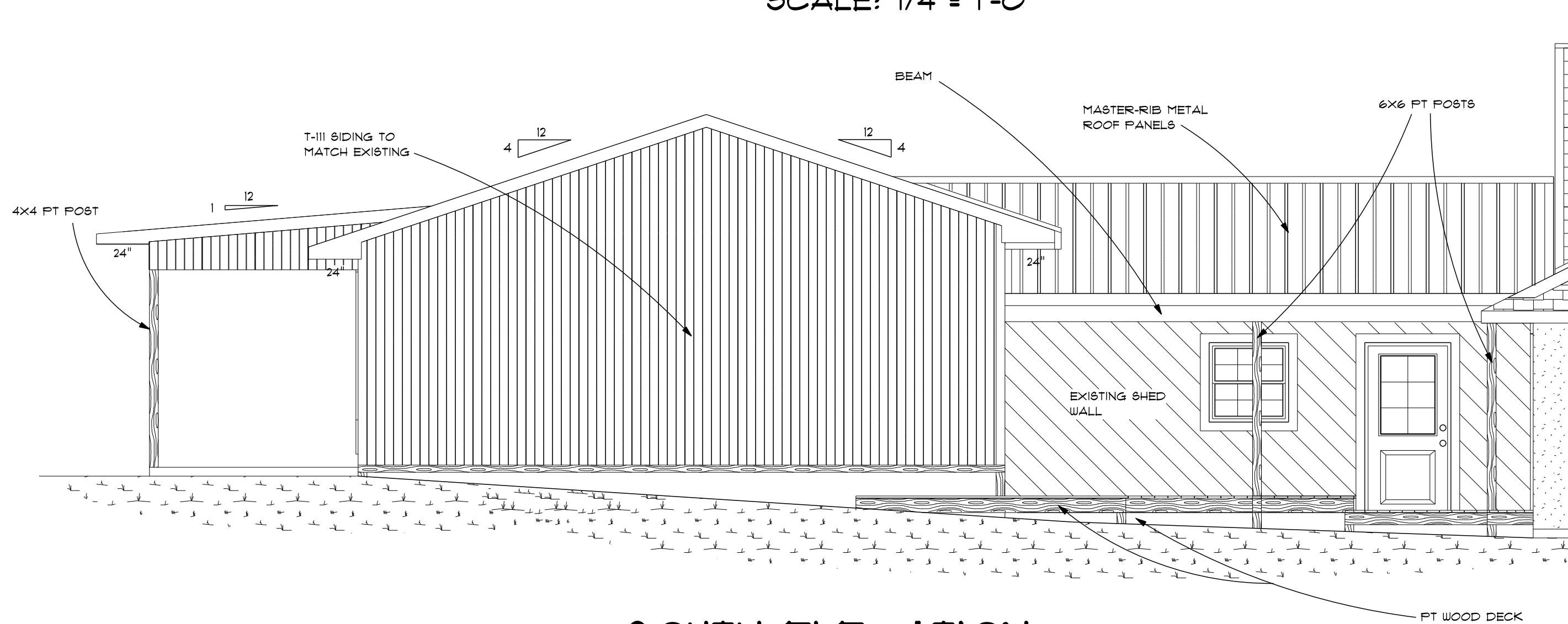
SMALL BEAM DETAIL

SCALE: 3/4" = 1'-0"



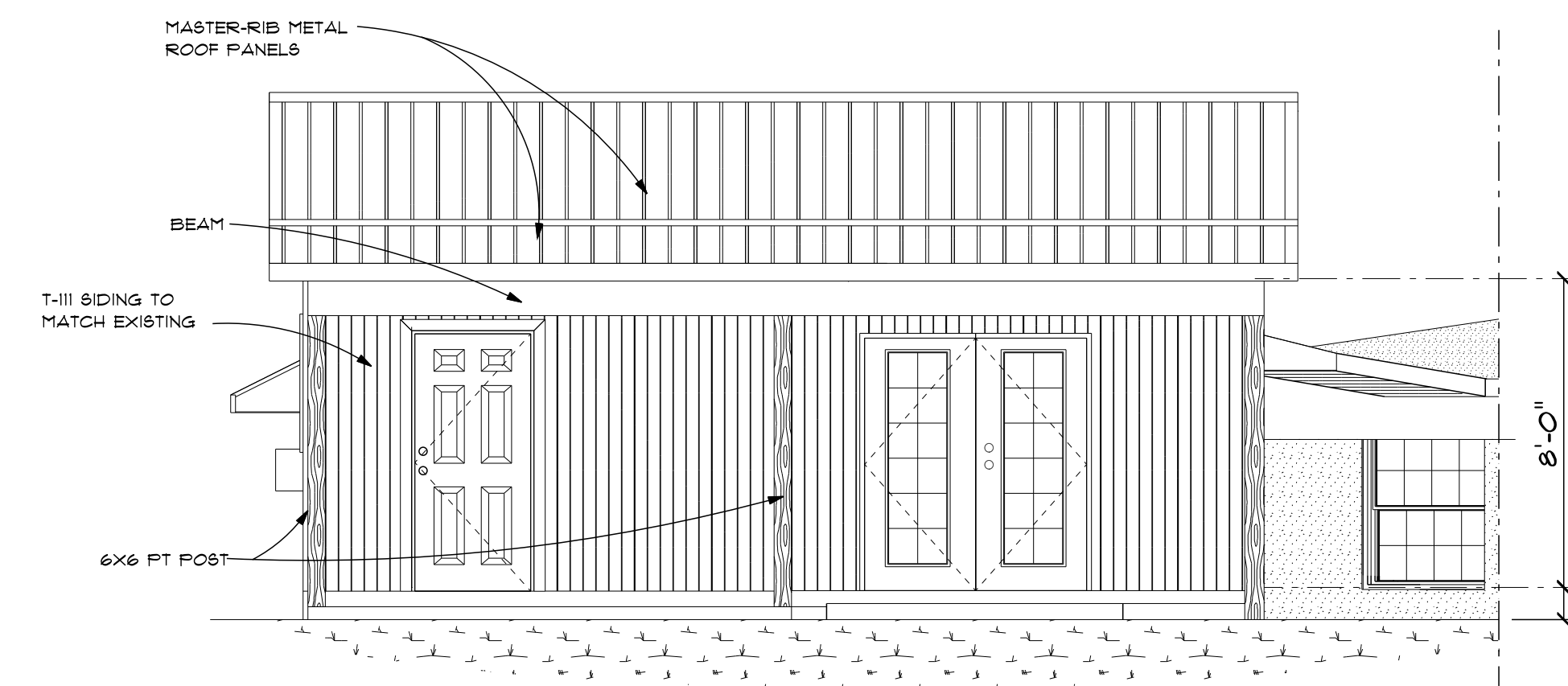
LARGE BEAM DETAIL

SCALE: 3/4" = 1'-0"



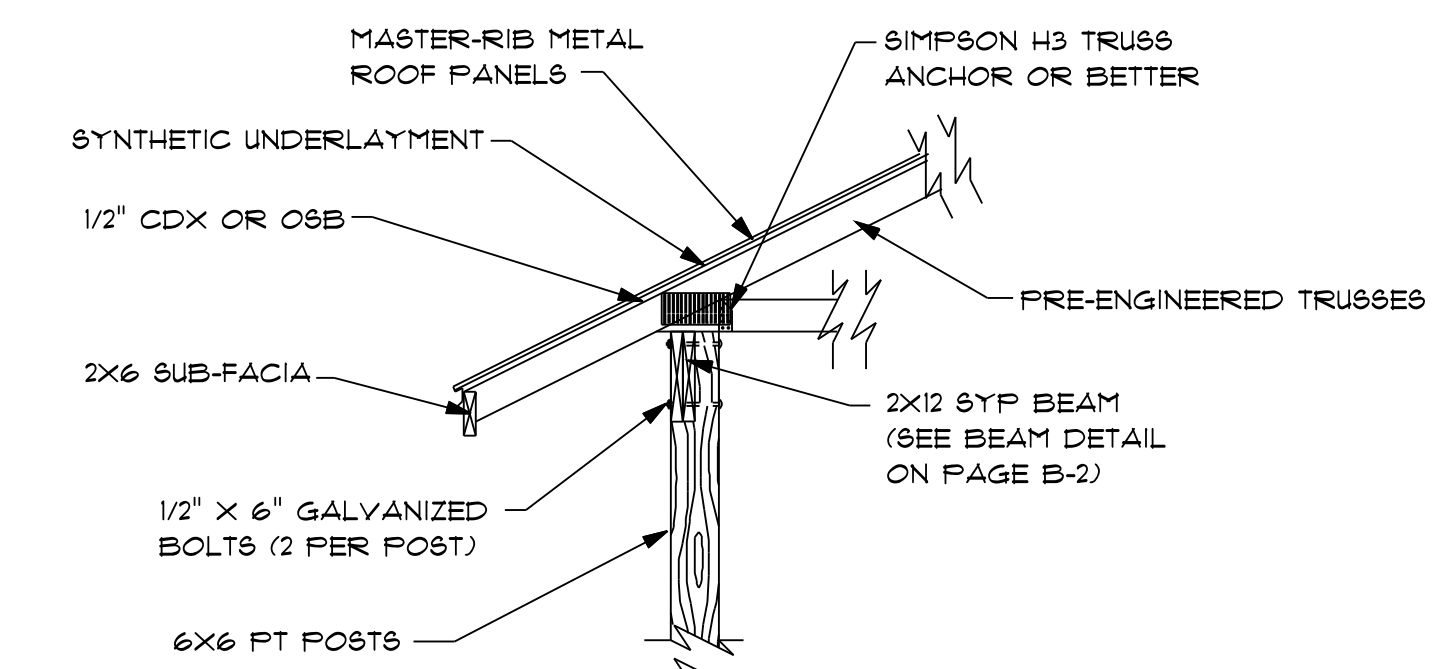
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

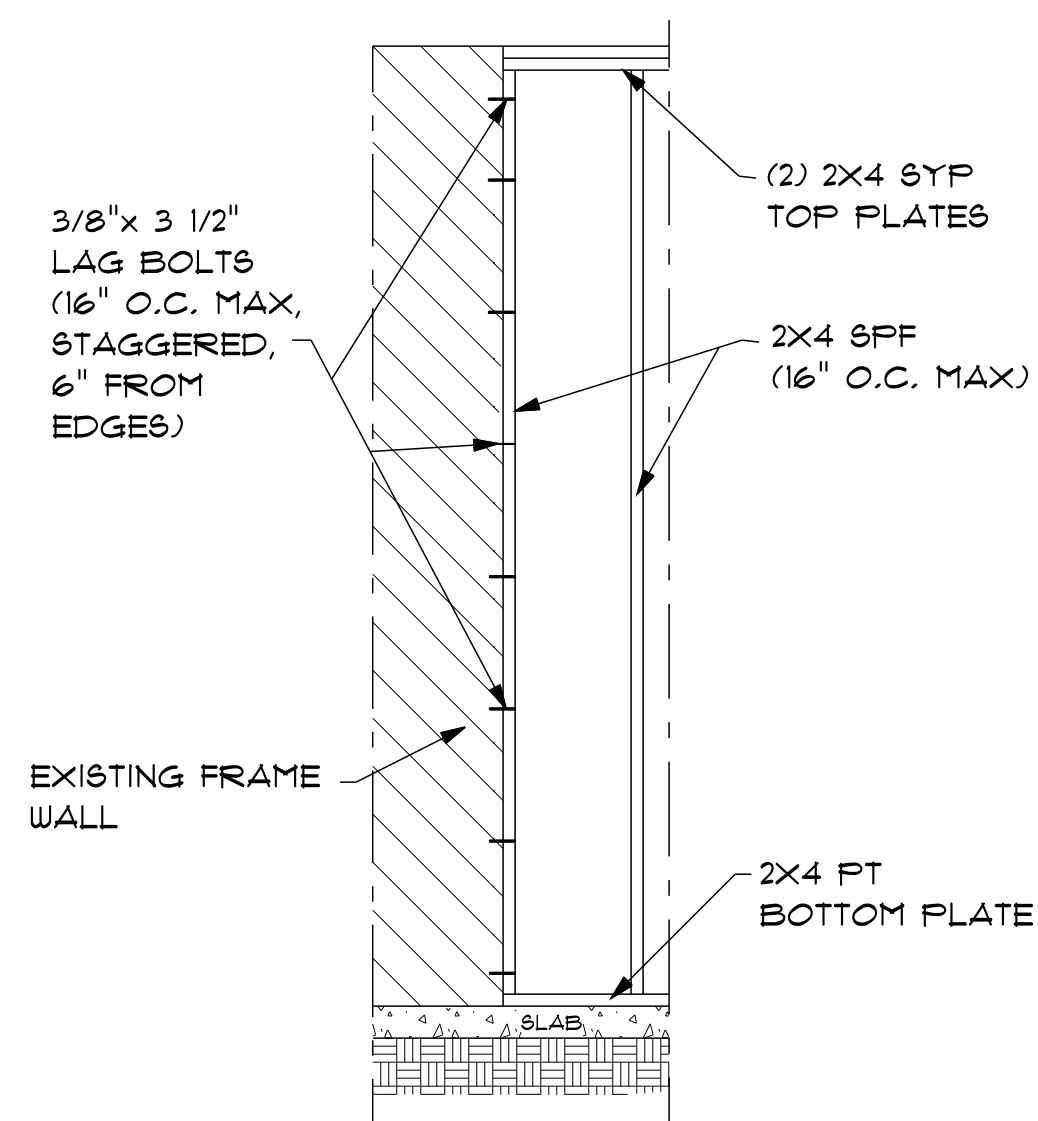


TYPICAL POST & BEAM DETAIL

SCALE: 1/2" = 1'-0"

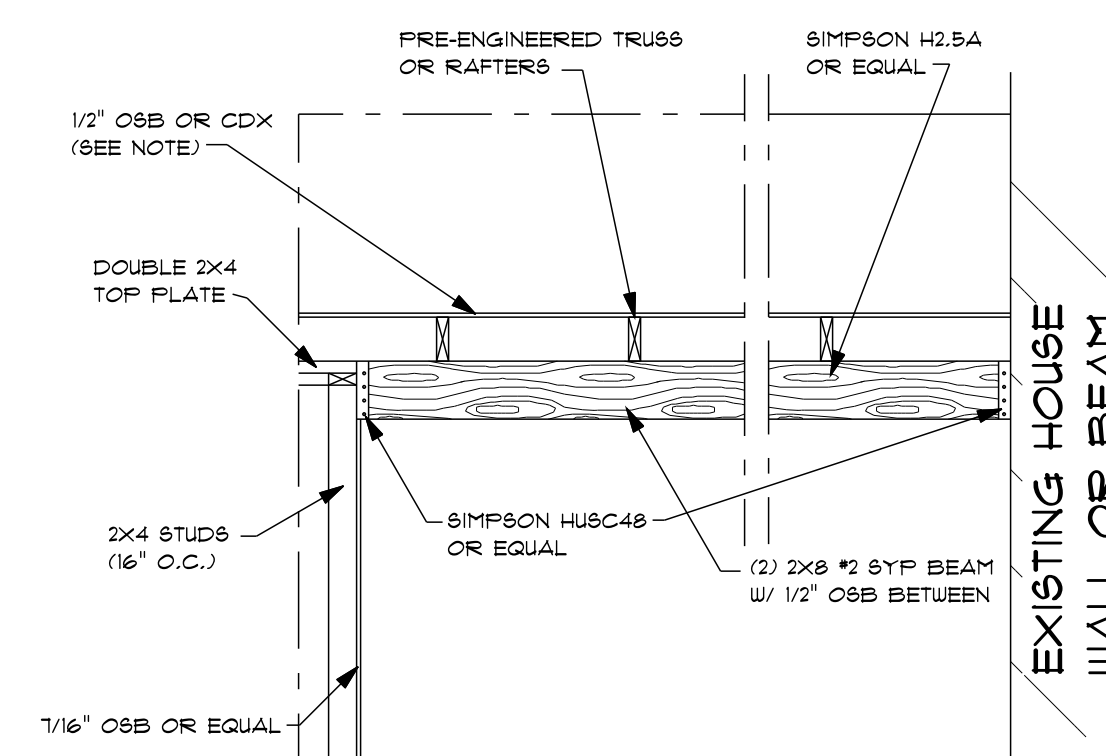
DESIGN NOTES:

- ~ THE EXISTING GAME ROOM/ WORKSHOP IS 14'X20'. ***revised from 14'x30' on initial submittal**
- ~ ALL EXPOSED WOOD FRAMING MATERIALS WILL BE MADE FROM GROUND CONTACT, PRESSURE TREATED WOOD.
- ~ EXISTING ROOF COVERING FOR SHED/ WORKSHOP WILL BE REMOVED SO THAT THE NEW METAL ROOF PANELS WILL BE ATTACHED OVER THE WHOLE STRUCTURE.
- ~ ELECTRIC SUPPLY TO THE NEW ADDITION WILL COME FROM THE EXTERIOR PANEL OF THE EXISTING HOUSE.
- ~ A MINI SPLIT HYAC SYSTEM WILL BE USED IN THIS NEW ADDITION.
- ~ NO ENERGY CALCS WILL BE REQUIRED WITH THE MINI SPLIT SYSTEM.
- ~ ROOF COVERING OVER BREEZWAY TO MATCH FINAL ROOFING MATERIALS USED ON ADDITION.



EXISTING FRAME WALL TIE-IN DETAIL

SCALE: 1/2" = 1'-0"



BREEZWAY BEAM TIE-IN DETAIL (TYP.)

SCALE: 1/2" = 1'-0"

THE STRUCTURAL SYSTEM FOR THIS BUILDING HAS BEEN REVIEWED FOR COMPLIANCE WITH CHAPTER 16 OF THE 2014 FLORIDA BUILDING CODE USING ASCE/SEI 1-10, 140 MPH, 3 SECOND GUST.
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REV	DESCRIPTION	DATE

GRIES ENGINEERING, INC.
 715 BALMORAL CIRCLE
 LEESBURG, FL 34748
 OFF: (352) 787-6161
 FLORIDA P.E. LICENSE # 33570 FAX: (352) 328-2931

PLAN NAME:
ELEVATIONS, DETAILS & NOTES

IN-LAW QUARTERS ADDITION FOR:
SAMUEL & ANNETTE RECTOR
 304 N. VALLEY RD.
 FRUITLAND PARK, FL 34731

DRAWN BY
 S.C.R.
 CHECKED BY
 J. GRIES
 DATE
 7 / 16 / 20
 SCALE
 AS SHOWN
 PROJECT NO.
 # 35871

SHEET

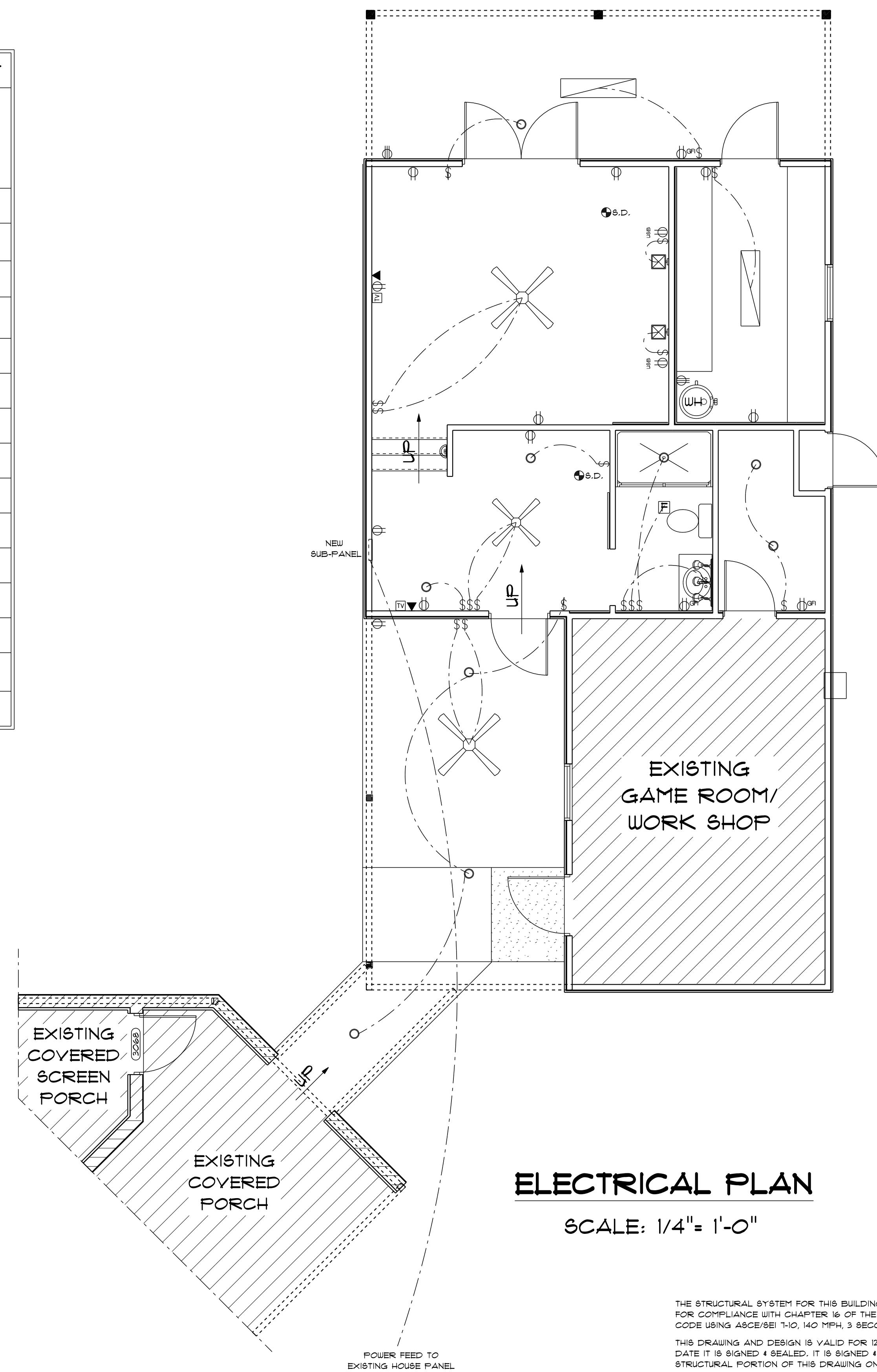
B-2

ELECTRICAL LEGEND

SYMBOL	ELECTRICAL	COUNT
	CEILING FAN/ LIGHT COMBO	3
	6" RECESSED LED LIGHT	1
	4' WRAPAROUND LED LIGHT	2
	WALL SCONCE LIGHT	2
	EXHAUST FAN	1
	ELECTRICAL SUB- PANEL	1
	LAN CONNECTION	2
	TV OUTLET	2
	110V DUPLEX OUTLET	10
	110V DUPLEX OUTLET (WITH USB PORTS)	2
	220V DISCONNECT	2
	110V DUPLEX OUTLET (GFCI PROTECTED)	2
	SMOKE/ CO2 DETECTOR	2
	SINGLE POLE SWITCH	17
	VANITY WALL LIGHT	1
	LED STAIR LIGHTING	1

ELECTRICAL PLAN NOTES:

- ~ NEW ELECTRIC SERVICE SUB-PANEL WILL HAVE A MAXIMUM AMPERAGE LOAD OF 80 AMPS.
- ~ NEW ELECTRIC SERVICE SUB-PANEL WILL BE A 10 CIRCUIT MAX SUB-PANEL.



ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

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REV	DESCRIPTION	DATE

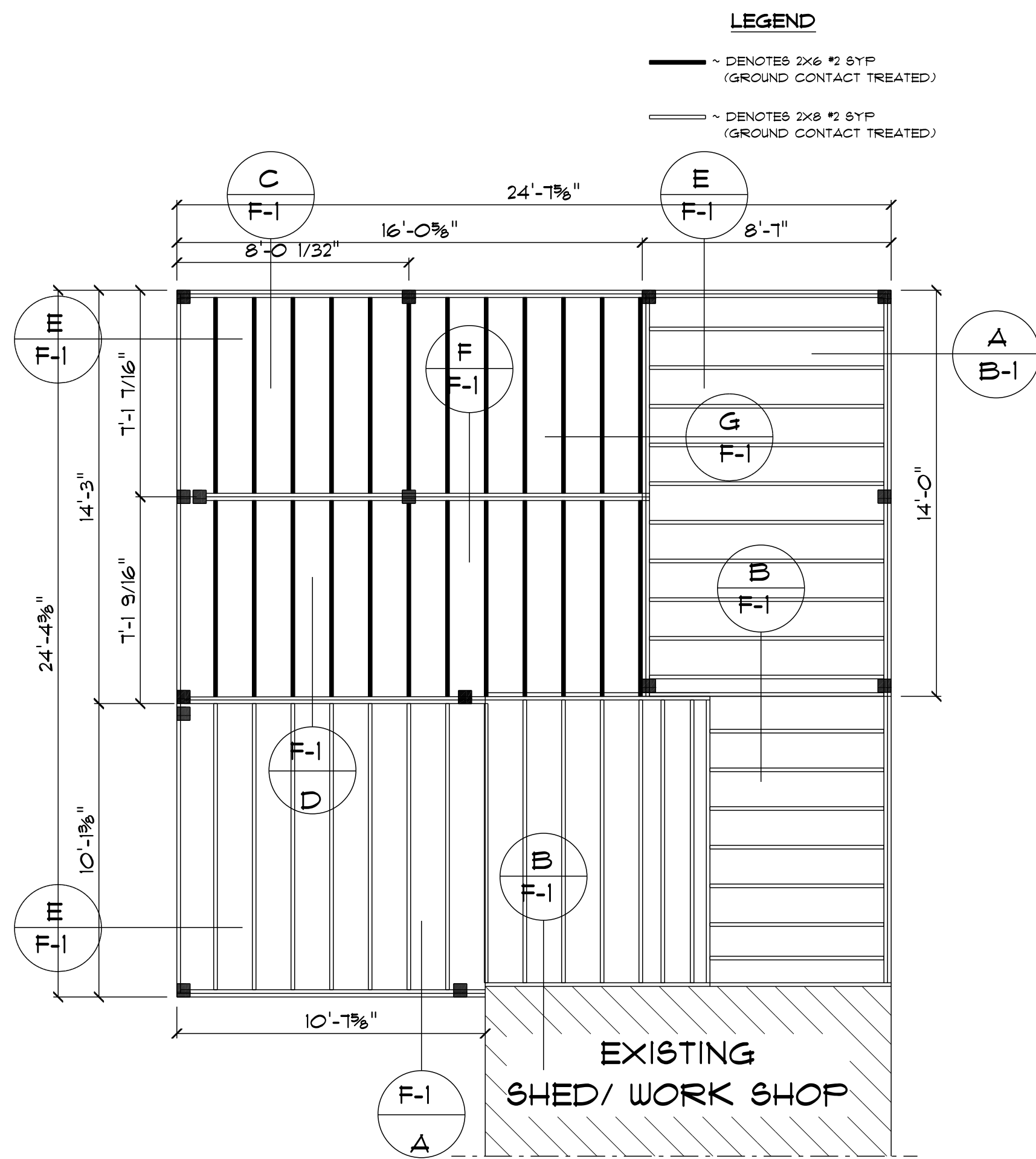
GRIES ENGINEERING, INC.
715 BALMORAL CIRCLE
LEESBURG, FL 34748
OFF: (352) 787-6161
FLORIDA P.E. LICENSE # 33570 FAX: (352) 328-2931

PLAN NAME:
ELECTRICAL PLAN,

IN-LAW QUARTERS ADDITION FOR:
SAMUEL & ANNETTE RECTOR
304 N. VALLEY RD.
FRUITLAND PARK, FL 34731

DRAWN BY
S.C.R.
CHECKED BY
J. GRIES
DATE
7 / 16 / 20
SCALE
AS SHOWN
PROJECT NO.
3581

SHEET
E-1



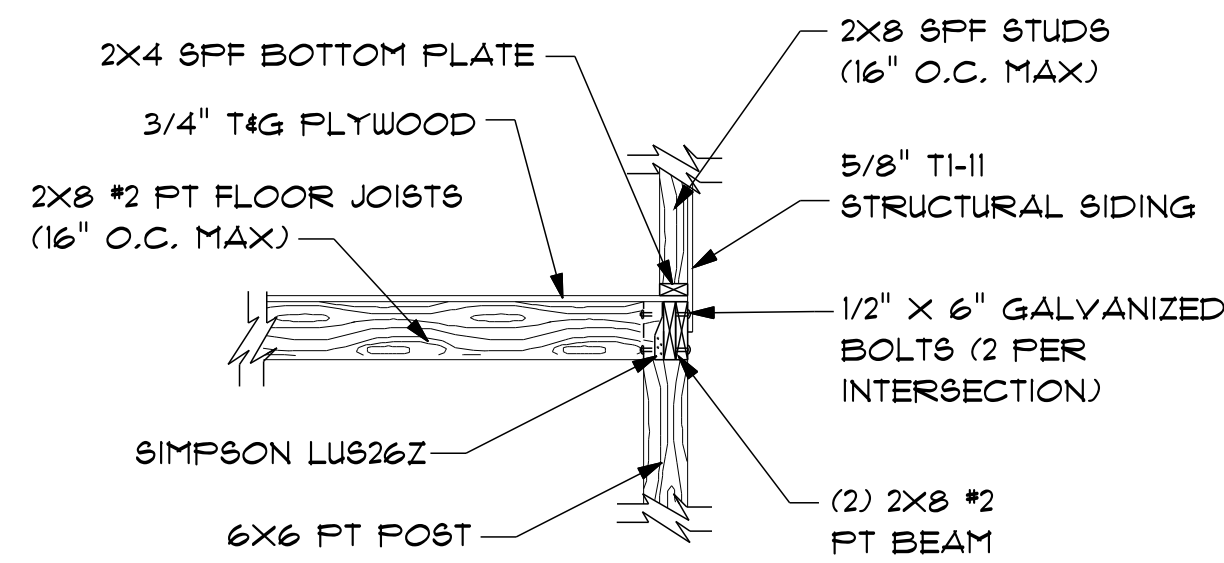
FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

FLOOR FRAMING DESIGN NOTES:

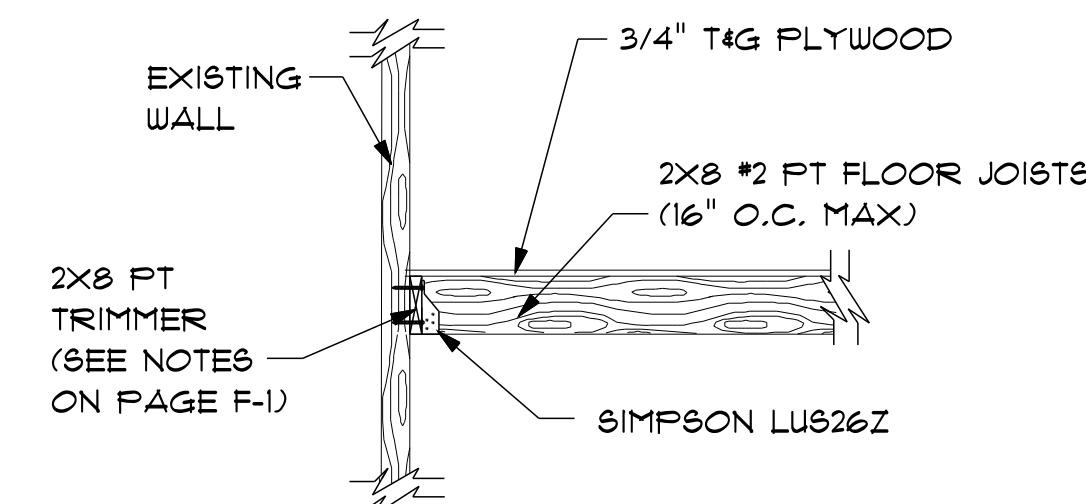
- ~ ALL FLOOR/ DECK FRAMING MATERIALS WILL BE #2, SYP.
- ~ ALL FLOOR/ DECK FRAMING MATERIALS WILL BE GROUND CONTACT PRESSURE TREATED WOOD.
- ~ ALL FLOOR/ DECK FRAMING SUPPORT BRACKETS WILL BE SIMPSON STYLE Z MAX TREATED BRACKETS.
- ~ ALL FASTENERS FOR ALL FLOOR SYSTEMS WILL BE GALVANIZED OR BETTER.
- ~ ALL FLOOR SUPPORT POST WILL BE 6X6 PT POST (GROUND CONTACT TREATED) MINIMUM UNLESS OTHERWISE SPECIFIED.
- ~ THE FLOOR SYSTEM TO BE USED IN THE STORAGE, BEDROOM AND OFFICE AREAS OF THE ADDITION WILL BE 3/4" T&G ADVANTECH OR EQUAL.
- ~ 3/4" T&G ADVANTECH WILL BE GLUED TO THE FLOOR FRMAING SYSTEM USING A CONSTRUCTION BASED ADHESIVE GLUE.
- ~ 3/4" T&G ADVANTECH WILL BE FASTENED TO THE FLOOR FRAMING SYSTEM USING 8D, GALVANIZED, RINGSHANK NAILS OR 2 1/2" DECK SCREWS (MINIMUM).
- ~ 3/4" T&G ADVANTECH WILL HAVE A FASTENING PATTERN AS FOLLOWS: 4" O.C. EDGES, 8" O.C. INTERMEDIATE.
- ~ THE TRIMMER REFERRED TO IN DETAIL B WILL BE FASTENED TO THE EXISTING SHED WALLS USING 1/2"X4" MINIMUM GALVANIZED LAG BOLTS (1 PER STUD INTERSECTION, STAGGERED).

LEGEND
 ~ DENOTES 2X6 #2 SYP (GROUND CONTACT TREATED)
 ~ DENOTES 2X8 #2 SYP (GROUND CONTACT TREATED)



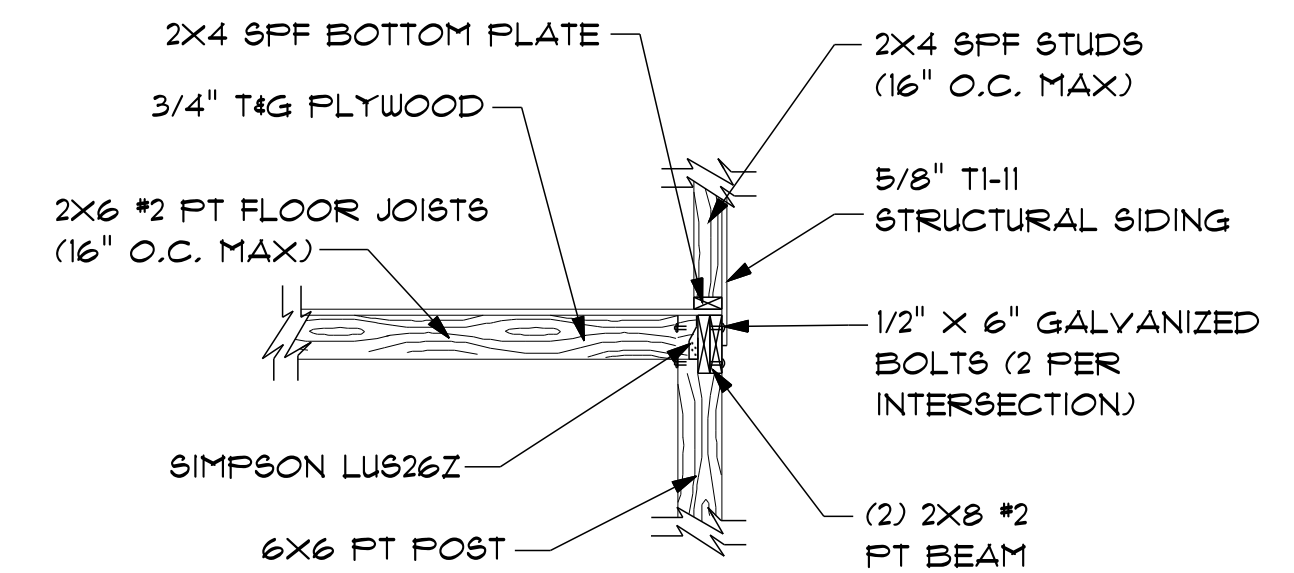
DETAIL A

SCALE: 1/2" = 1'-0"



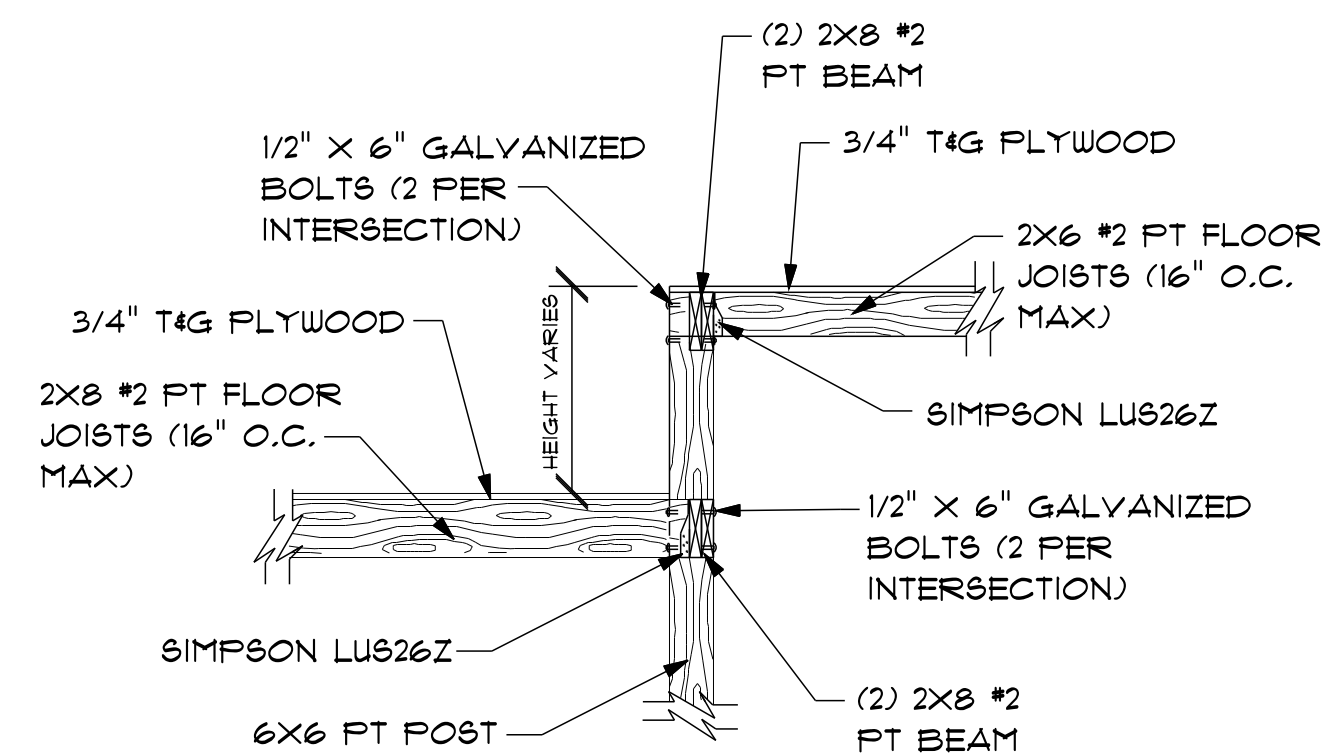
DETAIL B

SCALE: 1/2" = 1'-0"



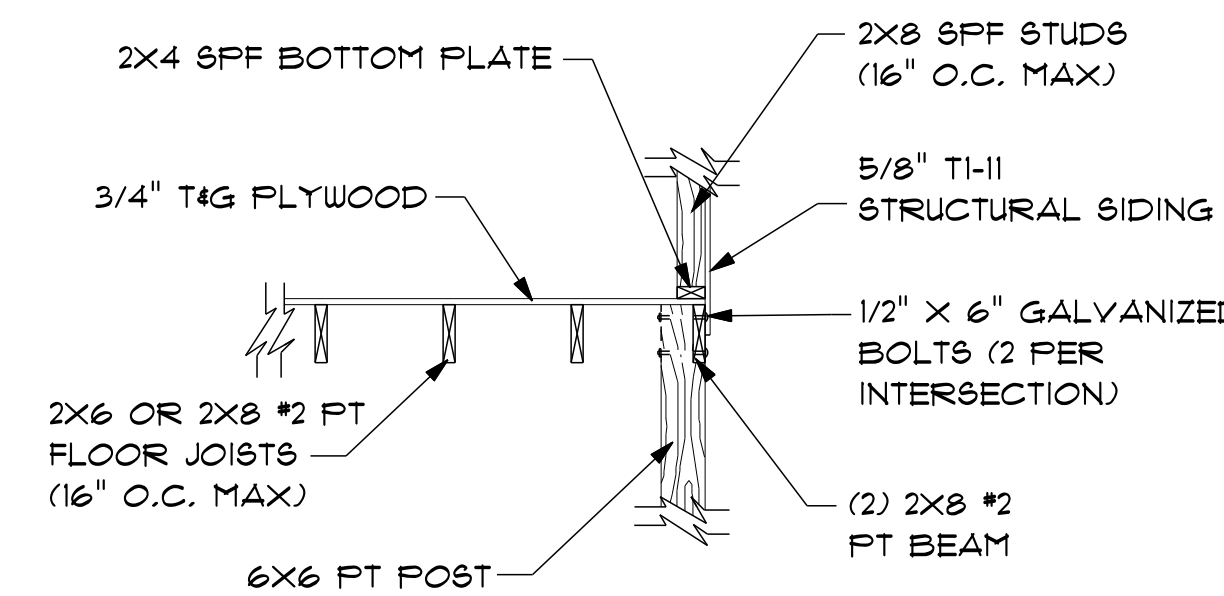
DETAIL C

SCALE: 1/2" = 1'-0"



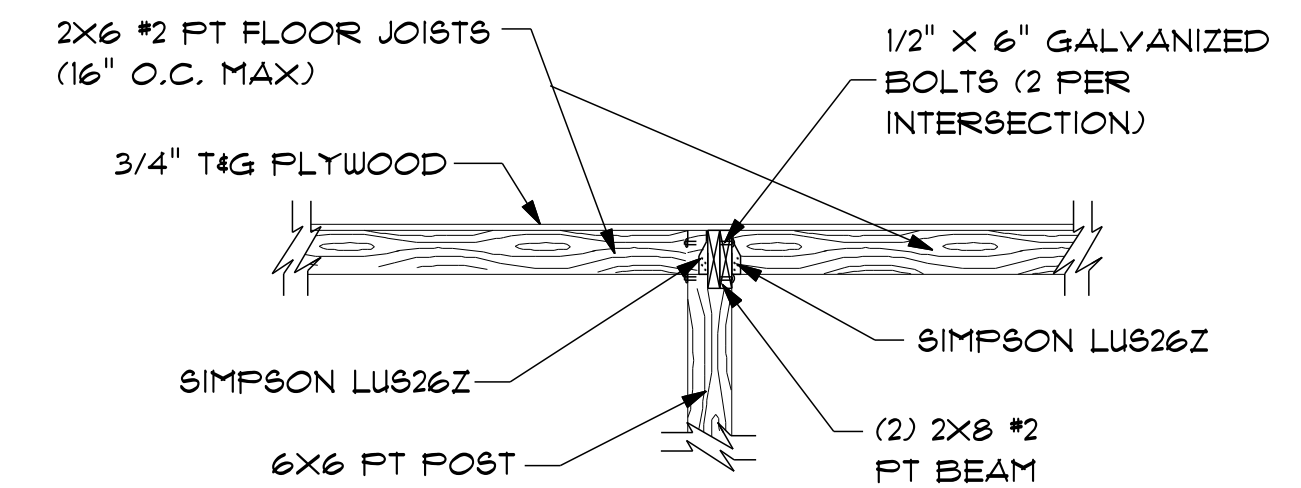
DETAIL D

SCALE: 1/2" = 1'-0"



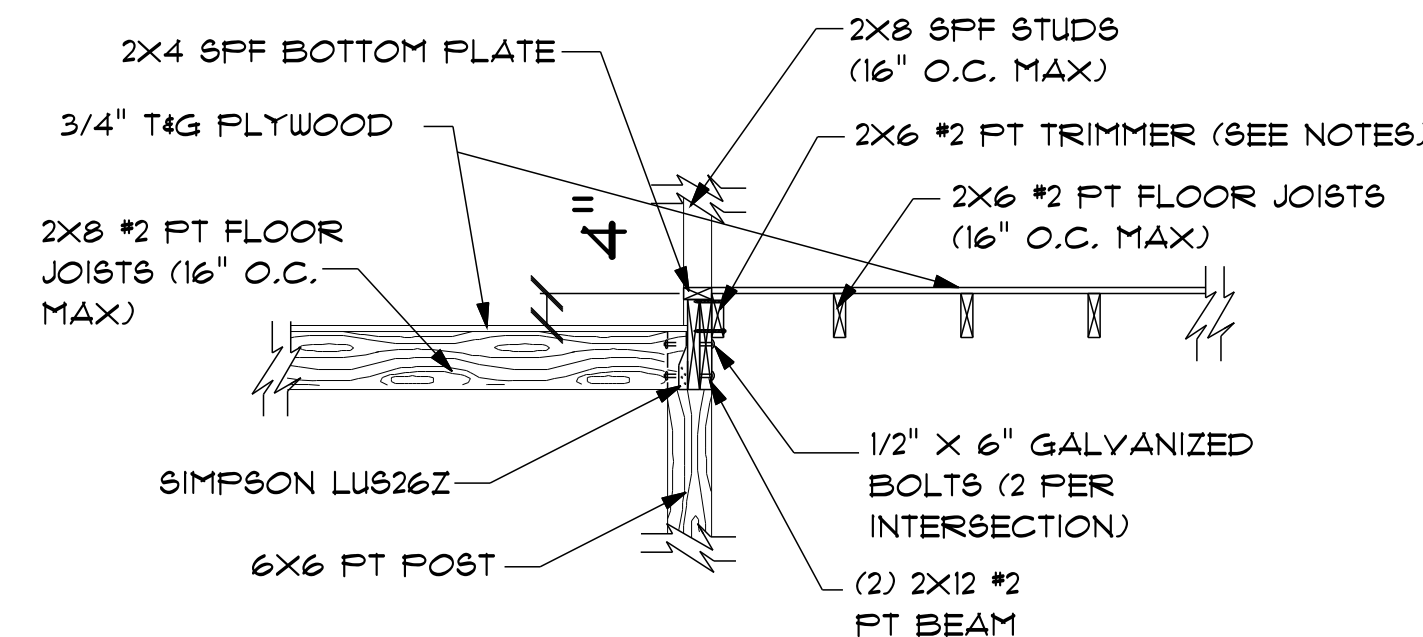
DETAIL E

SCALE: 1/2" = 1'-0"



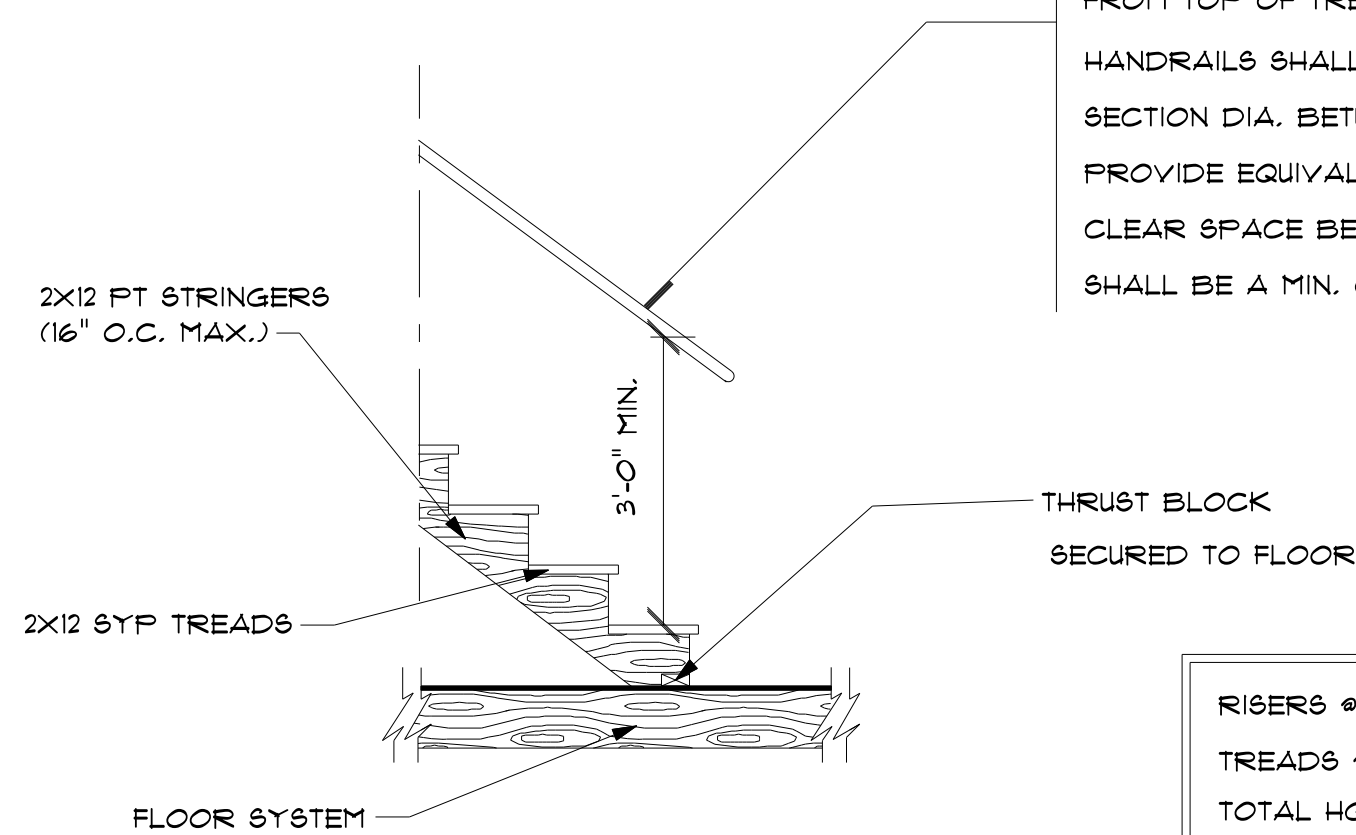
DETAIL F

SCALE: 1/2" = 1'-0"



DETAIL G

SCALE: 1/2" = 1'-0"

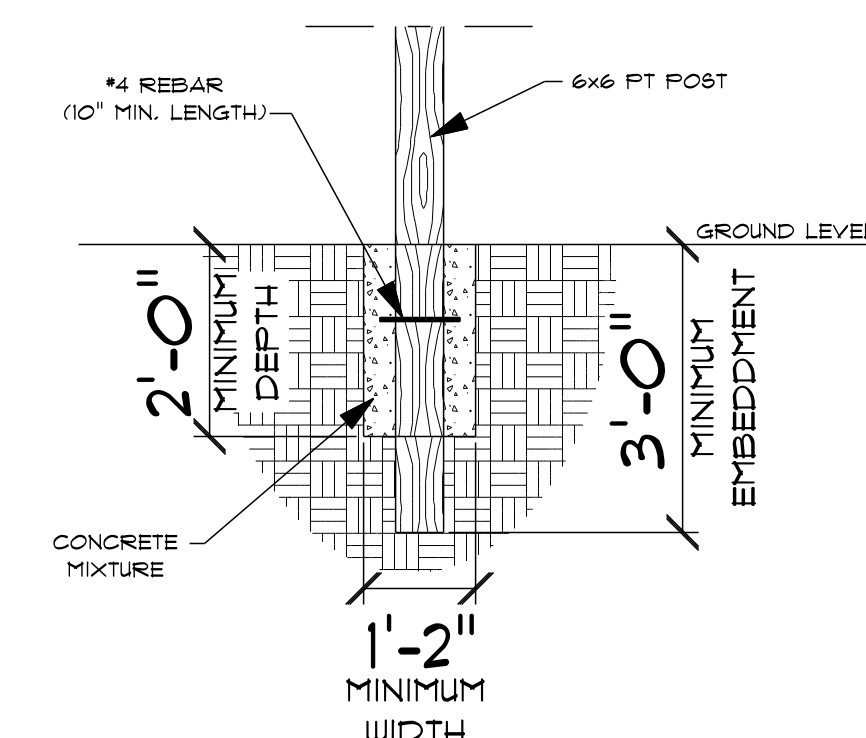


TYPICAL STAIR DETAIL

SCALE: NO SCALE

RISERS = 7 1/4"
 TREADS = 11 1/4"
 TOTAL HGT = VARIES

HANDRAIL - SHALL HAVE MIN & MAX HEIGHTS FROM TOP OF TREAD @ NOSING OF 36" & 42".
 HANDRAILS SHALL HAVE EITHER A CROSS SECTION DIA. BETWEEN 1-1/4" TO 2" OR SHALL PROVIDE EQUIVALENT GRASPABILITY.
 CLEAR SPACE BETWEEN HANDRAIL & WALL SHALL BE A MIN. OF 1-1/2" INCHES.



TYPICAL POST EMBEDMENT DETAIL

SCALE: 1/2" = 1'-0"

THE STRUCTURAL SYSTEM FOR THIS BUILDING HAS BEEN REVIEWED FOR COMPLIANCE WITH CHAPTER 16 OF THE 2014 FLORIDA BUILDING CODE USING ASCE/SEI 110, 140 MPH, 3 SECOND GUST.
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REV	DESCRIPTION	DATE

GRIES ENGINEERING, INC.
 715 BALMORAL CIRCLE
 LEESBURG, FL 34748
 OFF: (352) 787-6161
 FLORIDA P.E. LICENSE # 33570 FAX: (352) 328-2931

PLAN NAME:
**FLOOR FRAMING PLAN,
 DETAILS & NOTES**

IN-LAW QUARTERS ADDITION FOR:
 SAMUEL & ANNETTE RECTOR
 304 N. VALLEY RD.
 FRUITLAND PARK, FL 34731

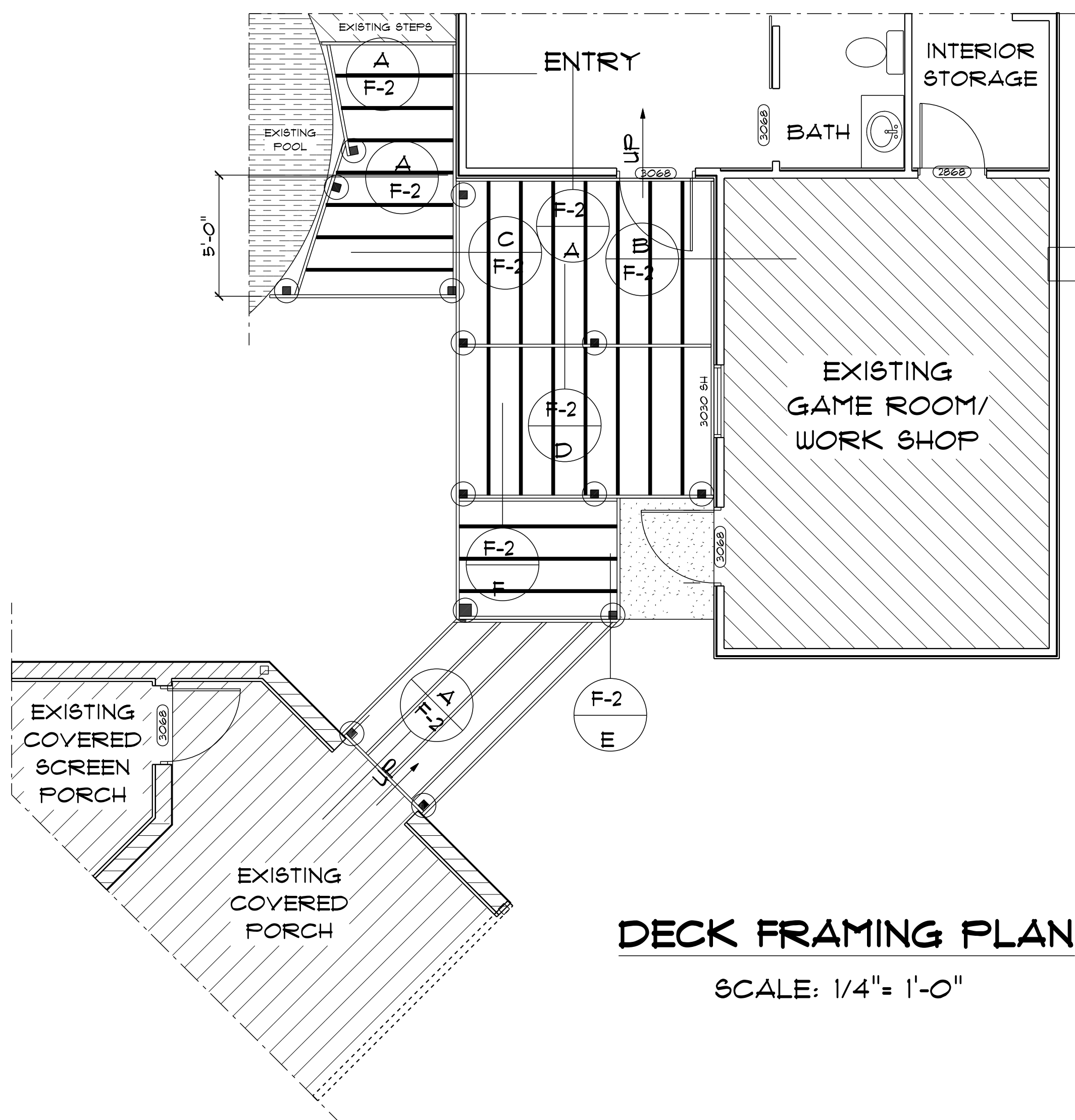
DRAWN BY
 S.C.R.
 CHECKED BY
 J. GRIES
 DATE
 7 / 16 / 20
 SCALE
 AS SHOWN
 PROJECT NO.
 # 35871

SHEET

F-1

LEGEND

- ~ DENOTES 2X8 PT
- ~ DENOTES 2X6 PT

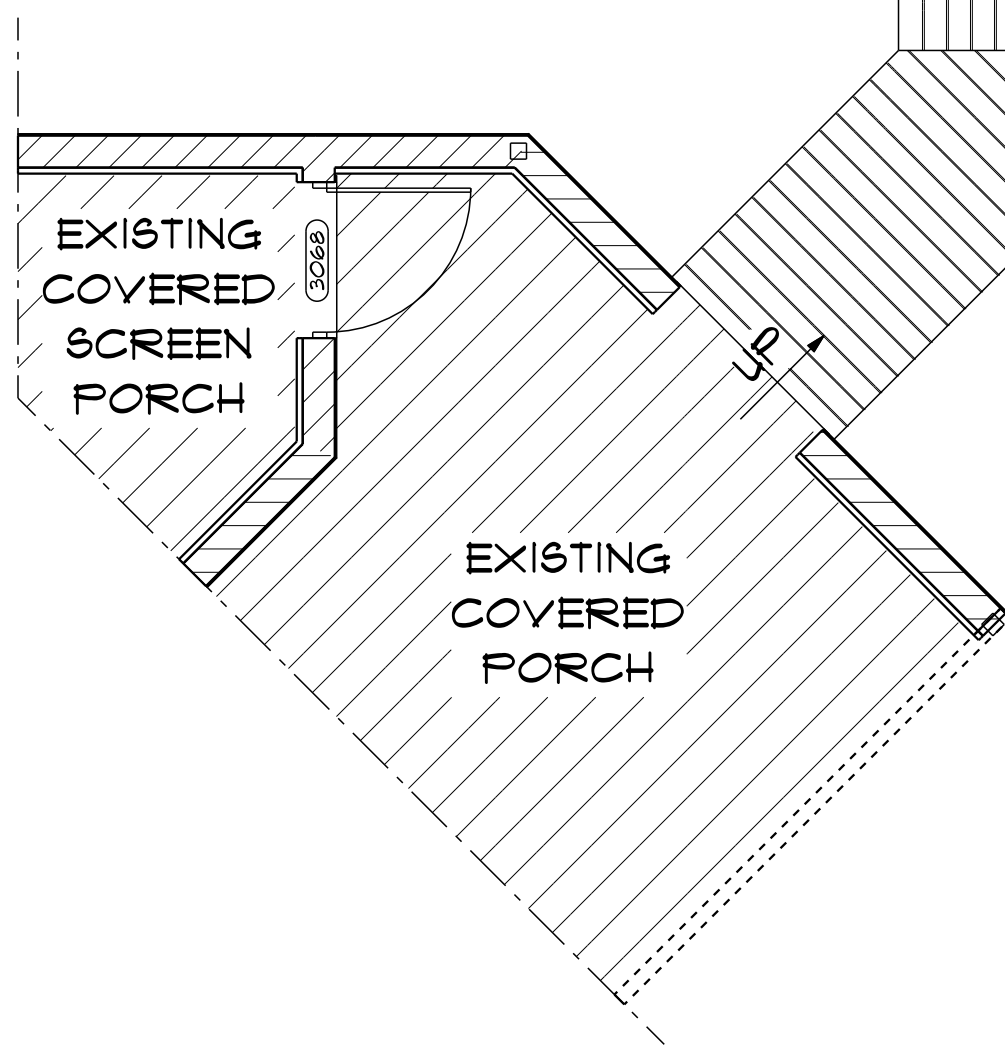


DECK FRAMING PLAN

SCALE: 1/4" = 1'-0"

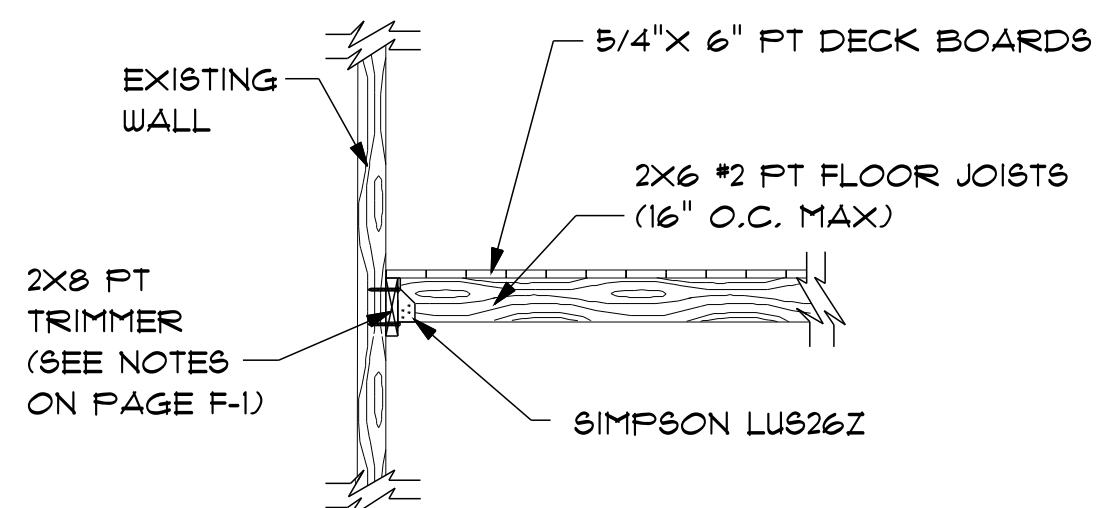
DECK FRAMING DESIGN NOTES:

- ~ ALL DECK SUPPORT POST WILL BE 4X4 PT POST (GROUND CONTACT TREATED) MINIMUM UNLESS OTHERWISE SPECIFIED.
- ~ ALL DECK FRAMING MATERIALS WILL BE 2X6 #2 SYP (GROUND CONTACT PRESSURE TREATED) OR EQUAL.
- ~ THE FLOOR SYSTEM TO BE USED IN THE DECK AREA WILL BE 5/4"X6" PT DECK BOARDS OR EQUAL.
- ~ DECK BOARDS WILL BE FASTENED TO THE DECK FRAMING SYSTEM USING 10D, GALVANIZED, RINGSHANK NAILS OR 2 1/2" DECK SCREWS (MINIMUM), 2 PER INTERSECTION.



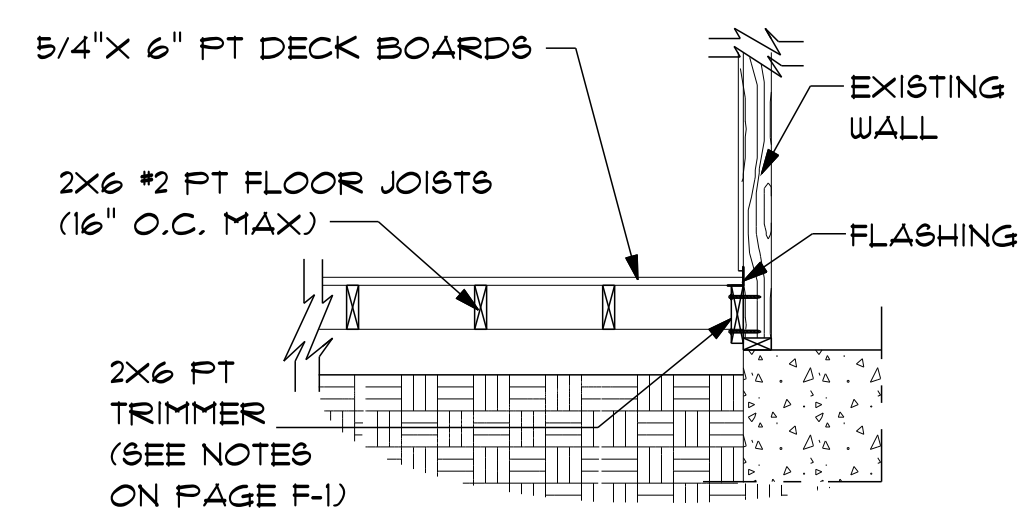
DECK LAYOUT PLAN

SCALE: 1/4" = 1'-0"



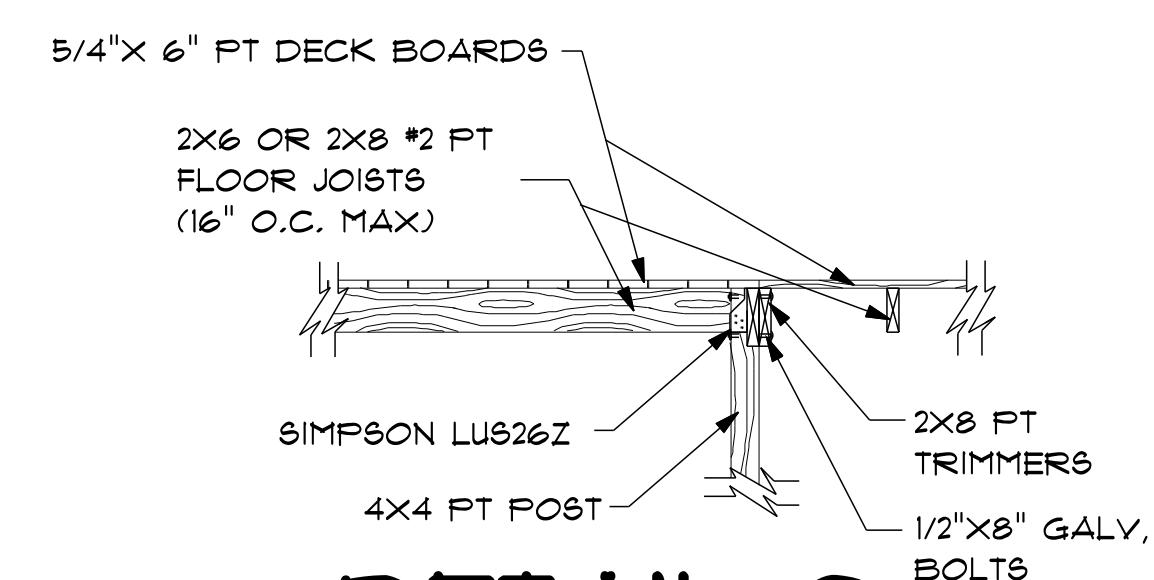
DETAIL A

SCALE: 1/2" = 1'-0"



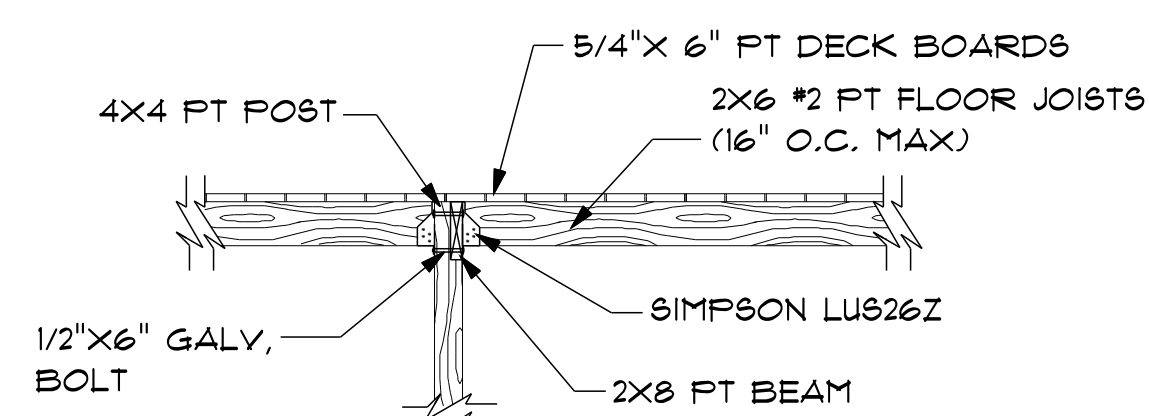
DETAIL B

SCALE: 1/2" = 1'-0"



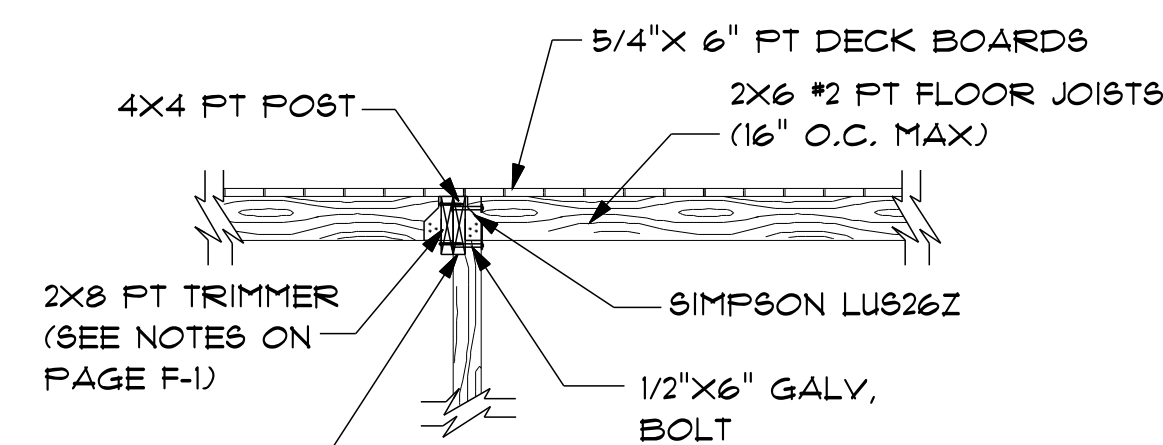
DETAIL C

SCALE: 1/2" = 1'-0"



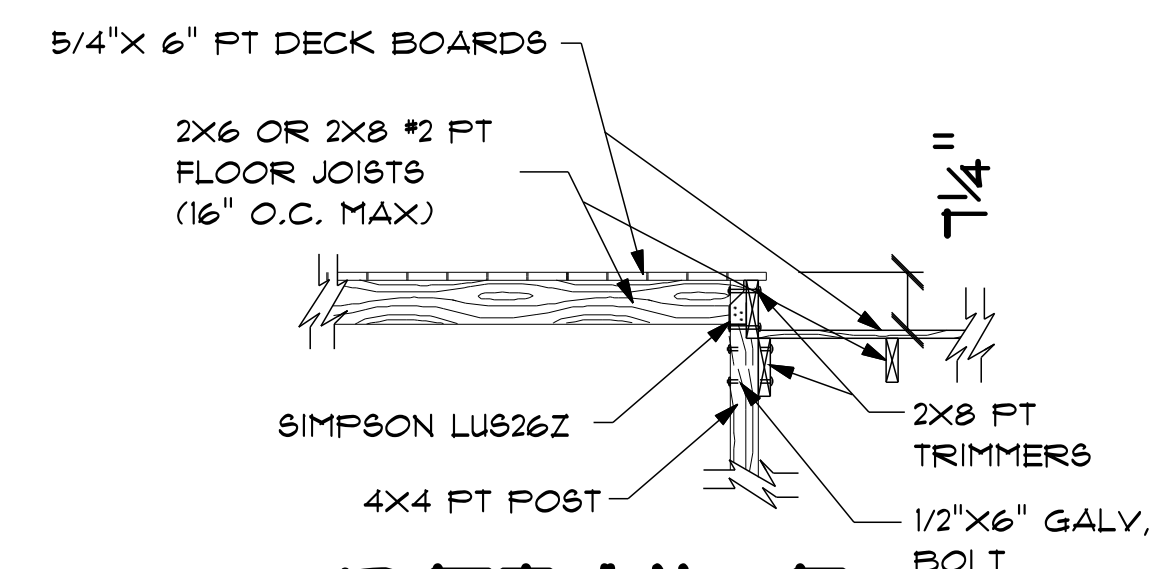
DETAIL D

SCALE: 1/2" = 1'-0"



DETAIL E

SCALE: 1/2" = 1'-0"



DETAIL F

SCALE: 1/2" = 1'-0"

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REV	DESCRIPTION	DATE

GRIES ENGINEERING, INC.
 715 BALMORAL CIRCLE
 LEESBURG, FL 34748
 OFF: (352) 787-6161
 FLORIDA P.E. LICENSE # 33570 FAX: (352) 326-2931

PLAN NAME:
**DECK FRAMING PLAN,
 DECK BOARD LAYOUT
 PLAN, DETAILS & NOTES**

IN-LAW QUARTERS ADDITION FOR:
SAMUEL & ANNETTE RECTOR
 304 N. VALLEY RD.
 FRUITLAND PARK, FL 34731

DRAWN BY
 S.C.R.
 CHECKED BY
 J. GRIES
 DATE
 7 / 16 / 20
 SCALE
 AS SHOWN
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 # 35871

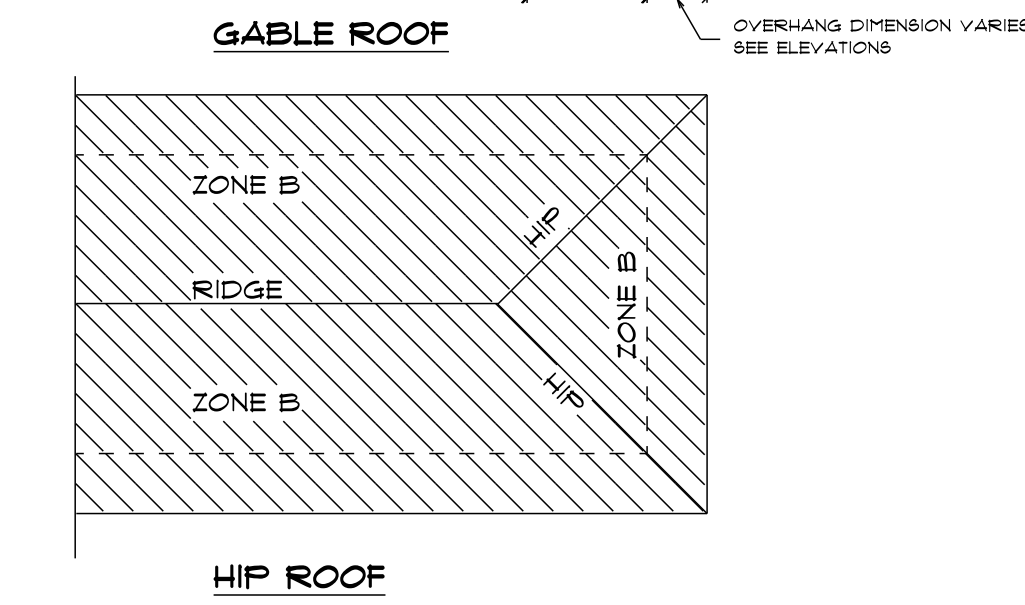
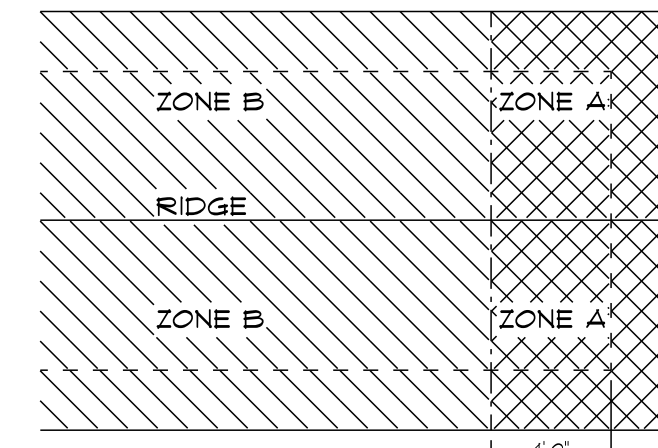
SHEET
F-2

WALL SHEATHING FASTENING SCHEDULE			
ZONE	NAILS	PANEL LOCATION	INCHES O.C.
A	8D RINGSHANK	PANEL EDGES	6"
		PANEL FIELD	12"
B	8D RINGSHANK	PANEL EDGES	6"
		PANEL FIELD	12"

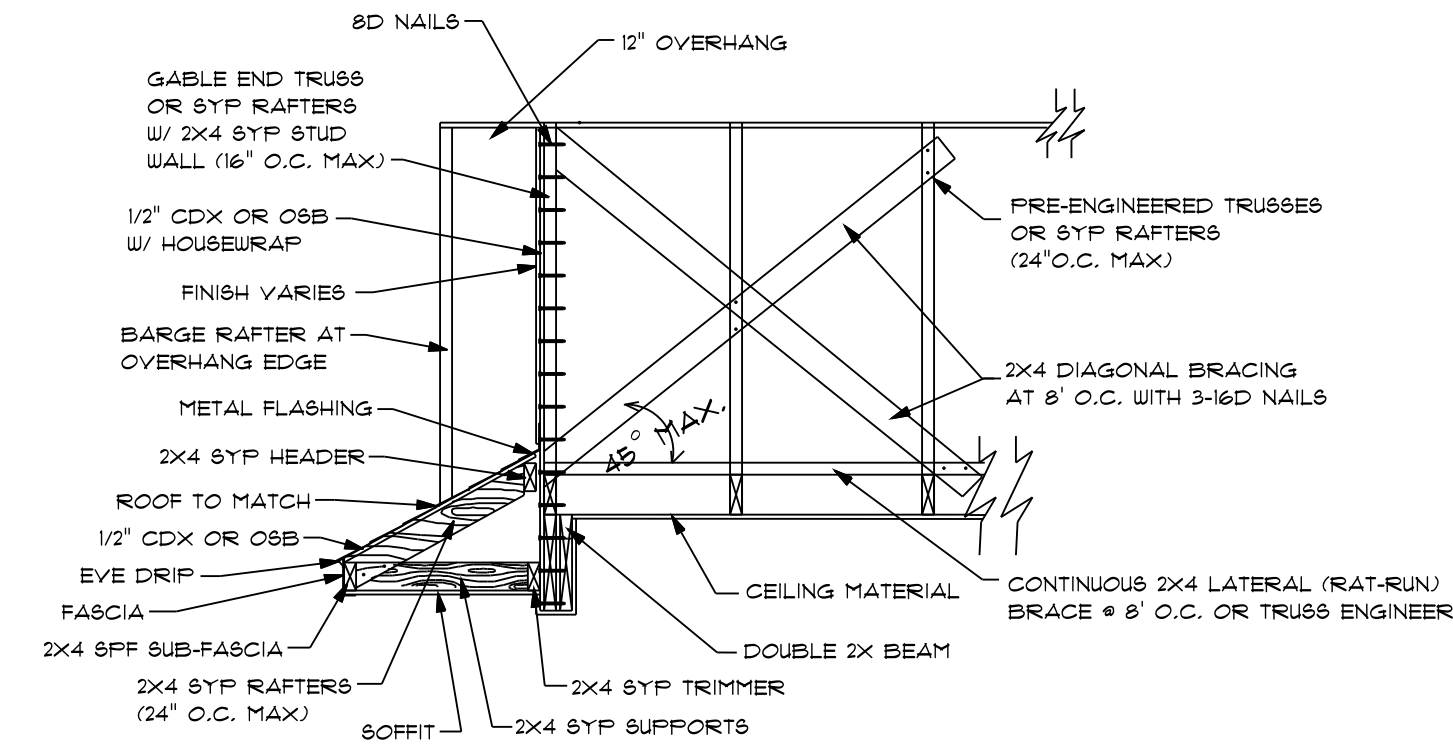
WALL SHEATHING TABLE NOTES:
 ~ ZONE A IS FOR WALLS UP TO 8'-0" IN HEIGHT.
 ~ ZONE B IS FOR WALLS FOR ABOVE 8'-0" IN HEIGHT.

ROOF SHEATHING FASTENING SCHEDULE			
ZONE	NAILS	PANEL LOCATION	INCHES O.C.
A	8D RINGSHANK	PANEL EDGES	6"
		PANEL FIELD	6"
B	8D RINGSHANK	PANEL EDGES	6"
		PANEL FIELD	12"

ROOF SHEATHING TABLE NOTES:
 ~ SEE DIAGRAM TO THE RIGHT FOR ZONE LOCATIONS.



ROOF SHEATHING FASTENING PLAN

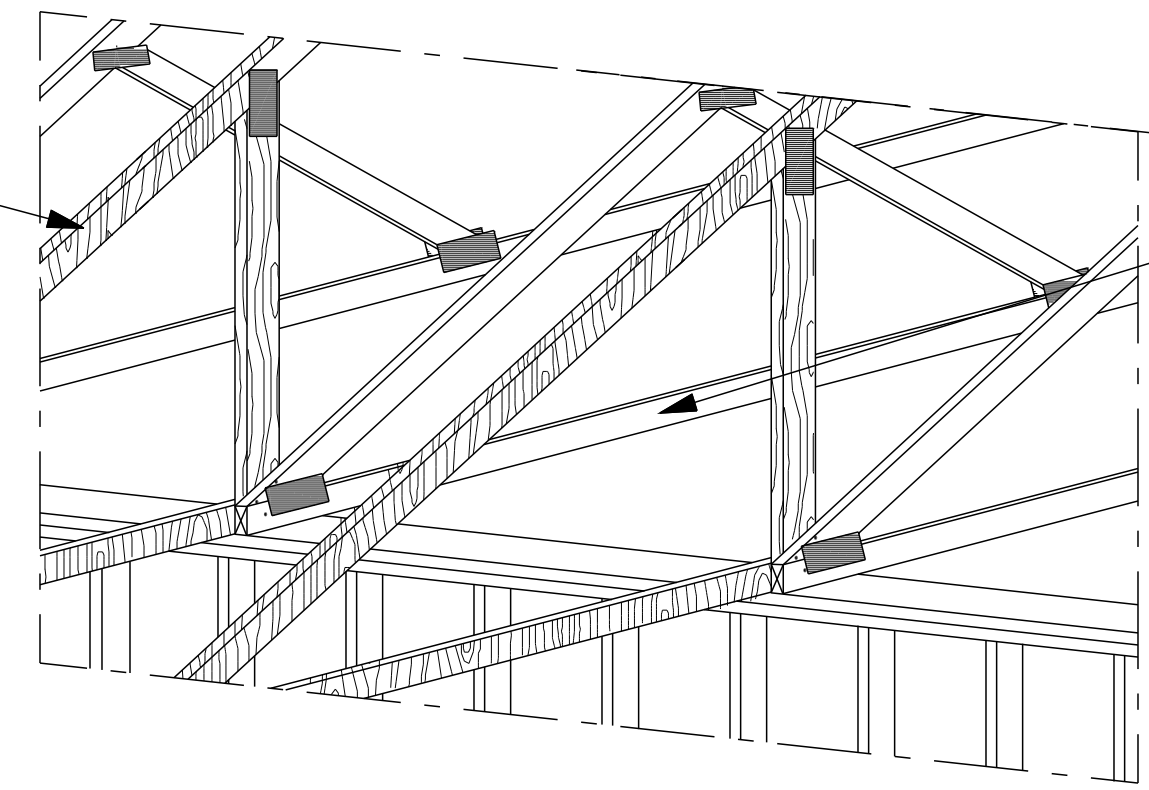


DETAIL NOTES:
 ~ 2x4 SYP RAFTERS WILL BE NAILED TO GABLE WALL USING 12D MINIMUM NAILS (2 NAILS PER UPRIGHT OR 16" O.C. MAX).
 ~ 2x4 SYP RAFTERS WILL BE 24" O.C. MAX (NAILED TO HEADER USING 12D MINIMUM NAILS, 2 TOE NAILS PER BAY).
 ~ 2x4 SYP SUB-FASCIA WILL BE NAILED TO 2x4 SYP RAFTERS USING 12D MINIMUM NAILS (2 PER INTERSECTION).
 ~ 2x4 SYP TRIMMER WILL BE NAILED TO GABLE WALL USING 12D MINIMUM NAILS (2 PER INTERSECTION OR 16" O.C. MAX).
 ~ 2x4 SYP SUPPORTS WILL BE NAILED TO TRIMMER USING 12D MINIMUM NAILS (2 PER BAY).
 ~ 2x4 SYP SUPPORTS WILL BE NAILED TO SUB-FASCIA USING 12D MINIMUM NAILS (2 PER INTERSECTION).
 ~ 2x4 SYP SUPPORTS WILL BE NAILED TO 2x4 SYP RAFTERS USING 12D MINIMUM NAILS (2 PER INTERSECTION).

EYEBROW ROOF DETAIL
 SCALE: 1/2" = 1'-0"

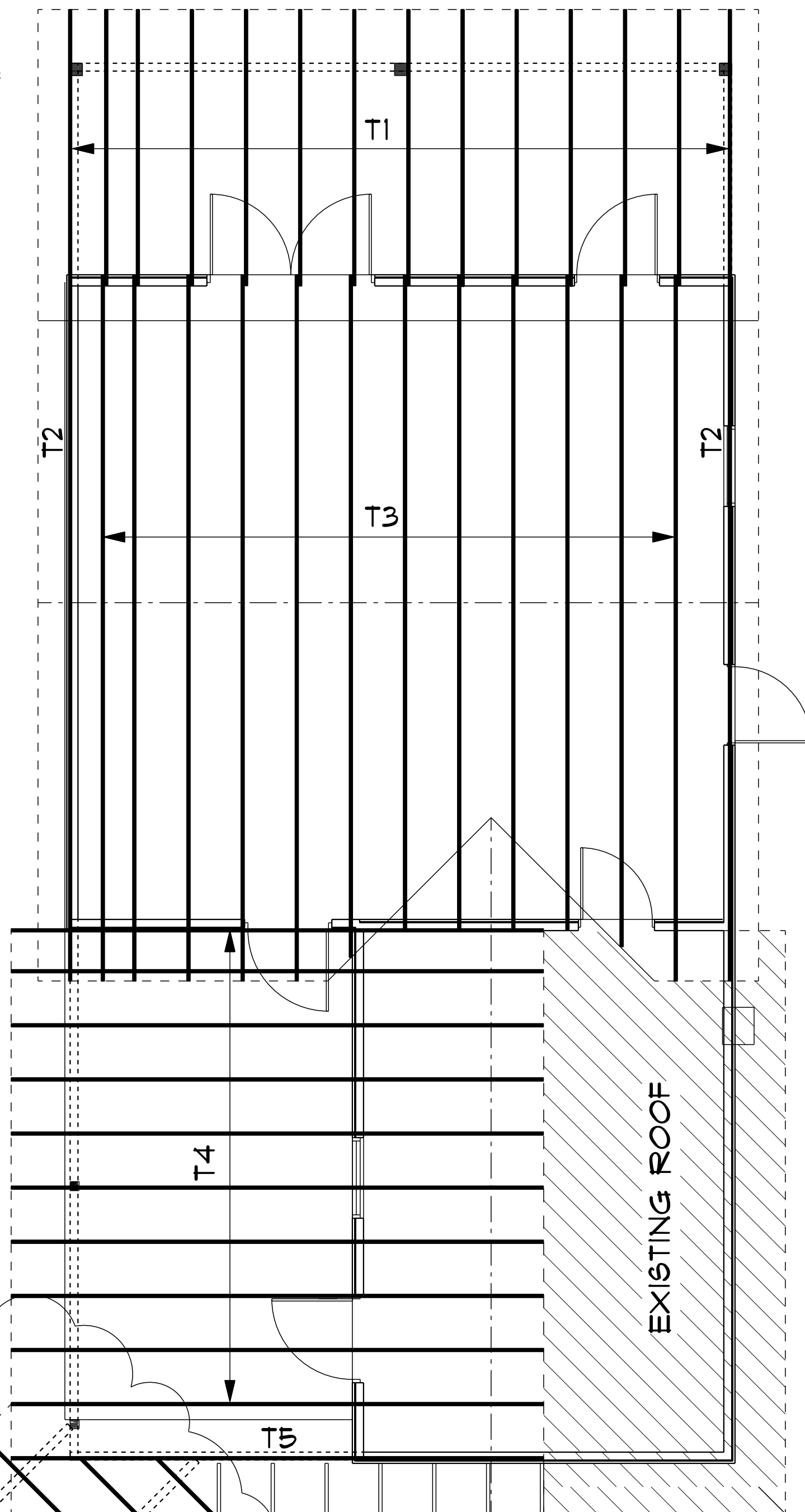
NOTE: NEW PRE-ENGINEERED TRUSS WILL BE NAILED INTO THE TOP PLATE USING (2) 12D MIN. NAILS (TOE-NAILED) AND (3) 12D MIN. NAILS INTO THE EXISTING TRUSS (STAGGERED)

NEW PRE-ENGINEERED TRUSS



TRUSS ATTACHMENT DETAIL
 SCALE: 1/2" = 1'-0"

ROOF DESIGN NOTES:
 ~ ROOF SHEATHING WILL BE 1/2" CDX OR OSB.
 ~ ALL HIP OVERHANGS WILL BE 24".
 ~ ALL GABLE OVERHANGS WILL BE 12".



TRUSS PLAN
 SCALE: 1/4" = 1'-0"

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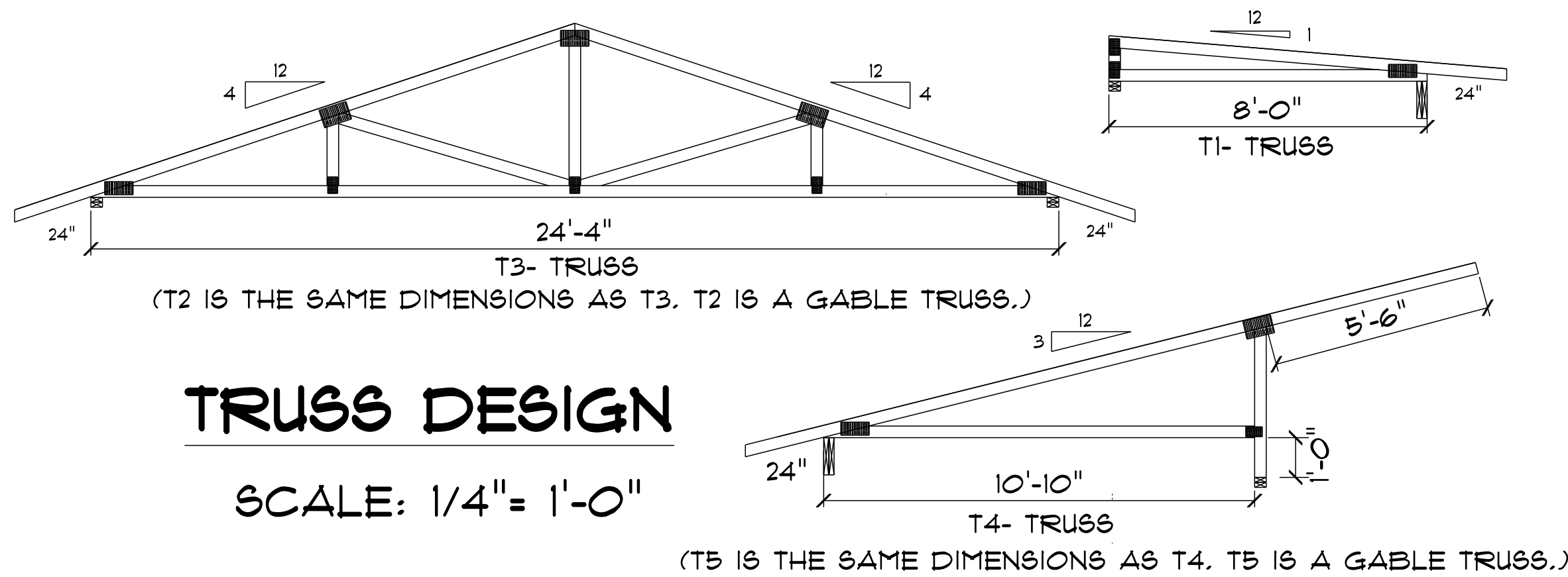
UNDERLAYMENT APPLICATION per FL-R305.2.1

UNDERLAYMENT SHALL BE INSTALLED USING ONE OF THE FOLLOWING METHODS:

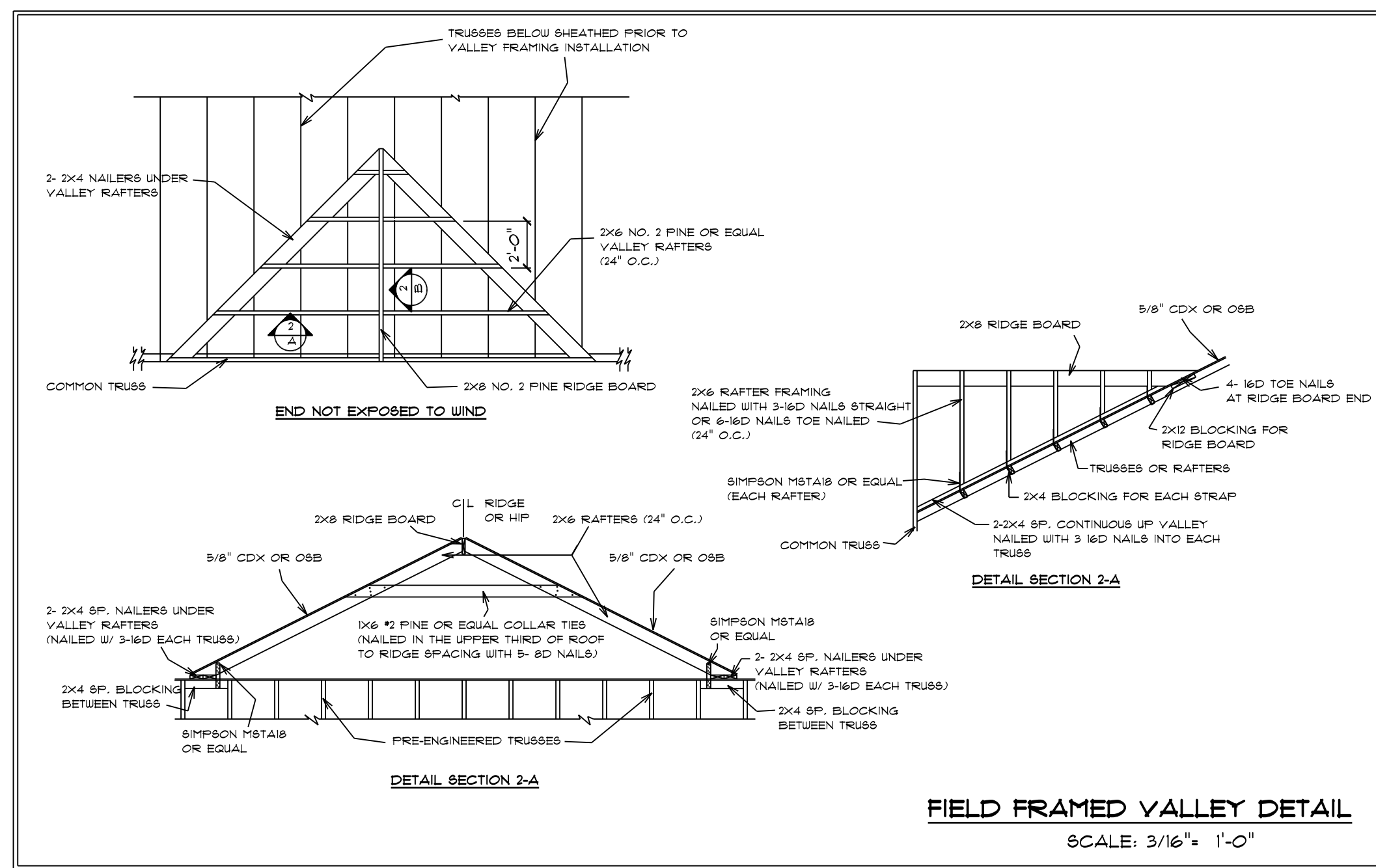
1. For roof slopes from two units vertical in 12 units horizontal (17% slope), and less than four units vertical in 12 units horizontal (33% slope). Underlayment shall comply with ASTM D 226, Type I or Type II or ASTM D 4969, Type II or Type IV or ASTM D 6751 and shall be two layers applied in the following manner. Apply a 19-inch (483 mm) strip of underlayment felt parallel to and starting at the eaves, fastened sufficiently to hold in place. Starting at the eave, apply 36-inch-wide (914 mm) sheets of underlayment, overlapping successive sheets 19 inches (483 mm), and fastened with a 1-inch (25 mm) round plastic cap, metal cap nails or nails and tin-tape attached to a nailable deck with one row in the field of the sheet with a maximum fastener spacing of 12 inches (305 mm) o.c., and one row at the overlaps fastened 6 inches (152 mm) o.c. Synthetic underlayment shall be fastened in accordance with this section and the manufacturer's recommendations.

2. For roof slopes of four units vertical in 12 units horizontal (33% slope) or greater. Underlayment shall comply with ASTM D 226, Type II or ASTM D 4969, Type IV or ASTM D 6751 and shall be one layer applied in the following manner. Underlayment shall be applied shingle fashion parallel to and starting from the eave and lapped 2 inches (51 mm), fastened with 1-inch (25 mm) round plastic cap, metal cap nails or nails and tin-tape attached to a nailable deck with two staggered rows in the field of the sheet with a maximum fastener spacing of 12 inches (305 mm) o.c., and one row at the overlaps fastened 6 inches (152 mm) o.c. Synthetic underlayment shall be fastened in accordance with this section and the manufacturer's recommendations. End laps shall be offset by 6 feet (1829 mm).

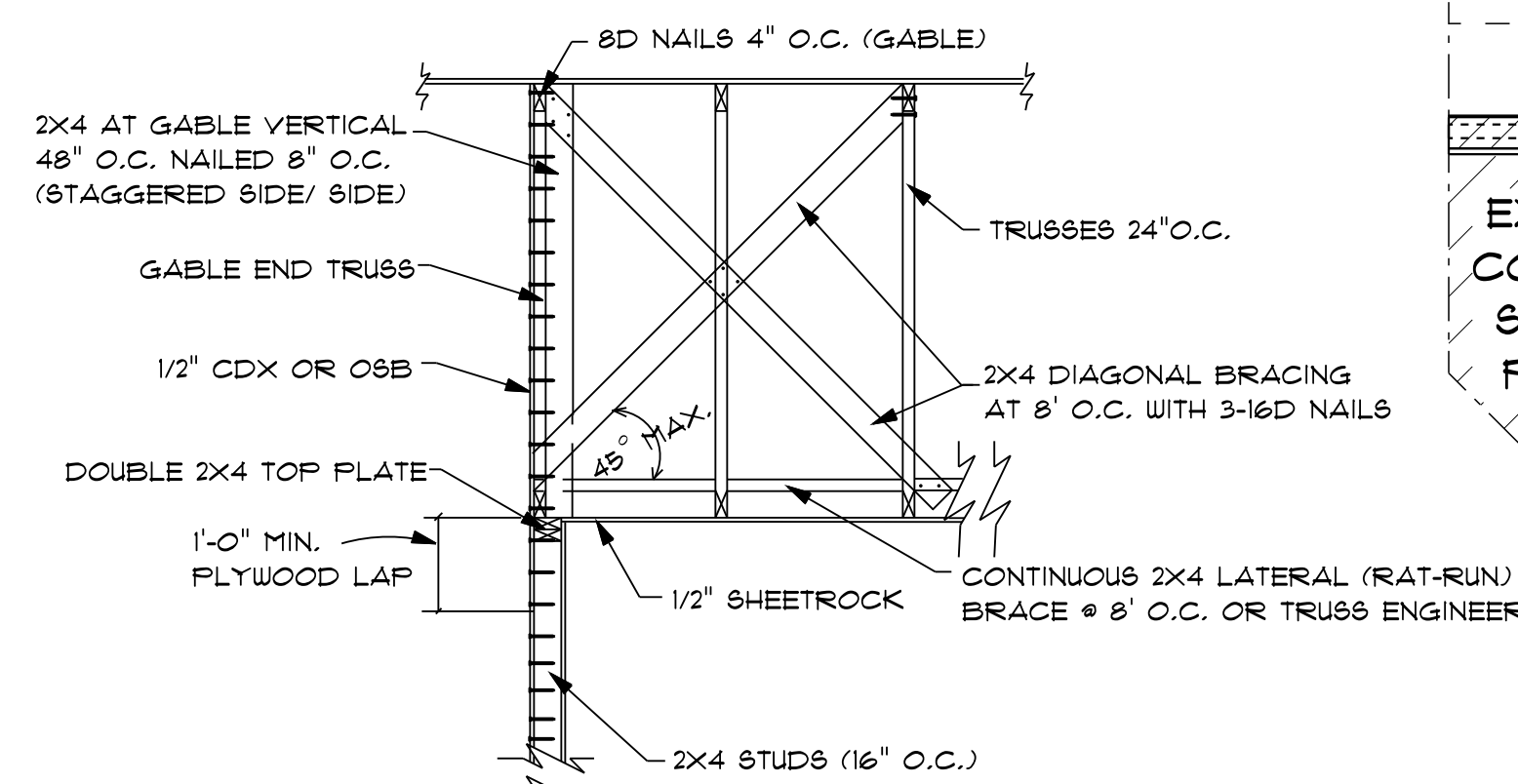
3. As an alternative, the entire roof deck shall be covered with an approved self-adhering polymer modified bitumen sheet meeting ASTM D 1970 or an approved self-adhering synthetic underlayment installed in accordance with the manufacturer's installation instructions.



TRUSS DESIGN
 SCALE: 1/4" = 1'-0"



FIELD FRAMED VALLEY DETAIL
 SCALE: 3/16" = 1'-0"



TYPICAL GABLE END BRACING DETAIL
 SCALE: 1/2" = 1'-0"

GRIES ENGINEERING, INC.
 715 BALMORAL CIRCLE
 LEESBURG, FL 34748
 OFF: (352)787-6161
 FLORIDA P.E. LICENSE # 33570 FAX: (352)328-2931

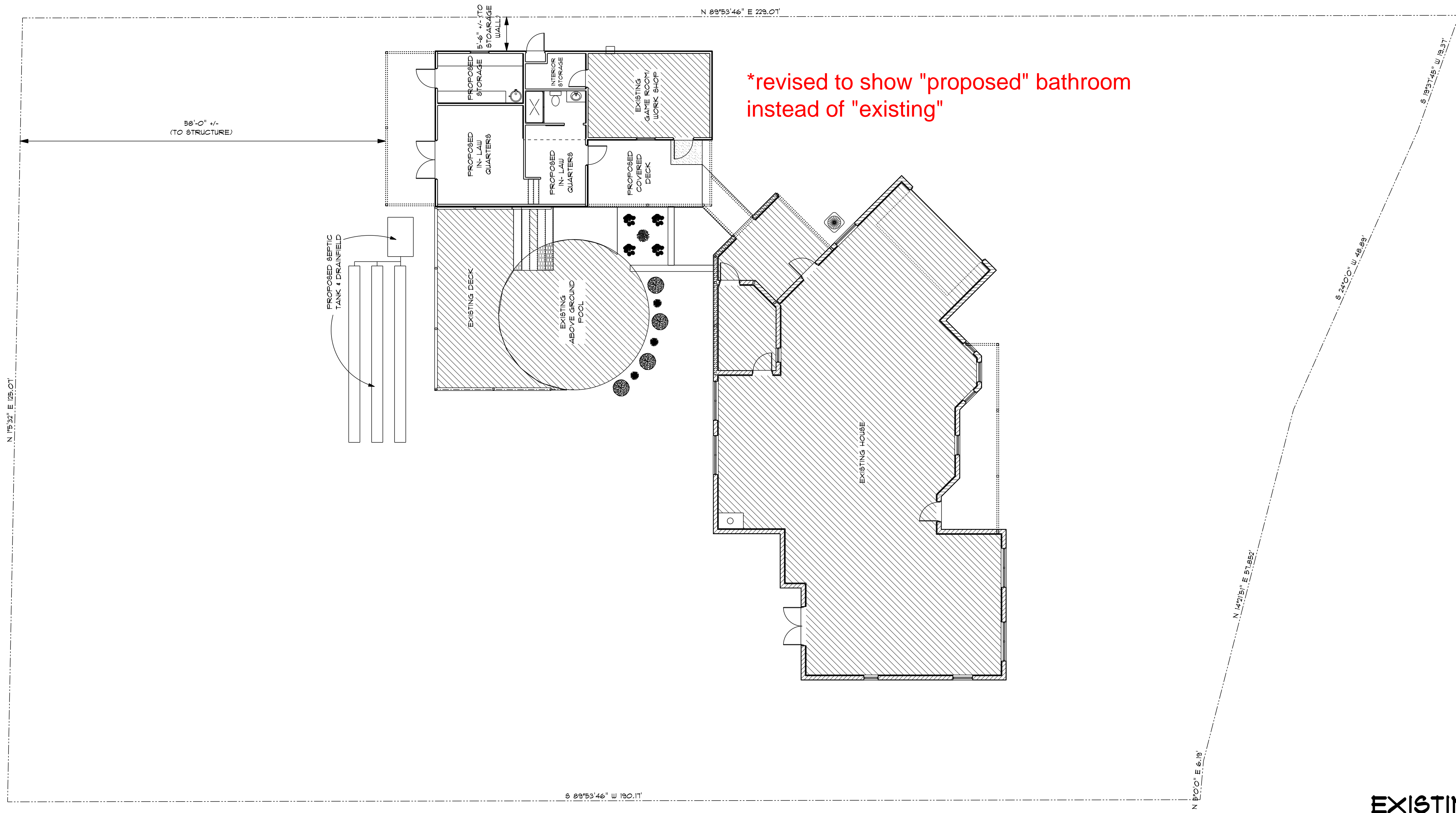
PLAN NAME:
TRUSS PLAN, DETAILS & NOTES

IN-LAW QUARTERS ADDITION FOR:
SAMUEL & ANNETTE RECTOR
 304 N. VALLEY RD.
 FRUITLAND PARK, FL 34731

DRAWN BY
 S.C.R.
 CHECKED BY
 J. GRIES
 DATE
 7 / 16 / 20
 SCALE
 AS SHOWN

PROJECT NO.
 # 3581

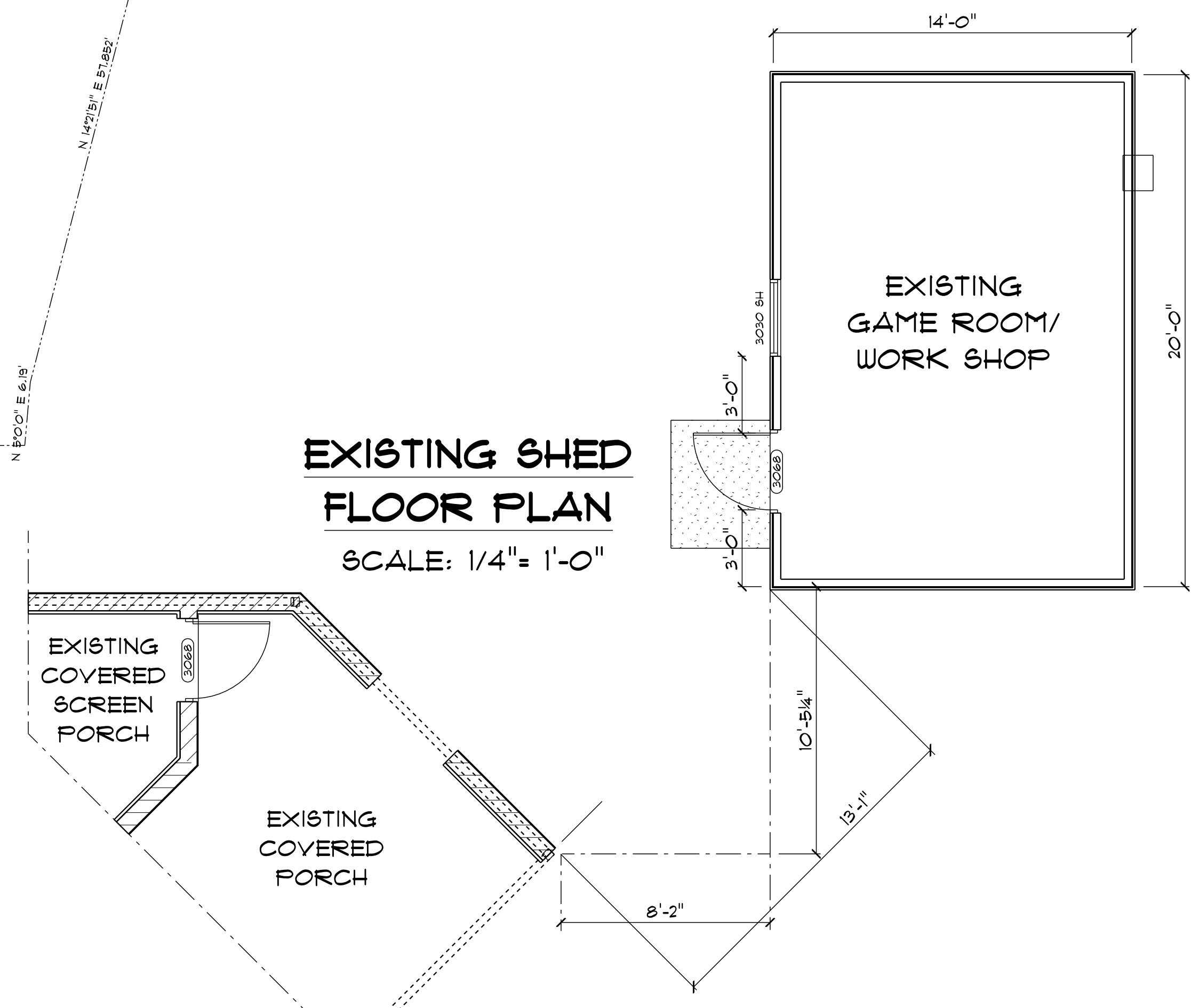
SHEET
R-1



SITE PLAN
SCALE: 1" = 10'-0"

LEGAL DESCRIPTION:
~ FRUITLAND PARK, VALLEY OF THE SPRINGS LOT 17,
BLK C PB 25 PG | 5 | ORB 1942 PG 81 |

EXISTING SHED FLOOR PLAN
SCALE: 1/4" = 1'-0"



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REV	DESCRIPTION	DATE

GRIES ENGINEERING, INC.
715 BALMORAL CIRCLE
LEESBURG, FL 34748
OFF: (352)787-6161
FLORIDA P.E. LICENSE # 33570 FAX: (352)326-2931

PLAN NAME:
SITE PLAN & EXISTING SHED FLOOR PLAN

IN-LAW QUARTERS ADDITION FOR:
SAMUEL & ANNETTE RECTOR
304 N. VALLEY RD.
FRUITLAND PARK, FL 34731

DRAWN BY
S.C.R.
CHECKED BY
J. GRIES
DATE
7 / 16 / 20
SCALE
AS SHOWN
PROJECT NO.
3581

SHEET
S-1



**DEVELOPMENT REVIEW APPLICATION
SAMUEL CLAYTON RECTOR
VARIANCE APPLICATION
July 28, 2020**

Property Owner/Applicant: Samuel Clayton Rector

Appointed Agent: Self

Phone: 352-408-7437

Email: clay@clayrectorconstruction.com

Address: 304 N Valley Rd
Fruitland Park, FL 34731

Project Name: Rector Variance "In-law Quarters Addition"

Parcel ID: 05-19-24-0030-00C-01700

Alt Key: 2908823

Project Address: 304 N Valley Rd
Fruitland Park, FL 34731

Mr. Rector:

Herein are the comments preceding the informal TRC review, as of July 21, 2020.

Development Review:

The *initial application fees* are as follows:

Development Application Fees (City)	\$100.00 PAID
LPG (Land Planner)	\$350.00 PAID
BESH (Engineer)	\$350.00 PAID
Mailings	*Actual Cost
Newspaper Advertisement	*Actual Cost
Lake County Recording Fee	*Actual Cost

Per City Ordinance 2008-023 these are the applicable fees as of date; however, there may be additional fees associated with the application(s) that will be passed to the applicant(s), including addressing through Lake County Public Safety Support and Contractual Services.

City Attorney Review:

1. Guest quarters of 428 square feet does not exceed the maximum square footage allowed for such a structure in R-1 zoning. Sec. 154.030 d) 1) A) ii) & Sec. 156.010 e)
2. Adding an additional 186 square feet to the shed will then exceed the 450 square feet maximum. Sec. 154.030 d) 1) A) iii) and Sec. 156.010 e)

3. Sec. 156.040 (a) provides that storage building, residential has a setback of 5 feet; therefore, the existing shed does not appear to violate the setback requirements and there is no encroachment which would limit the size to 250 square feet.
4. Side yard setback is 15 feet for R-1 zoning. Proposed guest quarters could be located on the property in a manner that will meet the 15 feet required setback. The requested variance relating to the guest quarters does not meet the legal requirements under the City's regulations to support approval.

City Engineer (BESH) Review:

No engineering comments for this variance. In reviewing the application, it does not appear that there is an underlying SJRWMD permit for the subdivision. As such, I believe the addition would be exempt from SJRWMD permitting, and hence, exempt from COFP stormwater as well. There are no new utilities for water or sewer. In looking at the images on Google Earth, it does not appear that there is a drainage swale or other drainage apparatus that would be impacted by the addition.

City Land Planner Review:

Staff recommends approval of the setback variance for the existing shed from 15 feet to 5 feet. Should the City Commission grant the variance for the home expansion, it is recommended that the following conditions be included:

1. No rooms shall be converted to a kitchen
2. The storage areas shall remain as storage areas and not be converted to any other use

City Building Review:

No comments.

City Code Enforcement Review:

No comments.

City Fire Review:

No comments.

City Police Review:

No comments.

City Public Works Department Review:

No comments.

City Staff Review:

Applicant applied for a residential building permit for project description "addition of bedroom and storage." Upon residential building permit application zoning rejection, applicant requests a variance from the required fifteen foot (15') side building setback, to allow for a five foot (5') side setback. Granting approval to subject variance application would grant special privilege that is denied by the Development Code to other lands, building or structures in the same zoning district and therefore does not meet review criteria outlined in Chapter 168 Section 168.010(f)(5), Land Development Regulations.

City of Leesburg Utilities Review:

Leesburg Electric has no objections. No new meter proposed.

Lake County Public Schools Review:

No comments.

Lake County Public Works Review:

No comments.

July 17, 2020

Fruitland Park Building Department/ Planning & Zoning Department
506 W. Berckman St.
Fruitland Park, FL 34731

To whom it may concern,

This letter is my written statement which explains the conditions and circumstances of the alleged hardship, the proposed action by the applicant should the variance be granted, and the necessity of the action according to Chapter 168, Section 168.010, Section C, part 3.

For reference to new Building Permit #: BD20-0567

Address: 304 N. Valley Rd., Fruitland Park, FL 34731

Alt Key#: 2908823

I would like to add on an In-Law quarters (no kitchen) and deck area to my existing shed. My brother is moving back from Colorado with his wife and is going to stay with us to help offset the cost of living for us. The shed was built back in 2003 (17 years ago) right alongside with my original home. It was constructed under the original permit #2002-170. The plans for the existing shed are located on Page B-3 of the original home plans submitted for the construction of the home. The setbacks for a non-habitable structure (shed) back then was a 5' side setback. The plans show a structure of 12'x20'. Which would allow the 5' setback. We added an extra 2' in the width keeping the 5' plus setback when we poured the slab and was inspected by the building official at the time 17 years ago. He did not ask for us to make a change to the plans and just went ahead and OK'd it moving forward. By adding the extra 2', it jumped the square footage up to above the 250 ft² maximum (now 280 ft²) for the 5' setback. We were not aware of this at the time and the building official/ inspector at the time (same guy) did not mention this to us. So we went ahead with finishing it up and getting all the required inspections along the way since it was permitted with the original house.

I'm asking for a variance to allow me to build an addition along the same plane line (5' setback) as my existing shed and not to comply with the 15' setback for habitable structures. It will make the structure more aesthetically appealing and will look just like it was built with the house originally. So I am adding on a new bedroom and bathroom to my house as well as more storage rooms and a covered deck to sit on. The structure will be attached to the house by a small (4') covered roof structure, which will also match the existing structure, as per plans so they do not get wet when it rains coming and going. It will not need separate parking for a tenant. They will be staying with us. No separate water meter. No new electric meter. Everything will simply attach to what I already have existing. By attaching it to my home, I am guaranteeing that it will not be used as a separate rental property. It will extend towards to back of my property giving a buffer if you will to my neighbor to the north of me as well which will also cut down on noise for them as well as being aesthetically pleasing because it will match the existing shed & home.

I am simply wanting to extend the wall towards the back of the property which will act as the north wall to what will become our storage area. Away from that to the south in the same structure will begin the in-law quarters. The new in-law quarters (living area) will be 428 ft². The new storage area (non-habitable) will be 186 ft². the covered deck area will be 214 ft² and the existing shed is 280 ft². So the total square footage of the new addition combined with the existing shed will be 1108 ft².

So in conclusion, I'm asking for a variance for me to allow this structure to be constructed to match the line of the existing shed which will be at 5' plus. Roughly 5'-6" to be exact. The living area for the addition will be almost a 15' setback for the new in-law quarters. Please see the plans.

Sincerely,



Samuel Clayton Rector
Owner

304 N. Valley Rd., Fruitland Park, FL 34731
Phone: (352) 408-7437, Email: annieclay5@comcast.net

July 17, 2020

Fruitland Park Building Department/ Planning & Zoning Department
506 W. Berckman St.
Fruitland Park, FL 34731

To whom it may concern,

This letter is my written statement which explains the Review Criteria for the variance being applied for at the address listed below for the permit number listed below according to Chapter 168, Section 168.010, Section F, parts 1-6, respectfully. Responses are listed below.

For reference to new Building Permit #: BD20-0567
Address: 304 N. Valley Rd., Fruitland Park, FL 34731
Alt Key#: 2908823

1. The special circumstances existed because my shed was permitted along with the existing house originally 17 years ago and is now creating a problem with trying build everything in line with one another to look appealing.
2. I understand the special conditions and circumstances are a result of me. While applying for the permit, I was simply going off the original rules of a 5' setback and was not told 17 years ago that by adding addition footage to the shed while under construction that it would not comply with that setback and that it would jump it up to 15'.

For items 3-6, this variance does not apply to my particular situation because with the new addition, it will all be under one roof structure and part of my house.

Sincerely,



Samuel Clayton Rector
Owner
304 N. Valley Rd., Fruitland Park, FL 34731
Phone: (352) 408-7437, Email: annieclay5@comcast.net

From: [Kelly Turner](#)
To: "clay@clayrectorconstruction.com"
Cc: [Fruitland Park Permits \(permits@fruitlandpark.org\)](mailto:permits@fruitlandpark.org)
Bcc: [Tracy Kelley](#)
Subject: BD20-0567 304 NORTH VALLEY RD
Date: Wednesday, July 15, 2020 4:58:00 PM
Attachments: [image001.png](#)

Good Afternoon,

Please be aware your permit application has been rejected with the following notes:

BD20-0567

REVIEWS

Kelly Turner	ZONING
Zoning: R-1 (Valley of the Springs block C lot 17)	
Required setbacks: front 30', side 15', rear 20'	
REJECTED KT (side setback not met)	
7/14/2020 4:47:16 PM	

Kelly Turner	ZONING
Please submit permit plans for existing game room/workshop to verify current versus existing (page one of plans contradict site plan: existing/proposed bathroom). Property record card shows 280 square foot utility building while plans show existing 14x30 square foot game room/work shop. Permit required for unpermitted structure. Proof of septic permit required prior to new permit being issued. Signed job estimate required for job cost/value verification. A separate mechanical permit is required for future mini-split.	
7/15/2020 1:29:18 PM	

Thank you,

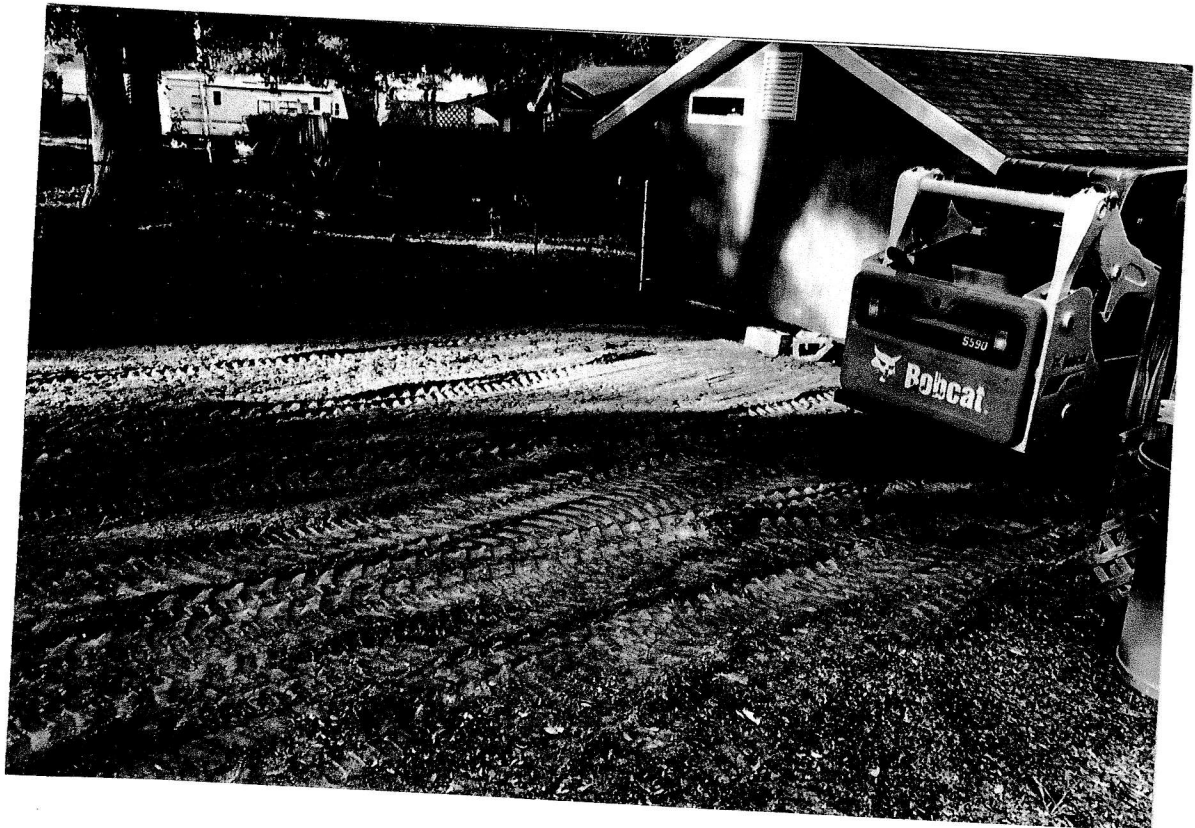
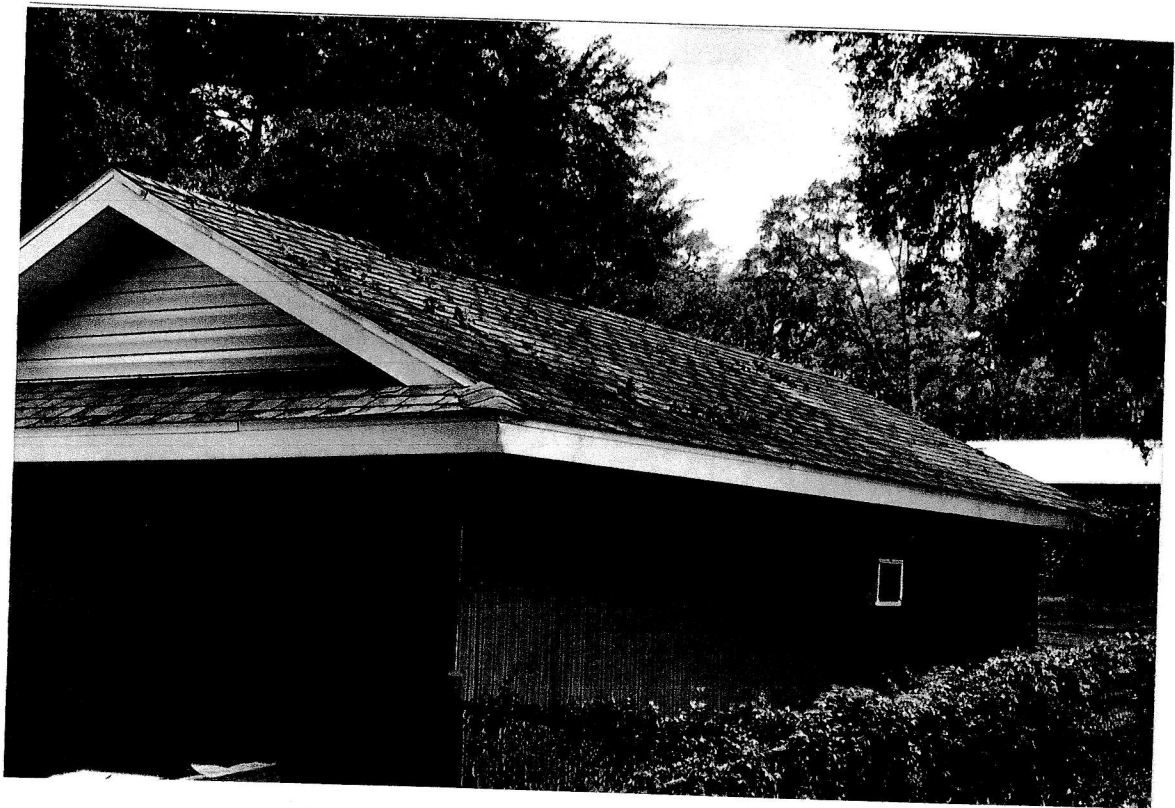


www.fruitlandpark.org

Kelly Turner, CFM
Administrative Assistant
Community Development
Department - City of
Fruitland Park
506 W Berckman St
Fruitland Park, FL 34731

Ph. 352-360-6727
Fax 352-360-6652

*Under Florida law, **Cf. s. 668.6076, F.S.**, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to the City of Fruitland Park. Instead contact the city by telephone or in writing.*

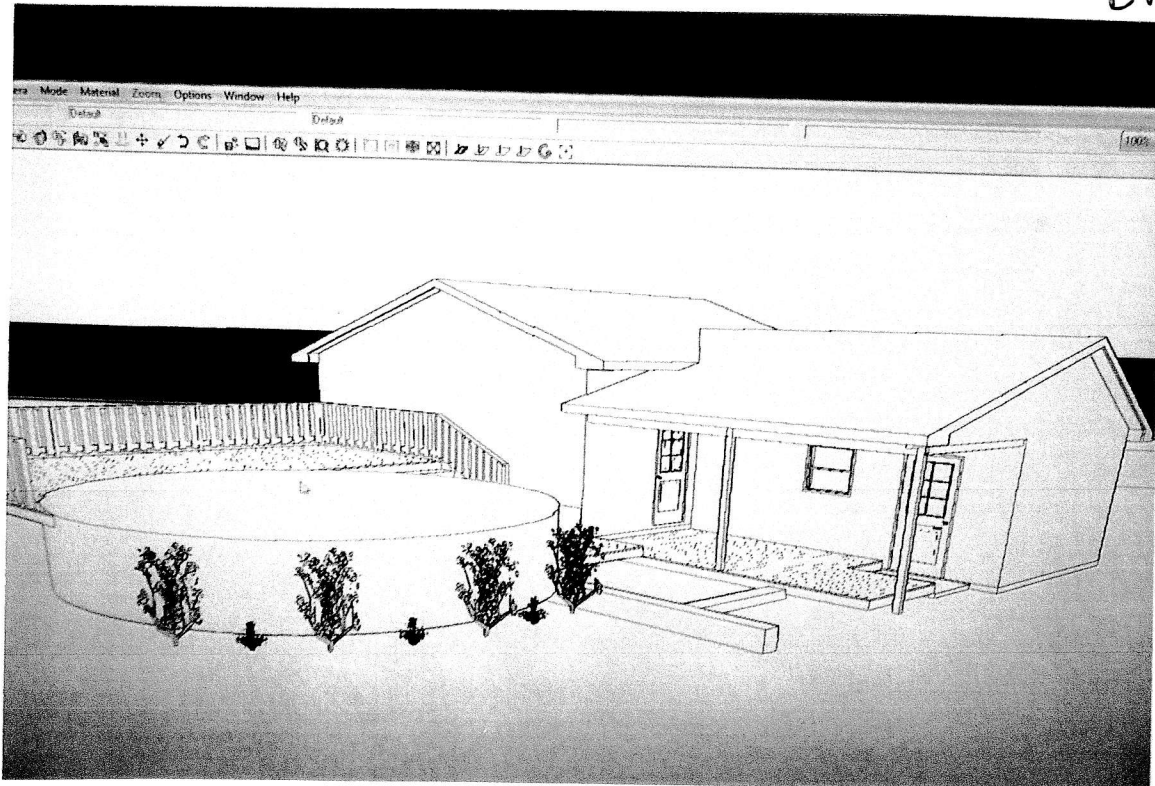


EXISTING SHED PHOTOS

EXISTING SHED PHOTO



PROPOSED 3D VIEW MIMUS BREEZWAY



RESOLUTION 2020-039

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, GRANTING A VARIANCE TO THE LAND DEVELOPMENT REGULATION (LDR) REQUIREMENTS PERTAINING TO SETBACK STANDARDS FROM 15' TO 5', ON THE SUBJECT PROPERTY LOCATED SOUTH OF CR 466A AND WEST OF NORTH VALLEY ROAD AND OWNED BY SAMUEL RECTOR, PROVIDING FOR AN EXPIRATION DATE AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Samuel Rector has petitioned for variances for his property located at 304 N. Valley Rd., Fruitland Park, located South of CR 466A (Miller Street) and west of North Valley Road, in the City of Fruitland Park, Florida; and

WHEREAS, the owner requests a variance to the following LDR requirements:

- Chapter 154, Section 154.040 Size and Dimension Criteria (for existing storage building)
- Chapter 156, Section 156.010(e) Storage Buildings (for existing storage building)
- Chapter 169, Section 169.010(d) Special Standards (for existing storage building and proposed guest/servant quarters)

WHEREAS, an existing storage building of the same architectural style of the residence constructed around 2003/2004 of 280 square feet encroaches into the 15' side setback and exceeds the square footage allowed when storage buildings encroach into the setbacks; and

WHEREAS, the applicant desires to construct an addition to the existing storage building as a guest/servant quarters to include one bedroom having a closet, one bathroom, two storage areas and a covered porch consisting of an additional 1108 square feet which will also encroach into the 15' side setback; and

WHEREAS, the proposed addition will not exceed 30% of living area of the principal dwelling unit; and

WHEREAS, the City Commission has considered the petition in accordance with standards for the granting of variances contained in Chapter 168, City of Fruitland Park Land Development Regulations and

WHEREAS, this Resolution met all public notice requirements;

NOW THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, as follows:

1. The City Commission has determined that the existing storage building constructed in 2003/2004 in excess of the maximum allowed and lying within the 15' side setback is not detrimental to the character of the area or inconsistent with the trends of development in the area.
2. The City Commission has determined that a reduction of the side setback from fifteen to five feet for an addition to the principal residence as a guest/servant quarters is not detrimental to the character of the area or inconsistent with the trends of development in the area.

3. The City Commission has determined that a reduction of the side setback from fifteen to five feet for the existing storage building constructed in 2003/2004 does not and will not have an unduly adverse effect on surrounding property.

4. The City Commission has also determined that the increase in square footage allowed when the storage building encroaches into a setback does not and will not have an unduly adverse effect on surrounding property as it relates to the existing storage building.

5. The City Commission has determined that a reduction of the side setback from fifteen feet to five feet for an addition to the principal residence as a guest/servant quarters will not have an unduly adverse effect on surrounding property.

6. Special conditions and circumstances exist which are peculiar to the Property which are not applicable to other land and structures.

7. A variance of 10 feet from the existing code for side setback is the minimum variance to accommodate the Applicant's request as it relates to the existing storage building and to the addition to the principal residence as a guest/servant quarters.

8. A variance of 30 square foot from the existing code for a storage building is the minimum variance to accommodate the Applicant's request as it relates to the existing storage building.

9. The City Commission has further determined that the variances relating to the existing storage building and the addition to the principal residence as a guest/servant quarters are consistent with the Comprehensive Plan for the City of Fruitland Park and Code, and will not adversely affect the public interest.

8. The variances relating to the existing storage building and addition to the principal residence as a guest/servant quarters will not adversely affect the public health, safety and general welfare of the citizens of the City of Fruitland Park.

9. The petition for variances filed by Samuel Rector for property south of CR 466A and west of North Valley Road, having an address of 304 N. Valley Rd., in the City of Fruitland Park, Florida, more particularly described as:

LEGAL DESCRIPTION: Lot 17, Block C, Valley of the Springs, according to the plat thereof recorded in Plat Book 25, Page 5, Public Records of Lake County, Florida

Parcel Alternate Key No. 2908823

is GRANTED as follows:

1. Variances to Chapter 154, Section 154.040 Size and Dimension Criteria. Setback Standards from a side setback of 15' to 5' for the existing storage shed.
2. A variance to Chapter 156, Section 156.010(e) Setback Standards from a side setback of 15' to 5' for a storage building greater than 250 square feet allowed when encroaching into a setback.
3. Variances to Chapter 169, Section 169.010(d) Special Standards from a side setback of 15' to 5' for the existing storage shed and the addition to the principal residence as a guest/servant quarters.
4. No rooms in the existing storage building and in the addition shall be converted to a kitchen.
5. The storage areas shall remain as storage areas and not be converted to any other use.

PASSED AND ORDAINED in regular session of the City Commission of the City of Fruitland Park, Lake County, Florida, this _____ day of _____, 2020.

Chris Cheshire, Mayor
City of Fruitland Park, Florida

ATTEST:
Approved as to Form:

Esther Coulson, CMC, City Clerk

Anita Geraci-Carver, City Attorney

Vice-Mayor Gunter	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner DeGrave	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner Mobilian	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner Bell	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Mayor Cheshire	_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)

Passed First Reading _____

(SEAL)