



ADDENDUM NO. 1
GSC 20-033

Project:

Fruitland Park Public Works Building
2601 Spring Lake Road
Fruitland Park, Florida 34731

Issue Date: August 2, 2022

From: GatorSkitch Corporation

Prospective Bidders:

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents issued July 13, 2022 and any subsequent addenda. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

ADDENDA ITEMS:

CHANGES TO BID FORM:

1. **ADD Page 00300-3a** – Bid Form for Architectural, Structural, Plumbing, Mechanical & Electrical Scope of Work

CHANGES TO PROJECT MANUAL - SPECIFICATIONS:

1. **Table of Contents**
 - A. Revise list to include Section 26 09 23 – Lighting Control Devices

CHANGES TO ARCHITECTURAL DRAWINGS:

1. **SHEET CS1 - Cover Sheet - Index**
 - A. Revise Redundant Sheet Number S500 to be S503 Typical Structural Details
 - B. Delete Sheet Number M401 - Mechanical Enlarged Plans (Not Used for this Project)
2. **SHEET A801 – Door Schedule**
 - A. Revise Hardware Set Numbers to coordinate with Specification Section 08 71 00 Door Hardware

END OF ADDENDUM NO. 1 - ITEMS

<u>Division #</u>	<u>Description</u>	<u>Material Cost</u>	<u>Labor Costs</u>
DIV 03	Concrete	\$	\$
DIV 04	Masonry	\$	\$
DIV 05	Metals	\$	\$
DIV 06	Wood & Plastics	\$	\$
DIV 07	Thermal / Moisture Protection	\$	\$
DIV 08	Door, Windows & Hardware	\$	\$
DIV 09	Finishes	\$	\$
DIV 10	Specialities	\$	\$
DIV 12	Furnishings	\$	\$
DIV 13	Metal Building	\$	\$
DIV 21	Fire Suppresion	\$	\$
DIV 22	Plumbing	\$	\$
DIV 23	HVAC	\$	\$
DIV 26	Electrical	\$	\$
DIV 28	Fire Alarm	\$	\$
DIV 32	Exterior Improvements	\$	\$
Other List		\$	\$

Subtotal

Subtotal (Materials & Labor)	\$ _____
100% Payment and Performance Bond	\$ _____
Total Base Bid Price	\$ _____
For Architectural, Structural, Plumbing, Mechanical & Electrical Scope of Work	
_____	\$ _____
(In Words)	(In figures)

FRUITLAND PARK PUBLIC WORKS - PROJECT TOTAL BASE BID PRICE

Includes Civil, Architectural, Structural, Plumbing, Mechanical & Electrical Scope of Work

_____	\$ _____
(In Words)	(In figures)

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FRUITLAND PARK PUBLIC WORKS

PROPERTY OWNER:

CITY OF FRUITLAND PARK
506 W BERCKMAN ST.
FRUITLAND PARK, FLORIDA 34731
PH: (352) 360-6727

ARCHITECT:

GATORSKITCH ARCHITECTS, INC
1000 E. HIGHWAY 50, SUITE 201A
CLERMONT, FLORIDA 34711
PH: (407) 608-5677

STRUCTURAL ENGINEER:

TLC ENGINEERING SOLUTIONS
7370 CABOT CT. STE. 103
MELBOURNE, FL. 32940
PH: (321) 636 - 0274

MEP ENGINEER:

SGM ENGINEERING GROUP, LLC
935 LAKE BALDWIN LANE
ORLANDO, FLORIDA 32814
PH: (407) 767-5188

REVISIONS	
Bid Addendum No. 1	8-2-22

FRUITLAND PARK PUBLIC WORKS
2601 SPRING LAKE ROAD
FRUITLAND PARK, FLORIDA, 34731

BID SET

GatorSketch
ARCHITECTS & PLANNERS
1000 EAST HWY 50 SUITE 201A, CLERMONT, FL 34711
Ph: (407) 608-5677 Fax: (888) 959-4814
Web Site: www.gatorskitch.com



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PROSECUTION TO THE FULLEST
EXTENT OF THE LAW.

COVER SHEET
CS1
ISSUE DATE 7-12-22

ABBREVIATIONS:	SHEET	ARCHITECTURAL DRAWING	SHEET	STRUCTURAL DRAWING	SHEET	FIRE PROTECTION DRAWING
A.B. ANCHOR BOLT	CS1	COVER SHEET	S000	ABBREVIATIONS & SYMBOLS	F001	FIRE PROTECTION SYMBOLS LEGEND
ABV. ABOVE	CS2	CODE DATA & WALL TYPES	S001	STRUCTURAL GENERAL NOTES	F201	FIRE PROTECTION FLOOR PLAN
A/C AIR CONDITIONER	LS101	LIFE SAFETY PLAN	S002	STRUCTURAL GENERAL NOTES	F801	FIRE PROTECTION DETAILS
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DIA. DIAMETER	A801	DOOR / WINDOW SCHEDULES	P001	PLUMBING SYMBOLS LEGEND	E201	LIGHTING PLAN
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E.J. EXPANSION JOINT			P301	PLUMBING PRESSURE FLOOR PLAN	E401	SYSTEMS PLAN
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ELEV. ELEVATION			P502	PLUMBING RISER DIAGRAMS	E601	FIRE ALARM DETAILS
E.W. EACH WAY			P801	PLUMBING DETAILS	E701	ELECTRICAL PANEL SCHEDULES
EXT. EXTERIOR					E801	ELECTRICAL DETAILS
FBC FLORIDA BUILDING CODE						
F.F. FINISHED FLOOR						
F.G. FIXED GLASS						
FLR. FLOOR						
FT. FOOT / FEET						
FX FIXED						
GALV. GALVANIZED						
G.C. GENERAL CONTRATOR						
GFI GROUND FAULT INTERRUPTER						
GYP. GYPSUM BOARD						
HGT HEIGHT						
LWIC LIGHT WEIGHT INSUL. CONC.						
LVT LUXURY VINYL TILE						
MFRG MANUFACTURER						
MIN. MINIMUM						
MIR. MIRROR						
N.I.C. NOT IN CONTRACT						
N.T.S. NOT TO SCALE						
OPNG OPENING						
PED. PEDESTAL						
PSF POUNDS PER SQUARE FOOT						
PTD PAINTED						
RAD RADIUS						
REQ'D REQUIRED						
R.O. ROUGHT OPENING						
R.T.U. ROOF TOP UNIT						
RND ROUND						
S.F. SQUARE FOOT (FEET)						
SPM SINGLE PLY MEMBRANE						
S.S STAINLESS STEEL						
TEMP. TEMPERED						
T.O.B. TOP OF BLOCK						
T.O.M. TOP OF MASONRY						
TYP. TYPICAL						
U.N.O. UNLESS NOTIFIED OTHERWISE						
VCT. VINYL COMPOSITION TILE						
VERT. VERTICAL						
VTR VENT THROUGH ROOF						
W/ WITH						
W/C WATER CLOSET						
WP WATER PROOF						



ARCHITECTURAL NOTES

- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CITY, STATE AND FEDERAL CODES AND STANDARDS.
- PRIOR TO BIDDING THE PROJECT, THE CONTRACTOR SHALL REVIEW THE DOCUMENTS, VISIT THE SITE, INVESTIGATE EXISTING CONDITIONS AND NOTIFY THE ARCHITECT IN WRITING OF DRAWING DISCREPANCIES OR SITE CONDITIONS IN CONFLICT WITH THE CONSTRUCTION DOCUMENTS, OR OTHERWISE AFFECTING THE WORK.
- THE CONTRACTOR SHALL MAINTAIN SAFE MEANS OF EGRESS AND FIRE ACCESS AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS AND SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE WORKERS, OCCUPANTS AND ALL OTHER PERSONS DURING CONSTRUCTION. MEASURES MAY INCLUDE BUT SHALL NOT BE LIMITED TO CONSTRUCTION FENCING, STRUCTURAL BRACING, SHORING OF EARTHWORKS AND SCAFFOLDS, SAFETY NETS, BRACING AND SUPPORTS FOR CRANES AND GIN POLES.
- ALL AREAS OUTSIDE THE PROJECT BOUNDARIES SHALL BE PROTECTED TO INSURE THEY REMAIN INTACT DURING CONSTRUCTION. ITEMS OUTSIDE THE BOUNDARIES WHICH ARE DISTURBED, DAMAGED OR SOILED DUE TO THE ACTS OF THE CONTRACTOR OR SUBCONTRACTORS SHALL BE CLEANED, REPAIRED OR REPLACED TO THEIR PREVIOUS CONDITION, AS DETERMINED BY THE OWNER.
- ALL COMPLETED WORK SHALL BE PROTECTED UNTIL FINAL COMPLETION. DAMAGED WORK SHALL BE CORRECTED AT NO COST TO THE OWNER.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL COORDINATE WITH ONE ANOTHER TO RESOLVE ALL CONFLICTS IN THE PLACEMENT OF THE COMPONENTS OF THEIR RESPECTIVE TRADES.
- THE CONTRACTOR SHALL THOROUGHLY READ THE CONSTRUCTION DOCUMENTS AND UNDERSTAND ALL DRAWINGS, SPECIFICATIONS, NOTES AND DETAILS BEFORE COMMENCING WORK. IF AT ANY TIME QUESTIONS ARISE ABOUT THE INTENT OF THE DOCUMENTS, DO NOT PROCEED IN THE AREA OF CONCERN UNTIL THE ARCHITECT OF RECORD HAS BEEN NOTIFIED AND HAS ISSUED CLARIFICATION.
- SPlicing, CUTTING, NOTCHING OR OTHER ALTERATIONS TO STRUCTURAL MEMBERS ARE NOT PERMITTED WITHOUT THE WRITTEN AUTHORIZATION OF THE STRUCTURAL ENGINEER.
- THE CONTRACTOR SHALL PROVIDE WRITTEN REQUEST TO THE ARCHITECT / ENGINEER OF RECORD FOR PRIOR APPROVAL OF DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. ALL UNAUTHORIZED DEVIATIONS FROM THE DOCUMENTS AND THE CORRECTION THEREOF SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE INTENT OF THE CONSTRUCTION DOCUMENTS IS FOR THE CONTRACTOR TO PROVIDE ALL ITEMS REQUIRED FOR COMPLETE SYSTEMS WHETHER DETAILED OR NOT. PROVIDE ALL ESCUTCHEON PLATES, FINISH PLATES, TRIM PIECES, ETC... REQUIRED TO PROVIDE COMPLETE AND FINISHED WORK, AS DETERMINED BY THE ARCHITECT.
- WHERE DETAILED DRAWINGS ARE NOT PROVIDED, UTILIZE THE MANUFACTURER'S RECOMMENDED INSTALLATION DETAILS & SHOP DRAWINGS.
- IN THE CASE OF CONFLICT BETWEEN SPECIFICATIONS, STANDARDS, CODES AND DRAWINGS, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ARCHITECT OF RECORD.
- DRAWING PLANS, ELEVATIONS, SECTIONS AND DETAILS ARE NOT TO BE SCALED.
- DIMENSIONS AND DETAILS ON LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- DIMENSIONS ARE TO FACE OF MASONRY WALLS AND TO FACE OF FINISH ON STUD WALLS, UNLESS NOTED OTHERWISE.
- ANGLED CONDITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- THE HINGE SIDE OF DOOR OPENINGS SHALL BE LOCATED 4" FROM THE FACE OF ADJACENT STUD WALLS AND 8" FROM THE FACE OF ADJACENT MASONRY WALLS, UNLESS NOTED OTHERWISE.
- ALL WOOD USED IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. FASTENERS FOR TREATED WOOD (NAILS, BOLTS, HARDWARE, ETC...) SHALL BE GALVANIZED.
- CORROSION RESISTANT FLASHING SHALL BE INSTALLED TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR ONTO STRUCTURAL COMPONENTS. FLASHING SHALL EXTEND TO THE EXTERIOR SURFACE OF THE WALL FINISH TO PREVENT WATER FROM ENTERING THE BUILDING ENVELOPE. FLASHING IS REQUIRED AT THE TOPS OF WALL OPENINGS, AT MATERIAL TRANSITIONS, UNDER SILLS AND COPINGS, OVER WOOD TRIM AND LEDGERS AND AT WALL TO ROOF INTERSECTIONS.
- IN ORDER TO BE CONSIDERED WEATHER RESISTANT, EXTERIOR FINISHES MUST ACHIEVE THE MINIMUM APPROVED THICKNESS AS SET FORTH IN THE FLORIDA BUILDING CODE, LATEST EDITION.
- ALL EXPOSED, UNFINISHED BOXES, PIPES AND CONDUITS SHALL BE FINISHED TO MATCH THE ADJACENT SURFACES.
- EXTERIOR WINDOWS, DOORS, CLADDING, ROOF SYSTEM AND FLASHING SYSTEMS SHALL BE INSTALLED IN COMPLIANCE WITH THE STRUCTURAL WIND LOAD REQUIREMENTS OF THE FLORIDA BUILDING CODE, LATEST EDITION.
- EXTERIOR ASSEMBLIES SHALL BE ANCHORED IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS TO WITHSTAND THE CODE REQUIRED WIND LOADS.
- FOR EXTERIOR ASSEMBLIES, THE CONTRACTOR SHALL PROVIDE FLORIDA STATE WIDE PRODUCT APPROVAL CERTIFICATION TO THE LOCAL AUTHORITY HAVING JURISDICTION.

1

2

3

4

1

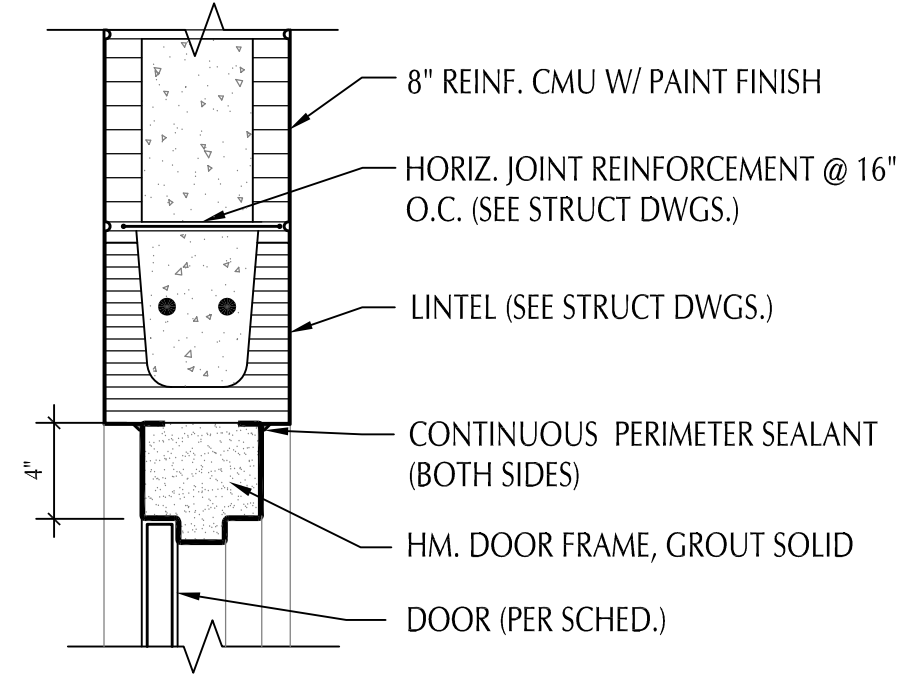
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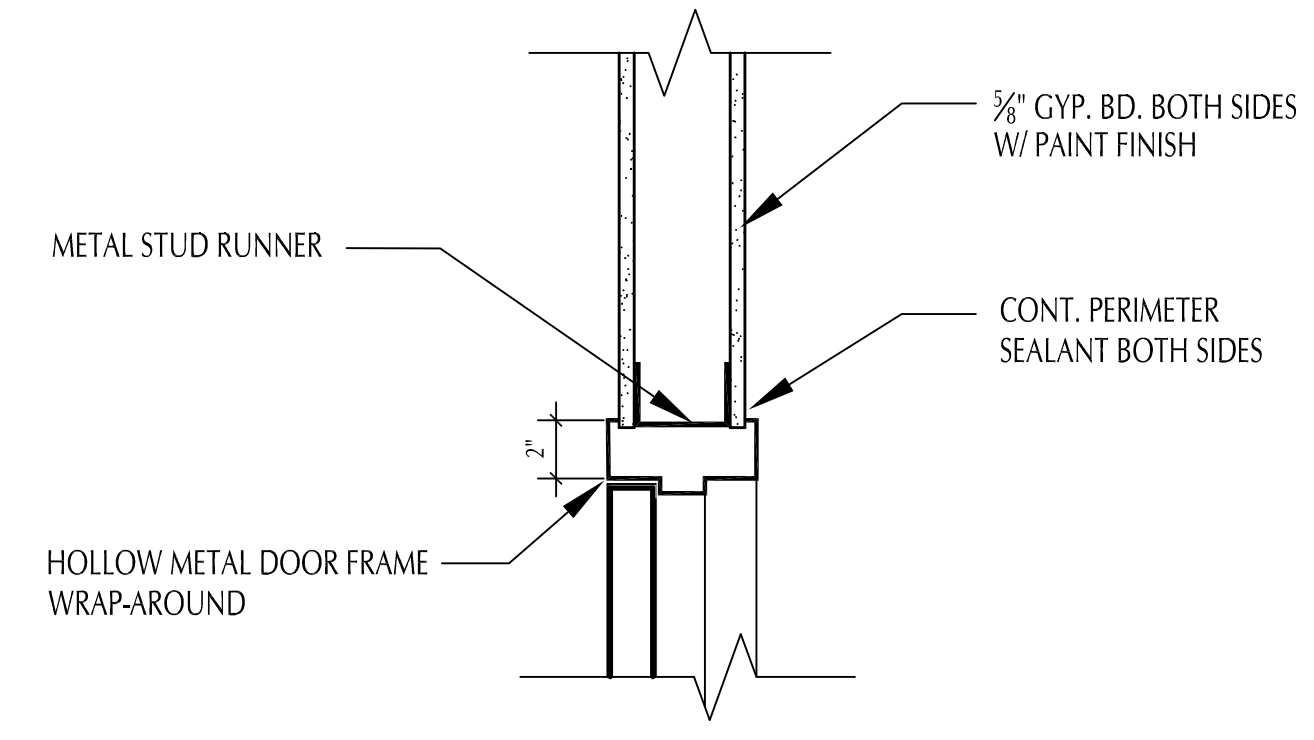
4

DOOR SCHEDULE											
NO.	DOOR	DOOR TYPE	DOOR MATERIAL	FRAME TYPE	FRAME MATERIAL	FIRE RATING	HW SET	NOTES:	HEAD	JAMB	THRESHOLD
100	3'-0" x 7'-0"	D1	HM	F1	HM		11	ENTRY TO LOBBY 100	4/A802	5/A802	6/A802
101	3'-0" x 7'-0"	D2	WOOD	F3	HM		8	LOBBY 100 TO RECEPTION 101	4/A801	5/A801	6/A801
102	3'-0" x 7'-0"	D2	WOOD	F3	HM		8	LOBBY 100 TO ASSIST. DIRECTORS 102	4/A801	5/A801	6/A801
103	3'-0" x 7'-0"	D2	WOOD	F3	HM		8	RECEPTION 101 TO DIRECTOR 103	4/A801	5/A801	6/A801
104	PR 3'-0" x 7'-0"	D3	WOOD	F4	HM		12	DIRECTOR 103 TO CLOSET 104	4/A801	5/A801	6/A801
105	3'-0" x 7'-0"	D2	WOOD	F3	HM		8	LOBBY 100 TO STORAGE/OFFICE 105	4/A801	5/A801	6/A801
106	PR 3'-0" x 7'-0"	D3	WOOD	F4	HM		12	LOBBY 100 TO I.T. 106	4/A801	5/A801	6/A801
107	PR 3'-0" x 7'-0"	D1	HM	F2	HM	SMOKE	3	CORRIDOR 107 TO BAYS 110	1/A801	2/A801	3/A801
108	PR 3'-0" x 7'-0"	D1	WOOD	F4	HM		2	CORRIDOR 107 TO BREAKROOM 108	4/A801	5/A801	6/A801
108A	3'-0" x 7'-0"	D3	WOOD	F3	HM		5	BREAKROOM 108 TO JANITOR 108A	4/A801	5/A801	6/A801
108B	3'-0" x 7'-0"	D1	HM	F1	HM	SMOKE	10	BREAKROOM 108 TO BAYS 110	1/A801	2/A801	3/A801
109	3'-0" x 7'-0"	D3	WOOD	F3	HM		9	CORRIDOR 107 TO BLUEPRINT STOR. 109	4/A801	5/A801	6/A801
109A	3'-0" x 7'-0"	D3	WOOD	F3	HM		5	BLUEPRINT STOR. 109 TO DIRECTOR 103	4/A801	5/A801	6/A801
110	3'-0" x 7'-0"	D1	HM	F1	HM		25	ENTRY TO BAYS 110	4/A802 (SIM)	5/A802 (SIM)	6/A802
110A	PR 3'-0" x 7'-0"	D2	HM	F2	HM		4	ENTRY TO VESTIBULE 110A	4/A802 (SIM)	5/A802 (SIM)	6/A802
110B	12'-0" x 14'-0"	D4	HM	-	HM		MFG	VEHICLE ENTRY TO BAY 110	1/A802	2/A802	3/A802
110C	12'-0" x 14'-0"	D4	HM	-	HM		MFG	VEHICLE ENTRY TO BAY 110	1/A802	2/A802	3/A802
110D	12'-0" x 14'-0"	D4	HM	-	HM		MFG	VEHICLE ENTRY TO BAY 110	1/A802	2/A802	3/A802
110E	12'-0" x 14'-0"	D4	HM	-	HM		MFG	VEHICLE ENTRY TO BAY 110	1/A802	2/A802	3/A802
110F	12'-0" x 14'-0"	D4	HM	-	HM		MFG	VEHICLE ENTRY TO BAY 110	1/A802	2/A802	3/A802
110G	12'-0" x 14'-0"	D4	HM	-	HM		MFG	VEHICLE ENTRY TO BAY 110	1/A802	2/A802	3/A802
111	3'-0" x 7'-0"	D3	WOOD	F3	HM		7	CORRIDOR 107 TO WOMENS ROOM 111	4/A801	5/A801	6/A801
112	3'-0" x 7'-0"	D3	WOOD	F3	HM		7	CORRIDOR 107 TO MENS RESTROOM 112	4/A801	5/A801	6/A801
113	3'-0" x 7'-0"	D3	HM	F3	HM	SMOKE	1	BAYS 110 TO LOCKER ROOM 113	4/A801	5/A801	6/A801
113A	3'-0" x 7'-0"	D3	HM	F3	HM	SMOKE	1	BAYS 110 TO LOCKER ROOM 113	4/A801	5/A801	6/A801
114	3'-0" x 7'-0"	D3	HM	F3	HM		7	LOCKER ROOM 112 TO MENS RR 114	4/A801	5/A801	6/A801
115	3'-0" x 7'-0"	D3	HM	F3	HM		7	LOCKER ROOM 112 TO WOMENS RR 115	4/A801	5/A801	6/A801
116	3'-0" x 7'-0"	D3	HM	F3	HM		5	BAYS 110 TO WATER SYSTEMS 116	4/A801	5/A801	6/A801
116A	12'-0" x 14'-0"	D4	HM	-	HM		MFG	VEHICLE ENTRY TO WATER SYSTEMS 116	1/A802	2/A802	3/A802
117	3'-0" x 7'-0"	D3	HM	F3	HM		5	BAYS 110 TO SANITARY SYSTEMS 117	4/A801	5/A801	6/A801
117A	12'-0" x 14'-0"	D4	HM	-	HM		MFG	VEHICLE ENTRY TO SANITARY SYSTEMS 117	1/A802	2/A802	3/A802
118	PR 3'-0" x 7'-0"	D3	HM	F2	HM		13	ENTRY TO MECHANICAL 118	4/A802 (SIM)	5/A802 (SIM)	6/A802
119	3'-0" x 7'-0"	D3	HM	F1	HM		6	ENTRY TO ELECTRICAL 119	4/A802 (SIM)	5/A802 (SIM)	6/A802

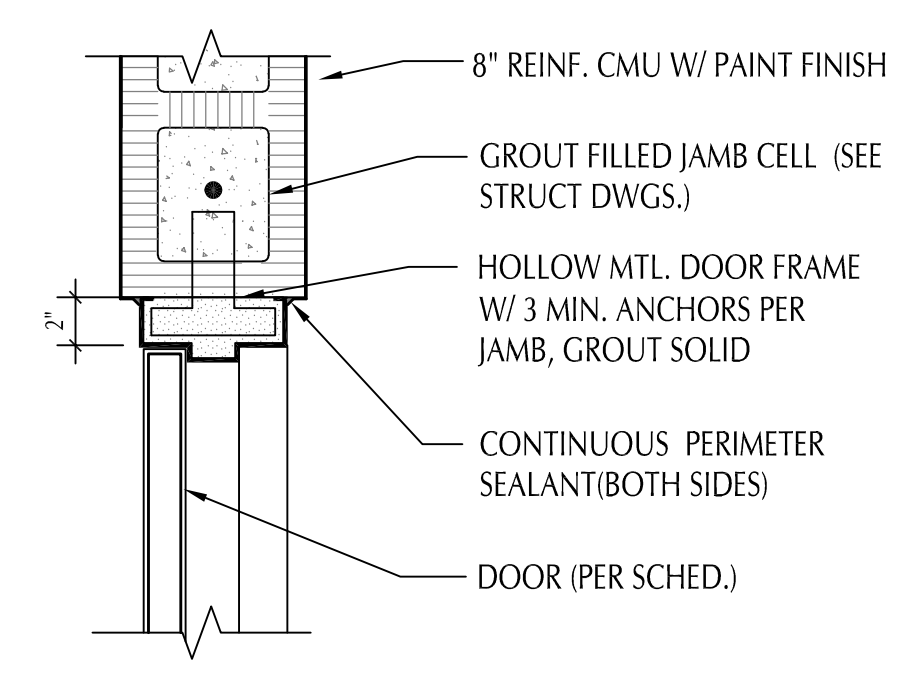
1 CMU DOOR HEAD
SCALE: 1 1/2" = 1'-0"



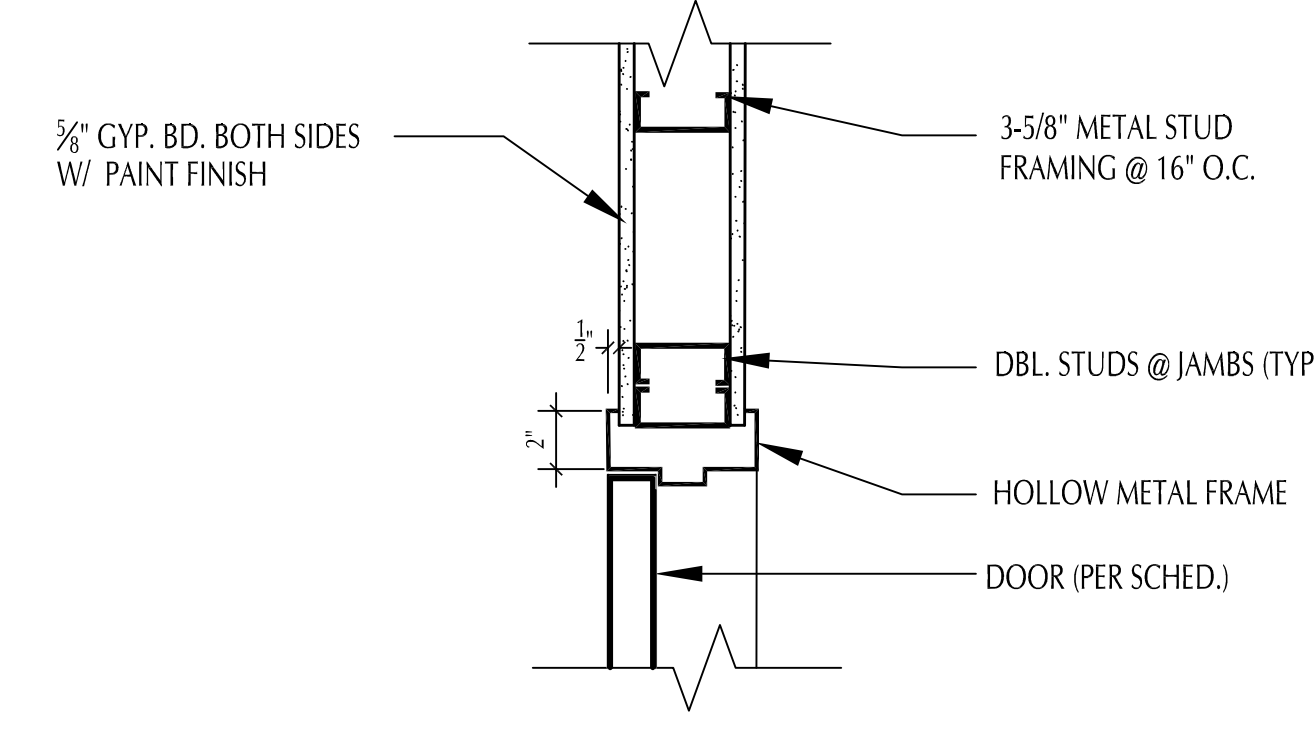
4 INT. STUD DOOR HEAD
SCALE: 1 1/2" = 1'-0"



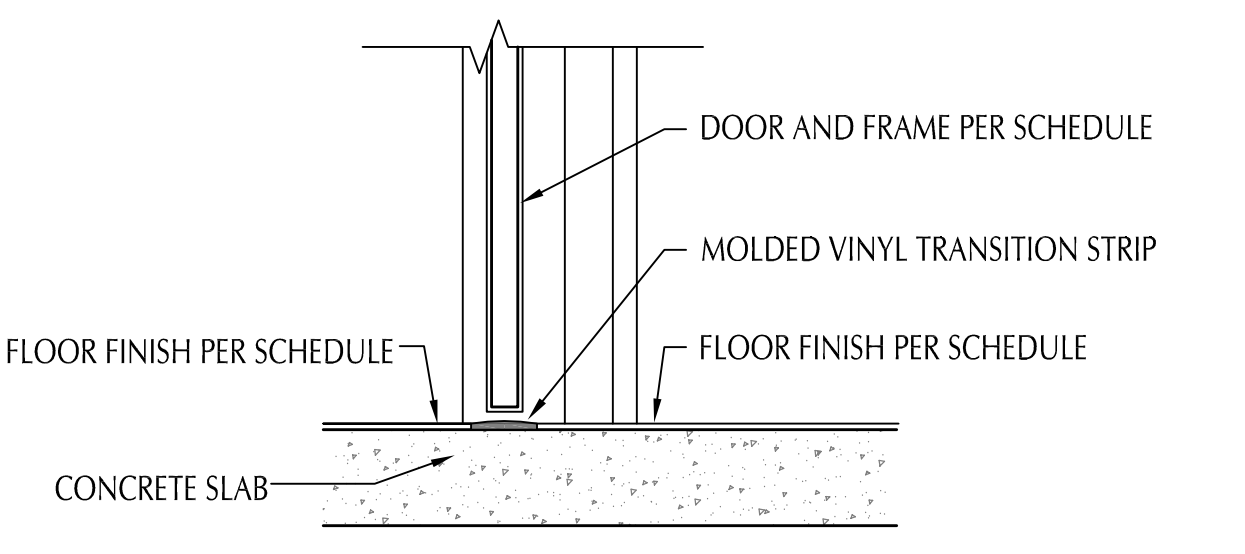
2 CMU DOOR JAMB
SCALE: 1 1/2" = 1'-0"



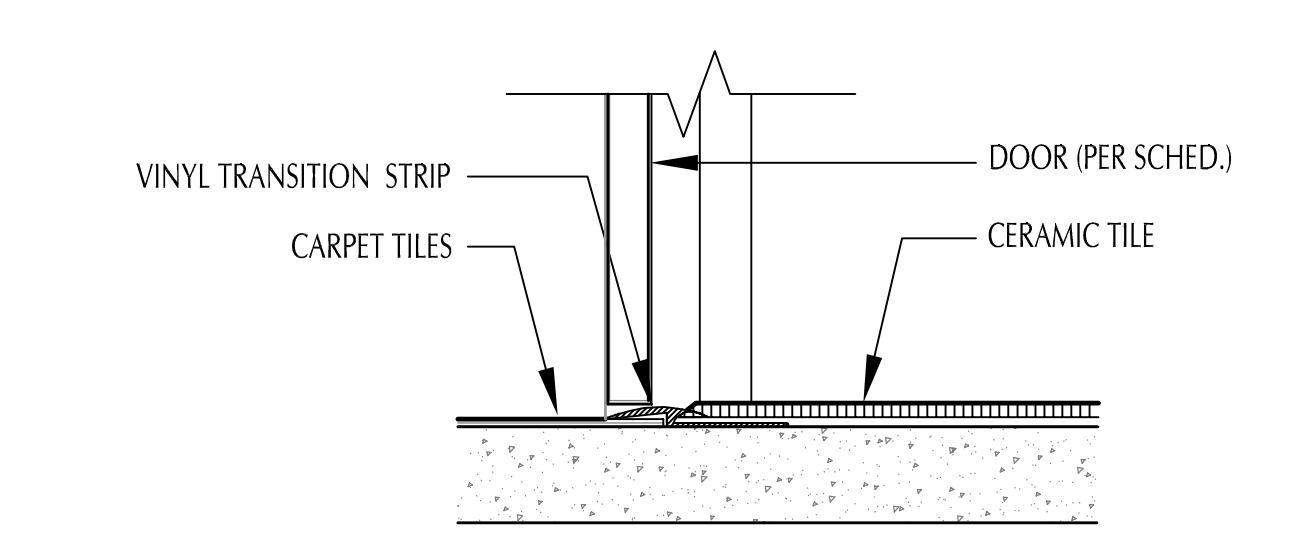
5 INT. STUD DOOR JAMB
SCALE: 1 1/2" = 1'-0"



3 CMU DOOR THRESH.
SCALE: 1 1/2" = 1'-0"

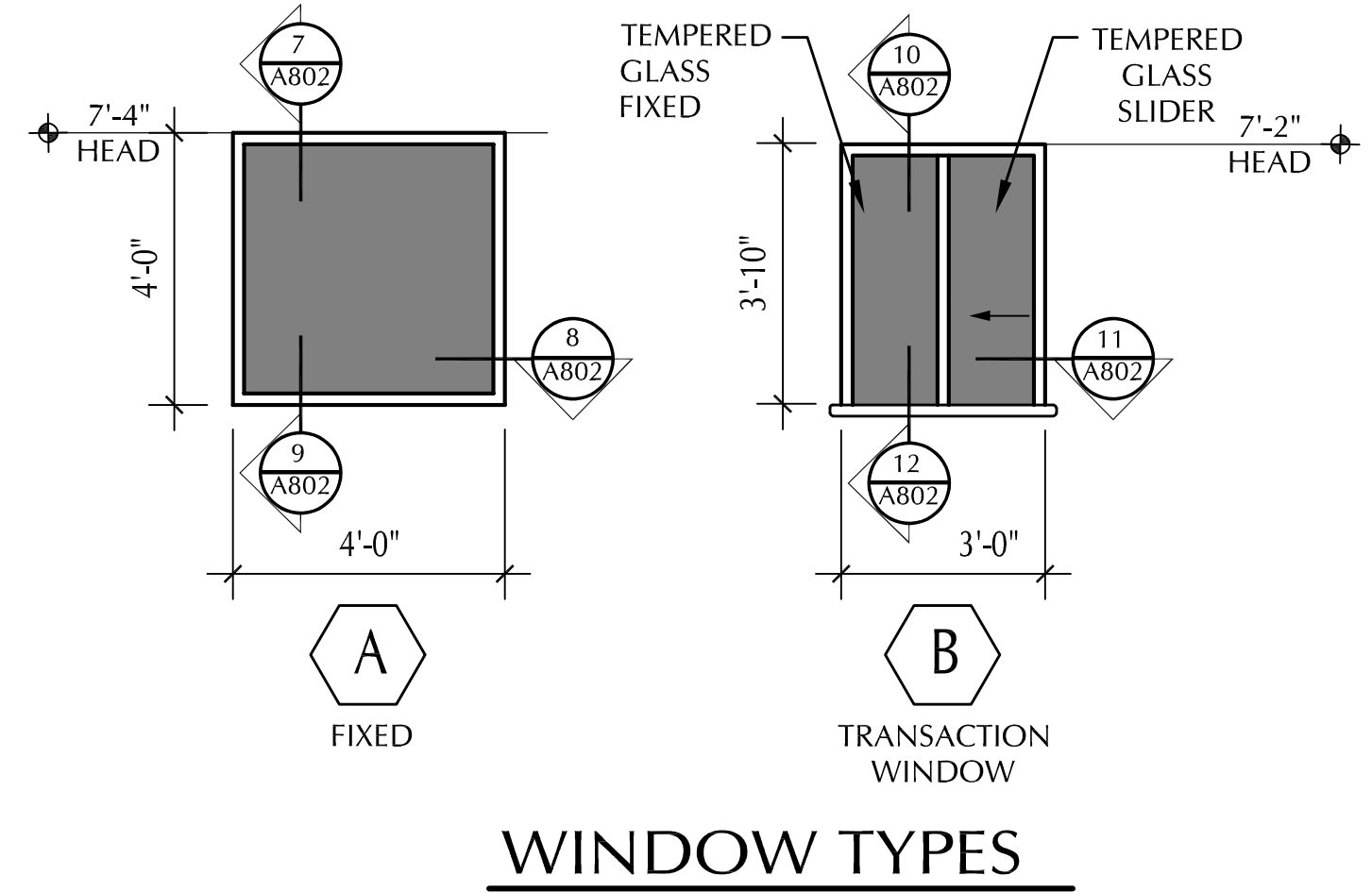


6 INT. STUD DOOR THRESH.
SCALE: 1 1/2" = 1'-0"

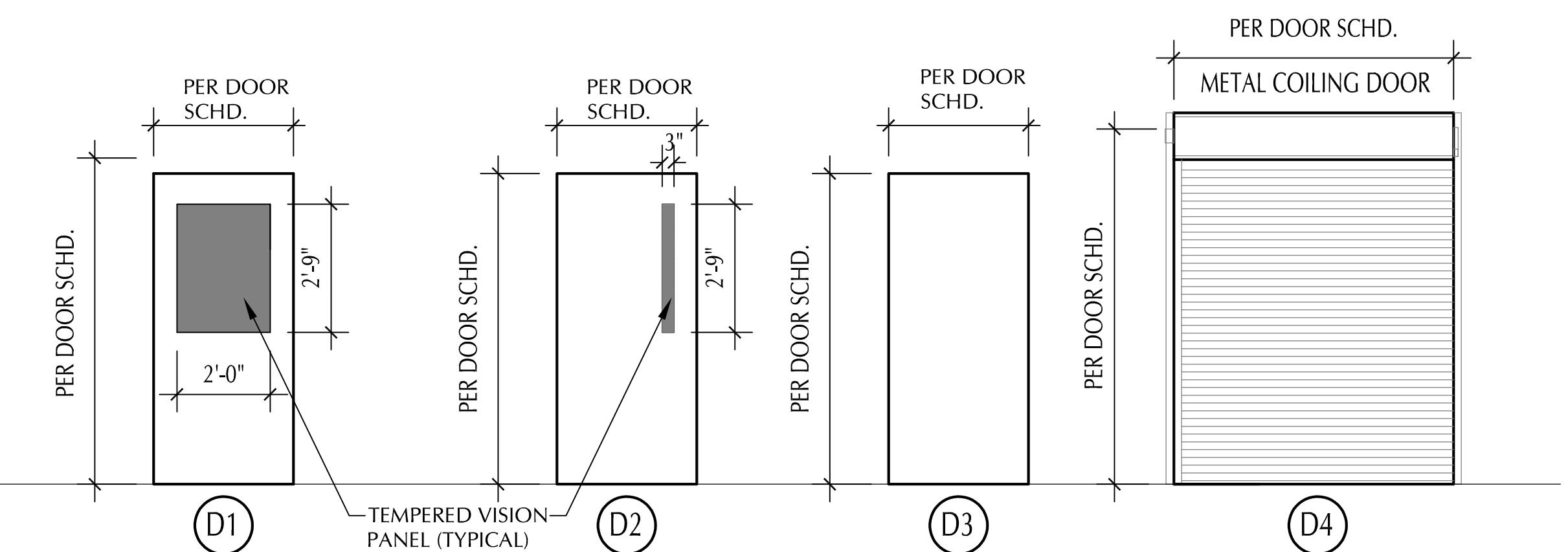


DOOR SCHEDULE NOTES:

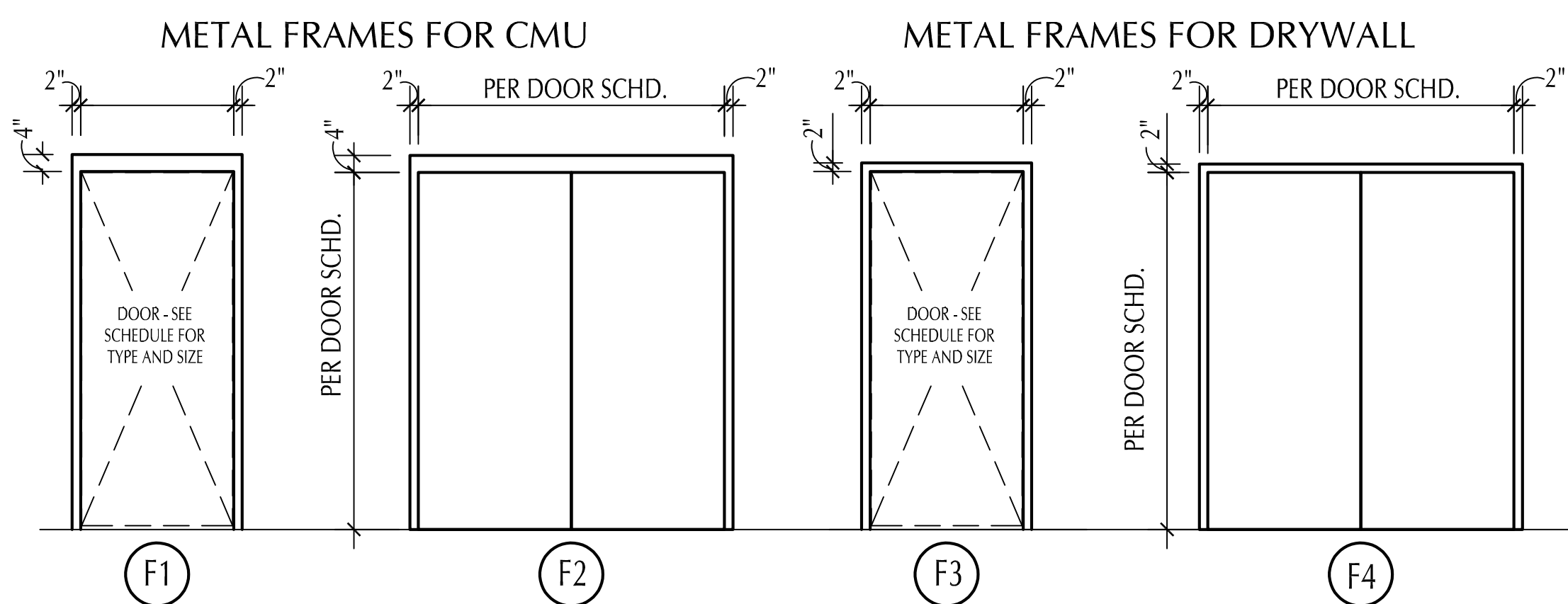
- THIS SCHEDULE IS FURNISHED FOR ASSISTANCE TO THE CONTRACTOR. IT IS NOT ENTIRELY INCLUSIVE. SHOULD ANY ITEM BE OMITTED OR NOT IDENTIFIED PROPERLY, PROVIDE HARDWARE AS REQUIRED FOR SIMILAR PURPOSE.
- COORDINATE ALL KEYING WITH OWNER.
- G.C. TO VERIFY ALL DOOR OPERATION. REPAIR / REPLACE / ADJUST HARDWARE & DOOR CLOSURE AS NEEDED.
- DOOR HARDWARE SHALL HAVE LEVER HANDLES AND COMPLY WITH ALL ADA REQUIREMENTS.
- GLASS PANELS IN NEW DOORS SHALL BE SAFETY GLAZING IN COMPLIANCE WITH F.B.C. 2020, SECTION 2406.



WINDOW TYPES



DOOR TYPES



FRAME TYPES

REVISIONS
Bid Addendum No. 1 8-2-22

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BID SET

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DOOR / WINDOW SCHEDULES
A801
ISSUE DATE 7-12-22