



506 WEST BERCKMAN STREET  
FRUITLAND PARK, FL 34731

PHONE: 352/ 360-6727  
FAX: 352/ 360-6652

**Board Members:**

City Manager Gary La Venia, Chairman  
City Engineer Duane Booth  
City Land Planner Greg Beliveau  
Jeff Gerling, Building Official  
Judd Wright, Fire Inspector  
Tracy Kelley, CDD

**Board Members:**

Interim Chief Eric Luce, Police Department, Vice Chair  
Chief Donald Gilpin, Fire Department  
Dale Bogle, Public Works Director  
Lori Davis, Code Enforcement

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**AGENDA**  
**TECHNICAL REVIEW COMMITTEE**  
**FEBRUARY 5, 2019**  
**10:00AM**

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- I. MEETING CALLED TO ORDER:**
- II. MEMBERS PRESENT:**
- III. MINUTES FROM PREVIOUS MEETING:** Approve meeting minutes from October 2, 2018
- IV. OLD BUSINESS: NONE**
- V. NEW BUSINESS:**
- A. IC International Carwash
- Wicks Engineering submitted a revised Site Plan on behalf of registered property owner. FDOT has denied the northern right in/right out driveway entrance off US Hwy 27/441; the site and landscape plans have been revised showing the removal of the northern driveway. Lake County Public Works is no longer requiring sidewalk construction along project adjacent to CR 25 /S Dixie Ave.
- B. Leesburg Fruit Company, Inc. /Rufus M. Holloway, Trustee /Holloway Properties, Inc.
- Wicks Engineering submitted a Rezoning Application on behalf of registered property owner. The proposed rezoning is requesting to allow Mixed Community PUD as shown on the concept plan for the project.
- C. The Glen Final Plat Phases 11-13
- Springstead Engineering submitted a Final Plat Application on behalf of registered property owner. The application is for final plat approval for The Glen Phases 11-13.

**MEMBERS' COMMENTS:**

**ADJOURNMENT:**



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FRUITLAND PARK, FL 34731

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<b>Board Members:</b> City Manager Gary La Venia, Chairman City Engineer BESH City Land Planner Greg Beliveau Jeff Gerling, Building Official Judd Wright, Fire Inspector Tracy Kelley, CDD	<b>Board Members:</b> Interim Chief Eric Luce, Police Department, Vice Chair Chief Donald Gilpin, Fire Department Dale Bogle, Public Works Director Lori Davis, Code Enforcement
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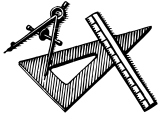
**MINUTES**  
**TECHNICAL REVIEW COMMITTEE**  
**OCTOBER 2, 2018**  
**10:00AM**

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- I. MEETING CALLED TO ORDER:** Meeting called to order 10:01A.M.
- II. MEMBERS PRESENT:** Board members present with the exception of Jeff Gerling, Building Official; Judd Wright, Fire Inspector and Chief Donald Gilpin, Fire Department.
- III. MINUTES FROM PREVIOUS MEETING:** Motion to approve meeting minutes from September 4, 2018 by Dale Bogle, Public Works Director. Second by City Engineer Brett Tobias, BESH. Approved.
- IV. OLD BUSINESS:** NONE
- V. NEW BUSINESS:**
- A. Picciola Reserve Phase 2 Lot Split (ALT Key #1289050)
- Ken Wagner of 4 Corners Property Solutions, LLC proposes a lot split on a vacant parcel for the purpose of building two new single family residences.
- Present Applicant Ken Wagner and gave introduction for lot split application. City Engineer Brett Tobias, BESH, recommended re-plat in lieu of lot split. Engineer Tobias recommends joint use driveway with the sidewalk extended to the edge of the easement. CDD Tracy Kelley instructed applicant to correspond with United States Postal Service for proper mailbox location.
- City Engineer Tobias made applicant aware a variance would be required from the eighty foot (80') road frontage requirement. The City will waive preliminary plat requirements per City Engineer Tobias and City Land Planner Beliveau.
- Applicant Ken Wagner to resubmit application. Revised application will move to informal TRC as another formal TRC is not required.

**MEMBERS' COMMENTS:** No additional comments.

**ADJOURNMENT:** Meeting adjourned 10:13A.M.



# Wicks Engineering Services, Inc.

225 West Main Street ♦ Tavares, Florida 32778  
P (352) 343-8667 F (352) 343-8665

January 15, 2019

Tracy Kelly  
City of Fruitland Park  
506 W. Berckman Street  
Fruitland Park, FL 34731

RE: Final Site Plan Submittal Revisions 1/15/2019 Cover Letter

Dear Ms. Kelly:

FDOT has denied the northern right in/right out driveway entrance off US/Hwy 27, so we had to revise the site plan. The northern driveway entrance (right in/right out) has been removed from the site plan and the landscape plan was also revised showing the removal of the northern driveway entrance. No other revisions were made to the plans.

Also, please note based on past conversations and email correspondence from Lake County Public Works regarding the requirement for the sidewalk along the section of the project adjacent to the CR 25 (S. Dixie Av), this has been determined to be a suggestion by Lake County and not a requirement. This area has not been disturbed by this project and as such has been determined by Lake County Public Works as not being required. No sidewalk for this area is shown on the plans.

Let us know if you have any questions or need additional information.

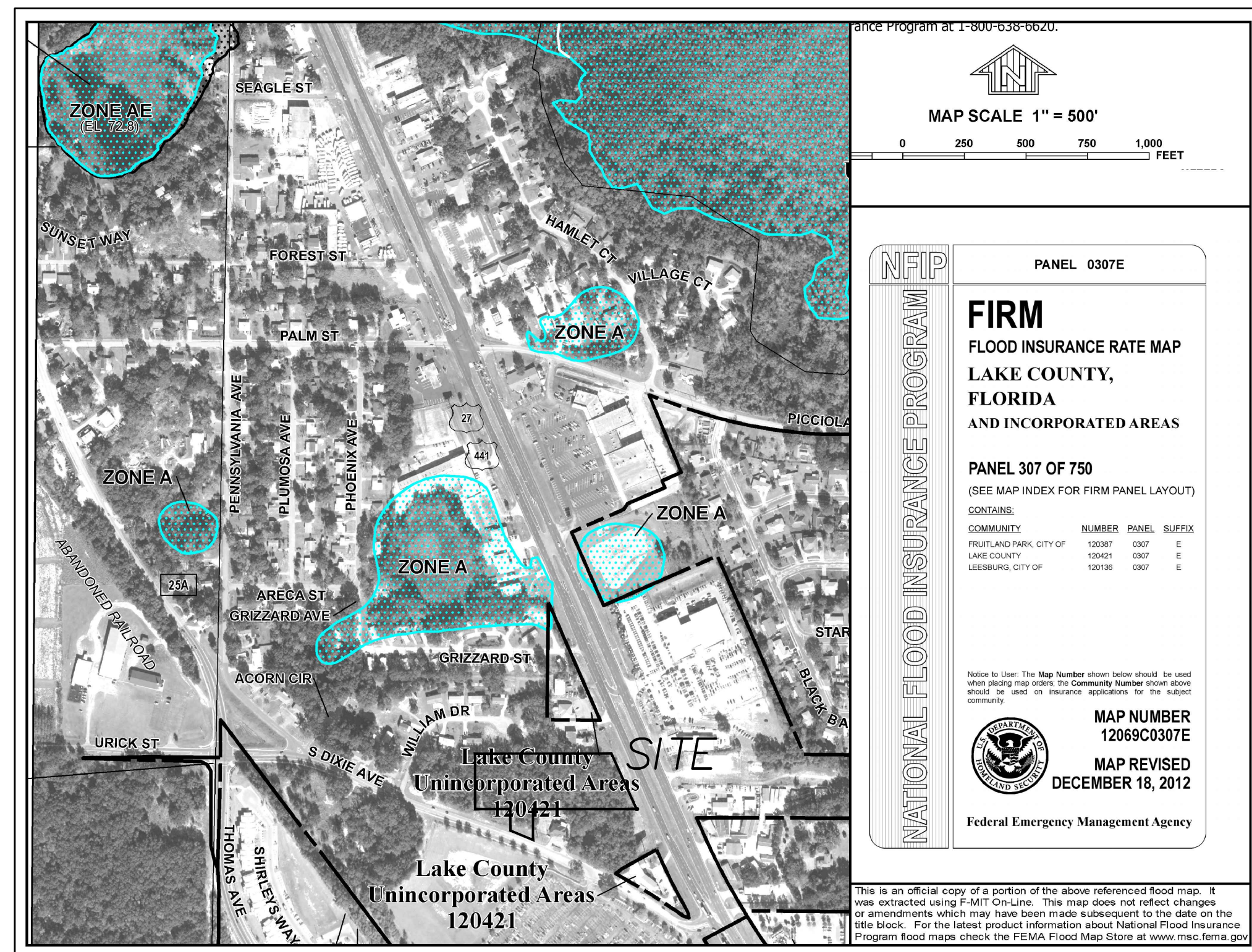
Sincerely,

Wicks Engineering Services, Inc.

*Ted Wicks*

Kenneth R. "Ted" Wicks P.E.  
President

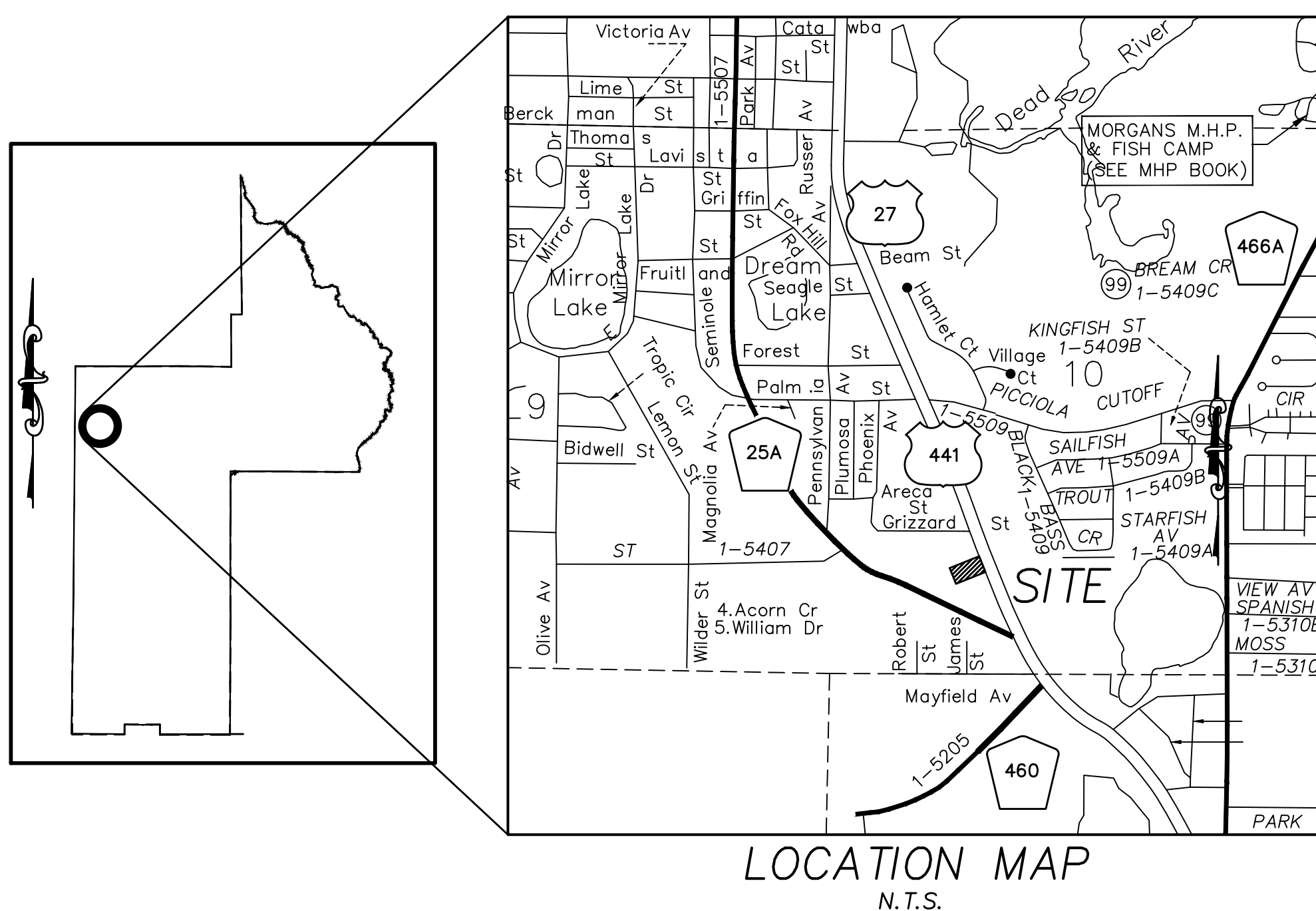
# IC INTERNATIONAL CAR WASH FRUITLAND PARK, FLORIDA 34731



**FEMA MAP 12069C0307E**  
nts



**AERIAL MAP**  
ALTERNATE KEY #1170621  
SCALE: 1"=200'



- INDEX OF SHEETS**
1. COVER SHEET
  2. GENERAL NOTES
  3. GENERAL UTILITY NOTES
  4. SURVEY
  5. DEMOLITION & EROSION CONTROL PLAN
  6. SITE PLAN
  7. GEOMETRY PLAN
  8. GRADING & DRAINAGE PLAN
  9. AUTOTURN SIMULATION (FIRE TRUCK)
  10. AUTOTURN SIMULATION (GARAGE TRUCK)
  11. ENTRANCE ROAD PLAN & PROFILE
  12. UTILITY PLAN
  13. LIFT STATION DETAIL
  14. CONSTRUCTION, DRAINAGE & UTILITY DETAILS
  15. UTILITY DETAILS
  16. LANDSCAPE PLAN
  17. BUILDING ELEVATIONS & DESIGN STANDARDS

OWNER: FRUITLAND PARK HOLDINGS, LLC.  
TEJINDER GREWALL, MANAGER  
1330 SAXON BLVD.  
ORANGE CITY, FL 32763  
PHONE: 480-717-7100  
EMAIL: TJ@TJOIL.NET

**Wicks Engineering Services, Inc.**  
225 West Main Street, Tavares, Florida 32778  
[www.wicksengineering.com](http://www.wicksengineering.com) (352) 343-8667  
C.A. #30062

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FRUITLAND PARK HOLDINGS, LLC  
TEJINDER S. GREWALL  
1330 SAXON BOULEVARD  
ORANGE CITY, FLORIDA 32763

**IC INTERNATIONAL CARWASH  
COVER SHEET**  
US HWY 27/441 FRUITLAND PARK FL. 34731

KENNETH R. WICKS, P.E. FL. REG. NO. 33274  
DATE:

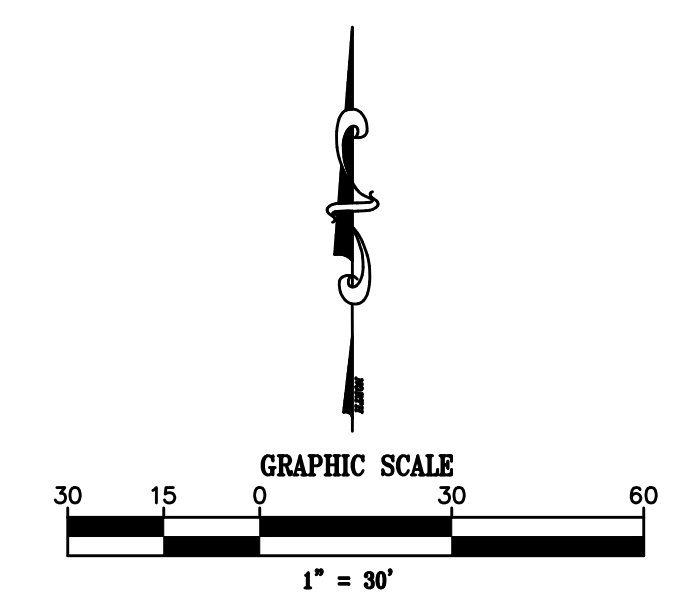
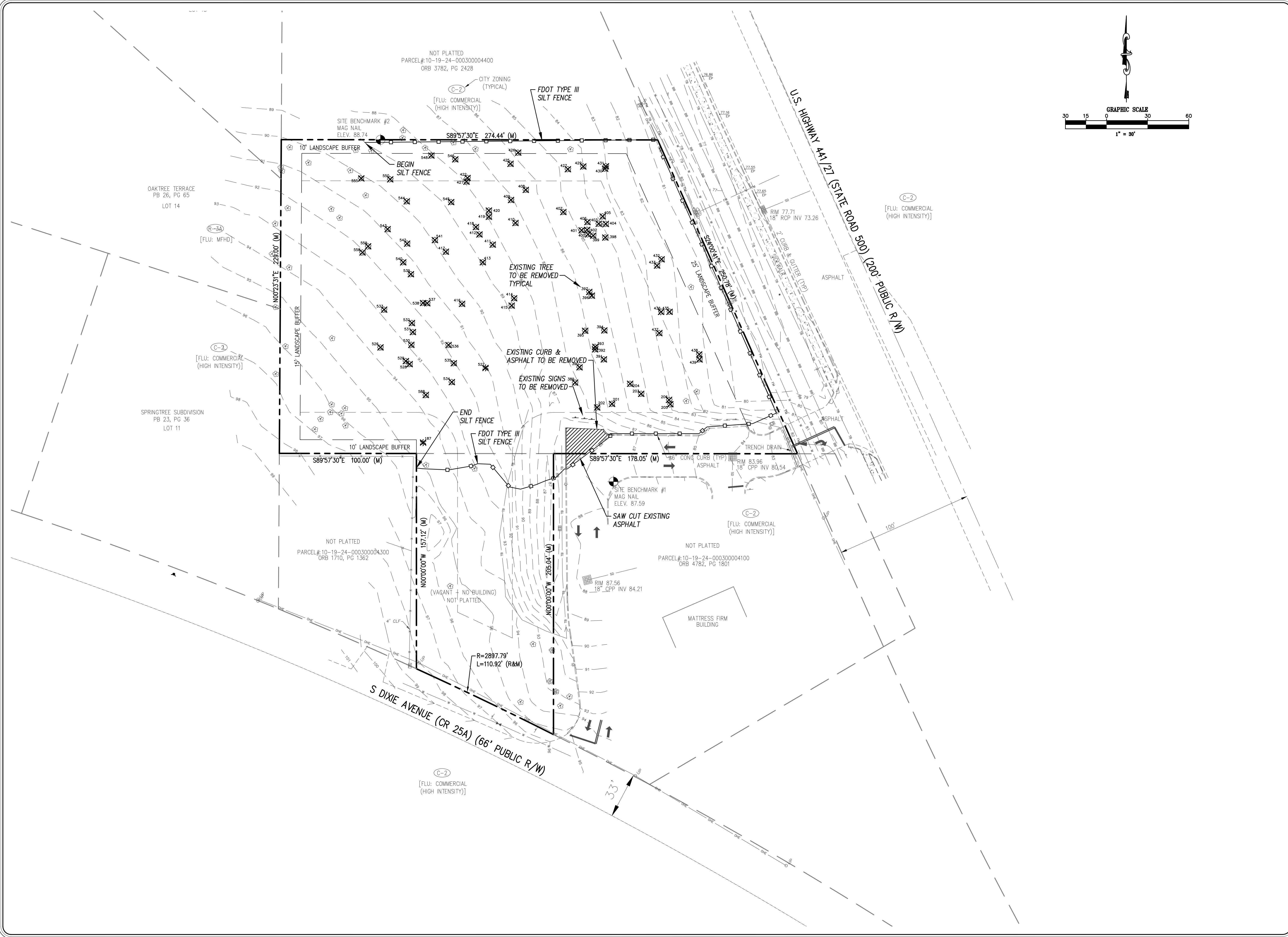
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Checked: TRW	SJ RAI 1	05-31-2018
Date: 10-25-17	BESH COMMENTS	06-11-2018
Scale: AS SHOWN	FDOT COMMENTS	01-07-2019
File No.: 17136		

Sheet: 1 of 17









**Wicks Engineering Services, Inc.**  
 225 West Main Street, Tallahassee, Florida 32378  
 www.wicksengineering.com (352) 343-8667  
 C.A. #50062

FRUITLAND PARK HOLDINGS, LLC  
 TEJINDER S. GREWAL  
 1330 SAXON BOULEVARD  
 ORANGE CITY, FLORIDA 32763

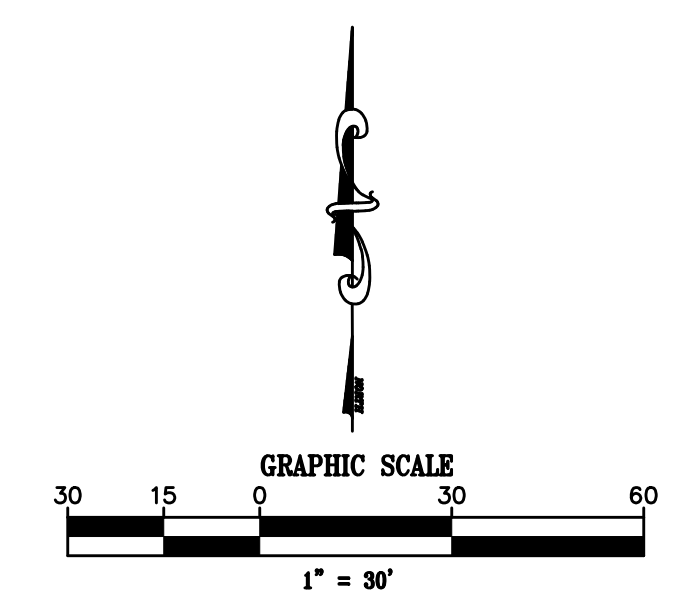
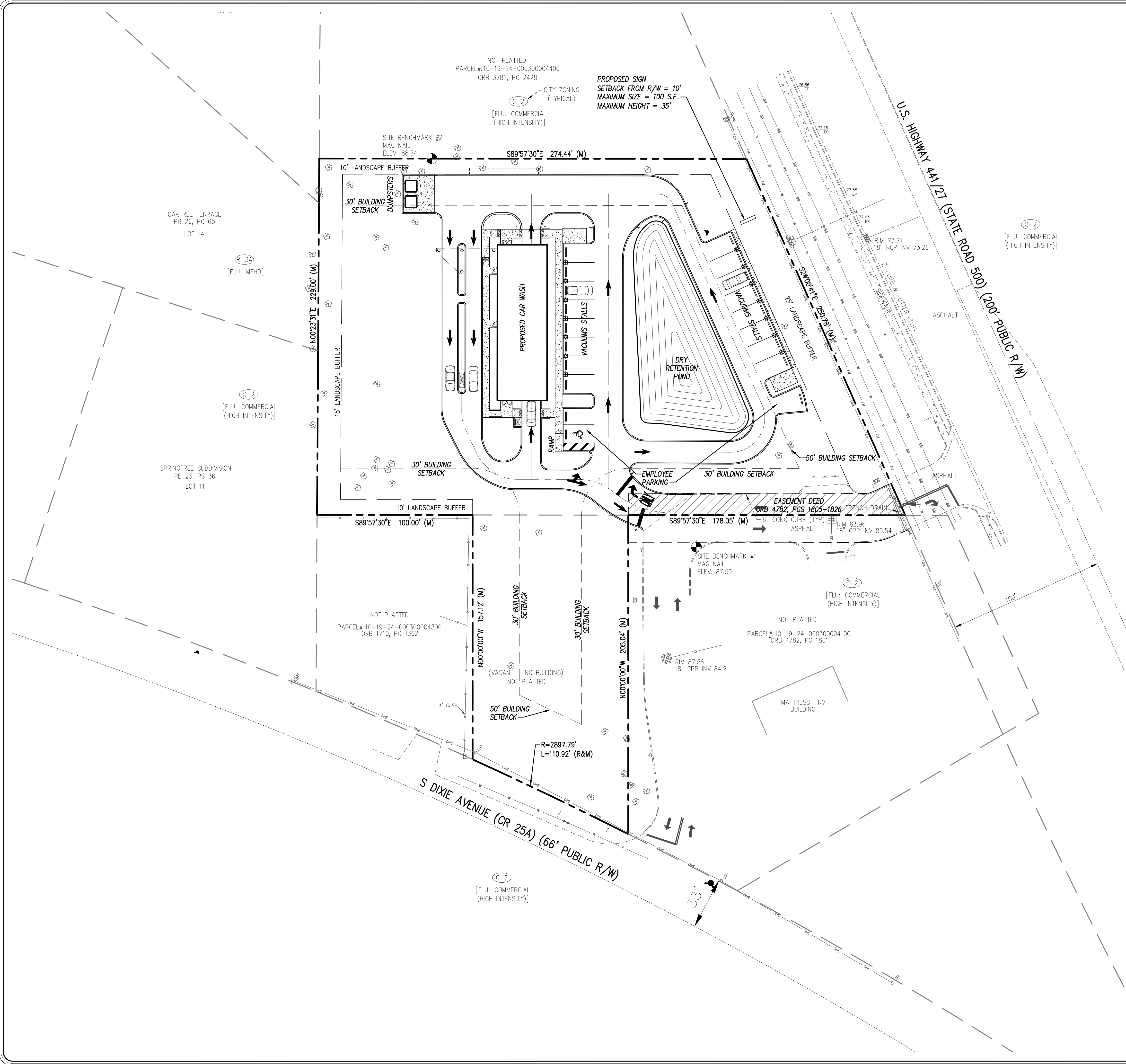
**IC INTERNATIONAL CARWASH  
 DEMOLITION & EROSION CONTROL PLAN  
 US HWY 27/441 FRUITLAND PARK FL. 34731**

KENNETH R. WICKS, P.E. FL. REG. NO. 33274  
 DATE:

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**LEGAL DESCRIPTION**

A part of Southeast 1/4 of Section 10, Township 19 South, Range 24 East, in Lake County, Florida, bounded and described as follows:

Beginning at a point 566.5 feet South and 100 feet East of the Northwest corner of the Southeast 1/4 of Southwest 1/4 of said Section; run thence East 100 feet; thence South 200 feet to the North line of the Highway; thence Northwesterly along the North line of the Highway, a distance of 110.5 feet to a point South of the Point of Beginning; thence North 153.1 feet to the Point of Beginning.

AND:

That part of the North 229 feet of the South 991 feet of the Southeast 1/4 of the Southwest 1/4 of Section 10, Township 19 South, Range 24 East, in Lake County, Florida, lying West of the Westerly line of the right of way of U.S. Highway No. 27.

<b>SITE DATA</b>	
TOTAL ACRES:	1.7± ACRES (76,041 SF)
LAND USE:	VACANT
EXISTING USE:	CARWASH FACILITY
PROPOSED USE:	GENERAL COMMERCIAL (C-2)
ZONING:	COMMERCIAL (HIGH INTENSITY)
FUTURE LAND USE:	
OPEN SPACE:	
REQUIRED ST:	30% (0.51 ACERS 22,216 SF)
PROVIDED SF:	73% (1.27 ACRES 55,818 SF)
MAXIMUM BUILDING HEIGHT:	35 FEET
BUILDING:	3,200 S.F.
ISR (MAXIMUM):	70%
(PROVIDED):	27%
PARKING: REQUIRED:	1 SPACE PER WASH LANE
PROVIDED:	(2) 10'x20' EMPLOYEE SPACES (1) 12'x20' HC SPACE (16) 12'x20' VACUUM SPACES
BUILDING SETBACKS:	
FRONT:	50' FROM RIGHT OF WAY
SIDE:	30' FROM PROPERTY LINE
REAR:	15' FROM PROPERTY LINE
LANDSCAPE BUFFERS:	
HIGHWAY 27 FRONTAGE:	25' LANDSCAPE BUFFER 4 CANOPY TREES, 2 UNDERSTORY TREES & 15 SHRUBS PER 100' OF PROPERTY
SIDES:	10' LANDSCAPE BUFFER 4 CANOPY TREES, 2 UNDERSTORY TREES & 15 SHRUBS PER 100' OF PROPERTY
REAR:	15' LANDSCAPE BUFFER 4 CANOPY TREES, 2 UNDERSTORY TREES & 15 SHRUBS PER 100' OF PROPERTY

**NOTES:**

- LIFT STATION (SHEET 13 of 15) IS PRIVATELY OWNED AND WILL BE MAINTAINED BY THE PROPERTY OWNER.
- FIRE HYDRANT IS PRIVATE AND THE CITY OF FRUITLAND PARK OWNERSHIP STOPS AT THE GATE.

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 TEJINDER S. GREWAL  
 1330 SAXON BOULEVARD  
 ORANGE CITY, FLORIDA 32763

**IC INTERNATIONAL CARWASH**  
**SITE PLAN**  
 US HWY 27/441 FRUITLAND PARK FL. 34731

KENNETH R. WICKS, P.E. FL. REG. NO. 33274  
 DATE:

Drawn:	WSR	REVISION:	DATE:
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Date:	10-25-17	BESH COMMENTS 06-11-2018	
Scale:	AS SHOWN	FDOT COMMENTS 01-07-2019	
File No.:	17136		

Sheet: 6 of 17

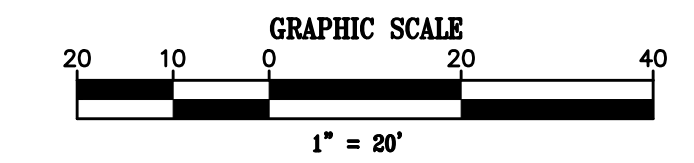
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PARCEL#: 10-19-24-000300004400  
ORB 3782, PG 2428

CITY ZONING (TYPICAL)  
C-2

[FLU: COMMERCIAL (HIGH INTENSITY)]

SITE BENCHMARK #2  
MAG NAIL  
ELEV. 88.74

S89°57'30"E 274.44' (M)



LEGEND

- ⊙ PARKING COUNT
- A HANDICAP RAMP PER FDOT INDEX #304
- B HANDICAP RAMP w/ HANDRAIL PER FDOT INDEX #304

C-2  
[FLU: COMMERCIAL (HIGH INTENSITY)]

OAKTREE TERRACE  
PB 26, PG 65  
LOT 14

R-3A  
[FLU: MFHD]

N00°23'31"E 229.00' (M)

C-2  
[FLU: COMMERCIAL (HIGH INTENSITY)]

SPRINGTREE SUBDIVISION  
PB 23, PG 36  
LOT 11

10' LANDSCAPE BUFFER

S89°57'30"E 100.00' (M)

NOT PLATTED  
PARCEL#: 10-19-24-000300004300  
ORB 1710, PG 1362

N00°00'00"W 157.12' (M)

(VACANT NO BUILDING NOT PLATTED)

N00°00'00"W 205.04' (M)

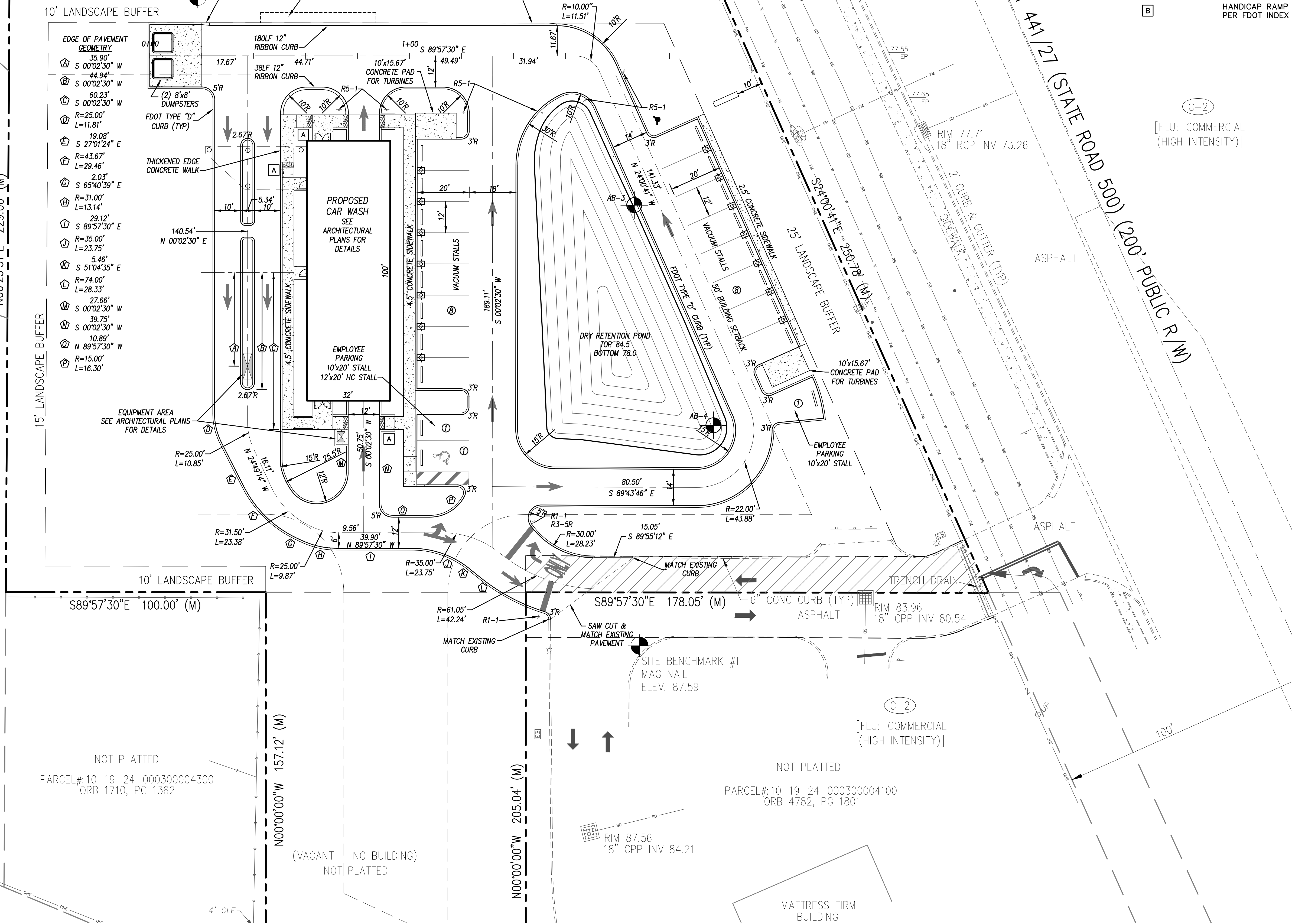
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ORB 4782, PG 1801

RIM 87.56  
18" CPP INV 84.21

NOT PLATTED

C-2  
[FLU: COMMERCIAL (HIGH INTENSITY)]

MATTRESS FIRM BUILDING



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 1330 SAXON BOULEVARD  
 ORANGE CITY, FLORIDA 32763

**IC INTERNATIONAL CARWASH  
 GEOMETRY PLAN**  
 US HWY 27/441 FRUITLAND PARK FL. 34731

KENNETH R. WICKS, P.E. FL. REG. NO. 33274  
 DATE:

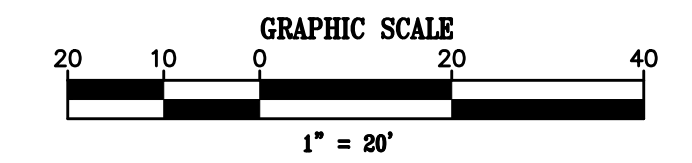
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File No.: 17136		

Sheet: 7 of 17

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 ORB 3782, PG 2428

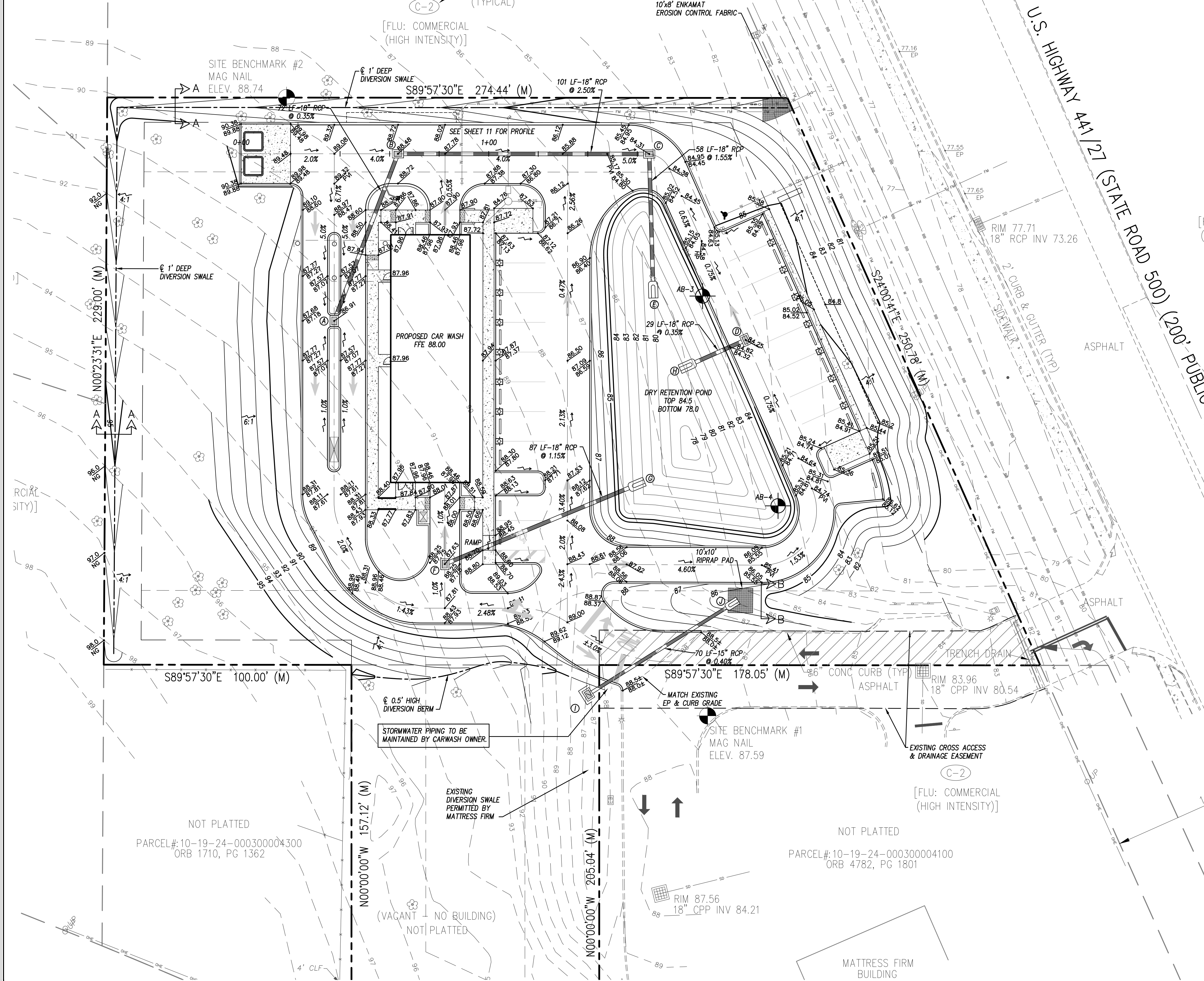
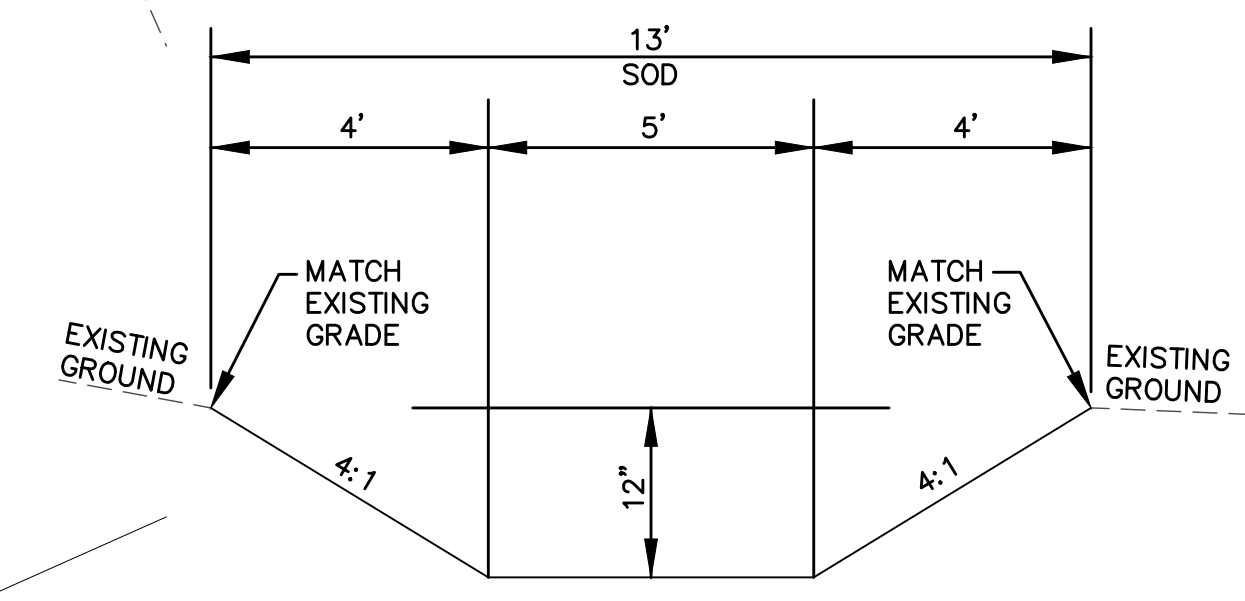
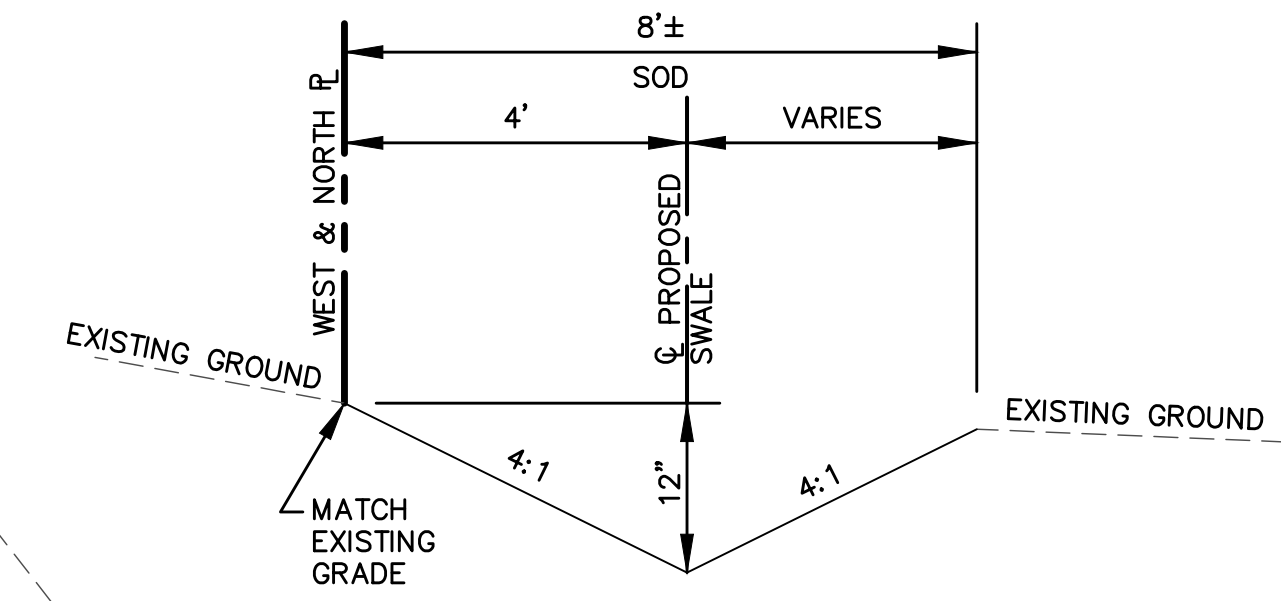
CITY ZONING (TYPICAL)  
 [FLU: COMMERCIAL (HIGH INTENSITY)]

10'x8' ENKAMAT EROSION CONTROL FABRIC



- Ⓐ TYPE C INLET TOP 86.91 INV. 84.00
- Ⓑ TYPE C INLET TOP 88.48 INV. SW 83.75 INV. E 83.65
- Ⓒ TYPE C INLET TOP 84.31 INV. W 81.00 INV. SE 80.90
- Ⓓ TYPE C INLET TOP 84.25 INV. 79.60
- Ⓔ 18" MITERED END SECTION INV. 80.00
- Ⓣ TYPE C INLET TOP 87.63 INV. 83.00
- Ⓤ 18" MITERED END SECTION INV. 82.00
- Ⓟ 18" MITERED END SECTION INV. 79.50
- Ⓠ CONTROL STRUCTURE TYPE "D" INLET GRATE EL. 88.70 4'1" SLOT SW INV. 87.00 INV. 85.78
- Ⓡ 15" MITERED END SECTION INV. 85.50

CITY ZONING (TYPICAL)  
 [FLU: COMMERCIAL (HIGH INTENSITY)]



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 ORB 1710, PG 1362

NOT PLATTED  
 PARCEL#: 10-19-24-000300004100  
 ORB 4782, PG 1801

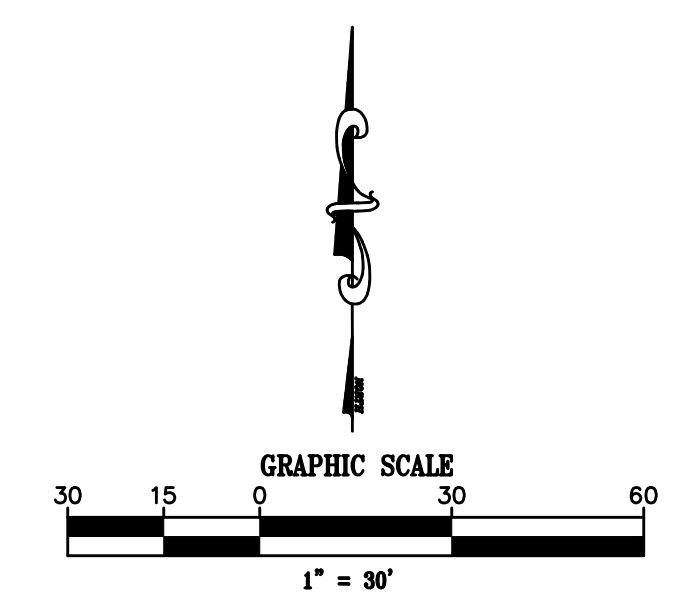
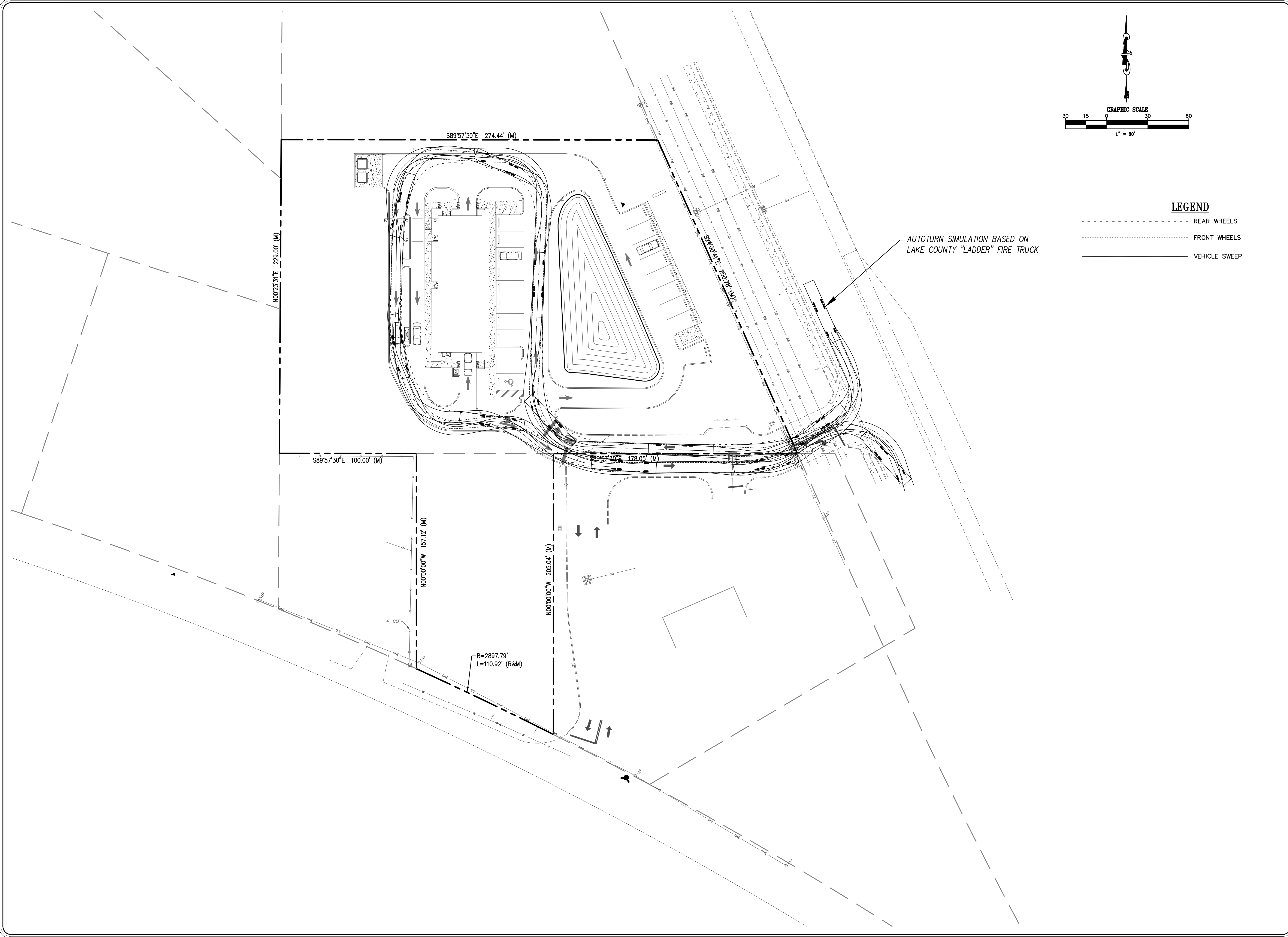
**Wicks Engineering Services, Inc.**  
 225 West Main Street, Tallahassee, Florida 32378  
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 C.A. #50062

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 TEJINDER S. GREWAL  
 1330 SAXON BOULEVARD  
 ORANGE CITY, FLORIDA 32763

IC INTERNATIONAL CARWASH  
 GRADING & DRAINAGE PLAN  
 US HWY 27/441 FRUITLAND PARK FL. 34731

KENNETH R. WICKS, P.E. FL. REG. NO. 33274  
 DATE:

Drawn:	REVISION:	DATE:
TRW	SJ RAI 1	05-31-2018
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Date:	AS SHOWN	FDOT COMMENTS
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File No.:		



**LEGEND**

- REAR WHEELS
- FRONT WHEELS
- VEHICLE SWEEP

AUTOTURN SIMULATION BASED ON LAKE COUNTY "LADDER" FIRE TRUCK

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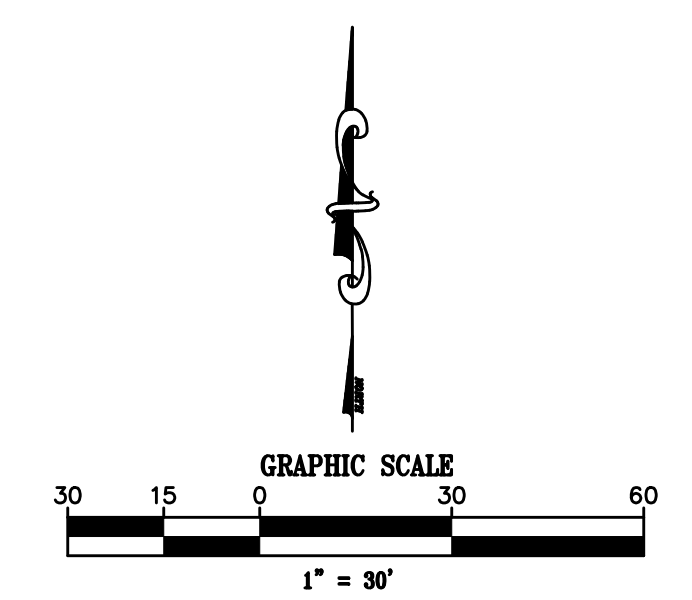
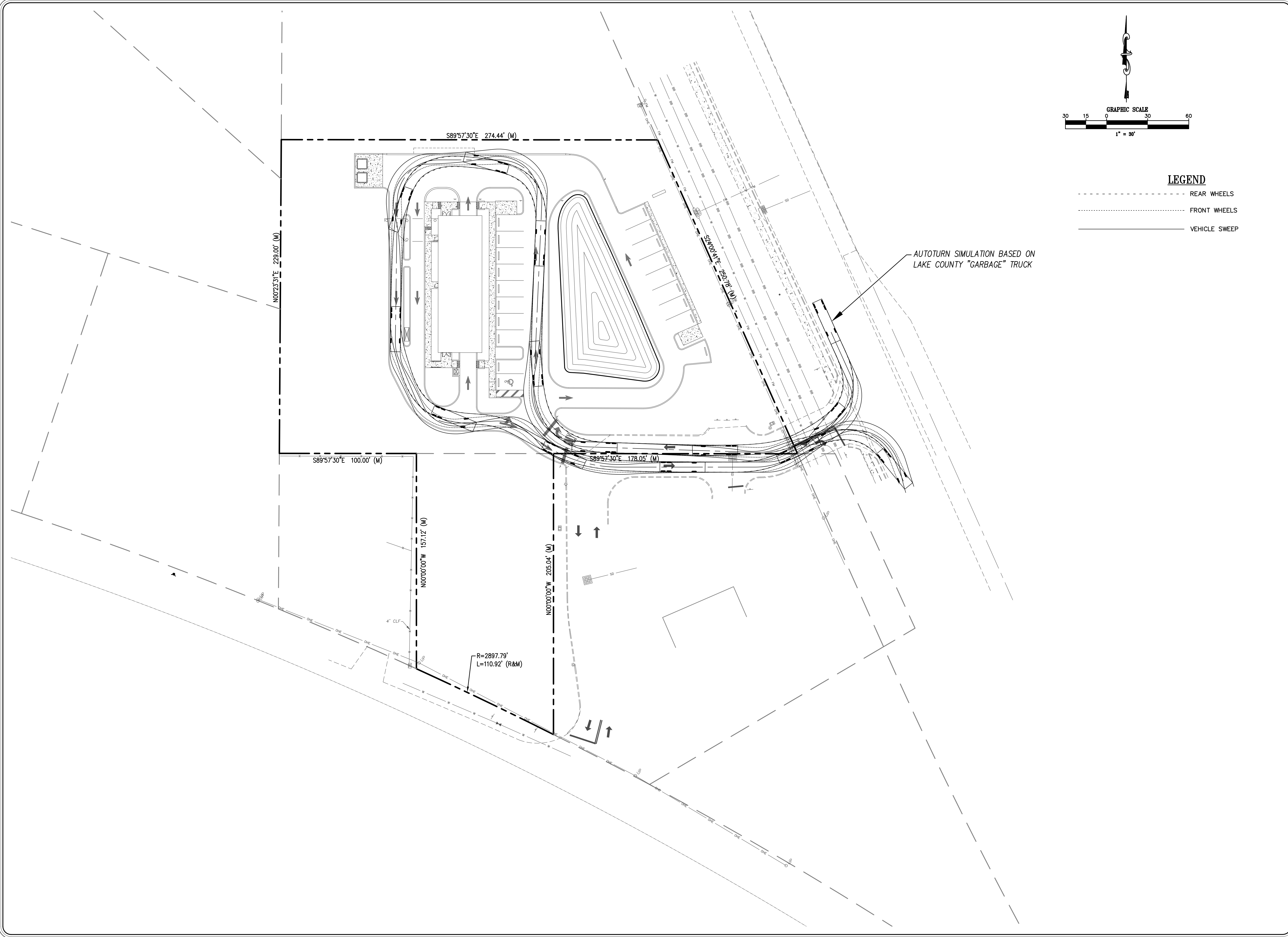
FRUITLAND PARK HOLDINGS, LLC  
 TEJINDER S. GREWAL  
 1330 SAXON BOULEVARD  
 ORANGE CITY, FLORIDA 32763

**IC INTERNATIONAL CARWASH**  
**AUTOTURN SIMULATION (FIRE TRUCK)**  
 US HWY 27/441 FRUITLAND PARK FL. 34731

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**Sheet: 9 of 17**



- LEGEND**
- REAR WHEELS
  - ..... FRONT WHEELS
  - VEHICLE SWEEP

AUTOTURN SIMULATION BASED ON LAKE COUNTY "GARBAGE" TRUCK

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 www.wicksengineering.com (352) 343-8667  
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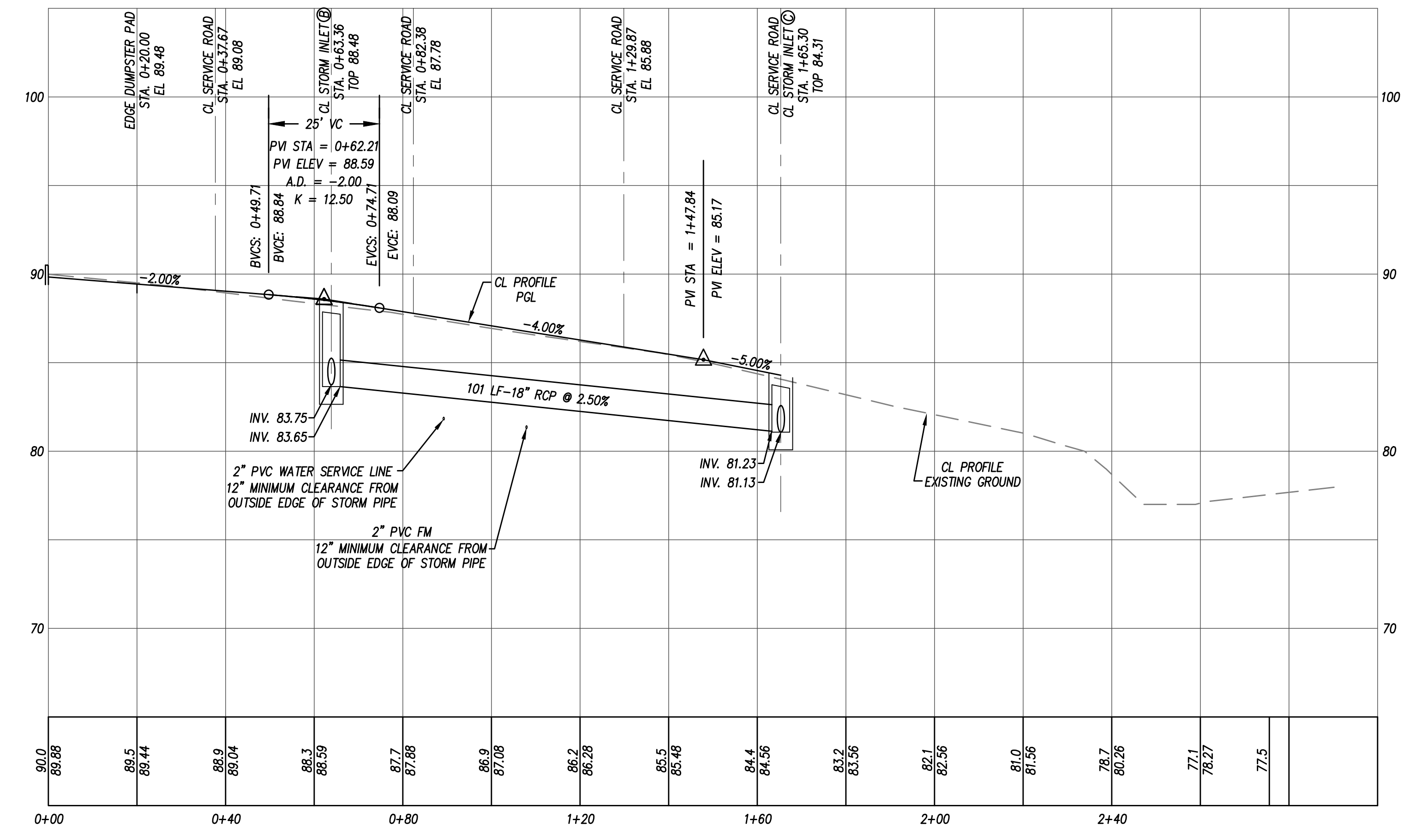
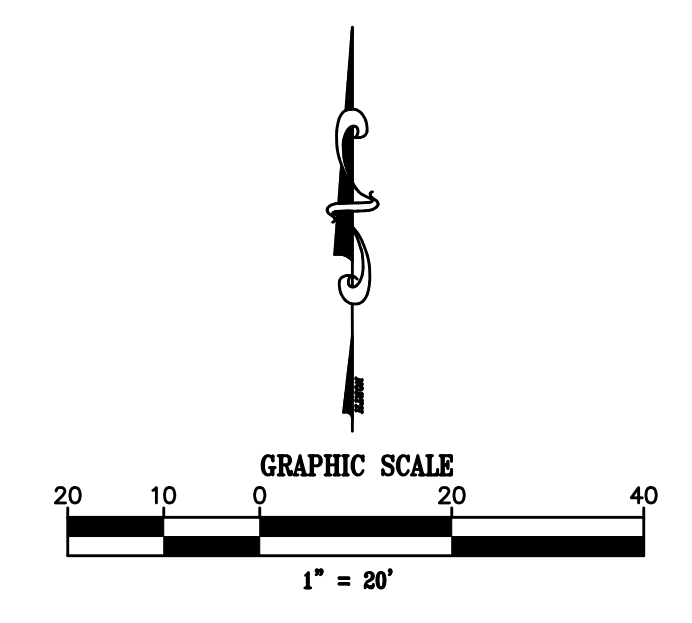
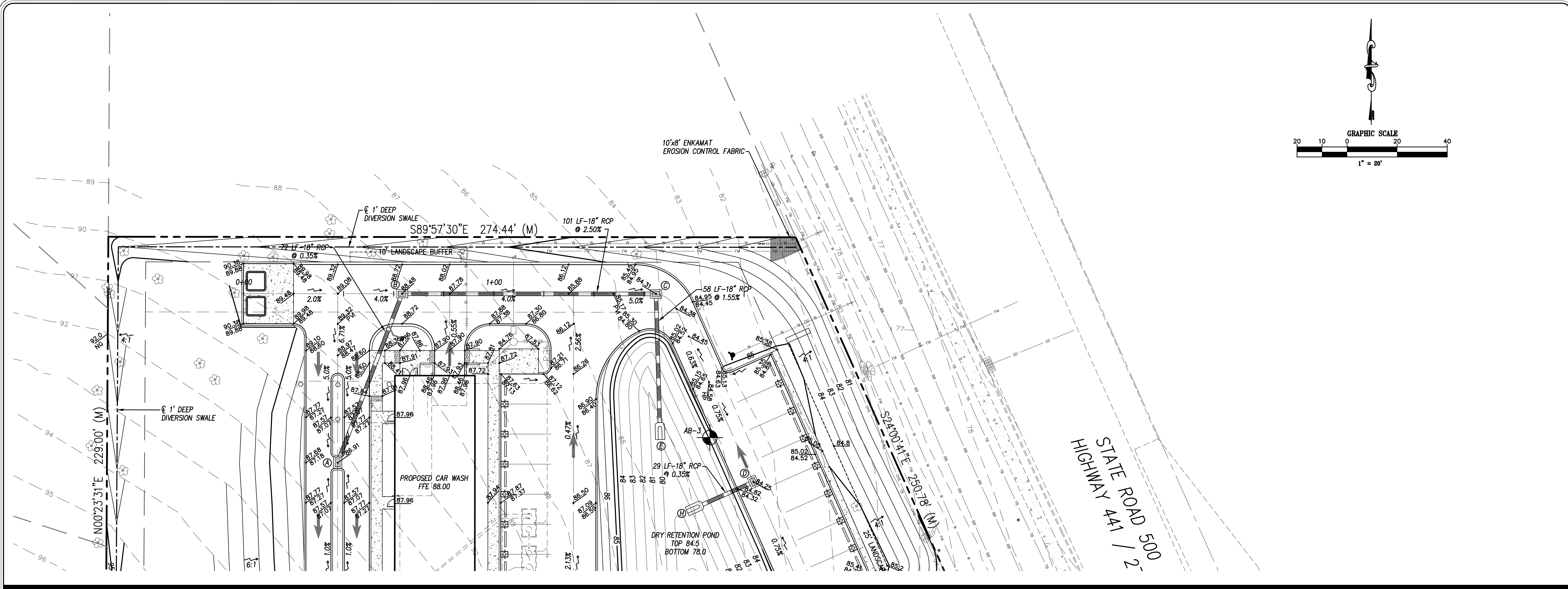
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 TEJINDER S. GREWAL  
 1330 SAXON BOULEVARD  
 ORANGE CITY, FLORIDA 32763

**IC INTERNATIONAL CARWASH**  
**AUTOTURN SIMULATION (GARAGE TRUCK)**  
 US HWY 27/441 FRUITLAND PARK FL. 34731

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Sheet: 10 of 17



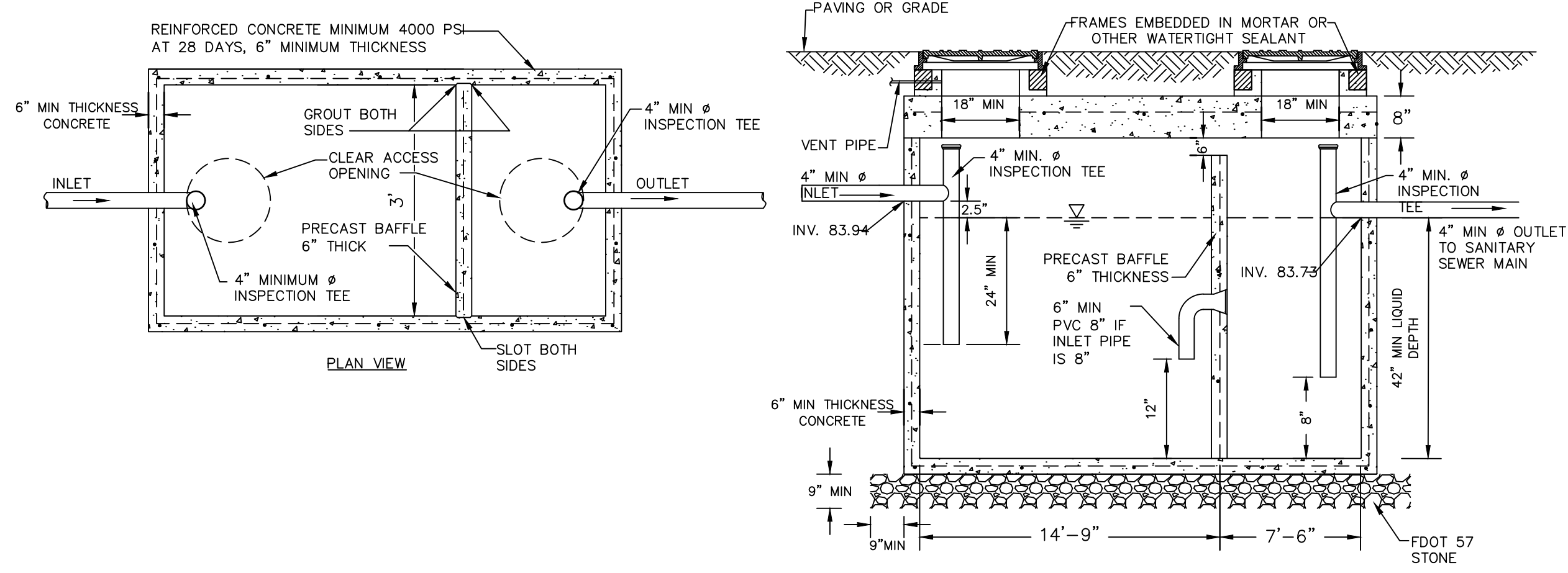
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 GRADING & DRAINAGE PLAN**  
 US HWY 27/441 FRUITLAND PARK FL. 34731

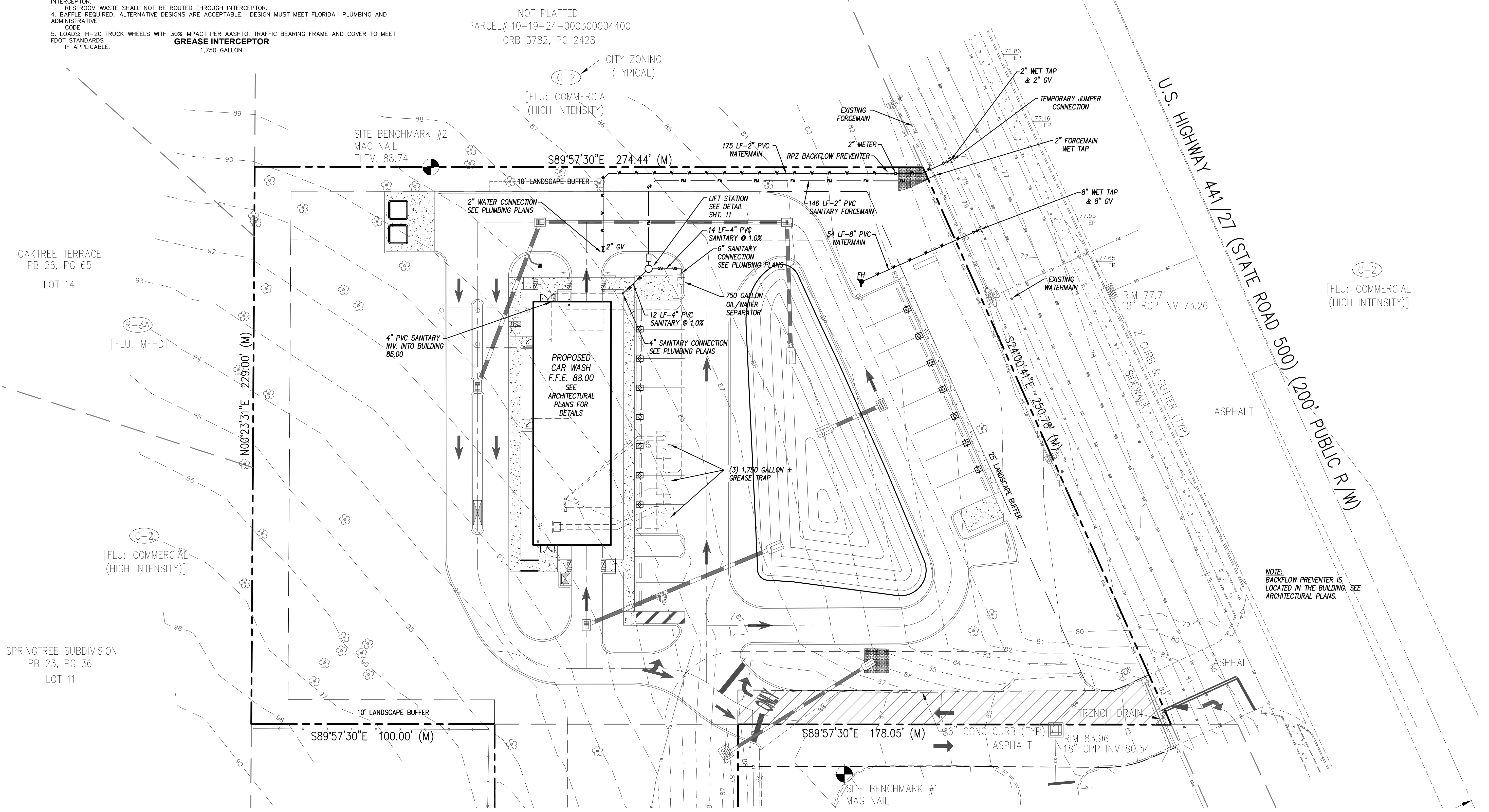
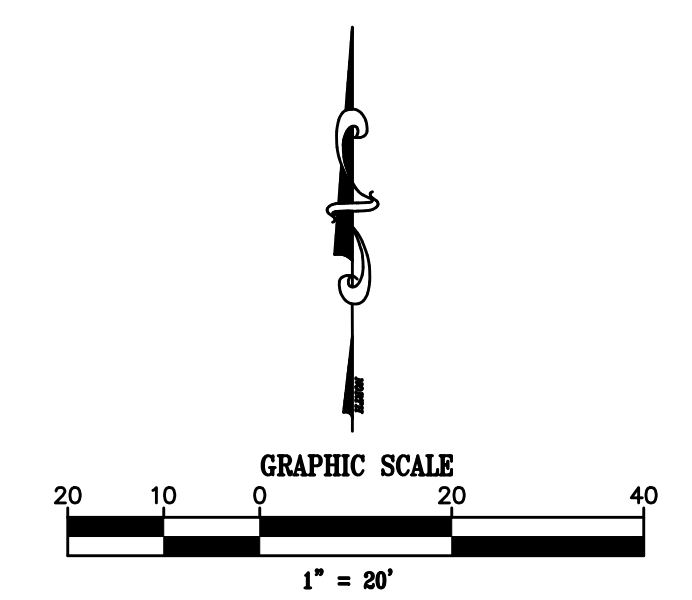
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NOTES:  
 1. SPECIFIC DESIGN DETAILS MUST IN ALL ASPECTS MEET APPLICABLE FLORIDA PLUMBING AND ADMINISTRATIVE CODE.  
 2. INTERCEPTORS SHALL BE WATER AND GAS TIGHT.  
 3. ALL FIXTURES LOCATED IN FOOD AND BEVERAGE PREPARATION AREAS SHALL BE ROUTED THROUGH GREASE INTERCEPTOR.  
 4. RESTROOM WASTE SHALL NOT BE ROUTED THROUGH INTERCEPTOR.  
 5. BAFFLE REQUIRED; ALTERNATIVE DESIGNS ARE ACCEPTABLE. DESIGN MUST MEET FLORIDA PLUMBING AND ADMINISTRATIVE CODE.  
 6. LOADS: H-20 TRUCK WHEELS WITH 30% IMPACT PER AASHTO. TRAFFIC BEARING FRAME AND COVER TO MEET FDOT STANDARDS IF APPLICABLE.  
**GREASE INTERCEPTOR**  
 1,750 GALLON

NOT PLATTED  
 PARCEL#: 10-19-24-000300004400  
 ORB 3782, PG 2428



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**IC INTERNATIONAL CARWASH**  
 UTILITY PLAN  
 US HWY 27/441 FRUITLAND PARK FL. 34731

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Sheet: 12 of 17

NOTE: BACKFLOW PREVENTER IS LOCATED IN THE BUILDING. SEE ARCHITECTURAL PLANS.

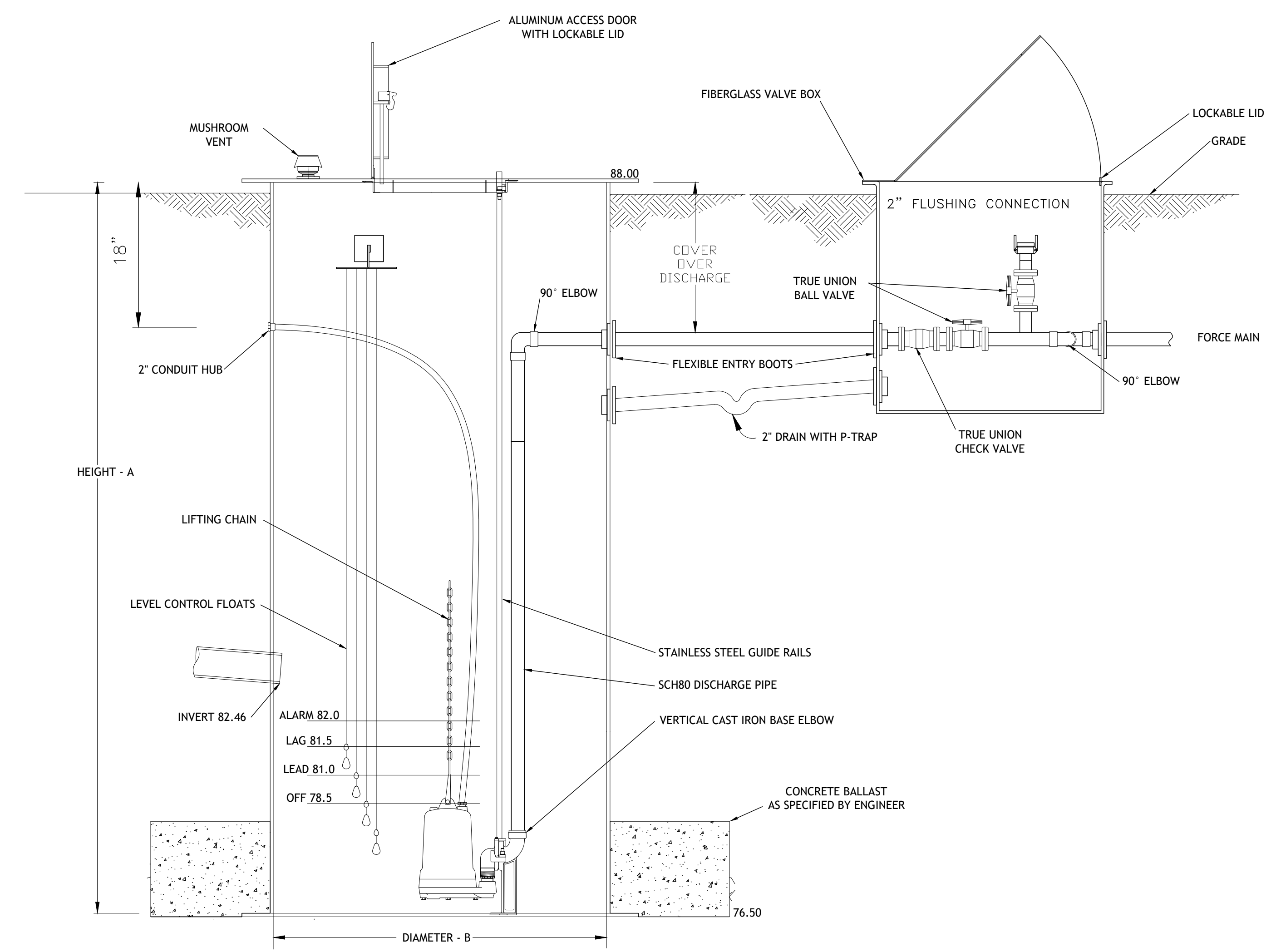


VICTORIA@MESSINAASSOCIATES.COM  
 PHONE  
 (352)-800-9758

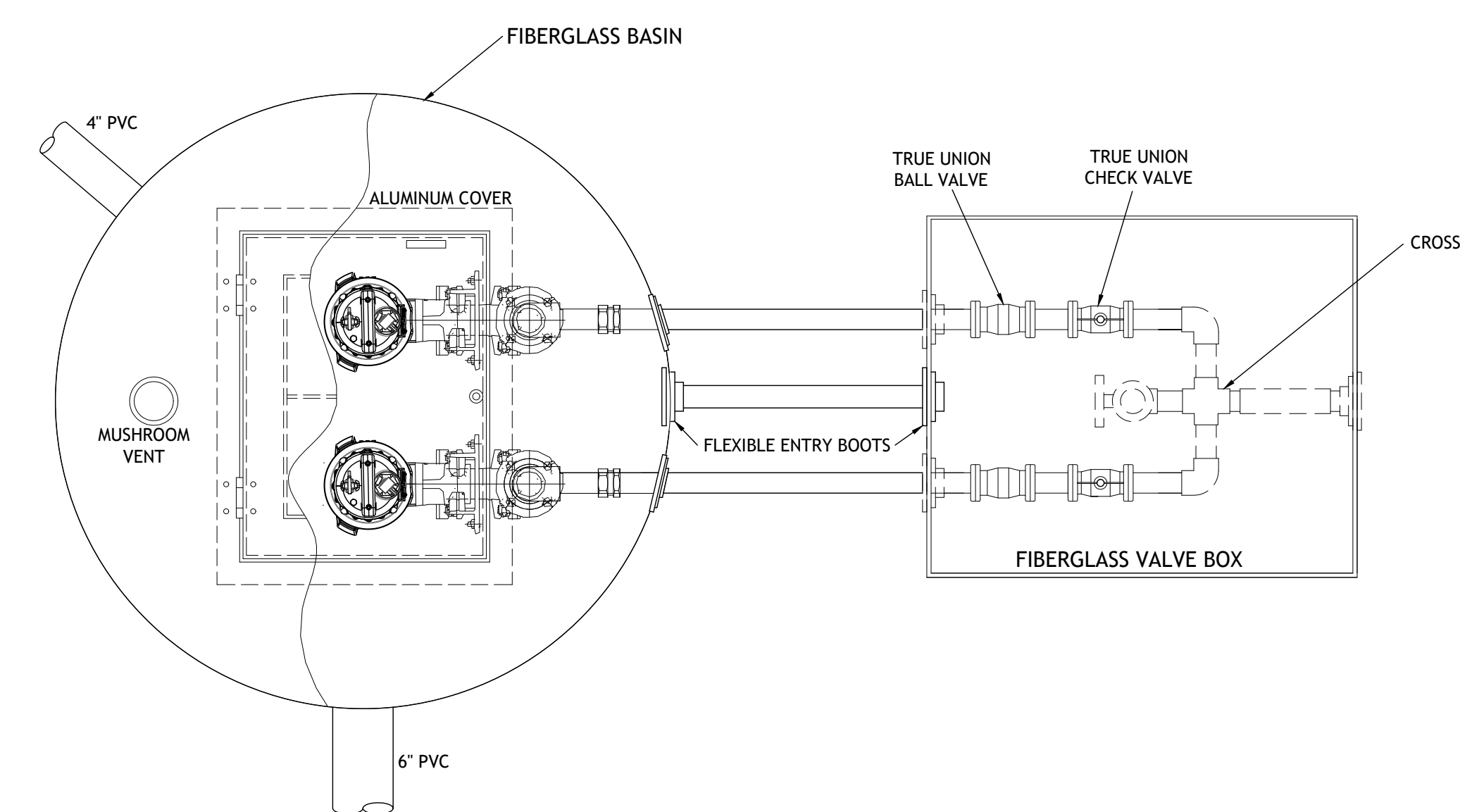
1	TOP OF BASIN	88.00 FEET
1	INLET INVERT	82.46 FEET
1	HIGH WATER LEVEL ALARM	82.00 FEET
1	LAG PUMP ON	81.50 FEET
1	LEAD PUMP ON	81.00 FEET
1	PUMPS OFF	78.50 FEET
1	BOTTOM OF BASIN	76.5 FEET
1	COVER OVER DISCHARGE	18 INCHES
1	INLET SIZE AND TYPE	4 INCH and 6 INCH

MANUFACTURER	CHAMPION PUMP
MODEL	CPG 3022
HORSEPOWER	3
VOLTAGE / PHASE	230V/1PH
DESIGN FLOW (GPM)	55 GPM
DESIGN HEAD (FEET)	60 FEET
IMPELLER SIZE	4.5"

DIAMETER - B		HEIGHT - A	
<input type="checkbox"/> 24"	<input type="checkbox"/> 84"	<input type="checkbox"/> 84"	<input type="checkbox"/> 84"
<input checked="" type="checkbox"/> 36"	<input type="checkbox"/> 96"	<input type="checkbox"/> 96"	<input type="checkbox"/> 96"
<input type="checkbox"/> 48"	<input type="checkbox"/> 120"	<input type="checkbox"/> 120"	<input type="checkbox"/> 120"
<input type="checkbox"/> 60"	<input type="checkbox"/> 144"	<input type="checkbox"/> 144"	<input type="checkbox"/> 144"
<input type="checkbox"/> OTHER	<input checked="" type="checkbox"/> 138"	<input type="checkbox"/> 138"	<input type="checkbox"/> 138"
VALVE BOX DIMENSIONS			
<input type="checkbox"/> 32" X 30" 25"	<input checked="" type="checkbox"/> 36" X 40" 36"	<input type="checkbox"/> 36" X 40" 36"	<input type="checkbox"/> 36" X 40" 36"



LIFT STATION SECTION VIEW



LIFT STATION PLAN VIEW

EXAGGERATED FOR DETAIL - N.T.S.

**DUPLEX CONTROL PANEL:**  
 CONTROL PANEL SHALL BE ASSEMBLED AND BUILT BY A UL508A CERTIFIED MANUFACTURE FACILITY.  
 THE ENCLOSURE SHALL BE NEMA 4X FIBERGLASS WITH PADLOCKABLE DRAW LATCHES.  
 THE ENCLOSURE SHALL BE ABLE TO BE WALL MOUNTED.  
 THE FOLLOWING COMPONENTS SHALL BE MOUNTED THROUGH THE ENCLOSURE:  
 • RED ALARM BEACON (LIGHT)  
 • ALARM HORN  
 • GENERATOR RECEPTACLE WITH WEATHERPROOF COVER  
 • ALARM SILENCE PUSHBUTTON

THE FOLLOWING COMPONENTS SHALL BE MOUNTED THROUGH THE INNERDOOR:  
 • MAIN CIRCUIT BREAKER  
 • EMERGENCY CIRCUIT BREAKER  
 • MECHANICAL INTERLOCK FOR EMERGENCY AND MAIN BREAKERS  
 • SHORT CIRCUIT PROTECTORS  
 • CONTROL CIRCUIT BREAKER  
 • SEAL FAILURE INDICATOR LIGHTS  
 • HAND-OFF-AUTO SELECTOR SWITCHES  
 • PUMP RUN PILOT LIGHTS  
 • POWER ON PILOT LIGHT  
 • ELAPSE TIME METERS (NON-RESETABLE)  
 • GFI DUPLEX CONVENIENCE OUTLET

MISCELLANEOUS: ALL WIRING ON THE BACKPANEL SHALL BE CONTAINED WITHIN THE WIRING DUCT, ALL WIRING BETWEEN THE INNERDOOR AND THE BACKPANEL SHALL BE CONTAINED WITH A PLASTIC SPIRAL WRAP.  
 EACH WIRE SHALL HAVE A WIRE NUMBER AT EACH END TO CORRESPOND TO THE AS BUILD DRAWING FOR FIELD TROUBLESHOOTING.  
 THE CONTROL PANEL SHALL BE ASSEMBLED BY A UL508A CERTIFIED MANUFACTURING FACILITY.

**FASTENERS AND APPURTENANCES:** ALL FASTENERS, LIFTING CABLES, FLOAT CABLE BRACKET, HINGES, AND APPURTENANCES SHALL BE MADE OF 304SS MINIMUM.  
 • A 304SS SLIDE/LATCH ASSEMBLY SHALL BE PROVIDED FOR HOLDING THE DOORS OPEN ON THE WET WELL AND VALVE BOX.  
 • SLIDE RAILS SHALL BE MADE OF SCH 40 304SS PIPE.  
 • PUMP LIFTING CABLES/CHAINS SHALL BE 304SS.  
 • PUMP LIFTING BALES SHALL BE MADE OF 304SS.

**EXECUTION:**  
 INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURE'S RECOMMENDATIONS IN THE THE LOCATIONS SHOWN ON THE DRAWINGS.  
 CERTIFIED ELECTRICIAN SHALL MOUNT CONTROL PANEL AND CONNECT POWER SERVICE TO PANEL PRIOR TO STARTUP AND FACTORY REP SITE VISIT.

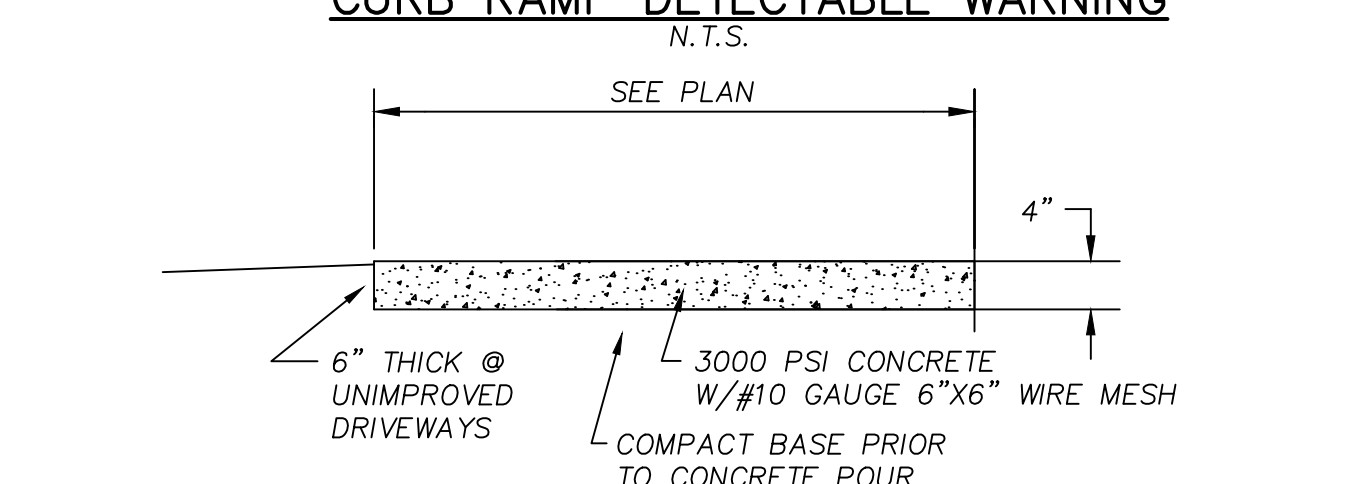
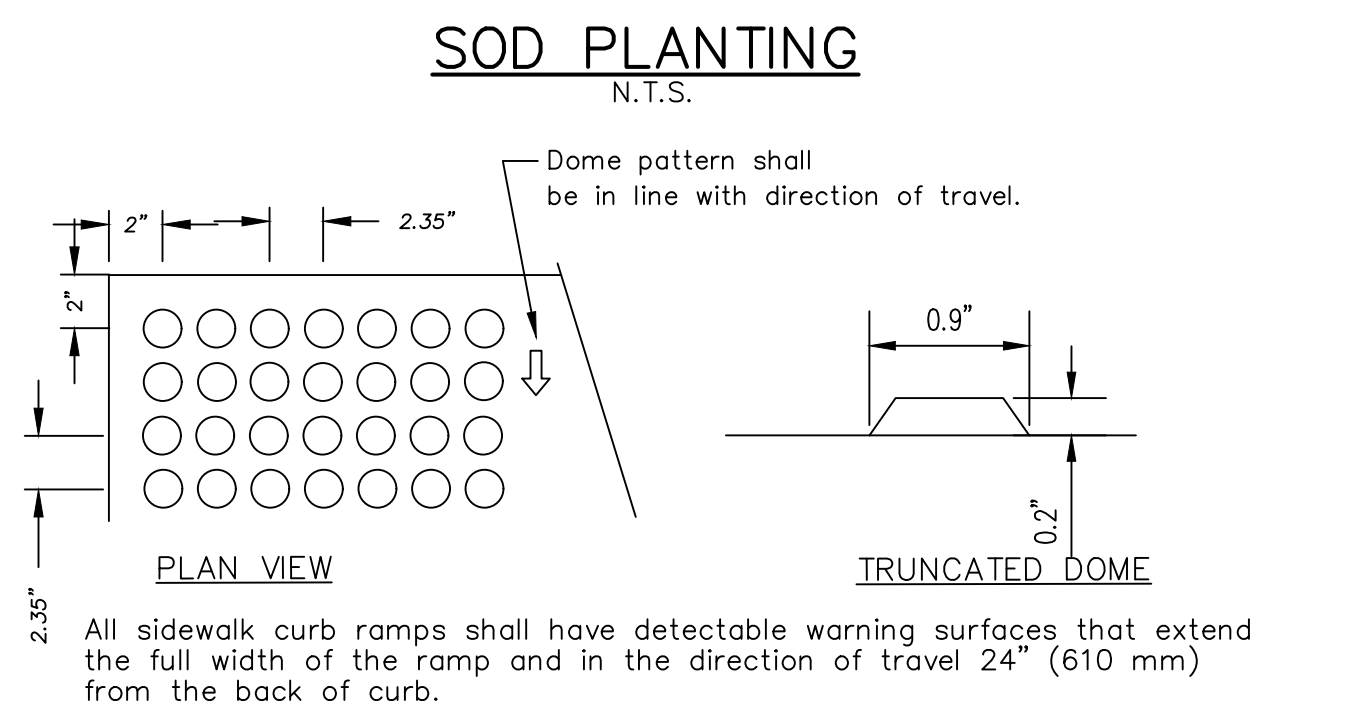
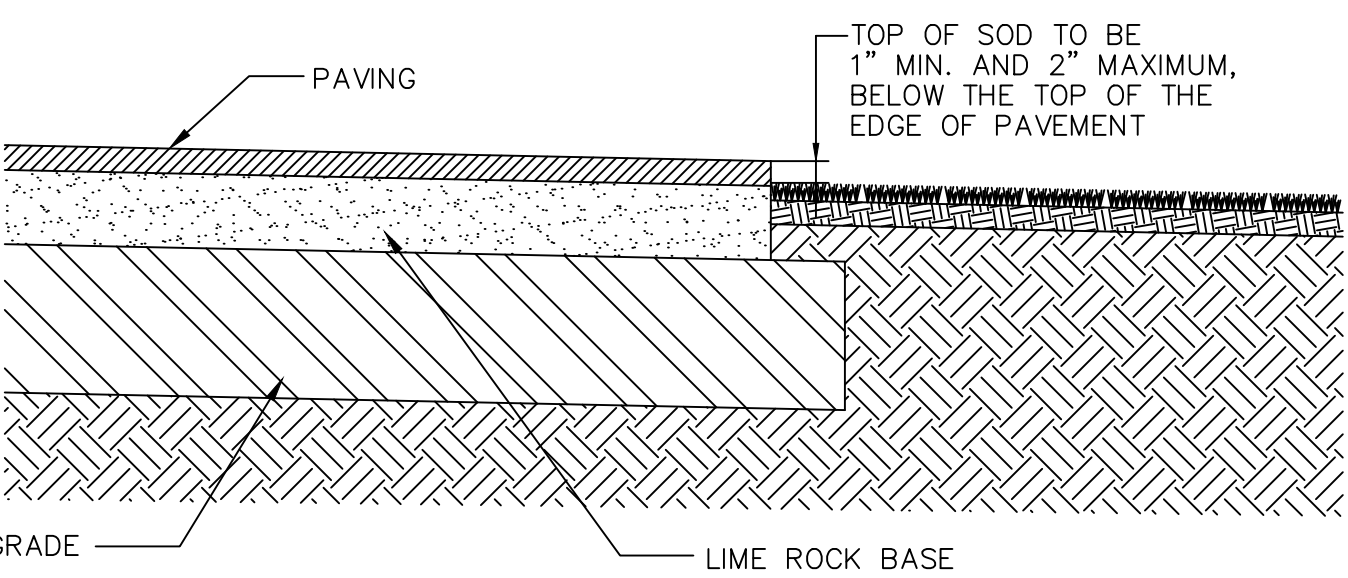
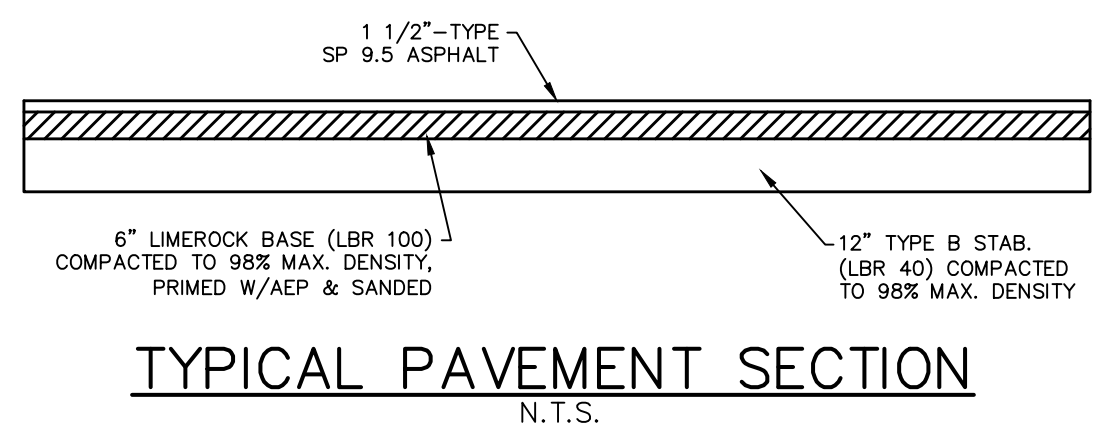
THE PUMP CONTROLS AND PUMPS SHALL BE CHECKED FOR PROPER OPERATION AND ENSURE THAT ALL LEVEL CONTROLS ARE IN ACCORDANCE WITH THE DRAWINGS AND ARE FULLY FUNCTIONING.  
 PUMP STATION SHALL BE VENTED PER MANUFACTURE'S RECOMMENDATIONS.

**BASIN INSTALLATION INSTRUCTIONS:**  
 1. INSPECT ALL MATERIALS SUPPLIED TO ENSURE THERE ARE NO DAMAGES DUE TO SHIPPING PRIOR TO INSTALLATION.  
 2. EXCAVATE HOLE LARGE ENOUGH TO ACCOMMODATE BASIN, UNDERGROUND PIPING, BACKFILL MATERIAL, AND ADEQUATE WORKING SPACE.  
 3. PREPARE THE BOTTOM OF THE EXCAVATED HOLE WITH 6" OF BACKFILL MATERIAL OR CONCRETE PAD, CHECK BASE TO INSURE IT IS LEVEL AND SMOOTH.  
 4. INSTALL BASIN ON GRAVEL BASE OR CONCRETE PAD, ANCHOR IF NECESSARY.  
 5. CONCRETE MAY BE PORED AROUND BASIN BOTTOM IF BALLAST IS REQUIRED FOR BUOYANCY.  
 6. BACKFILL WITH PEA GRAVEL 4" TO 6" AROUND THE ENTIRE PERIPHERY OF THE BASIN/COMPACTED BACKFILL MATERIAL IN 12" LIFTS. STOP AND CONNECT PIPING AS REQUIRED.

**RECOMMENDED BACKFILL MATERIAL:**  
 GRAVEL OR STONE TO BE FREE FLOWING, NATURALLY ROUNDED AGGREGATE WITH A PARTICLE SIZE OF NOT LESS THAN 3/8" OR LARGER THAN 3/4" IN DIAMETER.

**ELECTRICAL NOTES:**  
 1. DISCONNECT IS REQUIRED WITHIN SIGHT OR 50' MAX FROM PANEL LOCATION.  
 2. COORDINATE ALL ELECTRICAL WORK PRIOR TO CONSTRUCTION.  
 3. PANEL SHALL BE MANUFACTURED TO UNDERWRITERS'S LABORATORIES STANDARDS AND LABELED ACCORDINGLY.  
 4. EACH FLEXIBLE CABLE SHALL BE PROVIDED WITH A WATERTIGHT SEAL AND SEPARATE STRAIN RELIEF.  
 5. ELECTRICAL EQUIPMENT EXPOSED TO WEATHER SHALL MEET THE REQUIREMENTS OF WEATHERPROOF EQUIPMENT NEMA 4X.  
 6. A 110VOLT POWER RECEPTACLE WITH GROUND FAULT INTERRUPTION (GFI) PROTECTION SHALL BE AVAILABLE TO FACILITATE MAINTENANCE EITHER INSIDE THE CONTROL PANEL OR WITHIN 25 FEET OF CONTROL PANEL.  
 7. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.  
 8. ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS WITH APPROPRIATE MATERIAL.  
 9. CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT.  
 10. NEUTRAL TO BE SUPPLIED FOR SINGLE PHASE AND THREE PHASE POWER.  
 11. ELECTRICAL EQUIPMENT SHALL BE INSTALLED ABOVE THE 100-YEAR FLOOD ELEVATION (WHERE APPLICABLE).



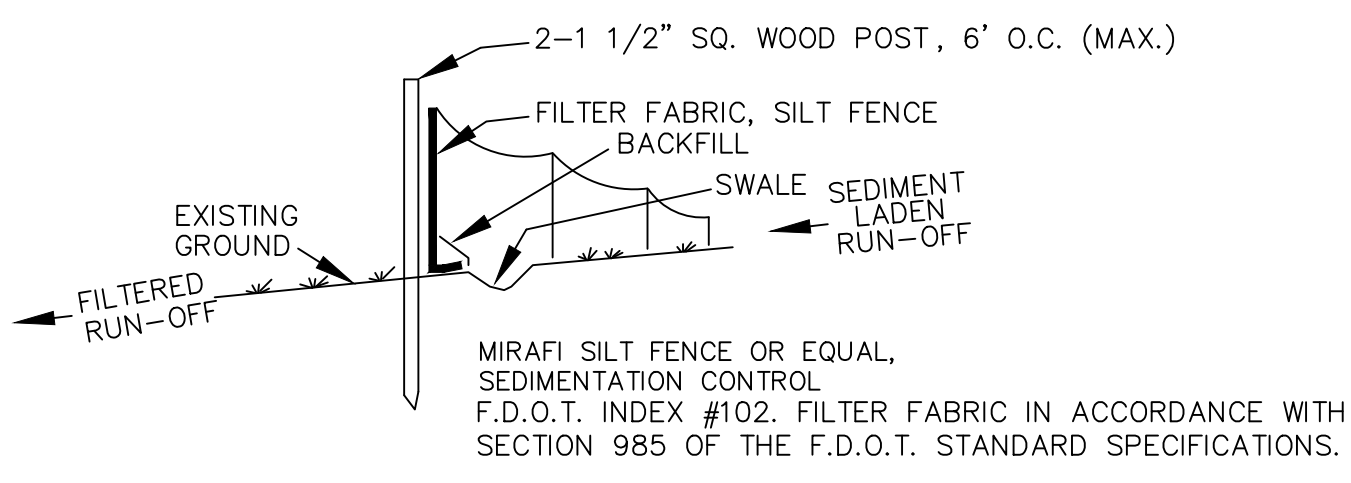


**SIDEWALKS**  
SIDEWALKS ARE TO BE CONSTRUCTED IN THE AREAS AS SHOWN ON THE CONSTRUCTION PLANS. THE SIDEWALK SHALL BE CONSTRUCTED OF 4\"/>

**TYPICAL SIDEWALK SECTION**  
N.T.S.

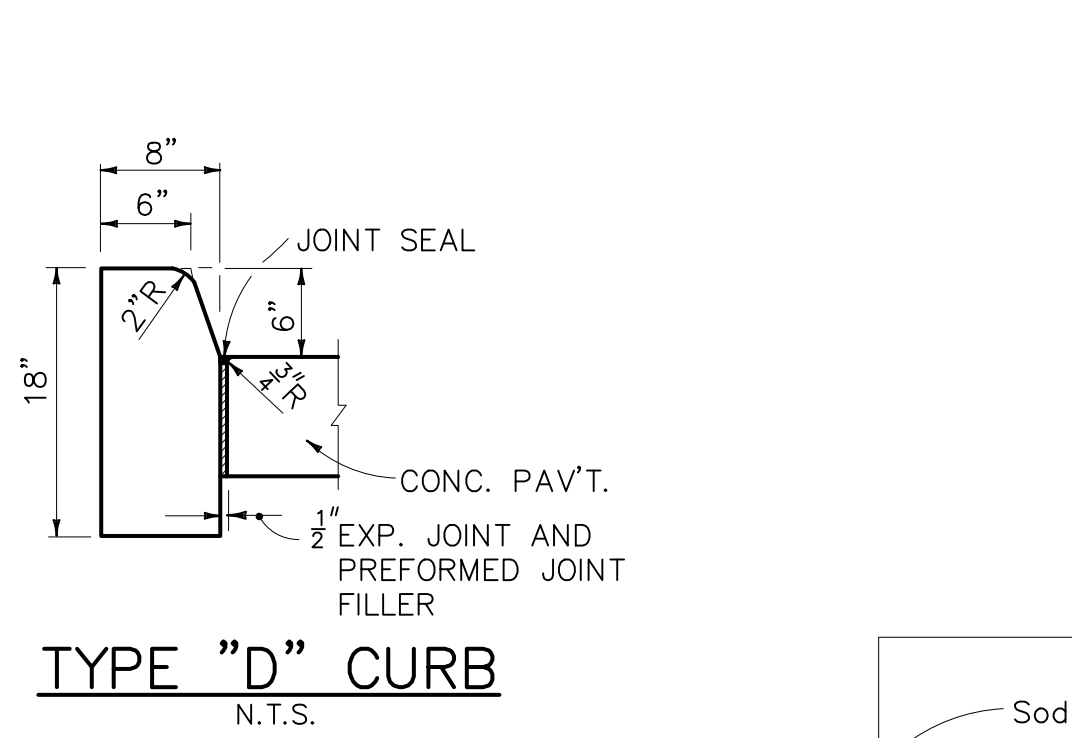
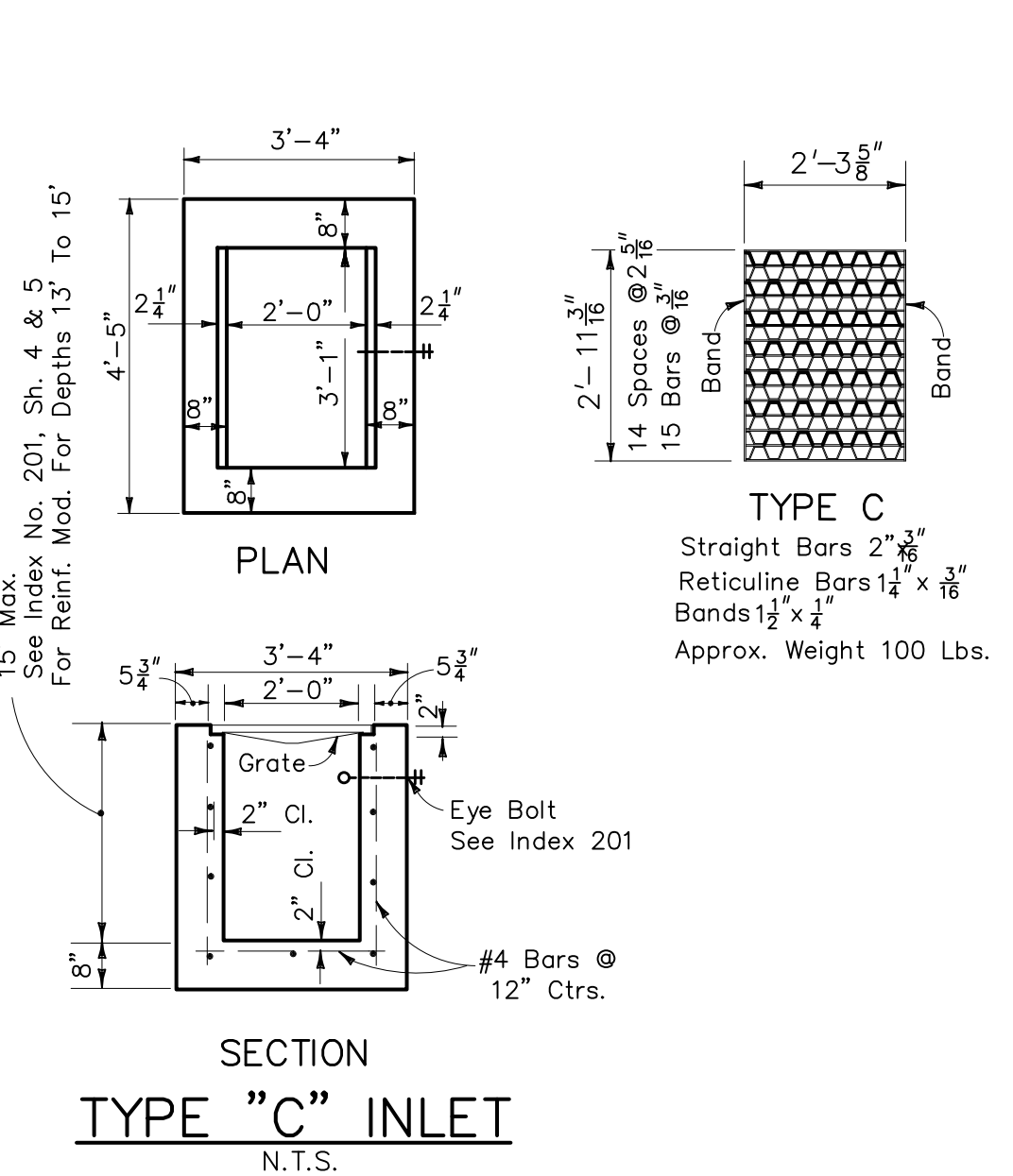
THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.

- PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
- NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

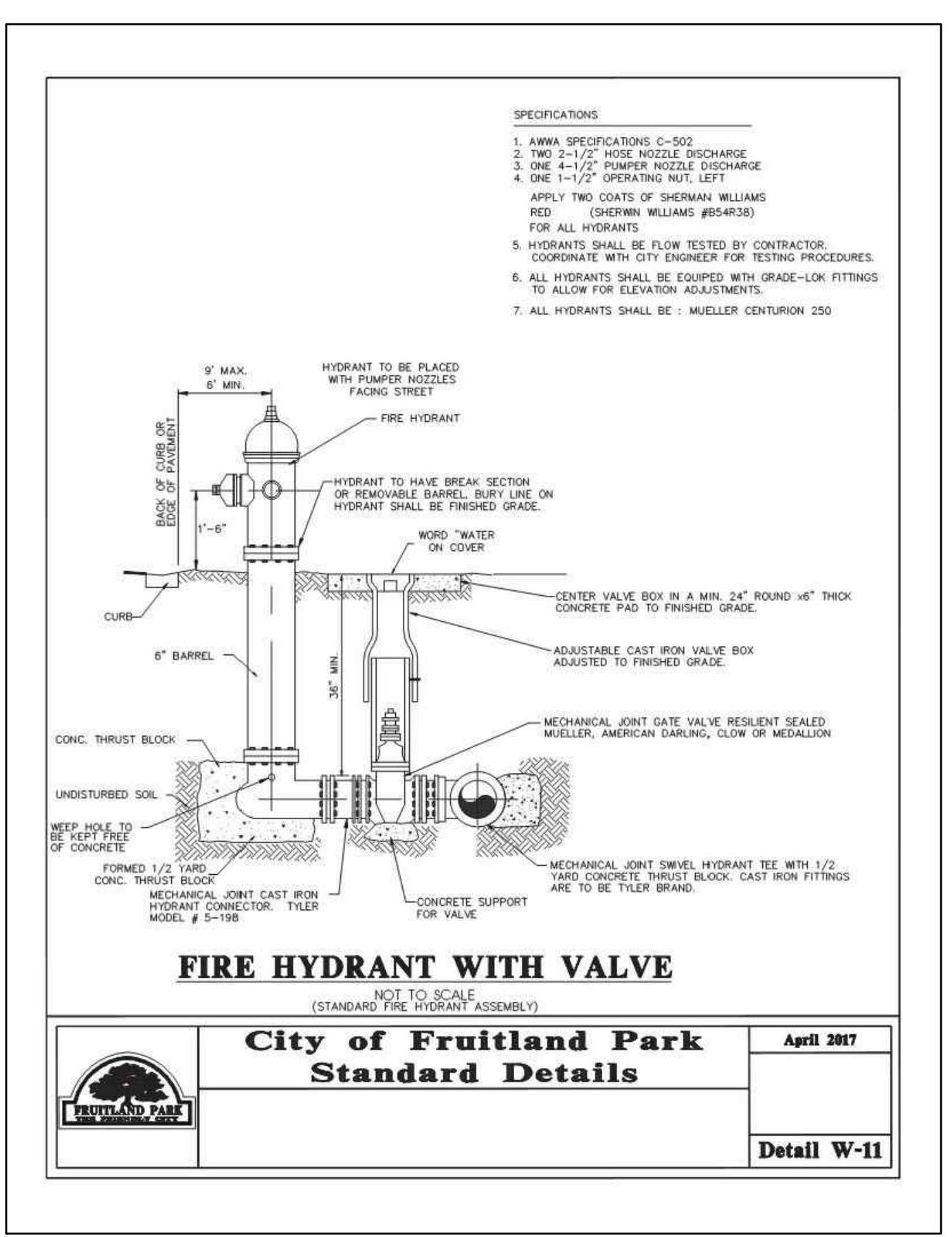


- NOTES:**
- TEMPORARY EROSION CONTROL STRUCTURE TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURE MAY BE REMOVED AFTER UP-SLOPE AREA HAS BEEN STABILIZED BY SOD, OR COMPACTED AS DETERMINED BY CONTRACTOR.
  - CONSTRUCT STORMWATER SYSTEMS BEFORE ANY BUILDING OR ROAD CONSTRUCTION IS STARTED.
    - PROTECT SYSTEM FROM SILTING AND DEBRIS BY METHODS PROVIDED IN DETAILS.
    - PROTECT SWALE BOTTOM FROM SEALING BY EXCAVATING ALL SILT DEPOSITS DURING CONSTRUCTION. THIS SHALL BE DONE BEFORE SOD & SEEDING & MULCHING IS FINISHED

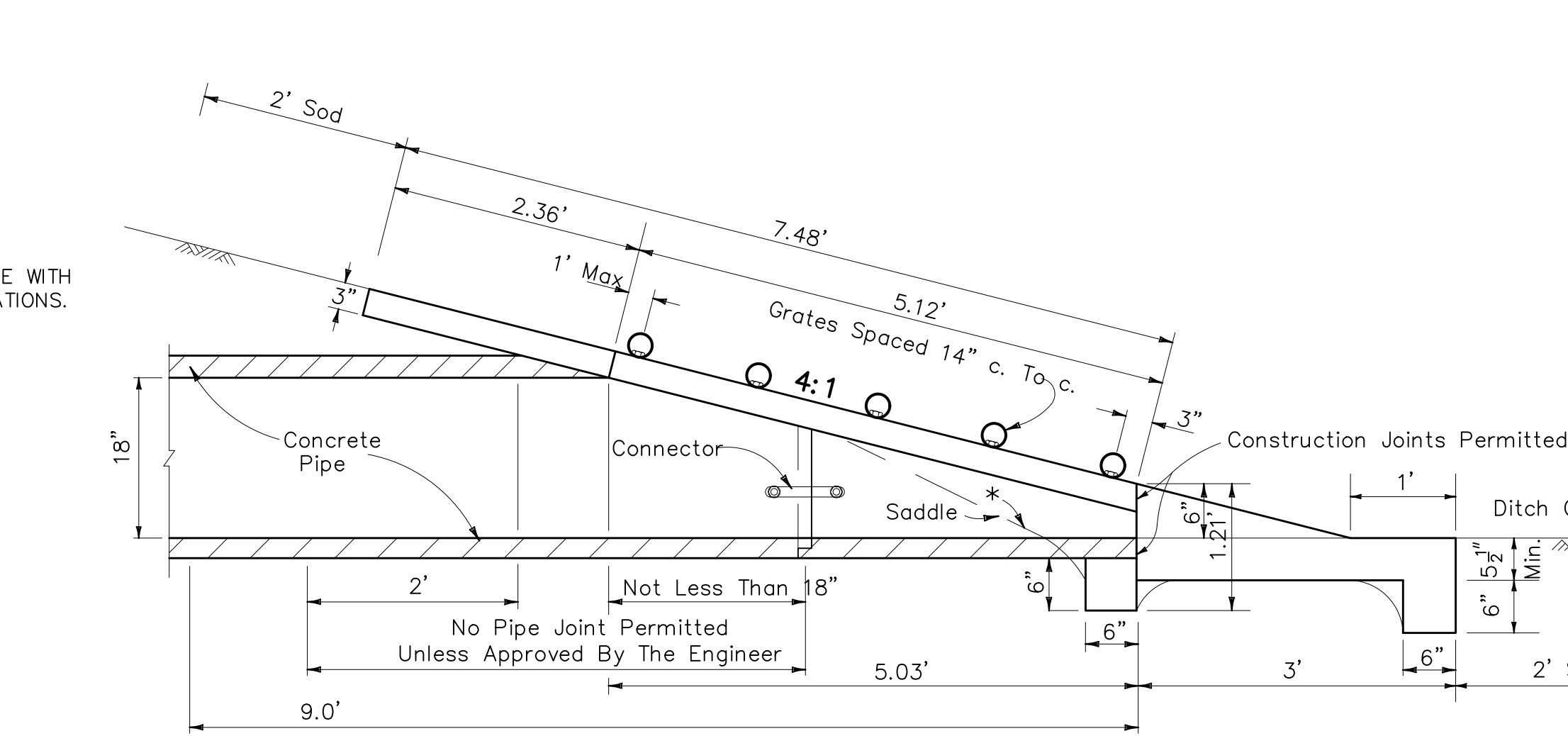
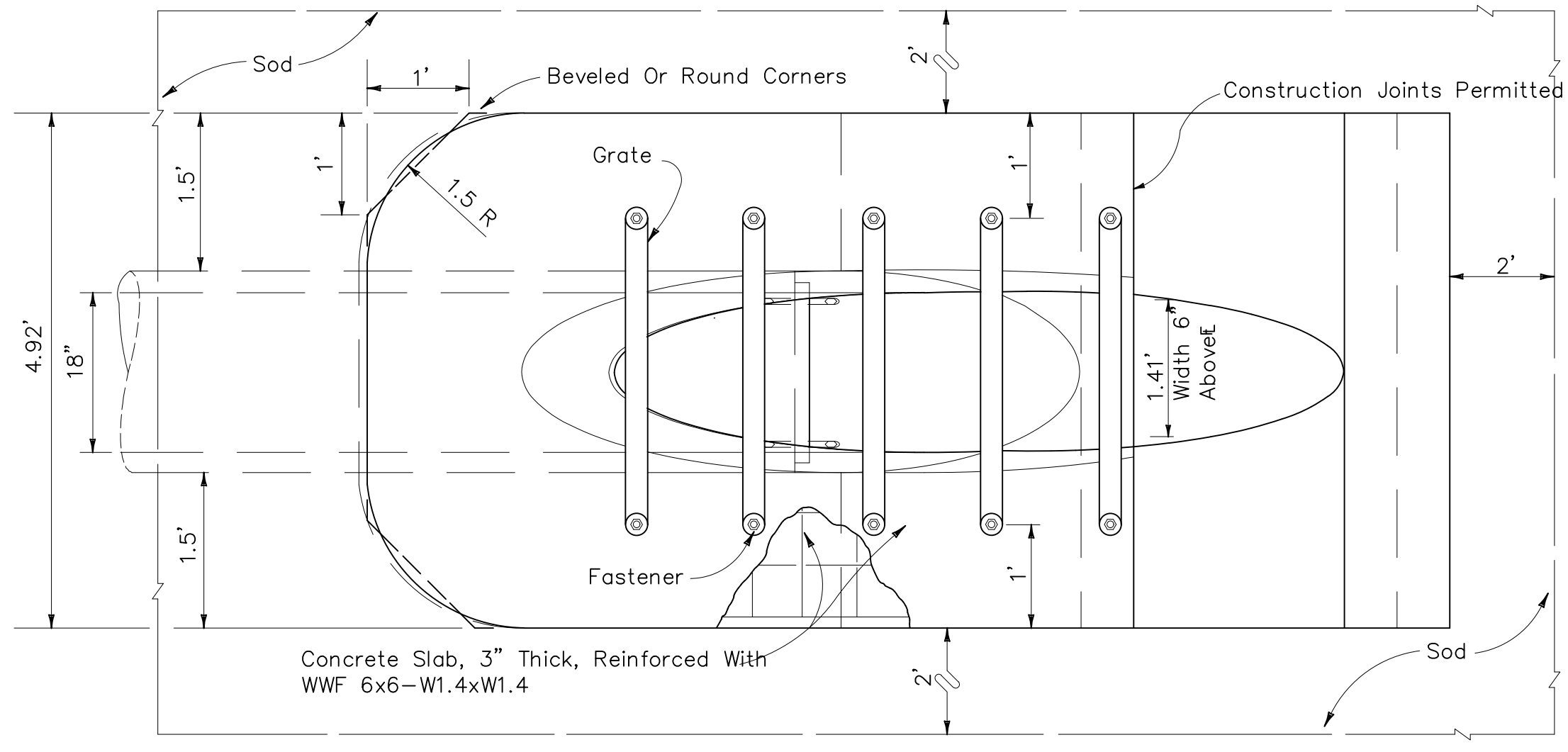
**EROSION CONTROL STRUCTURE**  
N.T.S.



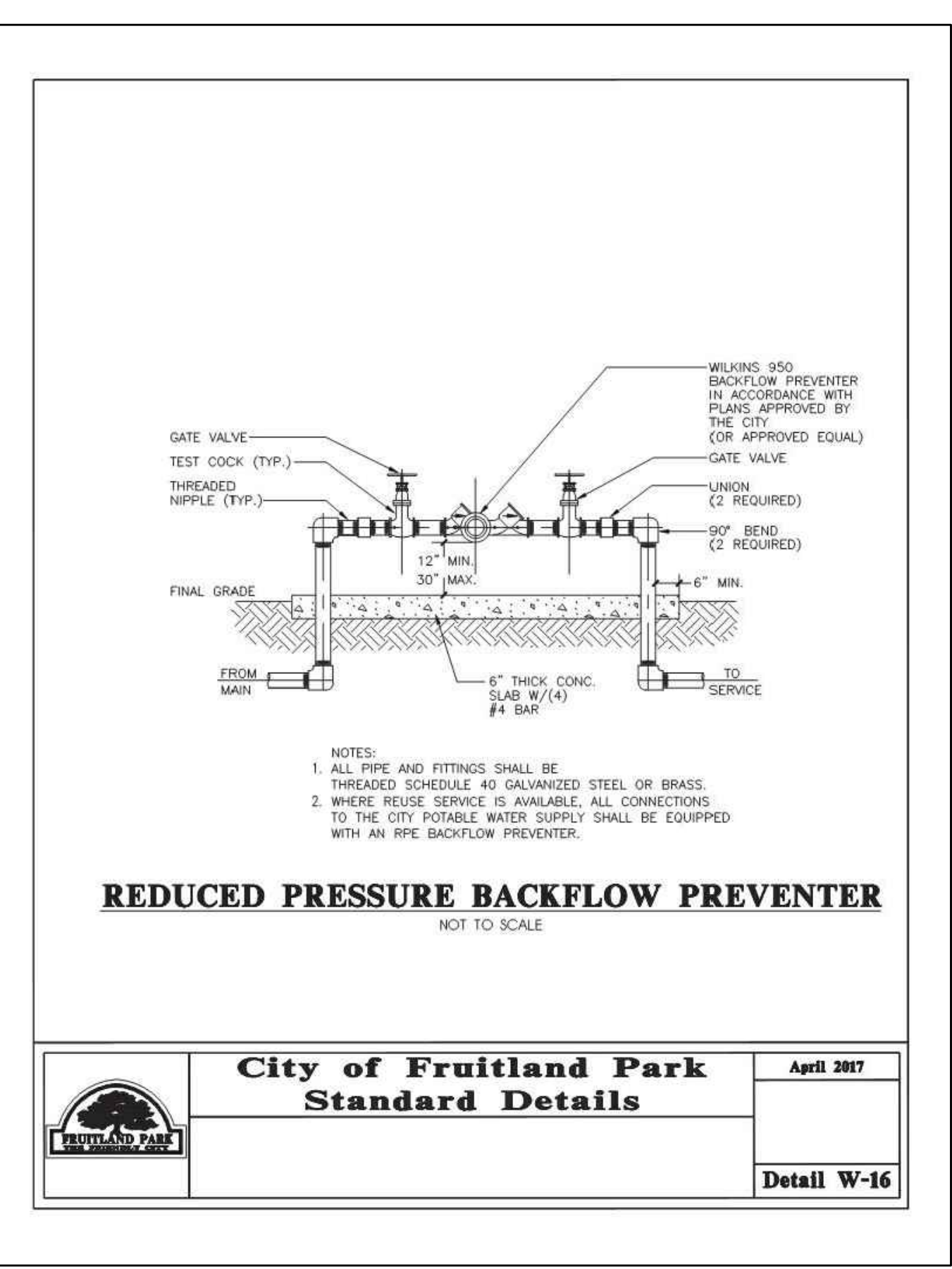
**TYPE "D" CURB**  
N.T.S.



**FIRE HYDRANT WITH VALVE**  
NOT TO SCALE (STANDARD FIRE HYDRANT ASSEMBLY)  
**City of Fruitland Park Standard Details**  
April 2017  
Detail W-11



**MITERED END SECTION DETAIL**  
N.T.S.



**REDUCED PRESSURE BACKFLOW PREVENTER**  
NOT TO SCALE  
**City of Fruitland Park Standard Details**  
April 2017  
Detail W-16

**Wicks Engineering Services, Inc.**  
225 West Main Street, Tallahassee, Florida 32378  
www.wicksengineering.com (352) 343-8667  
C.A. #50062

FRUITLAND PARK HOLDINGS, LLC  
15 ANDERSON S. GREENWALL  
1330 SAXON BOULEVARD  
ORANGE CITY, FLORIDA 32763

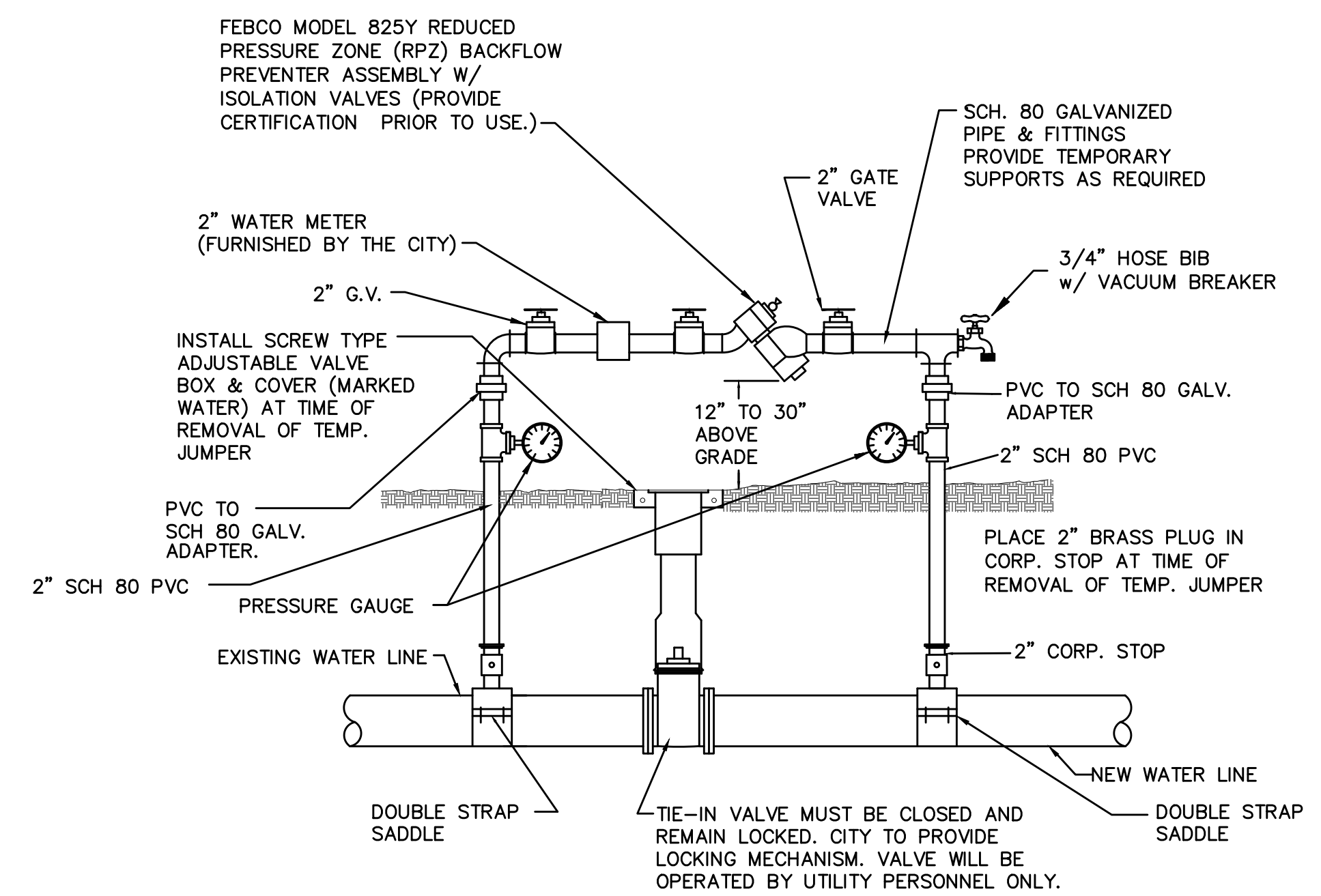
**IC INTERNATIONAL CARWASH**  
**CONSTRUCTION, DRAINAGE & UTILITY DETAILS**  
**US HWY 27/441 FRUITLAND PARK FL. 34731**

KENNETH R. WICKS, P.E. FL. REG. NO. 33274  
DATE:

Drawn: WSR	REVISION:	DATE:
Checked: TRW	SJ RAI 1	05-31-2018
Date: 10-25-17	BESH COMMENTS	06-11-2018
Scale: AS SHOWN	FDOT COMMENTS	07-07-2019
File No.: 17136		
<b>Sheet: 14 of 17</b>		

**TEMPORARY JUMPER CONNECTION NOTES**

1. A TEMPORARY JUMPER CONNECTION IS REQUIRED AT ALL CONNECTIONS BETWEEN EXISTING ACTIVE WATER MAINS AND PROPOSED NEW WATER MAIN IMPROVEMENTS.
2. THE DETAILS TO BE USED FOR FILLING ANY WATER MAIN OF ANY SIZE FROM EXISTING ACTIVE WATER MAINS AND FOR FLUSHING OF NEW MAINS UP TO 8" DIAMETER (2.5 FPS MINIMUM VELOCITY) AND FOR PULLING BACTERIOLOGICAL SAMPLES FROM ANY NEW WATER MAIN OF ANY SIZE. THE JUMPER CONNECTION SHALL BE MAINTAINED UNTIL AFTER FILLING, FLUSHING, TESTING AND DISINFECTION OF THE NEW MAIN HAS BEEN SUCCESSFULLY COMPLETED AND CLEARANCE FOR USE FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) AND OTHER PERTINENT AGENCIES HAS BEEN RECEIVED. THE JUMPER CONNECTION SHALL ALSO BE USED TO MAINTAIN A MINIMUM PRESSURE OF 20 PSI IN THE NEW MAINS ALL THE TIME AFTER DISINFECTION AND UNTIL THE FDEP CLEARANCE LETTER IS OBTAINED. ADEQUATE THRUST BLOCKING AND/OR RESTRAINTS SHALL BE PROVIDED TEMPORARILY, AS REQUIRED. PIPE AND FITTINGS USED FOR CONNECTING THE NEW PIPE TO THE EXISTING PIPE SHALL BE DISINFECTED PRIOR TO INSTALLATION IN ACCORDANCE WITH AWWA C651, 1992 EDITION. THIS TAPPING SLEEVE AND THE EXTERIOR OF THE MAIN TO BE TAPPED SHALL BE DISINFECTED BY SPRAYING OR SWABBING PER SECTION II OF AWWA C561-92.
3. FLUSHING OF 10" DIAMETER AND LARGE WATER MAINS MAY BE DONE THROUGH THE TIE-IN VALVE, IN THE PRESENCE OF THE UTILITY DEPARTMENT. THE UTILITY DEPARTMENT WILL NOTIFIED IN WRITING 48 HOURS PRIOR TO THE FLUSHING OF SAID MAINS.  
THE FOLLOWING PROCEDURES SHALL BE FOLLOWED:
  - A. THE TIE-IN VALVES SHALL BE OPERATED AND PRESSURE TESTED IN THE PRESENCE OF THE UTILITY COMPANY AND ENGINEER TO VERIFY WATER TIGHTNESS PRIOR TO THE TIE-IN. VALVES WHICH ARE NOT WATERTIGHT SHALL BE REPLACED OR A NEW VALVE INSTALLED IMMEDIATELY ADJACENT TO THE LEAKING VALVE.
  - B. THE TEMPORARY JUMPER CONNECTION SHALL BE CONSTRUCTED AS DETAILED. THE JUMPER CONNECTION SHALL BE USED TO FILL THE NEW WATER MAIN AND FOR PROVIDING WATER FOR BACTERIOLOGICAL SAMPLING OF THE NEW MAIN AS REQUIRED BY THE FDEP PERMIT.
    - FLUSHING SHALL NOT BE ATTEMPTED DURING PEAK DEMAND HOURS OF THE EXISTING WATER MAIN.
    - ALL DOWNSTREAM VALVES IN THE NEW SYSTEM MUST BE OPEN PRIOR TO OPENING THE TIE-IN VALVE.
    - PROVIDE FOR AND MONITOR THE PRESSURE AT THE TIE-IN POINT, THE PRESSURE IN THE EXISTING MAIN MUST NOT DROP BELOW 35 PSI.
    - TIE-IN VALVE SHALL BE OPENED A FEW TURNS ONLY, ENSURING A PRESSURE DROP ACROSS THE VALVE IS ALWAYS GRATER THAN 10 PSI.
  - C. THE TIE-IN VALVE SHALL BE LOCKED CLOSED BY THE CITY UNTIL FLUSHING BEGINS.
  - D. THE TIE-IN VALVE SHALL BE OPENED ONLY A FEW TURNS FOR FLUSHING OF THE NEW MAIN. THE PROCEDURE SHALL BE DIRECTED BY THE CITY AND OBSERVED BY THE ENGINEER.
  - E. AFTER FLUSHING, THE TIE-IN VALVE SHALL BE CLOSED AND LOCKED IN THE CLOSED POSITION BY THE CITY.
4. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION DEMONSTRATING THAT THE RPZ BACKFLOW PREVENTION DEVICE HAS BEEN TESTED WITHIN ONE YEAR AT THE TIME OF INSTALLATION AND IS IN GOOD WORKING ORDER AT THE TIME OF INSTALLATION. THE TEST SHALL BE PERFORMED BY A QUALIFIED BACKFLOW PREVENTION TECHNICIAN.
5. EXCEPT AS REQUIRED TO FLUSH LINES OF GREATER THAN 8" IN DIAMETER, THE TIE-IN VALVE SHALL REMAIN CLOSED AND SHALL BE LOCKED IN THE CLOSED POSITION BY THE CITY. THE TIE-IN VALVE SHALL REMAIN LOCKED CLOSED UNTIL THE NEW SYSTEM HAS BEEN CLEARED FOR USE BY FDEP AND ALL OTHER PERTINENT AGENCIES.
6. UPON RECEIPT OF CLEARANCE FOR USE FROM FDEP AND ALL OTHER PERTINENT AGENCIES, THE CONTRACTOR SHALL REMOVE THE JUMPER CONNECTION. THE CORPORATION STOPS ARE TO BE CLOSED AND PLUGGED WITH 2" BRASS PLUGS.
7. ALL INSTALLATION AND MAINTENANCE OF THE TEMPORARY JUMPER CONNECTION AND ASSOCIATED BACKFLOW PREVENTION DEVICE FITTINGS, VALVE, ETC., SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

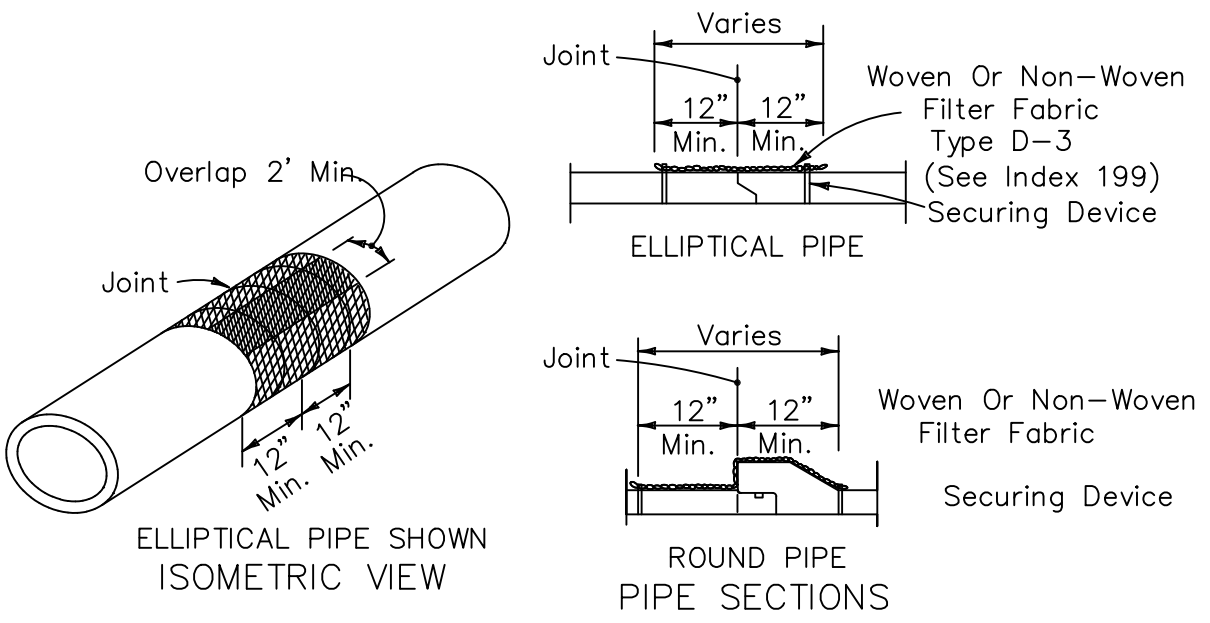


**TEMPORARY JUMPER CONNECTION DETAIL**

NOT TO SCALE

NOTE: LOCATION TO BE DETERMINED AT TIME OF PRECONSTRUCTION CONFERENCE W/ CITY.

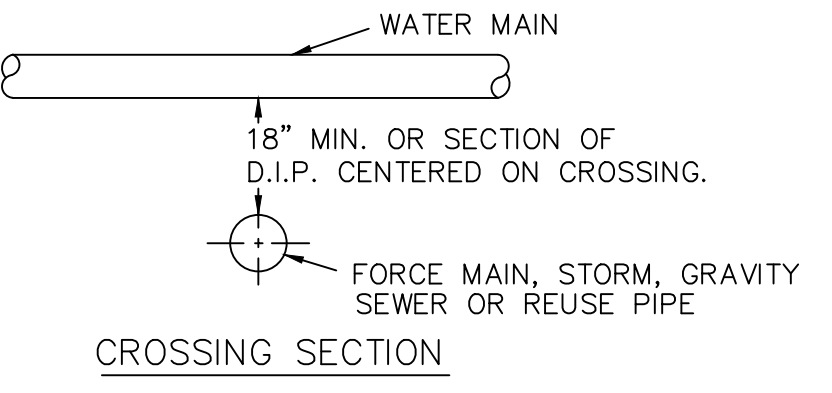
- MAINS LARGER THAN 8" WILL REQUIRE 3" PIPING, 3" VALVES AND 3" RPZ



**FILTER FABRIC JACKET**

N.T.S.

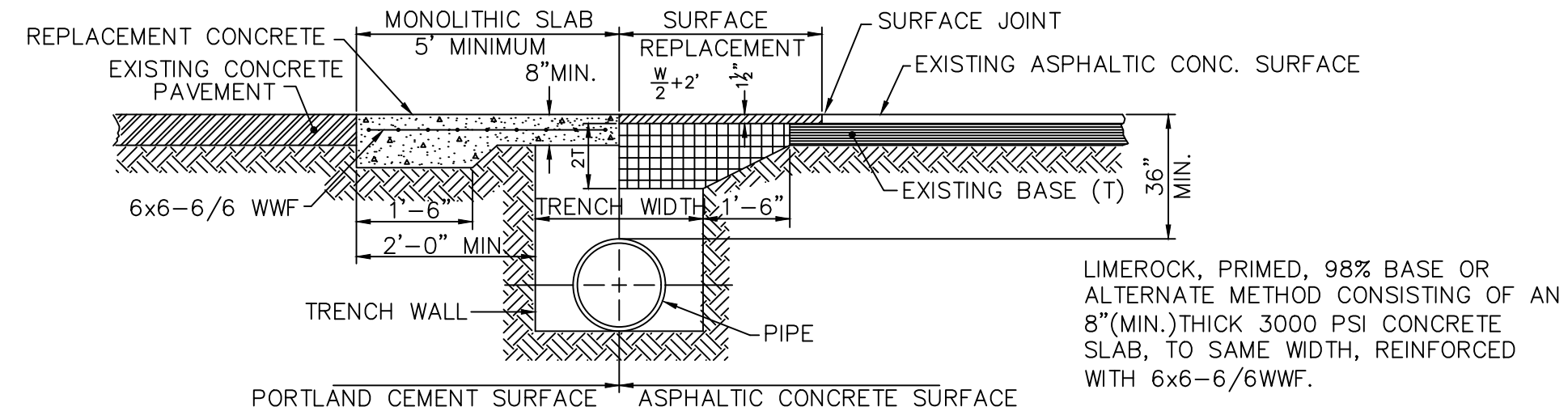
Cost of filter fabric jacket to be included in cost of pipe culverts.  
FOR ALL PIPE TYPES - CONCRETE PIPE SHOWN



**PIPING CLEARANCES**

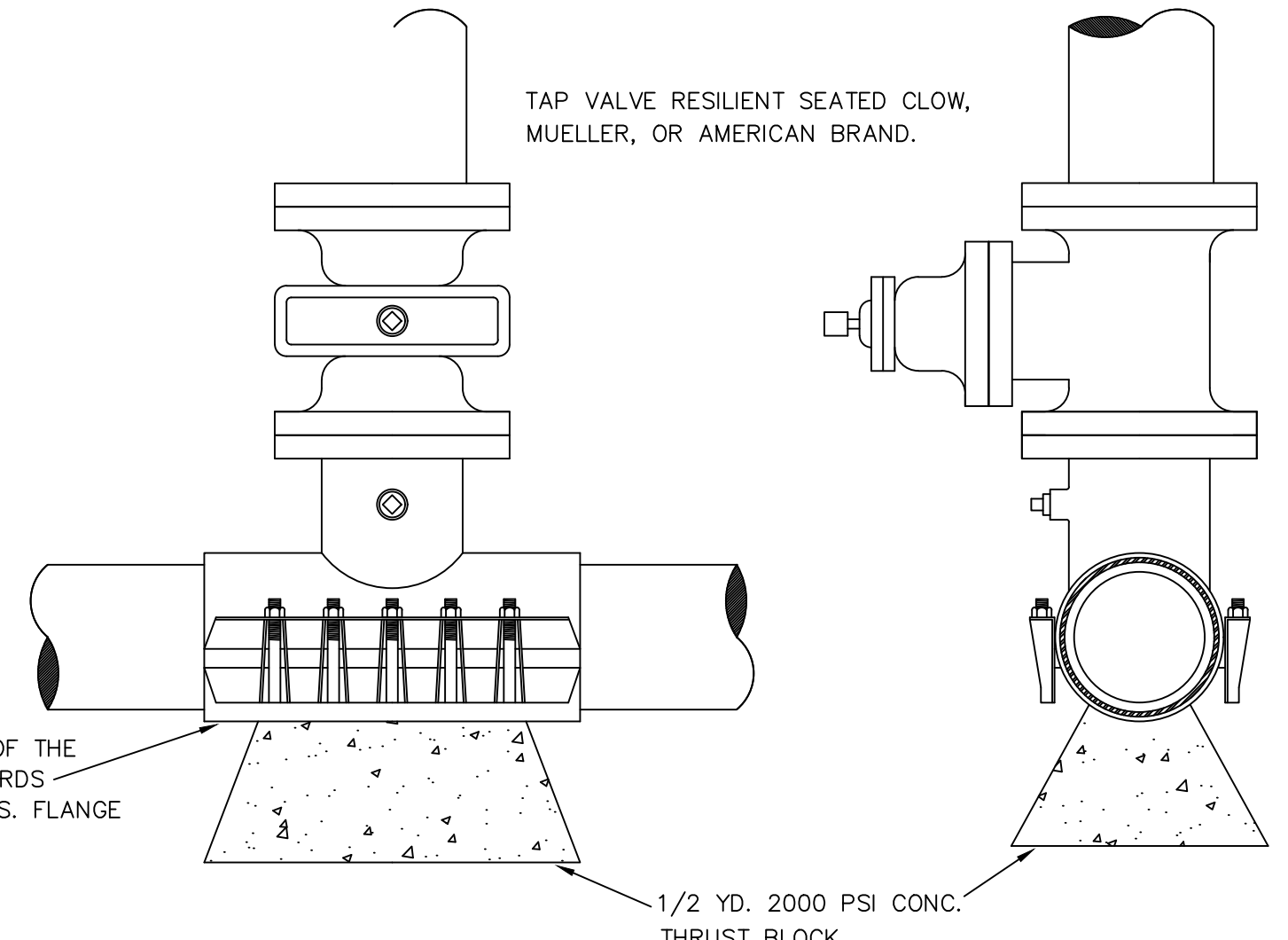
N.T.S.

- NOTES:
1. IF WATERMAIN IS LESS THAN 18" ABOVE SANITARY OR STORM SEWER, REUSE OR SEWERAGE FORCEMAIN PIPE AT A CROSSING, THEN CENTER ONE FULL LENGTH JOINT OF D.I.P. ON CROSSING POINT.
  2. ALL PIPING CLEARANCES SHALL BE IN ACCORDANCE WITH CHAPTER 62-555.314, F.A.C.
  3. DO NOT ENCASE PIPING IN CONCRETE UNLESS SPECIFICALLY AUTHORIZED.
  4. ALL PIPING SHALL CLEAR OTHER CONSTRUCTION BY 6" MINIMUM.



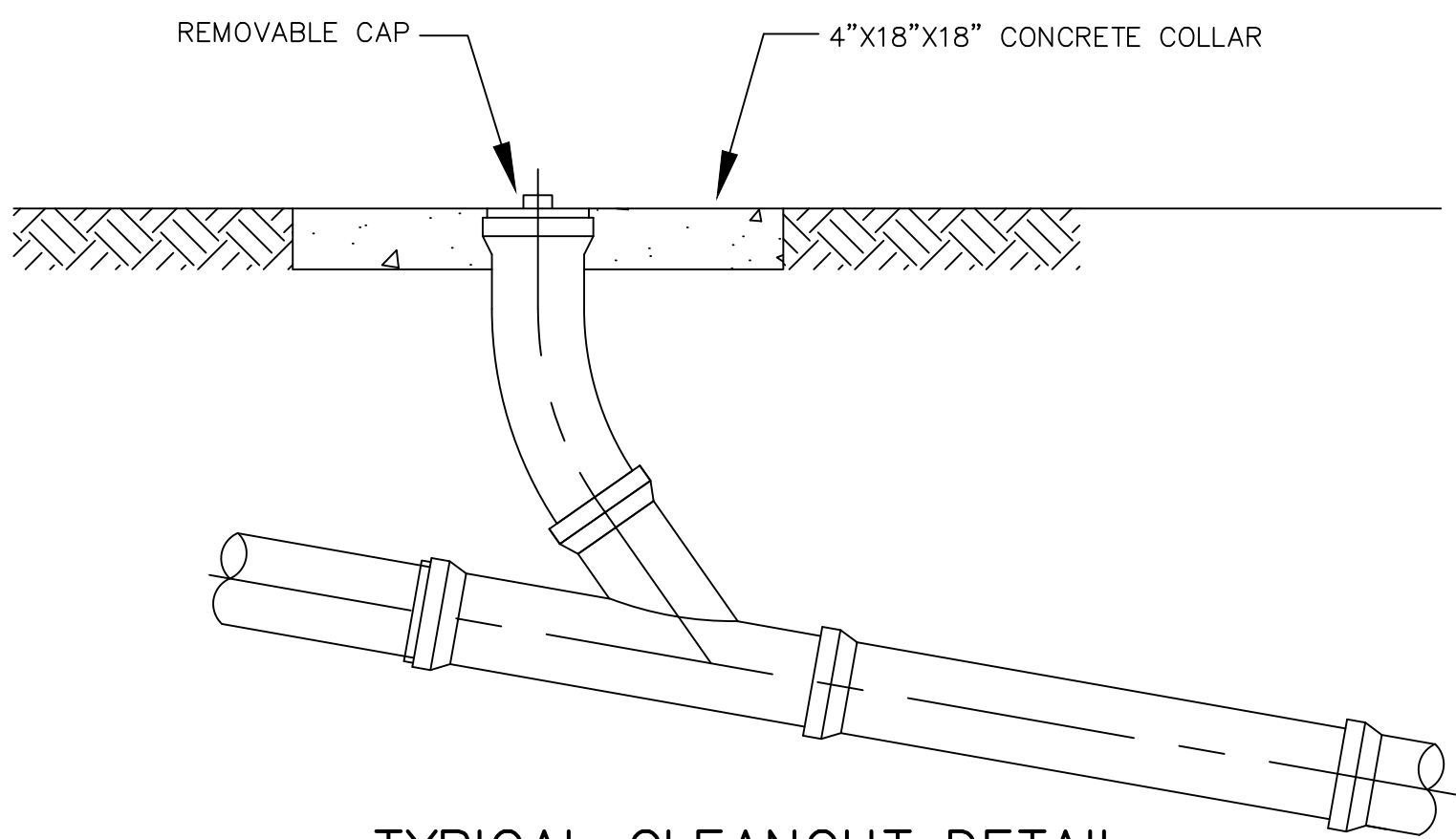
**OPEN CUT AND REPAIR DETAIL**

N.T.S.



**WET TAP SLEEVE & TAP VALVE**

N.T.S.



**TYPICAL CLEANOUT DETAIL**

N.T.S.

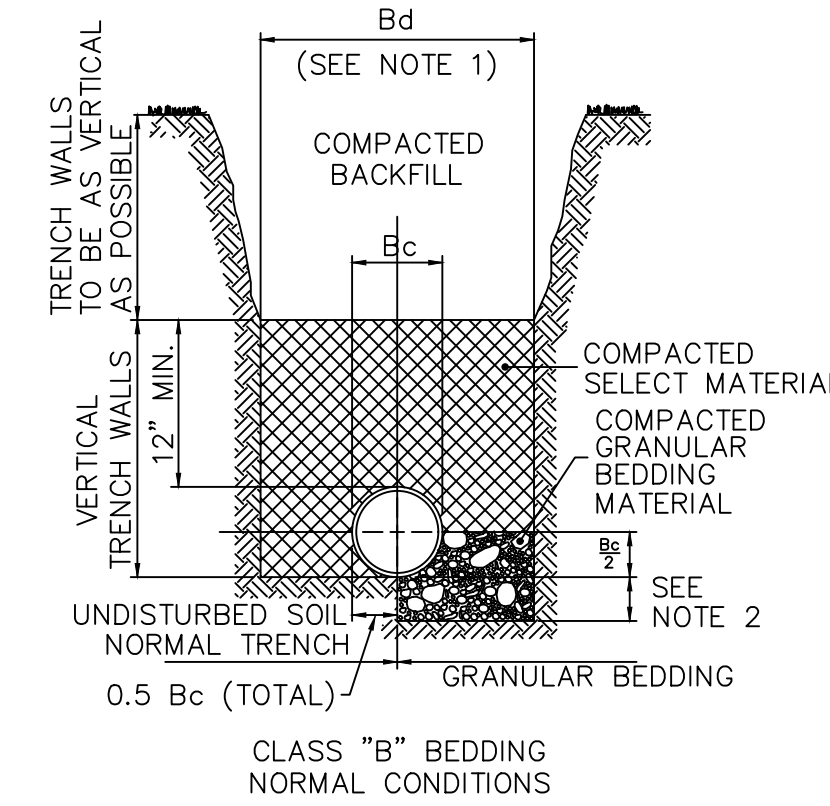
**GENERAL WATER NOTES**

1. WATER SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS, CLEANED, DISINFECTED AND BACTERIOLOGICAL CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND CHAPTER 62-555 FLORIDA ADMINISTRATIVE CODE.
2. ALL PIPING SHALL BEAR THE "NSF" SEAL FOR POTABLE WATER.
3. WATER MAINS SHALL BE PVC CONFORMING TO AWWA C-900, DR 18 FOR PIPE SIZES 4"-12". PIPES 14" OR LARGER SHALL BE AWWA C-905, DR 18. ALL COUPLINGS COMPOUNDS, SOLVENTS, LUBRICANTS AND PIPE PREPARATION, FOR LAYING, SHALL BE IN ACCORDANCE WITH THE PIPE MANUFACTURERS LATEST RECOMMENDATIONS.
4. DEPTH OF WATER LINES TO BE MINIMUM 36" BELOW FINISHED GRADE.
5. WATER MAINS TO BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
6. ALL PIPING CLEARANCES SHALL BE IN ACCORDANCE WITH CHAPTER 62-555.314, F.A.C., AND APPROVED BY THE CITY.
7. ALL WATER MAINS UNDER PAVEMENT SHALL BE DUCTILE IRON AND SHALL EXTEND 5' BEYOND THE BACK OF CURB, EXCEPT DIRECTIONAL BORES, WHICH SHALL BE SDR-11 HDPE.
8. ALL SLEEVES UNDER PAVEMENT SHALL EXTEND 5' BEYOND THE BACK OF CURB.

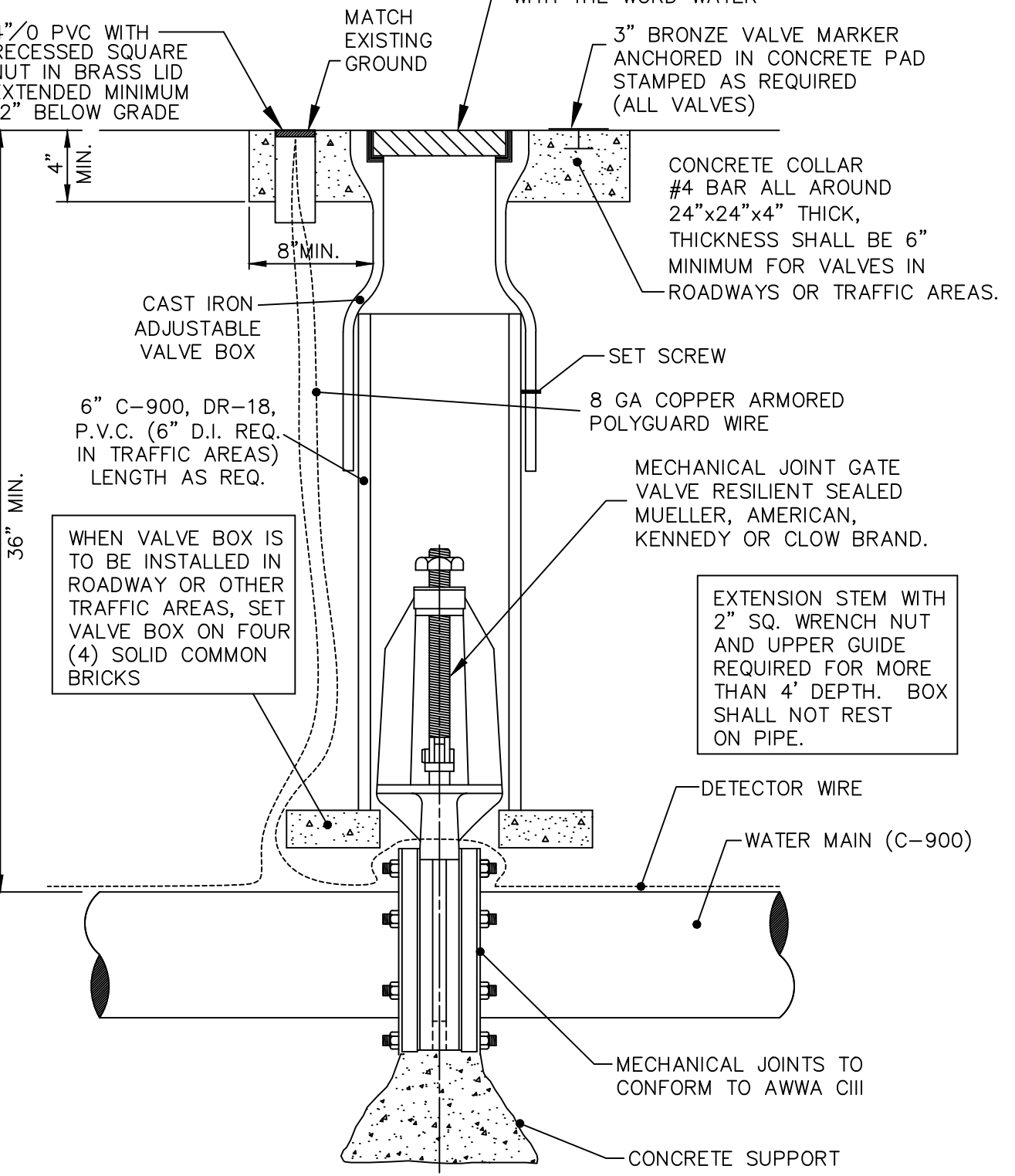
•• NOTE: MARK ALL POINTS WHERE WATER SERVICES CROSS CURB WITH A "W" MARK IN CONCRETE.

**BEDDING DETAILS**

N.T.S.



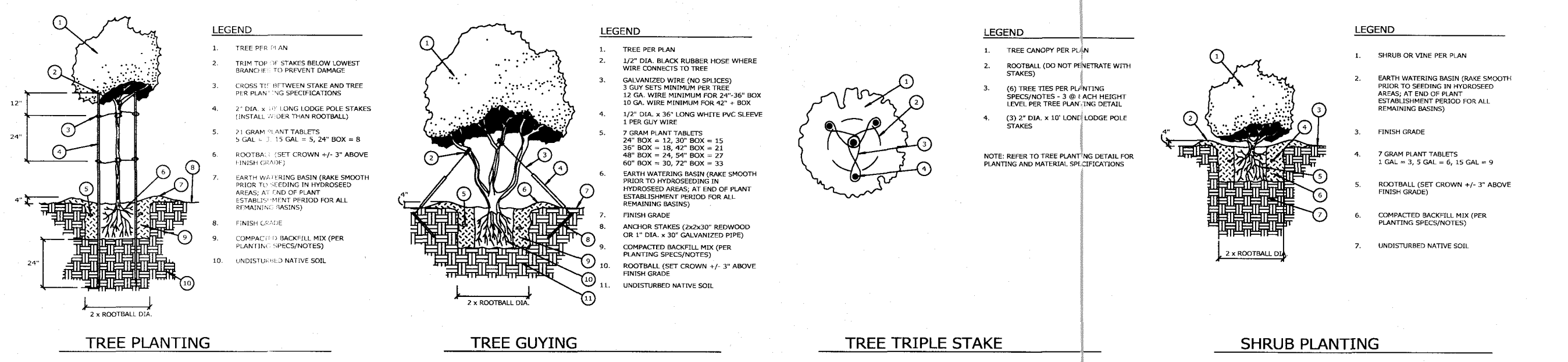
- NOTES: FOR BEDDING AND TRENCHING
1. Dimension Bc = Pipe O.D.  
Dimension Bd = Trench Width at Top of Pipe  
Maximum Bd = Bc + 30"  
Minimum Bd = Maximum Dimension of Bell + 8" (Unsheeted Trench)
  2. DEPTH FOR REMOVAL FOR UNSUITABLE MATERIAL SHALL BE AS REQUIRED TO REACH SUITABLE FOUNDATION. FOR ROCK OR OTHER NON-CUSHIONING MATERIAL, DEPTH SHALL BE 6" BELOW BOTTOM OF UTILITY.
  3. ALL BACKFILL AND SELECT MATERIAL UNDER ALL ROADWAYS, DRIVES (INCLUDING DIRT DRIVES), AND PARKING AREAS SHALL BE COMPACTED TO 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (AASHTO T-180). BACKFILL AND SELECT MATERIAL UNDER ALL OTHER AREAS SHALL BE COMPACTED AS FOLLOWS: FROM BOTTOM OF TRENCH TO 12" ABOVE TOP OF PIPE - 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY (AASHTO T-180). FROM 12" ABOVE TOP OF PIPE TO TOP OF BACKFILL - 90% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY (AASHTO T-180)



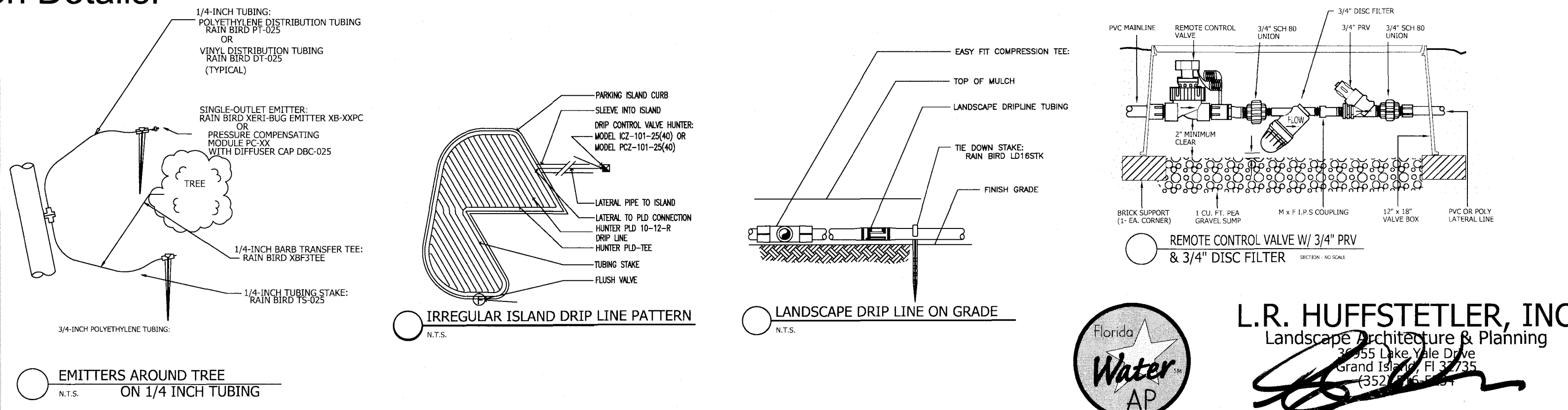
**GATE VALVE & BOX**

N.T.S.

### Planting Details:



### Irrigation Details:



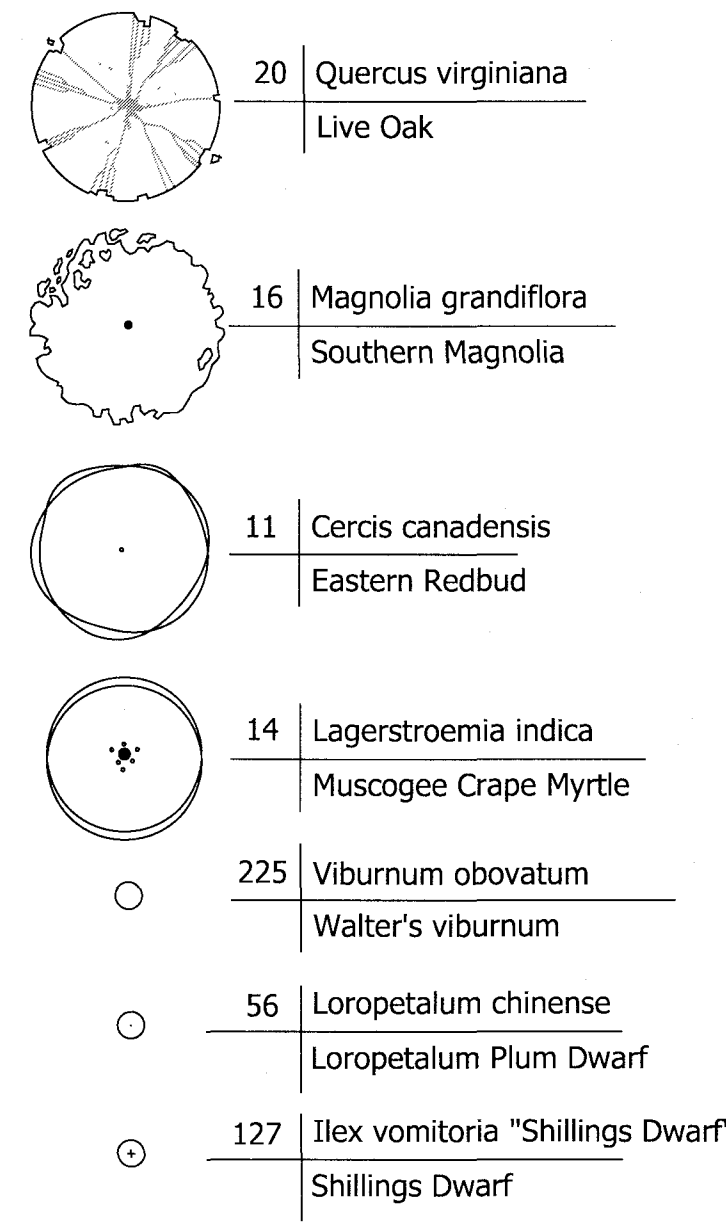
### GENERAL LANDSCAPE NOTES

1. Canopy trees to be from preferred list.
2. Understory trees to be from preferred list.
3. Shrubs to be 3 gal. minimum 30" tall from preferred list.
4. Installation of trees and shrubs shall comply with standard nursery practice.
5. Landscaping to meet all Applicable Florida Friendly requirements.

### Plant List:

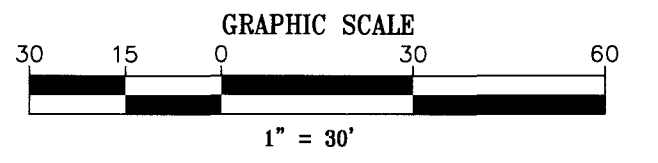
Quantity	Common Name	Scientific Name	Soil Moisture Range	Native	Spacing	Notes
<b>STREET TREES</b>						
0	None Required					
<b>TREES</b>						
20	Southern live oak, cathedral oak	<i>Quercus virginiana</i>	Dry - moist	Yes	as shown	1.5" DBH, 12' oa
14	Crape myrtle	<i>Lagerstroemia indica</i>	Dry - moist	No	as shown	0.5" DBH, 6' oa
16	Southern magnolia	<i>Magnolia grandiflora</i>	Dry - moist	Yes	as shown	1.5" DBH, 12' oa
11	Eastern Redbud	<i>Cercis canadensis</i>	Dry - moist	Yes	as shown	0.5" DBH, 6' oa
<b>SHRUBS</b>						
127	Schillings Dwarf, Ilex schillings	<i>Ilex vomitoria 'Schillings'</i>	Dry - moist	No	3' oc	3G
56	Loropetalum, Chinese Fringe Bush	<i>Loropetalum chinense</i>	Dry - moist	No	3' oc	3G
225	Walter's viburnum	<i>Viburnum obovatum</i>	Dry - moist	Yes	4' oc	3G
<b>GROUND COVER</b>						
	Bahia Sod					

### Plant Legend:



### TREE REMOVAL

Remove 82 trees as indicated by X  
 Required Replacement 25% = 21 canopy trees  
 Replacement Trees Provided = 34 canopy trees



### INSTALLATION AND MAINTENANCE NOTES

1. The work consists of the complete plant material installation as shown on the drawings and as herein specified. This work shall include, but is not limited to, the supplying of all plant material specified, the furnishing of all labor, equipment, appliances and materials called for, and in performing all operations in connection with the landscape specifications as shown on this plan. Further, the work shall include the maintaining of all plants and planting areas until phase acceptance by the owner, and fulfilling of all guarantee provisions as herein specified.
2. Adjustments to plant beds as shown on plans may be necessary due to walk locations, watering, relationship to roadways, etc. Plant material may need to be added or subtracted in the field. The contractor shall be responsible for the final plant count upon completion of the job. The final plant count will be submitted to the owner prior to final payment.
3. The contractor shall fully acquaint themselves with the related site grading, water supply, electrical supply, and other utilities to preclude any misunderstanding and facilitate a trouble free installation.
4. No substitution shall be made without written permission of the owner.
5. In the event of a variation between the plant list and the number of plants shown on the plans, contact the Project Landscape Architect immediately.
6. Plant materials shall be inspected at the job site by the owner. When inspected work does not comply with the specified requirements, the contractor shall replace rejected work and continue specified maintenance until the work is re-inspected and found acceptable and remove rejected plants and materials from the job site within 48 hours.
7. All materials shall be installed in a neat and workmanlike manner. The owner or his landscape architect reserves the right to direct the removal and replacement of any items which, in his opinion, do not present an orderly and reasonably neat or workmanlike appearance, provided such items can be installed in an orderly way by the usual method of such work.
8. All plant material shall be Florida No. 1 grade or better as defined in "Grades and Standards for Nursery Plants", Parts 1 and 2, as published by the Florida Department of Agriculture and Consumer Services, and shall conform to ANSI standards for nursery stock (ansi Z60.1-1980).
9. All planting beds shall be mulched with 3" of pine bark nuggets, 100% organic, of the highest grade.
10. All trees 8' or larger shall be staked or guyed. Staking materials and methods shall be submitted to the Owner for approval prior to installation.
11. Planting soil shall consist of the existing soil amended if required.
12. Fertilizer shall be quick release, water soluble and shall conform to the applicable state of Florida fertilizer laws. The contractor shall submit to the owner or landscape architect a fertilization certification.

### IRRIGATION NOTES

1. The plans and drawings are diagrammatic of the work to be performed. The work shall be executed in a manner to avoid conflicts with utilities and other elements of construction, including landscape materials. Any and all deviations shall be brought to the attention of the owner or owners. The contractor shall not willfully install any aspect of the irrigation system as shown on the plans and drawings when it is obvious in the field that obstructions, grade differences, or discrepancies exist that might not have been known during the design of the irrigation system. In the event that notification of the conflict is not given to the representative, the contractor will assume full responsibility for all revisions.
  2. Irrigation system shall be installed in accordance with all plans, irrigation system specifications and all contract documents. Contractor shall comply with all prevailing local codes, ordinances and regulations.
  3. Check and verify all site conditions, including service utility locations, prior to trenching or digging. Coordinate all irrigation system construction with existing and / or new plantings to avoid conflict or interference with location piping, sleeve, cables and service utilities. The irrigation contractor is responsible for coordinating installation with all other construction on site especially landscape installation. Irrigation system is to be located for no additional cost for any conflict with landscape installation or other site construction or existing conditions. All components that are not contained within the specific areas shown on the drawings will not be accepted. All piping and other components are to remain within the property of the OWNER.
  4. Where existing or new trees, light standards, signs, electronic controllers and / or other objects are an obstruction to an irrigation sprinkler's pattern, the component and piping shall be relocated as necessary to obtain proper coverage without damaging the obstruction. Landscape architect or representative to determine if obstruction occurs at all.
  5. Component spacings are maximum. Do not exceed spacing shown or noted on the plans. Component spacing may be changed to accommodate changes in terrain and planting layout as long as the modified spacing do not exceed the spacings shown in the plans. Unless shown otherwise, irrigation contractor shall provide 100% coverage.
  6. All materials and equipment shown shall be installed as detailed on the plans. If the drawing do not thoroughly describe the techniques to be used, the installer shall follow the installation methods/instructions recommended by their manufacturer.
  7. Irrigation contractor shall adjust all sprinklers, controller and other operating characteristics, including coverage, operating pressure, flow rates and operation time, as indicated on the drawings and on the irrigation system specifications. Adjust all sprinklers to avoid overhead of water onto buildings, roadways, sidewalks or existing landscape.
  8. Contractor to provide installation shop drawings and manufacturer product information for all irrigation components. All installation shall be as recommended by manufacturers. The quantities shown in the legends and symbol sheets shall not be used for bidding purposes. The contractor will be responsible for conducting a comprehensive take-off of materials to determine the actual quantities of materials necessary to execute the work described on the plans and drawings.
  9. All trenches shall be backfilled with clean, debris free materials. Clean sand shall be used for bedding materials if parent soil can not adequately hold of rock and other extraneous debris. Pulling pipe may be utilized where applicable.
  10. All solvent welding shall be preceded by priming of the fittings and pipe as recommended by the manufacturer.
  11. Contractor and label / number all zone valve covers with corresponding controller zone number and isolation valve box with record drawing numbers.
- B. MAINLINE & PIPING**
1. All irrigation main(s) and submain(s) shall be Class 200 PVC Purple Pantone Reclaimed pipe with lateral field fittings. All pipes used downstream of each remote control valve shall be Class 200 PVC Purple Pantone Reclaimed pipe or higher solvent weld pipe. Unless shown otherwise, size shall be as indicated on the drawings.
  2. The depth of all lines shall be 18" minimum cover for mainline and 12" minimum cover for lateral lines as specified per plans and details. Measurements shall be from top of pipe(s) to finish grade. Contractor will be responsible for retrenching and regrading any piping not meeting specified depths.
  3. All piping subducts for future zone expansions shall have the capped end with a 6" sleeve box.
- C. SLEEVING**
1. All sleeves for mainline to be Sch. 40 PVC. All sleeves for lateral lines to be twice the diameter of piping to be installed.
  2. Irrigation contractor shall coordinate with general contractor for the location of sleeving crossings whether shown or not. At no time shall wiring share the same sleeve with main(s) or other piping.
  3. All sleeving shall extend (12") beyond the edge of the surface requiring sleeving.
  4. All wiring sleeves shall be Sch. 40 (12") or as used per plan.
- D. CONTROL SYSTEM**
- Controller shall be completely electric in operation. Controller shall be installed and wired in accordance with manufacturer's published instructions. Controller shall be capable of operating from an independent power supply. Primary shall be 115V a.c. 60Hz or 230V, 50Hz.
- E. REMOTE CONTROL VALVES**
1. All control valves shall be Hunter and installed as close as possible to the mainline(s) or submain(s) piping. Controller valves shall be type and size as specified herein and indicated on the drawings.
- F. DRIP TUBES**
1. Drip tube to be Hunter inline drip tubing 1 GPH on 12" centers Purple Reclaimed piping.

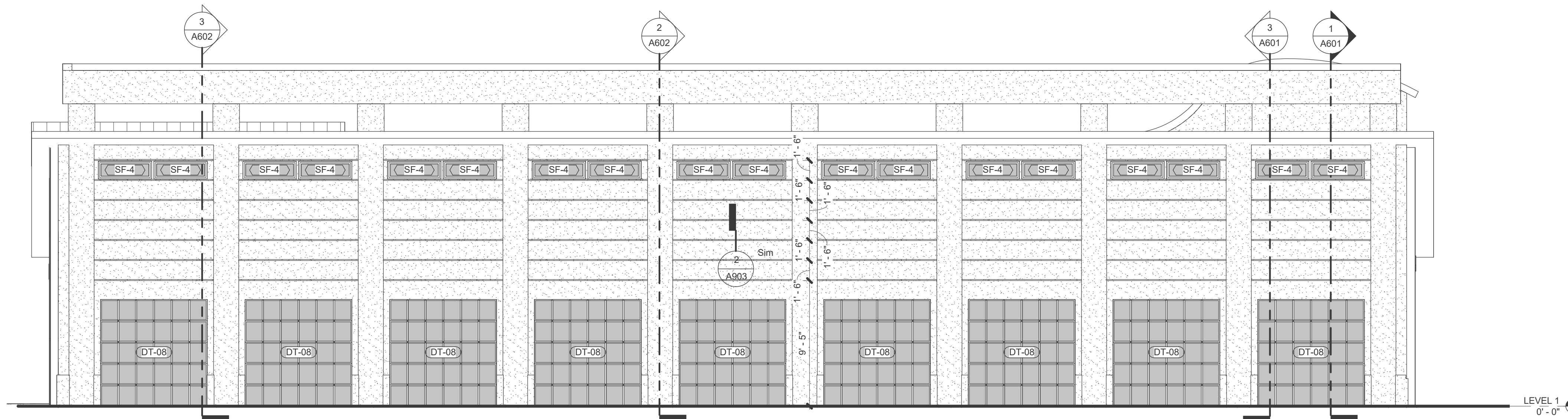
**Wicks Engineering Services, Inc.**  
 225 West Main Street, Tallahassee, Florida 32378  
 www.wicksengineering.com (850) 343-8667  
 C.A. #00082

**FRUITLAND PARK HOLDINGS, LLC**  
 TEJINDER S. GREENWALL  
 1330 SAXON BOULEVARD  
 ORANGE CITY, FLORIDA 32763

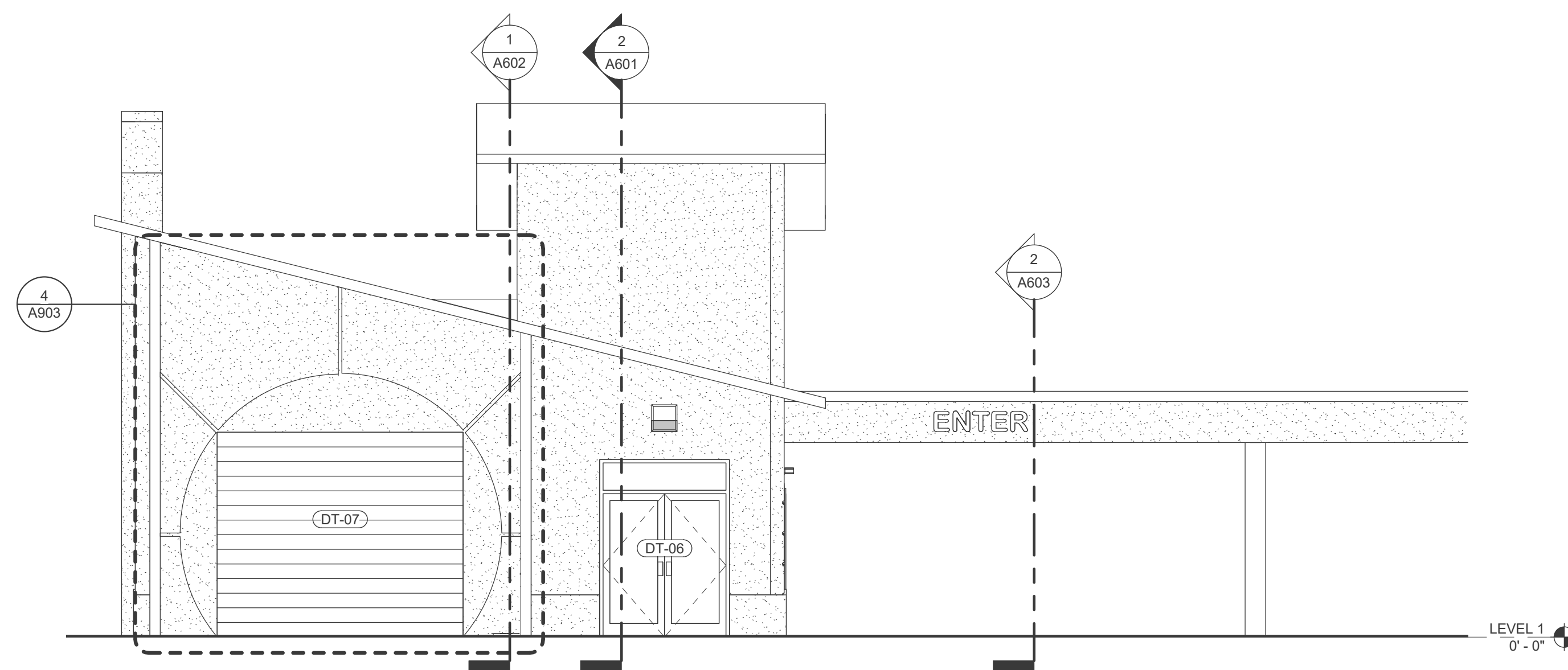
**IC International Car Wash**  
**Landscape and Irrigation Plan**  
 Lake County, Florida

Drawn: BH DATE: 06-05-18  
 Checked: BH REVISION: 06-05-18 remove drive  
 Scale: 1" = 30'  
 File No.: 17136  
 Sheet: 1 Of: 1

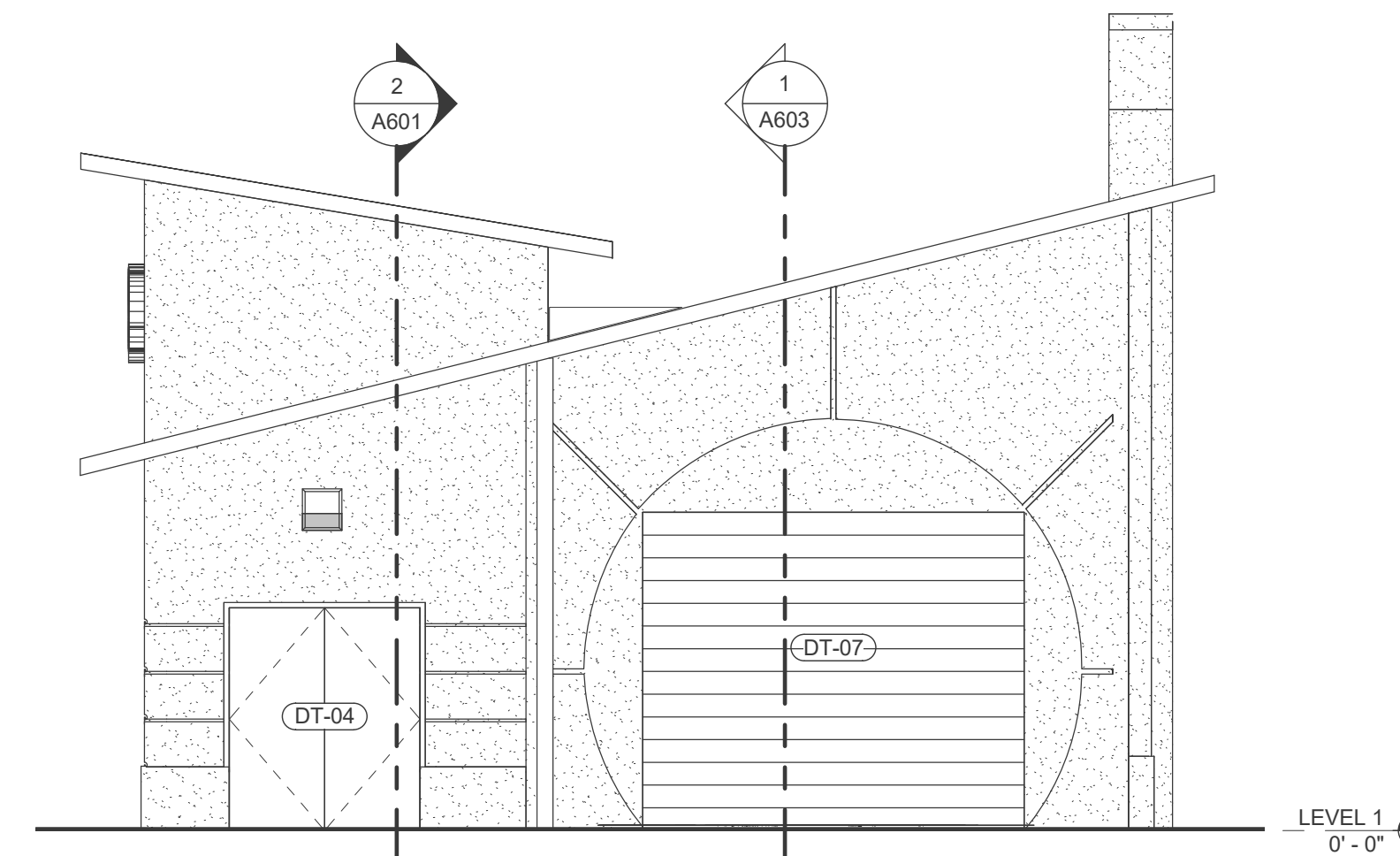
**L.R. HUFFSTETLER, INC.**  
 Landscape Architecture & Planning  
 3955 Lake Dale Drive  
 Grand Island, FL 32708  
 (850) 352-1111  
 Florida Water AP  
 L.R. Huffstetler III - Lic. # 0000744



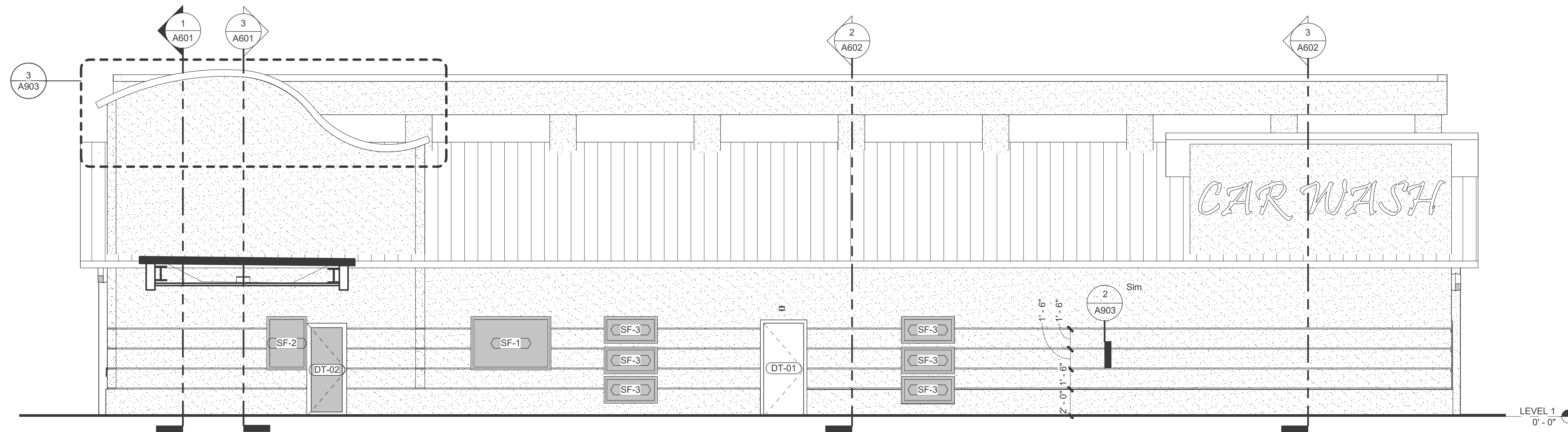
**1 Elevation FACING FOREST CITY RD**  
3/16" = 1'-0"



**2 Elevation WASH PAY STATION**  
3/16" = 1'-0"



**3 Elevation - TUNNEL ENTRY - EDGEWATER FACADE**  
3/16" = 1'-0"



**4 Elevation FACING VET. OFFICE**  
3/16" = 1'-0"

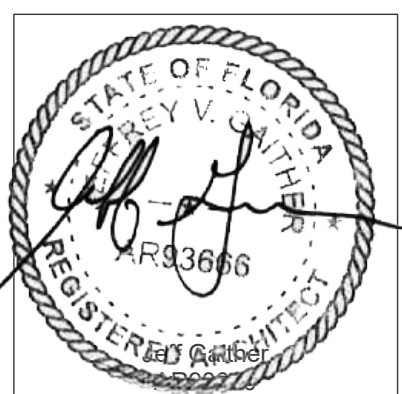
**FLASHING NOTES:**

Exterior walls shall provide the building with a weather-resistant exterior wall envelope. The exterior wall envelope shall include flashing as described below.

One layer of No. 15 asphalt felt, free from holes and breaks, complying with ASTM D 226 for Type 1 felt or other approved water-resistive barrier shall be applied over studs or sheathing of all exterior walls. Such felt or material shall be applied horizontally, with the upper layer lapped over the lower layer not less than 2 inches (51 mm). Where joints occur, felt shall be lapped not less than 6 inches (152 mm). The felt or other approved material shall be continuous to the top of walls and terminated at penetrations and building appendages in a manner to meet the requirements of the exterior wall envelope.

Approved corrosion-resistant flashing shall be applied shingle-fashion in a manner to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with AAMA 711. The flashing shall extend to the surface of the exterior wall finish. Approved corrosion-resistant flashings shall be installed at all of the following locations:

1. Exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage. Flashing at exterior window and door openings shall be installed in accordance with one or more of the following or other approved method:
  - 1.1 In accordance with FMA/AAMA 100, FMA/AAMA 200, or FMA/WDMA 250.
  - 1.2 In accordance with the flashing details provided herein.
2. At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings.
3. Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.



Jeff Gaither, Architect  
4101 Woodlyne Lane  
Orlando, FL 32812  
(407) 342-5995

Revision Schedule		
Revision Number	Revision Description	Revision Date

US 27-441 FRUITLAND PARK	
CAR WASH BUILDING ELEVATIONS	
Project number	16-042
Date	3-23-2017
Drawn by	Author
Checked by	Checker
<b>A501</b>	
Scale	3/16" = 1'-0"



**City of Fruitland Park, Florida**  
**Community Development Department**  
 1506 W. Berckman St., Fruitland Park, Florida 34731  
 Tel: (352) 360-6727 Fax: (352) 360-6652  
 www.fruitlandpark.org

<i>Staff Use Only</i>	
Case No.:	_____
Fee Paid:	_____
Receipt No.:	_____

## Development Application

Contact Information:

Owner Name: Leesburg Fruit Company, Inc. / Rufus M. Holloway, Trustee / Holloway Properties, Inc.  
 Address: 1616 Lakeshore Drive, Orlando, FL 32803  
 Phone: 407-837-8352 Email: RMHJR36@aol.com

Applicant Name: same as above  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Engineer Name: Ted Wicks, P.E., Wicks Engineering Services  
 Address: 255 W. Main Street, Tavares, FL 32778  
 Phone: 352-343-8667 Email: tedwicks@wicksengineering.com

Property and Project Information:

**PROJECT NAME\*:** Leesburg Fruit Company, Inc. PUD

\*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: East of CR 468

Parcel Number(s): See attached (multiple parcels) Section: 9 and 16 Township: 19 Range: 24

Area of Property: 177.7 Nearest Intersection: CR 468 and Lewis Road

Existing Zoning: CPUD Existing Future Land Use Designation: MFHD

Proposed Zoning: PUD Proposed Future Land Use Designation: Mixed Residential/Commercial

The property is presently used for: Agriculture

The property is proposed to be used for: Residential with commercial along CR 468

Do you currently have City Utilities? No

Application Type:

- |  |  |   |   |
|--|--|---|---|
| <input type="checkbox"/> Annexation      | <input type="checkbox"/> Comp Plan Amendment   | <input checked="" type="checkbox"/> Rezoning    | <input checked="" type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance        | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat                     |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan      | <input type="checkbox"/> Construction Plan      | <input type="checkbox"/> ROW/Plat Vacate                |
| <input type="checkbox"/> Site Plan       | <input type="checkbox"/> Minor Site Plan       | <input type="checkbox"/> Replat of Subdivision  |   |

Please describe your request in detail: Rezoning of property from CPUD to a Mixed Community PUD pursuant to the City adopted Comprehensive Plan and Land Development Regulations

**Required Data, Documents, Forms & Fees**

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Signature:  Date: 1/9/19

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

# Development Application Checklist

## The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd)     Current Deed     Aerial Photo  
 Property Appraiser Information     Electronic Copy of Application     Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through [www.lakecountyfl.gov/maps/](http://www.lakecountyfl.gov/maps/). Note: All maps are required to depict adjacent properties at a minimum.

**Failure to provide adequate maps may delay the application process.**

## Other Required Analyses and Maps:

### Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment     Environmental Constraints Map     Requested FLU Map

### Large Scale Comprehensive Plan Amendment Applications:

- Maps:     Environmental Constraints     Soils     Requested FLUM Designation     Requested Zoning Map Designation
- Analyses:     Environmental Assessment     Utility Availability Analysis     Urban Sprawl Analysis     School Impact Analysis  
 Traffic Impact Analysis     Consistency with the Comp Plan     Florida Master Site File sign-off or Archaeological Survey

- Rezoning Applications:     Requested Zoning Map     Justification for Rezoning

### Planned Development Applications:

- Maps/Plans:     Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G     Environmental Constraints
- Analyses:     Environmental Assessment     Traffic Impact Analysis     Preliminary Concurrency Analysis

- Variance Applications:     Justification for Variance

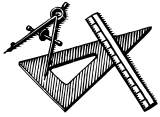
- Special Exception Use Applications:     Justification for Special Exception Use  
 Site Sketch     List of Special Requirements as Described in LDRs, Chapter 155

- Conditional Use Permit Applications:     Proposed List of Conditions and Safeguards  
 Site Plan as Described in LDRs, Chapter 155     Written Statement as Described in LDRs, Chapter 155

- Subdivision Applications:  
(Preliminary Plan, Improvement Plan and Final Plat)     As Described in LDRs, Chapter 157

- Minor Subdivision Applications:     As Described in LDRs, Chapter 157

- Site Plan Applications:     As Described in LDRs, Chapter 160



# Wicks Engineering Services, Inc.

225 West Main Street ♦ Tavares, Florida 32778  
P (352) 343-8667 F (352) 343-8665

January 11, 2019

Ms. Tracy Kelley  
Community Development Director  
City of Fruitland Park  
506 West Berckman Street  
Fruitland Park FL 34731

RE: Dr. Rufus Holloway (Leesburg Fruit Company)  
PUD Rezoning

Dear Ms. Kelley,

Attached is the application and supporting information for the rezoning of the Holloway / Leesburg Fruit Company parcels that are located within the City Limits. The proposed rezoning is requested to allow the construction of a Mixed Community PUD as shown on the Concept Plan for the Project. The proposed PUD zoning and Land Use Designation is intended to facilitate the development of a residential community with a commercial component.

The application is accompanied with the appropriate fee and supporting documents. Please do not hesitate to contact me if you have any questions or comments regarding this application.

Sincerely,

*Ted Wicks*

Kenneth R. "TED" Wicks, P.E.

Enclosures

xc: Dr. Rufus Holloway

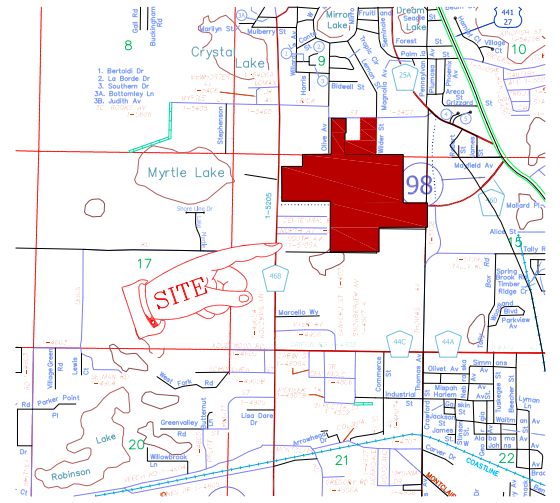
18158 / Permits / City / 2019-01-11 Cover Letter Rezone

Owner:  
 Holloway Properties, Inc.  
 1616 Lake Shore Drive  
 Orlando, Florida 32803

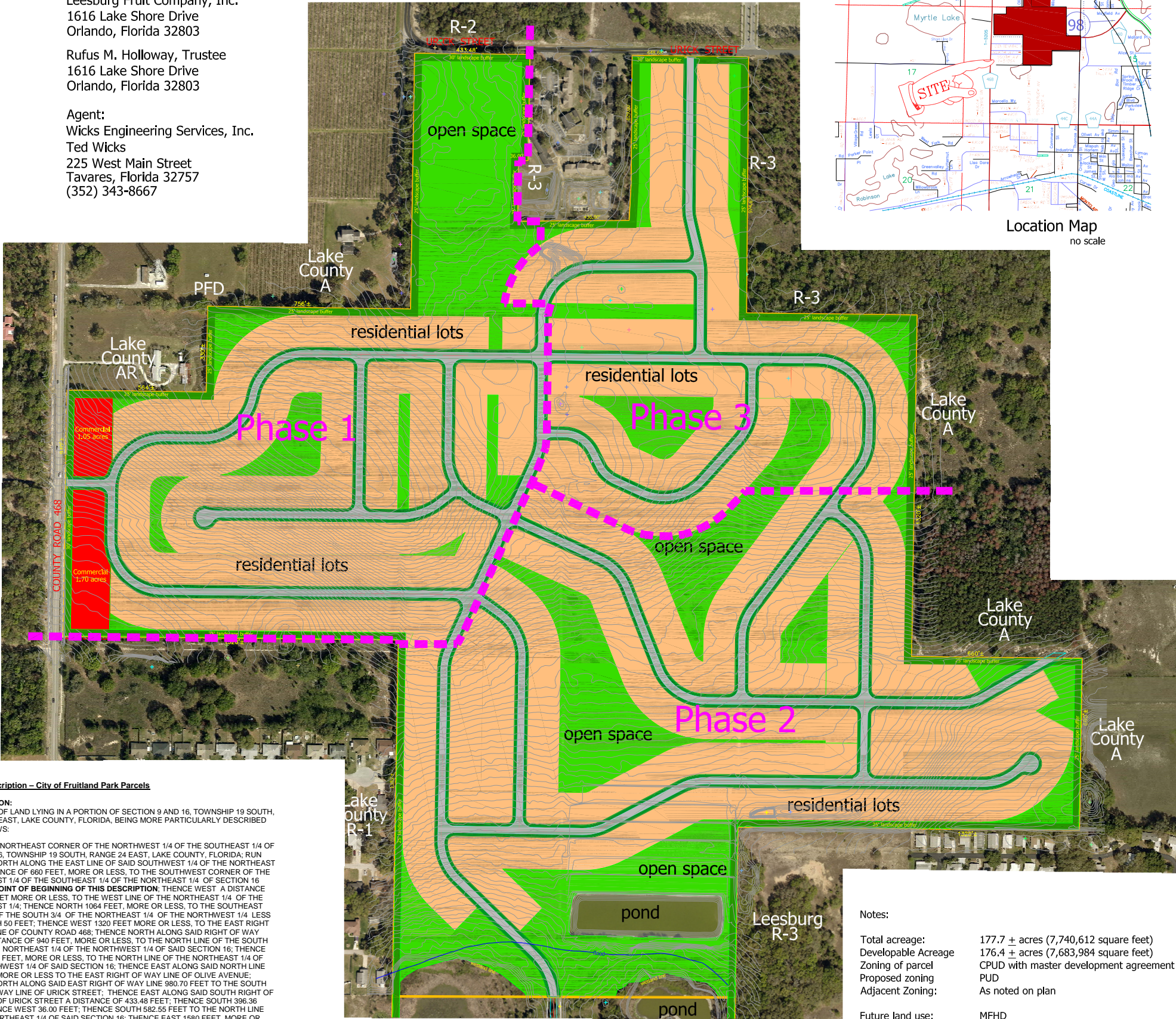
Leesburg Fruit Company, Inc.  
 1616 Lake Shore Drive  
 Orlando, Florida 32803

Rufus M. Holloway, Trustee  
 1616 Lake Shore Drive  
 Orlando, Florida 32803

Agent:  
 Wicks Engineering Services, Inc.  
 Ted Wicks  
 225 West Main Street  
 Tavares, Florida 32757  
 (352) 343-8667



Location Map  
no scale



**Legal Description – City of Fruitland Park Parcels**

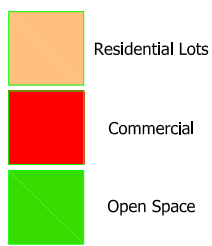
**DESCRIPTION:**  
 A PARCEL OF LAND LYING IN A PORTION OF SECTION 9 AND 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FROM THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 16 TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA; THENCE NORTH ALONG THE EAST LINE OF SAID SOUTHWEST 1/4 OF THE NORTHEAST 1/4 A DISTANCE OF 660 FEET, MORE OR LESS, TO THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 16 AND THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE WEST A DISTANCE OF 1320 FEET MORE OR LESS, TO THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4; THENCE NORTH 1064 FEET, MORE OR LESS, TO THE SOUTHWEST CORNER OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 LESS THE SOUTH 50 FEET; THENCE WEST 1320 FEET MORE OR LESS, TO THE EAST RIGHT OF WAY LINE OF COUNTY ROAD 468; THENCE NORTH ALONG SAID RIGHT OF WAY LINE A DISTANCE OF 940 FEET, MORE OR LESS, TO THE NORTH LINE OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16; THENCE NORTH 330 FEET, MORE OR LESS, TO THE NORTH LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16; THENCE EAST ALONG SAID NORTH LINE 756 FEET, MORE OR LESS, TO THE EAST RIGHT OF WAY LINE OF OLIVE AVENUE; THENCE NORTH ALONG SAID EAST RIGHT OF WAY LINE 980.70 FEET TO THE SOUTH RIGHT OF WAY LINE OF URICK STREET; THENCE EAST ALONG SAID SOUTH RIGHT OF WAY LINE OF URICK STREET A DISTANCE OF 433.48 FEET; THENCE SOUTH 396.36 FEET; THENCE WEST 36.00 FEET; THENCE SOUTH 582.55 FEET TO THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 16; THENCE EAST 1580 FEET, MORE OR LESS, TO THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 16; THENCE SOUTH 114 FEET, MORE OR LESS, TO THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 16; THENCE EAST ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 16; THENCE EAST A DISTANCE OF 660 FEET, MORE OR LESS, TO THE EAST LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 16; THENCE SOUTH 660 FEET, MORE OR LESS, TO THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 16; THENCE EAST ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 16 A DISTANCE OF 1320 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

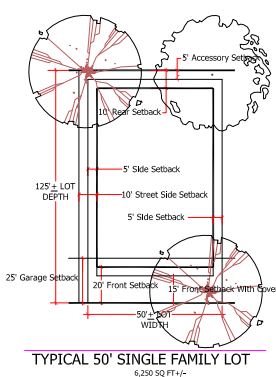
**AND ALSO:**  
 FROM THE SOUTHWEST CORNER OF BLOCK 46, RUN EAST 400 FEET TO THE POINT OF BEGINNING; THENCE NORTH 582.55 FEET; THENCE EAST 36 FEET; THENCE NORTH 396.36 FEET TO NORTH LINE OF BLOCK 46; THENCE EAST TO NORTHEAST CORNER OF BLOCK 46; THENCE SOUTH TO THE SOUTHWEST CORNER OF BLOCK 46 THENCE WEST TO POINT OF BEGINNING. SECTION 9, TOWNSHIP 11 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

**LESS THE FOLLOWING DESCRIBED PARCEL:**  
 A PORTION OF LOTS 2 AND 3, BLOCK 46, TOWN OF FRUITLAND PARK, FLORIDA ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE AFORESAID BLOCK 46, (ALSO BEING THE SOUTH 1/4 CORNER OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST); THENCE SOUTH 89°43'16" EAST, ALONG THE SOUTH LINE OF BLOCK 46, A DISTANCE OF 400.00 FEET; THENCE NORTH 00°26'56" EAST, 342.53 FEET, FOR THE POINT OF BEGINNING OF THIS PARCEL; FROM SAID POINT OF BEGINNING CONTINUE NORTH 00°26'56" EAST, 239.91 FEET; THENCE SOUTH 89°33'50" EAST, 36.00 FEET THENCE NORTH 00°26'56" EAST, 396.16 FEET, TO THE SOUTH LINE OF URICK STREET (A 50 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE SOUTH 89°30'00" EAST, 400.00 FEET; THENCE SOUTH 00°26'10" WEST, 629.00 FEET THENCE SOUTH 89°33'50" EAST, 436.00 FEET, TO THE POINT OF BEGINNING.



Legend



TYPICAL 50' SINGLE FAMILY LOT



Soils Map  
no scale

Notes:

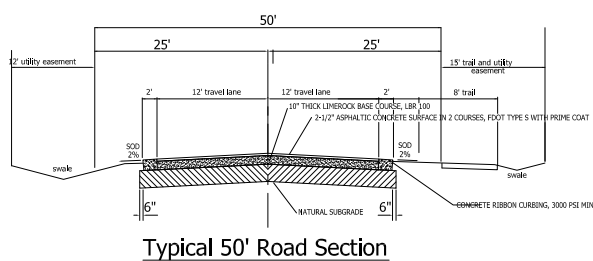
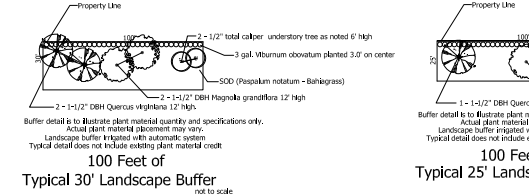
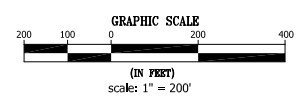
Total acreage:	177.7 ± acres (7,740,612 square feet)
Developable Acreage	176.4 ± acres (7,683,984 square feet)
Zoning of parcel	CPUD with master development agreement
Proposed zoning	PUD
Adjacent Zoning:	As noted on plan
Future land use:	MFHD
Proposed FLU:	Fruitland Park Mixed Community
Proposed Use:	Mixed Use Residential/Commercial
	Future development consistent with zoning and land use category
Total number of units	700
Net living area/unit	1,300 sf min.
Gross density:	3.97 Du/Acre
Commercial acreage	2.73 (23,500 sf)
100 year flood elevation:	indicated on plan
Wetland acreage:	1.3 acres ±
Open Space:	44.1 acres - 25%

This plan is conceptual in nature and is subject to change due to engineering and other influences.  
 Maximum allowable building height 35'  
 Typical lot size - 50'X125', 6,250 sf average  
 ROW width 50', 24' paved surface  
 Building setbacks:

- Rear setback 20'
- Front setback - 30'
- Side setback - 10'
- Streetside setback - 30'
- Accessory structure setback - 10'

- Buffers:
- North - 25'
  - North - Urich Street - 30'
  - South - none required
  - East - 25'
  - West - 25'
  - West - CR 468 - 30'

Utilities, police, water, sewer and fire protection will be provided by City Fruitland Park.  
 Stormwater management will be through a system of swales, wet and dry bottom retention ponds as required.  
 Existing vegetation to be utilized in landscape buffers wherever possible.



Typical 50' Road Section

Drawn: LRH	REVISION: Δ	DATE:
Checked: KRW		
Date: 01/09/2019		
Scale: AS SHOWN		
File No.: 15121		
Sheet: 1 of 1		

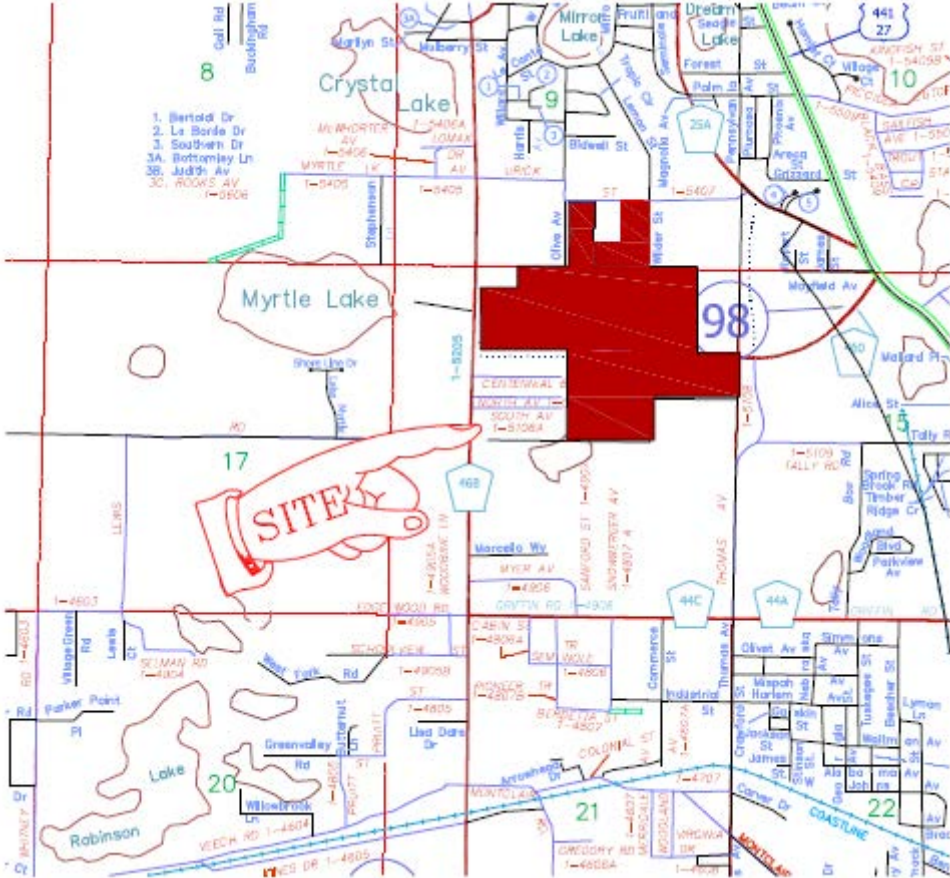
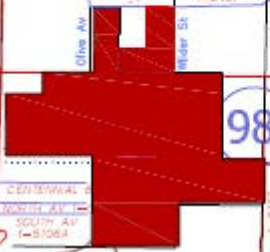
**Leesburg Fruit Co., Inc.**  
**PUD**  
 Fruitland Park, Florida

**Concept Plan**

**Wicks Engineering Services, Inc.**  
 225 West Main Street, Tavares, Florida 32778  
 www.wicksengineering.com (352) 343-8667  
 C.A. #30062

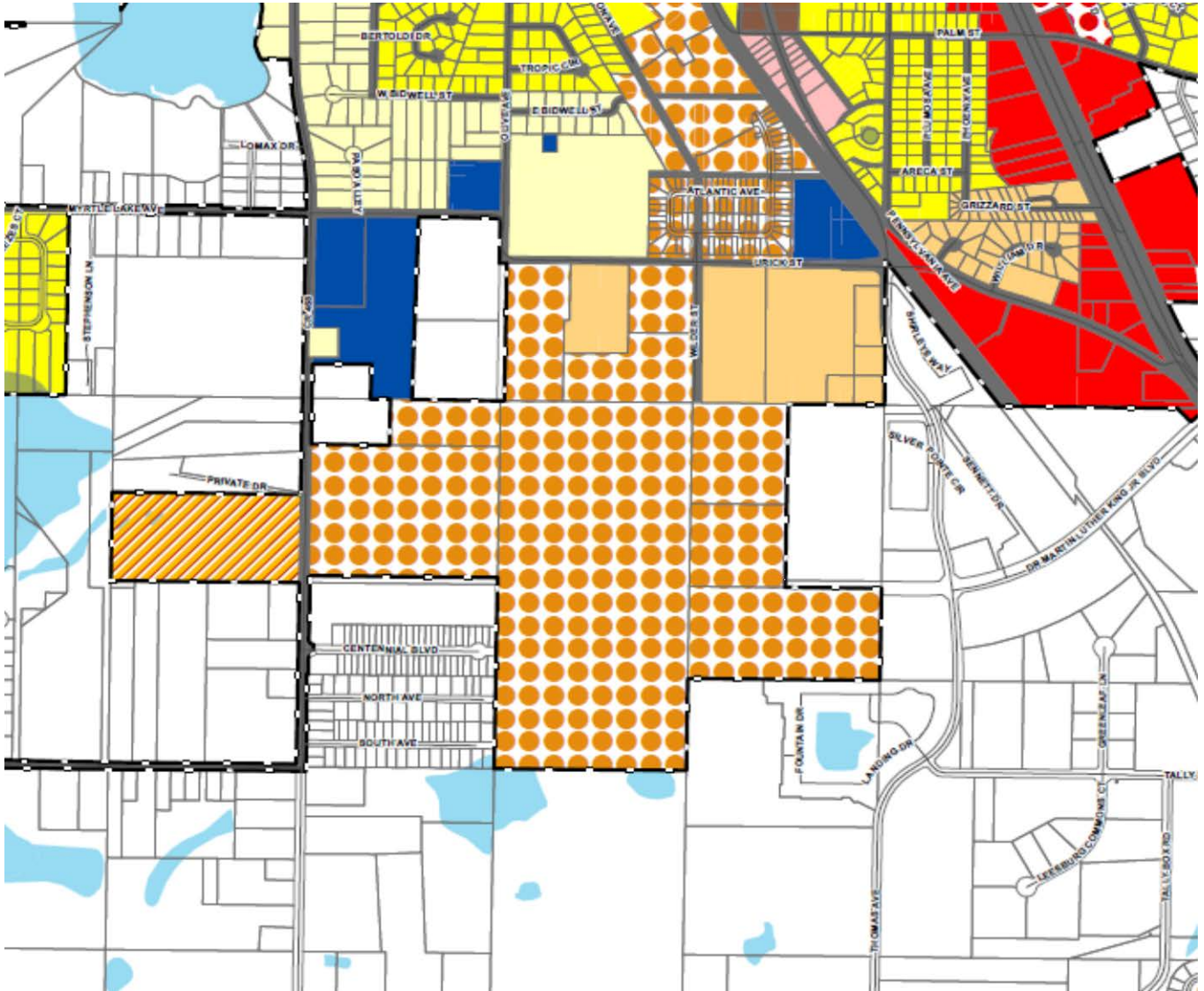


- 1. Bertold Dr
- 2. La Borda Dr
- 3. Southern Dr
- 3A. Bottomley Ln
- 3B. Judith Av
- 3C. ROCKS AV I-5006



# FRUITLAND PARK Lake County, Florida

## Zoning



### Legend

-  City of Fruitland Park
-  County Boundary
- City of Fruitland Park Zoning**
-  R-1 -- Single - Family Low Density Residential
-  R-2 -- Single - Family Medium Density Residential
-  R-2A, Medium Density Residential
-  R-3 -- Multi-Family High Density Residential
-  R-3A -- High Density Residential/Neighborhood Commercial
-  RP -- Residential Professional
-  C-1 -- Neighborhood Commercial
-  C-2 -- General Commercial
-  IND -- Industrial
-  PUD -- Planned Unit Development
-  CPUD, Commercial Planned Unit Development District
-  IND-PUD, Industrial PUD
-  MPUD, Mixed Use PUD
-  PFD -- Public Facilities District
-  GB -- Green Belt District
-  ROW -- Right-of-Way

***HOLLOWAY TREE FARM***  
**Preliminary Threatened and Endangered  
Species Report – Environmental Assessment**

SITE INFORMATION:

2620 GRIFFIN RD, LEESBURG, FL 34748

Prepared for:

RUFUS M HOLLOWAY, Jr  
1616 Lakeshore Drive,  
Orlando, FL 32803

&

Wicks Engineering Services, Inc.  
225 W. Main Street,  
Tavares, FL 32778

Prepared by:



701 Jefferis Ct, Eustis, FL 32726  
Phone: (352) 406-6879 Fax: (866) 249-9203 Email: [jkenvironmental@gmail.com](mailto:jkenvironmental@gmail.com)  
10/20/15

## Table of Contents

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Land Uses.....	2
Wetlands and Other Surface Waters .....	3
Flood Prone Area Determination .....	3
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## List of Exhibits

- Exhibit 1: Vicinity Location Map.
- Exhibit 2: Map of Survey with Project Area
- Exhibit 3: Legal Description
- Exhibit 4: NRCS Soils Map – Lake County Soil Survey.
- Exhibit 5: Land Use & Aerial Map – FLUCFCS.
- Exhibit 6: Flood Map & Wetlands
- Exhibit 7: Listed Species Survey
- Exhibit 8: Bald Eagle Search Results

## **INTRODUCTION**

This report has been prepared to provide a **Preliminary** Threatened and Endangered Species Assessment and Environmental Assessment performed within a 248 acre property as shown on the attached survey and legal description shown within **Exhibits 2 and 3**. The property is located on the north of Griffin Road and approximately 1.3 miles west of Hwy 27, in Leesburg, Florida. Urick Road, in Fruitland Park borders the northern-most boundary of the project area.

- Reviewed existing GIS information, including soils, topography, flood plain, wetlands, and rare species listing.
- Conducted field inspection and determined site conditions including Florida Land Use Cover and Forms Classification System (FLUCFCS), and performed a preliminary Threatened and Endangered Species Survey (TES).
- Prepared an Assessment Report to include the following: 1) Land use Map using FLUCFCS; 2) Soils Map; 3) Flood Plain Map; 4) Protected species survey utilizing methodology consistent with that required by the Florida Fish and Wildlife Conservation Commission and the U.S. Fish & Wildlife Commission;

The applicant hired JK Environmental Services, LLC to provide a preliminary threatened and endangered species assessment and environmental assessment of the site's current use and condition.

## **SITE LOCATION**

The site is located within Sections 21 & 22, Township 19 South, Range 26 East, in Lake County, Florida. The project site is approximately 248 acres, and it is located on Griffin Road, approximately 1.3 miles west of Hwy 27 in Leesburg, Florida. A vicinity location map is provided as **Exhibit 1** as well as a Map of Survey with the project area labeled as **Exhibit 2**.

## SITE CONDITIONS

### **Soils**

According to the Soil Survey of Lake County Area, Florida issued by the U.S. Department of Soil Conservation Service, now Natural Resource Conservation Service, the site is represented by five (5) soil series. Following is the table with the listed soil series:

Map Unit Symbol	Map Unit Name
1	Sparr sand; 0-5% slopes
5	Apopka sand; 0-5% slopes
8	Candler sand; 0-5% slopes
9	Candler sand; 5-12% slopes
45	Tavares sand; 0-5% slopes

A copy of the soil survey, adopted from the USGS-NRCS Web Soil Survey, is shown as **Exhibit 4**.

### **Land Uses**

The existing Land Use Classification for the subject property area was identified by utilizing the Florida Land Use Cover and Forms Classification System (FLUCFCS), an on-site inspection, and aerial photography.

The land uses within the property and its vicinity were identified from the FLUCFCS as follows and shown on the attached Land Use Map as **Exhibit 5**:

ID	DESCRIPTION
1111	Fixed single family units – Low Density
1211	Fixed single family units – Medium Density
1331	Multiple Dwelling Units – Multi-Family single story
147	Mixed Commercial & Other Services
150	Industrial/Manufacturing
166	Holding Pond – Lined
224	Abandoned Grove – Citrus
241	Tree Nursery
261	Harvested Agricultural Land – tree farm
4122	Longleaf pine-Xeric oak; 30-50% crown closure
4212	Xeric Oak; 30-50% crown closure
4411	Planted Pines; 30-50% crown closure
616	Inland pond – wetlands
8144	County maintained road
8315	Utilities – Sub-station

## **WETLANDS AND OTHER SURFACE WATERS**

*“Wetlands,” as defined in subsection 373.019(17), F.S., means those areas that are inundated or saturated by surface water or ground water at a frequency and a duration sufficient to support, and under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soils. Soils present in wetlands generally are classified as hydric or alluvial, or possess characteristics that are associated with reducing soil conditions. The prevalent vegetation in wetlands generally consists of facultative or obligate hydrophytic macrophytes that are typically adapted to areas having soil conditions described above. These species, due to morphological, physiological, or reproductive adaptations, have the ability to grow, reproduce or persist in aquatic environments or anaerobic soil conditions. Florida wetlands generally include swamps, marshes, bayheads, bogs, cypress domes and strands, sloughs, wet prairies, riverine swamps and marshes, hydric seepage slopes, tidal marshes, mangrove swamps and other similar areas. Florida wetlands generally do not include longleaf or slash pine flatwoods with an understory dominated by saw palmetto.*

JK Environmental Services, LLC conducted an onsite field evaluation on September 21, 2015 and on September 29, 2015 to verify the presence, or absence of jurisdictional wetland lines (JWL). The project site does have jurisdictional wetlands as defined in subsection 373.019(17), Florida Statutes. According to the methodology set forth in Chapter 62-340, Florida Administrative Code, *Delineation of the Landward Extent of Wetlands and Surface Water*, JK Environmental Services, LLC did observe the presence of wetlands within the project site. **Exhibit 6** shows the Jurisdictional Wetland Lines as estimated per Lake County GIS.

## **FLOOD PRONE AREA DETERMINATION**

The site is mostly outside 100-year flood area (zone x) according to the Lake County GIS, and as per Fema Flood Map panels 12069C0306E & 12069C0308E. The areas within the 100-year flood area (zone A) are labeled and shown within **Exhibit 6**.

## **LISTED SPECIES SURVEY**

The U.S. Fish and Wildlife Service (USFWS) regulate and protect federally listed plant and animal species under the Endangered Species Act of 1973. The Florida Fish and Wildlife Conservation Commission (FWC) regulate and protect animal species listed as Threatened (LT), Endangered (LE), and Species of Special Concern (LS). In addition, the Florida Department of Agriculture and Consumer Affairs (FDA) list plants that are considered Endangered, Threatened, and/or Commercially Exploited. These agencies exercise control over the taking which includes harming, harassing, wounding, possessing, or killing protected species or their nests. Permits

may be required prior to development if protected species will be taken by development.

JK Environmental Services, LLC (JKE), conducted pedestrian transects along the proposed utility line area between September 21, 2015 and on September 29, 2015 to determine the presence of listed animal or plant species. Transects were performed such that representative areas of all of the habitats on-site were visually surveyed.

## **RESULTS, CONCLUSIONS, AND RECOMMENDATIONS**

### ***Habitat***

The field evaluation on September 21, 2015 and on September 29, 2015, confirmed that the referenced site consists primarily of a tree farm/tree nursery, with medium density single family residential homes bordering part of the west boundary line, Griffin Rd and Urick Road along the South and the North boundary lines respectively, as well as industrial/manufacturing industry along the south-east boundary. A thorough habitat/land use detail map is provided as **Exhibit 5**.

### ***Listed species***

During the evaluation, no species of concern were observed onsite close enough to affect the location of the proposed project area within the entire property. Less than 10 Gopher Tortoise (*Gopherus polyphemus*) burrows (active or inactive) were observed within the property, though none within the proposed site development. No development is expected less than 25 ft from any active burrow, and at this time, no Gopher Tortoise burrows are expected to be affected or required to be moved due to the proposed development. A suitable habitat for Gopher Tortoises remains onsite outside the proposed project area that will not be impacted. Should any tortoises move within the development site area by the time the project commences, a choice of permits are available through the FWC.

The Florida Fish and Wildlife Conservation Commission's online search engine was consulted to determine whether there are any documented Bald Eagle's (*Haliaeetus leucocephalus*) nests within or near the proposed site. The search revealed no documented Bald Eagles nests within 5280 feet (1 mile) of the property. The results of the online search have been included within **Exhibit 8**.

A thorough list of protected species known to occur in the vicinity of the subject site based on the FNAI (Florida Natural Areas Inventory) is included within **Exhibit 7**. The list summarizes the species, general habit description,



state and federal status, and the site observations according to the site visit on September 21, 2015 & on September 29, 2015.

The results are based on field observations taken at the time of the site visit for the purposes of this report and do not preclude listed species from moving onto or out of the site in the future.

This environmental assessment does not constitute a Phase I Environmental Assessment and this report makes no representation as to the presence or absence of hazardous materials.

JK Environmental Services, LLC greatly appreciates the opportunity providing you with our services. If you have any questions or comments related to the information provided in this report, please contact our office at (352) 406-6879 or email us at [jkenvironmental@gmail.com](mailto:jkenvironmental@gmail.com).

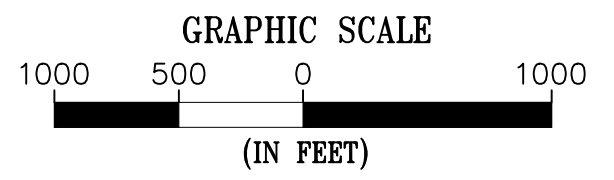
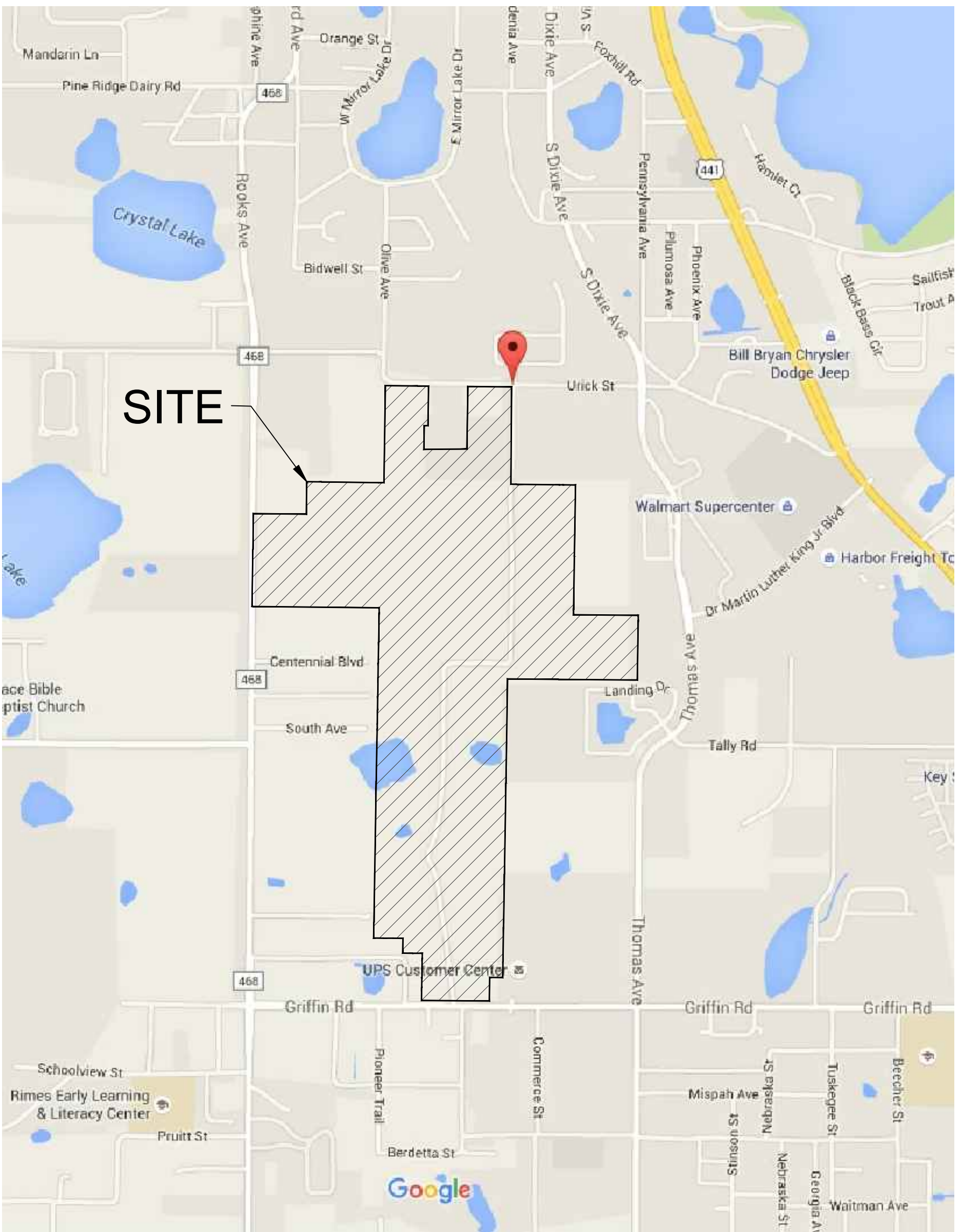
Sincerely,



John Katsantonis, Professional Environmental Scientist  
JK Environmental Services, LLC

Exhibits/attachments

# EXHIBIT 1



Drawn: JCK	REVISION:	DATE:
Checked: JCK		
Date: 10/2/15		
Scale: 1"=1000'		
File No.:		
<b>EXHIBIT 1</b>		

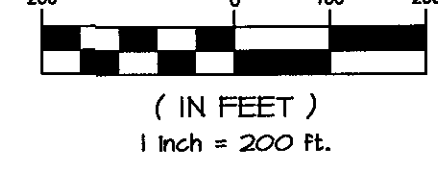
HOLLOWAY TREE FARM  
 2620 GRIFFIN RD, LEESBURG, FL 34748  
 LOCATION MAP – GOOGLE MAPS



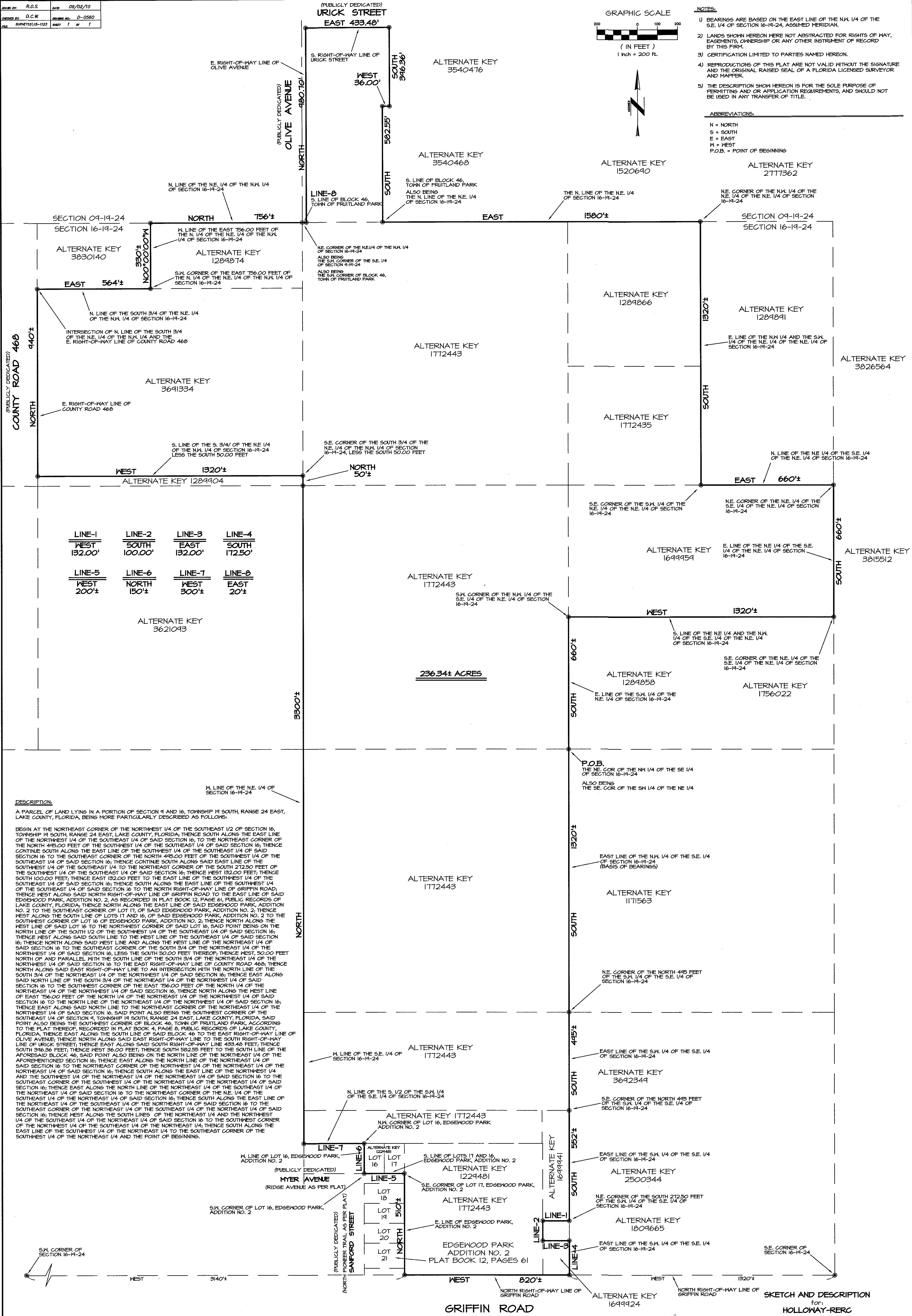
# EXHIBIT 2

(PUBLICLY DEDICATED)  
**URICK STREET**  
 EAST 433.48'

GRAPHIC SCALE



- NOTES:
- BEARINGS ARE BASED ON THE EAST LINE OF THE NW 1/4 OF THE SE 1/4 OF SECTION 16-19-24, ASSUMED MERIDIAN.
  - LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP OR ANY OTHER INSTRUMENT OF RECORD BY THIS FIRM.
  - CERTIFICATION LIMITED TO PARTIES NAMED HEREON.
  - REPRODUCTIONS OF THIS PLAT ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
  - THE DESCRIPTION SHOW HEREON IS FOR THE SOLE PURPOSE OF PERMITTING AND OR APPLICATION REQUIREMENTS, AND SHOULD NOT BE USED IN ANY TRANSFER OF TITLE.
- ABBREVIATIONS:
- N = NORTH  
 S = SOUTH  
 E = EAST  
 W = WEST  
 P.O.B. = POINT OF BEGINNING



**DESCRIPTION**

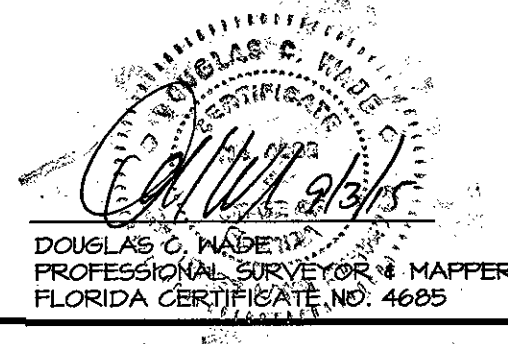
A PARCEL OF LAND LYING IN A PORTION OF SECTION 9 AND 16, TOWNSHIP 14 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

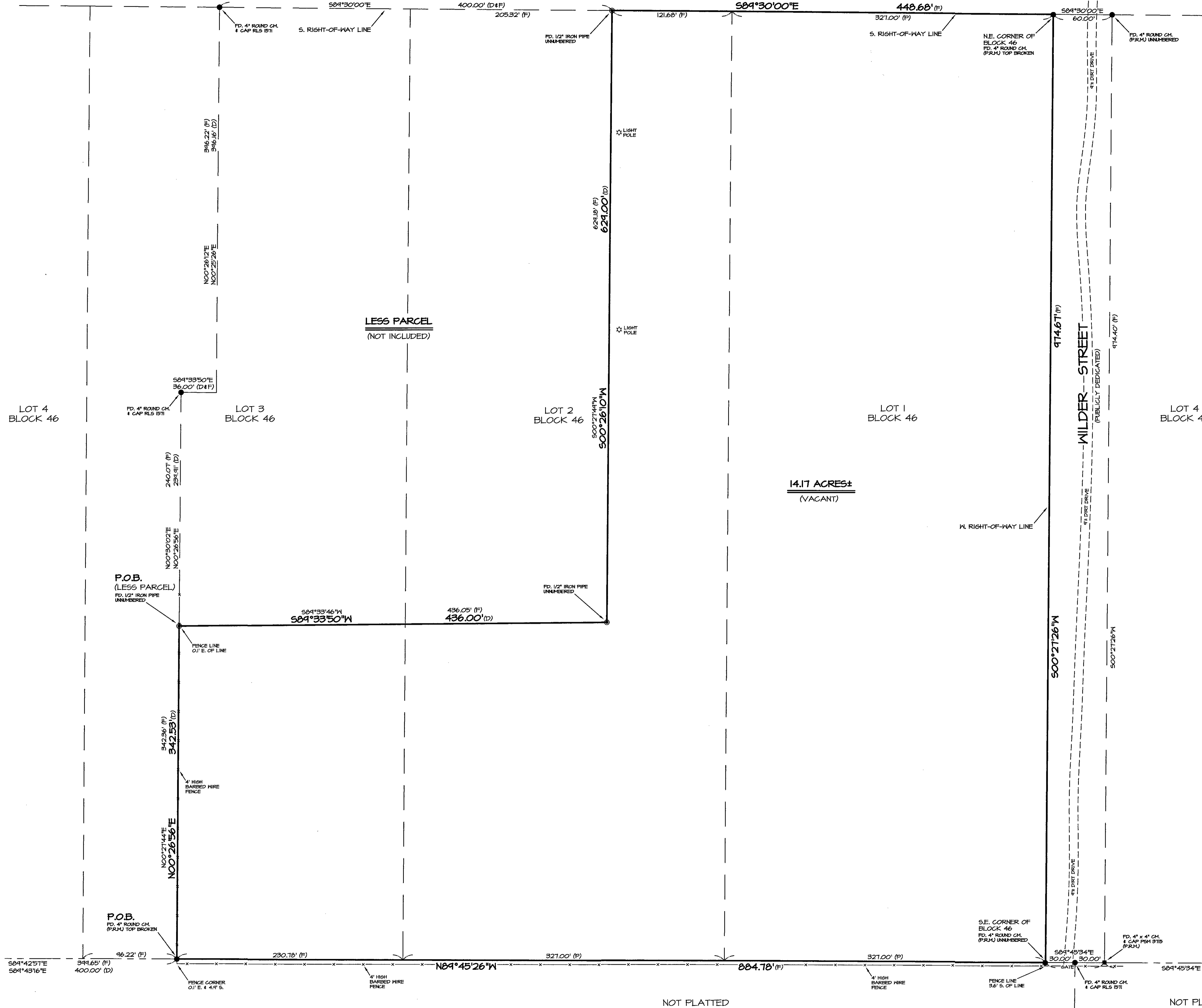
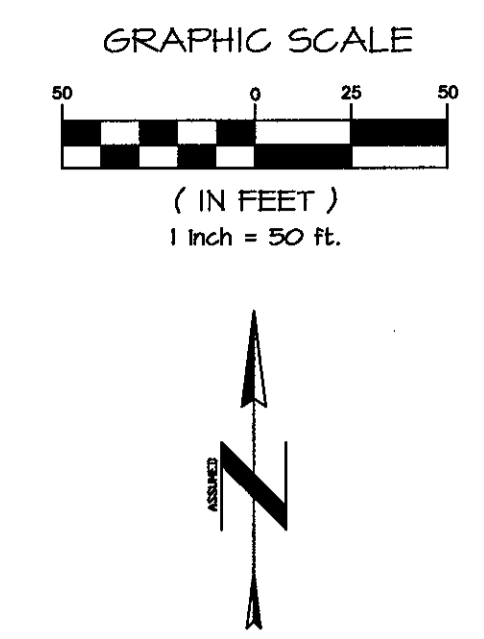
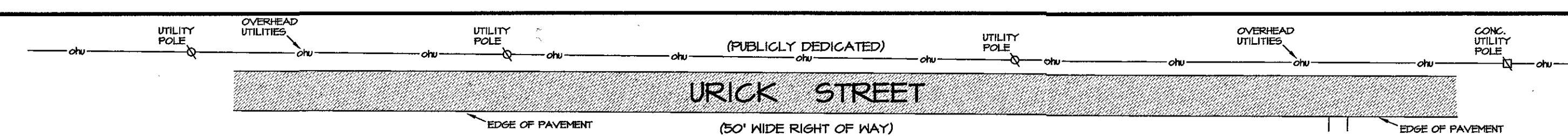
BEGIN AT THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/2 OF SECTION 16, TOWNSHIP 14 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA; THENCE SOUTH ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/2 OF SAID SECTION 16, TO THE NORTHEAST CORNER OF THE NORTH 415.00 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/2 OF SAID SECTION 16; THENCE CONTINUE SOUTH ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/2 OF SAID SECTION 16, TO THE NORTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/2 OF SAID SECTION 16; THENCE WEST ALONG SAID NORTH RIGHT-OF-WAY LINE OF GRIFFIN ROAD TO THE EAST LINE OF SAID EDGEMOOD PARK, ADDITION NO. 2, AS RECORDED IN PLAT BOOK 12, PAGE 61, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE NORTH ALONG THE EAST LINE OF SAID EDGEMOOD PARK, ADDITION NO. 2 TO THE SOUTHWEST CORNER OF LOT 17, OF SAID EDGEMOOD PARK, ADDITION NO. 2; THENCE WEST ALONG THE SOUTH LINE OF LOTS 17 AND 16, OF SAID EDGEMOOD PARK, ADDITION NO. 2 TO THE SOUTHWEST CORNER OF LOT 16 OF EDGEMOOD PARK, ADDITION NO. 2; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 16 TO THE NORTHWEST CORNER OF SAID LOT 16, SAID POINT BEING ON THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/2 OF SAID SECTION 16; THENCE WEST ALONG SAID SOUTH LINE TO THE WEST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 16; THENCE NORTH ALONG SAID WEST LINE AND ALONG THE WEST LINE OF THE NORTHEAST 1/4 OF SAID SECTION 16 TO THE SOUTHWEST CORNER OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16, LESS THE SOUTH 50.00 FEET THEREOF; THENCE WEST, 50.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16 TO THE EAST RIGHT-OF-WAY LINE OF GRIFFIN ROAD; THENCE NORTH ALONG SAID EAST RIGHT-OF-WAY LINE TO AN INTERSECTION WITH THE NORTH LINE OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16; THENCE EAST ALONG SAID NORTH LINE OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16 TO THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/2 OF SAID SECTION 16; THENCE NORTH ALONG THE WEST LINE OF SAID SECTION 16 TO THE SOUTHWEST CORNER OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16; THENCE EAST ALONG THE WEST LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 9, TOWNSHIP 14 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF BLOCK 46, TOWN OF FRUITLAND PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 4, PAGE 8, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE EAST ALONG THE SOUTH LINE OF SAID BLOCK 46 TO THE EAST RIGHT-OF-WAY LINE OF OLIVE AVENUE; THENCE NORTH ALONG SAID EAST RIGHT-OF-WAY LINE TO THE SOUTH RIGHT-OF-WAY LINE OF URICK STREET; THENCE EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE 433.48 FEET; THENCE SOUTH 346.36 FEET; THENCE WEST 36.00 FEET; THENCE SOUTH 582.55 FEET TO THE SOUTH LINE OF THE AFORESAID BLOCK 46, SAID POINT ALSO BEING ON THE NORTH LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 16; THENCE SOUTH ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 16 TO THE NORTHEAST CORNER OF THE NE 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 16; THENCE EAST ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 16 TO THE NORTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 16; THENCE SOUTH ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 16 TO THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 16; THENCE WEST ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 16 TO THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 16; THENCE SOUTH ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/2 OF SAID SECTION 16 TO THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/2 OF SAID SECTION 16 AND THE POINT OF BEGINNING.

**236.34± ACRES**

SKETCH AND DESCRIPTION  
 for:  
**HOLLOWAY-RERC**  
 THIS IS NOT A BOUNDARY SURVEY

PHONE: (352) 753-6511 FAX: (352) 753-0374  
**WSI** PROFESSIONAL SURVEYING & MAPPING  
 WADE SURVEYING, INC.  
 LB-6914  
 1608 TRACY AVENUE LADY LAKE, FLORIDA 32159





- NOTES:**
- 1) BEARINGS ARE BASED ON THE SOUTH RIGHT-OF-WAY LINE OF URICK STREET AS BEING S. 89°30'00" E, ASSUMED MERIDIAN.
  - 2) UNDERGROUND IMPROVEMENTS, IF ANY, WERE NOT LOCATED.
  - 3) INTERIOR IMPROVEMENTS, IF ANY, AS SHOWN.
  - 4) LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP OR ANY OTHER INSTRUMENT OF RECORD BY THIS FIRM.
  - 5) CERTIFICATION LIMITED TO PARTIES NAMED HEREON.
  - 6) THE LANDS SHOWN HEREON APPEAR TO LIE WITHIN A ZONE "X" AREA AS PER THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE RATE MAP (FIRM), PANELS 306 & 308 OF T50, MAP NUMBERS 12064C0306 E AND 12064C0308 E, EFFECTIVE DATE: DECEMBER 18, 2012.
  - 7) REPRODUCTIONS OF THIS PLAT ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

- ABBREVIATIONS:**
- |                                      |                                |
|--------------------------------------|--------------------------------|
| N = NORTH                            | (D) = DESCRIPTION DIMENSION    |
| S = SOUTH                            | (F) = FLAT DIMENSION           |
| E = EAST                             | (FM) = FIELD MEASURE           |
| W = WEST                             | CONC. = CONCRETE               |
| FD. = FOUND                          | CM. = CONCRETE MONUMENT        |
| PR.M. = PERMANENT REFERENCE MONUMENT | O.R.B. = OFFICIAL RECORDS BOOK |
| LB = LICENSED BUSINESS               | LAKE COUNTY, FLORIDA           |
| PSM = PROFESSIONAL SURVEYOR & MAPPER |                                |
| RLS = REGISTERED LAND SURVEYOR       |                                |
| ELEC. = ELECTRIC                     |                                |

**DESCRIPTION:**

FROM THE SOUTHWEST CORNER OF BLOCK 46, RUN EAST 400 FEET TO THE POINT OF BEGINNING; NORTH 582.55 FEET, EAST 36 FEET, NORTH 346.36 FEET TO NORTH LINE OF BLOCK 46, EAST TO NORTHEAST CORNER OF BLOCK 46, SOUTH TO SOUTHEAST CORNER OF BLOCK 46, WEST TO POINT OF BEGINNING, SECTION 9, TOWNSHIP 14 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA.

LESS THE FOLLOWING DESCRIBED PARCEL:

A PORTION OF LOTS 2 AND 3, BLOCK 46, TOWN OF FRUITLAND PARK, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF AFORESAID BLOCK 46, (ALSO BEING THE SOUTH 1/4 CORNER OF SECTION 9, TOWNSHIP 14 SOUTH, RANGE 24 EAST); THENCE SOUTH 89°45'16" EAST, ALONG THE SOUTH LINE OF BLOCK 46, A DISTANCE OF 400.00 FEET; THENCE NORTH 00°26'56" EAST, 342.53 FEET, FOR THE POINT OF BEGINNING; FROM SAID POINT OF BEGINNING CONTINUE NORTH 00°26'56" EAST, 239.91 FEET; THENCE SOUTH 89°33'50" EAST, 36.00 FEET; THENCE NORTH 00°25'26" EAST, 346.16 FEET, TO THE SOUTH LINE OF URICK STREET, (A 50 FOOT RIGHT-OF-WAY); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89°30'00" EAST, 400.00 FEET; THENCE SOUTH 00°26'10" WEST, 629.00 FEET; THENCE SOUTH 89°33'50" WEST, 436.00 FEET, TO THE POINT OF BEGINNING.

**CERTIFICATION:**

I HEREBY CERTIFY THAT THIS SURVEY AND PLAT CONFORMS TO THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-11, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.021, FLORIDA STATUTES.

*Douglas G. Wade*  
 DOUGLAS G. WADE  
 PROFESSIONAL SURVEYOR & MAPPER  
 FLORIDA CERTIFICATE NO. 46685

PHONE: (352)753-6511      FAX: (352)753-0374 <b>WSI</b> PROFESSIONAL SURVEYING & MAPPING WADE SURVEYING, INC. LB-6314 1608 TRACY AVENUE      LADY LAKE, FLORIDA 32159	
<b>BOUNDARY SURVEY</b> certified to: <b>LEESBORO FRUIT COMPANY, INC.,</b> <b>RICHARD W. HENNING,</b> <b>PROFESSIONAL ASSOCIATION,</b> and <b>OLD REPUBLIC NATIONAL TITLE</b> <b>INSURANCE COMPANY</b>	DATE OF FIELD SURVEY: 05/30/15 FIELD BOOK/PAGE: 1446 / 33-35 DATA FILE: 15-874 SECTION: TOWNSHIP 14 SOUTH, RANGE 24 EAST SCALE OF DRAWING: 1" = 50' JOB NO.: 15-874
A PORTION OF LOTS 1, 2 & 3, BLOCK 46, PLAN OF FRUITLAND PARK, PLAT BOOK 3, PAGE 8, LAKE COUNTY, FLORIDA.	

DRAWN BY: R.W.H.	DATE: 05/03/15
CHECKED BY: V.C.	DRAWING NO.: D-0544
DATE: SURVEY/15-874	SHEET 7 OF 7

NOT PLATTED  
(O.R.B. T04, PAGE 554)

NOT PLATTED  
(O.R.B. T04, PAGE 554)

# EXHIBIT 3

**DESCRIPTION:**

A PARCEL OF LAND LYING IN A PORTION OF SECTION 9 AND 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

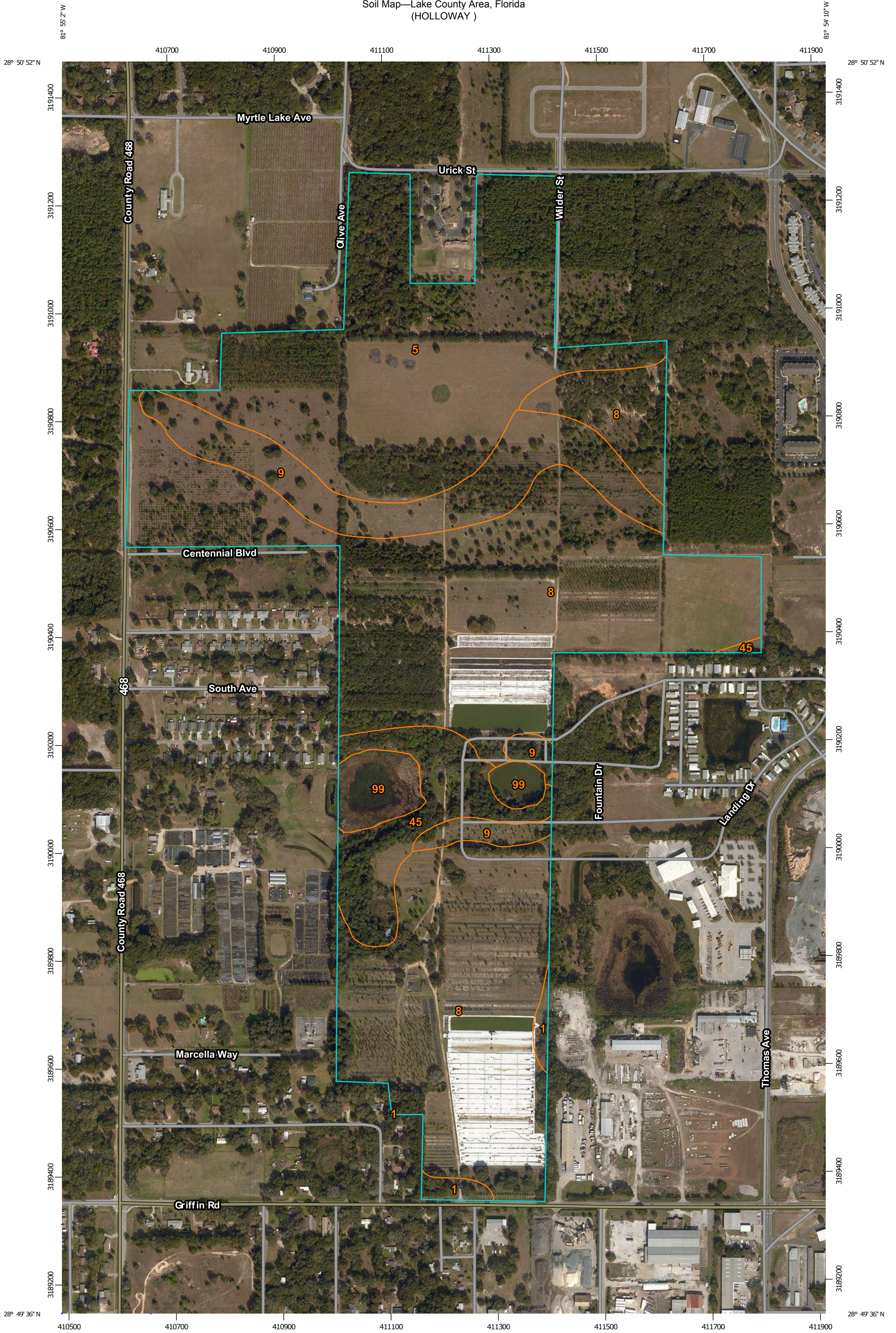
**BEGIN** AT THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/2 OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA; THENCE SOUTH ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 16, TO THE NORTHEAST CORNER OF THE NORTH 495.00 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 16; THENCE CONTINUE SOUTH ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 16 TO THE SOUTHEAST CORNER OF THE NORTH 495.00 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 16; THENCE CONTINUE SOUTH ALONG SAID EAST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 TO THE NORTHEAST CORNER OF THE SOUTH 272.50 FEET OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 16; THENCE SOUTH ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 16 A DISTANCE OF 272.50 FEET TO THE NORTH RIGHT-OF-WAY LINE OF GRIFFIN ROAD; THENCE WEST ALONG SAID NORTH RIGHT-OF-WAY LINE OF GRIFFIN ROAD TO THE EAST LINE OF SAID EDGEWOOD PARK, ADDITION NO. 2, AS RECORDED IN PLAT BOOK 12, PAGE 61, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE NORTH ALONG THE EAST LINE OF SAID EDGEWOOD PARK, ADDITION NO. 2 TO THE SOUTHEAST CORNER OF LOT 17, OF SAID EDGEWOOD PARK, ADDITION NO. 2; THENCE WEST ALONG THE SOUTH LINE OF LOTS 17 AND 16, OF SAID EDGEWOOD PARK, ADDITION NO. 2 TO THE SOUTHWEST CORNER OF LOT 16 OF EDGEWOOD PARK, ADDITION NO. 2; THENCE NORTH ALONG THE WEST LINE OF SAID LOT 16 TO THE NORTHWEST CORNER OF SAID LOT 16, SAID POINT BEING ON THE NORTH LINE OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 16; THENCE WEST ALONG SAID SOUTH LINE TO THE WEST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 16; THENCE NORTH ALONG SAID WEST LINE AND ALONG THE WEST LINE OF THE NORTHEAST 1/4 OF SAID SECTION 16 TO THE SOUTHEAST CORNER OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16, LESS THE SOUTH 50.00 FEET THEREOF; THENCE WEST, 50.00 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16 TO THE EAST RIGHT-OF-WAY LINE OF COUNTY ROAD 468; THENCE NORTH ALONG SAID EAST RIGHT-OF-WAY LINE TO AN INTERSECTION WITH THE NORTH LINE OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16; THENCE EAST ALONG SAID NORTH LINE OF THE SOUTH 3/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16 TO THE SOUTHWEST CORNER OF THE EAST 756.00 FEET OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16, THENCE NORTH ALONG THE WEST LINE OF EAST 756.00 FEET OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16 TO THE NORTH LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16; THENCE EAST ALONG SAID NORTH LINE TO THE NORTHEAST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 16, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF BLOCK 46, TOWN OF FRUITLAND PARK, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 4, PAGE 8, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, THENCE EAST ALONG THE SOUTH LINE OF SAID BLOCK 46 TO THE EAST RIGHT-OF-WAY LINE OF OLIVE AVENUE; THENCE NORTH ALONG SAID EAST RIGHT-OF-WAY LINE TO THE SOUTH RIGHT-OF-WAY



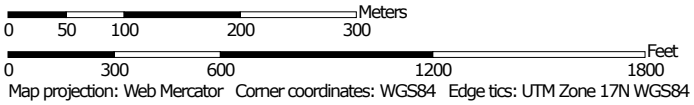
LINE OF URICK STREET; THENCE EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE 433.48 FEET; THENCE SOUTH 396.36 FEET; THENCE WEST 36.00 FEET; THENCE SOUTH 582.55 FEET TO THE SOUTH LINE OF THE AFORESAID BLOCK 46, SAID POINT ALSO BEING ON THE NORTH LINE OF THE NORTHEAST 1/4 OF THE AFOREMENTIONED SECTION 16; THENCE EAST ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION 16 TO THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 16; THENCE SOUTH ALONG THE EAST LINE OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 16 TO THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 16; THENCE EAST ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 16 TO THE NORTHEAST CORNER OF THE N.E. 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 16; THENCE SOUTH ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 16 TO THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 16; THENCE WEST ALONG THE SOUTH LINES OF THE NORTHEAST 1/4 AND THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 16 TO THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4; THENCE SOUTH ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 TO THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND THE **POINT OF BEGINNING**.

# EXHIBIT 4

Soil Map—Lake County Area, Florida  
(HOLLOWAY)




Map Scale: 1:6,510 if printed on B portrait (11" x 17") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84


## MAP LEGEND

### Area of Interest (AOI)

 Area of Interest (AOI)

### Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

### Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

### Water Features



Streams and Canals

### Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

### Background



Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Lake County Area, Florida  
Survey Area Data: Version 13, Sep 21, 2015

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

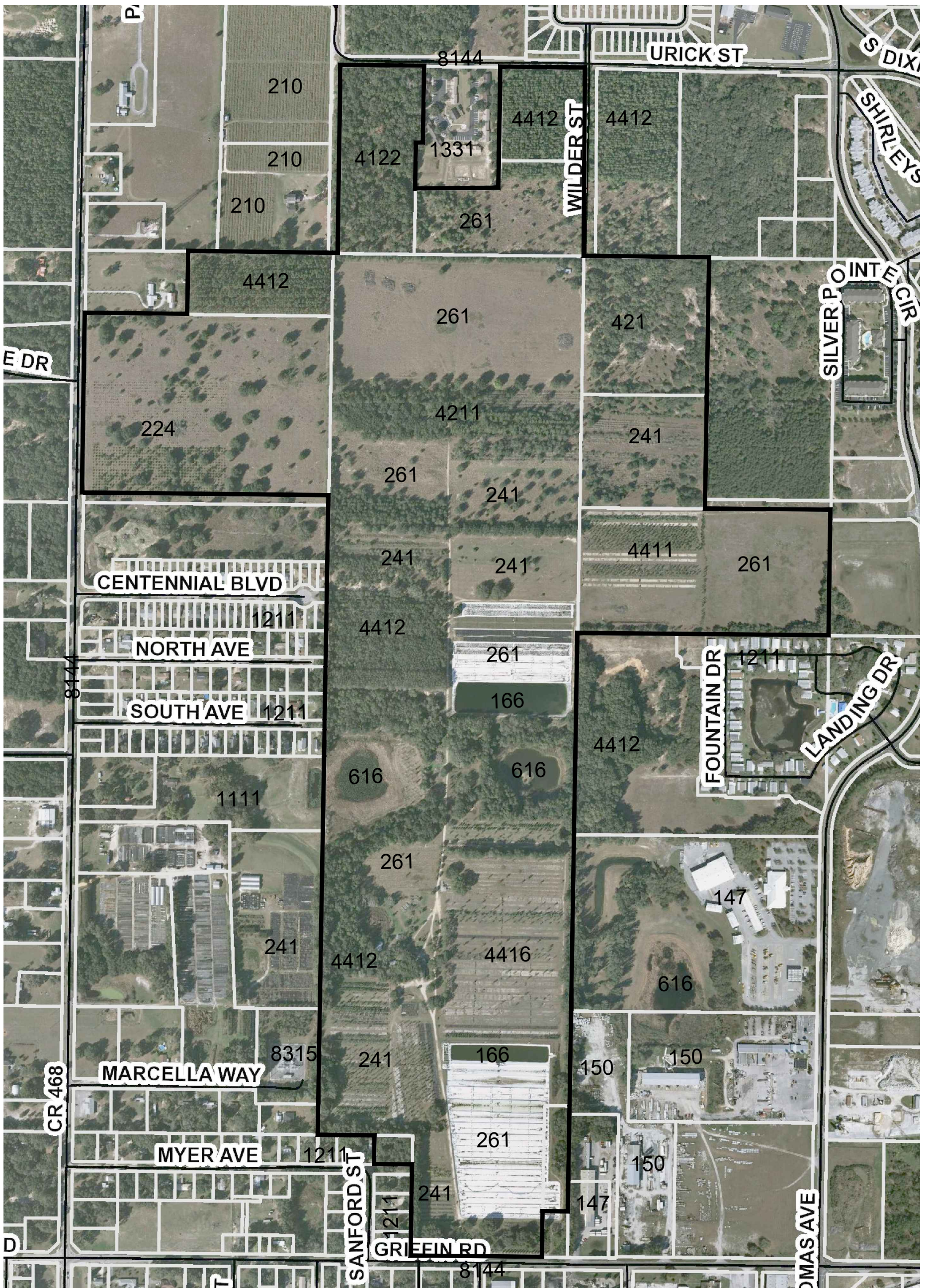
Date(s) aerial images were photographed: Feb 3, 2015—Feb 18, 2015

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Lake County Area, Florida (FL607)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
1	Sparr sand, 0 to 5 percent slopes	2.1	0.9%
5	Apopka sand, 0 to 5 percent slopes	62.3	25.5%
8	Candler sand, 0 to 5 percent slopes	133.5	54.6%
9	Candler sand, 5 to 12 percent slopes	25.3	10.3%
45	Tavares sand, 0 to 5 percent slopes	14.4	5.9%
99	Water	6.7	2.7%
<b>Totals for Area of Interest</b>		<b>244.3</b>	<b>100.0%</b>

# EXHIBIT 5



**FLUCFCS LEGEND**

- 1111 - FIXED SINGLE FAMILY UNITS - LOW DENSITY
- 1211 - FIXED SINGLE FAMILY UNITS - MEDIUM DENSITY
- 1331 - MULTIPLE DWELLING UNITS-MULTI FAMILY SINGLE STORY
- 147 - MIXED COMMERCIAL & OTHER SERVICES
- 150 - INDUSTRIAL/MANUFACTURING
- 166 - HOLDING POND - LINED
- 224 - ABANDONED GROVE - CITRUS
- 241 - TREE NURSERY
- 261 - HARVESTED AGRICULTURAL LAND -TREE FARM
- 4122 - LONGLEAF PINE - XERIC OAK; 30-50% CROWN CLOSURE
- 4212 - XERIC OAK; 30-50% CROWN CLOSURE
- 4411 - PLANTED PINES
- 616 - INLAND POND-WETLANDS
- 8144 - COUNTY MAINTAINED ROAD
- 8315 - UTILITIES - SUB-STATION



1"=500'

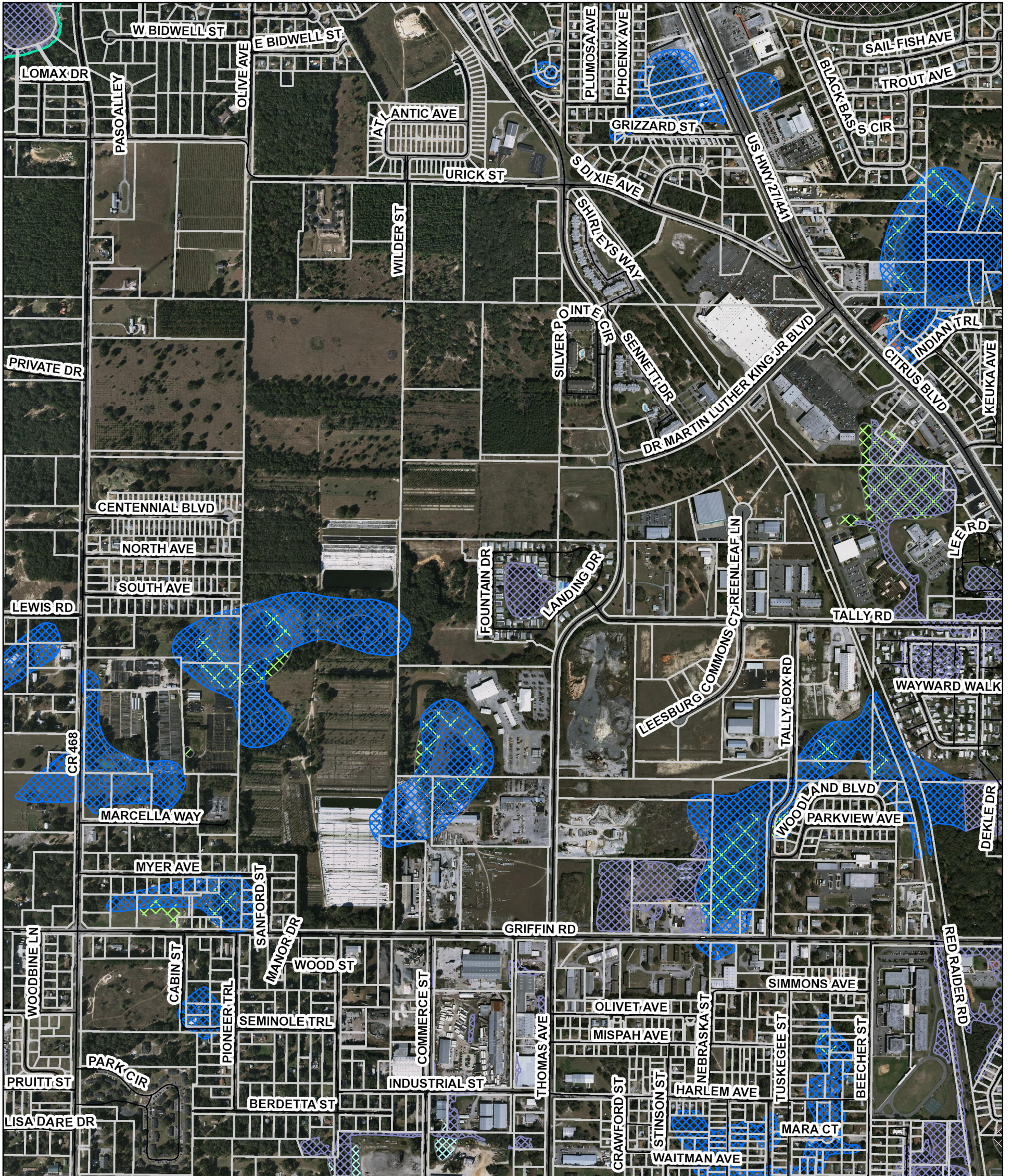
Drawn: JCK	REVISION:	DATE:
Checked: JCK		
Date: 10/2/15		
Scale: 1"=500'		
File No.:		
EXHIBIT 5		

**HOLLOWAY TREE FARM**  
 2620 GRIFFIN RD, LEESBURG, FL 34748  
 LAND USE & AERIAL MAP - FLUCFCS

















# EXHIBIT 6



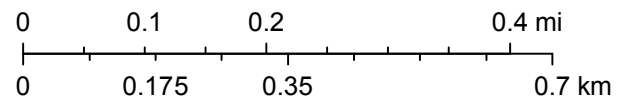


November 5, 2015

1:10,000

-  County Boundary
-  Street Names
-  Local Streets
-  Tax Parcels
-  Surrounding Counties
-  0.2 PCT ANNUAL CHANCE FLOOD HAZARD
-  A
-  AE
-  <all other values>
-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond
-  Lake
-  Other

 Riverine



# EXHIBIT 7

**Protected Species Known to Occur in the Vicinity of the Subject Site and Likely to Occur Within Matrix Unit  
35407 Based on the FNAI (Florida Natural Areas Inventory)**

<b>Common Name Scientific Name</b>	<b>General Habitat Description</b>	<b>USFWS Status</b>	<b>FWC Status</b>	<b>Potential for Occurrence - Site Observations</b>
<b>BIRDS</b>				
<b>Florida Sandhill Crane</b> <i>Grus canadensis pratensis</i>	Uplands, wetlands	N	ST	Suitable habitat Not observed
<b>Wood Stork</b> <i>Mycteria Americana</i>	Wetlands, estuarine & marine, freshwater	LE	LE	Suitable habitat Not observed
<b>Florida Burrowing Owl</b> <i>Athene cunicularia floridana</i>	Dry prairie, sandhill, high sparsely vegetated sandy ground	N	SSC	No suitable habitat Not observed
<b>Bald Eagle</b> <i>Haliaeetus leucocephalus</i>	Wetlands, freshwater, estuarine & marine, Uplands	N	N	Suitable habitat Not observed
<b>REPTILES</b>				
<b>Southern Hognose Snake</b> <i>Heterodon simus</i>	Scrub, xeric hammock, sandhill, wetlands	N	N	Suitable habitat Not observed
<b>Eastern Indigo Snake</b> <i>Drymarchon couperi</i>	Wetlands, estuarine & marine, freshwater, scrub, sandhills	LT	FT	Suitable habitat Not observed
<b>Gopher Tortoise</b> <i>Gopherus polyphemus</i>	Uplands, scrub, sandhills, xeric oak hammock	N	LT	Suitable habitat OBSERVED
<b>Short-tailed Snake</b> <i>Lampropeltis extenuata</i>	Uplands, sandhills, xeric hammock	N	LT	Suitable habitat Not observed
<b>Florida Scrub Lizard</b> <i>Sceloporus woodi</i>	Xeric, fire-maintained communities with deep sands, sand pine scrub, forest edges, sandhills	N	N	Suitable habitat Not observed
<b>AMPHIBIANS</b>				
<b>Gopher Frog</b> <i>Rana capito</i>	Uplands, wetlands, freshwater	N	SSC	Suitable habitat Not observed
<b>MAMMALS</b>				
<b>Round-tailed muskrat</b> <i>Neofiber alleni</i>	Shallow marshes	N	N	No suitable habitat Not observed
<b>Florida Long-tailed weasel</b> <i>Mustela frenata peninsulae</i>	Shallow marshes	N	N	No suitable habitat Not observed
<b>Florida Mouse</b> <i>Podomys floridanus</i>	Uplands, coastal scrub, scrub, sandhill	N	SSC	Suitable habitat Not observed
<b>Sherman's Fox Squirrel</b> <i>Sciurus niger shermani</i>	Uplands, wetlands	N	SSC	Suitable habitat Not observed
<b>Southeastern Bat</b> <i>Myotis austroriparius</i>	Roost in caves, culvers, bridges, hollow trees, & occasionally in houses; creeks, rivers, & lakes	N	N	No suitable habitat Not observed
<b>Florida Black Bear</b> <i>Ursus americanus floridanus</i>	Variety of forested communities, forested wetlands, bayheads	N	ST	No suitable habitat Not observed
<b>Striped Newt</b> <i>Notophthalmus perstriatus</i>	Xeric uplands, pine flatwoods, depression marshes without predatory fishes, sandhills, scrub	C	N	Suitable habitat Not observed
<b>PLANTS</b>				
<b>Florida Bonamia</b> <i>Bonamia grandiflora</i>	Openings or disturbed areas on white sand scrub on Central Florida ridges, with scrub oaks, sand pine & lichens	LT	LE	No suitable habitat Not observed
<b>Incised Groove-bur</b> <i>Agrimonia incisa</i>	no critical habitats listed	N	LE	Suitable habitat Not observed
<b>Florida Crabgrass</b> <i>Digitaria floridana</i>	Along paths, mostly in sawdust	N	N	No suitable habitat Not observed
<b>Many-flowered Grass-pink</b> <i>Calopogon multiflorus</i>	Flatwoods with longleaf pine, wiregrass, saw palmetto	N	LE	No suitable habitat Not observed
<b>Raffled Spleenwort</b> <i>Asplenium plenum</i>	Rockland hammocks, limestone outcrops, grottoes & sinkholes	N	N	No suitable habitat Not observed
<b>Curtiss' Spleenwort</b> <i>Asplenium x curtissii</i>	Rockland hammocks, limestone outcrops, grottoes & sinkholes	N	N	No suitable habitat Not observed

**Protected Species *Known* to Occur in the Vicinity of the Subject Site and Likely to Occur Within Matrix Unit  
35407 Based on the FNAI (Florida Natural Areas Inventory)**

<b>Sand Butterfly Pea</b> <i>Centrosema arenicola</i>	Uplands, mesic flatwoods, swamp flatwoods	N	LE	Suitable habitat Not observed
<b>Cooley's Water Willow</b> <i>Justicia cooleyi</i>	Mesic hardwood hammocks over limestone	LE	LE	No suitable habitat Not observed
<b>Florida Milkvine</b> <i>Matelea floridana</i>	Pine lands, temperate forests	N	LE	Suitable habitat Not observed
<b>Florida Pigmy Pipes</b> <i>Monotropsis reynoldsiae</i>	Oak scrub, xeric hammock, Sand pine scrub uplands	N	LE	Suitable habitat Not observed
<b>Celestial Lily</b> <i>Nemastylis floridana</i>	Wet flatwoods, prairies, marshes, cabbage palm hammocks edges	N	LE	No suitable habitat Not observed
<b>Florida Bristle Fern</b> <i>Trichomanes punctatum spp.</i>	Hammock of interspersed flat limestone outcrops with overhead of magnificent oak association; ferns in understory	N	LE	No suitable habitat Not observed
<b>Pinkroot</b> <i>Spigelia loganioides</i>	Wetlands, wet woods, floodplain forests, hydric hammocks	N	LE	No suitable habitat Not observed
<b>Wagner's Spleenwort</b> <i>Asplenium heteroresiliens</i>	Limestone outcrops, limesinks, cave openings.	N	N	No suitable habitat Not observed

**Legend:**

USFWS (Federal status) = U.S. Fish and Wildlife Service

FWC (State status) = Florida Fish and Wildlife Conservation Commission

LE = Endangered; FT = Threatened; SSC = Species of Special Concern; N = none

C = Candidate species; ST = Threatened species(state pop. Listed)

**Date: 10/2/15**

# EXHIBIT 8

This report was generated using the bald eagle nest locator at <https://public.myfwc.com/FWRI/EagleNests/nestlocator.aspx>

**Search Entered:** Within 1 miles of 2620 GRIFFIN RD, LEESBURG, FL (latitude 28.828682 and longitude -81.9079546); All Search Results

0 record(s) were found; 0 record(s) are shown

**Bald Eagle Nest Map:**



**Bald Eagle Nest Data Search Results:**

Results per page:

All

"Y" denotes an active nest  
 "N" denotes an inactive nest  
 "-" denotes an unobserved nest

"U" denotes a nest that was visited but status was undetermined  
 "\*" denotes a nest that was not surveyed



**City of Fruitland Park, Florida**  
**Community Development Department**  
 506 W. Berckman St., Fruitland Park, Florida 34731  
 Tel: (352) 360-6727 Fax: (352) 360-6652  
 www.fruitlandpark.org

*Staff Use Only*

Case No.: \_\_\_\_\_  
 Fee Paid: \_\_\_\_\_  
 Receipt No.: \_\_\_\_\_

## Development Application

Contact Information:

Owner Name: Michel Moukhtara - A.A. Moukhtara Company  
 Address: 7717 NW 20th Lane, Gainesville, Florida 32605  
 Phone: 386-867-1003 Email: mmoukhtara@gmail.com

Applicant Name: Sayed Moukhtara - A.A. Moukhtara Company  
 Address: 7717 NW 20th Lane, Gainesville, Florida 32605  
 Phone: 352-278-5317 Email: Smaaps@atlantic.net

Engineer Name: David W. Springstead/Springstead Engineering, Inc.  
 Address: 727 South 14th Street, Leesburg, Florida 34748  
 Phone: 352-787-1414 Email: staff@springsteadeng.net

Property and Project Information:

**PROJECT NAME\*:** The Glen - Phases 11, 12, & 13  
\*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: 1339 Myrtle Lake Avenue, Fruitland Park, Florida 34731  
 Parcel Number(s): 08-19-24-000300002300 Section: 08 Township: 19 Range 24  
 Area of Property: 38.57 +/- Nearest Intersection: Forest Glen Dr. & Myrtle Lake Dr.  
 Existing Zoning: PUD Existing Future Land Use Designation: SFMD  
 Proposed Zoning: PUD Proposed Future Land Use Designation: SFMD

The property is presently used for: Vacant  
 The property is proposed to be used for: Single Family Residential  
 Do you currently have City Utilities? Yes

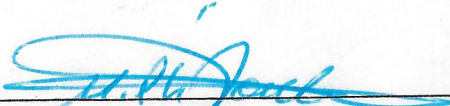
Application Type:

- |  |  |   |  |
|--|--|---|--|
| <input type="checkbox"/> Annexation      | <input type="checkbox"/> Comp Plan Amendment   | <input type="checkbox"/> Rezoning               | <input type="checkbox"/> Planned Development   |
| <input type="checkbox"/> Variance        | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input checked="" type="checkbox"/> Final Plat |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan      | <input type="checkbox"/> Construction Plan      | <input type="checkbox"/> ROW/Plat Vacate       |
| <input type="checkbox"/> Site Plan       | <input type="checkbox"/> Minor Site Plan       | <input type="checkbox"/> Replat of Subdivision  |  |

Please describe your request in detail: Requesting plat approval for Phases 11, 12, & 13 currently under construction.

**Required Data, Documents, Forms & Fees**

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Signature:  Date: 1-11-2019

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

# Development Application Checklist

## The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd)     Current Deed     Aerial Photo  
 Property Appraiser Information     Electronic Copy of Application     Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through [www.lakecountyfl.gov/maps/](http://www.lakecountyfl.gov/maps/). Note: All maps are required to depict adjacent properties at a minimum.

**Failure to provide adequate maps may delay the application process.**

## Other Required Analyses and Maps:

### Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment     Environmental Constraints Map     Requested FLU Map

### Large Scale Comprehensive Plan Amendment Applications:

Maps:     Environmental Constraints     Soils     Requested FLUM Designation     Requested Zoning Map Designation

Analyses:     Environmental Assessment     Utility Availability Analysis     Urban Sprawl Analysis     School Impact Analysis  
 Traffic Impact Analysis     Consistency with the Comp Plan     Florida Master Site File sign-off or Archaeological Survey

Rezoning Applications:     Requested Zoning Map     Justification for Rezoning

### Planned Development Applications:

Maps/Plans:     Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G     Environmental Constraints

Analyses:     Environmental Assessment     Traffic Impact Analysis     Preliminary Concurrency Analysis

Variance Applications:     Justification for Variance

### Special Exception Use Applications:

- Justification for Special Exception Use  
 Site Sketch     List of Special Requirements as Described in LDRs, Chapter 155

### Conditional Use Permit Applications:

- Proposed List of Conditions and Safeguards  
 Site Plan as Described in LDRs, Chapter 155     Written Statement as Described in LDRs, Chapter 155

### Subdivision Applications:

(Preliminary Plan, Improvement Plan and Final Plat)

- As Described in LDRs, Chapter 157

### Minor Subdivision Applications:

- As Described in LDRs, Chapter 157

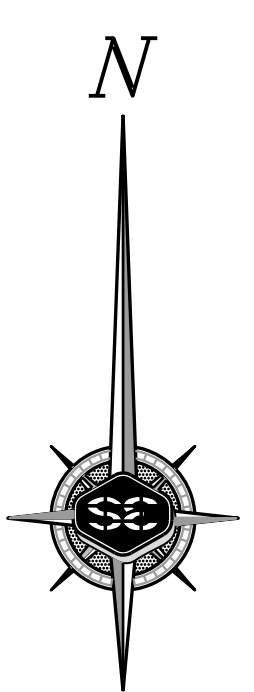
### Site Plan Applications:

- As Described in LDRs, Chapter 160



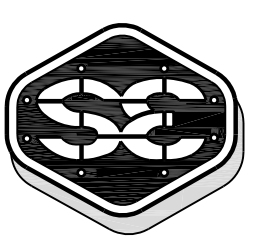


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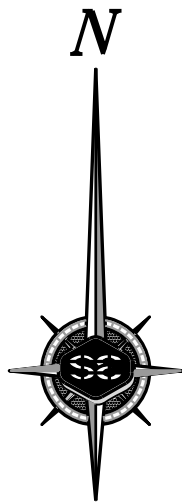
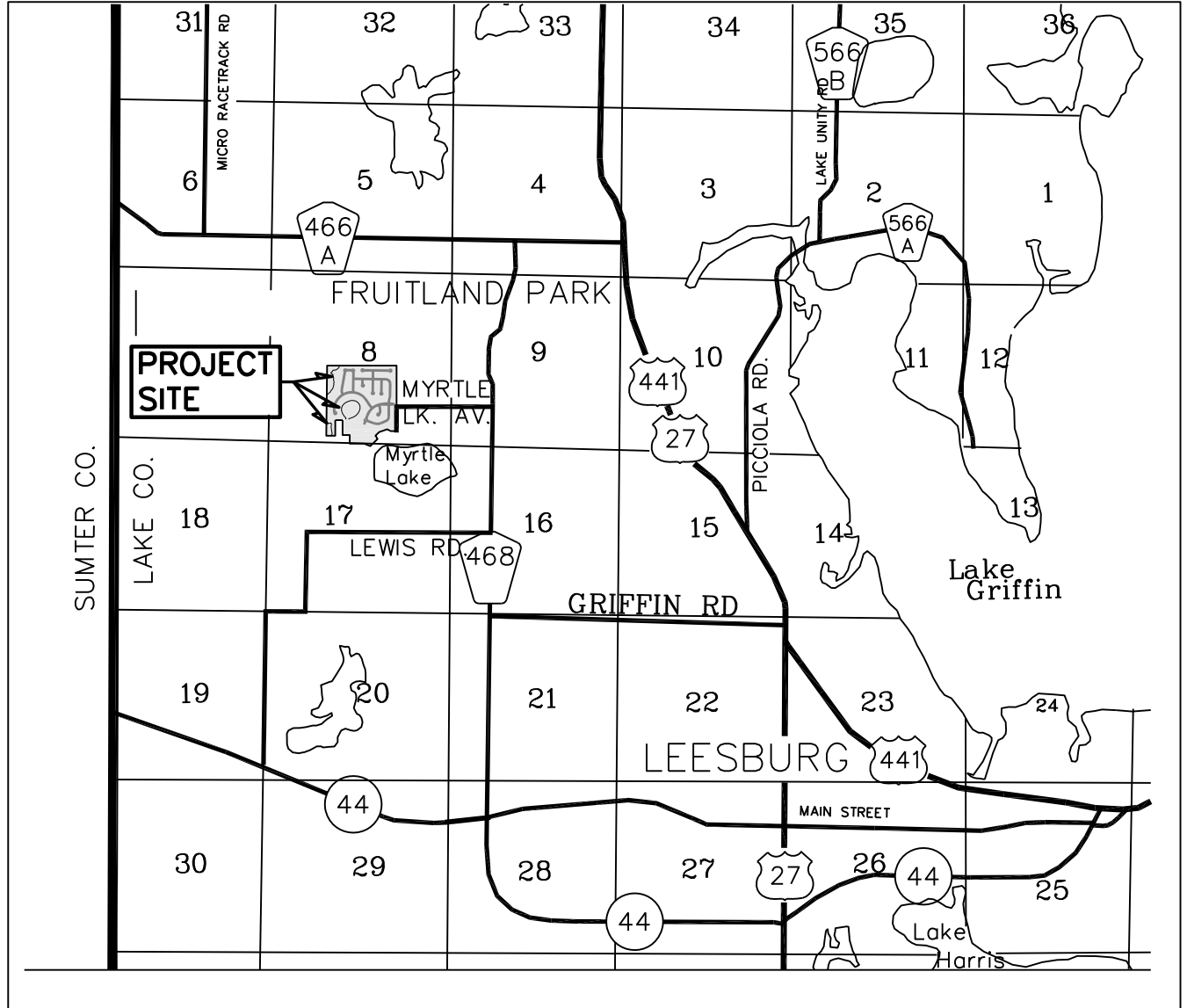
SCALE: 1"=80'

**Springstead Engineering, inc.**



Consulting Engineers  
Planners  
CA-0001723  
LB-0001723  
727 South 14th Street  
Leesburg, FL 34748  
(352) 787-1414

DRAWING: PHASES 11-13 w/AERIAL	
CLIENT: MOUKHTARA THE GLEN	
JOB NO.: 1710010.000	SCALE: HORIZ: 1"=80'



SCALE: 1" = 2640'



**Springstead  
Engineering, Inc.**  
Consulting Engineers  
Planners

CA-0001723  
LB-0001723  
727 South 14th Street  
Leesburg, FL 34748  
(352) 787-1414

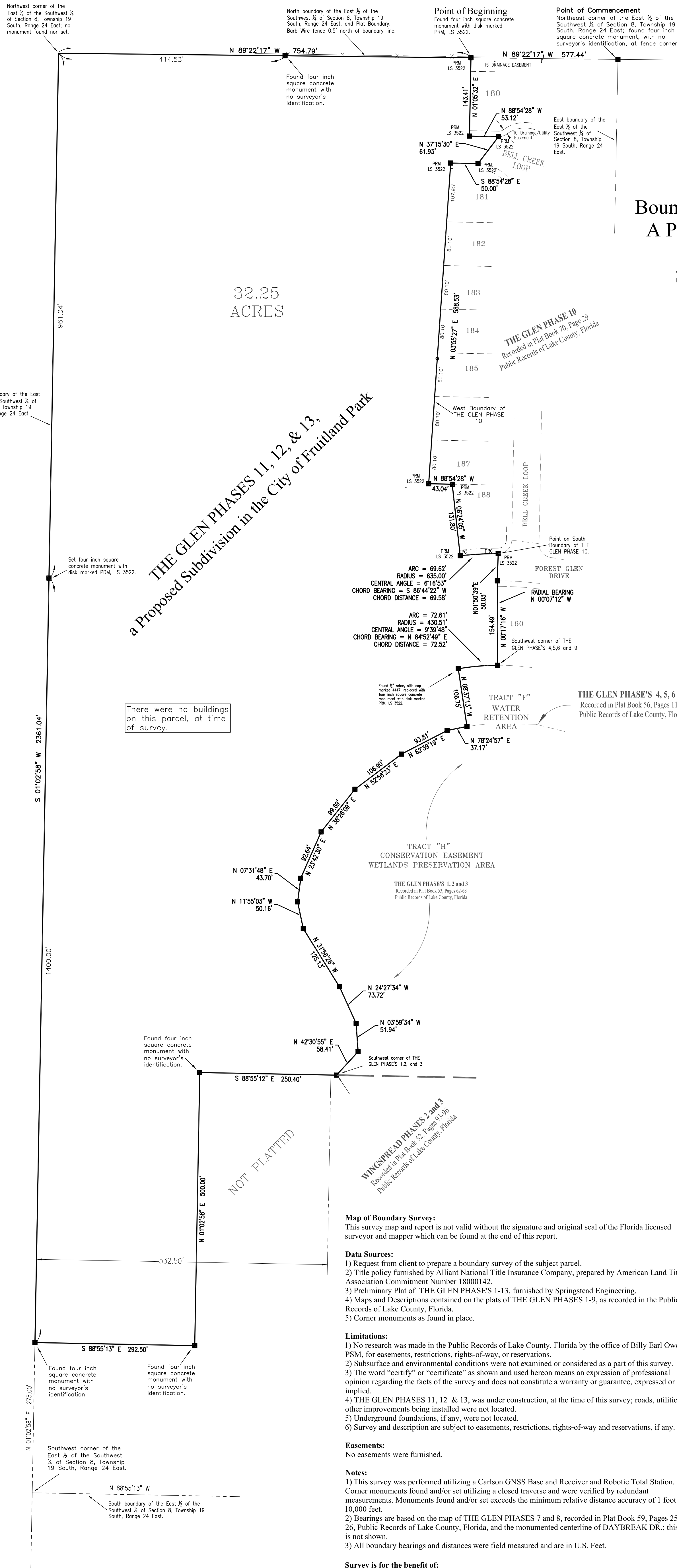
**THE GLEN  
FRUITLAND PARK, FLORIDA**

1710010.000

DESIGN: DWS

DRAWN: SKK

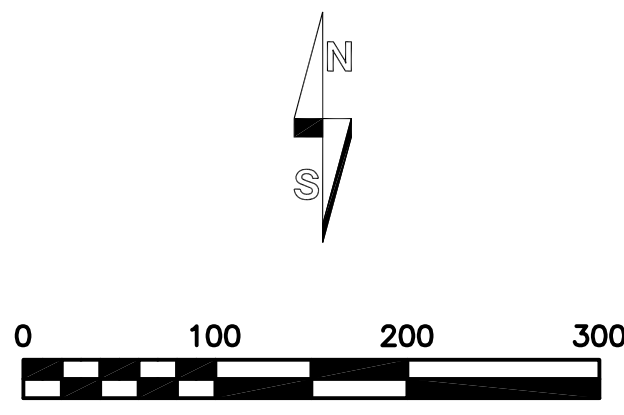
DATE: 5/9/17



**Boundary Survey of THE GLEN PHASES 11, 12, & 13  
A Proposed Subdivision in the City of Fruitland Park  
Being a Portion of:  
Section 8, Township 19 South, Range 24 East  
Lake County, Florida**

32.25  
ACRES

**THE GLEN PHASES 11, 12, & 13,  
A Proposed Subdivision in the City of Fruitland Park**



**NOTE:**  
Rebar found in place, as shown hereon, does not conform to subdivision platting requirements for size and type; rebar was replaced with four inch square concrete monuments to meet platting requirements.

**LEGEND**

- = Permanent Reference Monument-Four inch square concrete Permanent Reference Monument, with Disk marked PRM, LS 3522, found on the boundary of THE GLEN, PHASE 10 or set on the boundary of THE GLEN, PHASES 11, 12, AND 13; unless otherwise noted.
- PC = Point of Curvature
- EC = End of Curve
- PRC = Point of Reverse Curve
- (R) = Radial Line
- (NR) = Not Radial Line

**Map of Boundary Survey:**  
This survey map and report is not valid without the signature and original seal of the Florida licensed surveyor and mapper which can be found at the end of this report.

**Data Sources:**

- 1) Request from client to prepare a boundary survey of the subject parcel.
- 2) Title policy furnished by Alliant National Title Insurance Company, prepared by American Land Title Association Commitment Number 18000142.
- 3) Preliminary Plat of THE GLEN PHASES 1-13, furnished by Springstead Engineering.
- 4) Maps and Descriptions contained on the plats of THE GLEN PHASES 1-9, as recorded in the Public Records of Lake County, Florida.
- 5) Corner monuments as found in place.

**Limitations:**

- 1) No research was made in the Public Records of Lake County, Florida by the office of Billy Earl Owens, PSM, for easements, restrictions, rights-of-way, or reservations.
- 2) Subsurface and environmental conditions were not examined or considered as a part of this survey.
- 3) The word "certify" or "certification" as shown and used hereon means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee, expressed or implied.
- 4) THE GLEN PHASES 11, 12, & 13, was under construction, at the time of this survey; roads, utilities and other improvements being installed were not located.
- 5) Underground foundations, if any, were not located.
- 6) Survey and description are subject to easements, restrictions, rights-of-way and reservations, if any.

**Easements:**  
No easements were furnished.

**Notes:**

- 1) This survey was performed utilizing a Carlson GNSS Base and Receiver and Robotic Total Station. Corner monuments found and/or set utilizing a closed traverse and were verified by redundant measurements. Monuments found and/or set exceeds the minimum relative distance accuracy of 1 foot in 10,000 feet.
- 2) Bearings are based on the map of THE GLEN PHASES 7 and 8, recorded in Plat Book 59, Pages 25 and 26, Public Records of Lake County, Florida, and the monumented centerline of DAYBREAK DR.; this line is not shown.
- 3) All boundary bearings and distances were field measured and are in U.S. Feet.

**Survey is for the benefit of:**  
Michel Moukhtara, President, on behalf of A. A. Moukhtara, Inc., a Florida Corporation.

**Surveyor's certification:**  
I hereby certify this Map and Report Boundary Survey meets the STANDARDS OF PRACTICE for surveying as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 51-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes.  
Date of Survey: (Date will be added when temporary boundary points are replaced with concrete monuments)

**DESCRIPTION FOR THE GLEN PHASES 11, 12 & 13:**

That part of the East 1/2 of the Southwest 1/4 of Section 8, Township 19 South, Range 24 East, Lake County, Florida, described as follows: from the Northeast corner of said East 1/2 of the Southwest 1/4 of Section 8, Township 19 South, Range 24 East, run N 89°22'17" W, along the north boundary of the East 1/2 of the Southwest 1/4 of said Section 8, a distance of 577.44 feet, to northwest corner of THE GLEN PHASE 10, as recorded in Plat Book 70, Page 29, Public Records of Lake County, Florida, and Point of Beginning of the following described parcel: from said Point of Beginning, continue N 89°22'17" W, along said north boundary, a distance of 754.79 feet, to the Northwest corner of said East 1/2 of the Southwest 1/4, to a point that is located N 01°02'58" E, a distance of 275.00 feet, from the Southwest corner of said East 1/2 of the Southwest 1/4, then S 88°55'13" E, and parallel with the south boundary of said East 1/2 of the Southwest 1/4, a distance of 292.50 feet; then N 01°02'58" E, and parallel with the aforesaid west boundary of the East 1/2 of the Southwest 1/4, a distance of 500.00 feet; then S 88°55'12" E, a distance of 250.40 feet, to the Southwest corner of THE GLEN PHASES 1, 2 & 3, as recorded in Plat Book 53, Pages 62-63, Public Records of Lake County, Florida; then along the westerly boundary of THE GLEN PHASES 1, 2 & 3, the following courses: N 42°30'55" E, a distance of 58.41 feet; then N 03°59'34" W, a distance of 51.94 feet; then N 24°27'34" W, a distance of 73.72 feet; then N 07°31'48" E, a distance of 43.70 feet; then N 11°55'03" W, a distance of 50.16 feet; then N 07°31'48" E, a distance of 43.70 feet; then N 23°42'30" E, a distance of 92.64 feet; then N 62°39'19" E, a distance of 93.81 feet; then N 52°56'23" E, a distance of 106.90 feet; then N 08°37'13" W, a distance of 106.75 feet, to a point on a curve concave to the south and having a radius of 430.51 feet; thence Easterly, along the arc of said curve, through a central angle of 9°39'48", a distance of 72.61 feet (Chord Bearing N 84°52'49" E, and Chord Length 72.52 feet), to the Southwest corner of THE GLEN PHASES 4, 5, 6 & 9, as recorded in Plat Book 56, Pages 11-12, Public Records of Lake County, Florida; thence along the west boundary of THE GLEN PHASES 4, 5, 6 & 9, the following courses; N 00°17'16" W, a distance of 154.49 feet; then N 01°50'39" E, a distance of 50.03 feet, to a Point of Reverse Curve on the southerly boundary of the aforesaid THE GLEN PHASE 10, said curve being concave southerly and having a radius of 635.00 feet; thence from a radial bearing of N 00°07'12" W, run westerly, along the arc of said curve and southerly boundary of THE GLEN PHASE 10, through a central angle of 06°16'53", a distance of 69.62 feet (Chord Bearing S 86°44'22" W, and Chord Length 69.58 feet), to the southwest corner of THE GLEN PHASE 10; thence along the westerly boundary of THE GLEN PHASE 10, the following courses; N 06°24'05" W, a distance of 131.80 feet; then N 88°54'28" W, a distance of 43.04 feet; then N 03°55'27" E, a distance of 588.53 feet; then S 88°54'28" E, a distance of 50.00 feet; then N 37°15'30" E, a distance of 61.93 feet; then N 88°54'28" W, a distance of 53.12 feet; then N 01°05'32" E, a distance of 143.41 feet, to the Point of Beginning, and end of this description; area described contains 32.25 acres.

Prepared by:  
Billy Earl Owens, PSM  
Surveyor and Mapper  
Mailing Address: 494 CR 416N  
Physical Address: 39 CR 494  
Lake Panasoffkee, FL 33538  
PH: 352-793-2854  
e-mail: beopsm3522@gmail.com

Billy Earl Owens, PSM  
Florida Certificate No. 3522  
VOID UNLESS SIGNED AND EMBOSSED WITH SURVEYOR'S SEAL  
doe\ The Glen Boundary Survey  
bk Field Drawing and dc



POWERED BY  
**esri**  
Esri, USDA Farm Service Agency

- PIN**
- Approximate location based on user input and does not represent an authoritative property location
- MAP PANELS**
- Selected FloodMap Boundary
  - Digital Data Available
  - No Digital Data Available
  - Unmapped
- OTHER AREAS**
- NO SCREEN Area of Minimal Flood Hazard Zone X
  - Effective LOMRs
  - Area of Undetermined Flood Hazard Zone D

- SPECIAL FLOOD HAZARD AREAS**
- Without Base Flood Elevation (BFE) Zone A, V, 499
  - With BFE or Depth
  - Regulatory Floodway Zone AE, AO, AH, VE, AR
- OTHER AREAS OF FLOOD HAZARD**
- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
  - Future Conditions 1% Annual Chance Flood Hazard Zone X
  - Area with Reduced Flood Risk due to Levee. See Notes, Zone X
  - Area with Flood Risk due to Levee Zone D

- OTHER FEATURES**
- 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
  - 17.5 Coastal Transect
  - Base Flood Elevation Line (BFE)
  - Limit of Study
  - Jurisdiction Boundary
  - Coastal Transect Baseline
  - Profile Baseline
  - Hydrographic Feature
- GENERAL STRUCTURES**
- Channel, Culvert, or Storm Sewer
  - Levee, Dike, or Floodwall

**MAINTENANCE BOND**

KNOW ALL MEN BY THESE PRESENTS, That we, **A.A. Moukhtara Company**, as Principal, and \_\_\_\_\_ (insert name of surety) , authorized to do business in the State of Florida, hereinafter referred to as “Surety”, are held and firmly bound unto the CITY OF FRUITLAND PARK, Florida, hereinafter referred to as “CITY” in the sum of **Eighty-Five Thousand Seven Hundred Forty and 80/100 Dollars (\$85,740.80) [twenty-five percent (25%) of the estimated cost of improvements]** for the payment of which we do bind ourselves, and each of our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, PRINCIPAL has constructed certain improvements, including **paving, stormwater, water, signage, and miscellaneous improvements** as more particularly set forth on the Cost Estimate prepared by **Springstead Engineering, Inc.** attached hereto as Exhibit A, in that certain development described as **The Glen Phase 11-13**.

WHEREAS, pursuant to the City of FRUITLAND PARK Code, the aforesaid improvements were made pursuant to certain plans and specifications dated **May 2002 and Revised November 19, 2003**, filed with the CITY;

WHEREAS, PRINCIPAL is obligated to protect the CITY against any defects resulting from faulty materials or workmanship of said improvements and to maintain said improvements for a period of two (2) years from the date of the City’s letter of acceptance of the improvements;

NOW, THEREFORE, the condition of this obligation is such that PRINCIPAL shall promptly and faithfully protect the CITY against any defects and correct any defects resulting from faulty materials or faulty workmanship of the aforesaid improvements, shall maintain said improvements, and shall correct, repair and otherwise maintain said improvements for a period of two (2) years from the date of the letter of acceptance of the improvements;

The CITY shall notify PRINCIPAL in writing of (1) any defect for which the PRINCIPAL is responsible and (2) any item that is not properly maintained and shall specify in said notice a reasonable period of time within which PRINCIPAL shall have to correct said defect or properly maintain said item.

The SURETY unconditionally covenants and agrees that if the PRINCIPAL fails to perform within the time specified, the SURETY, upon forty-five (45) days written notice from the CITY, or its authorized agent or officer, of the default with forthwith correct such defect or defects, perform the required maintenance and pay all CITY costs related hereto, including but not limited to, engineering costs, legal fees (including attorneys’ fees on appeal) and contingent costs. Should the SURETY fail to refuse to correct said defects or perform the required maintenance, the CITY in view of the public interest, health, safety and welfare factors involved, and the consideration in approving and filing the said development, shall have the right to resort to any and all legal remedies against the PRINCIPAL and SURETY, both at law and in equity including specifically, specific performance, to which the PRINCIPAL and SURETY unconditionally agree.

The PRINCIPAL and SURETY further jointly and severally agree that the CITY, at its option, shall have the right (1) to correct said defects and/or (2) to perform the required maintenance in case the PRINCIPAL and/or SURETY shall fail or refused to do so, and in the event the CITY should exercise and give effect to such right, the PRINCIPAL and SURETY, shall be jointly and severally obligated hereunder to reimburse the CITY the total costs thereof, including but not limited to, construction costs, engineering costs, legal fees (including attorneys' fees on appeal) and contingent costs, together with any damages either direct or consequential, which may be sustained on account of the failure of the PRINCIPAL to correct said defects or maintain said improvements.

ADDRESSES FOR NOTICE ARE AS PROVIDED BELOW:

City Manager  
City of Fruitland Park  
506 W Berckman Street  
Fruitland Park, Florida 34731

PRINCIPAL:

SURETY:

Signed, sealed and dated this \_\_\_\_ day of \_\_\_\_\_, 2018.

Principal (seal)

By: \_\_\_\_\_

Date: \_\_\_\_\_

Address:

Surety  
SURETY COMPANY

By: \_\_\_\_\_

Date: \_\_\_\_\_

Address:

Attach Power of Attorney to this Bond

**EXHIBIT "A"**  
**THE GLEN - PHASES 11-13**  
**ENGINEER'S CONSTRUCTION COST ESTIMATE**

	Description	QTY	UNIT	UNIT COST	TOTAL COST
<b>Roadways</b>					
1	1 1/2" SP 9.5 Level "C" Fine Graded Asphalt Surface Course	5,578	SY	\$ 10.50	\$ 58,569.00
2	6" Limerock Stabilized Shoulder (8' Wide, LBR 40)	3,387	SY	\$ 6.20	\$ 20,999.40
3	8" Limerock Base (LBR 100)	5,883	SY	\$ 10.60	\$ 62,359.80
	<b>Subtotal Roadways</b>				<b>\$ 141,928.20</b>
<b>Drainage</b>					
4	14" x 23" Oval RCP	146	LF	\$ 90.00	\$ 13,140.00
5	18" HDPE	234	LF	\$ 80.00	\$ 18,720.00
6	24" HDPE	205	LF	\$ 95.00	\$ 19,475.00
7	Type E Inlet	3	EA	\$ 3,700.00	\$ 11,100.00
8	Mitered End Section	2	EA	\$ 1,500.00	\$ 3,000.00
9	Mitered End Section w/Dissipater	2	EA	\$ 1,200.00	\$ 2,400.00
	<b>Subtotal Drainage</b>				<b>\$ 67,835.00</b>
<b>Water</b>					
10	8" x 8" x 8" Tee	1	EA	\$ 750.00	\$ 750.00
11	4" PVC Watermain	371	LF	\$ 34.00	\$ 12,614.00
12	6" PVC Watermain	466	LF	\$ 44.00	\$ 20,504.00
13	8" PVC Watermain	1,277	LF	\$ 54.00	\$ 68,958.00
14	8" D.I.P. Watermain	150	LF	\$ 75.00	\$ 11,250.00
15	8" x 6" Reducer	1	EA	\$ 365.00	\$ 365.00
16	6" X 4" Reducer	1	EA	\$ 365.00	\$ 365.00
17	8" Gate Valve & Box	1	EA	\$ 1,325.00	\$ 1,325.00
18	Fire Hydrant Assembly	3	EA	\$ 3,500.00	\$ 10,500.00
19	6" Gate Valve & Box	1	EA	\$ 890.00	\$ 890.00
20	8" 45° Bends	4	EA	\$ 475.00	\$ 1,900.00
21	6" 45° Bends	3	EA	\$ 457.00	\$ 1,371.00
22	2" Blowoff	1	EA	\$ 850.00	\$ 850.00
23	6" Cap	1	EA	\$ 450.00	\$ 450.00
24	8" Cap	1	EA	\$ 550.00	\$ 550.00
	<b>Subtotal Water</b>				<b>\$ 132,642.00</b>
<b>Signage and Striping</b>					
25	Stop Sign, R1-1, 30" x 30" w/Street Signs	1	EA	\$ 370.00	\$ 370.00
26	24" Wide White Stop Bar	2	EA	\$ 94.00	\$ 188.00
	<b>Subtotal Signage and Striping</b>				<b>\$ 558.00</b>
	<b>Total Improvements Phase 11 - 13</b>				<b>\$ 342,963.20</b>
	<b>Required Maintenance Bond</b>			25%	<b>\$ 85,740.80</b>

This instrument prepared by and  
after recording return to:

Newman, P. Richard, Esq.  
McLin & Burnsed, P.A.  
Post Box Office Post 491357  
34749-Florida Leesburg 34749-1357

-----SPACE ABOVE THIS LINE FOR RECORDING DATA-----

**AMENDMENT AND SUPPLEMENT TO  
DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS  
OF THE GLEN**

**THIS AMENDMENT AND SUPPLEMENT TO DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF THE GLEN** (this "Amendment and Supplement") is made as of this \_\_\_\_ day of \_\_\_\_\_, 2019, ("Effective Date") by **A.A. MOUKHTARA COMPANY**, a Florida corporation ("Declarant").

**RECITALS:**

**WHEREAS**, Declarant is the Declarant under that certain Declaration of Covenants, Conditions and Restriction for The Glen, recorded in Official Records Book 2760, Page 2292, Public Records of Lake County, Florida, as subsequently amended (as amended, collectively, the "Declaration") (unless otherwise defined, capitalized terms used above or herein shall have the meanings ascribed to them in the Declaration); and

**WHEREAS**, Article II of the Declaration provides that Declarant may bring additional properties within the operation of the Declaration to become part of the Property, except as provided for in Article XII, without the consent of the Association, the Owners, any mortgagee or other lien holder or anyone else, by the recording a Supplemental Declaration in the Public Records of Lake County, Florida; and

**WHEREAS**, Declarant is the fee simple owner of that certain real property described on Exhibit "A" attached hereto and incorporated herein (the "Subject Property"), being the same property as depicted as the Plat of The Glen Phases 11, 12 and 13 recorded in Plat Book \_\_\_\_, Page \_\_\_\_ through \_\_\_\_, Public Records of Lake County, Florida; and

**NOW, THEREFORE**, Declarant, for itself and its successors in interest and assigns, by the execution and recording of this Amendment and Supplement in the Public Records of Lake County, Florida, does hereby declare that the Declaration is hereby amended as follows:

1. Recitals. The recital set forth above are incorporated herein by this reference as if the same were fully set forth herein.



2. Additional Property. Effective as of the date on which this Amendment and Supplement is recorded in the Public Records of Lake County, Florida (the “Supplement Effective Date”), the Declaration is hereby supplemented to extend the effect and encumbrance of the Declaration to the Subject Property as additional property. Commencing as of the Supplement Effective Date, the Subject Property, as additional property, shall be held, transferred, sold, conveyed, improved, and occupied subject to the covenants, conditions, restrictions, easements, and liens set forth in the Declaration and in this Amendment and Supplement. The annexation of the Subject Property as additional property is made pursuant to Article II, Section 3 of the Declaration, and also extends the jurisdiction of the Association to the Subject Property.

3. Association Assessments and Fees. Notwithstanding anything in the Declaration to the contrary, Maronda Homes, Inc. of Florida (“Maronda”) and any other entity or individual engaged in the purchase of Lots within the Subject Property for the construction and sale of residences thereon (as to each, a “Phase 11, 12 and 13 Homebuilder,” shall be exempt from the payment of any and all annual, special, start-up, capital, initial and other assessments and contributions during the time they own any Lots within the Subject Property. Neither Maronda nor any of its homebuyers within the Subject Property shall be responsible for paying to the Association, its property management company, or any other party or entity, any estoppel fee whatsoever in connection with the purchase or sale by Maronda of any Lot or home within the Subject Property. Maronda shall be exempt from the payment of any fee whatsoever in connection with obtaining approvals from the ARB as described in Article VII of the Declaration.

4. Effect of this Amendment and Supplement. Except as modified by this Amendment and Supplement, the Declaration remains unmodified, and in full force and effect. In the event of any inconsistency or conflict between the terms of this Amendment and Supplement and the terms of the Declaration, the terms of this Amendment and Supplement shall control only as necessary to resolve any such inconsistency or conflict.

**[BALANCE OF PAGE INTENTIONALLY LEFT BLANK]**

**IN WITNESS WHEREOF**, Declarant has executed this Amendment and Supplement as of the date first written above.

DECLARANT:

Signed, sealed and delivered in the presence of:

**A.A. MOUKHTARA COMPANY**, a Florida corporation

\_\_\_\_\_  
Print Name:

By: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

\_\_\_\_\_  
Print Name:

Dated: \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 2019, by \_\_\_\_\_ as \_\_\_\_\_ of A.A. MOUKHTARA COMPANY, a Florida corporation, on behalf of the Corporation, who (check appropriate Box) [ \_\_\_\_ ] is personally known to me or [ \_\_\_\_ ] produced \_\_\_\_\_ as identification.

\_\_\_\_\_  
NOTARY PUBLIC. STATE OF FLORIDA

Via email: ([tkelley@fruitlandpark.org](mailto:tkelley@fruitlandpark.org))

Ref: 4730.01

## TECHNICAL MEMORANDUM

**To:** Tracy Kelley, Fruitland Park Community Development Director  
**From:** Matthew West AICP  
**Date:** November 2, 2018  
**Subject:** The Glen Phases 11 - 13 – Trip Generation and Traffic Impact Analysis (TIA) Exemption  
 Fruitland Park, FL

### INTRODUCTION

LTG, Inc. has been retained by A.A. Moukhtara Company to prepare a Trip Generation Analysis and a Request for Exemption from a Tier 1 TIA for the 49-lot single family development (the PROJECT) located in the west half of The Glen PUD in Fruitland Park, Florida. A preliminary subdivision plan is attached as Exhibit A. The PROJECT will consist of 49 single family lots. Currently, the property is vacant.

### PROJECT TRIP GENERATION

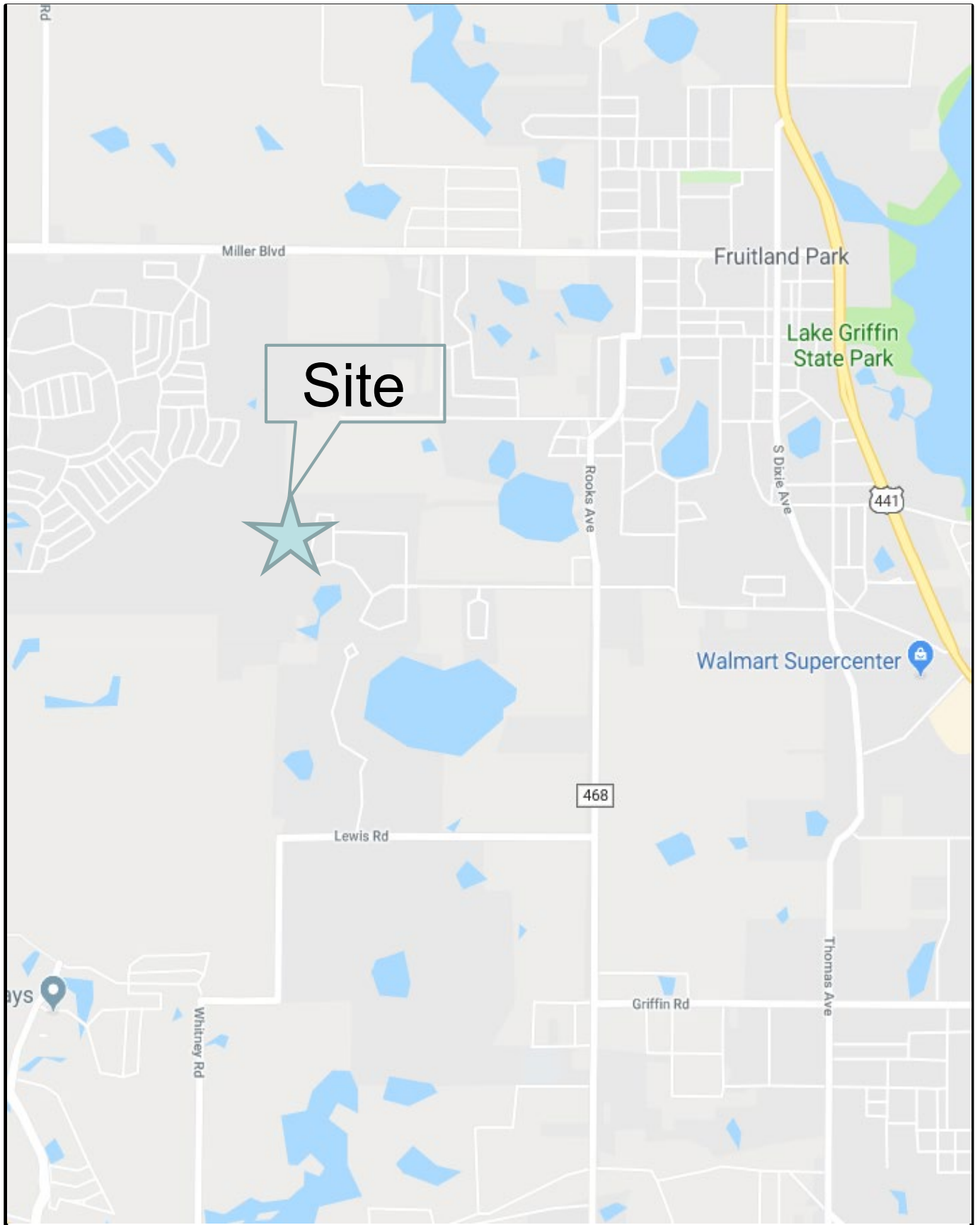
The project-generated daily, a.m., and p.m. peak-hour trips, presented in Table 1, were determined using the Institute of Transportation Engineers' Trip Generation Manual, 10th Edition. The 49 single family detached homes' trip generation is calculated using the Single Family Detached Housing (land use code 210). As shown in Table 1, the PROJECT is expected to produce 539 daily trips, 40 a.m. peak-hour trips, and 51 p.m. peak-hour trips. Internal capture and pass-by capture trips are not calculated for this single use residential development.

**Table 1  
 Trip Generation  
 The Glen, Phases 11-13**

Time Period	Land Use	Land Use Code	Trip Rate Equation	Size	Units	Percent Entering	Percent Exiting	Trips Entering	Trips Exiting	Total Trips
Daily	Single Family Detached Housing	210	$\ln(T) = 0.92 \ln(X) + 2.71$	49	Units	50%	50%	270	270	539
AM Peak Hour	Single Family Detached Housing	210	$T = 0.71(X) + 4.80$	49	Units	25%	75%	10	30	40
PM Peak Hour	Single Family Detached Housing	210	$\ln(T) = 0.96 \ln(X) + 0.20$	49	Units	63%	37%	32	19	51

It should be noted that Section 153.040,a),1) of the Fruitland Park Code requires a traffic analysis when a development is anticipated to generate 250 or more peak-hour trips. Table 1 above demonstrates that the proposed development's trip generation would be substantially less than 250 peak-hour trips (roughly 20 percent of the threshold).

Also, the Lake Sumter Metropolitan Planning Organization's TIS Methodology Guidelines (Section 3.1) defines "de minimis" development as any development for which the net average weekday peak-hour two-way volume is less than 100 trip ends. Table 1 demonstrates that the proposed development is roughly half the de minimis threshold. The local roadway network has adequate capacity to accommodate the additional trips without exceeding the adopted levels of service. Therefore, an exemption from providing a Tier 1 TIS is requested.



**The Glen PUD  
Phases 11-13**



NTS

**Location Map**

Project No.:4730.01

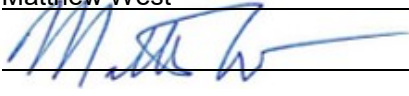
Figure: 1



1450 West Granada Blvd., Suite 2 – Daytona Beach, Florida 32174  
Telephone: 386.257.2571 Fax: 386.257.6996 EB# 0009227

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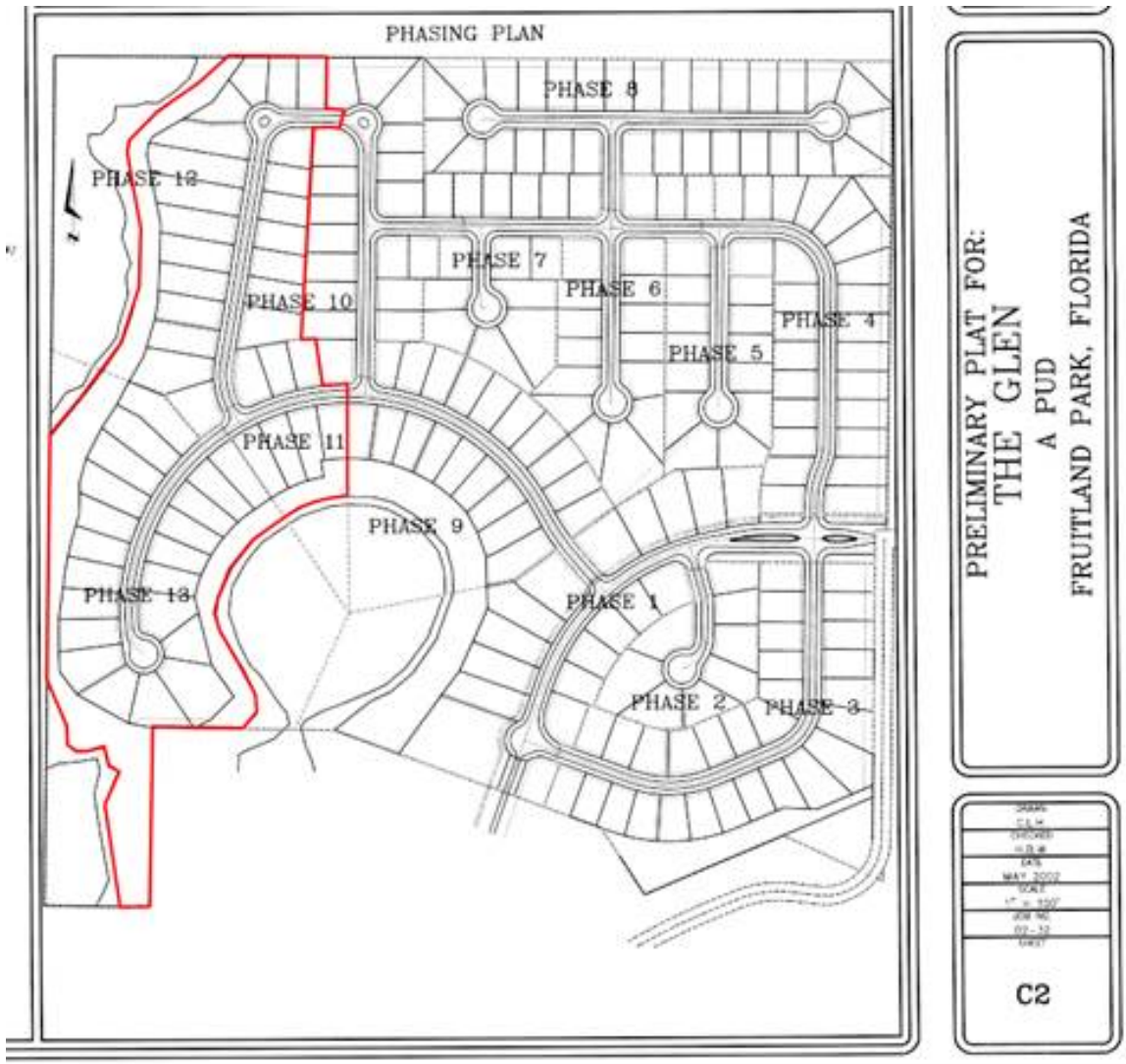
I affirm, by affixing my signature and seal below, that the findings contained herein are, to my knowledge, accurate and truthful and were developed using current procedures standard to the practice of professional planning.

Name: Matthew West  
Signature:   
Date: November 2, 2018

**Attachments:**

Exhibit A – Conceptual Subdivision Plan

EXHIBIT A





# St. Johns River

## Water Management District

Ann B. Shortelle, Ph.D., Executive Director

4049 Reid Street • P.O. Box 1429 • Palatka, FL 32178-1429 • 386-329-4500  
On the internet at [www.sjrwmd.com](http://www.sjrwmd.com).

July 24, 2017

Sayed Moukhtara  
A A Moukhtara, Inc.  
7717 NW 20th Ln  
Gainesville, FL 32605-3163

SUBJECT: 26496-3  
The Glen, Phases 10, 11, 12, & 13

Dear Sir/Madam:

Enclosed is your individual permit issued by the St. Johns River Water Management District on July 24, 2017. This permit is a legal document and should be kept with your other important documents. Permit issuance does not relieve you from the responsibility of obtaining any necessary permits from any federal, state, or local agencies for your project.

### **Technical Staff Report:**

If you wish to review a copy of the Technical Staff Report (TSR) that provides the District's staff analysis of your permit application, you may view the TSR by going to the Permitting section of the District's website at [www.sjrwmd.com/permitting](http://www.sjrwmd.com/permitting). Using the "search applications and permits" feature, you can use your permit number or project name to find information about the permit. When you see the results of your search, click on the permit number and then on the TSR folder.

### **Noticing Your Permit:**

For noticing instructions, please refer to the noticing materials in this package regarding closing the point of entry for someone to challenge the issuance of your permit. Please note that if a timely petition for administrative hearing is filed, your permit will become non-final and any activities that you choose to undertake pursuant to your permit will be at your own risk.

### **Compliance with Permit Conditions:**

To submit your required permit compliance information, go to the District's website at [www.sjrwmd.com/permitting](http://www.sjrwmd.com/permitting). Under the "Apply for a permit or submit compliance data" section, click to sign-in to your existing account or to create a new account. Select the "Compliance Submittal" tab, enter your permit number, and select "No Specific Date" for the Compliance Due Date Range. You will then be able to view all the compliance submittal requirements for your project. Select the compliance item that you are ready to submit and then attach the appropriate information or form. The forms to comply with your permit conditions are available at [www.sjrwmd.com/permitting](http://www.sjrwmd.com/permitting) under the section "Handbooks, forms, fees, final orders". Click on forms to view all permit compliance forms, then scroll to the ERP application forms section and select the applicable compliance forms. Alternatively, if you have difficulty finding forms or need

#### GOVERNING BOARD

John A. Miklos, CHAIRMAN  
ORLANDO

Fred N. Roberts Jr., VICE CHAIRMAN  
OCALA

Chuck Drake, SECRETARY  
ORLANDO

Ron Howse, TREASURER  
COCOA

Douglas C. Bourniquet  
VERO BEACH

Douglas Burnett  
ST. AUGUSTINE

Susan Dolan  
SANFORD

Janet Price  
FERNANDINA BEACH

copies of the appropriate forms, please contact the Bureau of Regulatory Support at (386) 329-4570.

**Transferring Your Permit:**

Your permit requires you to notify the District within 30 days of any change in ownership or control of the project or activity covered by the permit, or within 30 days of any change in ownership or control of the real property on which the permitted project or activity is located or occurs. You will need to provide the District with the information specified in rule 62-330.340, Florida Administrative Code (F.A.C.). Generally, this will require you to complete and submit Form 62-330.340(1), "Request to Transfer Permit," available at <http://www.sjrwmd.com/permitting/permitforms.html>.

Please note that a permittee is liable for compliance with the permit before the permit is transferred. The District, therefore, recommends that you request a permit transfer in advance in accordance with the applicable rules. You are encouraged to contact District staff for assistance with this process.

Thank you and please let us know if you have additional questions. For general questions contact [e-permit@sjrwmd.com](mailto:e-permit@sjrwmd.com) or (386) 329-4570.

Sincerely,



Margaret Daniels, Office Director  
Office of Business and Administrative Services  
St. Johns River Water Management District  
4049 Reid Street  
Palatka, FL 32177-2529  
(386) 329-4570

Enclosures: Permit

cc: District Permit File

David W. Springstead  
Springstead Engineering, Inc.  
727 S 14th St  
Leesburg, FL 34748-5618

David W. Springstead  
Springstead Engineering, Inc.  
727 S 14th St  
Leesburg, FL 34748-5618



**ST. JOHNS RIVER WATER MANAGEMENT DISTRICT**  
**Post Office Box 1429**  
**Palatka, Florida 32178-1429**

**PERMIT NO:** 26496-3

**DATE ISSUED:** July 24, 2017

**PROJECT NAME:** The Glen, Phases 10, 11, 12, & 13

**A PERMIT AUTHORIZING:**

Construction of a Stormwater Management System for The Glen, Phases 10, 11, 12, & 13, a 38.38 - acre project to be constructed and operated as per plans received by the District on August 21, 2003 and as amended by Sheets 2 of 7 and 4 of 7 received by the District on October 21, 2003.

**LOCATION:**

Section(s): 8                      Township(s): 19S                      Range(s): 24E  
Lake County

**Receiving Water Body:**

Name	Class
Myrtle Lake	III Fresh

**ISSUED TO:**

A A Moukhtara, Inc.  
7717 NW 20th Ln  
Gainesville, FL 32605-3163

The permittee agrees to hold and save the St. Johns River Water Management District and its successors harmless from any and all damages, claims, or liabilities which may arise from permit issuance. Said application, including all plans and specifications attached thereto, is by reference made a part hereof.

This permit does not convey to the permittee any property rights nor any rights or privileges other than those specified herein, nor relieve the permittee from complying with any law, regulation or requirement affecting the rights of other bodies or agencies. All structures and works installed by permittee hereunder shall remain the property of the permittee.

This permit may be revoked, modified or transferred at any time pursuant to the appropriate provisions of Chapter 373, Florida Statutes.

**PERMIT IS CONDITIONED UPON:**

See conditions on attached "Exhibit A", dated July 24, 2017

**AUTHORIZED BY:** St. Johns River Water Management District  
Division of Regulatory Services

By: 

\_\_\_\_\_  
Marc vonCanal  
Regulatory Coordinator

**"EXHIBIT A"**  
**CONDITIONS FOR ISSUANCE OF PERMIT NUMBER 26496-3**  
**The Glen, Phases 10, 11, 12, & 13**  
**DATED July 24, 2017**

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.
2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the District staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation June 2007), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), which are both incorporated by reference in subparagraph 62-330.050(9)(b)5, F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the District a fully executed Form 62-330.350(1), "Construction Commencement Notice,"[10-1-13], incorporated by reference herein (<http://www.flrules.org/Gateway/reference.asp?No=Ref-02505>), indicating the expected start and completion dates. A copy of this form may be obtained from the District, as described in subsection 62-330.010(5), F.A.C. If available, an District website that fulfills this notification requirement may be used in lieu of the form.
5. Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.
6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
  - a. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex — "Construction Completion and Inspection Certification for Activities Associated With a Private Single-Family Dwelling Unit" [Form 62-330.310(3)]; or
  - b. For all other activities — "As-Built Certification and Request for Conversion to Operational Phase" [Form 62-330.310(1)].
  - c. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.

7. If the final operation and maintenance entity is a third party:
  - a. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as-built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.3 of Volume I) as filed with the Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
  - b. Within 30 days of submittal of the as- built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation Entity" [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
8. The permittee shall notify the District in writing of changes required by any other regulatory District that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.
9. This permit does not:
  - a. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
  - b. Convey to the permittee or create in the permittee any interest in real property;
  - c. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
  - d. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.
11. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the District in writing:
  - a. Immediately if any previously submitted information is discovered to be inaccurate; and
  - b. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C. This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.

13. Upon reasonable notice to the permittee, District staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
14. If any prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, work involving subsurface disturbance in the immediate vicinity of such discoveries shall cease. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance and Review Section, at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Such subsurface work shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and notification shall be provided in accordance with Section 872.05, F.S.
15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.
16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.
17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the District will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.
18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with Rule 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.
19. This permit for construction will expire five years from the date of issuance.
20. At a minimum, all retention and detention storage areas must be excavated to rough grade prior to building construction or placement of impervious surface within the area to be served by those facilities. To prevent reduction in storage volume and percolation rates, all accumulated sediment must be removed from the storage area prior to final grading and stabilization.
21. All wetland areas or water bodies that are outside the specific limits of construction authorized by this permit must be protected from erosion, siltation, scouring or excess turbidity, and dewatering.
22. The operation and maintenance entity shall inspect the stormwater or surface water management system once within two years after the completion of construction and every two years thereafter to determine if the system is functioning as designed and permitted. The operation and maintenance entity must maintain a record of each required inspection, including the date of the inspection, the name and contact information of the inspector, and whether the system was functioning as designed and permitted, and make such record available for inspection upon request by the District during normal business hours. If at any

time the system is not functioning as designed and permitted, then within 30 days the entity shall submit a report electronically or in writing to the District using Form 62-330.311(1), "Operation and Maintenance Inspection Certification," describing the remedial actions taken to resolve the failure or deviation.

### 23. Deed of Conservation Easement

This permit requires the recording of a conservation easement. Within 30 days of recording, the permittee shall provide the District with: (a) the original recorded easement (including exhibits) showing the date it was recorded and the official records book and page number, (b) a copy of the recorded plat (if applicable), (c) a surveyor's sketch of the easement area plotted on the appropriate USGS topographic map, and (d) the original recorded consent and joinder(s) of mortgagee (if applicable). Before recording them, the permittee shall ensure that these documents are acceptable to the District as described below.

#### Description of Conservation Easement Area.

The permittee shall provide to the District for review and written approval a copy of: (a) the preliminary plat showing the area to be encumbered by the conservation easement, or (b) a surveyor's sketch and legal description of the area to be placed under the conservation easement, per the approved mitigation plan, at least 45 days before (1) dredging, filling, or clearing any wetland or surface water for which mitigation is required; (2) clearing any upland within a Riparian Habitat Protection Zone for which mitigation is required; (3) the sale of any lot or parcel; (4) the recording of the subdivision plat; or (5) use of the infrastructure for its intended use, whichever occurs first.

If the impacts to an upland within a Riparian Habitat Protection Zone or to a wetland or surface water for which mitigation is required will occur in discrete phases, the areas to be preserved to offset such impacts may be placed under conservation easement in phases such that impacts are offset during each phase. Such phasing of preservation shall only occur if it has been proposed in the mitigation plan and approved by the permit, or if it is approved in writing by the District. A surveyor's sketch and legal description of the area to be placed under conservation easement during each phase must be submitted in accordance with the previous paragraph.

#### Recording of Conservation Easement.

Before (1) dredging, filling, or clearing any wetland or surface water for which mitigation is required, (2) clearing any upland within a Riparian Habitat Protection Zone for which mitigation is required, (3) the sale of any lot or parcel, (4) the recording of the subdivision plat, or (5) use of the infrastructure for its intended use, whichever occurs first, the permittee shall record a conservation easement. The conservation easement shall include restrictions on the real property pursuant to section 704.06, Florida Statutes, and be consistent with section 10.3.8, ERP Applicant's Handbook, Volume I (October 1, 2013) and Fla. Admin. Code R. 62-330.301(6).

The conservation easement shall be in the form approved in writing by the District and, if no plat has been submitted, the easement shall include the approved legal description and surveyor's sketch. If the District does not provide written comments on the preliminary plat or surveyor's sketch and legal description within 45 days of receipt, then the permittee may record the conservation easement with the legal description and surveyor's sketch or plat reference previously submitted. If the District provides written disapproval of the preliminary plat or surveyor's sketch and legal description, the permittee shall, within ten (10) days of receipt of the disapproval, correct all errors with the conservation easement, including the preliminary plat or legal description and surveyor's sketch, and record the conservation

easement. Pursuant to section 704.06, Florida Statutes, the conservation easement shall prohibit all construction, including clearing, dredging, or filling, except that which is specifically authorized by this permit, within the mitigation areas delineated on the final plans and/or mitigation proposal approved by the District.

The easement may not be amended without written District approval.

Additional Documents Required.

The permittee shall ensure that the conservation easement identifies, and is executed by, the correct grantor, who must hold sufficient record title to the land encumbered by the easement. If the easement's grantor is a partnership, the partnership shall provide to the District a partnership affidavit stating that the person executing the conservation easement has the legal authority to convey an interest in the partnership land. If there exist any mortgages on the land, the permittee shall also have each mortgagee execute a consent and joinder of mortgagee subordinating the mortgage to the conservation easement. The consent and joinder of the mortgagee shall be recorded simultaneously with the conservation easement in the public records of the county where the land is located. Within 30 days of recording, the permittee shall provide the District with: (a) the original recorded easement (including exhibits) showing the date it was recorded and the official records book and page number, (b) a copy of the recorded plat (if applicable), (c) a surveyor's sketch of the easement area plotted on the appropriate USGS topographic map, and (d) the original recorded consent and joinder(s) of mortgagee (if applicable).

Demarcation of Conservation Easement Area. Prior to lot or parcel sales, all changes in direction of the easement area boundaries must be permanently monumented above ground on the project site.

24. The stormwater management system shall be constructed and operated in accordance with the plans received by the District on August 21, 2003 and as amended by Sheets 2 of 7 and 4 of 7 received by the District on October 21, 2003.
25. This permit does not authorize any impacts to wetlands or other surface waters.
26. Prior to the use of the infrastructure or sale of any lot or parcel, the permittee must install permanent information signs (number of signs to be approved by the District) advising residents of the conservation areas along all conservation tract boundaries with lots or roads. These signs must indicate that this is a conservation area and that no clearing or dumping is allowed.

## Notice Of Rights

1. A person whose substantial interests are or may be affected has the right to request an administrative hearing by filing a written petition with the St. Johns River Water Management District (District). Pursuant to Chapter 28-106 and Rule 40C-1.1007, Florida Administrative Code, the petition must be filed (received) either by delivery at the office of the District Clerk at District Headquarters, P. O. Box 1429, Palatka Florida 32178-1429 (4049 Reid St., Palatka, FL 32177) or by e-mail with the District Clerk at [Clerk@sjrwmd.com](mailto:Clerk@sjrwmd.com), within twenty-six (26) days of the District depositing the notice of District decision in the mail (for those persons to whom the District mails actual notice), within twenty-one (21) days of the District emailing the notice of District decision (for those persons to whom the District emails actual notice), or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail or email actual notice). A petition must comply with Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes, and Chapter 28-106, Florida Administrative Code. The District will not accept a petition sent by facsimile (fax), as explained in paragraph no. 4 below.
2. Please be advised that if you wish to dispute this District decision, mediation may be available and that choosing mediation does not affect your right to an administrative hearing. If you wish to request mediation, you must do so in a timely-filed petition. If all parties, including the District, agree to the details of the mediation procedure, in writing, within 10 days after the time period stated in the announcement for election of an administrative remedy under Sections 120.569 and 120.57, Florida Statutes, the time limitations imposed by Sections 120.569 and 120.57, Florida Statutes, shall be tolled to allow mediation of the disputed District decision. The mediation must be concluded within 60 days of the date of the parties' written agreement, or such other timeframe agreed to by the parties in writing. Any mediation agreement must include provisions for selecting a mediator, a statement that each party shall be responsible for paying its pro-rata share of the costs and fees associated with mediation, and the mediating parties' understanding regarding the confidentiality of discussions and documents introduced during mediation. If mediation results in settlement of the administrative dispute, the District will enter a final order consistent with the settlement agreement. If mediation terminates without settlement of the dispute, the District will notify all the parties in writing that the administrative hearing process under Sections 120.569 and 120.57, Florida Statutes, is resumed. Even if a party chooses not to engage in formal mediation, or if formal mediation does not result in a settlement agreement, the District will remain willing to engage in informal settlement discussions.
3. A person whose substantial interests are or may be affected has the right to an informal administrative hearing pursuant to Sections 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must also comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.

## Notice Of Rights

4. A petition for an administrative hearing is deemed filed upon receipt of the complete petition by the District Clerk at the District Headquarters in Palatka, Florida during the District's regular business hours. The District's regular business hours are 8:00 a.m. – 5:00 p.m., excluding weekends and District holidays. Petitions received by the District Clerk after the District's regular business hours shall be deemed filed as of 8:00 a.m. on the District's next regular business day. The District's acceptance of petitions filed by e-mail is subject to certain conditions set forth in the District's Statement of Agency Organization and Operation (issued pursuant to Rule 28-101.001, Florida Administrative Code), which is available for viewing at [sjrwmd.com](http://sjrwmd.com). These conditions include, but are not limited to, the petition being in the form of a PDF or TIFF file and being capable of being stored and printed by the District. Further, pursuant to the District's Statement of Agency Organization and Operation, attempting to file a petition by facsimile is prohibited and shall not constitute filing.
5. Failure to file a petition for an administrative hearing within the requisite timeframe shall constitute a waiver of the right to an administrative hearing. (Rule 28-106.111, Florida Administrative Code).
6. The right to an administrative hearing and the relevant procedures to be followed are governed by Chapter 120, Florida Statutes, Chapter 28-106, Florida Administrative Code, and Rule 40C-1.1007, Florida Administrative Code. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means the District's final action may be different from the position taken by it in this notice. A person whose substantial interests are or may be affected by the District's final action has the right to become a party to the proceeding, in accordance with the requirements set forth above.
7. Pursuant to Section 120.68, Florida Statutes, a party to the proceeding before the District who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to Rules 9.110 and 9.190, Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.
8. A District action is considered rendered, as referred to in paragraph no. 7 above, after it is signed on behalf of the District and filed by the District Clerk.
9. Failure to observe the relevant timeframes for filing a petition for judicial review as described in paragraph no. 7 above will result in waiver of that right to review.



**Notice Of Rights**

**Certificate of Service**

I HEREBY CERTIFY that a copy of the foregoing Notice of Rights has been sent to the permittee:

Sayed Moukhtara  
A A Moukhtara, Inc.  
7717 NW 20th Ln  
Gainesville, FL 32605-3163

This 24th day of July, 2017.



Margaret Daniels, Office Director  
Office of Business and Administrative Services  
St. Johns River Water Management District  
4049 Reid Street  
Palatka, FL 32177-2529  
(386) 329-4570

Permit Number: 26496-3

## NOTICING INFORMATION

Dear Permittee:

Please be advised that the St. Johns River Water Management District will not publish a notice in the newspaper advising the public that it has issued a permit for this project.

Newspaper publication, using the District's notice form, notifies members of the public of their right to challenge the issuance of the permit. If proper notice is given by newspaper publication, then there is a 21-day time limit for someone to file a petition for an administrative hearing to challenge the issuance of the permit.

To close the point of entry for filing a petition, you may publish (at your own expense) a one-time notice of the District's decision in a newspaper of general circulation within the affected area as defined in Section 50.011 of the Florida Statutes. If you do not publish a newspaper notice to close the point of entry, the time to challenge the issuance of your permit will not expire and someone could file a petition even after your project is constructed.

A copy of the notice form and a partial list of newspapers of general circulation are attached for your convenience. However, you are not limited to those listed newspapers. If you choose to close the point of entry and the notice is published, the newspaper will return to you an affidavit of publication. In that event, it is important that you either submit a scanned copy of the affidavit by emailing it to [compliancesupport@sjrwm.com](mailto:compliancesupport@sjrwm.com) (preferred method) or send a copy of the original affidavit to:

Margaret Daniels, Office Director  
Office of Business and Administrative Services  
4049 Reid Street  
Palatka, FL 32177

If you have any questions, please contact the Office of Business and Administrative Services at (386) 329-4570.

Sincerely,



Margaret Daniels, Office Director  
Office of Business and Administrative Services

NOTICE OF AGENCY ACTION TAKEN BY THE  
ST. JOHNS RIVER WATER MANAGEMENT DISTRICT

Notice is given that the following permit was issued on \_\_\_\_\_:

(Name and address of applicant) \_\_\_\_\_  
permit# \_\_\_\_\_. The project is located in \_\_\_\_\_ County, Section  
\_\_\_\_\_, Township \_\_\_\_\_ South, Range \_\_\_\_\_ East. The permit authorizes a surface  
water management system on \_\_\_\_\_ acres for \_\_\_\_\_ known as  
\_\_\_\_\_. The receiving water body is \_\_\_\_\_.

A person whose substantial interests are or may be affected has the right to request an administrative hearing by filing a written petition with the St. Johns River Water Management District (District). Pursuant to Chapter 28-106 and Rule 40C-1.1007, Florida Administrative Code (F.A.C.), the petition must be filed (received) either by delivery at the office of the District Clerk at District Headquarters, P.O. Box 1429, Palatka FL 32178-1429 (4049 Reid St, Palatka, FL 32177) or by e-mail with the District Clerk at Clerk@sjrwm.com, within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail or email actual notice). A petition must comply with Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes (F.S.), and Chapter 28-106, F.A.C. The District will not accept a petition sent by facsimile (fax). Mediation pursuant to Section 120.573, F.S., may be available and choosing mediation does not affect your right to an administrative hearing.

A petition for an administrative hearing is deemed filed upon receipt of the complete petition by the District Clerk at the District Headquarters in Palatka, Florida during the District's regular business hours. The District's regular business hours are 8 a.m. – 5 p.m., excluding weekends and District holidays. Petitions received by the District Clerk after the District's regular business hours shall be deemed filed as of 8 a.m. on the District's next regular business day. The District's acceptance of petitions filed by e-mail is subject to certain conditions set forth in the District's Statement of Agency Organization and Operation (issued pursuant to Rule 28-101.001, Florida Administrative Code), which is available for viewing at [www.sjrwm.com](http://www.sjrwm.com). These conditions include, but are not limited to, the petition being in the form of a PDF or TIFF file and being capable of being stored and printed by the District. Further, pursuant to the District's Statement of Agency Organization and Operation, attempting to file a petition by facsimile (fax) is prohibited and shall not constitute filing.

The right to an administrative hearing and the relevant procedures to be followed are governed by Chapter 120, Florida Statutes, Chapter 28-106, Florida Administrative Code, and Rule 40C-1.1007, Florida Administrative Code. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means the District's final action may be different from the position taken by it in this notice. **Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing. (Rule 28-106.111, F.A.C.).**

If you wish to do so, please visit [http://www.sjrwm.com/nor\\_dec/](http://www.sjrwm.com/nor_dec/) to read the complete Notice of Rights to determine any legal rights you may have concerning the District's decision(s) on the permit application(s) described above. You can also request the Notice of Rights by contacting the Director of Regulatory Support, 4049 Reid St., Palatka, FL 32177-2529, tele. no. (386)329-4570.

## **NEWSPAPER ADVERTISING**

### **ALACHUA**

The Alachua County Record, Legal Advertising  
P. O. Box 806  
Gainesville, FL 32602  
352-377-2444/ fax 352-338-1986

### **BRAFORD**

Bradford County Telegraph, Legal Advertising  
P. O. Drawer A  
Starke, FL 32901  
904-964-6305/ fax 904-964-8628

### **CLAY**

Clay Today, Legal Advertising  
1560 Kinsley Ave., Suite 1  
Orange Park, FL 32073  
904-264-3200/ fax 904-264-3285

### **FLAGLER**

Flagler Tribune, c/o News Journal  
P. O. Box 2831  
Daytona Beach, FL 32120-2831  
386-681-2322

### **LAKE**

Daily Commercial, Legal Advertising  
P. O. Drawer 490007  
Leesburg, FL 34749  
352-365-8235/fax 352-365-1951

### **NASSAU**

News-Leader, Legal Advertising  
P. O. Box 766  
Fernandina Beach, FL 32035  
904-261-3696/fax 904-261-3698

### **ORANGE**

Sentinel Communications, Legal Advertising  
633 N. Orange Avenue  
Orlando, FL 32801  
407-420-5160/ fax 407-420-5011

### **PUTNAM**

Palatka Daily News, Legal Advertising  
P. O. Box 777  
Palatka, FL 32178  
386-312-5200/ fax 386-312-5209

### **SEMINOLE**

Seminole Herald, Legal Advertising  
300 North French Avenue  
Sanford, FL 32771  
407-323-9408

### **BAKER**

Baker County Press, Legal Advertising  
P. O. Box 598  
MacLenny, FL 32063  
904-259-2400/ fax 904-259-6502

### **BREVARD**

Florida Today, Legal Advertising  
P. O. Box 419000  
Melbourne, FL 32941-9000  
321-242-3832/ fax 321-242-6618

### **DUVAL**

Daily Record, Legal Advertising  
P. O. Box 1769  
Jacksonville, FL 32201  
904-356-2466 / fax 904-353-2628

### **INDIAN RIVER**

Vero Beach Press Journal, Legal Advertising  
P. O. Box 1268  
Vero Beach, FL 32961-1268  
772-221-4282/ fax 772-978-2340

### **MARION**

Ocala Star Banner, Legal Advertising  
2121 SW 19th Avenue Road  
Ocala, FL 34474  
352-867-4010/fax 352-867-4126

### **OKEECHOBEE**

Okeechobee News, Legal Advertising  
P. O. Box 639  
Okeechobee, FL 34973-0639  
863-763-3134/fax 863-763-5901

### **OSCEOLA**

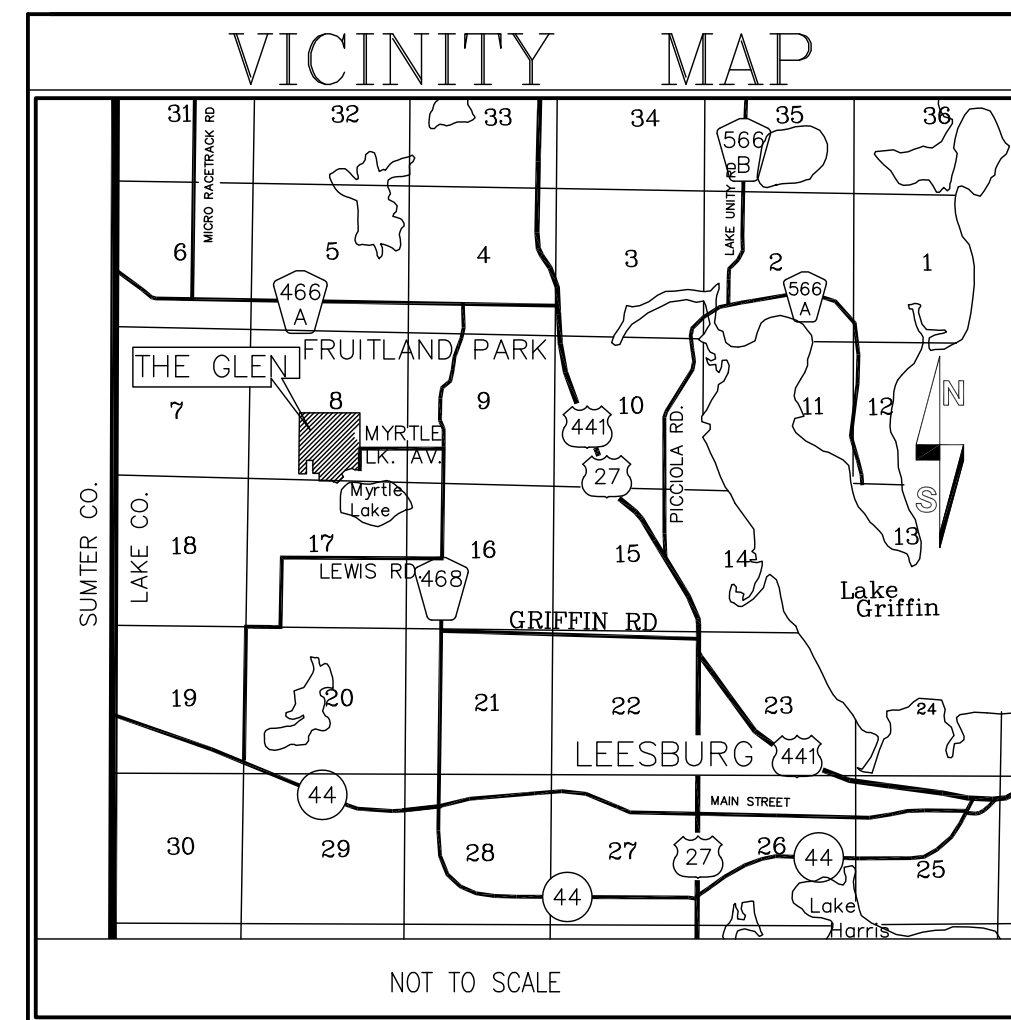
Little Sentinel, Legal Advertising  
633 N. Orange Avenue  
Orlando, FL 32801  
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# THE GLEN PHASES 11, 12 & 13

A PUD in the City of Fruitland Park  
 Being a Portion of:  
 Section 8, Township 19 South, Range 24 East  
 Lake County, Florida

### DESCRIPTION FOR THE GLEN PHASES 11, 12 & 13:

That part of the East 1/2 of the Southwest 1/4 of Section 8, Township 19 South, Range 24 East, Lake County, Florida, described as follows; from the Northeast corner of said East 1/2 of the Southwest 1/4 of Section 8, Township 19 South, Range 24 East, run N 89°22'17" W, along the north boundary of the East 1/2 of the Southwest 1/4 of said Section 8, a distance of 577.44 feet, to northwest corner of THE GLEN PHASE 10, as recorded in Plat Book 70, Page 29, Public Records of Lake County, Florida, and Point of Beginning of the following described parcel; from said Point of Beginning, continue N 89°22'17" W, along said north boundary, a distance of 754.79 feet, to the Northwest corner of said East 1/2 of the Southwest 1/4; thence S 01°02'58" W, along the west boundary of said East 1/2 of the Southwest 1/4, a distance of 2361.04 feet, to a point that is located N 01°02'58" E, a distance of 275.00 feet, from the Southwest corner of said East 1/2 of the Southwest 1/4; thence S 88°55'13" E, and parallel with the south boundary of said East 1/2 of the Southwest 1/4, a distance of 292.50 feet; thence N 01°02'58" E, and parallel with the aforesaid west boundary of the East 1/2 of the Southwest 1/4, a distance of 500.00 feet; thence S 88°55'12" E, a distance of 250.40 feet, to the Southwest corner of THE GLEN PHASE'S 1, 2 & 3, as recorded in Plat Book 53, Pages 62-63, Public Records of Lake County, Florida; thence along the westerly boundary of THE GLEN PHASE'S 1, 2 & 3, the following courses; N 42°30'55" E, a distance of 58.41 feet; thence N 03°59'34" W, a distance of 51.94 feet; thence N 24°27'34" W, a distance of 73.72 feet; thence N 31°56'26" W, a distance of 125.13 feet; thence N 11°55'03" W, a distance of 50.16 feet; thence N 07°31'48" E, a distance of 43.70 feet; thence N 23°42'30" E, a distance of 92.64 feet; thence N 38°26'09" E, a distance of 99.69 feet; thence N 52°56'23" E, a distance of 106.90 feet; thence N 62°39'19" E, a distance of 93.81 feet; thence N 78°24'57" E, a distance of 37.17 feet; thence N 08°37'13" W, a distance of 106.75 feet, to a point on a curve concave to the south and having a radius of 430.51 feet; thence Easterly, along the arc of said curve, through a central angle of 9°39'48", a distance of 72.61 feet (Chord Bearing N 84°52'49" E, and Chord Length 72.52 feet), to the Southwest corner of THE GLEN PHASE'S 4, 5, 6 & 9, as recorded in Plat Book 56, Pages 11-12, Public Records of Lake County, Florida; thence along the west boundary of THE GLEN PHASE'S 4, 5, 6 & 9, the following courses; N 00°17'16" W, a distance of 154.49 feet; thence N 01°50'39" E, a distance of 50.03 feet, to a Point of Reverse Curve on the southerly boundary of the aforesaid THE GLEN PHASE 10, said curve being concave southerly and having a radius of 635.00 feet; thence from a radial bearing of N 00°07'12" W, run westerly, along the arc of said curve and southerly boundary of THE GLEN PHASE 10, through a central angle of 06°16'53", a distance of 69.62 feet (Chord Bearing S 86°44'22" W, and Chord Length 69.58 feet), to the southwest corner of THE GLEN PHASE 10; thence along the westerly boundary of THE GLEN PHASE 10, the following courses; N 06°24'05" W, a distance of 131.80 feet; thence N 88°54'28" W, a distance of 43.04 feet; thence N 03°55'27" E, a distance of 588.53 feet; thence S 88°54'28" E, a distance of 50.00 feet; thence N 37°15'30" E, a distance of 61.93 feet; thence N 88°54'28" W, a distance of 53.12 feet; thence N 01°05'32" E, a distance of 143.41 feet, to the Point of Beginning, and end of this description; area described contains 32.25 acres.

### NOTICE:

This plat, as recorded in its graphic form, is the official depiction of the subdivided lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital form of the plat. There may be additional restrictions that are not recorded on this plat that may be found in the public records of this county.

### NOTES:

- 1) Bearings are based on the recorded plat of THE GLEN PHASE'S 7 & 8, as recorded in Plat Book 59, Pages 25 and 26, Public Records of Lake County, Florida, and the centerline of Daybreak Drive as being N89°14'27"W.
- 2) Distances are shown in U.S. survey feet and decimals thereof.
- 3) Lot corners have been set in accordance with Chapter 177.091 (9), Florida Statutes.
- 4) All platted utility easements shall provide that such easements shall also be easements for the construction, installation, maintenance and operation of cable television services; provided, however, no such construction, installation, maintenance, and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages. This section shall not apply to those private easements granted to or obtained by a particular electric, telephone, gas, or other public utility. Such construction, installation, maintenance, and operation shall comply with the National Electric Safety Code as adopted by the Florida Public Service Commission.
- 5) No construction, trees, or shrubs will be placed in easements or rights-of-way without the City of Fruitland Park approval.
- 6) It is the responsibility of the property owner to operate and maintain any storm water management system not located within the right of way of the road unless such responsibility is voluntarily assumed by the City of Fruitland Park.
- 7) Potable water to be provided by the City of Fruitland Park.
- 8) Covenants, restrictions, or reservations affecting the ownership or use of the property shown in this plat are filed in the Official Records Book(s) of Lake County Florida in:

Book No. 1763, Page 1174, being amended in  
 Book No. 5009, Page 2020, and

Book No. 2460, Page 1195, being amended in  
 Book No. 5009, Page 2020, and

Book No. 2351, Page 1253, and

Book No. 5097, Page 1135, and

Deed Book No. 191, Page 133.

## SHEET INDEX

SHEET 1 --- TITLE SHEET

SHEET 2 --- PHASES 11-13 KEY MAP

SHEET 3 --- LOTS 193-216

SHEET 4 --- LOTS 189-192 & LOTS 217-237

SHEET 5 --- TRACT "M" & WATER RETENTION AREA

Prepared by:  
 Billy Earl Owens, PSM  
 Professional Surveyor and Mapper  
 Florida Registration No. 3522  
 Address: 39 CR 494  
 Lake Panasoffkee, FL 33538  
 PH: 352-793-2854

### CERTIFICATE OF CLERK

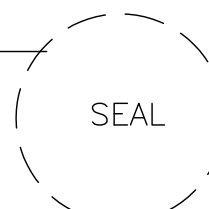
THIS IS TO CERTIFY, That I have examined the foregoing plat and find that it complies in form with all the requirements of chapter 177, Florida Statutes, and was filed for record on \_\_\_\_\_ 20\_\_\_\_, at File No. \_\_\_\_\_

Clerk of the Circuit Court  
 in and for Lake County, Florida

### RECORD PLAT REVIEW STATEMENT

"Pursuant to Section 177.081, Florida Statutes, I have reviewed this Plat for conformity to Chapter 177, Florida Statutes, and find that said Plat complies with the technical requirements of that chapter; provided however, that my review does not include field verification of any of the coordinates, points or measurements shown on this Plat."

Date: \_\_\_\_\_  
 Name: \_\_\_\_\_  
 Florida Registered Surveyor and Mapper,  
 Registration No. \_\_\_\_\_



### CONSENT AND JOINDER THE GLEN PHASES 11, 12 & 13

Maronda Homes, Inc. of Florida hereby joins in and consents to the dedication appearing on the face of the plat.

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Witness: \_\_\_\_\_

Witness: \_\_\_\_\_

(SEAL) or with two subscribing witnesses

State of Florida  
 County of Lake

The foregoing Consent and Joinder was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_, by \_\_\_\_\_, as \_\_\_\_\_ of Maronda Homes, Inc. of Florida. He/She is personally known to me or has produced the following identification: \_\_\_\_\_.

Notary Public: \_\_\_\_\_  
 (Seal)

### CERTIFICATE OF APPROVAL BY CITY COMMISSION

THIS IS TO CERTIFY, that on \_\_\_\_\_ 20\_\_\_\_, the foregoing plat was approved by the City Commission of Fruitland Park, Florida, and includes the acceptance of the dedications of the streets and easements.

Mayor  
 Attest: \_\_\_\_\_

City Clerk

Approved as to Form and Legal Sufficiency

Date: \_\_\_\_\_

City Attorney

### CERTIFICATE OF APPROVAL BY THE PLANNING AND ZONING BOARD

Examined and Approved: \_\_\_\_\_ Date \_\_\_\_\_

PLAT BOOK \_\_\_\_\_

PAGE \_\_\_\_\_

### DEDICATION FOR THE GLEN PHASES 11, 12 & 13

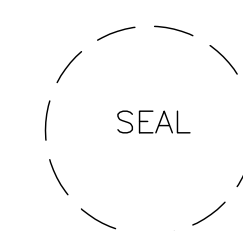
KNOW ALL MEN BY THESE PRESENTS, That the undersigned, being the owner in fee simple of the lands described in the foregoing caption to this plat, does hereby dedicate said lands and plat for the uses and purposes thereon expressed, all streets and rights-of-way shown on this plat are hereby dedicated in perpetuity to the City of Fruitland Park for the use and benefit of the public for proper purposes; all utility easements shown are dedicated in perpetuity to the City of Fruitland Park for construction, installation, maintenance and operation of utilities by any utility provider, including cable television services, in compliance with such ordinances and regulations as may be adopted from time to time by the City Commission of Fruitland Park; all drainage easements as shown are dedicated in perpetuity for construction and maintenance of drainage facilities and shall be perpetual maintenance obligation of The Glen Homeowners' Association, Inc.

IN WITNESS WHEREOF,  
 A.A. Moukhtara, Inc. has caused these presents to be signed by its President and its corporate seal to be affixed hereto by and with the authority of its board of directors this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. Signed, Sealed and delivered in our presence as witnesses:

WITNESS: \_\_\_\_\_ GRANTEE:  
 Signature \_\_\_\_\_ A. A. Moukhtara, Inc.  
 a Florida Corporation

Print Name \_\_\_\_\_ by: Michel Moukhtara, President

Signature \_\_\_\_\_

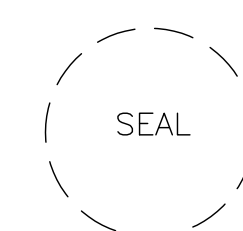


Print Name \_\_\_\_\_

STATE OF FLORIDA  
 COUNTY OF LAKE  
 The foregoing Dedication was acknowledged before me, an officer duly authorized to take acknowledgements in the State of Florida and County of Lake, this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_, by Michel Moukhtara, President, on behalf of A. A. Moukhtara, Inc., a Florida Corporation.

He [ ] is personally known to me, or [ ] has produced \_\_\_\_\_ as identification.

Notary Public - State of Florida



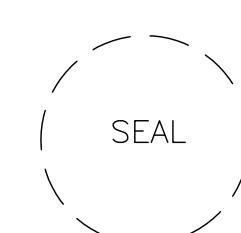
Print Name: \_\_\_\_\_

My commission expires \_\_\_\_\_

### CERTIFICATE OF SURVEYOR

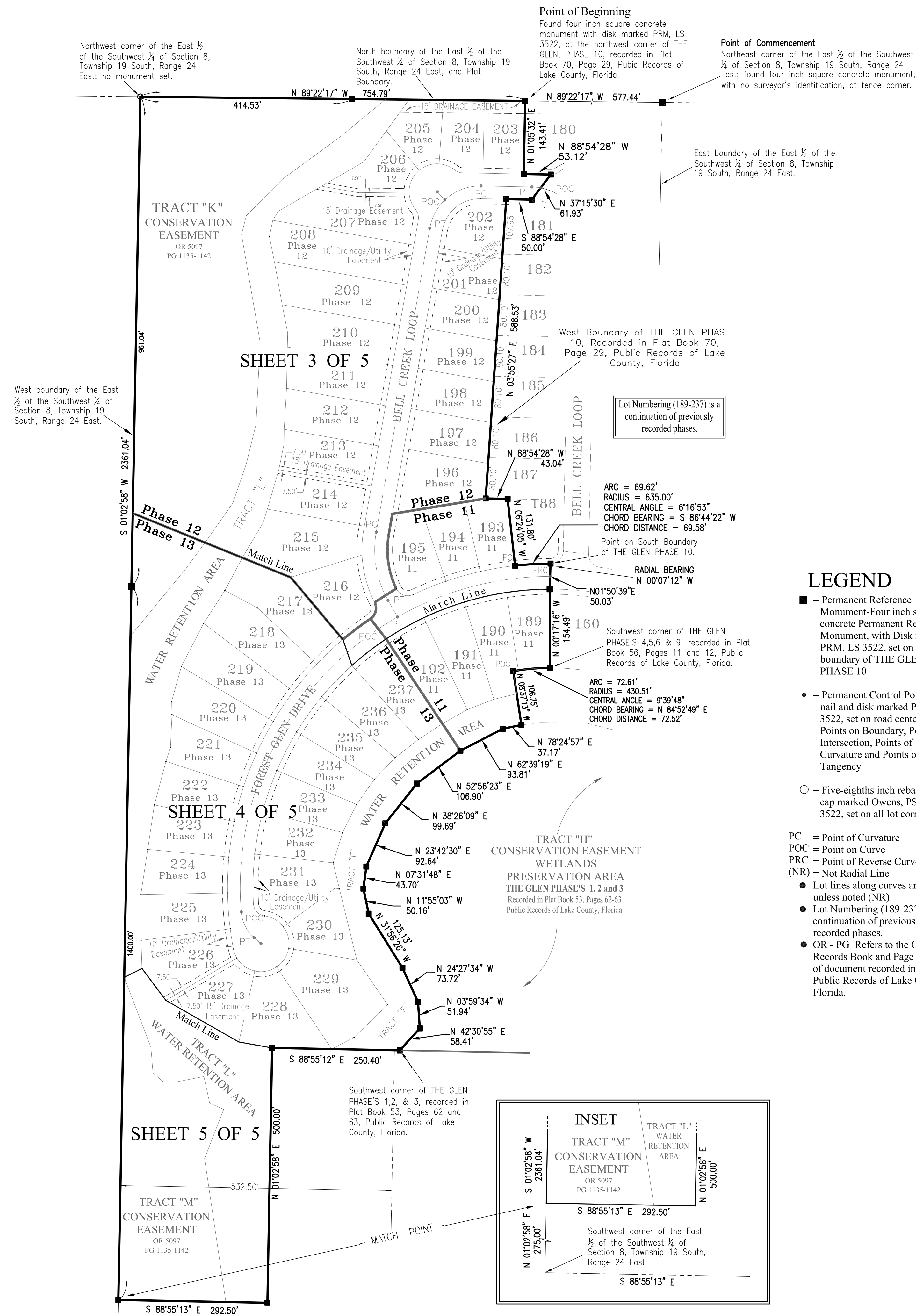
KNOW ALL MEN BY THESE PRESENTS, That the undersigned, being a Florida licensed and registered Surveyor and Mapper, does hereby certify that on \_\_\_\_\_, he completed the survey on the lands herein described; that this plat was prepared under his direction and supervision; that it is a correct representation of the lands herein described and platted or subdivided; that Permanent Reference Monuments and Permanent Control Points have been set and this plat is in compliance with Chapter 177, Florida Statutes.

Billy Earl Owens  
 Professional Surveyor and Mapper  
 39 County Road 494  
 Lake Panasoffkee, Florida 33538



Billy Earl Owens, PSM  
 Florida Registration No. 3522 Date \_\_\_\_\_

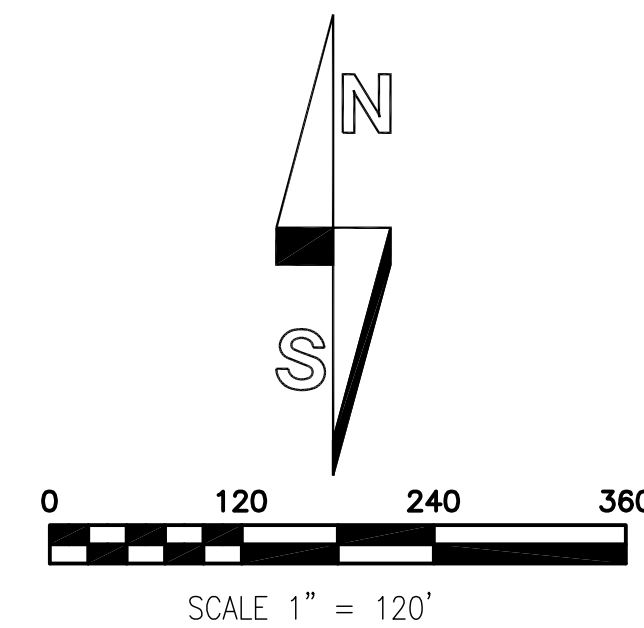
TITLE SHEET  
 Sheet 1 of 5



# THE GLEN PHASES 11, 12 & 13

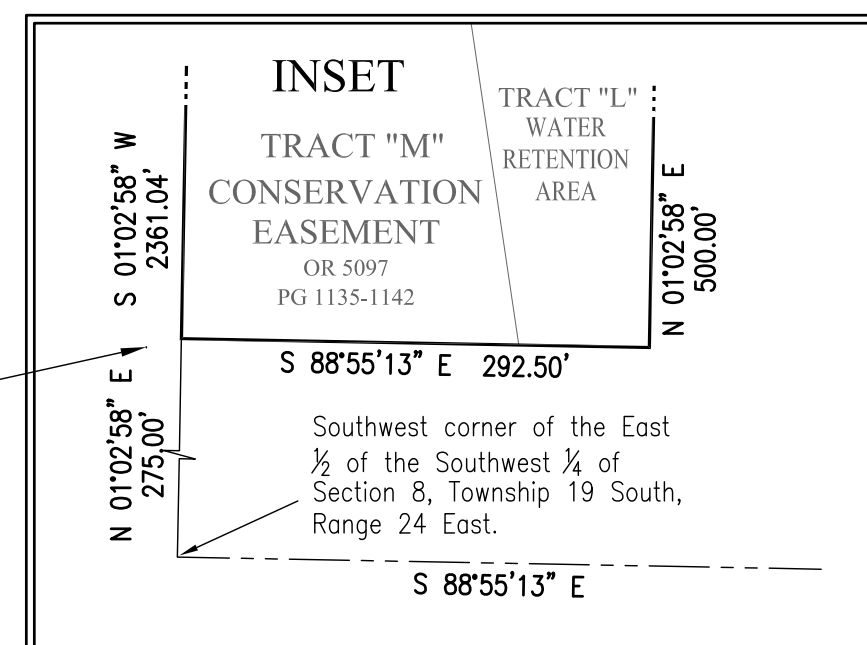
A PUD in the City of Fruitland Park

Being a Portion of:  
Section 8, Township 19 South, Range 24 East  
Lake County, Florida



### LEGEND

- = Permanent Reference Monument-Four inch square concrete Permanent Reference Monument, with Disk marked PRM, LS 3522, set on the boundary of THE GLEN, PHASE 10
- = Permanent Control Point - PK nail and disk marked PCP, LS 3522, set on road centerline at Points on Boundary, Points of Intersection, Points of Curvature and Points of Tangency
- = Five-eighths inch rebar with cap marked Owens, PSM 3522, set on all lot corners
- PC = Point of Curvature
- POC = Point on Curve
- PRC = Point of Reverse Curve
- (NR) = Not Radial Line
- Lot lines along curves are Radial unless noted (NR)
- Lot Numbering (189-237) is a continuation of previously recorded phases.
- OR - PG Refers to the Official Records Book and Page Number of document recorded in the Public Records of Lake County, Florida.



Prepared by:  
Billy Earl Owens, PSM  
Professional Surveyor and Mapper  
Address: 39 CR 494  
Lake Panasoffkee, FL 33538  
PH: 352-793-2854

NOT A PART OF THIS PLAT

Northwest corner of the East 1/2 of the Southwest 1/4 of Section 8, Township 19 South, Range 24 East; no monument set.

NOT A PART OF THIS PLAT

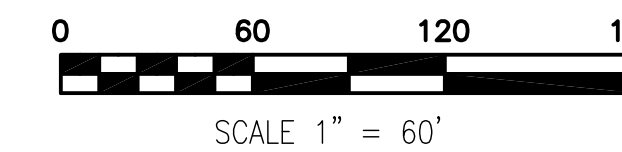
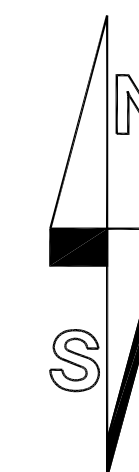
North boundary of the East 1/2 of the Southwest 1/4 of Section 8, Township 19 South, Range 24 East, and Plat Boundary.

Point of Beginning  
Four inch square concrete monument with disk marked PRM, LS 3522, at the northwest corner of THE GLEN, PHASE 10, recorded in Plat Book 70, Page 29, Public Records of Lake County, Florida.

Point of Commencement  
Northeast corner of the East 1/2 of the Southwest 1/4 of Section 8, Township 19 South, Range 24 East; found four inch square concrete monument, with no surveyor's identification, at fence corner.

# THE GLEN PHASES 11, 12 & 13

A PUD in the City of Fruitland Park  
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THE GLEN PHASES 4, 5, 6 & 9  
Recorded in Plat Book 56, Pages 11-12  
Public Records of Lake County, Florida

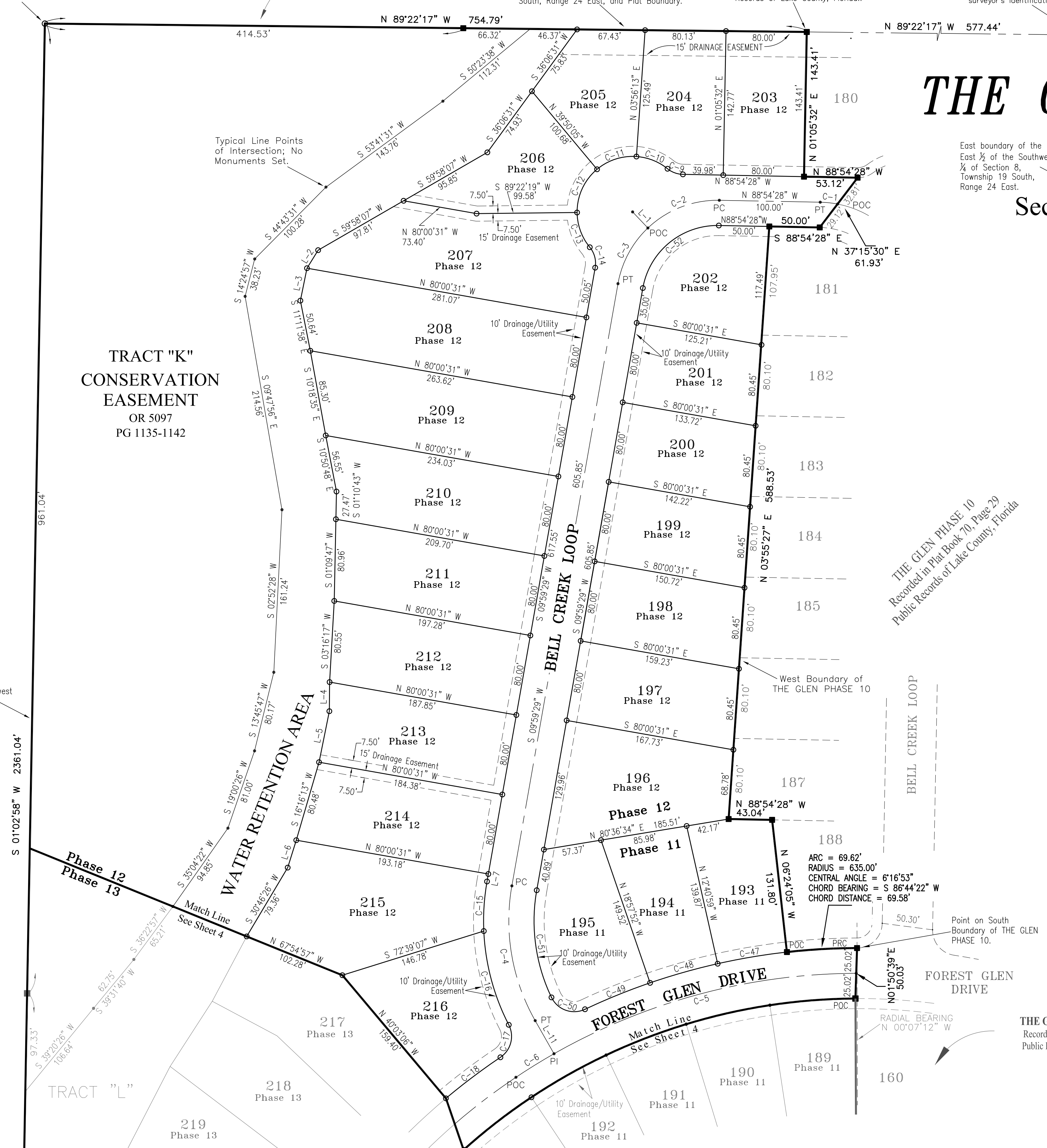
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PH: 352-793-2854

LOTS 193-216  
Sheet 3 of 5

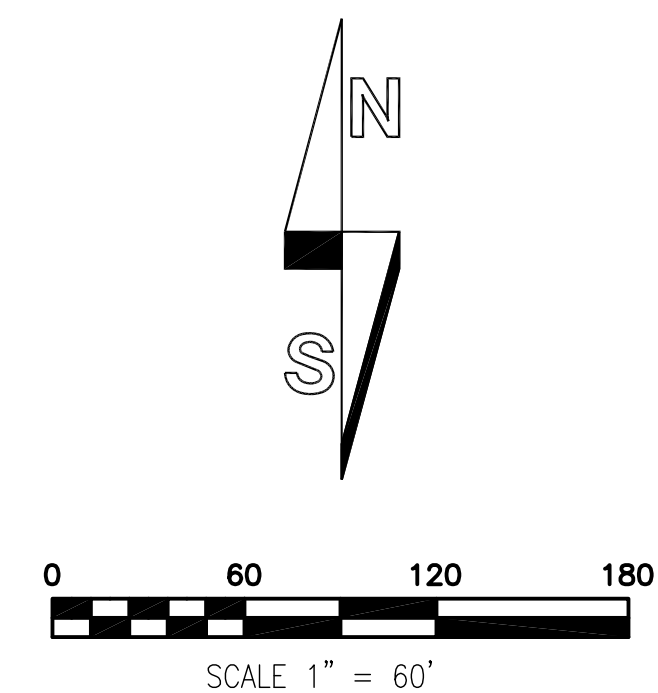
TRACT "K"  
CONSERVATION  
EASEMENT  
OR 5097  
PG 1135-1142

West boundary of the East 1/2 of the Southwest 1/4 of Section 8, Township 19 South, Range 24 East.

TRACT "L"



West boundary of the East 1/2 of the Southwest 1/4 of Section 8, Township 19 South, Range 24 East.



TRACT "K" CONSERVATION EASEMENT OR 5097 PG 1135-1142

TRACT "L"

TRACT "M" CONSERVATION EASEMENT OR 5097 PG 1135-1142

FOREST GLEN DRIVE

# THE GLEN PHASES 11, 12 & 13

A PUD in the City of Fruitland Park  
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### LEGEND

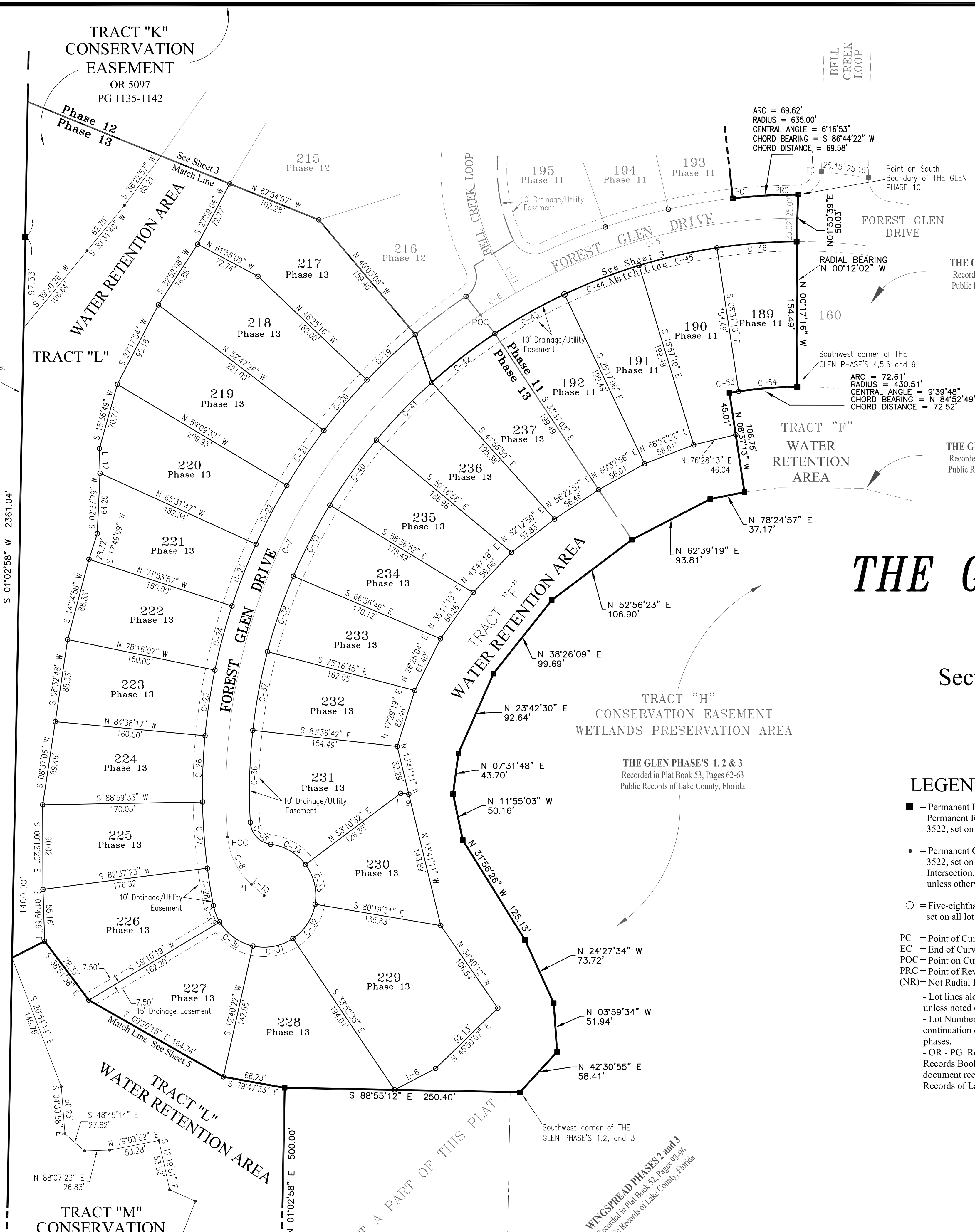
- = Permanent Reference Monument-Four inch square concrete Permanent Reference Monument, with Disk marked PRM, LS 3522, set on the boundary of THE GLEN, PHASE 10
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WINGSWORTH PHASES 2 and 3  
Recorded in Plat Book 53, Pages 9-96  
Public Records of Lake County, Florida

Prepared by:  
Billy Earl Owens, PSM  
Professional Surveyor and Mapper  
Address: 39 CR 494  
Lake Panasoffkee, FL 33538  
PH: 352-793-2854

NOT A PART OF THIS PLAT

NOT A PART OF THIS PLAT



ARC = 69.62°  
RADIUS = 635.00'  
CENTRAL ANGLE = 6°16'53"  
CHORD BEARING = S 86°44'22" W  
CHORD DISTANCE = 69.58'

Southwest corner of THE GLEN PHASE'S 4, 5, 6 and 9  
ARC = 72.61°  
RADIUS = 430.51'  
CENTRAL ANGLE = 9°39'48"  
CHORD BEARING = N 84°52'49" E  
CHORD DISTANCE = 72.52'

THE GLEN PHASE'S 4, 5, 6 & 9  
Recorded in Plat Book 56, Pages 11-12  
Public Records of Lake County, Florida

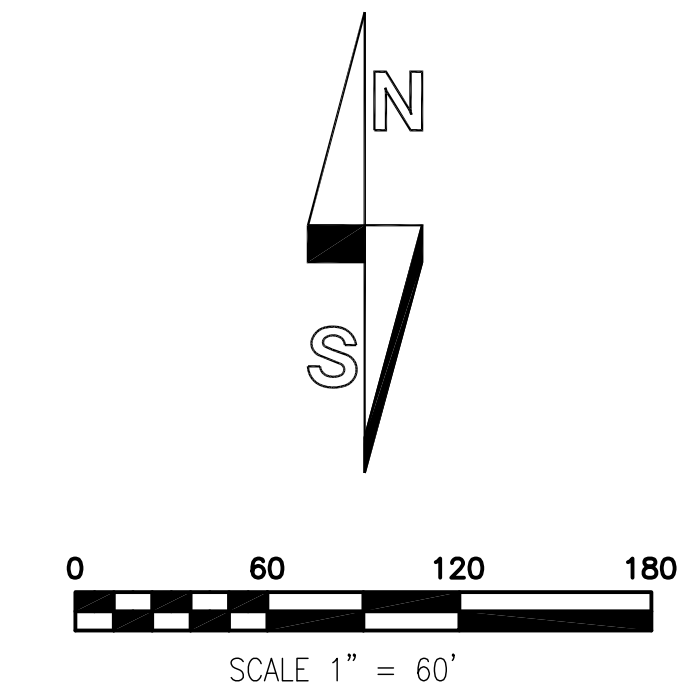
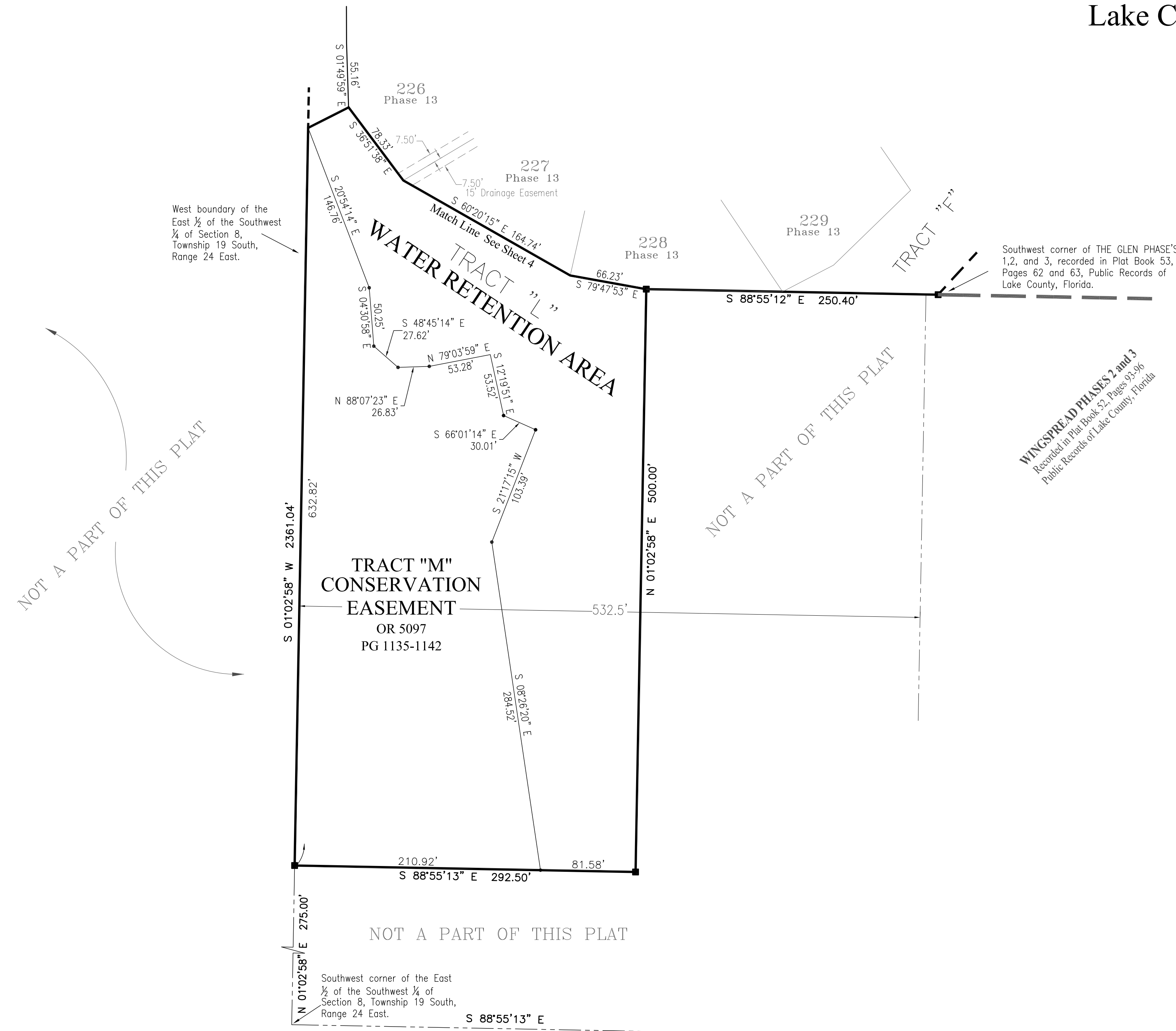
THE GLEN PHASE'S 4, 5, 6 & 9  
Recorded in Plat Book 56, Pages 11-12  
Public Records of Lake County, Florida

THE GLEN PHASE'S 1, 2 & 3  
Recorded in Plat Book 53, Pages 62-63  
Public Records of Lake County, Florida



# THE GLEN PHASES 11,12&13

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### LEGEND

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