



506 WEST BERCKMAN STREET
FRUITLAND PARK, FL 34731

PHONE: 352-360-6727
FAX: 352-360-6652

Board Members: Connie Bame, Chairwoman Colin Crews Daniel Dicus Philip Purlee Tom Bradley	Others: Greg Beliveau, LPG Tracy Kelley, CDD
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**AGENDA
PLANNING & ZONING BOARD
SEPTEMBER 20, 2018
6:00PM**

- I. INVOCATION:**
- II. ROLL CALL:**
- III. MINUTES FROM PREVIOUS MEETING:** Approve meeting minutes from June 21, 2018.
- IV. OLD BUSINESS:** None
- V. NEW BUSINESS:**
 - A. Ordinance 2018 – 019 Land Development Code Amendment**
 - a. An Ordinance amending the definition of commercial parking in Chapter 151 of the Land Development Code
 - B. Village Park Phase 2 Site Plan (Alt Key 1287863)**
 - a. Major Site Plan Application for Phase Construction of Entrance Road to Village Park Development
 - C. International Carwash Site Plan (Alt Key 1170621)**
 - a. Site Plan Application for a 3,200 square foot car wash facility
 - D. Ordinance 2018 – 021 Rezoning 0.75 ± Acres of Property**
 - a. Rezoning application to rezone approximately 0.75 ± acres from Residential Professional (RP) to Neighborhood Commercial (C-1) within the city limits of Fruitland Park

BOARD MEMBERS' COMMENTS:

ADJOURNMENT:



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Board Members: Connie Bame, Chairwoman Colin Crews Daniel Dicus Philip Purlee Tom Bradley	Others: Greg Beliveau, LPG Tracy Kelley, CDD Kelly Turner, Administrative Assistant
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MINUTES
PLANNING & ZONING BOARD
JUNE 21, 2018
6:00PM

- I. **INVOCATION:** Chairwoman Bame called the meeting to order at 6:00 P.M. and led the Pledge of Allegiance. Board member Tom Bradley gave the invocation.
- II. **ROLL CALL:** All Board members present. Present LPG Beliveau, CDD Kelley and Assistant Turner.
- III. **MINUTES FROM PREVIOUS MEETING:** (Approve meeting minutes from May 17, 2018.) Motion to approve May 17, 2018 minutes by Board member Philip Purlee. Second by Board member Colin Crews. Approved 5-0.
- IV. **OLD BUSINESS:** None
- V. **NEW BUSINESS:**
- A. **2018-006 An Ordinance Correcting a Scrivener's Error** (James Phillips ALT Key #2515490)
- a. Correcting the legal description of Ordinance 2016-023

Chairwoman Connie Bame introduced Ordinance as being previously approved; however it did not meet City Commission advertising requirements whereas it comes back to P&Z Board. Motion to approve Ordinance correcting the Scrivener's error on the legal description by Board member Daniel Dicus. Second by Board member Philip Purlee. Approved 5-0.

B. 2018-007 An Ordinance Correcting a Scrivener's Error

a. Correcting the legal description of Ordinance 2016-025

Chairwoman Connie Bame introduced Ordinance as being previously approved; however it did not meet City Commission advertising requirements whereas it comes back to P&Z Board. Motion to approve Ordinance correcting the Scrivener's error on the legal description by Board member Philip Purlee. Second by Board member Colin Crews. Approved 5-0.

C. Resolution 2018-026 Granting a Variance to the LDR's Rule of Rear Setback

a. Applicant Karen Crispin seeking rear setback variance for accessory storage building from 10' to 5'

Applicant Karen Crispin in attendance.

LPG Beliveau gave introduction for the variance application as this is an existing business on Berckman Street which was platted in 1921. The structure was constructed in 1990. The property is 8,001 sqft in size and the applicant would like to add a storage shed in a secure enclosed area behind the current building for security purposes. City code requires a 10' setback and for the applicant to place the storage shed she needs to seek a rear setback variance of 5'. The City does not have an issue recommending approval as there is a protective fence around the area and it is not viewed by the public. Approval would not diminish any required parking spaces. Approval is recommended.

Chairwoman Connie Bame inquired if there were any questions for the Board or the applicant. Board member Philip Purlee inquired if notices were sent to surrounding properties. CDD Kelley stated yes, and made reference to the project folder. LPG Beliveau stated that eighteen (18) letters were mailed out, including the property owner, and notices returned; both were unopposed.

Board member Daniel Dicus made a motion to approve Resolution 2018-026 granting a variance to the LDR's rule of rear setback to 5'. Second by Board member Philip Purlee. Approved 5-0.

D. Village Park Campus of First Baptist Church of Leesburg Major Site Plan

- a. Application for Phases 1 & 2 with associated parking and storm management system to include a variance from Section 162.060 – a.3.C.ii – the 2 foot grass overhang requirement for the 163 vehicle parking spaces that adjoin the sidewalk

LPG Beliveau gave introduction to Major Site Plan Application.

Chairwoman Connie Bame stated that Item D on the Agenda is not applicable, as all is in the scope of the LDR's and is covered in the Major Site Plan. LPG Beliveau stated the variance for the parking spaces is not required as the LDR's allow the parking spaces to be less than eighteen feet (18') as long as the spaces abut a sidewalk that is greater than five feet (5') in width. In this case the sidewalk is seven feet (7') in width and according to the LDR's the parking space may overhang the sidewalk by two feet (2') which makes up the difference; therefore the variance is not required.

CDD Kelley stated a formal vote is required to approve the Site Plan. The PUD and Mass Grading were previously approved. Farner Barley, Engineer of record, is coming to the Board to address the Site Plan application for the First Baptist Church portion of the property only: PH 1. Chairwoman Connie Bame clarified the variance was being proposed in addition to the Site Plan, not as a stand-alone item. LPG Beliveau stated the approval of the variance was proposed with the Site Plan, but is not required. LPG Beliveau recommended approval of the Site Plan as it is in compliance with the LDR's. No other issues have come up other than the parking space width. The number of parking spaces exceeds Land Development Regulations requirements. All Phases of development are shown within the site plan though access is not shown. The other application has been submitted by Westminster Properties, who is providing access from 466A to the site. There have been preliminary comments sent for the second portion (PH 2). As far as this portion (PH 1), the City recommends approval. CDD Kelley inquired if design standards were viewed as well. LPG Beliveau responded with yes. Board member Daniel Dicus inquired if the access plan is firm or if it is able to be altered. LPG Beliveau stated the only current negotiation is with the four-lane road. They were not required to extend the four-lane road past the entrance; going from a four-lane road to a two-lane road will not support the anticipated traffic. The road is shown going through the commercial parcels and the four-way intersection is coming from the circle and

feeding into the church. LPG Beliveau recommends keeping the four lanes throughout due to anticipated traffic flow.

No further discussion or comments.

Motion to approve the Major Site Plan for the Village Park Campus First Baptist Church of Leesburg by Board member Colin Crews. Second by Board Member Daniel Dicus. Approved 5-0.

E. The Glen – Modification of Developer’s Agreement for The Glen with PH 10 Final Plat

- a. Applicant Michel Moukhtara – A.A. Moukhtara Company is requesting approval of Modification of Developer’s Agreement for The Glen with final plat approval for PH 10 of The Glen Subdivision currently under construction

LPG Beliveau gave introduction to the Modification of Developer’s Agreement for The Glen with PH 10 final plat.

Chairwoman Connie Bame stated that the Agreement was previously executed but the process was not completed. LPG Beliveau stated that it was executed under previous direction without being heard before City Commission.

CDD Kelley stated that Board Members were only hearing the Modification of Developer’s Agreement, as the Plat is only in the heading because that is how the application came in. LPG Beliveau stated the agreement was modified last October by previous staff and it has been executed without going through the formal process. The applicant was unaware that the process was left incomplete. Now that PH 10 has been submitted, the Modification of the Developer’s Agreement will be approved prior to the approval of the Final Plat. The Modification of the Developer’s Agreement does have negotiations for playground equipment. Almost all of the roads are already in. The Board will need to move forward with executing the Agreement so the legal process is followed. CDD Kelley stated Item four (4) of the Agreement has been modified. Chairwoman Bame asked if there were any questions.

No further discussion or comments.

Motion to approve the Modification of the Developer's Agreement for The Glen by Board member Philip Purlee. Second by Board member Tom Bradley. Approved 5-0.

BOARD MEMBERS' COMMENTS: No further comments.

ADJOURNMENT: Meeting adjourned at 6:26 P.M.

DRAFT

ORDINANCE 2018-019

**AN ORDINANCE OF THE CITY OF FRUITLAND PARK, FLORIDA,
AMENDING THE DEFINITION OF COMMERCIAL PARKING IN
CHAPTER 151 OF THE *LAND DEVELOPMENT CODE*; PROVIDING
FOR LEGISLATIVE FINDINGS AND INTENT; PROVIDING FOR
DIRECTIONS FOR IMPLEMENTATION; PROVIDING FOR
CONFLICTS, SEVERABILITY; AND AN EFFECTIVE DATE**

WHEREAS, under its home rule powers, the City of Fruitland Park may regulate land use matters of the Land Development Code; and

WHEREAS, the City Commission from time to time provides updates and amendments to the Land Development Code in order to provide proper clear interpretation of adopted regulations within the City; and

WHEREAS, the City Commission of the City of Fruitland Park desires to amend the Fruitland Park Land Development Code; and

WHEREAS, the City Commission of the City of Fruitland Park hereby finds and determines that the provisions of this Ordinance advance a legitimate public purpose and promote and protect the public health, safety, morals and welfare of the public.

NOTE: Underlined words constitute additions to the original text of the *Land Development Code*; ~~strikethroughs~~ constitute deletions to the original text of the *Land Development Code*; and asterisks (***) indicate omissions from the original text of the *Land Development Code* which is intended to remain unchanged.

**NOW, THEREFORE, BE IT ENACTED BY THE CITY COMMISSION OF THE
CITY OF FRUITLAND PARK, FLORIDA, AS FOLLOWS**

SECTION 1. Legislative Findings and Intent. The City of Fruitland Park City Commission has complied with all requirements and procedures of the Florida Law in processing this Ordinance. The above recitals are hereby adopted.

SECTION 2. Implementing Administrative Actions. The City Manager is hereby authorized and directed to take such actions as he may deem necessary and appropriate in order to implement the provisions of this Ordinance. The City Manager may, as deemed appropriate, necessary and convenient, delegate the powers of implementation as herein set forth to such City employees as deemed effectual and prudent.

SECTION 3: Amendments to the City's Land Development Code. The following Land Development Code Sections and Sub-Sections shall be amended:

Note: Underlined words constitute additions while ~~strikethrough~~ constitutes deletions, and asterisks (***) indicate an omission from the existing text which is intended to remain unchanged.

CHAPTER 151

DEFINITIONS AND INTERPRETATIONS

SECTION 151.010: *INTERPRETATIONS OF CERTAIN TERMS AND WORDS****

SECTION 151.020: *DEFINITIONS****

COMMERCIAL PARKING – An area where vehicles, including, but not limited to, automobiles, trucks, recreational vehicles or boats are parked for storage within the appropriate zoning district. Commercial parking does not include the overnight parking of commercial vehicles associated with the on-site business.

SECTION 4. SAVINGS PROVISION. All prior actions of the City of Fruitland Park pertaining to Land Development Code, as well as any and all matters relating thereto, are hereby ratified and affirmed consistent with the provisions of this Ordinance.

SECTION 5. CONFLICTS. All ordinances or part of ordinances in conflict with this Ordinance are hereby repealed; provided, however, that any code or ordinance that provides for an alternative process to effectuate the general purposes of this Ordinance shall not be deemed a conflicting code or ordinance.

SECTION 6. SEVERABILITY. If any section, sentence, phrase, word, or portion of this Ordinance is determined to be invalid, unlawful or unconstitutional, said determination shall not be held to invalidate or impair the validity, force or effect of any other section, sentence, phrase, word, or portion of this Ordinance not otherwise determined to be invalid, unlawful, or unconstitutional.

SECTION 7. EFFECTIVE DATE. This Ordinance shall become effective immediately upon enactment.

PASSED AND ORDAINED in regular session of the City Commission of the City of Fruitland Park, Lake County, Florida, this _____ day of _____, 2018.

Chris Cheshire, Mayor
City of Fruitland Park, Florida

ATTEST:

Approved as to Form:

Esther Coulson, CMC, City Clerk

Anita Geraci-Carver, City Attorney

Vice-Mayor Gunter _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner Ranize _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner Lewis _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Commissioner Bell _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
Mayor Cheshire _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)

Passed First Reading _____
Passed Second Reading _____

(SEAL)

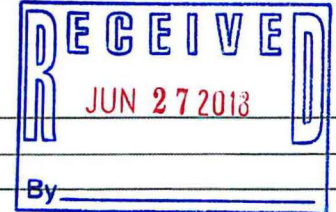


City of Fruitland Park, Florida
Community Development Department
 506 W. Berckman St., Fruitland Park, Florida 34731
 Tel: (352) 360-6727 Fax: (352) 360-6652
 www.fruitlandpark.org

Staff Use Only

Case No.: _____
 Fee Paid: _____
 Receipt No.: _____

Development Application



Contact Information:

Owner Name: Westminster Services, Inc.
Address: 80 W. Lucerne Circle, Orlando, FL 32801
Phone: 407-839-5050 **Email:** rchampany@wservices.org

Applicant Name: Westminster Services, Inc.
Address: 80 W. Lucerne Circle, Orlando, FL 32801
Phone: (407) 839-5050 **Email:** rchampany@wservices.org

Engineer Name: Gregory R. Crawford, P.E.
Address: 5127 S. Orange Avenue, Suite 200, Orlando, FL 32809
Phone: 407-895-0324 **Email:** Gcrawford@feg-inc.us

Property and Project Information:

PROJECT NAME*: Village Park - Entrance Road
 *A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: Fruitland Park, FL 34731

Parcel Number(s): 05-19-24-0003-000022-00-000F **Section:** 05 **Township:** 19 S **Range:** 24 E

Area of Property: 59.96 Acres **Nearest Intersection:** C-468 (Rose Avenue)

Existing Zoning: PUD **Existing Future Land Use Designation:** PUD

Proposed Zoning: N/A **Proposed Future Land Use Designation:** N/A

The property is presently used for: Vacant

The property is proposed to be used for: Commercial, residential, institutional

Do you currently have City Utilities? Yes

Application Type:

- | | | | |
|---|--|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Construction Plan | <input type="checkbox"/> ROW/Plat Vacate |
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Replat of Subdivision | |

Please describe your request in detail: To construct approximately 1,100 feet of entrance road to the Village Park development.

Required Data, Documents, Forms & Fees

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Signature:  Date: 6.26.13

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.



Development Application Checklist

The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd)
- Current Deed
- Aerial Photo
- Property Appraiser Information
- Electronic Copy of Application
- Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through www.lakecountyfl.gov/maps/. Note: All maps are required to depict adjacent properties at a minimum.

Failure to provide adequate maps may delay the application process.

Other Required Analyses and Maps:

Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment
- Environmental Constraints Map
- Requested FLU Map

Large Scale Comprehensive Plan Amendment Applications:

- Maps: Environmental Constraints Soils Requested FLUM Designation Requested Zoning Map Designation
- Analyses: Environmental Assessment Utility Availability Analysis Urban Sprawl Analysis School Impact Analysis
- Traffic Impact Analysis Consistency with the Comp Plan Florida Master Site File sign-off or Archaeological Survey

- Rezoning Applications: Requested Zoning Map Justification for Rezoning

Planned Development Applications:

- Maps/Plans: Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G Environmental Constraints
- Analyses: Environmental Assessment Traffic Impact Analysis Preliminary Concurrency Analysis

- Variance Applications: Justification for Variance

- Special Exception Use Applications: Justification for Special Exception Use
- Site Sketch List of Special Requirements as Described in LDRs, Chapter 155

- Conditional Use Permit Applications: Proposed List of Conditions and Safeguards
- Site Plan as Described in LDRs, Chapter 155 Written Statement as Described in LDRs, Chapter 155

- Subdivision Applications: As Described in LDRs, Chapter 157
(Preliminary Plan, Improvement Plan and Final Plat)

- Minor Subdivision Applications: As Described in LDRs, Chapter 157

- Site Plan Applications: As Described in LDRs, Chapter 160

OWNER'S AFFIDAVIT



STATE OF FLORIDA

COUNTY OF LAKE

Before me, the undersigned authority, personally appeared

Rex Champany, who being by me first duly sworn on oath, deposes and says:

- 1) That he/she is the fee-simple owner of the property legally described on page two of this application.
2) That he/she desires Site Plan Approval to allow The construction of the entrance road to the Village Park development.
3) That he/she has appointed Gregory R. Crawford, P.E., Florida Engineering Group, Inc. to act as agent in his/her behalf to accomplish the above. The owner is required to complete the Applicant's affidavit of this application if no agent is appointed to act in his/her behalf.

[Handwritten signature]
Affiant (Owner's signature)

Signed and sworn to (or affirmed before me on June 27, 2018

(date) by Rex Champany (name of affiant).

He/she is personally known to me or has produced

(type of identification) as

identification.

Marcia L Johnson (Signature of Person Taking Acknowledgment)

Marcia L Johnson (Name of Acknowledger Typed, Printed or Stamped)

Insurance Coordinator (Title or Rank)

(Serial Number, if any)



Marcia L. Johnson
Notary Public, State of Florida
My Comm. Expires Mar. 6, 2022
Commission No. GG 179726

(NOTARY'S SEAL)

LEGAL DESCRIPTION:
(WRITTEN BY SURVEYOR)

That land lying in Sections 5 and 8, Township 19 South, Range 24 East, Lake County, Florida, described as follows:

Commence at the Northeast corner of Villages of Fruitland Park Unit No. 27, according to the plat thereof as recorded in Plat Book 66, Page 42, Public Records of Lake County, Florida, also being a point on the South right of way line of County Road 466-A; thence run S89°14'18"E along said South right of way line, a distance of 739.12 feet for the Point of Beginning; thence continue S89°14'18"E along said South right of way line, a distance of 150.00 feet to a point on a non-tangent curve, concave to the Southeast, having a radius of 25.00 feet; thence from a radial bearing of S00°45'42"W, run Southwesterly along the arc of said curve through a central angle of 90°11'04", an arc distance of 39.35 feet, having a chord bearing of S45°40'10"W and a chord distance of 35.41 feet; thence run S00°34'38"W, a distance of 326.78 feet to the beginning of a curve concave to the West, having a radius of 800.07 feet; thence run Southwesterly along the arc of said curve through a central angle of 28°31'01", an arc distance of 398.20 feet, having a chord bearing of S14°50'08"W and a chord distance of 394.11 feet; thence run S89°25'04"E, a distance of 351.07 feet; thence run S00°34'38"W along the East line of the Southwest 1/4 of the Southwest 1/4 of said Section, a distance of 530.06 feet to the Southeast corner of said Southwest 1/4 of the Southwest 1/4 of Section 5; thence run S89°39'42"E along the North line of the Northeast 1/4 of the Northwest 1/4 of Section 8, a distance of 1330.49 feet to the Northeast corner of the Northeast 1/4 of the Northwest 1/4 of said section 8; thence run S00°44'42"W along the East line of said Northeast 1/4 of the Northwest 1/4 of Section 8, a distance of 1343.27 feet to the Southeast corner of said Northeast 1/4 of the Northwest 1/4 of Section 8; thence run N89°40'49"W along the North line of the Southeast 1/4 of the Northwest 1/4 of said Section 8, a distance of 1331.19 feet to the Southwest corner of said Northeast 1/4 of the Northwest 1/4 of Section 8; thence run S00°46'31"W along the West line of said Southeast 1/4 of the Northwest 1/4 of Section 8, a distance of 917.29 feet; thence run N48°08'07"W, a distance of 53.49 feet to the beginning of a curve concave to the Northeast, having a radius of 353.53 feet; thence run Northwesterly along the arc of said curve through a central angle of 48°53'35", an arc distance of 301.68 feet, having a chord bearing of N23°41'20"W and a chord distance of 292.61 feet; thence run N00°45'27"E, a distance of 83.40 feet to the beginning of a curve concave to the Southwest, having a radius of 301.31 feet; thence run Northwesterly along the arc of said curve through a central angle of 93°13'50", an arc distance of 301.31 feet, having a chord bearing of N45°51'28"W and a chord distance of 437.95 feet; thence run N00°46'26"E, a distance of 277.84 feet; thence run S89°40'53"E, a distance of 381.67 feet; thence run N51°10'07"E, a distance of 62.26 feet to a point on a non-tangent curve concave to the Southeast, having a radius of 131.00 feet; thence from a radial bearing of N71°59'15"E, run Northeasterly along the arc of said curve through a central angle of 99°12'01", an arc distance of 226.81 feet, having a chord bearing of N31°35'16"E and a chord distance of 199.52 feet; thence run N02°20'25"E, a distance of 188.36 feet; thence run N02°26'46"W, a distance of 65.30 feet; thence run N06°23'37"W, a distance of 34.32 feet; thence run N51°52'42"W, a distance of 176.94 feet; thence run N48°08'57"W, a distance of 103.47 feet; thence run S86°42'49"W, a distance of 212.31 feet; thence run N00°47'50"E, a distance of 251.35 feet; thence run S89°12'10"E, a distance of 9.70 feet; thence run N00°43'00"E, a distance of 231.45 feet; thence run S89°17'00"E, a distance of 132.92 feet; thence run N26°11'59"W, a distance of 109.71 feet to the beginning of a curve

concave to the Southwest, having a radius of 439.44 feet; thence run Northwesterly along the arc of said curve through a central angle of $19^{\circ}00'15''$, an arc distance of 145.75 feet, having a chord bearing of $N35^{\circ}28'37''W$ and a chord distance of 145.09 feet to a point of reverse curvature of a curve concave to the Northeast, having a radius of 539.33 feet; thence run Northwesterly along the arc of said curve through a central angle of $22^{\circ}52'42''$, an arc distance of 215.36 feet, having a chord bearing of $N33^{\circ}32'23''W$ and a chord distance of 213.93 feet to a point of reverse curvature of a curve concave to the Southwest, having a radius of 50.00 feet; thence run Northwesterly along the arc of said curve through a central angle of $56^{\circ}39'08''$, an arc distance of 49.44 feet, having a chord bearing of $N50^{\circ}25'36''W$ and a chord distance of 47.45 feet to a point of reverse curvature of a curve concave to the East, having a radius of 131.00 feet; thence run Northerly along the arc of said curve through a central angle of $172^{\circ}57'28''$, an arc distance of 395.45 feet, having a chord bearing of $N07^{\circ}43'34''E$ and a chord distance of 261.51 feet; to a point of reverse curvature of a curve concave to the Northwest, having a radius of 50.00 feet; thence run Northeasterly along the arc of said curve through a central angle of $62^{\circ}53'01''$, an arc distance of 54.88 feet, having a chord bearing of $N62^{\circ}45'47''E$ and a chord distance of 52.16 feet to a point of compound curvature of a curve concave to the West, having a radius of 700.07 feet; thence run Northeasterly along the arc of said curve through a central angle of $30^{\circ}44'39''$, an arc distance of 375.65 feet, having a chord bearing of $N15^{\circ}56'57''E$ and a chord distance of 371.16 feet; thence run $N00^{\circ}34'38''E$, a distance of 327.27 feet to the beginning of a curve concave to the Southwest, having a radius of 25.00 feet; thence run Northwesterly along the arc of said curve through a central angle of $89^{\circ}48'55''$, an arc distance of 39.19 feet, having a chord bearing of $N44^{\circ}19'49''W$ and a chord distance of 35.30 feet to the Point of Beginning.

Contains 59.956 Acres, more or less.

Prepared by and return to:

Robert Q. Williams
Williams, Smith & Summers
380 West Alfred Street
Tavares, FL 32778
352-343-6655
File Number: 17380

[Space Above This Line For Recording Data]

Special Warranty Deed

This Special Warranty Deed made this 25 day of May, 2018 between First Baptist Church of Leesburg, Inc., a Florida not-for-profit corporation whose post office address is 220 North 13th Street, Leesburg, FL 34748, grantor, and Presbyterian Retirement Communities, Inc., a Florida not-for-profit corporation whose post office address is 80 West Lurcerne Circle, Orlando, FL 32801, grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Lake County, Florida, to-wit:

That land lying in Sections 5 and 8, Township 19 South, Range 24 East, Lake County, Florida, described as follows:

Commence at the Northeast corner of Villages of Fruitland Park Unit No. 27, according to the plat thereof as recorded in Plat Book 66, Page 42, Public Records of Lake County, Florida, also being a point on the South right of way line of County Road 466-A; thence run S89°14'18"E along said South right of way line, a distance of 739.12 feet for the Point of Beginning; thence continue S89°14'18"E along said South right of way line, a distance of 150.00 feet to a point on a non-tangent curve, concave to the Southeast, having a radius of 25.00 feet; thence from a radial bearing of S00°45'42"W, run Southwesterly along the arc of said curve through a central angle of 90°11'04, an arc distance of 39.35 feet, having a chord bearing of S45°40'10"W and a chord distance of 35.41 feet; thence run S00°34'38"W, a distance of 326.78 feet to the beginning of a curve concave to the West, having a radius of 800.07 feet; thence run Southwesterly along the arc of said curve through a central angle of 28°31'01", an arc distance of 398.20 feet, having a chord bearing of S14°50'08"W and a chord distance of 394.11 feet; thence run S89°25'04"E, a distance of 351.07 feet; thence run S00°34'38"W along the East line of the Southwest 1/4 of the Southwest 1/4 of said Section, a distance of 530.06 feet to the Southeast corner of said Southwest 1/4 of the Southwest 1/4 of Section 5; thence run S89°39'42"E along the North line of the Northeast 1/4 of the Northwest 1/4 of Section 8, a distance of 1330.49 feet to the Northeast corner of the Northeast 1/4 of the Northwest 1/4 of said section 8; thence run S00°44'42"W along the East line of said Northeast 1/4 of the Northwest 1/4 of Section 8, a distance of 1343.27 feet to the Southeast corner of said Northeast 1/4 of the Northwest 1/4 of Section 8; thence run N89°40'49"W along the North line of the Southeast 1/4 of the Northwest 1/4 of said Section 8, a distance of 1331.19 feet to the Southwest corner of said Northeast 1/4 of the Northwest 1/4 of Section 8; thence run S00°46'31"W along the West line of said Southeast 1/4 of the Northwest 1/4 of Section 8, a distance of 917.29 feet; thence run N48°08'07"W, a distance of 53.49 feet to the beginning of a curve concave to the Northeast, having a radius of 353.53 feet; thence run Northwesterly along the arc of said curve through a central angle of 48°53'35", an arc distance of 301.68 feet, having a chord bearing of N23°41'20"W and a chord distance of 292.61 feet; thence run N00°45'27"E, a distance of 83.40 feet to the beginning of a curve concave to the Southwest, having a radius of 301.31 feet; thence run Northwesterly along the arc of said curve through a central angle of 93°13'50", an arc distance of 301.31 feet, having a chord bearing of N45°51'28"W and a chord distance of 437.95 feet; thence run N00°46'26"E, a distance of 277.84 feet; thence run S89°40'53"E, a distance of 381.67 feet; thence run N51°10'07"E, a distance of 62.26 feet to a point on a non-tangent curve concave to the Southeast, having a radius of 131.00 feet; thence from a radial bearing of N71°59'15"E, run Northeasterly along the arc of said curve through a central angle of 99°12'01', an arc distance of 226.81 feet, having a chord bearing of N31°35'16"E and a chord distance of 199.52 feet; thence run N02°20'25"E, a distance of 188.36 feet; thence run N02°26'46"W, a distance of 65.30 feet; thence run N06°23'37"W, a distance of 34.32 feet; thence run N51°52'42"W, a distance of 176.94 feet; thence run N48°08'57"W, a distance of 103.47 feet; thence run S86°42'49"W, a distance of 212.31 feet; thence run N00°47'50"E, a distance of 251.35 feet; thence run S89°12'10"E, a distance of 9.70 feet; thence run N00°43'00"E, a distance of 231.45 feet; thence run S89°17'00"E, a distance of 132.92 feet; thence run N26°11'59"W, a distance of 109.71 feet to the beginning of a curve concave to the Southwest, having a radius of 439.44 feet; thence run Northwesterly along the arc of said curve through a central angle of 19°00'15", an arc distance of 145.75 feet, having a chord bearing of N35°28'37"W and a chord distance of 145.09 feet to a point of reverse curvature of a curve concave to the Northeast, having a radius of 539.33 feet; thence run Northwesterly along the arc of said curve through a central angle of 22°52'42", an arc distance of 215.36 feet, having a chord bearing of N33°32'23"W and a chord distance of 213.93 feet to a point of reverse curvature of a curve concave to the Southwest, having a radius of 50.00 feet; thence run Northwesterly along the arc of said curve

through a central angle of 56°39'08", an arc distance of 49.44 feet, having a chord bearing of N50°25'36"W and a chord distance of 47.45 feet to a point of reverse curvature of a curve concave to the East, having a radius of 131.00 feet; thence run Northerly along the arc of said curve through a central angle of 172°57'28", an arc distance of 395.45 feet, having a chord bearing of N07°43'34"E and a chord distance of 261.51 feet; to a point of reverse curvature of a curve concave to the Northwest, having a radius of 50.00 feet; thence run Northeasterly along the arc of said curve through a central angle of 62°53'01", an arc distance of 54.88 feet, having a chord bearing of N62°45'47"E and a chord distance of 52.16 feet to a point of compound curvature of a curve concave to the West, having a radius of 700.07 feet; thence run Northeasterly along the arc of said curve through a central angle of 30°44'39", an arc distance of 375.65 feet, having a chord bearing of N15°56'57"E and a chord distance of 371.16 feet; thence run N00°34'38"E, a distance of 327.27 feet to the beginning of a curve concave to the Southwest, having a radius of 25.00 feet; thence run Northwesterly along the arc of said curve through a central angle of 89°48'55", an arc distance of 39.19 feet, having a chord bearing of N44°19'49"W and a chord distance of 35.30 feet to the Point of Beginning.

Contains 59.956 Acres, more or less.

Parcel Identification Number: 0519240003-000-02200

Subject to taxes for 2018 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantors.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

First Baptist Church of Leesburg, Inc., a Florida non-profit corporation

Witness Name: NEIL STEWART

By: Arthur A. Ayris, Vice President

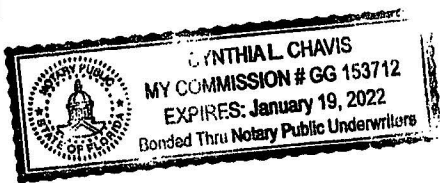
(Corporate Seal)

Witness Name: Robert Williams

County of Lake

The foregoing instrument was acknowledged before me this 25th day of May, 2018 by Arthur A. Ayris, Vice President of First Baptist Church of Leesburg, Inc., a Florida non-profit corporation, on behalf of the corporation. He is personally known to me or has produced _____ as identification.

[Notary Seal]



Notary Public Cynthia L. Chavis
Printed Name: Cynthia L. Chavis

My Commission Expires: _____



PROJECT SITE

MILLER BLVD

PINE RIDGE DAIRY RD

PROJECT NAME:
WESTMINSTER VILLAGES

AERIAL PHOTOGRAPHY MAP

CLIENT:
FIRST BAPTIST CHURCH OF LEESBURG



**FLORIDA
ENGINEERING
GROUP**

Engineering the Future

5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325

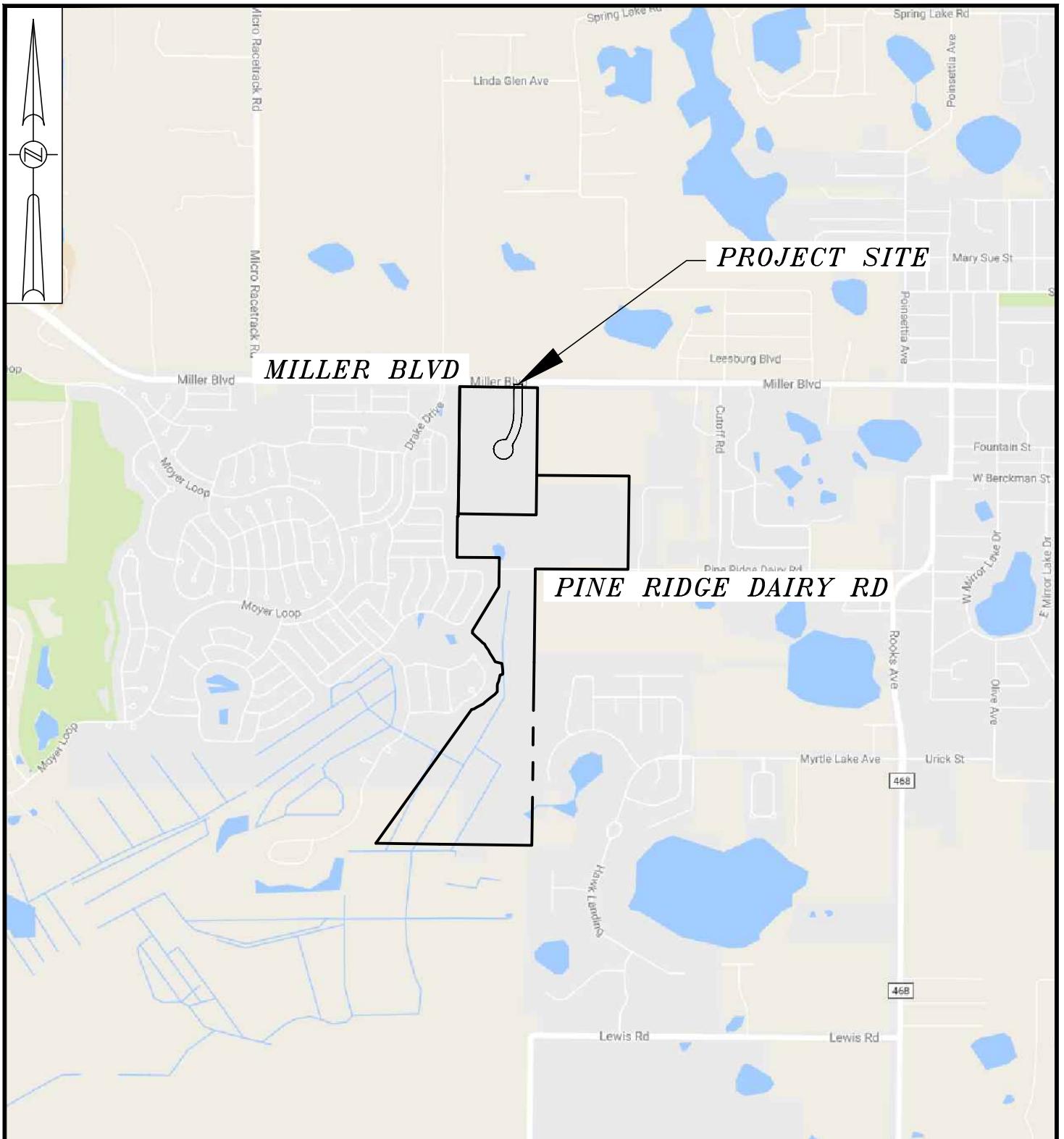
www.feg-inc.us

S, T, R:
S 05; T 19S; R 24E

F.E.G. PROJECT NO.:
16-043

DATE:
JANUARY 03, 2018

SCALE:
1 : 1,000



PROJECT NAME:
WESTMINSTER VILLAGES

SITE LOCATION MAP

CLIENT:
FIRST BAPTIST CHURCH OF LEESBURG



FLORIDA ENGINEERING GROUP
Engineering the Future

5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
www.feg-inc.us

S, T, R:
S 05; T 19S; R 24E

F.E.G. PROJECT NO.:
16-043

DATE:
JANUARY 03, 2018

SCALE:
1 : 2,000

Select Language ▼

PROPERTY RECORD CARD

General Information

Owner Name:	FIRST BAPTIST CHURCH OF LEESBURG INC	Alternate Key:	1287863
Mailing Address:	220 N 13TH ST LEESBURG, FL 34748-4962 Update Mailing Address	Parcel Number:	05-19-24- 000300002200 000F (FRUITLAND PARK)
		Millage Group and City:	(FRUITLAND PARK)
		Total Certified Millage Rate:	17.8504
		Trash/Recycling/Water/Info:	My Public Services Map ⓘ
Property Location:	PINE RIDGE DAIRY RD FRUITLAND PARK FL 34731 Update Property Location ⓘ	Property Name:	-- Submit Property Name ⓘ
		School Locator:	School and Bus Map ⓘ
Property Description:	FROM NW COR OF SEC 8-19-24 RUN S 89-39-50 E 200 FT FOR POB, RUN S 0-47-54 W 1184.03 FT TO N LINE OF S 160 FT OF NW 1/4 OF NW 1/4 OF SAID SEC 8, S 89-40-49 E 611.54 FT, S 0-46-30 W 425.68 FT, S 31-15-56 W 733.08 FT, S 0-47-54 W 35.45 FT, S 43-54-50 E 75.41 FT, S 49-19-38 E 80.87 FT, S 45-31-17 E 45.42 FT, S 57-57-35 E 31.06 FT, S 27-16-42 E 46.23 FT, S 36-0-06 E 62.89 FT, S 26-28-20 E 49.91 FT, S 32-28-21 E 80.27 FT, S 29-57-55 E 60.93 FT, S 75-47-10 E 99.18 FT, S 07-22-59 E 55.03 FT, S 04-58-53 E 28.31 FT, S 03-51-23 E 57.52 FT, S 03-23-32 W 15.26 FT, S 75-48-45 W 38.64 FT, S 12-05-0 W 92.40 FT, S 24-08-42 W 41.93 FT, S 11-20-47 W 21.80 FT, S 0-21-45 W 90.73 FT, S 40-46-06 W 53.01 FT, S 53-05-55 W 104.34 FT, S 49-53-36 W 70.59 FT, S 48-18-47 W 37.84 FT, S 61-43-23 W 48.54 FT, S 62-49-12 W 50.56 FT, S 59-14-26 W 52.64 FT, S 70-58-32 W 38.87 FT, S 35-38-27 W 2364.05 FT TO S LINE OF SE 1/4 OF SEC 7-19-24, S 89-06-25 E 914.79 FT TO SW COR OF SW 1/4 OF SEC 8, CONT S 89-14-24 E 1330.47 FT TO E LINE OF W 1/4 OF SEC 8, N 0-42-44 E 2636.42 FT, N 0-46-31 E 1343.41 FT TO SW COR OF NE 1/4 OF NW 1/4 OF SEC 8, S 89-40-49 E 1331.19 FT TO SE COR OF NE 1/4 OF NW 1/4, N 0-44-42 E 1343.27 FT TO NE COR OF NE 1/4 OF NW 1/4, N 89-39-42 W 1330.49 FT TO SE COR OF SW 1/4 OF SW 1/4 OF SEC 5-19-24, N 0-34-38 E 1263.10 FT TO S'LY R/W LINE OF CR 466-A, N 89-14-18 W ALONG SAID S'LY R/W LINE 1122.82 FT TO E LINE OF W 200 FT OF SW 1/4 OF SW 1/4 OF SEC 5, S 0-56-55 W 1271.51 FT TO POB--LESS E 10 FT OF W 210 FT OF SW 1/4 OF SW 1/4 LYING S OF CR 466-A OF SEC 4 & LESS N 595 FT OF E 10 FT OF W 210 FT OF NW 1/4 OF NW 1/4 OF SEC 8, ALL BEING IN		

WESTMINSTER PINE RIDGE ROADWAY & UTILITY DEVELOPMENT CONSTRUCTION PLANS CITY OF FRUITLAND PARK, FLORIDA

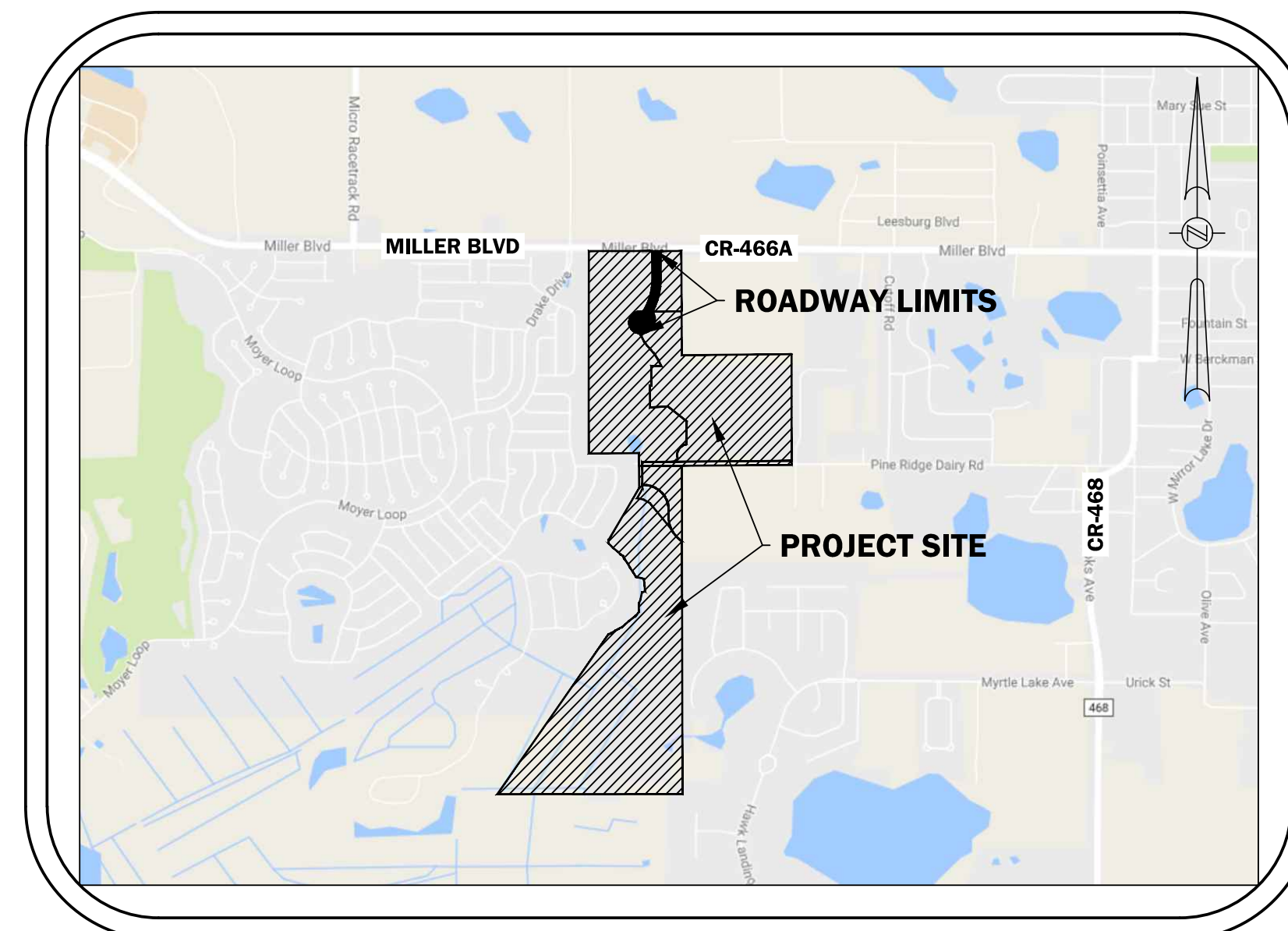
PARCEL ID: 05-19-24-0003-000022-00-000F

PLAN INDEX

**OWNER/
APPLICANT:** PRESBYTERIAN RETIREMENT
COMMUNITIES, INC.
80 W. LUCERNE CIRCLE
ORLANDO, FL 32801
PHONE: (407) 839-5050

SURVEYOR: FARNER BARLEY & ASSOCIATES, INC.
4450 NE. 83RD ROAD
WILDWOOD, FL 34785
PHONE: (352) 784-3126

SURVEYOR: SHANNON SURVEYING, INC.
499 NORTH S.R. 434 - SUITE 2045
ALTAMONTE SPRINGS, FL 32714
PHONE: (407) 774-8372



SITE VICINITY MAP
SCALE: N.T.S

THESE PLANS ARE PREPARED BASED ON
THE NAVD 88 DATUM

Sheet Number	Sheet Title
C-1	COVER
C-2	GENERAL NOTES
C-3	PERMITTED CONDITIONS
C-4	SURVEY (1 of 2)
C-5	SURVEY (2 of 2)
C-6	SITE DEMOLITION AND STORMWATER POLLUTION PREVENTION PLAN
C-7	TYPICAL ROAD SECTION
C-8	OVERALL ROADWAY PLAN
C-9	ENTRANCE ROAD - SITE GEOMETRY, SIGNING AND MARKING PLAN
C-10	ENTRANCE ROAD - PLAN AND PROFILE
C-11	GRAVITY SEWER TO LIFT STATION & FORCE MAIN PLAN-PROFILE
C-12	CR-466A ROAD IMPROVEMENTS PLAN (PHASE 1)
C-12A	CR-466A ROAD IMPROVEMENTS PLAN (PHASE 2)
C-13	STANDARD DETAILS (1 of 2)
C-14	STANDARD DETAILS (2 of 2)
C-15	LIFT STATION DETAIL (1 of 2)
C-16	LIFT STATION DETAIL (2 of 2)
C-17	SITE LANDSCAPE PLAN
C-18	SITE IRRIGATION PLAN

UTILITY COMPANIES

WATER: (352) 360-6727
SEWER: (352) 360-6727
ELECTRIC: (352) 728-9800
TELEPHONE: (800) 788-3500
CABLE: (352) 787-7875

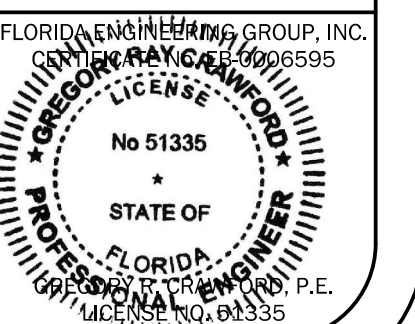
CITY OF FRUITLAND PARK UTILITY DEPT.
CITY OF FRUITLAND PARK UTILITY DEPT.
CITY OF LEESBURG, ELECTRIC DEPARTMENT
CENTURYLINK
COMCAST CABLE



Engineering the Future

5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325

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GENERAL NOTES:

- THESE GENERAL NOTES APPLY TO ALL WORK IN THIS SET OF DRAWINGS.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL CONDITIONS CONTAINED THEREIN.
- THE SPECIFICATIONS, NOTES, AND PLANS CALL ATTENTION TO CERTAIN REQUIRED FEATURES OF THE CONSTRUCTION BUT DO NOT PURPORT TO COVER ALL DETAILS OF DESIGN AND CONSTRUCTION. HOWEVER, THE CONTRACTOR SHALL FURNISH & INSTALL THE WORK IN ALL DETAILS AND READY FOR OPERATION.
- ALL EQUIPMENT SHALL BE HANDLED, STORED, INSTALLED, TESTED, AND OPERATED IN STRICT ACCORDANCE WITH THE APPLICABLE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ALL WORK SHALL BE ACCOMPLISHED TO THE HIGHEST QUALITY CRAFTSMANSHIP STANDARDS AS APPROVED BY THE ENGINEER.
- ALL WORK SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS.
- APPARENT ERRORS, DISCREPANCIES, OR OMISSIONS ON THE DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION BEFORE BIDDING.
- AFTER COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PERFORM SITE CLEAN-UP OPERATIONS FOR REMOVAL OF ALL TRASH, DEBRIS, EXCESS MATERIAL, AND EQUIPMENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESENT THE PROJECT SITE CLEAN AND IN GOOD ORDER AT THE TIME OF FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS, AND SPECIFICATIONS OF LAKE COUNTY FOR SITE IMPROVEMENT IN THE ABSENCE OF A PARTICULAR REQUIREMENT.
- FLORIDA LAW (F.S. 553.851) PROTECTION OF UNDERGROUND PIPELINES MANDATES THAT "NO EXCAVATOR SHALL COMMENCE OR PERFORM ANY EXCAVATION IN ANY PUBLIC OR PRIVATE STREET, ALLEY, OR RIGHT-OF-WAY DEDICATED TO THE PUBLIC USE, OR GAS UTILITY EASEMENT WITHOUT FIRST OBTAINING INFORMATION CONCERNING THE POSSIBLE LOCATION OF GAS PIPELINES IN THE AREA OF THE PROPOSED EXCAVATION. THIS INCLUDES ANY OPERATION UTILIZING HAND TOOLS OR POWER TOOLS WHICH MOVES OR REMOVES ANY STRUCTURE, EARTH, ROCK, OR OTHER MASS OF MATERIAL BY SUCH METHODS AS DIGGING, BACKFILLING, DEMOLITION, GRADING, DRILLING, BORING, AND CABLE PLOWING. THE EXCAVATOR MUST NOTIFY THE GAS UTILITY A MINIMUM OF 48 HOURS AND A MAXIMUM OF 5 DAYS PRIOR TO EXCAVATING (EXCLUDING SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS).
- CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS; INCLUDING BUT NOT LIMITED TO WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV COMPANIES.
- ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON, OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE ENGINEER AND OWNER.
- THE CONTRACTOR SHALL FURNISH OWNER WITH ACCURATE RECORD DRAWINGS PREPARED BY A LICENSED PROFESSIONAL SURVEYOR SHOWING AS-CONSTRUCTED HORIZONTAL AND VERTICAL DIMENSIONING OF THE WORK. THE SUBMITTAL COPY OF THE RECORD DRAWINGS WILL NOT BE RETURNED. THE RECORD DRAWING OR A REPRODUCIBLE COPY PREPARED BY THE ENGINEER SHALL BE CERTIFIED BY THE CONTRACTOR AS CORRECT. ALL INFORMATION WHICH IS UNCHANGED AND CURRENT SHALL BE NOTED BY CHECKING OFF OR CIRCULING. ALL REVISED INFORMATION SHALL BE CROSSED THROUGH AND NEW DATA ADDED. ADDITIONAL REQUIREMENTS ARE NOTED IN PAVING, GRADING, DRAINAGE, WATER, AND SEWER NOTES.
- ALL PRIVATE AND PUBLIC PROPERTIES AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN PREPARING THE SITE FOR CONSTRUCTION; THIS INCLUDES REMOVAL OF ANY EXISTING ORGANIC SOILS, DELETERIOUS MATERIAL, VEGETATION, AND/OR DEBRIS FROM WITHIN THE LIMITS OF CONSTRUCTION AS IDENTIFIED BY THE GEOTECHNICAL ENGINEER; PROOFROLLING OF THE NATURAL SOILS WHERE REQUIRED; AND OTHER GENERAL SITE PREPARATION REQUIREMENTS. SPECIFIC PROOFROLLING COMPACTION REQUIREMENTS SHOULD BE CONSISTENT WITH THE APPLICABLE DESIGN DOCUMENTS AND GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF THERE IS A CONFLICT BETWEEN THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND THE DESIGN DOCUMENTS, THE MORE STRINGENT REQUIREMENT SHALL APPLY.

GEOMETRY NOTES:

- THESE PLANS ARE BASED ON A SURVEY PREPARED FOR THE OWNER BY FARNER BARLEY AND ASSOCIATES, INC. DATED JULY 07, 2017, AND SHANNON SURVEYING, INC. REVISED JANUARY 03, 2018
- REFER TO SHEET C-2 FOR REFERENCED BENCHMARK.
- CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE & CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL & VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY APPARENT DISCREPANCIES ARE FOUND.
- ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY THE ACCURACY OF THE BUILDING GEOMETRY SHOWN WITH THAT IN THE FINAL ARCHITECTURAL DRAWINGS, PRIOR TO STAKE-OUT, & SHALL NOTIFY OWNER & ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

MARKING, STRIPING, & SIGNAGE NOTES:

- ALL MARKINGS MUST COMPLY WITH THE F.D.O.T. ROADWAY & TRAFFIC DESIGN STANDARDS, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND THE CITY OF FRUITLAND PARK LAND DEVELOPMENT CODE. PARKING SPACES MAY BE F.D.O.T. RATED PAINT. ALL OTHER MARKINGS MUST BE THERMOPLASTIC.
- HANDICAP PARKING SPACES SHALL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND OTHER APPLICABLE STANDARDS. REFER TO F.D.O.T. ROADWAY & TRAFFIC DESIGN STANDARDS INDEX 17355 FOR HANDICAP SYMBOL.
- HANDICAP SIGN SHALL BE F.D.O.T. SPECIFICATION FTP 25.

PAVING, GRADING, & DRAINAGE NOTES:

- ALL CONSTRUCTION, INCLUDING SIDEWALKS, SHALL BE IN ACCORDANCE WITH CITY OF FRUITLAND PARK CONSTRUCTION SPECIFICATIONS AND OTHER GENERAL AND SPECIAL SPECIFICATIONS, AND THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, UNLESS STATED OTHERWISE IN THE SPECIFICATIONS OR ON THE PLANS.
- SUBSURFACE INFORMATION PROVIDED WITH THESE DRAWINGS WAS OBTAINED FOR USE IN ESTABLISHING DESIGN CRITERIA FOR THE PROJECT. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED AND IS NOT TO BE CONSTRUED AS PART OF THE PLANS GOVERNING CONSTRUCTION OF THE PROJECT.
- THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY, PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR FIELD LOCATIONS AND FOR ANY RELOCATIONS OF THE VARIOUS EXISTING UTILITIES WITH THE UTILITY OWNERS, WHICH SHALL BE DONE IN A TIMELY FASHION TO MINIMIZE IMPACT ON THE CONSTRUCTION SCHEDULE. ANY DELAY OR INCONVENIENCE CAUSED THE CONTRACTOR BY THE RELOCATION OF THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- ALL FILL MATERIAL IN GENERAL IMPROVEMENT AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE SOIL'S MODIFIED PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180. REFER TO PAVEMENT SECTION DETAILS FOR MATERIAL AND COMPACTION REQUIREMENTS OF PAVEMENT SUBGRADE.
- ALL UNDERGROUND UTILITIES INCLUDING CONDUIT FOR ELECTRICAL, CABLE TV, AND TELEPHONE SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY PROBLEMS REQUIRING DEVIATION FROM THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS OF ALL MAJOR ITEMS PROPOSED FOR THIS PROJECT TO THE ENGINEER PRIOR TO ORDERING ANY OF THE EQUIPMENT. UPON THE CONTRACTOR'S RECEIPT OF APPROVED SHOP DRAWINGS FROM THE ENGINEER, THE CONTRACTOR MAY PROCEED WITH THE WORK.
- ALL DISTURBED AREAS MUST BE SODDED UNLESS OTHERWISE NOTED ON THE PLANS. ALL SODDING MUST BE DONE IN ACCORDANCE WITH SECTION 570 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION.
- PROVIDE HANDICAP ACCESS WHERE SIDEWALKS MEET CURBS.

EROSION CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH CITY OF FRUITLAND PARK SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONAL CHANGES.
- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
- CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN AT THE PRE-CONSTRUCTION MEETING. THE CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES IN CONTROLLING EROSION AND SEDIMENTATION DURING CONSTRUCTION.
- ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
- PRIOR TO LAND CLEARING THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF CITY OF FRUITLAND PARK.
- THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION AND STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.

WATER & SEWER UTILITY NOTES:

- CONTRACTOR SHALL COORDINATE WITH CITY OF FRUITLAND PARK FOR CONSTRUCTION OF THE WATER AND SEWER SYSTEMS, RESPECTIVELY. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THEIR SPECIFICATIONS AND REQUIREMENTS, AS APPLICABLE AND WILL BE SUBJECT TO THEIR INSPECTION AND ACCEPTANCE.
- CONTRACTOR SHALL COORDINATE ALL WATER AND SEWER SYSTEM TEST SCHEDULING TO ALLOW ENGINEER'S ATTENDANCE AND PROVIDE FIVE (5) WORKING DAYS NOTICE OF WATER AND SEWER TESTS. CONTRACTOR'S FAILURE TO PROPERLY NOTIFY ENGINEER MAY RESULT IN RETESTING AT ENGINEER'S OPTION AND AT CONTRACTOR'S EXPENSE.
- ENGINEER RESERVES THE RIGHT TO WITHHOLD APPROVAL FOR ANY PORTION OF THE WATER OR SEWER PIPE WORK WHICH HAS NOT BEEN TESTED (OBSERVED BY ENGINEER) AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS.
- SITE CONTRACTOR SHALL COORDINATE AND VERIFY ALL UTILITY SERVICES WITH FINAL ARCHITECTURAL DRAWINGS AND BUILDING CONTRACTOR.
- CONTRACTOR SHALL VERIFY SIZE AND TYPE OF EXISTING MAIN PRIOR TO ORDERING TAPPING MATERIALS FOR TIE-INS.
- CONTRACTOR SHALL MAINTAIN A SET OF RECORD DRAWINGS MARKED UP WITH HORIZONTAL AND VERTICAL AS-BUILT INFORMATION ON LOCATION OF WATER MAINS, FITTINGS, AND WATER SERVICES LOCATED FROM CENTERLINE OF NEAREST FIRE HYDRANT OR NEAREST MANHOLE.
- SITE UTILITY WORK SHALL TERMINATE 5 FEET FROM BUILDINGS UNLESS OTHERWISE STATED.
- CONTRACTOR SHALL NOT ACTIVATE WATER SERVICE UNTIL THE FDEP HAS CLEARED THE SYSTEM FOR USE AND THE CLEARANCE LETTER HAS BEEN RECEIVED BY THE OWNER.

F.D.E.P. CONSTRUCTION NOTES:

UTILITY SEPARATION - VERTICAL CLEARANCE:

- NEW OR RELOCATED UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12" BELOW THE OTHER PIPELINE, AND NEW OR RELOCATED UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE.
- AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE OR THE PIPES. SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE OR THE PIPES. SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

UTILITY SEPARATION HORIZONTAL SEPARATION:

- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III CHAPTER 62-610, F.A.C.; A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER IF THE BOTTOM OF THE WATER MAIN WILL BE LAID AT LEAST (6") SIX INCHES ABOVE THE TOP OF THE SEWER); A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM."
- THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING OF ALL NEWLY-INSTALLED WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE CITY OF FRUITLAND PARK & IN ACCORDANCE WITH AWWA STANDARD C600 FOR DUCTILE-IRON PIPE. TESTING SHALL BE IN ACCORDANCE WITH AWWA MANUAL M23 FOR PVC PIPE.
- THE CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE F.D.E.P. WATER PERMIT, & RECEIVE APPROVAL THEREOF FROM THE LOCAL WATER UTILITY, ENGINEER OF RECORD, & F.D.E.P., PRIOR TO PLACING IN SERVICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE F.D.E.P. WATER & SEWER PERMITS FROM THE PERMITS FROM THE OWNER & MAINTAIN THEM ON THE JOB SITE AT ALL TIMES. DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA 651 "DISINFECTING WATER MAINS". SHALL BE PERFORMED IN ACCORDANCE WITH AWWA 651 "DISINFECTING WATER MAINS".

CONSTRUCTION NOTES:

- THE PERMITTEE SHALL BE SEPARATELY RESPONSIBLE FOR APPROPRIATE CONSTRUCTION, DISINFECTION & TESTING BEYOND THE METER TO ASSURE POTABILITY AT THE POINT OF USE.
- POTABLE WATER PIPES WILL BE DISINFECTED IN ACCORDANCE WITH AWWA SPECIFICATIONS C651.
- POTABLE PIPES WILL BE HYDROSTATICALLY TESTED IN ACCORDANCE WITH SPECIFICATION NUMBERS C600 & C605/M23 FOR DUCTILE IRON & PVC PIPES, RESPECTIVELY.
 - POTABLE WATER PIPES MUST BE MANUFACTURED IN ACCORDANCE WITH THE FOLLOWING AWWA SPECIFICATIONS:
 - DUCTILE IRON PIPE (3" TO 64") - AWWA C150/AWWA C151; LINING PER AWWA C104, COATING PER AWWA C116, ENCASEMENT PER AWWA C105, FLANGED PIPE PER AWWA C115, GASKET JOINTS PER AWWA C111 AND FITTINGS PER AWWA C110 OR AWWA C113.
 - PVC (WITH NATIONAL SANITATION FOUNDATION SEAL)
 - AWWA C900/ASTM 1784 (4" TO 12") WITH DR25 MINIMUM;
 - AWWA C905 (14" TO 48")
 - PRESSURE RATED PIPE (SDR SERIES) SHALL BE ASTM D2241, SCHEDULE 40, 80, & 120 PVC PIPES PER ASTM D1785. THE COMPOUNDS USED FOR EITHER OF THESE TYPES SHALL BE PER ASTM D1784.
 - POLYETHYLENE PIPE (1/2" - 3") - AWWA C901 WITH VALVES & FITTINGS (AWWA C800);
 - POLYETHYLENE PIPE (4" - 63") - AWWA C906.
 - FIRE HYDRANTS & VALVES PER AWWA SERIES C500 THROUGH C560.
 - METERS PER AWWA SERIES C700 THROUGH C710.
 - NON-AWWA PVC PIPES (ALLOWED ONLY FOR SIZES LESS THAN 4 INCHES) MUST HAVE A MINIMUM PRESSURE CLASS OF 200 PSI AND MUST BEAR THE NSF MARK ON EACH INSTALLED LENGTH.

CONNECTION TO EXISTING WATER MAINS:

- IF CONNECTION OF THE PROPOSED ACTIVITY TO THE WATER MAIN WILL RESULT IN DEPRESSURIZATION OF THE EXISTING SYSTEM BELOW 20 POUNDS PER SQUARE INCH, ONE OF THE FOLLOWING MUST OCCUR:
 - PRECAUTIONARY BOIL WATER NOTICES MUST BE ISSUED IN CASES OF PLANNED DISTRIBUTION INTERRUPTIONS, WHICH DEEMED AN IMMINENT PUBLIC HEALTH THREAT BY THE D.E.P. CENTRAL DISTRICT OR WILL AFFECT BACTERIOLOGICAL QUALITY OF THE DRINKING WATER UNLESS THE PUBLIC WATER SYSTEM CAN DEMONSTRATE, BY SOUND ENGINEERING JUDGMENT, THAT THE INTEGRITY OF THE WATER QUALITY ARE EXPECTED TO OCCUR & NOT DEEMED AN IMMINENT PUBLIC HEALTH RISK.
 - IN CASES OF BRIEF INTERRUPTION IN SERVICE, ADVISORIES (NOT BOIL WATER NOTICES) SHOULD BE ISSUED IF TEMPORARY CHANGES IN WATER QUALITY ARE EXPECTED TO OCCUR & NOT DEEMED AN IMMINENT PUBLIC HEALTH RISK.

FILLING OF WATER MAINS:

- FILLING OF PROPOSED WATER MAINS FROM EXISTING WATER MAINS WILL BE DONE IN ACCORDANCE WITH AWWA SPECIFICATIONS C651.

MATERIAL SPECIFICATIONS:

PAVING, GRADING, & DRAINAGE:

- PAVING MATERIALS SHALL CONFORM WITH F.D.O.T. STANDARDS & SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION.
- STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE, PER ASTM C-76 CLASS III, UNLESS OTHERWISE SPECIFIED. LIFTING HOLES ARE PROHIBITED.
- ALL STORM STRUCTURES SHALL CONFORM WITH F.D.O.T. STANDARD INDEX DRAWINGS & SPECIFICATIONS EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRAVERSABLE, TRAFFIC BEARING, GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES. GRATES SHALL BE CAST IRON UNLESS BICYCLE TRAFFIC IS ANTICIPATED.
- ALL TYPE "P" STRUCTURE BOTTOMS SHALL BE ROUND UNLESS OTHERWISE SPECIFIED & SHALL HAVE 4 FEET MINIMUM DIAMETER.

SEWER MATERIAL:

- PVC GRAVITY SEWER PIPE
 - PVC GRAVITY SEWER PIPE (4"-15"), ASTM D3034, SDR 35. UNIFORM MINIMUM "PIPE STIFFNESS" AT FIVE (5) PERCENT DEFLECTION SHALL BE 46 PSI. THE JOINTS MANUFACTURED IN ACCORDANCE WITH ASTM D3212 AND ASTM F477. APPLICABLE UNI-BELL PLASTIC PIPE ASSOCIATION STANDARD IS UNI-B-4.
 - PVC GRAVITY SEWER PIPE (18"-27"), ASTM F679, SDR35. UNIFORM MINIMUM "PIPE STIFFNESS" AT FIVE (5) PERCENT DEFLECTION SHALL BE 46 PSI. THE JOINTS SHALL BE INTEGRAL BELL ELASTOMERIC GASKET JOINTS MANUFACTURED IN ACCORDANCE WITH ASTM D3212 AND ASTM F477. APPLICABLE UNI-BELL PLASTIC PIPE ASSOCIATION STANDARD IS UNI-B-7.
- ALL PVC PIPE SHALL BEAR THE NSF-DW SEAL. THE MINIMUM STANDARD LENGTH OF PIPE SHALL BE THIRTEEN (13) FEET.
- ALL PIPE SHALL HAVE A HOMING MARK ON THE SPIGOT PROVIDED BY THE MANUFACTURER. ON FIELD CUT PIPE, CONTRACTOR SHALL PROVIDE HOMING MARK ON THE SPIGOT IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. REINFORCED CONCRETE PIPE SHALL HAVE MARKINGS INDICATING THE MINOR AXIS OF THE ELLIPTICAL REINFORCEMENT.
- JOINTS MATERIALS
 - PVC SEWER PIPE JOINTS SHALL BE FLEXIBLE ELASTOMERIC SEALS PER ASTM D 3212.
- JOINTS BETWEEN PIPES OF DIFFERENT MATERIALS SHALL BE MADE WITH A FLEXIBLE MECHANICAL COMPRESSION COUPLING WITH NO. 304 STAINLESS STEEL BANDS. REFER TO CITY OF FRUITLAND PARK MANUAL FOR APPROVED MANUFACTURERS' LIST.
- FITTINGS
 - UNLESS OTHERWISE SPECIFIED, WYE BRANCHES SHALL BE PROVIDED IN THE GRAVITY SEWER MAIN FOR SERVICE LATERAL CONNECTIONS. WYES SHALL BE SIX (6) INCHES INSIDE DIAMETER, UNLESS OTHERWISE APPROVED BY THE CITY OF FRUITLAND PARK. ALL FITTINGS SHALL BE OF THE SAME MATERIAL AS THE PIPE.
 - PLUGS FOR STUB OUTS SHALL BE OF THE SAME MATERIAL AS THE PIPE, AND GASKETED WITH THE SAME GASKET MATERIAL AS THE PIPE JOINT, OR BE OF MATERIAL APPROVED BY THE CITY OF FRUITLAND PARK. THE PLUG SHALL BE SECURED TO WITHSTAND TEST PRESSURES SPECIFIED IN SECTION 44 OF THE ORANGE COUNTY MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER CONSTRUCTION.

LEGEND

SITE	
	POLE SIGN
	SMALL PYLON SIGN
	LARGE PYLON SIGN
	RIGHT TURN DIRECTIONAL ARROW
	STRAIGHT DIRECTIONAL ARROW
	LEFT TURN DIRECTIONAL ARROW
	STRAIGHT AND LEFT TURN DIRECTIONAL ARROW
	STRAIGHT AND RIGHT TURN DIRECTIONAL ARROW
	HANDICAP PARKING SYMBOL
	F.D.O.T. TYPE "D" CURB
	F.D.O.T. TYPE "F" CURB AND GUTTER
	GATE VALVE BOX, W= WATER, FV= FIRE, IV=IRRIGATION, & SSV=SANITARY SEWER
	CHAINLINK FENCE
	DECORATIVE WOOD OR ALUMINUM FENCE
	BARB WIRE FENCE
	HANDRAIL
	SCREEN/RETAINING WALL, AS NOTED.
	BIKE RACK
	PARKING COUNT SYMBOL PER ROW
	ROAD CENTERLINE SYMBOL
GRADING & DRAINAGE	
	F.D.O.T. TYPE "C" DRAINAGE INLET
	F.D.O.T. TYPE "D" DRAINAGE INLET
	F.D.O.T. TYPE "E" DRAINAGE INLET
	F.D.O.T. TYPE "1" DRAINAGE INLET
	F.D.O.T. TYPE "2" DRAINAGE INLET
	F.D.O.T. TYPE "3" DRAINAGE INLET
	F.D.O.T. TYPE "4" DRAINAGE INLET
	F.D.O.T. TYPE "5" DRAINAGE INLET
	F.D.O.T. TYPE "6" DRAINAGE INLET
	STORM DRAINAGE MANHOLE
	MITERED END SECTION
	STORM DRAINAGE PIPE
	DRAINAGE FLOW DIRECTIONAL ARROW
	DRAINAGE STRUCTURE BUBBLE
	GRADE ELEVATION
	CONTOUR ELEVATION
	EROSION CONTROL SILT FENCE
UTILITY	
	DCDA - DOUBLE CHECK DETECTOR ASSEMBLY
	DCVA - DOUBLE CHECK VALVE ASSEMBLY
	RPZ - REDUCED PRESSURE ZONE DEVICE
	DOMESTIC METER
	IRRIGATION METER
	GATE VALVE
	BLOW-OFF GATE VALVE
	REDUCER
	WET WELL
	11.25' PIPE BEND
	22.5' PIPE BEND
	30' PIPE BEND
	45' PIPE BEND
	60' PIPE BEND
	90' PIPE BEND
	TEE
	CROSS
	FIRE HYDRANT ASSEMBLY W/ UNOBSTRUCTED AREA CLEARANCES AS REQUIRED BY FIRE MARSHALL
	FIRE DEPARTMENT CONNECTION
	CLEAN OUT
	LIFT STATION
	GREASE TRAP
	SITE LIGHTING
	DECORATIVE SITE LIGHTING
	UTILITY POLE

DATE	REVISIONS	BY	CHECKED
07/17/2018	REVISED PER BESH COMMENTS 07/11/2018	JV	GRC

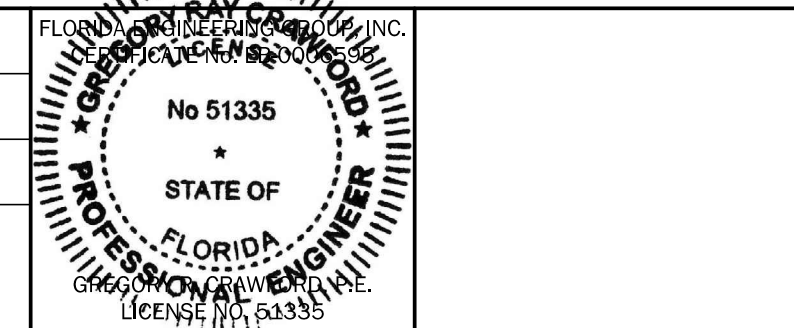
WESTMINSTER PINE RIDGE
ROADWAY AND UTILITY DEVELOPMENT
CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA


FEG FLORIDA ENGINEERING GROUP
 Engineering the Future

5127 S. Orange Avenue, Suite 200
 Orlando, FL 32809
 Phone: 407-895-0324
 Fax: 407-895-0325
www.feg-inc.us

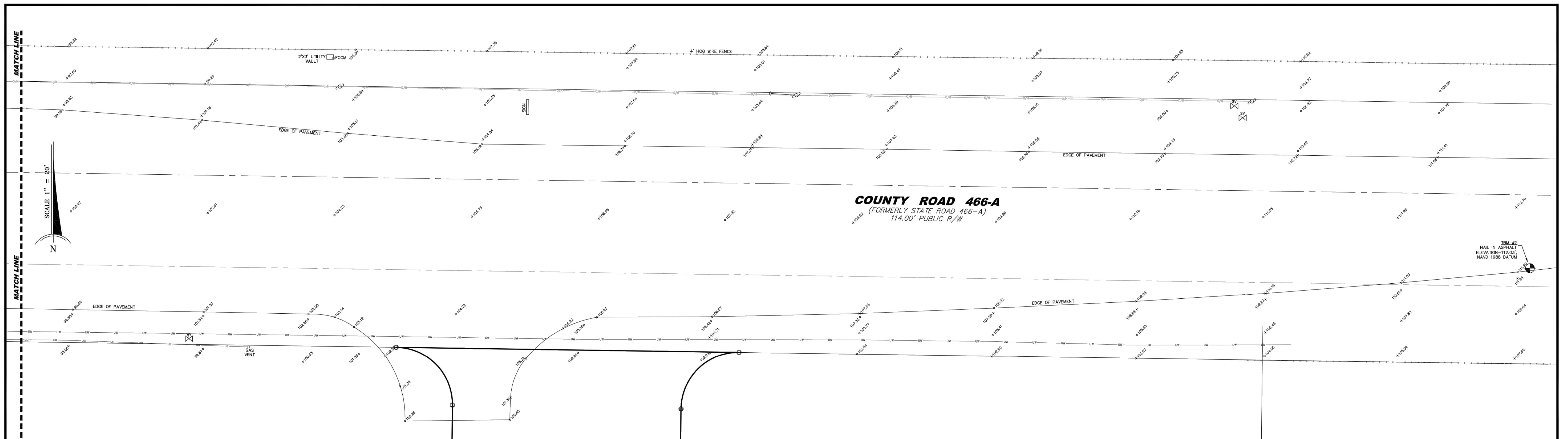
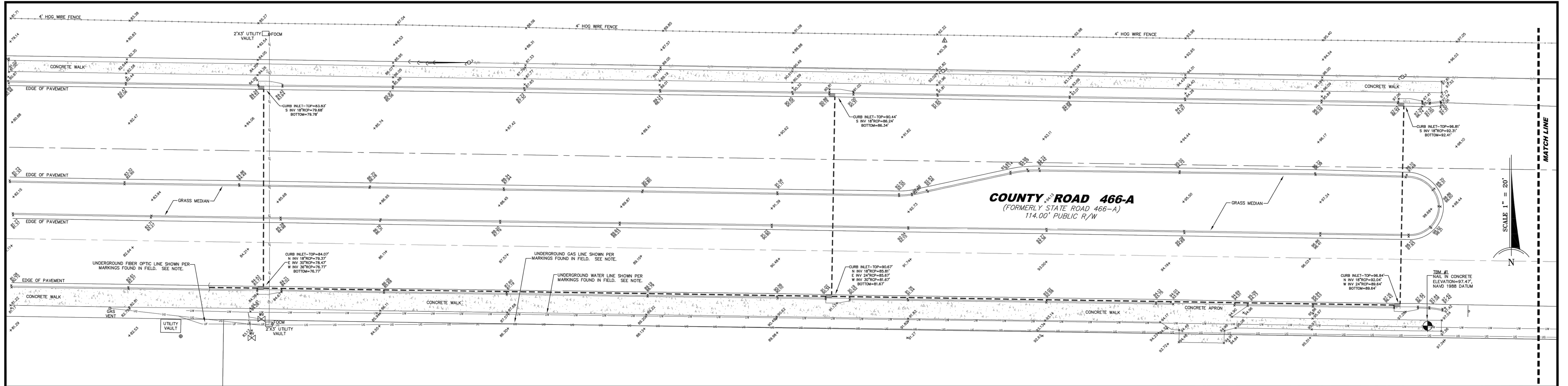
GENERAL NOTES			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
GRC	JV	GRC	GRC

PROJECT NO.	16-043
SCALE	N.T.S.
DATE	AUGUST 2017
SHEET NO.	C-2
SHEET 2	OF 19



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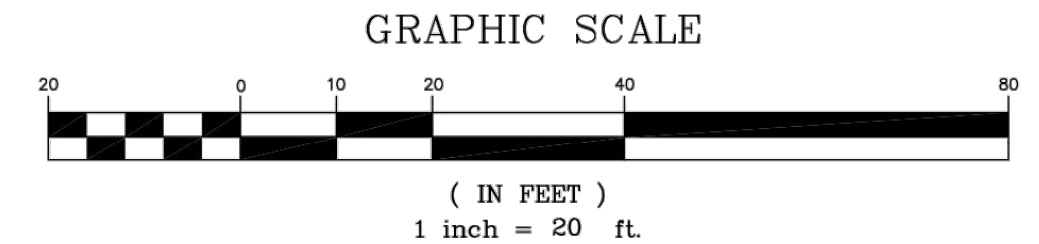
ROUTE SURVEY COUNTY ROAD 466-A
 Section 5, Township 19 South, Range 24 East, Lake County, Florida



- LEGEND
- BOLLARD
 - ⊗ FIRE HYDRANT
 - ⊕ GUY ANCHOR
 - ⊙ WOOD UTILITY POLE
 - ⊗ WATER VALVE

UNDERGROUND UTILITIES NOTE:
 UNDERGROUND UTILITIES ARE SHOWN BASED ON MARKING FOUND IN THE FIELD. SOURCE OF THE MARKINGS IS FROM AN UNKNOWN SOURCE AND THE UNDERSIGNED ACCEPTS NO LIABILITY FOR THE ACCURACY OF THE UNDERGROUND UTILITIES SHOWN. UNDERGROUND UTILITIES SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.

ELEVATION NOTE:
 ELEVATIONS BASED ON LAKE COUNTY BENCHMARK #LCBM E30, A PK NAIL & DISK SET IN SOUTHWEST SIDE OF A CONCRETE DRIVEWAY 17' EAST OF THE EAST EDGE OF PAVEMENT OF SPRING LAKE ROAD AND 1' NORTH OF THE SOUTH EDGE OF THE CONCRETE DRIVEWAY. ELEVATION=106.06', NAVD 1988 DATUM.



F.E.G. PROJECT NO.	16-043
SHEET NO.	C-5
SHEET	5 OF 19

SHANNON SURVEYING, INC.
 499 NORTH S.R. 434 - SUITE 2045
 ALTAMONTE SPRINGS, FLORIDA, 32714
 (407) 774-8372 LB # 6998

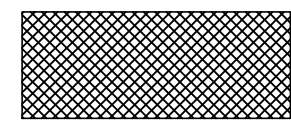

DEMOLITION NOTES

1. THE LOCATIONS, ELEVATIONS, & DIMENSIONS OF EXISTING UTILITIES & OTHER FEATURES ARE SHOWN ON THE PLANS ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PLAN PREPARATION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, & DIMENSIONS OF ALL EXISTING UTILITIES & OTHER FEATURES AFFECTING THE WORK PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY FEG OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROPOSED WORK.
2. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE EXCAVATION.
3. THE CONTRACTOR SHALL, PRIOR TO INITIATION OF ANY SITE CLEARING OR OTHER CONSTRUCTION ACTIVITIES, INSTALL SILT SCREENS DOWNSTREAM OF ALL AREAS WHICH HAVE POTENTIAL OF EROSION OR SEDIMENT TRANSPORT OFFSITE OR TO WATER BODIES. THE CONTRACTOR SHALL IMPLEMENT OTHER STRUCTURAL EROSION CONTROL MEASURES IF REQUIRED TO PREVENT SEDIMENT TRANSPORT TO OFF-SITE AREAS & WATER BODIES.
4. ALL TRASH, DEBRIS, & OTHER MATERIAL REMOVED FROM THE SITE SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS.
5. ANY EXCAVATED TRENCHES ARE TO BE BACKFILLED WITH CLEAN SAND COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY VALUE (AASHTO T-180). REFER TO GEOTECHNICAL REPORT FOR SPECIFIC COMPACTION REQUIREMENTS UNDER BUILDING & OTHER STRUCTURES.
6. ALL EXISTING CONCRETE TO BE REMOVED SHALL BE SAWCUT & REMOVED @ THE FIRST AVAILABLE GOOD JOINT & REPLACED TO MATCH EXISTING.
7. THE CONTRACTOR SHALL CONTACT THE GAS UTILITY FOR LOCATION BEFORE EXCAVATION. CHAPTER 17-153 F.S. REQUIRES THAT AN EXCAVATOR NOTIFIES ALL GAS UTILITIES AT LEAST TWO DAYS PRIOR TO EXCAVATING. ALSO CALL 1-800-432-4770 FOR SUNSHINE LOCATES. F.S. 556.101 THROUGH 111.
8. CONTRACTOR TO PROVIDE TREE PROTECTION AS REQUIRED BY THE LOCAL JURISDICTION.

DEMOLITION KEYNOTES

- D1. F.D.O.T. TYPE "III" SILT FENCE EROSION CONTROL BARRIER PER INDEX No. 102, TYPICAL.
- D2. REMOVE ASPHALT ENTRANCE
- D3. REMOVE EXISTING ROADWAY STRIPING WITHIN SHOWN BOUNDARY
- D4. REMOVE EXISTING "MERGE" AND ARROW PAVEMENT STRIPING
- D5. REMOVE 5' OF CONCRETE CURB

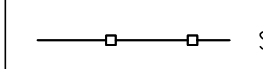

DEMOLITION LEGEND

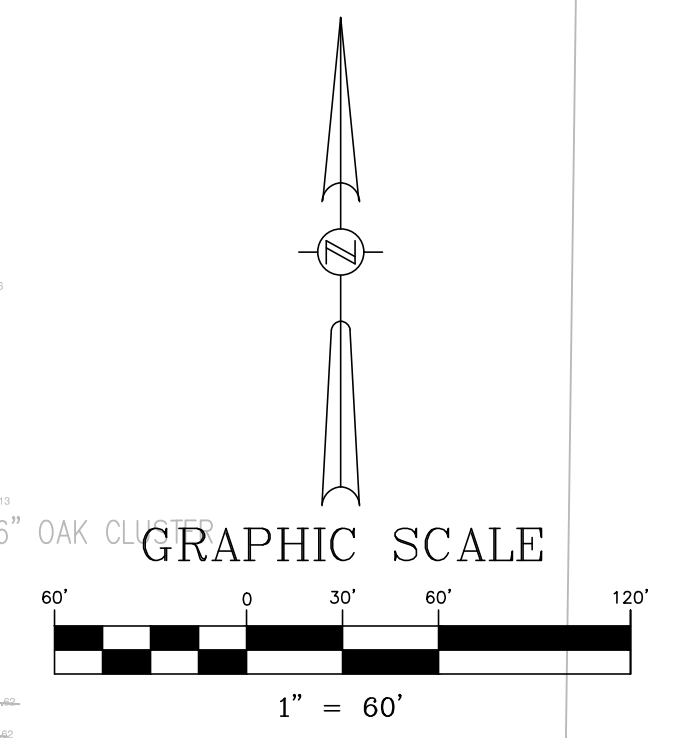
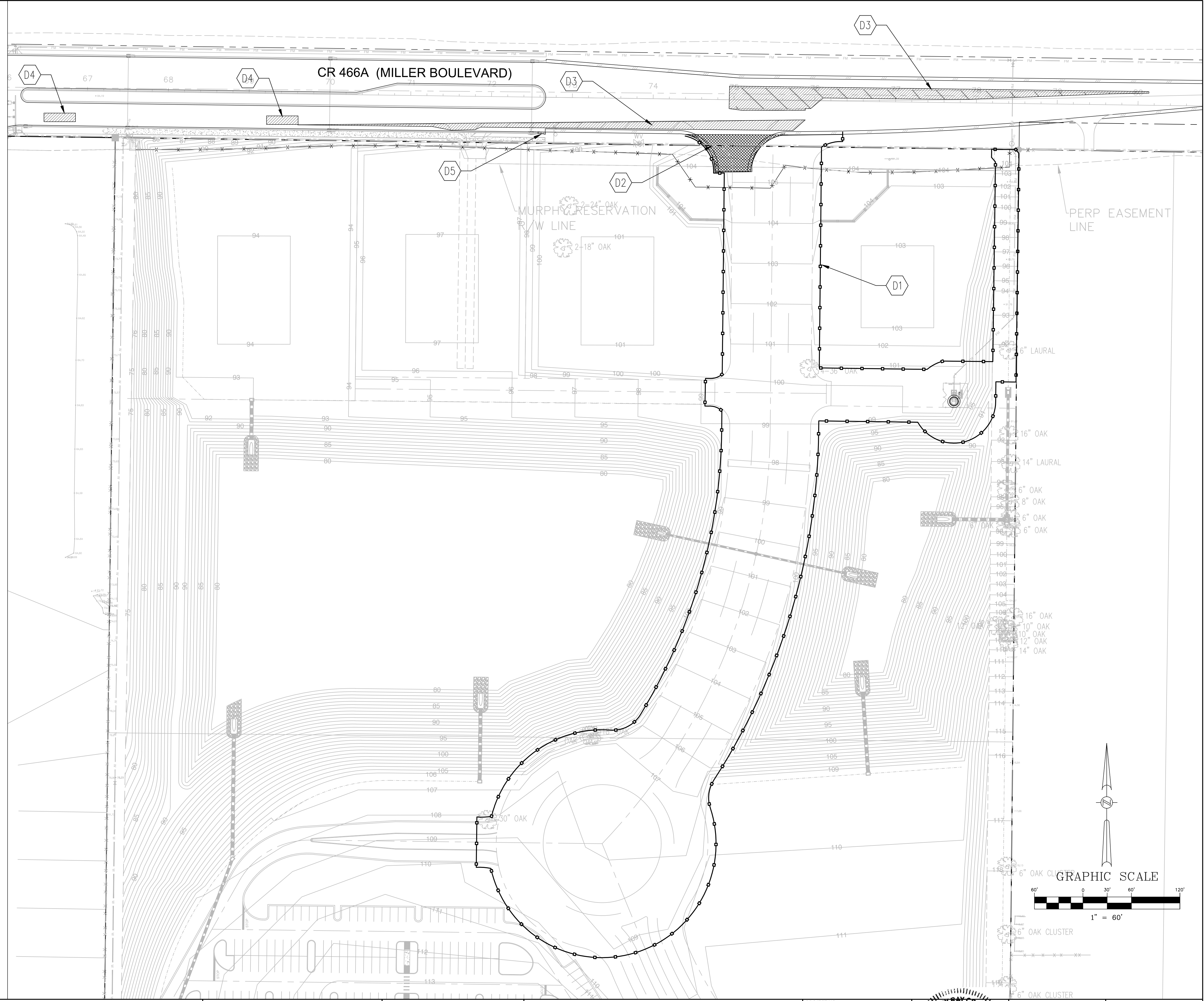
-  REMOVE EXISTING ASPHALT PAVEMENT, BASE, CURBING & SIDEWALK.
-  REMOVE EXISTING STRIPING

EROSION CONTROL SITE DESCRIPTION NOTES:

1. THE PROPOSED CONSTRUCTION ACTIVITY WILL ENTAIL THE CLEARING & GRUBBING OF A 4.0± ACRES SITE LOCATED AT MILLER BLVD (C.R.466A), CITY OF FRUITLAND PARK, TO BUILD THE ROADWAY ENTRANCE WITH ITS ASSOCIATED DRAINAGE & UTILITIES.
2. THE SEQUENCE OF SOILS DISTURBANCE ACTIVITY IS AS FOLLOWS:
 - A. INSTALL SILT FENCE AS SHOWN ON THE PLANS & PROVIDE TREE PROTECTION ON SITE, IF APPLICABLE.
 - B. CLEAR & GRUB THE AREA TO BE DISTURBED.
 - C. PLACE FILL ON-SITE TO BRING THE SITE UP TO THE PROPOSED GRADES.
 - D. BEGIN COMPACTION / STABILIZATION PROCESS.
3. THE TOTAL PROJECT SITE AREA IS 4.27± ACRES & THE AREA TO BE DISTURBED IS 4.27± ACRES.
4. THE EXISTING SOILS ARE: SPARR SAND, 0 TO 5 PERCENT SLOPES; APOPKA SAND, 0 TO 5 PERCENT SLOPES; APOPKA SAND, 5 TO 12 PERCENT SLOPES; CANDLER SAND, 0 TO 5 PERCENT SLOPES; AND CANDLER SAND, 5 TO 12 PERCENT SLOPES. THE QUALITY OF THE STORMWATER DISCHARGE IS CONSISTENT W/ THE RUNOFF GENERATED BY A ROADWAY SITE.
5. THE TOTAL DRAINAGE AREA FOR THE PROJECT IS APPROXIMATELY 4.27 ACRES.
6. THE LATITUDE & LONGITUDE FOR THE DISCHARGE POINTS IS LAT: 28°51'32" LONG: 81°55'59.5". THE RECEIVING WATER BODY IS THE MASTER WET DETENTION PONDS SYSTEM DESIGNED TO RECEIVE STORMWATER RUN-OFF FROM THE SITE. THE MASTER PONDS DISCHARGE IS LANDLOCKED.
7. WASTE DISPOSAL SHALL BE IMPLEMENTED IN ACCORDANCE WITH LOCAL, STATE & FEDERAL REGULATIONS. ALL TRUCKS EXITING THE SITE WILL BE HOSED, ITS LOAD COVERED and THE COVER PROPERLY SECURED. THE STORAGE, APPLICATION, GENERATION & MIGRATION OF ALL FERTILIZERS, HERBICIDES, PESTICIDES & TOXIC MATERIAL SHALL BE IN ACCORDANCE W/ LOCAL, STATE & FEDERAL REGULATIONS.
8. CONTRACTOR SHALL IDENTIFY THE INDIVIDUAL(S) RESPONSIBLE FOR THE WEEKLY & REQUIRED INSPECTIONS. A REPORTING SYSTEM ENTAILING THE ITEMS TO BE INSPECTED & THEIR CONDITION SHOULD BE DOCUMENTED & PLACED IN A DEDICATED FILING SYSTEM THAT WILL REMAIN ON THE PROJECT SITE, ACCESSIBLE TO THE CONSTRUCTION TEAM & TO THE F.D.E.P. INSPECTORS.
9. INSPECTIONS: CONSTRUCTION SITE WILL BE INSPECTED FOR EROSION PROBLEMS DAILY AND AFTER EACH RAINFALL GREATER THAN 0.5 INCH. A RAIN GAUGE WILL BE ON SITE TO MEASURE THE RAINFALL AMOUNT.

PLAN LEGEND

-  SILT FENCE EROSION CONTROL BARRIER
-  WETLAND AREA TO BE IMPACTED
- RB # ROAD BORING
- LB # LOT BORING



07/17/2018	REVISED PER BESH COMMENTS 07/11/2018	JV	GRC
DATE	REVISIONS	BY	CHECKED

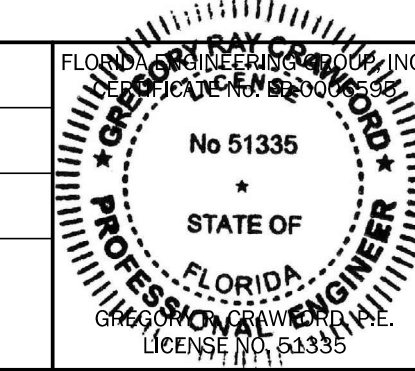
**WESTMINSTER PINE RIDGE
ROADWAY AND UTILITY DEVELOPMENT
CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA**



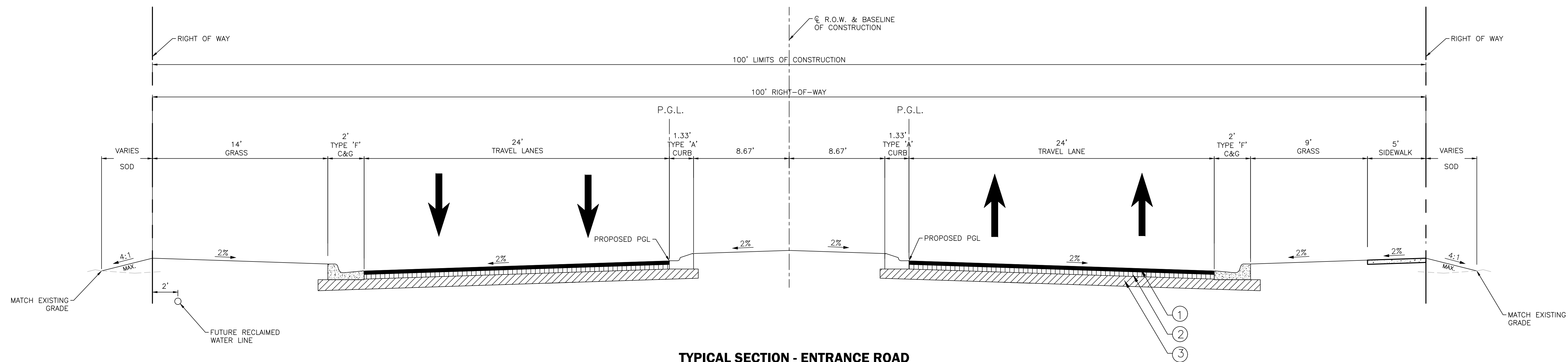
5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
www.feg-inc.us

SITE DEMOLITION AND STORMWATER POLLUTION PREVENTION PLAN			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
GRC	JV	GRC	GRC

PROJECT NO.	16-043
SCALE	1" = 60'
DATE	AUGUST 2017
SHEET NO.	C-6
SHEET	6 OF 19



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TYPICAL SECTION - ENTRANCE ROAD
STA 10+00 TO STA 16+28
 N.T.S.

- ① 2 1/2" TYPE SP 12.5 ASPHALTIC CONCRETE COMPACTED TO AN AVERAGE FIELD DENSITY OF 93% OF THE LABORATORY MAX. DENSITY
- ② 8" LIMEROCK BASE - COMPACTED TO A MIN. DENSITY OF 98% OF THE MODIFIED PROCTOR MAX. DRY DENSITY (LBR 100 MIN.)
- ③ 12" STABILIZED SUBGRADE - COMPACTED TO A MIN. DENSITY OF 98% OF THE MODIFIED PROCTOR MAX. DRY DENSITY (ASTM D1157) UNDER LIMEROCK - THE UPPER 6" TO BE STABILIZED TO A MIN. LBR OF 40.

07/17/2018	REVISED PER BESH COMMENTS 07/11/2018	JV	GRC
DATE	REVISIONS	BY	CHECKED

WESTMINSTER PINE RIDGE
 ROADWAY AND UTILITY DEVELOPMENT
 CONSTRUCTION PLANS
 CITY OF FRUITLAND PARK, FLORIDA

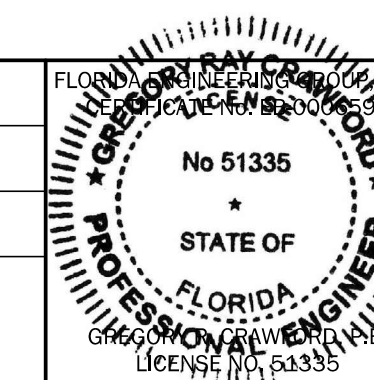


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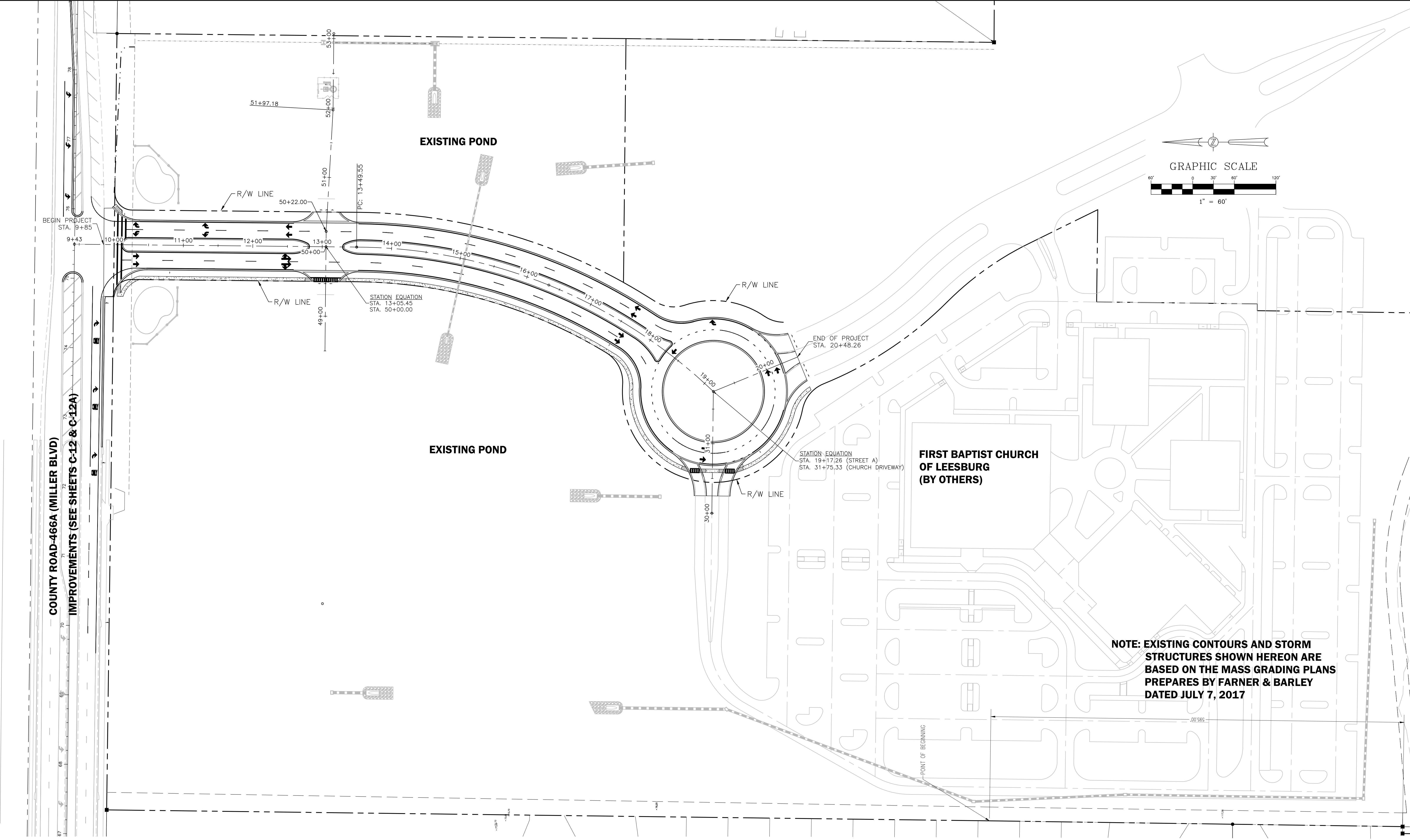
TYPICAL ROAD SECTION

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
GRC	JV	GRC	GRC

PROJECT NO.	16-043
SCALE	N.T.S.
DATE	AUGUST 2017
SHEET NO.	C-7
SHEET	7 OF 19



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COUNTY ROAD-466A (MILLER BLVD)
IMPROVEMENTS (SEE SHEETS C-12 & C-12A)

EXISTING POND

EXISTING POND

FIRST BAPTIST CHURCH
OF LEESBURG
(BY OTHERS)

**NOTE: EXISTING CONTOURS AND STORM
STRUCTURES SHOWN HEREON ARE
BASED ON THE MASS GRADING PLANS
PREPARED BY FARNER & BARLEY
DATED JULY 7, 2017**

THE VILLAGES

WESTMINSTER PINE RIDGE
ROADWAY AND UTILITY DEVELOPMENT
CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA

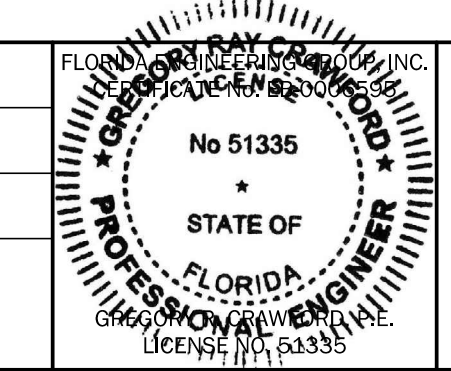


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OVERALL ROADWAY PLAN

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
GRC	JV	GRC	GRC

PROJECT NO.	16-043
SCALE	1" = 60'
DATE	AUGUST 2017
SHEET NO.	C-8
SHEET	8 OF 19



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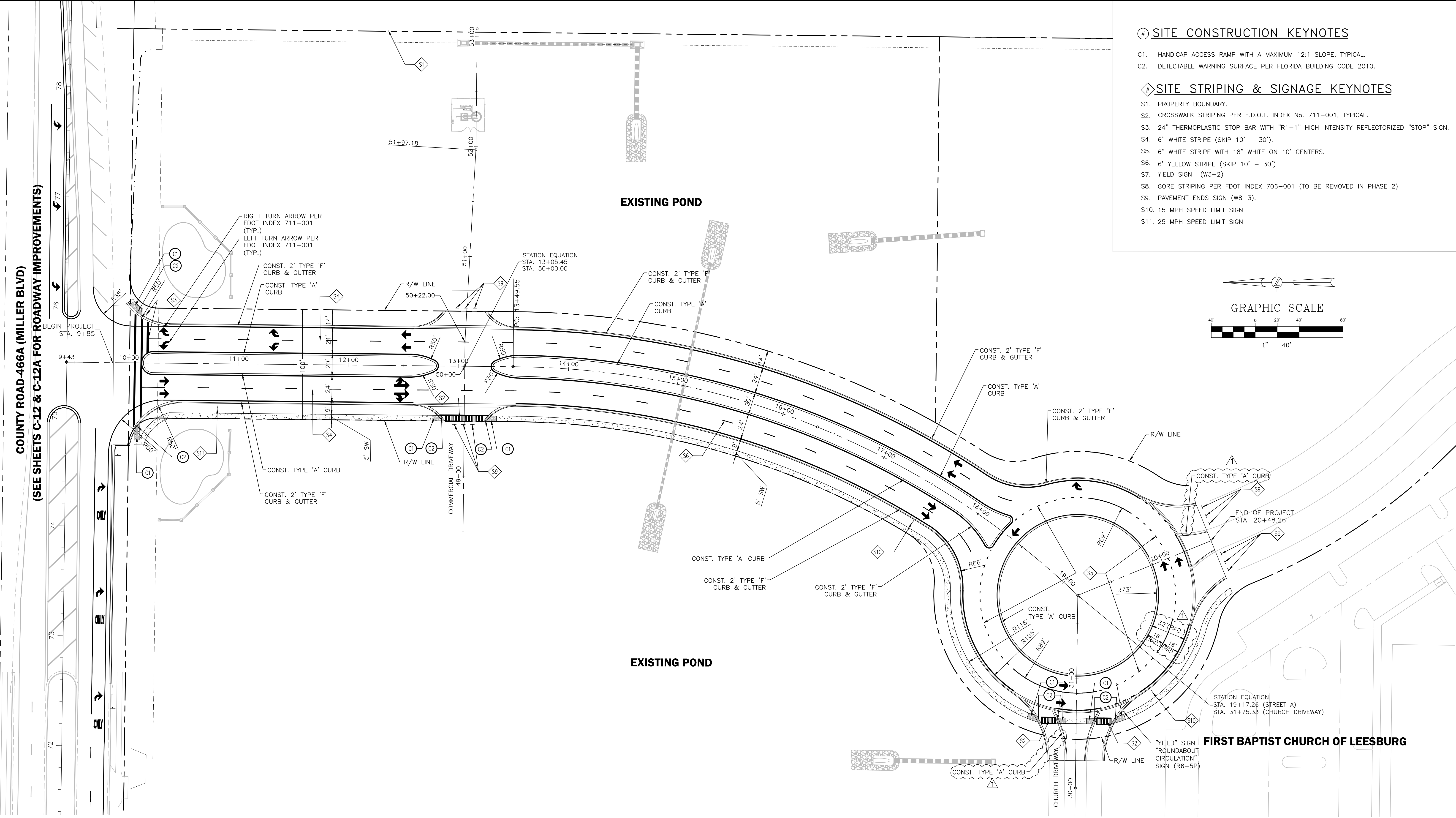
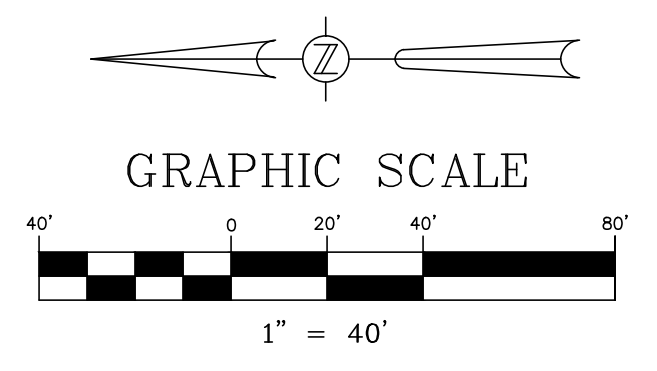
DATE	REVISIONS	BY	CHECKED
07/17/2018	REVISED PER BESH COMMENTS 07/11/2018	JV	GRC

SITE CONSTRUCTION KEYNOTES

- C1. HANDICAP ACCESS RAMP WITH A MAXIMUM 12:1 SLOPE, TYPICAL.
- C2. DETECTABLE WARNING SURFACE PER FLORIDA BUILDING CODE 2010.

SITE STRIPING & SIGNAGE KEYNOTES

- S1. PROPERTY BOUNDARY.
- S2. CROSSWALK STRIPING PER F.D.O.T. INDEX No. 711-001, TYPICAL.
- S3. 24" THERMOPLASTIC STOP BAR WITH "R1-1" HIGH INTENSITY REFLECTORIZED "STOP" SIGN.
- S4. 6" WHITE STRIPE (SKIP 10' - 30').
- S5. 6" WHITE STRIPE WITH 18" WHITE ON 10' CENTERS.
- S6. 6" YELLOW STRIPE (SKIP 10' - 30').
- S7. YIELD SIGN (W3-2)
- S8. GORE STRIPING PER FDOT INDEX 706-001 (TO BE REMOVED IN PHASE 2)
- S9. PAVEMENT ENDS SIGN (W8-3).
- S10. 15 MPH SPEED LIMIT SIGN
- S11. 25 MPH SPEED LIMIT SIGN



NOTE:
RPM REFLECTORS TO BE INSTALLED PER FDOT INDEX No. 706-001

COUNTY ROAD-466A (MILLER BLVD)
(SEE SHEETS C-12 & C-12A FOR ROADWAY IMPROVEMENTS)

WESTMINSTER PINE RIDGE
ROADWAY AND UTILITY DEVELOPMENT
CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA

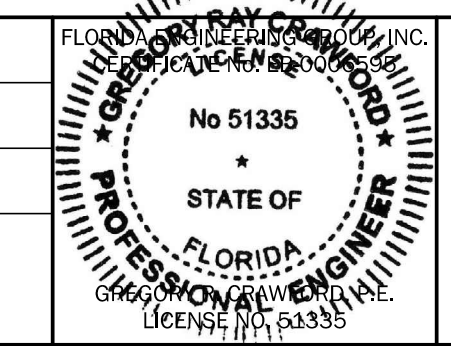


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ENTRANCE ROAD - SITE GEOMETRY,
SIGNING AND MARKING PLAN

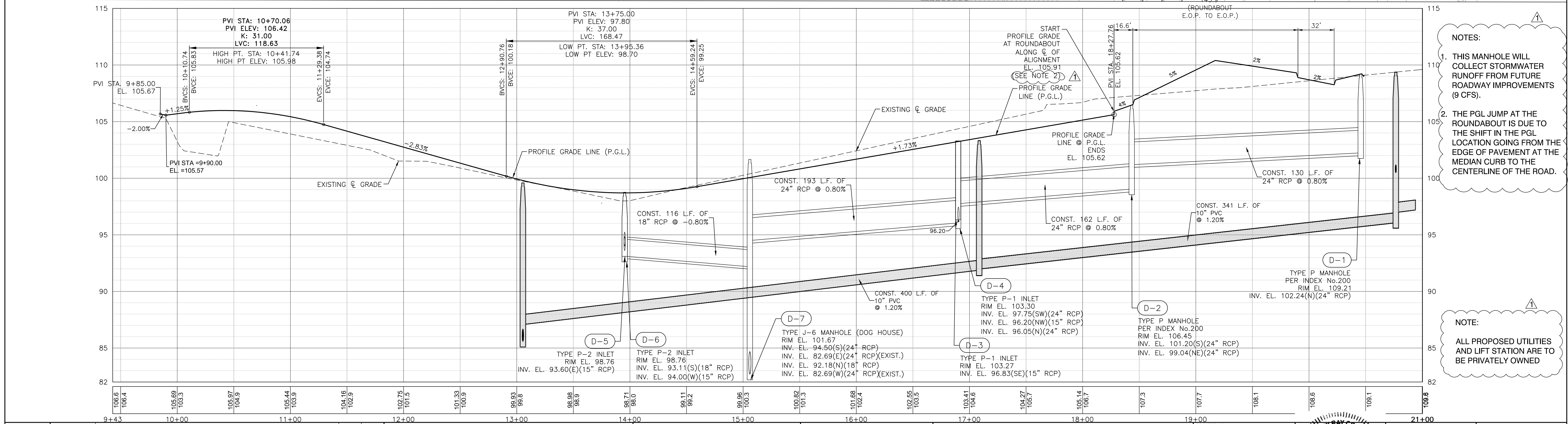
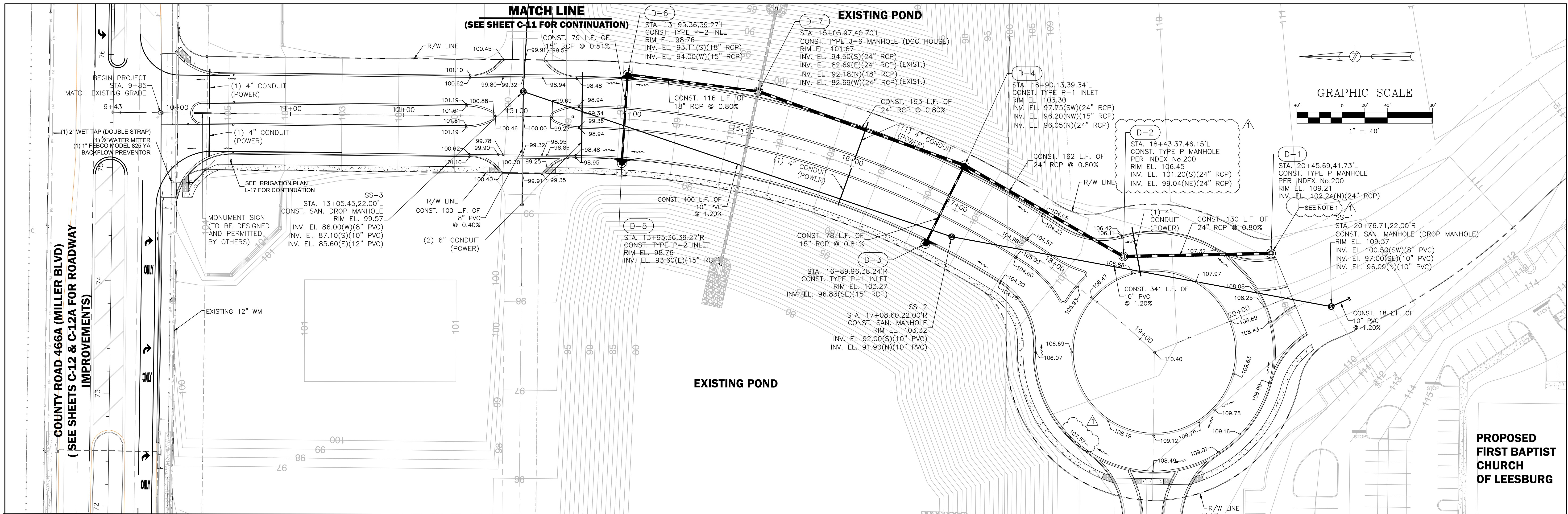
DESIGNED BY GRC	DRAWN BY JV	CHECKED BY GRC	APPROVED BY GRC
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PROJECT NO. 16-043
SCALE 1" = 40'
DATE AUGUST 2017
SHEET NO. C-9
SHEET 9 OF 19



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07/17/2018	REVISED PER BESH COMMENTS 07/11/2018	JV	GRC
DATE	REVISIONS	BY	CHECKED



- NOTES:**
1. THIS MANHOLE WILL COLLECT STORMWATER RUNOFF FROM FUTURE ROADWAY IMPROVEMENTS (9 CFS).
 2. THE PGL JUMP AT THE ROUNDABOUT IS DUE TO THE SHIFT IN THE PGL LOCATION GOING FROM THE EDGE OF PAVEMENT AT THE MEDIAN CURB TO THE CENTERLINE OF THE ROAD.

NOTE:

ALL PROPOSED UTILITIES AND LIFT STATION ARE TO BE PRIVATELY OWNED

07/17/2018	REVISED PER BESH COMMENTS 07/11/2018	JV	GRC
DATE	REVISIONS	BY	CHECKED

WESTMINSTER PINE RIDGE ROADWAY AND UTILITY DEVELOPMENT CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA

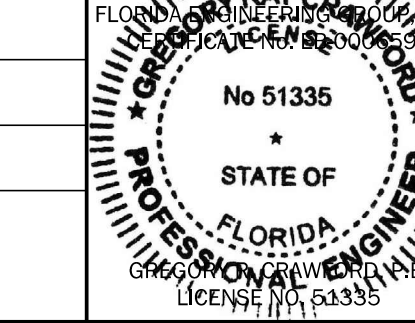


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ENTRANCE ROAD - PLAN AND PROFILE

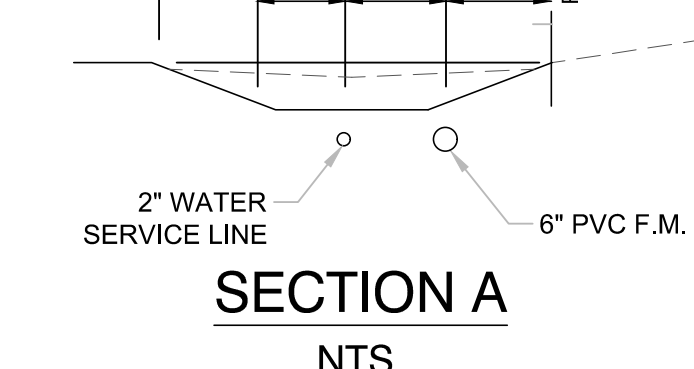
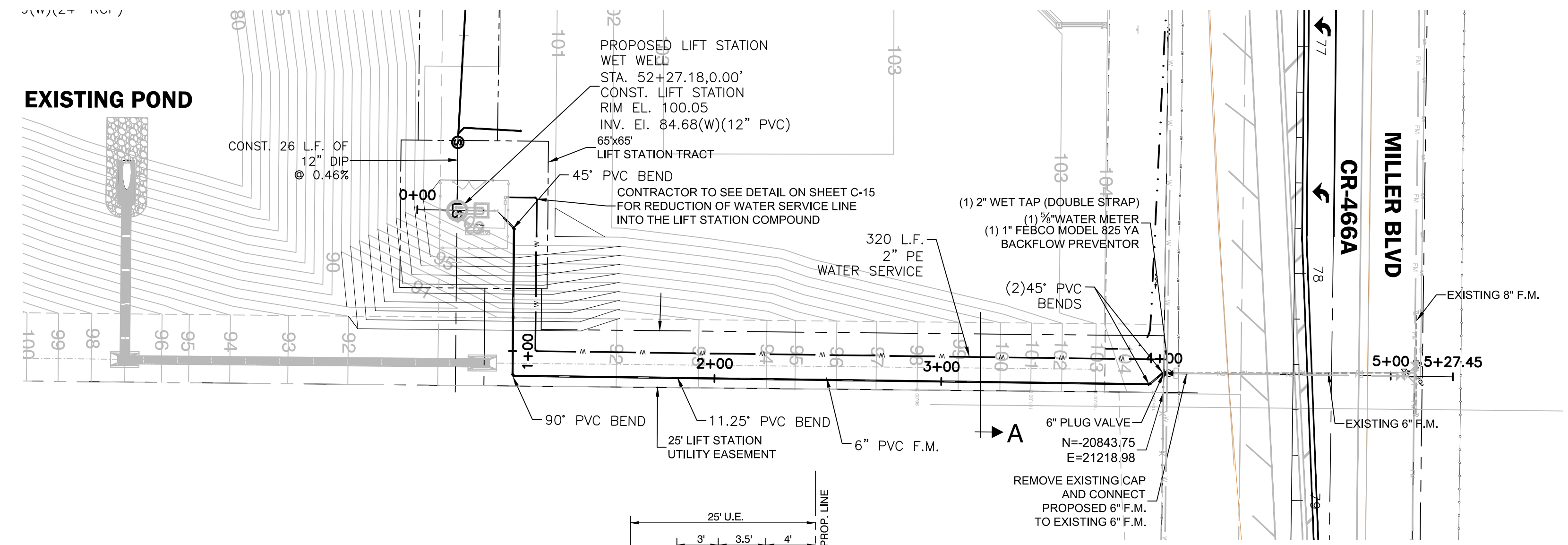
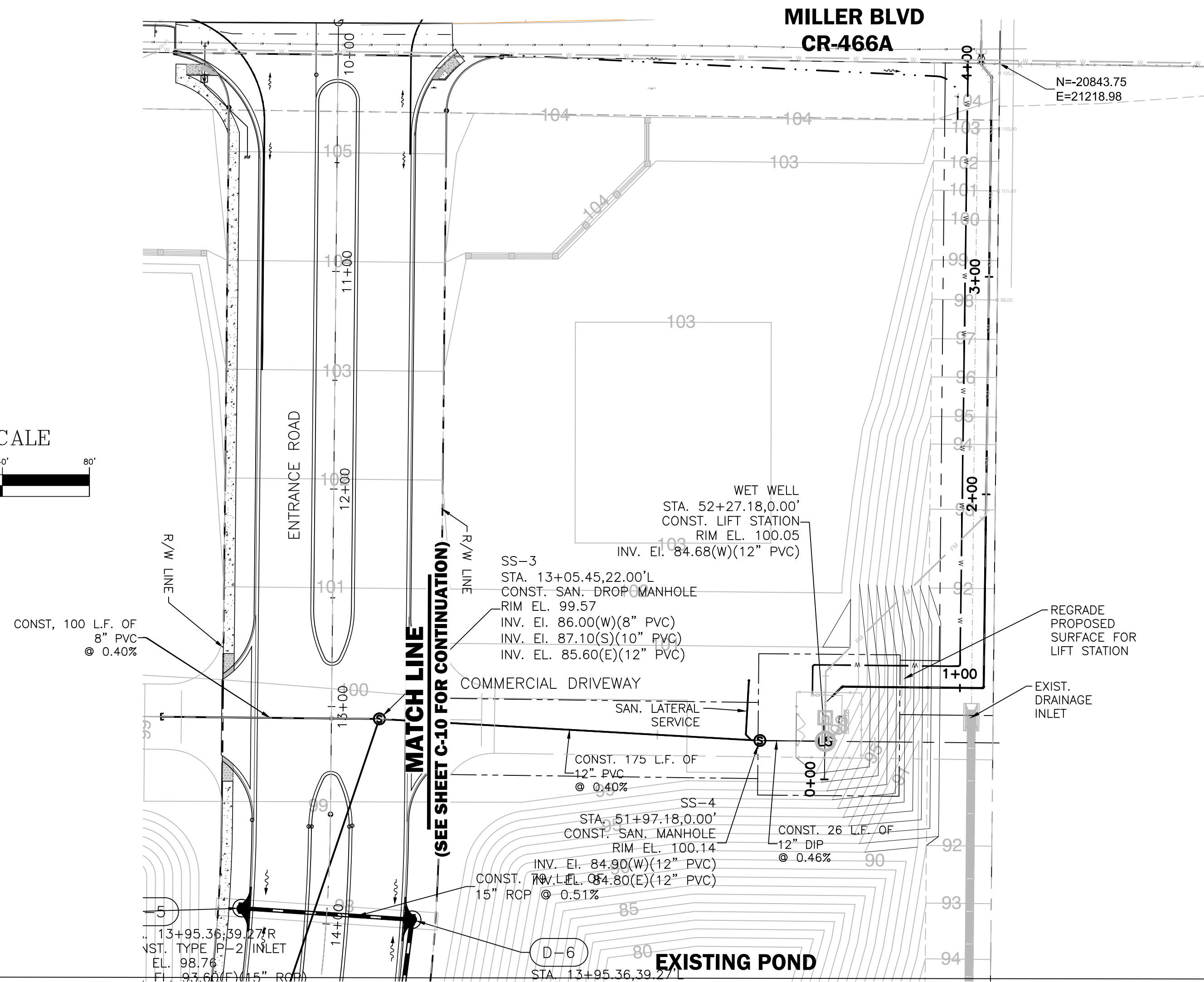
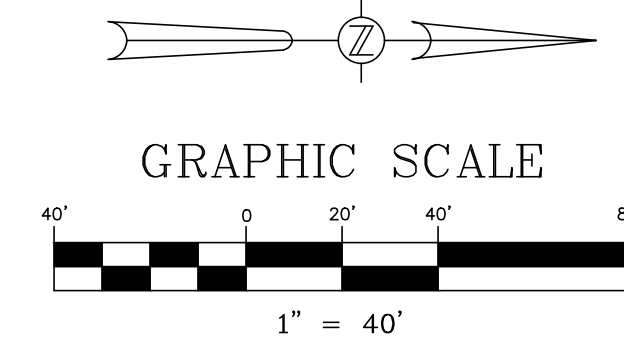
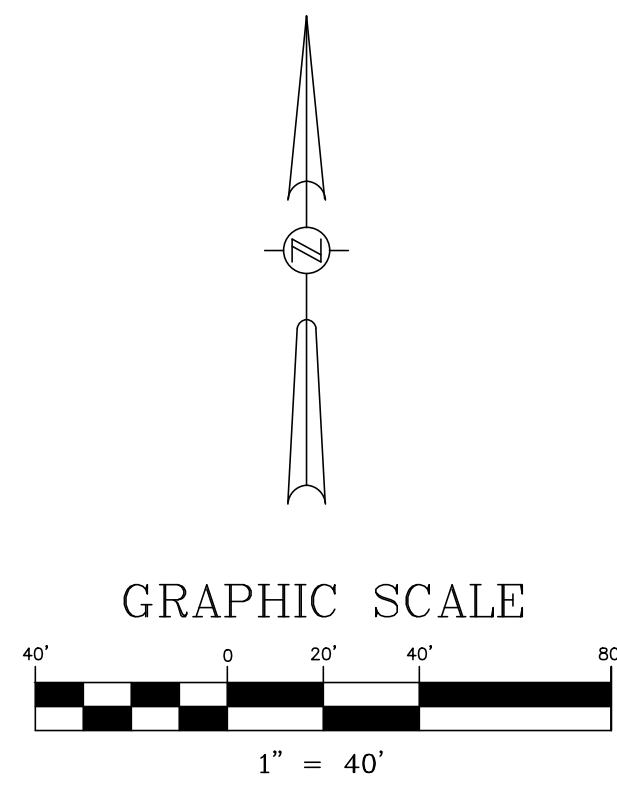
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
GRC	JV	GRC	GRC

PROJECT NO.	16-043
SCALE	H:1"=40'; V:1"= 4'
DATE	AUGUST 2017
SHEET NO.	C-10
SHEET	10 OF 19

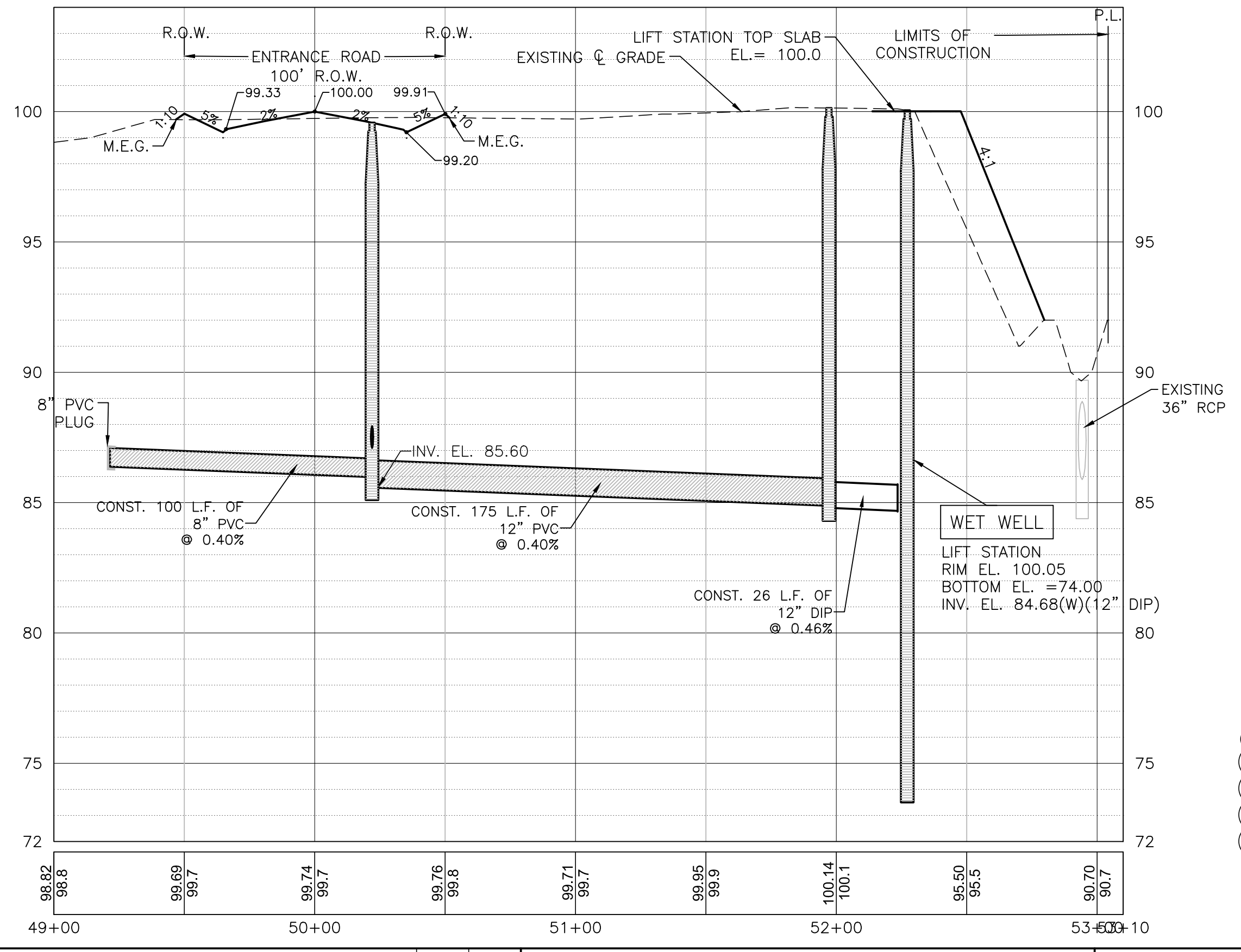


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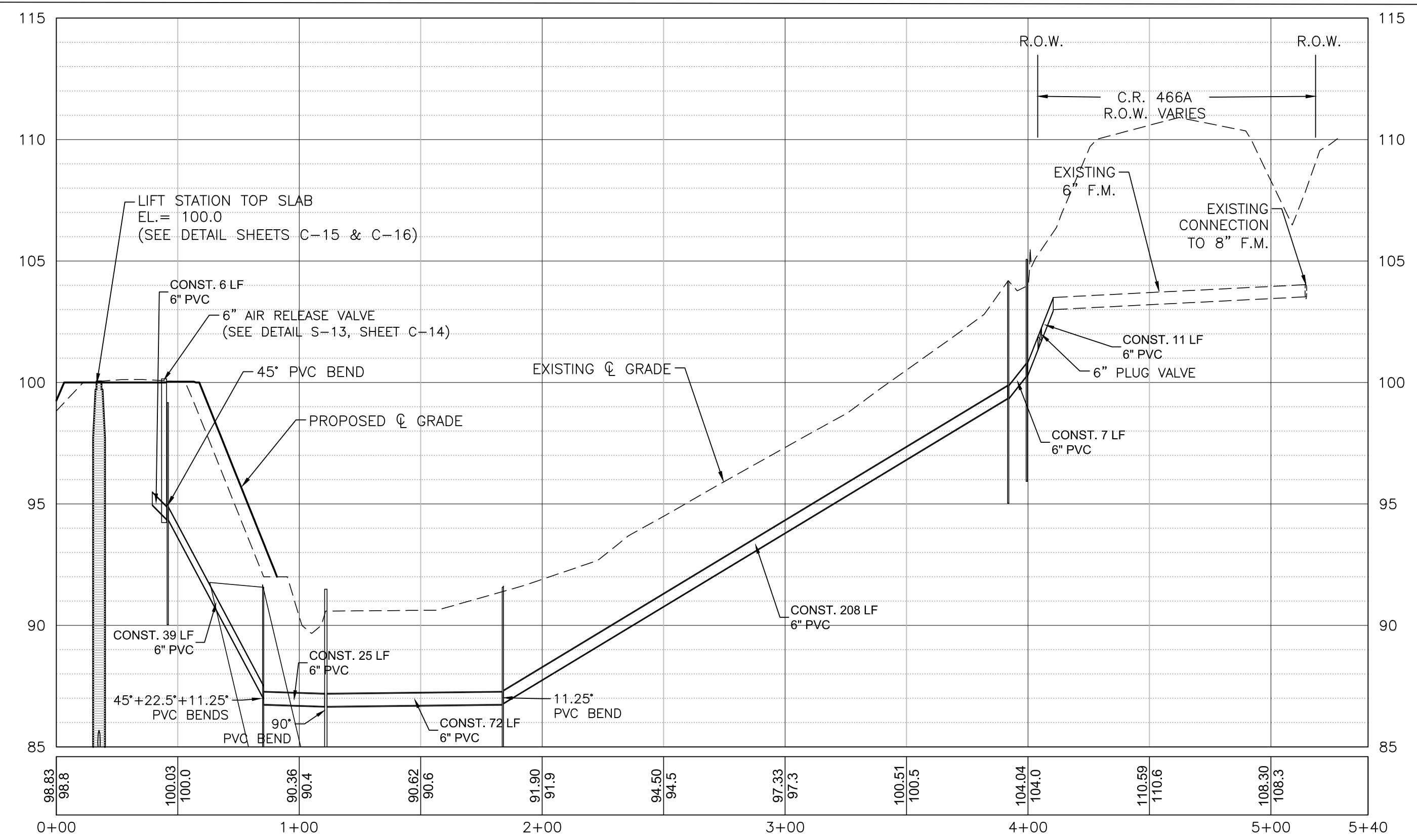
16-043_C-8_PlanProfile.dwg



NOTE:
CONTRACTOR TO PROVIDE A MINIMUM OF 3 FEET OF COVER OVER PROPOSED 6" F.M.



NOTE:
ALL PROPOSED UTILITIES AND LIFT STATION ARE TO BE PRIVATELY OWNED



DATE	REVISIONS	BY	CHECKED
07/17/2018	REVISED PER BESH COMMENTS 07/11/2018	JV	GRC

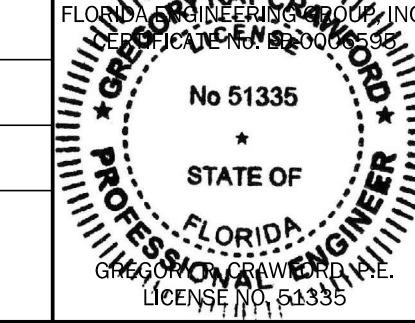
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CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA



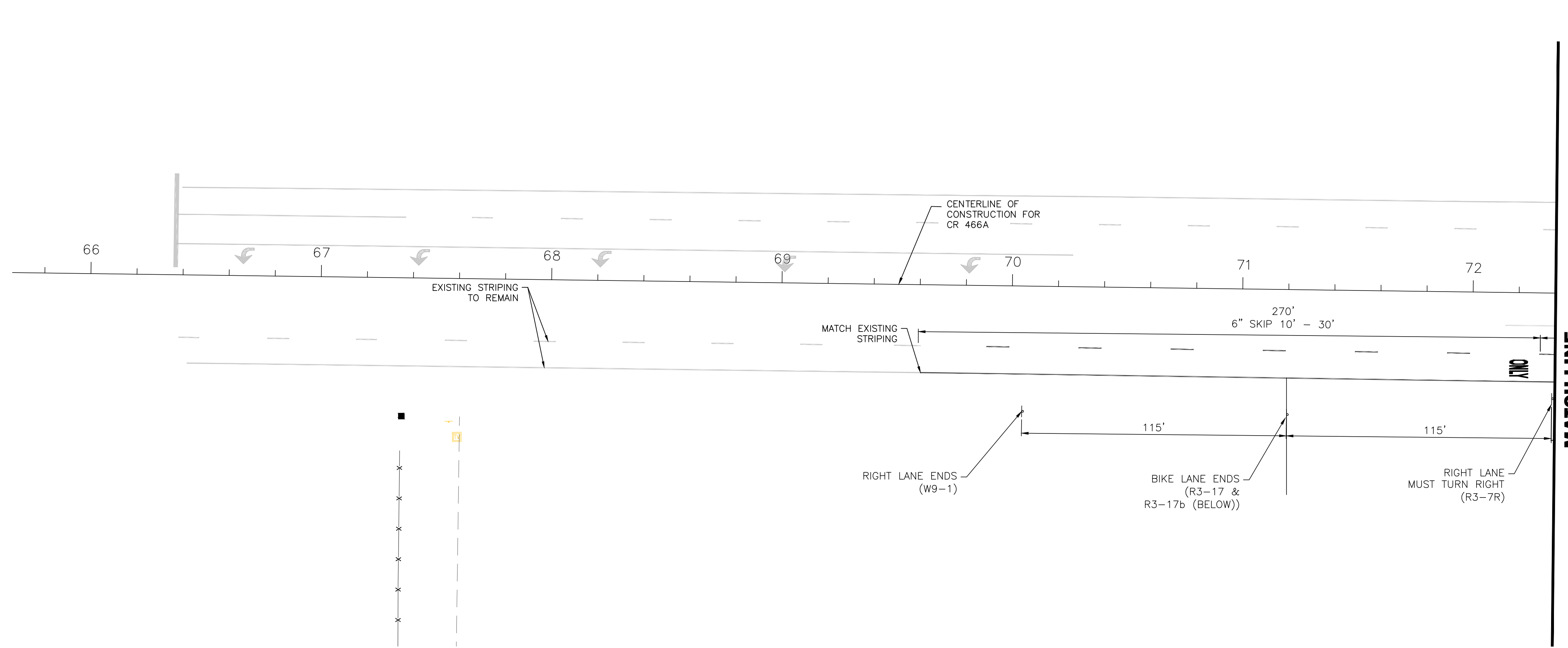
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GRAVITY SEWER TO LIFT STATION & FORCE MAIN PLAN-PROFILE			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
GRC	JV	GRC	GRC

PROJECT NO.	16-043
SCALE	NOTED
DATE	AUGUST 2017
SHEET NO.	C-11
SHEET	11 OF 19



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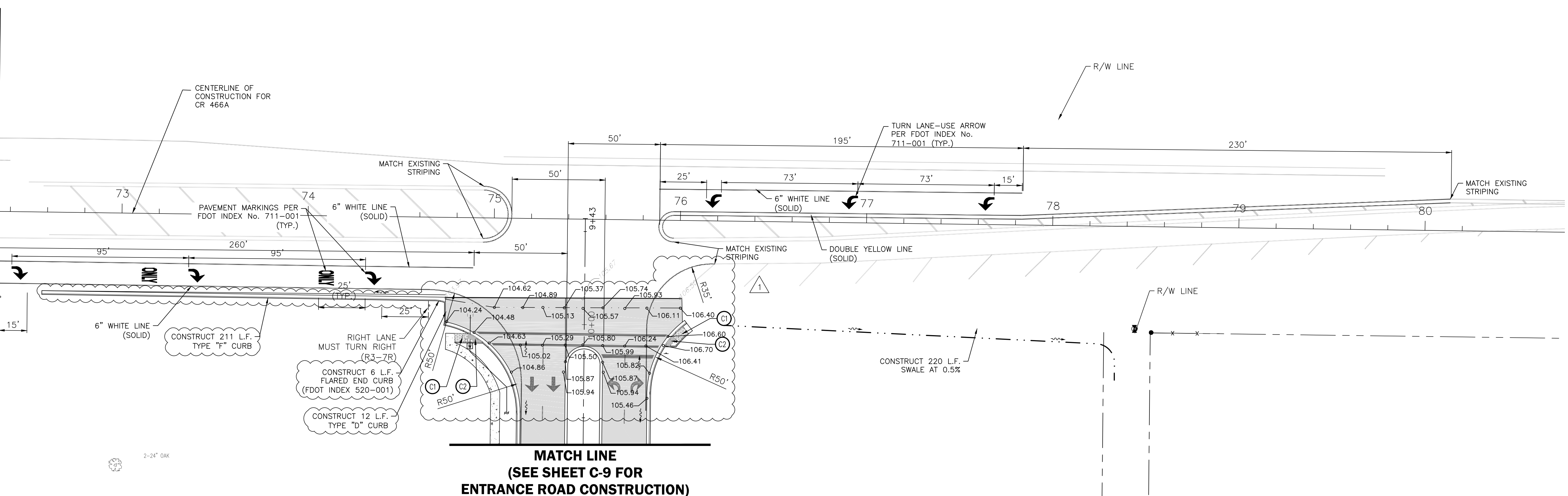


COUNTY ROAD 466 A

MATCH LINE
(SEE BELOW FOR CONTINUATION)

(45 MPH POSTED SPEED)
(50 MPH DESIGN SPEED)

MATCH LINE
(SEE ABOVE FOR CONTINUATION)



COUNTY ROAD 466 A

CONSTRUCTION KEYNOTES

- C1. HANDICAP ACCESS RAMP WITH A MAXIMUM 12:1 SLOPE, TYPICAL.
- C2. DETECTABLE WARNING SURFACE PER FLORIDA BUILDING CODE 2010.

LEGEND:

- PROPOSED PAVEMENT MARKING
- EXISTING PAVEMENT MARKING
- PROPOSED PAVEMENT

NOTE:

RPM REFLECTORS TO BE INSTALLED PER FDOT INDEX No. 706-001

DATE	REVISIONS	BY	CHECKED
07/17/2018	REVISED PER BESH COMMENTS 07/11/2018	JV	GRC

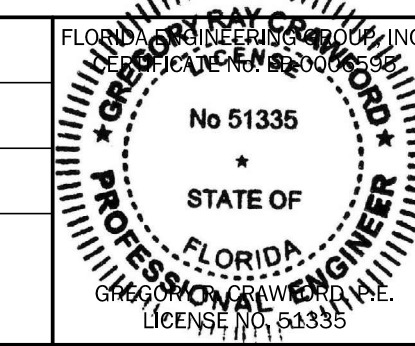
**WESTMINSTER PINE RIDGE
ROADWAY AND UTILITY DEVELOPMENT
CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA**



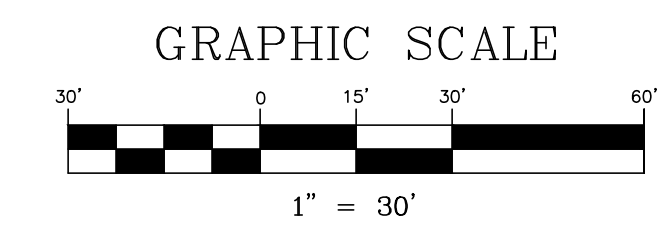
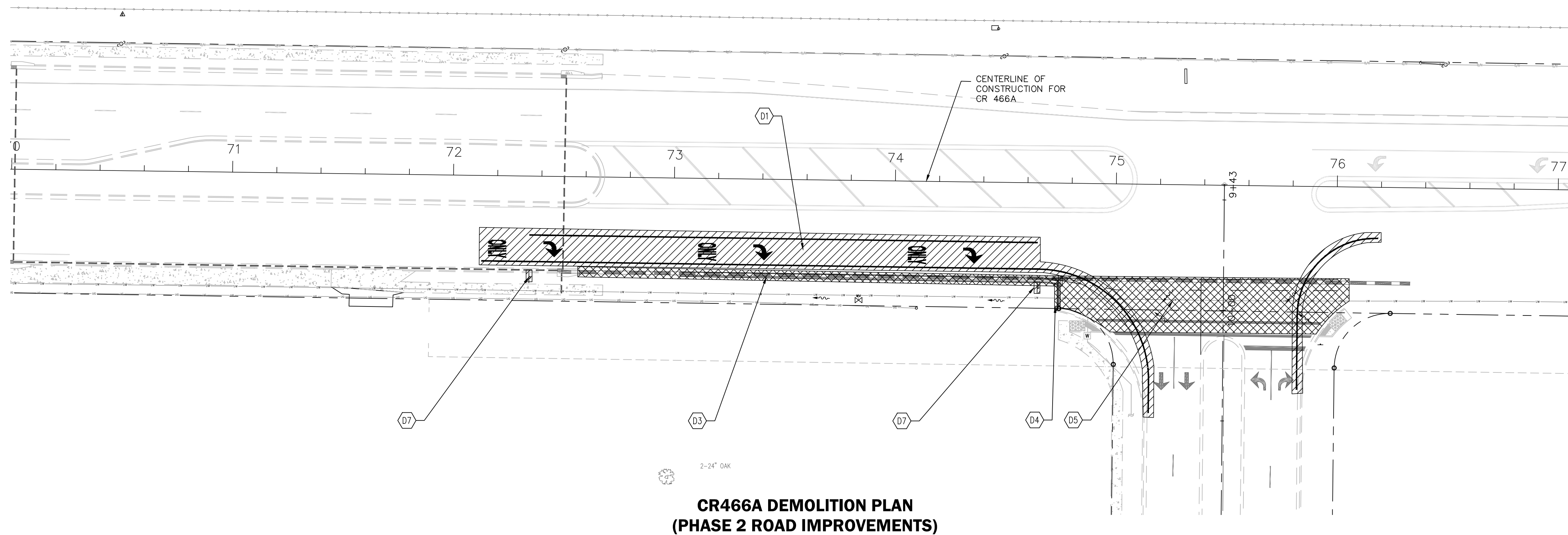
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CR-466A ROAD IMPROVEMENTS PLAN (PHASE 1)			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
GRC	JV	GRC	GRC

PROJECT NO.	16-043
SCALE	1" = 30'
DATE	AUGUST 2017
SHEET NO.	C-12
SHEET	12 OF 19

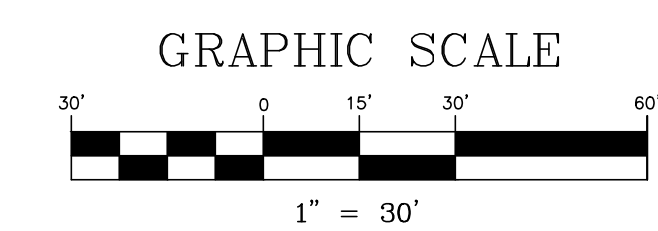
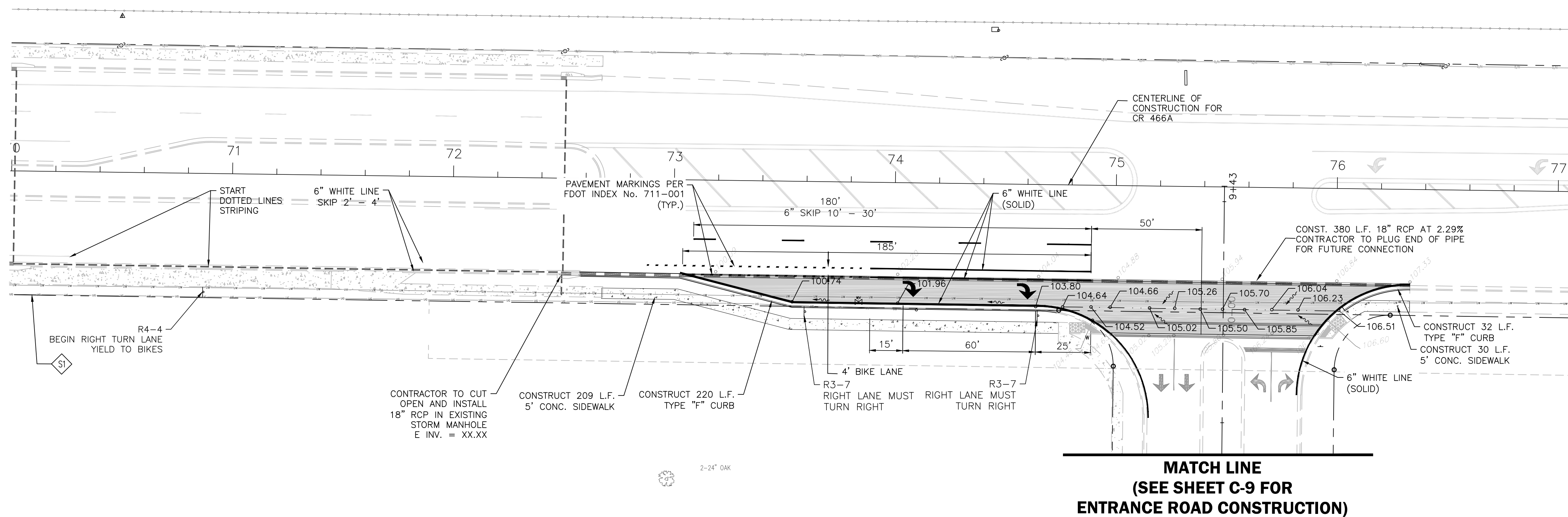


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- DEMOLITION KEYNOTES**
- D1. REMOVE EXISTING ROADWAY STRIPING WITHIN SHOWN BOUNDARY
 - D2. REMOVE 160' OF TYPE F AND 8' WIDE SIDEWALK
 - D3. REMOVE 217' OF TYPE F CONCRETE CURB
 - D4. REMOVE 13' OF TYPE D CONCRETE CURB
 - D5. REMOVE ASPHALT TO RE-GRADE AREA
 - D6. REMOVE TOP CURB INLET, BOTTOM STRUCTURE TO REMAIN
 - D7. REMOVE EXISTING SIGNS
 - D8. REMOVE 26' EXISTING WATER MAIN
- DEMOLITION LEGEND**
- REMOVE EXISTING ASPHALT PAVEMENT, BASE, CURBING & SIDEWALK.
 - REMOVE EXISTING STRIPING

**CR466A DEMOLITION PLAN
(PHASE 2 ROAD IMPROVEMENTS)**



- CONSTRUCTION KEYNOTES**
- C1. HANDICAP ACCESS RAMP WITH A MAXIMUM 12:1 SLOPE, TYPICAL.
 - C2. DETECTABLE WARNING SURFACE PER FLORIDA BUILDING CODE 2010.
- SITE STRIPING & SIGNAGE KEYNOTES**
- S1. RIGHT OF WAY
- LEGEND**
- PROPOSED PAVEMENT

**MATCH LINE
(SEE SHEET C-9 FOR
ENTRANCE ROAD CONSTRUCTION)**

CR466A PLAN OF PHASE 2 ROAD IMPROVEMENTS

SHEET ADDED

07/17/2018	REVISED PER BESH COMMENTS 07/11/2018	JV	GRC
DATE	REVISIONS	BY	CHECKED

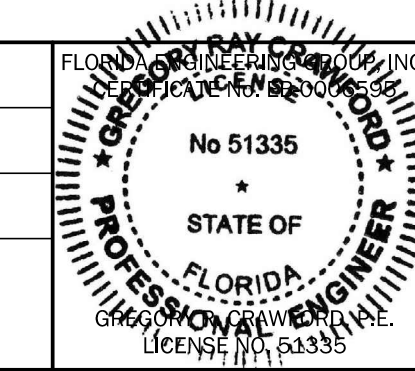
WESTMINSTER PINE RIDGE
ROADWAY AND UTILITY DEVELOPMENT
CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA



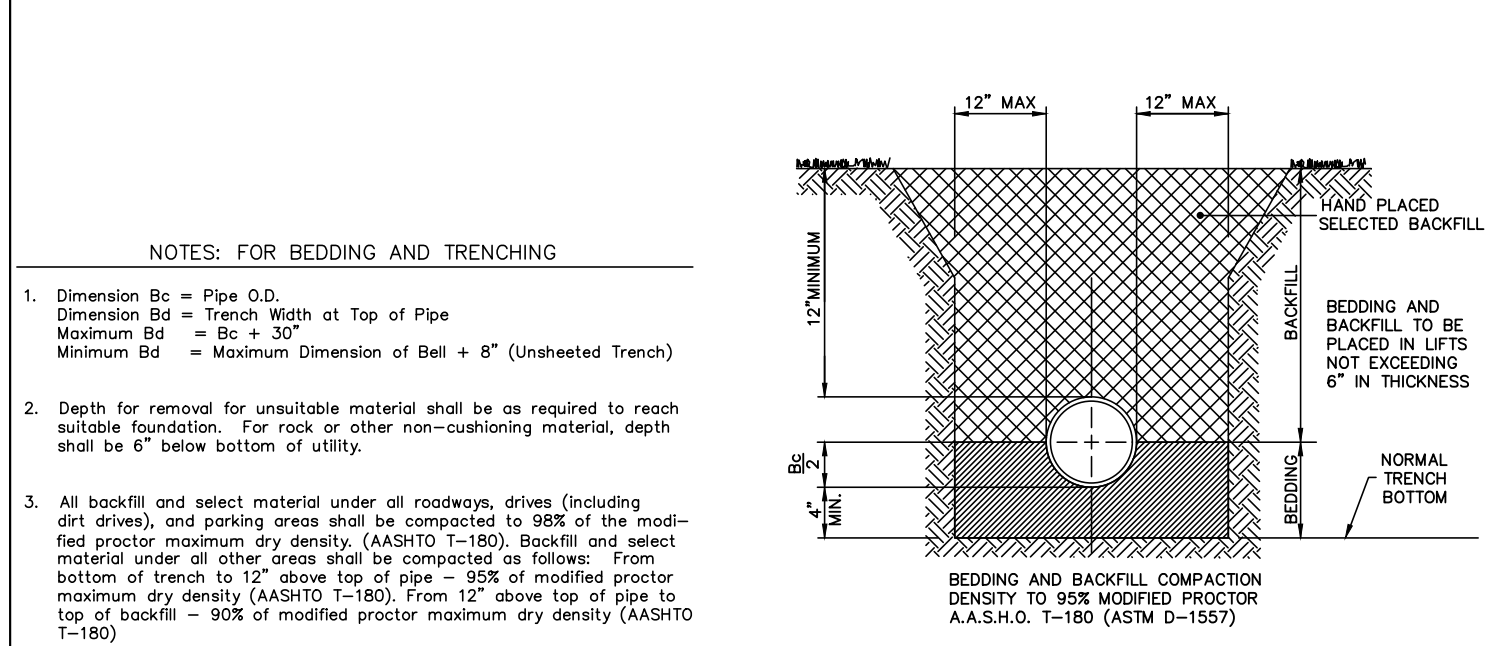
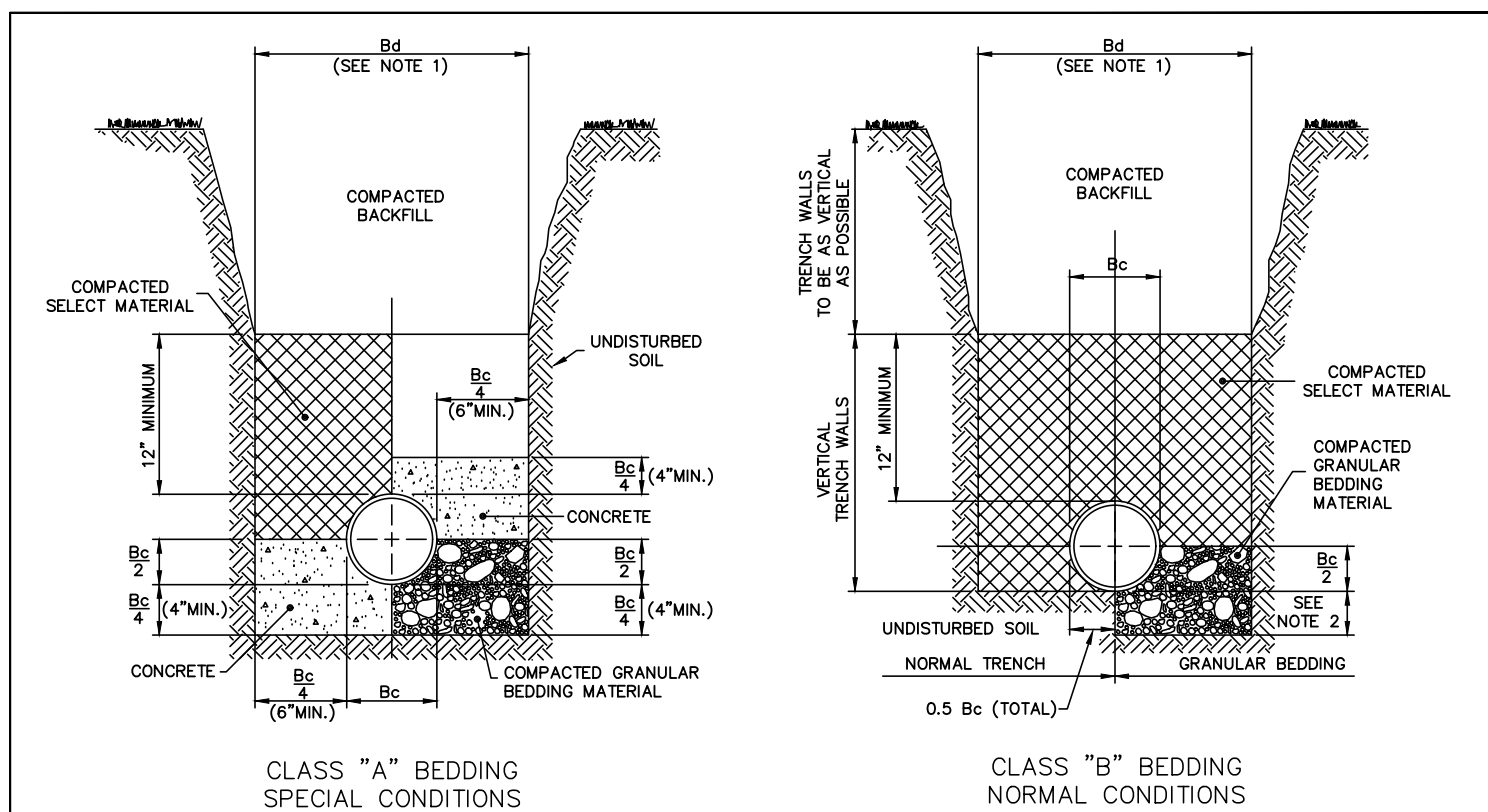
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CR-466A ROAD IMPROVEMENTS PLAN (PHASE 2)			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
GRC	JV	GRC	GRC

PROJECT NO.	16-043
SCALE	NOTED
DATE	AUGUST 2017
SHEET NO.	C-12A
SHEET	13 OF 19



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NOTES: FOR BEDDING AND TRENCHING

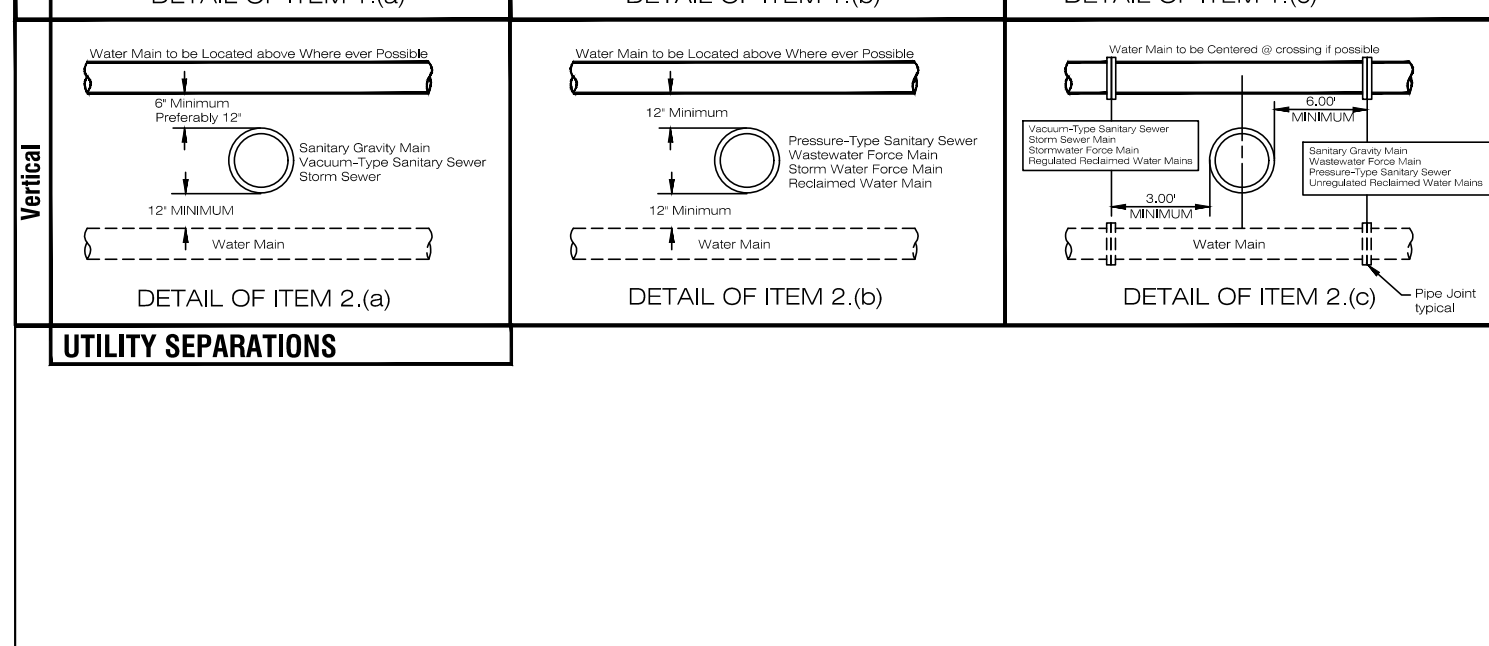
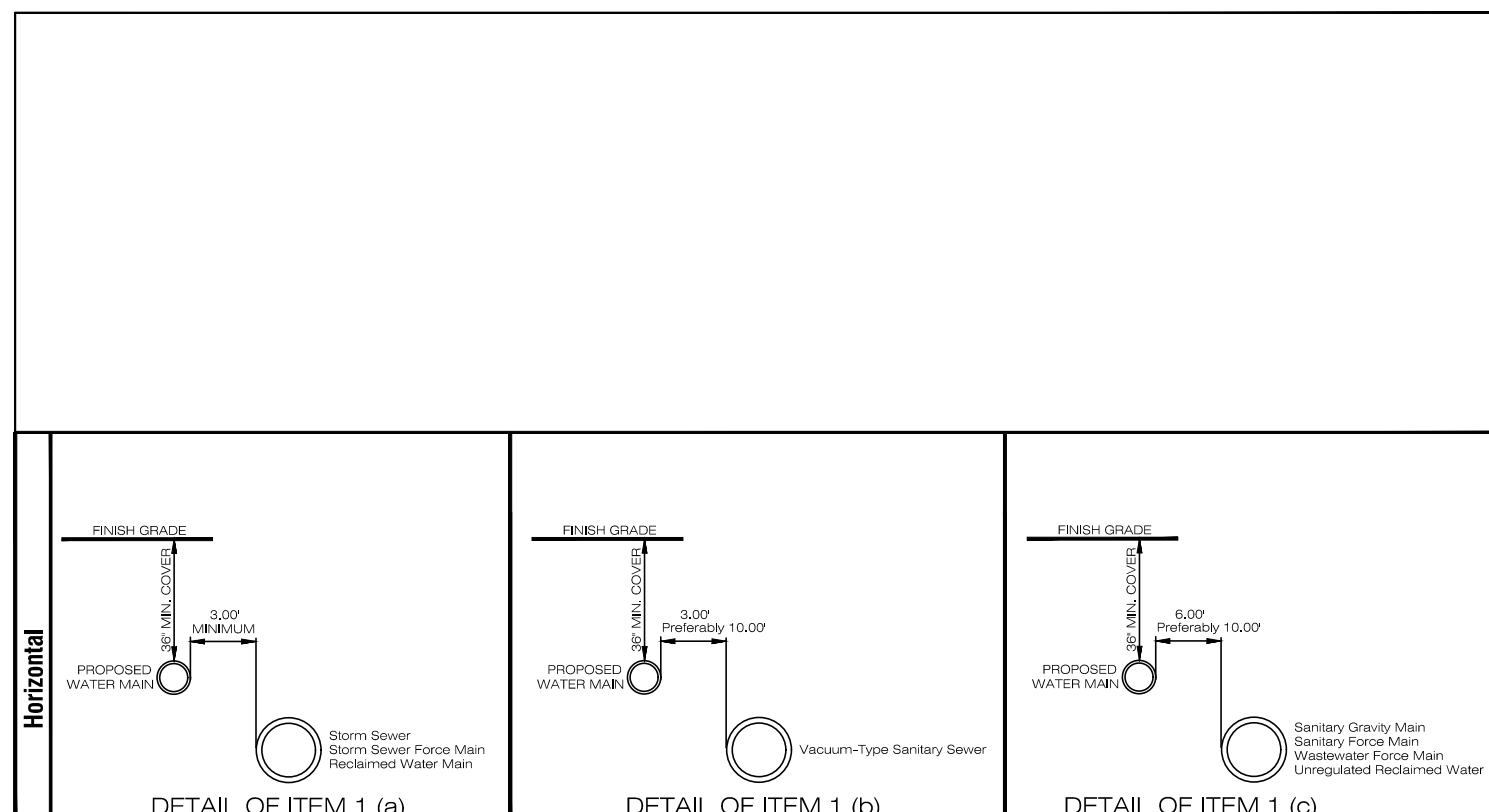
- Dimension Bc = Pipe O.D.
Dimension Bd = Trench Width at Top of Pipe
Minimum Bd = Bc + 20" (Unheated Trench)
- Depth of removal for suitable material shall be as required to reach suitable foundation. For rock or other non-cushioning material, depth shall be 6" below bottom of utility.
- All backfill and select material under all roadways, drives (including det. drives), and parking areas shall be compacted to 98% of the modified proctor maximum dry density (AASHTO T-150). Backfill and select material under all other areas shall be compacted to 95% of modified proctor maximum dry density (AASHTO T-150). From 12" above top of pipe to top of backfill = 90% of modified proctor maximum dry density (AASHTO T-150)

BEDDING DETAILS
NOT TO SCALE

City of Fruitland Park
Standard Details

April 2017

Detail G-3



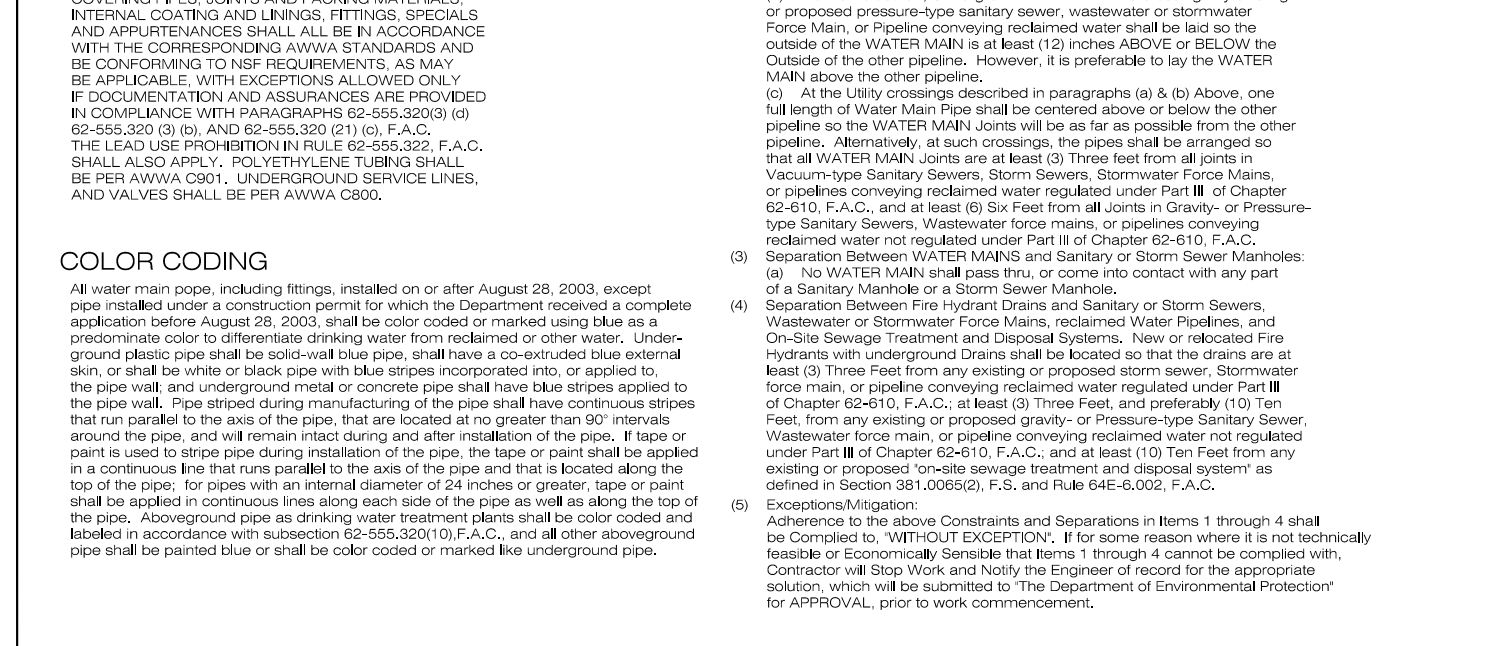
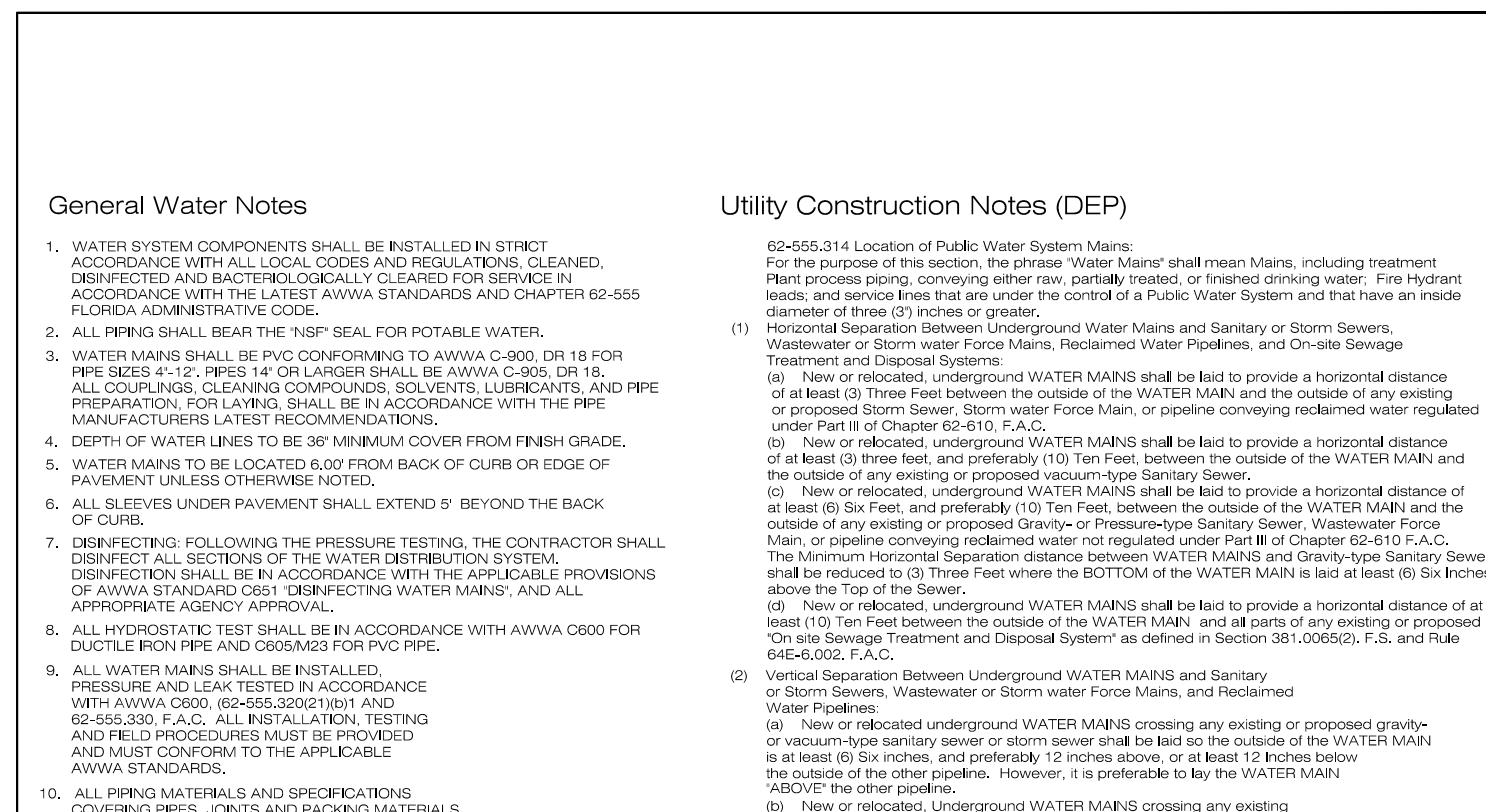
UTILITY SEPARATIONS

PIPE CLEARANCE
NOT TO SCALE

City of Fruitland Park
Standard Details

April 2017

Detail G-4A



GENERAL WATER NOTES

UTILITY CONSTRUCTION NOTES (DEP)

COLOR CODING

PIPE CLEARANCE NOTES
NOT TO SCALE

City of Fruitland Park
Standard Details

April 2017

Detail G-4B

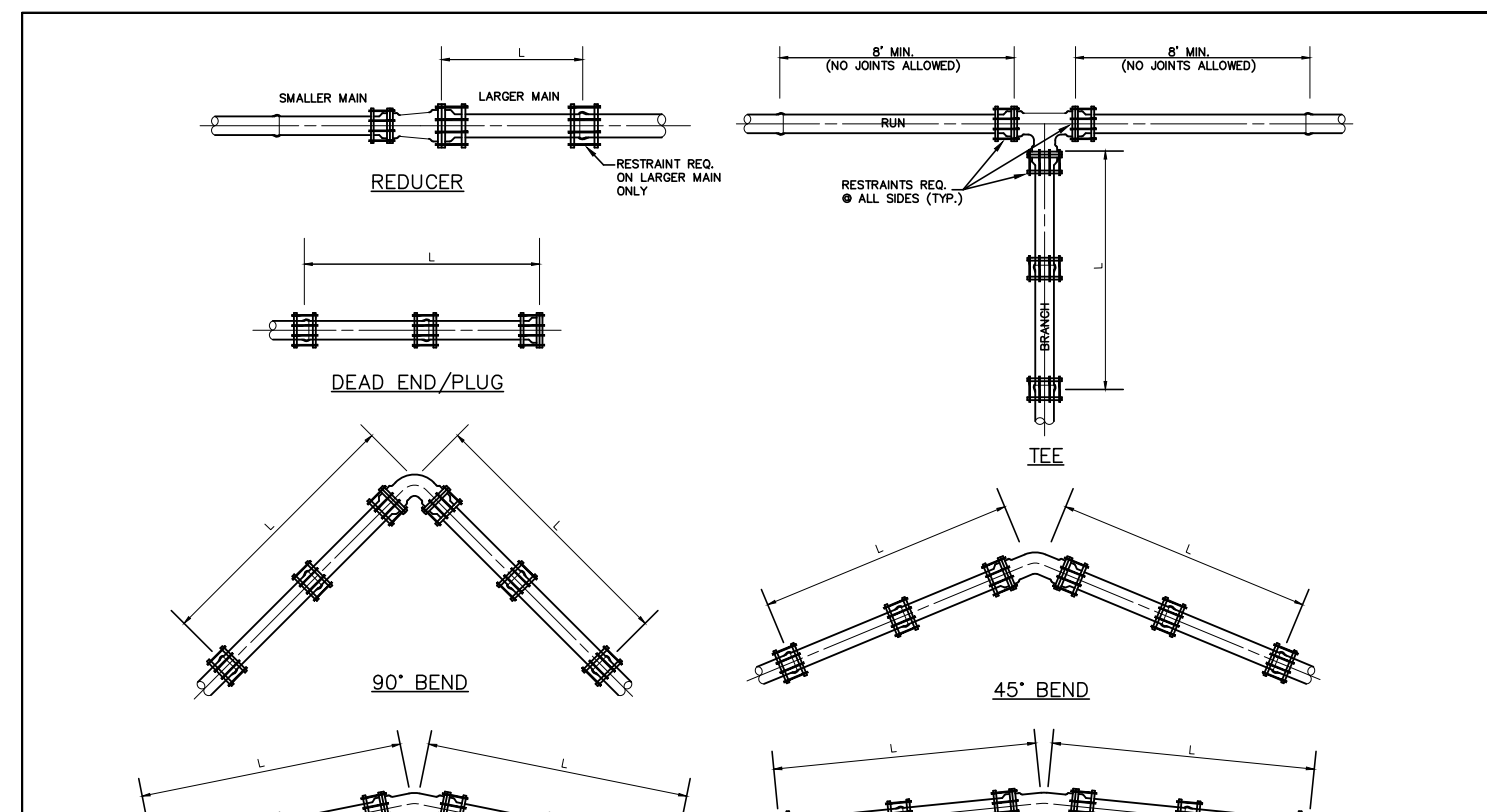


TABLE OF THRUST RESTRAINT LENGTHS

PIPE SIZE (INCH)	12\"/>	
	PIPE (O.D.)	PIPE (I.D.)
6	20'	18'
8	28'	22'
10	36'	29'
12	43'	34'
14	50'	40'
16	57'	46'
18	64'	52'
20	71'	58'
24	85'	70'

THRUST RESTRAINT DESIGN NOTES

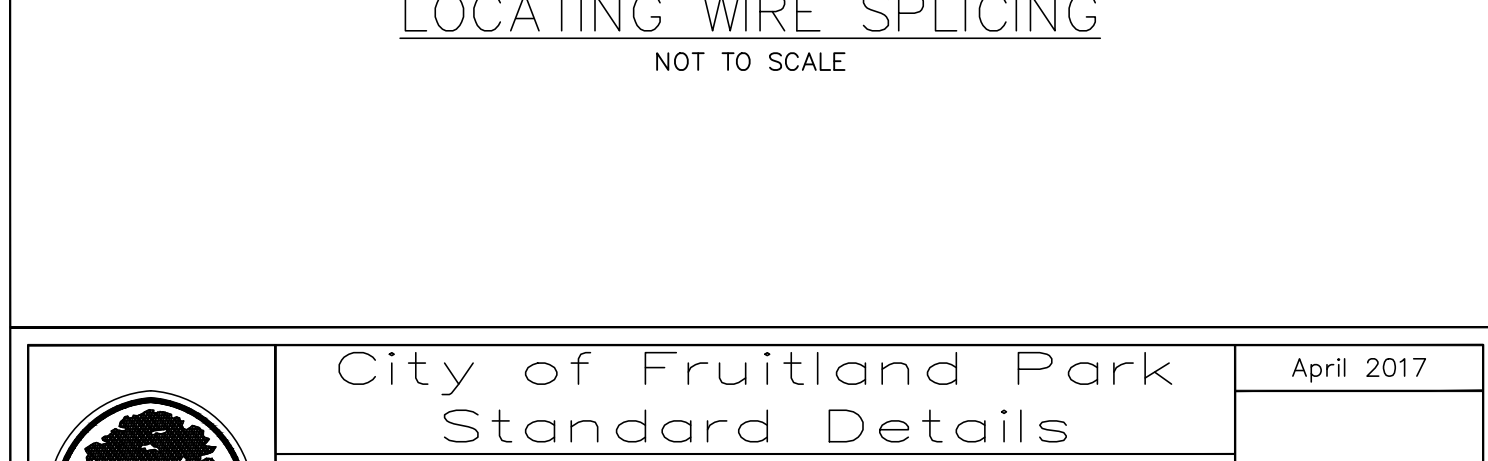
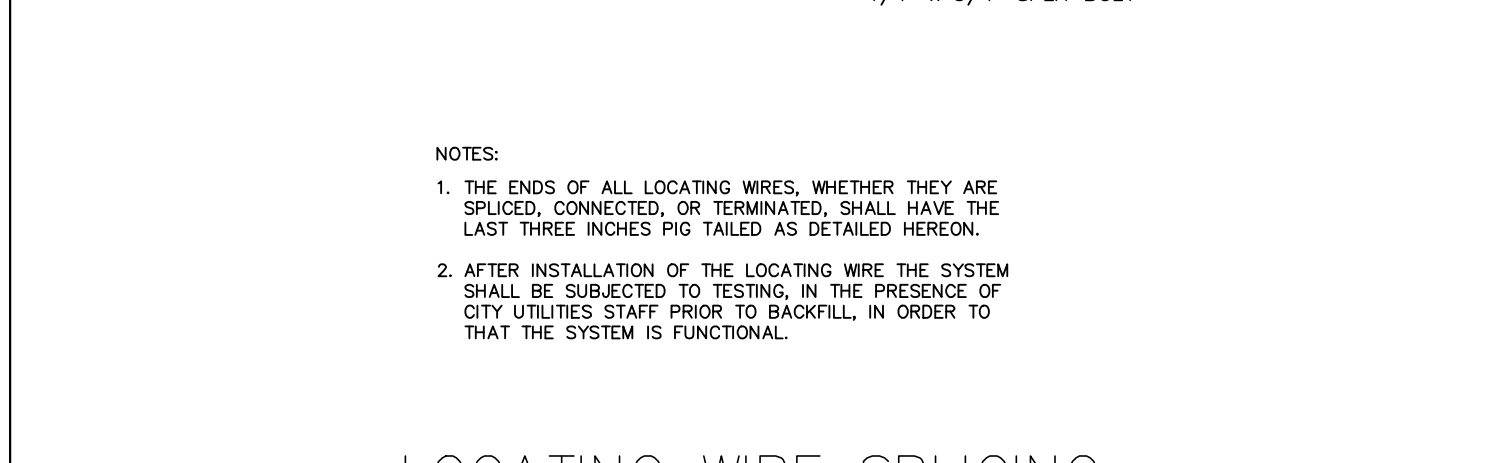
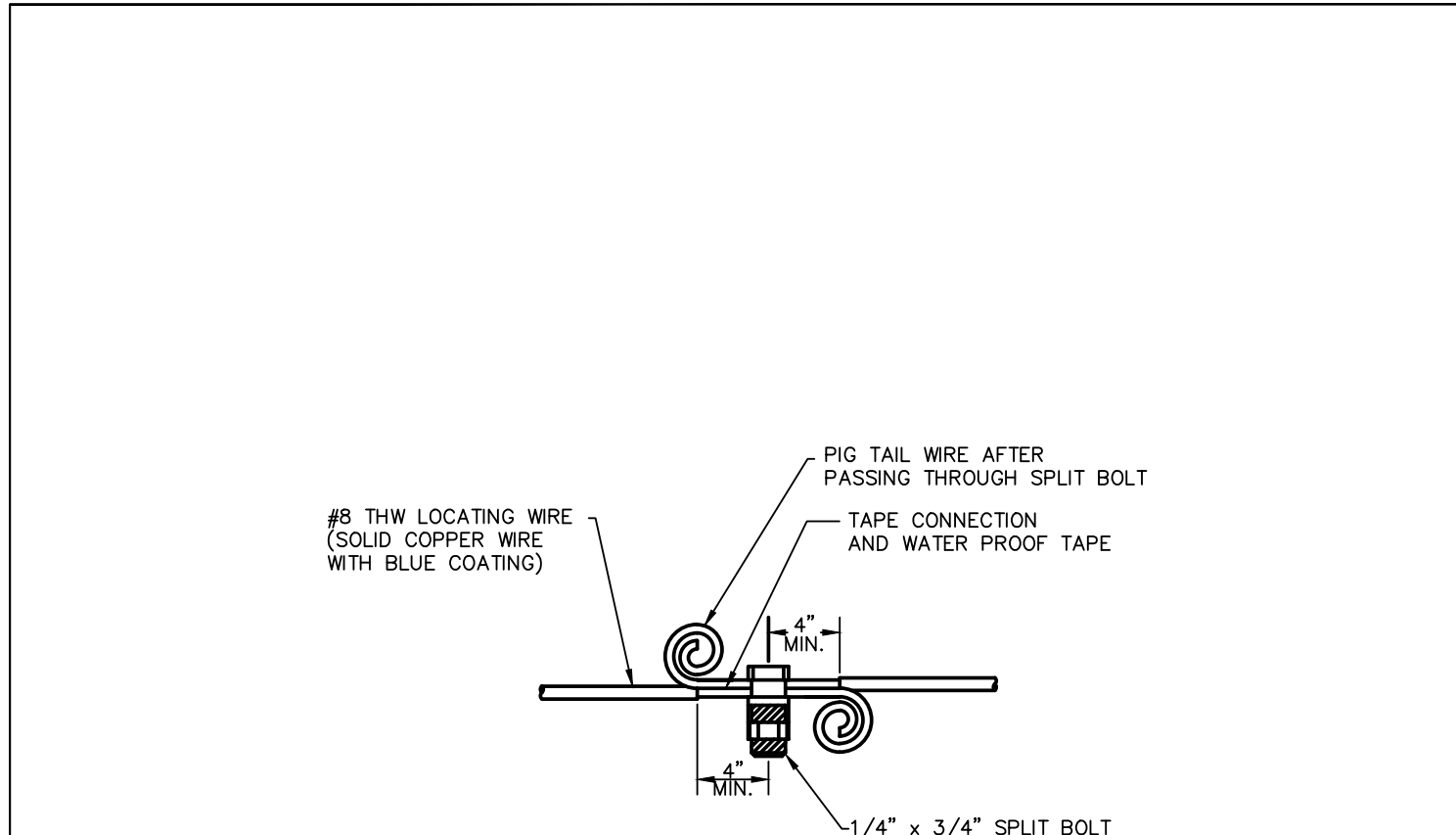
- RESTRAINT JOINTS, FITTINGS, & VALVE REQUIREMENTS CALCULATED BY THE THRUST RESTRAINT DESIGN PROGRAM PROVIDED BY UNI-FLANGE, THE FORD METER BOX COMPANY, INC.
- DATA BASED ON MAX. PRESSURE OF 100 P.S.I., THE UNIFIED CLASSIFICATION SYSTEM (UNIFIED) PIPE BEHIND IN NATIVE SOIL w/ A MINIMUM OF 2' COMPACTED FILL OVER THE PIPE, AND USING A SAFETY FACTOR OF 1.5 FOR THE DATA.
- ALL FITTINGS & VALVES SHALL HAVE RESTRAINED JOINTS PER SPECIFICATIONS & ALL BELL & SPOT JOINTS TO BE RESTRAINED WITH A RESTRAINED MANHOLE WITHIN THE REQUIRED LENGTH OF RESTRAINED PIPE (L).
- THRUST BLOCKS SHALL BE USED ONLY AS SPECIFIED BY PROJECT ENGINEER.

THRUST RESTRAINT DETAILS
NOT TO SCALE

City of Fruitland Park
Standard Details

April 2017

Detail G-6



LOCATING WIRE SPLICING
NOT TO SCALE

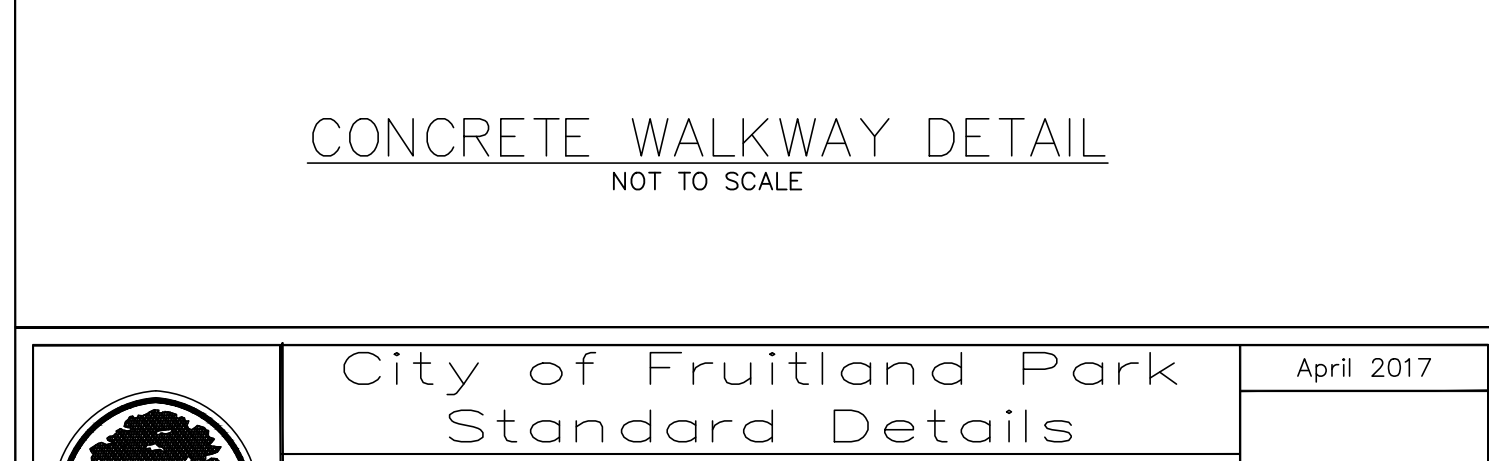
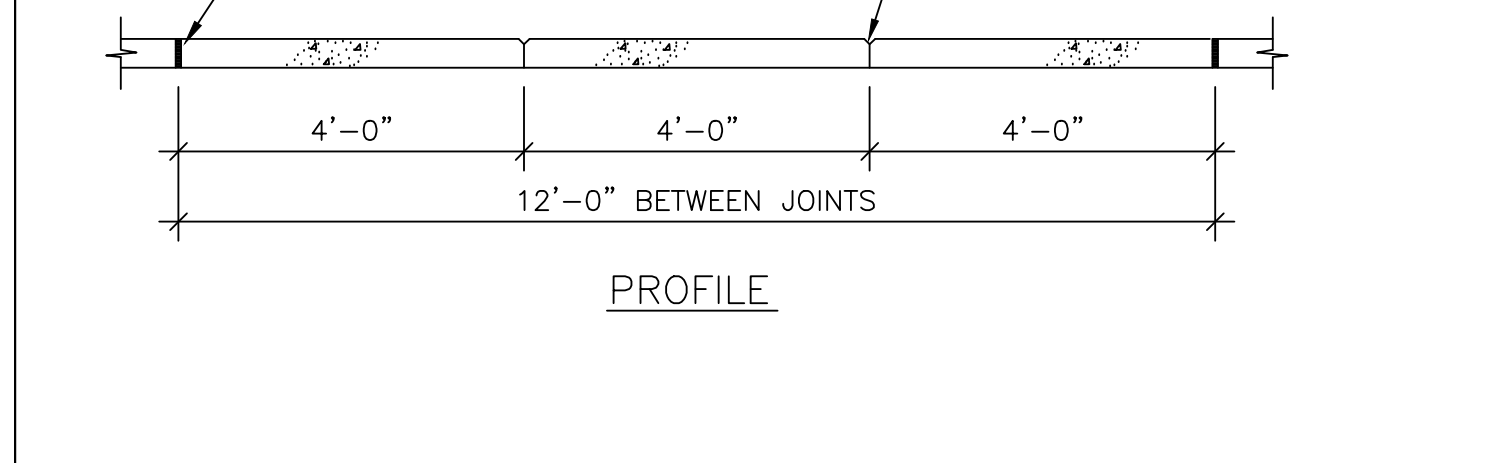
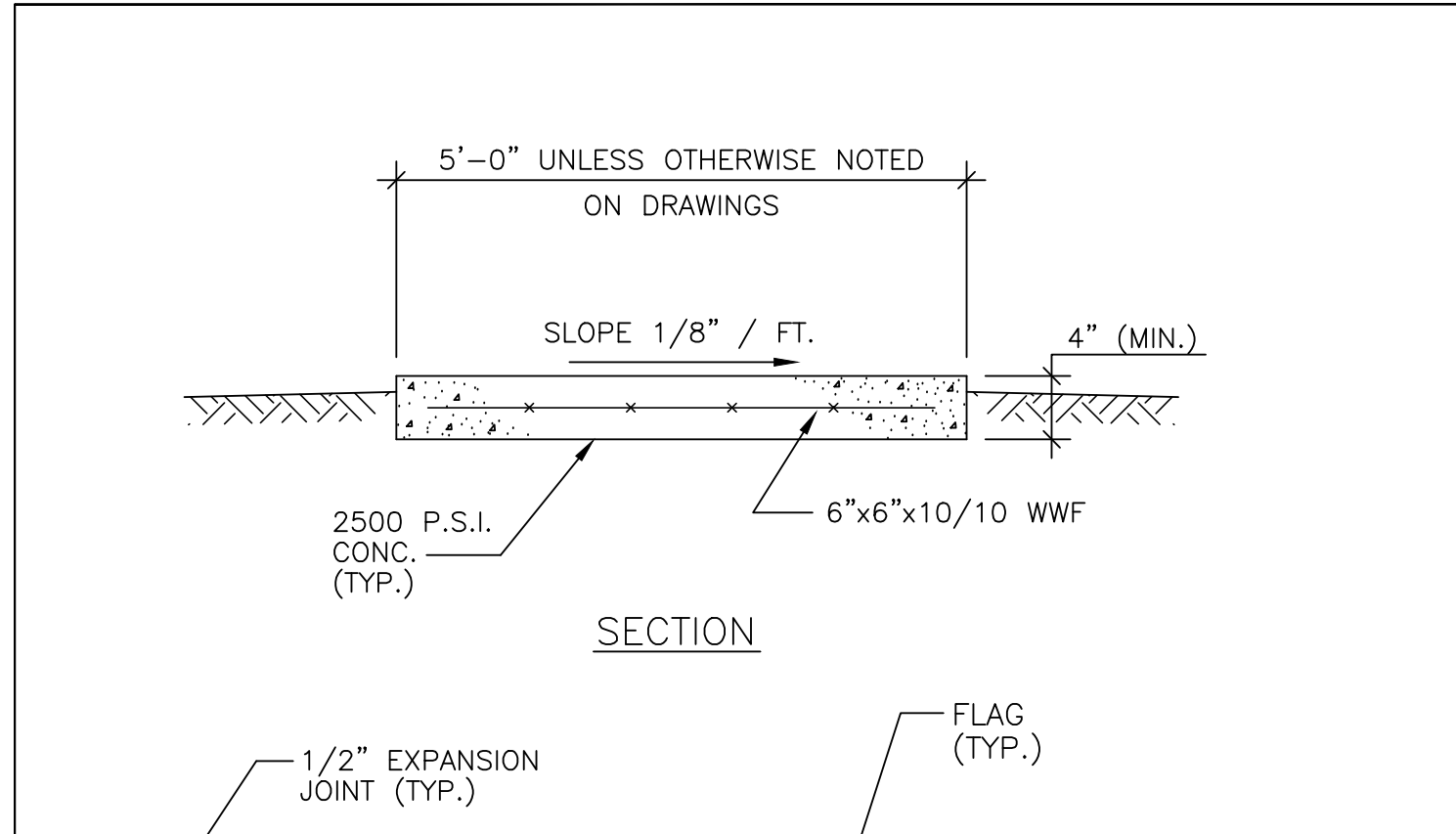
CONCRETE WALKWAY DETAIL
NOT TO SCALE

CHAIN LINK FENCE DETAIL
NOT TO SCALE

City of Fruitland Park
Standard Details

April 2017

Detail G-8



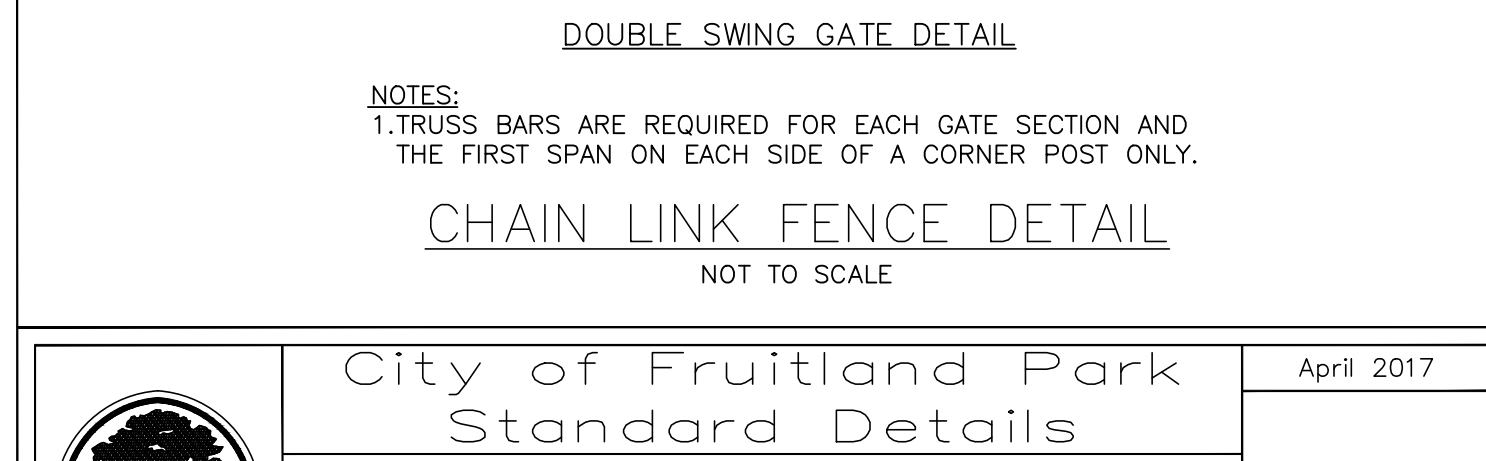
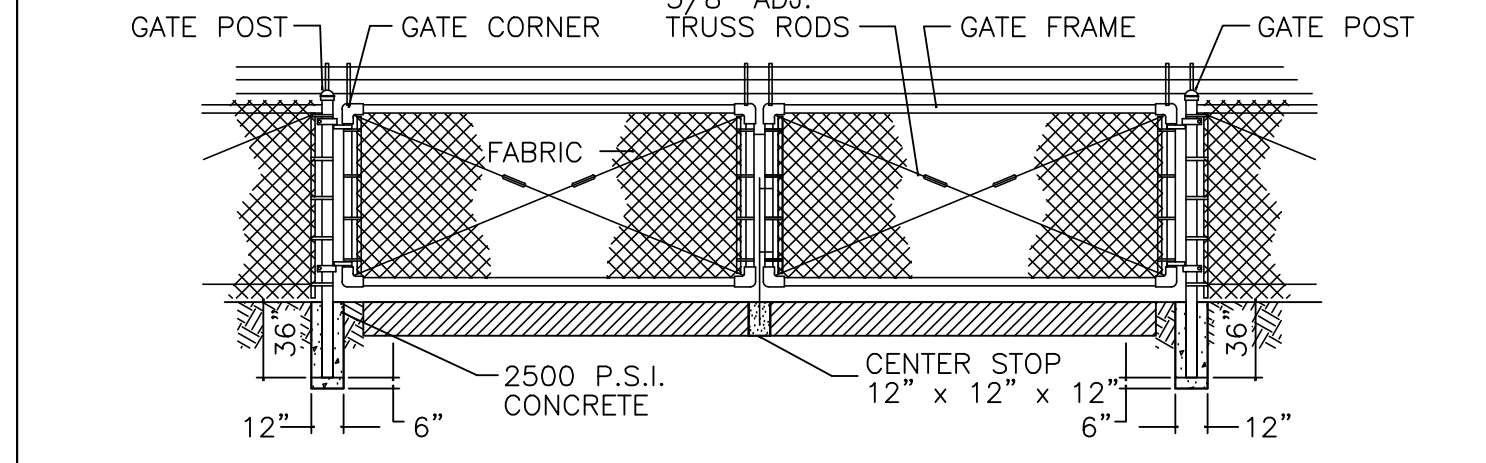
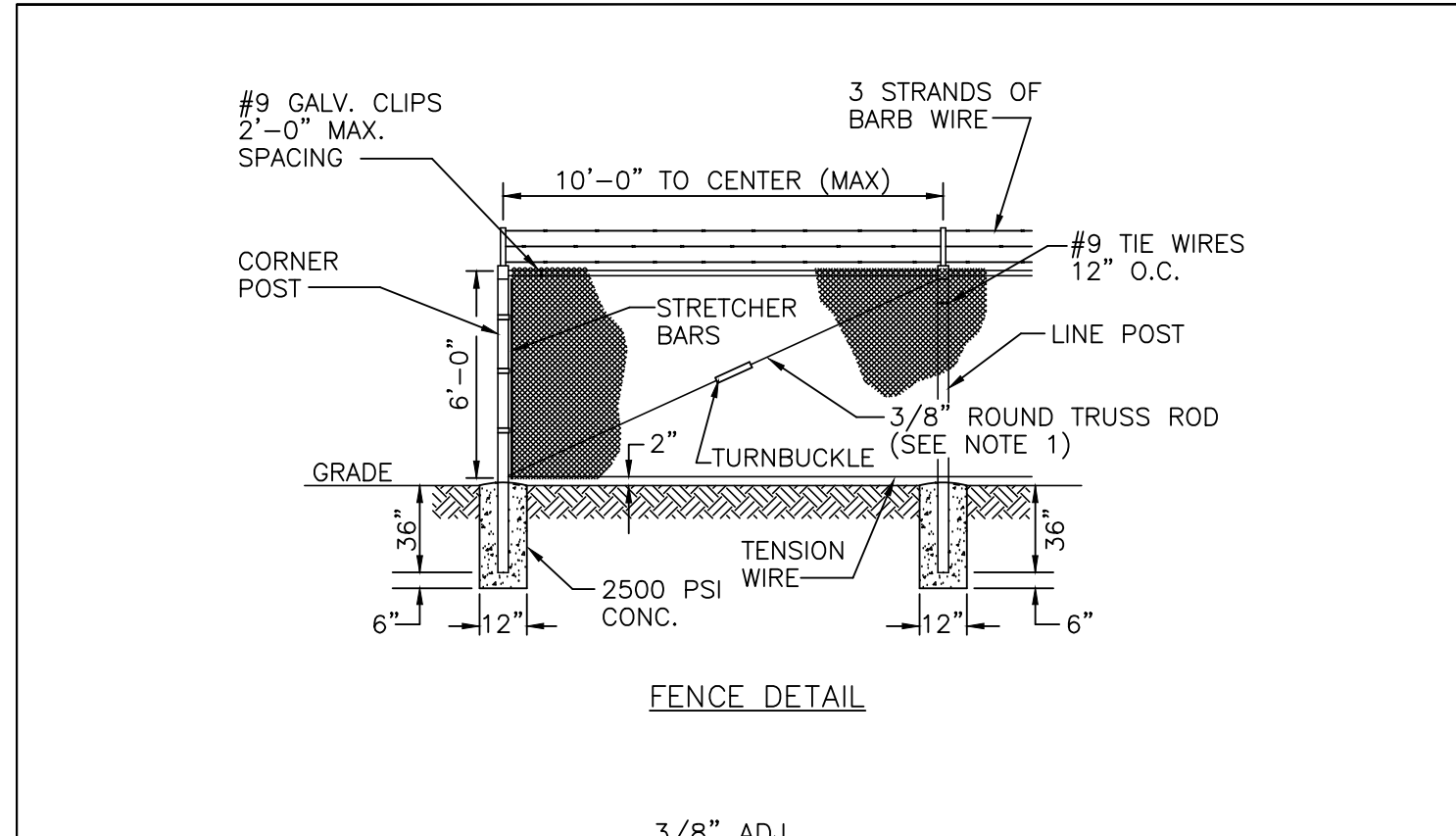
DOUBLE SWING GATE DETAIL
NOT TO SCALE

SANITARY PRECAST MANHOLE DETAIL
NOT TO SCALE

City of Fruitland Park
Standard Details

April 2017

Detail G-10



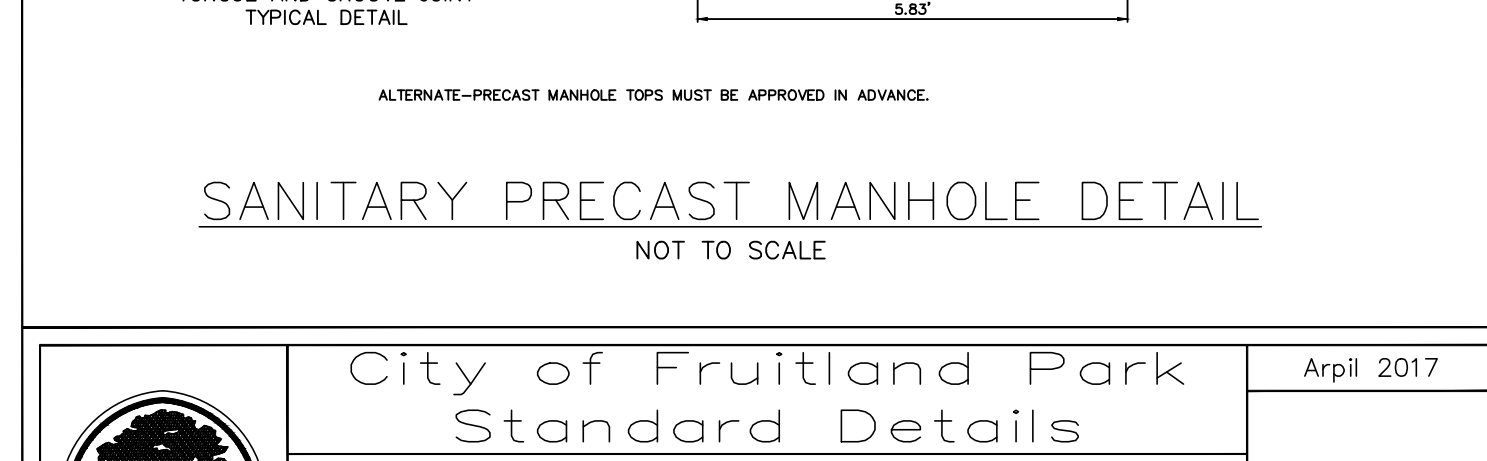
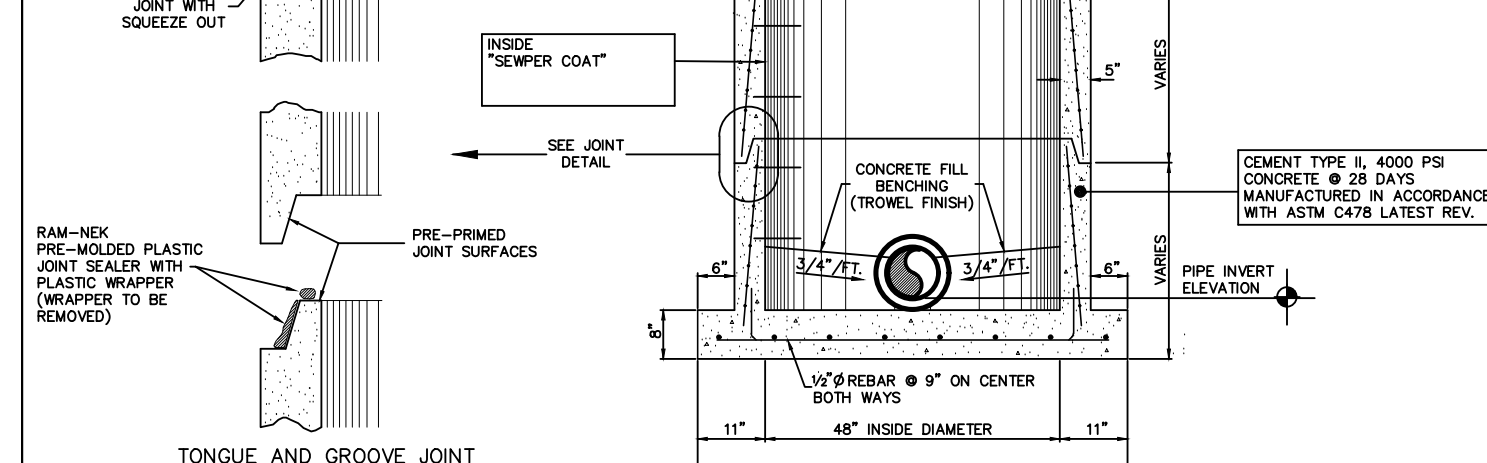
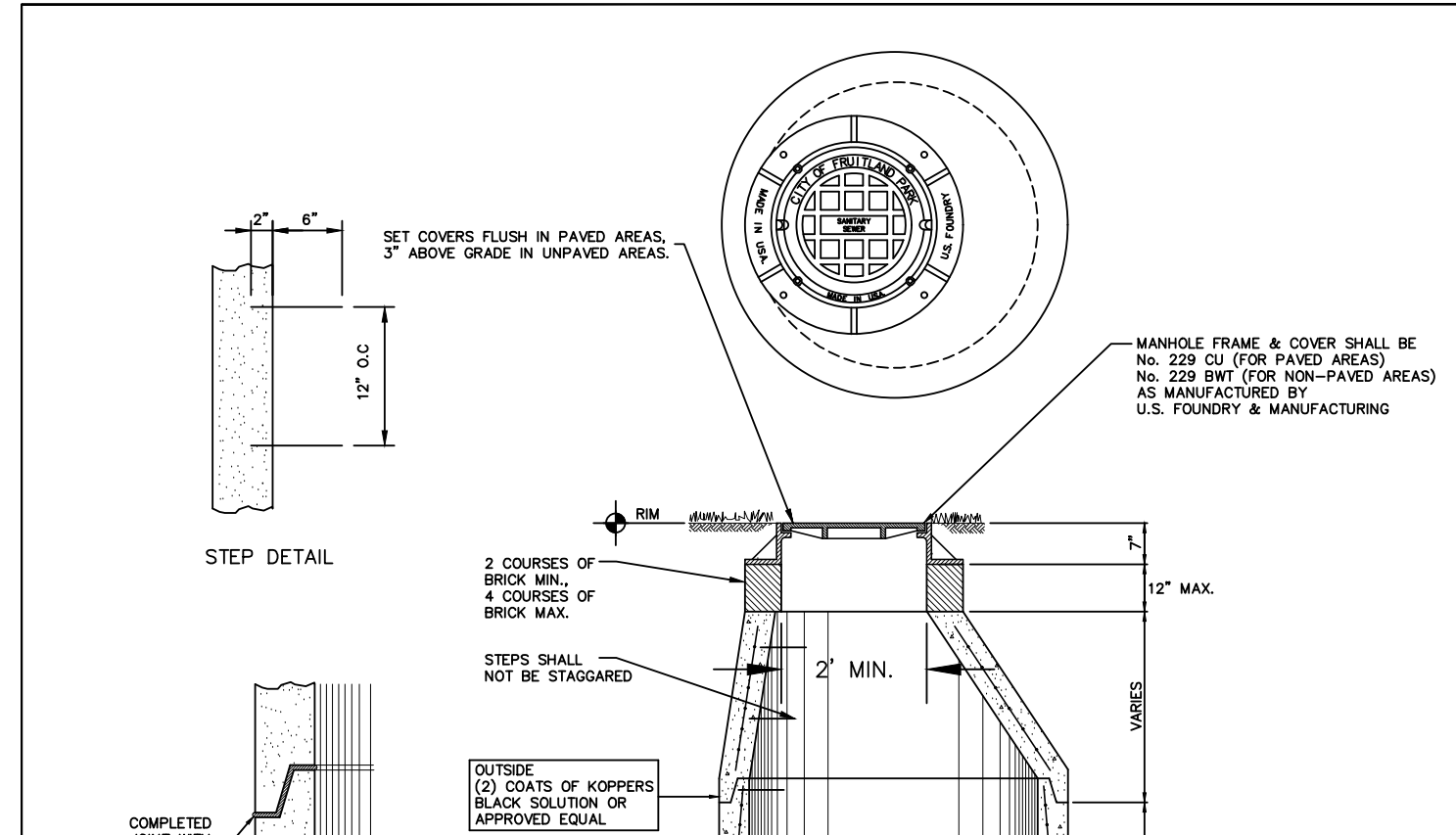
DOUBLE SWING GATE DETAIL
NOT TO SCALE

SANITARY PRECAST MANHOLE DETAIL
NOT TO SCALE

City of Fruitland Park
Standard Details

April 2017

Detail G-12



DOUBLE SWING GATE DETAIL
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SANITARY PRECAST MANHOLE DETAIL
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City of Fruitland Park
Standard Details

April 2017

Detail S-1

WESTMINSTER PINE RIDGE ROADWAY AND UTILITY DEVELOPMENT CONSTRUCTION PLANS

CITY OF FRUITLAND PARK, FLORIDA

FEG FLORIDA ENGINEERING GROUP
Engineering the Future

5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
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STANDARD DETAILS (1 OF 2)

DESIGNED BY: GRC
DRAWN BY: JV
CHECKED BY: GRC
APPROVED BY: GRC

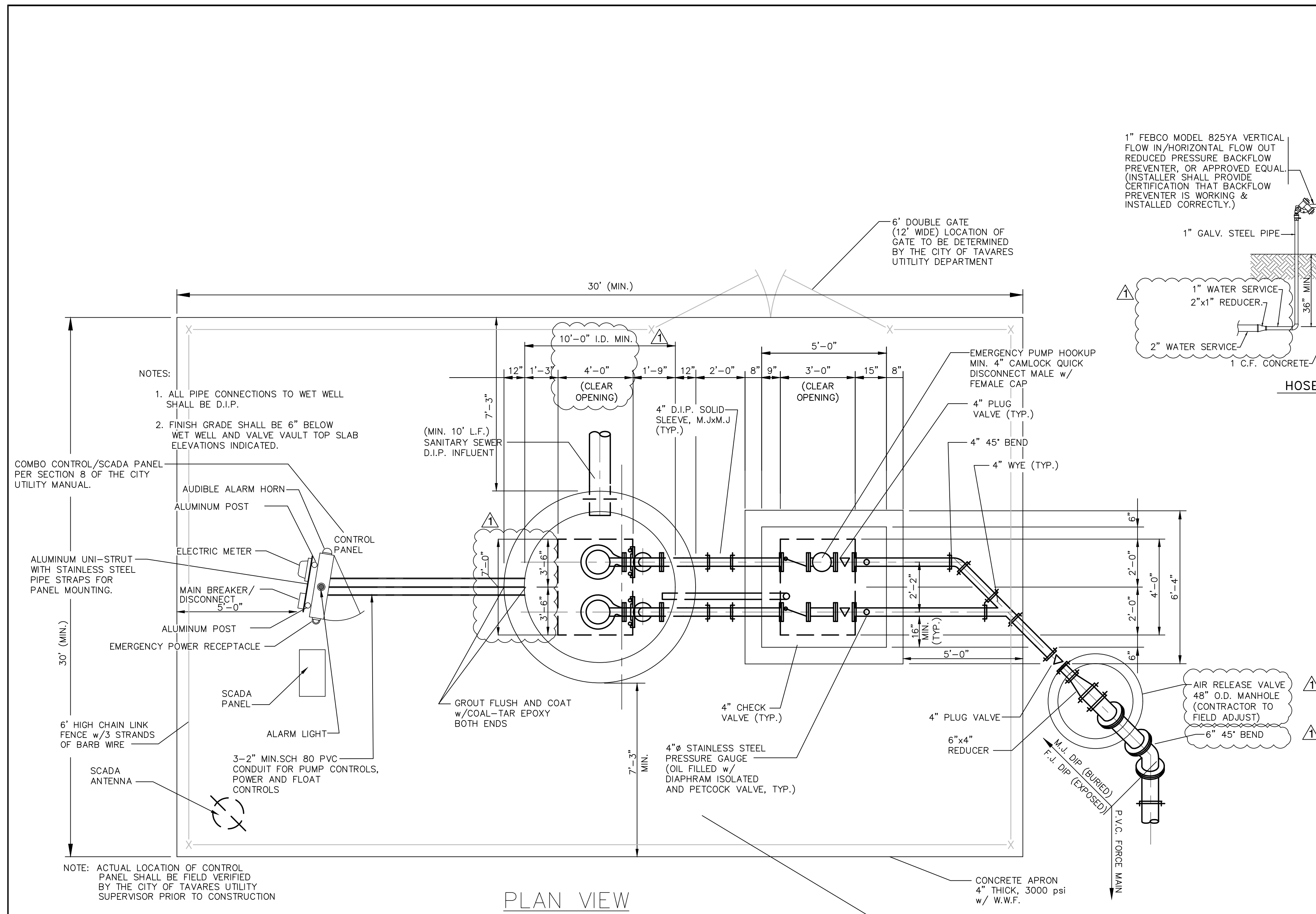
07/17/2018	REVISED PER BESH COMMENTS 07/11/2018	JV	GRC
DATE	REVISIONS	BY	CHECKED

PROJECT NO. 16-043
SCALE NOTED
DATE AUGUST 2017
SHEET NO. C-13
SHEET 14 OF 19

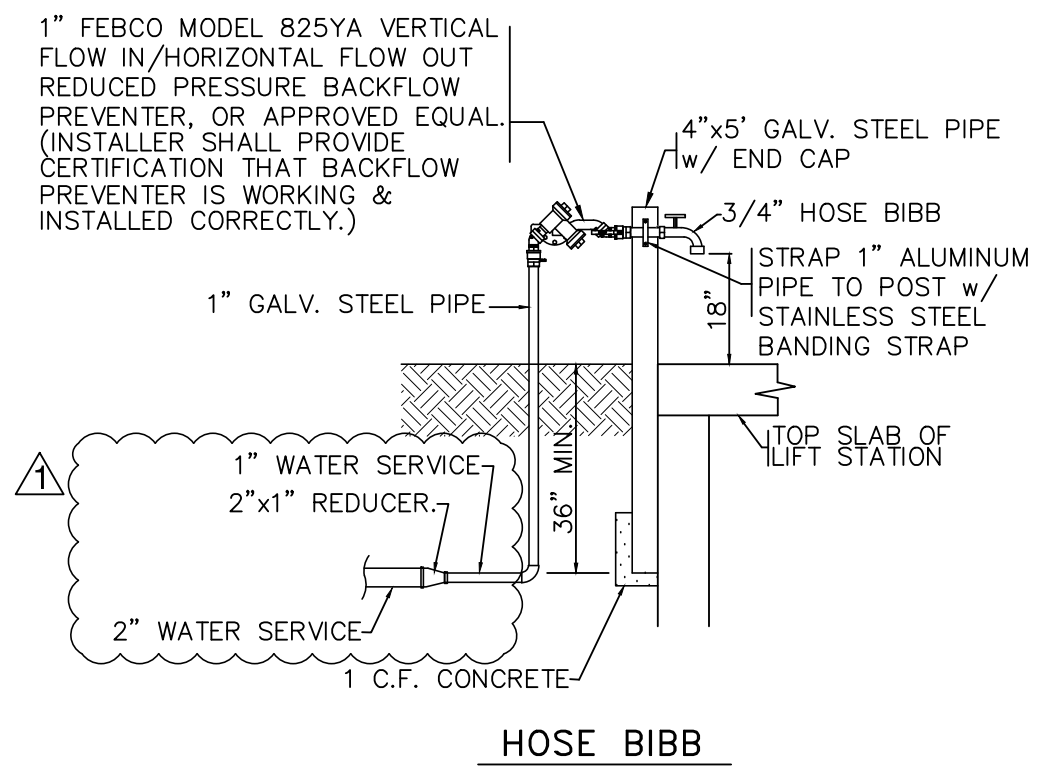
FLORIDA PROFESSIONAL ENGINEER
No 51335
STATE OF FLORIDA
GREGORY W. BISHOP
Lic# 19171

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PLAN VIEW
N.T.S.



NOTES:

- PUMPS: SHALL BE HYDROMATIC SUBMERSIBLE PUMPS. PUMPS SHALL HAVE (2) 2" STAINLESS STEEL GUIDE RAILS PER PUMP AND A BPI FRONT DUPLEX SYSTEM.
- LEVEL CONTROLS: SHALL BE IN ACCORDANCE WITH SECTION 8 OF THE CITY UTILITY MANUAL.
- WET WELL ACCESS COVER: SHALL HAVE CLEAR OPENING OF 36"x84" AS MANUFACTURED BY HALLIDAY PRODUCTS OR APPROVED EQUAL. ACCESS FRAME AND COVER SHALL HAVE A 1/4" THICK ONE-PIECE, MILL FINISH, EXTRUDED ALUMINUM FRAME, INCORPORATING A CONTINUOUS CONCRETE ANCHOR. DOOR PANEL(S) SHALL BE 1/4" ALUMINUM DIAMOND PLATE, REINFORCED TO WITHSTAND A LIVE LOAD OF 300 psf. DOOR(S) SHALL OPEN TO 90° AND AUTOMATICALLY LOCK WITH STAINLESS STEEL HOLD OPEN ARMS WITH ALUMINUM RELEASE HANDLES. DOOR(S) SHALL CLOSE FLUSH WITH THE FRAME. UNIT SHALL LOCK WITH A NONCORROSIVE LOCKING BAR. FRAME SHALL SUPPORT GUIDE RAILS AND CABLE HOLDER FOR ELECTRICAL WIRING. ALL ACCESS FRAME, COVER, AND HARDWARE SHALL BE CONSTRUCTED OF STAINLESS STEEL. ALL SURFACES IN CONTACT WITH CONCRETE SHALL HAVE A SHOP COAT OF ZINC CHROMATIC PRIMER APPROVED ALKALI RESISTANT PAINT OR APPROVED PROTECTIVE COATING. DOUBLE DOOR ACCESS COVERS SHALL HAVE REMOVABLE CENTER BAR SUPPORT. COVER MUST BE COMPATIBLE WITH PUMP.
- VALVE VAULT ACCESS COVER: SHALL HAVE CLEAR OPENING OF 36"x84" ACCESS AS MANUFACTURED BY HALLIDAY PRODUCTS OR APPROVED EQUAL. ACCESS FRAME AND COVER SHALL HAVE A 1/4" THICK ONE-PIECE, MILL FINISH, EXTRUDED ALUMINUM FRAME, INCORPORATING A CONTINUOUS CONCRETE ANCHOR. DOOR PANEL(S) SHALL BE 1/4" ALUMINUM DIAMOND PLATE, REINFORCED TO WITHSTAND A LIVE LOAD OF 300 psf. DOOR(S) SHALL OPEN TO 90° AND AUTOMATICALLY LOCK WITH STAINLESS STEEL HOLD OPEN ARMS WITH ALUMINUM RELEASE HANDLES. DOOR(S) SHALL CLOSE FLUSH WITH THE FRAME. UNIT SHALL LOCK WITH A NONCORROSIVE LOCKING BAR. ALL ACCESS FRAME, COVER, HARDWARE, AND FASTENERS SHALL BE CONSTRUCTED OF 316 STAINLESS STEEL. ALL SURFACES IN CONTACT WITH CONCRETE SHALL HAVE A SHOP COAT OF ZINC CHROMATIC PRIMER, APPROVED ALKALI RESISTANT PAINT OR APPROVED PROTECTIVE COATING. DOUBLE DOOR ACCESS COVERS SHALL HAVE REMOVABLE CENTER BAR SUPPORT. COVER MUST BE COMPATIBLE WITH PUMP.
- ELECTRICAL SERVICE ENTRANCE: PROVIDE METER SOCKET AND MAIN DISCONNECT MEETING APPLICABLE ELECTRIC CODES AND REQUIREMENTS OF POWER COMPANY. LIGHTNING AND VOLTAGE SURGE PROTECTION TO BE PROVIDED. **COST FOR THE ELECTRICAL SERVICE AND COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTROL PANEL: SHALL BE IN ACCORDANCE WITH SECTION 8 OF THE CITY UTILITY MANUAL. PANEL SHALL BE EQUIPPED WITH THREE, 2" X 6" ALUMINUM NIPPLES TO THE SEALOFFS, WITH SCH 80 PVC TO WET WELL.
- PAINT: INSIDE AND OUTSIDE OF VALVE VAULT SHALL BE PAINTED WITH TWO COATS OF "POXITAR" OR EQUAL APPLIED AS PER MANUFACTURER'S RECOMMENDATIONS.
- VALVE VAULT: PRECAST CONCRETE 60"x 84" (MINIMUM) INSIDE DIMENSIONS.
- STEEL PLACED IN BOTTOM SLAB IS TO BE IDENTICAL TO THE TOP SLAB EXCEPT THAT DIAGONAL BARS AND OPENINGS ARE ELIMINATED. STEEL IS CONTINUOUS AND SLAB IS SOLID.
- CONTRACTOR TO CONFIRM SERVICE ARRANGEMENTS WITH POWER COMPANY BEFORE COMMENCING WORK. CONTRACTOR TO RUN UNDERGROUND WIRING TO NEAREST TRANSFORMER OR HAND HOLE.
- ALL FASTENERS ON FLANGES AND ETC. INSIDE WET WELL WILL BE STAINLESS STEEL
- DIMENSIONS BETWEEN CENTERLINE OF PIPES ARE STANDARD FOR PIPE SIZES SPECIFIED.
- SHOP DRAWINGS OF ENTIRE INSTALLATION MUST BE APPROVED BY CITY PRIOR TO PLACEMENT OF ORDER.
- PLUG VALVES SHALL BE SERIES 100, AS MANUFACTURED BY DEZURIK CORP., AND CLOW OR APPROVED EQUAL. VALVES SHALL BE CONSTRUCTED WITH RESILIENT FACED PLUGS. ON BY-PASS LINES, VALVES SHALL BEBURIED WITH ACCESS THROUGH CAST IRON VALVE BOXES. VALVES SHALL HAVE A 2" OPERATION NUT. ONE(1) 5' LONG VALVE WRENCH SHALL BE PROVIDED TO THE CITY OF TAVARES PER LIFT STATION. ALL PLUG VALVES 8" AND SMALLER SHALL BE 1/4 TURN TYPE.
- ALL EXPOSED AND EMBEDDED CONDUITS TO BE SCHEDULE 80 PVC.
- ALL EXPOSED METAL SHALL BE PAINTED WITH TWO (2) COATS OF EXTERIOR BLACK ENAMEL PAINT.
- ALL EXTERNAL PIPING SHALL BE DUCTILE IRON CLASS 50 (FLANGED JOINT FOR EXPOSED PIPE & MECHANICAL JOINT FOR BURIED PIPE). ALL INTERNAL WET WELL PIPING FROM THE PUMP DISCHARGE ELBOW TO THE VALVE BOX SHALL BE MINIMUM SDR-11 HDPE.
- ALL DIMENSIONS AND LOCATIONS OF UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR.
- PRESSURE GAUGES SHALL BE STAINLESS STEEL WITH STAINLESS STEEL DIAPHRAGM, LIQUID FILLED, 4" DIAMETER DIAL WITH 0-100 PSI RANGE. GAUGES SHALL BE AS MANUFACTURED BY WKA, LOWER MOUNT, TYPE 233.30 AND DIAPHRAGMS SHALL BE AS MANUFACTURED BY HYETT, MODEL 43MCR-01 OR APPROVED EQUALS.
- CHECK VALVES SHALL BE MUELLER, KENNEDY, AMERICAN-DARLING, OR DRESSER WITH OUTSIDE LEVER AND WEIGHT.
- PADLOCKS FOR ACCESS COVERS AND CONTROL PANEL SHALL BE MASTER NO. 4 BRASS PADLOCK, KEYS ALIKE, FURNISH TWO(2) KEYS PER LOCK. BOLTS IN LOCKING DEVICE SHALL BE STAINLESS STEEL.
- WET WELL TO BE LINED WITH SEWPER COAT. ALL JOINTS SHALL BE EXTRUSION WELDED BY CERTIFIED WELDERS.
- SOD ALL AREAS DISTURBED BY CONSTRUCTION.
- ALL ALUMINUM SURFACES IN CONTACT WITH CONCRETE WILL REQUIRE SHOP COATING OF SUITABLE PROTECTIVE COATING TO RESIST CORROSION.
- BYPASS PUMPING: CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BYPASS PUMPING. A BYPASS PUMPING PLAN SHALL BE SUBMITTED AT THE TIME OF PERMIT APPLICATION TO THE ENVIRONMENTAL SERVICES DIRECTOR. CITIZEN CONSIDERATION WILL BE REVIEWED WHEN BYPASS PUMPING EQUIPMENT IS REQUIRED. SOUND ATTENUATING ENCLOSURES MAY BE REQUIRED, AT THE DISCRETION OF THE ENVIRONMENTAL SERVICES DIRECTOR.
- FIELD TESTING: THE CONTRACTOR SHALL FURNISH THE SERVICES OF THE SYSTEM SUPPLIER'S SERVICEMAN, ALL SPECIAL TOOLS, CALIBRATION EQUIPMENT, AND LABOR TO PERFORM THE TESTS. CERTIFIED COPIES OF THE TESTS SHALL BE FURNISHED IN DUPLICATE TO THE CITY ENGINEER PRIOR TO FINAL APPROVAL.

DUPLEX
Lift Station

City of Fruitland Park
Standard Details



DATE: April 2017
DETAIL S-11

DATE	REVISIONS	BY	CHECKED
07/17/2018	REVISED PER BESH COMMENTS 07/11/2018	JV	GRC

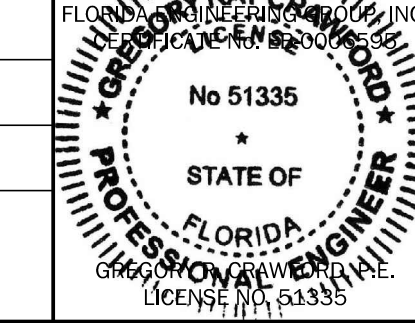
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CITY OF FRUITLAND PARK, FLORIDA



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Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
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LIFT STATION DETAIL (1 OF 2)			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
GRC	JV	GRC	GRC

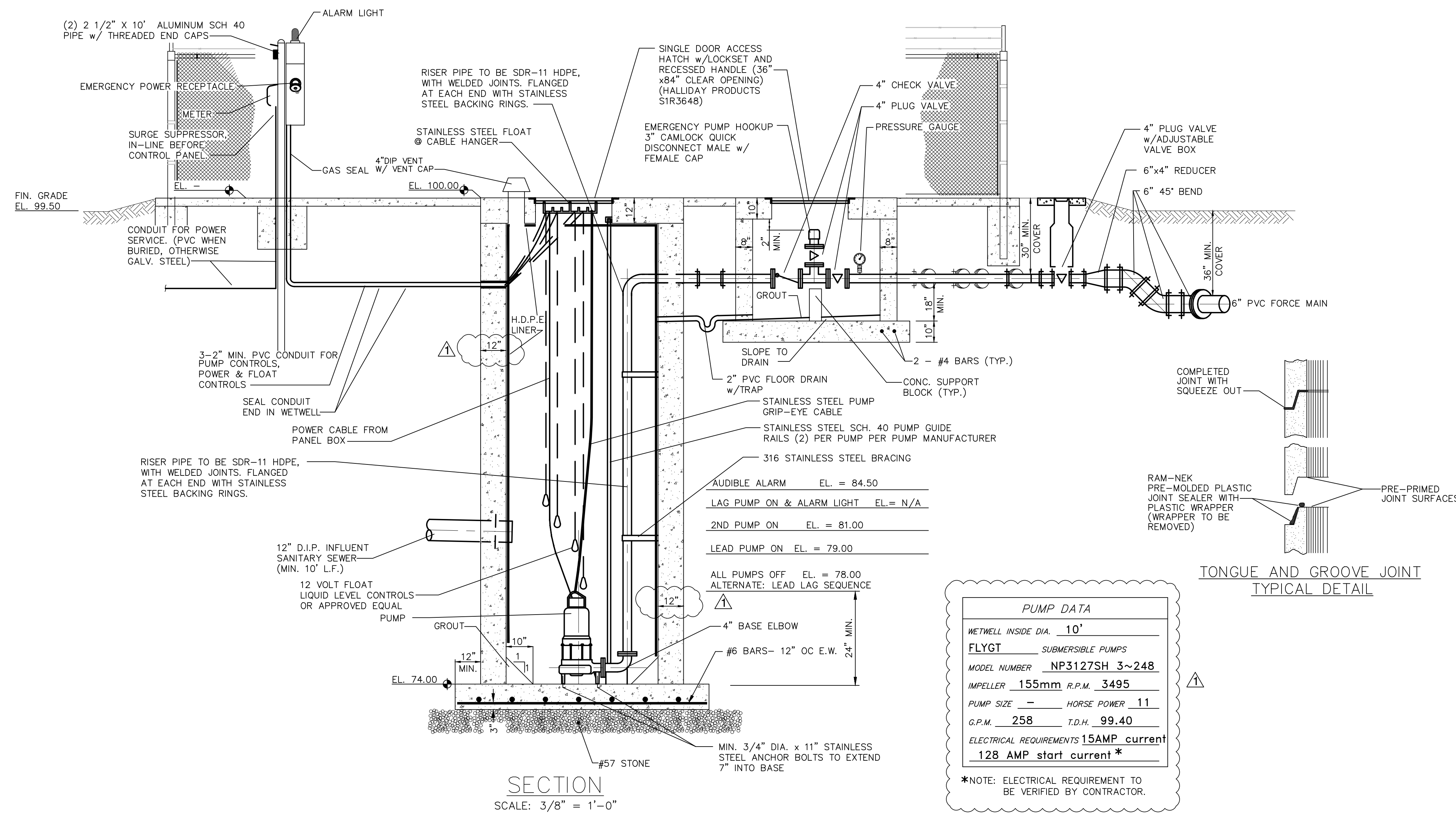
PROJECT NO.	16-043
SCALE	NOTED
DATE	AUGUST 2017
SHEET NO.	C-15
SHEET 16	OF 19



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Standard Details



DATE: April 2017
DETAIL S-11

WESTMINSTER PINE RIDGE
ROADWAY AND UTILITY DEVELOPMENT
CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA

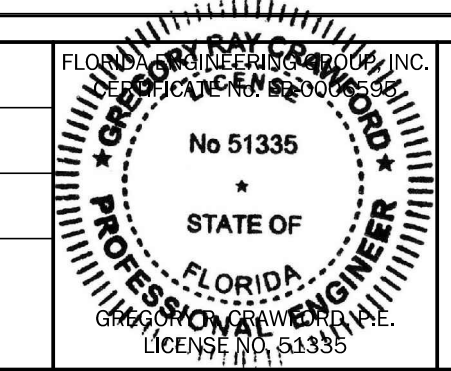


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Phone: 407-895-0324
Fax: 407-895-0325
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SCALE	NOTED
DATE	AUGUST 2017
SHEET NO.	C-16
SHEET 17	OF 19

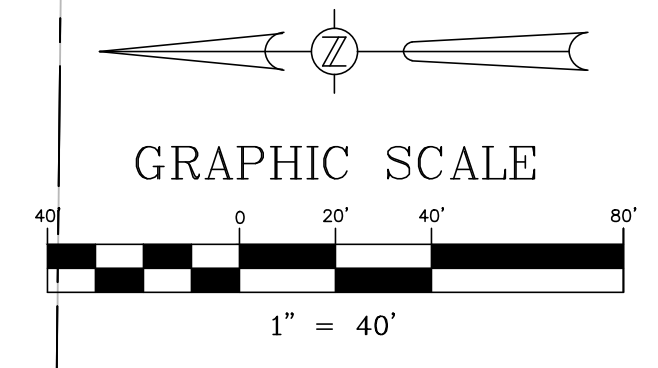


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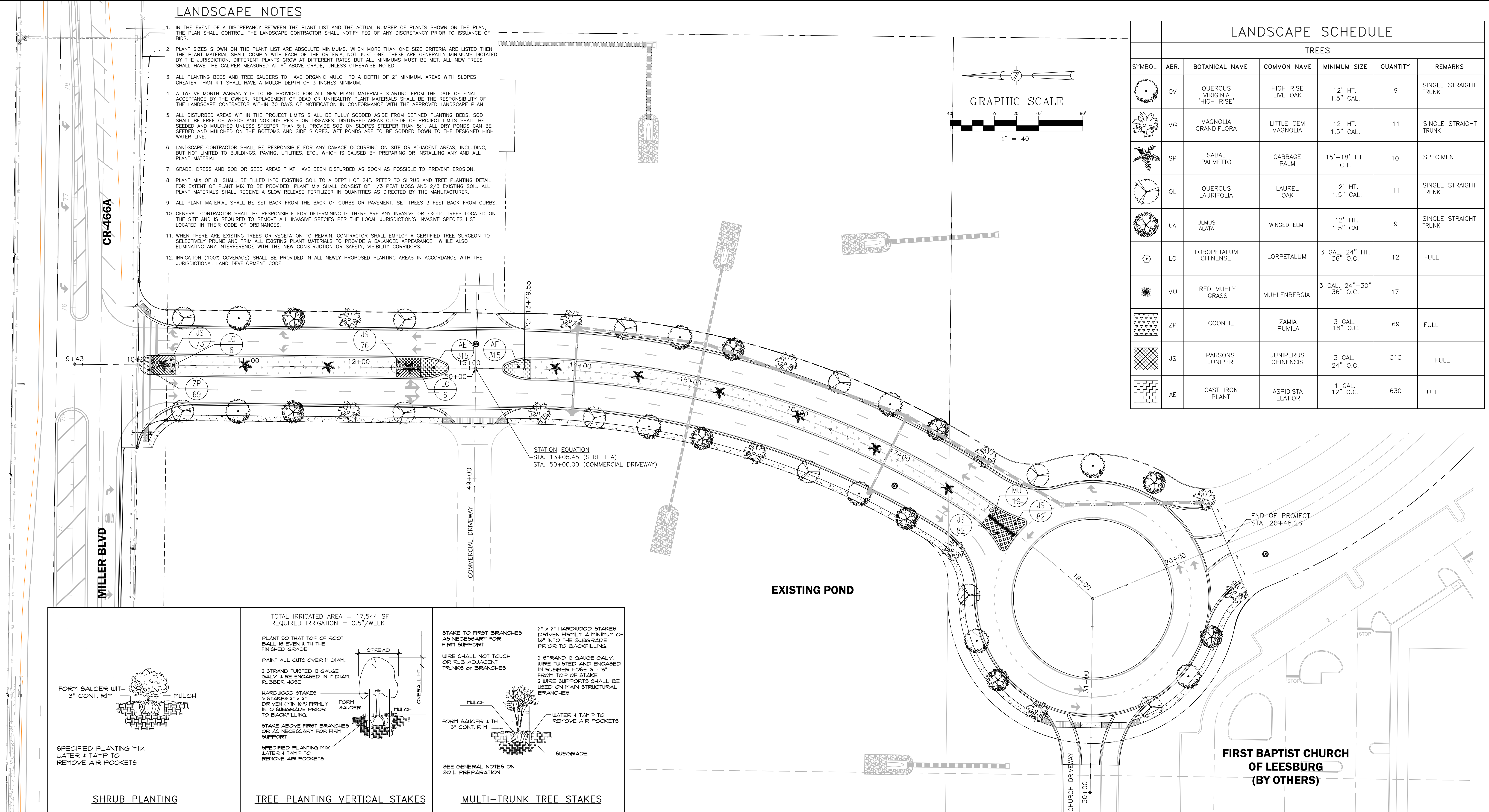
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DATE	REVISIONS	BY	CHECKED

LANDSCAPE NOTES

- IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE ACTUAL NUMBER OF PLANTS SHOWN ON THE PLAN, THE PLAN SHALL CONTROL. THE LANDSCAPE CONTRACTOR SHALL NOTIFY FEG OF ANY DISCREPANCY PRIOR TO ISSUANCE OF BIDS.
- PLANT SIZES SHOWN ON THE PLANT LIST ARE ABSOLUTE MINIMUMS. WHEN MORE THAN ONE SIZE CRITERIA ARE LISTED THEN THE PLANT MATERIAL SHALL COMPLY WITH EACH OF THE CRITERIA, NOT JUST ONE. THESE ARE GENERALLY MINIMUMS DICTATED BY THE JURISDICTION. DIFFERENT PLANTS GROW AT DIFFERENT RATES BUT ALL MINIMUMS MUST BE MET. ALL NEW TREES SHALL HAVE THE CALIPER MEASURED AT 6" ABOVE GRADE, UNLESS OTHERWISE NOTED.
- ALL PLANTING BEDS AND TREE SAUCERS TO HAVE ORGANIC MULCH TO A DEPTH OF 2" MINIMUM. AREAS WITH SLOPES GREATER THAN 4:1 SHALL HAVE A MULCH DEPTH OF 3 INCHES MINIMUM.
- A TWELVE MONTH WARRANTY IS TO BE PROVIDED FOR ALL NEW PLANT MATERIALS STARTING FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. REPLACEMENT OF DEAD OR UNHEALTHY PLANT MATERIALS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR WITHIN 30 DAYS OF NOTIFICATION IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
- ALL DISTURBED AREAS WITHIN THE PROJECT LIMITS SHALL BE FULLY SODDED ASIDE FROM DEFINED PLANTING BEDS. SOD SHALL BE FREE OF WEEDS AND NOXIOUS PESTS OR DISEASES. DISTURBED AREAS OUTSIDE OF PROJECT LIMITS SHALL BE SEEDED AND MULCHED UNLESS STEEPER THAN 5:1. PROVIDE SOD ON SLOPES STEEPER THAN 5:1. ALL DRY PONDS CAN BE SEEDED AND MULCHED ON THE BOTTOMS AND SIDE SLOPES. WET PONDS ARE TO BE SODDED DOWN TO THE DESIGNED HIGH WATER LINE.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OCCURRING ON SITE OR ADJACENT AREAS, INCLUDING, BUT NOT LIMITED TO BUILDINGS, PAVING, UTILITIES, ETC., WHICH IS CAUSED BY PREPARING OR INSTALLING ANY AND ALL PLANT MATERIAL.
- GRADE, DRESS AND SOD OR SEED AREAS THAT HAVE BEEN DISTURBED AS SOON AS POSSIBLE TO PREVENT EROSION.
- PLANT MIX OF 8" SHALL BE TILLED INTO EXISTING SOIL TO A DEPTH OF 24". REFER TO SHRUB AND TREE PLANTING DETAIL FOR EXTENT OF PLANT MIX TO BE PROVIDED. PLANT MIX SHALL CONSIST OF 1/3 PEAT MOSS AND 2/3 EXISTING SOIL. ALL PLANT MATERIALS SHALL RECEIVE A SLOW RELEASE FERTILIZER IN QUANTITIES AS DIRECTED BY THE MANUFACTURER.
- ALL PLANT MATERIAL SHALL BE SET BACK FROM THE BACK OF CURBS OR PAVEMENT. SET TREES 3 FEET BACK FROM CURBS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING IF THERE ARE ANY INVASIVE OR EXOTIC TREES LOCATED ON THE SITE AND IS REQUIRED TO REMOVE ALL INVASIVE SPECIES PER THE LOCAL JURISDICTION'S INVASIVE SPECIES LIST LOCATED IN THEIR CODE OF ORDINANCES.
- WHEN THERE ARE EXISTING TREES OR VEGETATION TO REMAIN, CONTRACTOR SHALL EMPLOY A CERTIFIED TREE SURGEON TO SELECTIVELY PRUNE AND TRIM ALL EXISTING PLANT MATERIALS TO PROVIDE A BALANCED APPEARANCE WHILE ALSO ELIMINATING ANY INTERFERENCE WITH THE NEW CONSTRUCTION OR SAFETY, VISIBILITY CORRIDORS.
- IRRIGATION (100% COVERAGE) SHALL BE PROVIDED IN ALL NEWLY PROPOSED PLANTING AREAS IN ACCORDANCE WITH THE JURISDICTIONAL LAND DEVELOPMENT CODE.



LANDSCAPE SCHEDULE						
TREES						
SYMBOL	ABR.	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	QUANTITY	REMARKS
	QV	QUERCUS VIRGINIANA 'HIGH RISE'	HIGH RISE LIVE OAK	12' HT. 1.5" CAL.	9	SINGLE STRAIGHT TRUNK
	MG	MAGNOLIA GRANDIFLORA	LITTLE GEM MAGNOLIA	12' HT. 1.5" CAL.	11	SINGLE STRAIGHT TRUNK
	SP	SABAL PALMETTO	CABBAGE PALM	15'-18' HT. C.T.	10	SPECIMEN
	QL	QUERCUS LAURIFOLIA	LAUREL OAK	12' HT. 1.5" CAL.	11	SINGLE STRAIGHT TRUNK
	UA	ULMUS ALATA	WINGED ELM	12' HT. 1.5" CAL.	9	SINGLE STRAIGHT TRUNK
	LC	LOROPETALUM CHINENSE	LORPETALUM	3 GAL. 24" HT. 36" O.C.	12	FULL
	MU	RED MUHLY GRASS	MUHLENBERGIA	3 GAL. 24"-30" 36" O.C.	17	
	ZP	COONTIE	ZAMIA PUMILA	3 GAL. 18" O.C.	69	FULL
	JS	PARSONS JUNIPER	JUNIPERUS CHINENSIS	3 GAL. 24" O.C.	313	FULL
	AE	CAST IRON PLANT	ASPIDISTRA ELATOR	1 GAL. 12" O.C.	630	FULL



SHRUB PLANTING

TREE PLANTING VERTICAL STAKES

TOTAL IRRIGATED AREA = 17,544 SF
REQUIRED IRRIGATION = 0.5"/WEEK

MULTI-TRUNK TREE STAKES

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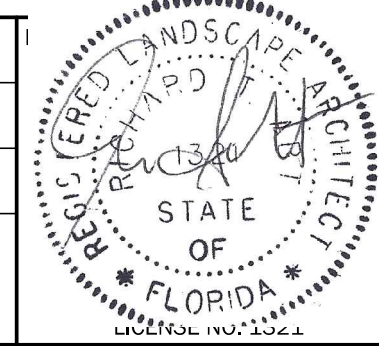
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SITE LANDSCAPE PLAN			
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RTA	RTA	RTA	RTA

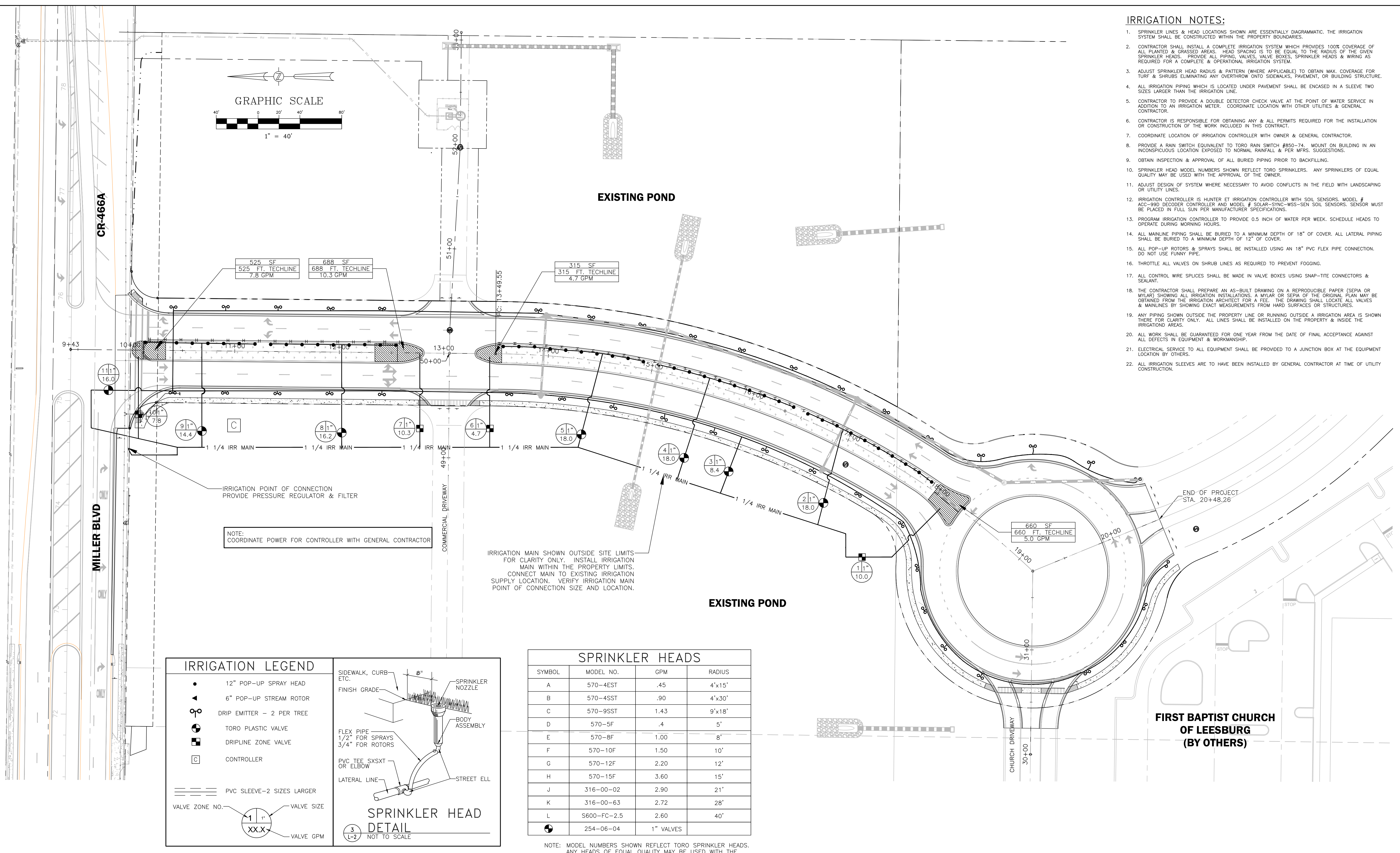
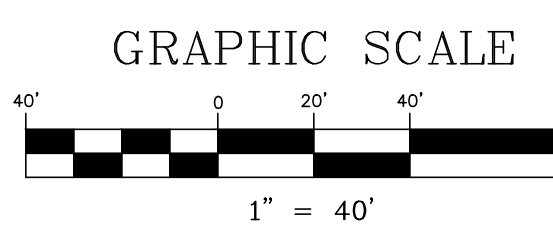
PROJECT NO.	16-043
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SHEET NO.	C-17
SHEET	17 OF 18



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IRRIGATION NOTES:

- SPRINKLER LINES & HEAD LOCATIONS SHOWN ARE ESSENTIALLY DIAGRAMMATIC. THE IRRIGATION SYSTEM SHALL BE CONSTRUCTED WITHIN THE PROPERTY BOUNDARIES.
- CONTRACTOR SHALL INSTALL A COMPLETE IRRIGATION SYSTEM WHICH PROVIDES 100% COVERAGE OF ALL PLANTED & GRASSED AREAS. HEAD SPACING IS TO BE EQUAL TO THE RADIUS OF THE GIVEN SPRINKLER HEADS. PROVIDE ALL PIPING, VALVES, VALVE BOXES, SPRINKLER HEADS & WIRING AS REQUIRED FOR A COMPLETE & OPERATIONAL IRRIGATION SYSTEM.
- ADJUST SPRINKLER HEAD RADIUS & PATTERN (WHERE APPLICABLE) TO OBTAIN MAX. COVERAGE FOR TURF & SHRUBS ELIMINATING ANY OVERTHROW ONTO SIDEWALKS, PAVEMENT, OR BUILDING STRUCTURE.
- ALL IRRIGATION PIPING WHICH IS LOCATED UNDER PAVEMENT SHALL BE ENCASED IN A SLEEVE TWO SIZES LARGER THAN THE IRRIGATION LINE.
- CONTRACTOR TO PROVIDE A DOUBLE DETECTOR CHECK VALVE AT THE POINT OF WATER SERVICE IN ADDITION TO AN IRRIGATION METER. COORDINATE LOCATION WITH OTHER UTILITIES & GENERAL CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY & ALL PERMITS REQUIRED FOR THE INSTALLATION OR CONSTRUCTION OF THE WORK INCLUDED IN THIS CONTRACT.
- COORDINATE LOCATION OF IRRIGATION CONTROLLER WITH OWNER & GENERAL CONTRACTOR.
- PROVIDE A RAIN SWITCH EQUIVALENT TO TORO RAIN SWITCH #850-74. MOUNT ON BUILDING IN AN INCONSPICUOUS LOCATION EXPOSED TO NORMAL RAINFALL & PER MFRS. SUGGESTIONS.
- OBTAIN INSPECTION & APPROVAL OF ALL BURIED PIPING PRIOR TO BACKFILLING.
- SPRINKLER HEAD MODEL NUMBERS SHOWN REFLECT TORO SPRINKLERS. ANY SPRINKLERS OF EQUAL QUALITY MAY BE USED WITH THE APPROVAL OF THE OWNER.
- ADJUST DESIGN OF SYSTEM WHERE NECESSARY TO AVOID CONFLICTS IN THE FIELD WITH LANDSCAPING OR UTILITY LINES.
- IRRIGATION CONTROLLER IS HUNTER ET IRRIGATION CONTROLLER WITH SOIL SENSORS. MODEL # AGC-990 DECODER CONTROLLER AND MODEL # SOLAR-SYNC-WSS-SEN SOIL SENSORS. SENSOR MUST BE PLACED IN FULL SUN PER MANUFACTURER SPECIFICATIONS.
- PROGRAM IRRIGATION CONTROLLER TO PROVIDE 0.5 INCH OF WATER PER WEEK. SCHEDULE HEADS TO OPERATE DURING MORNING HOURS.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- ALL POP-UP ROTORS & SPRAYS SHALL BE INSTALLED USING AN 18" PVC FLEX PIPE CONNECTION. DO NOT USE FUNNY PIPE.
- THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.
- ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING SNAP-TITE CONNECTORS & SEALANT.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (SEPIA OR MYLAR) SHOWING ALL IRRIGATION INSTALLATIONS. A MYLAR OR SEPIA OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE IRRIGATION ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL VALVES & MANLINES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES OR STRUCTURES.
- ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE AN IRRIGATION AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY & INSIDE THE IRRIGATION AREAS.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT & WORKMANSHIP.
- ELECTRICAL SERVICE TO ALL EQUIPMENT SHALL BE PROVIDED TO A JUNCTION BOX AT THE EQUIPMENT LOCATION BY OTHERS.
- ALL IRRIGATION SLEEVES ARE TO HAVE BEEN INSTALLED BY GENERAL CONTRACTOR AT TIME OF UTILITY CONSTRUCTION.



IRRIGATION POINT OF CONNECTION PROVIDE PRESSURE REGULATOR & FILTER

NOTE: COORDINATE POWER FOR CONTROLLER WITH GENERAL CONTRACTOR

IRRIGATION MAIN SHOWN OUTSIDE SITE LIMITS FOR CLARITY ONLY. INSTALL IRRIGATION MAIN WITHIN THE PROPERTY LIMITS. CONNECT MAIN TO EXISTING IRRIGATION SUPPLY LOCATION. VERIFY IRRIGATION MAIN POINT OF CONNECTION SIZE AND LOCATION.

IRRIGATION LEGEND

- 12" POP-UP SPRAY HEAD
- 6" POP-UP STREAM ROTOR
- DRIP EMITTER - 2 PER TREE
- TORO PLASTIC VALVE
- DRIPLINE ZONE VALVE
- CONTROLLER
- PVC SLEEVE-2 SIZES LARGER
- VALVE ZONE NO. (1) VALVE SIZE (1") VALVE GPM (XX.X)

SPRINKLER HEAD DETAIL

SIDEWALK, CURB-ETC. FINISH GRADE

SPRINKLER NOZZLE

BODY ASSEMBLY

FLEX PIPE 1/2" FOR SPRAYS 3/4" FOR ROTORS

PVC TEE SXSXT OR ELBOW

LATERAL LINE

STREET ELL

NOT TO SCALE

SPRINKLER HEADS

SYMBOL	MODEL NO.	GPM	RADIUS
A	570-4EST	.45	4'x15'
B	570-4SST	.90	4'x30'
C	570-9SST	1.43	9'x18'
D	570-5F	.4	5'
E	570-8F	1.00	8'
F	570-10F	1.50	10'
G	570-12F	2.20	12'
H	570-15F	3.60	15'
J	316-00-02	2.90	21'
K	316-00-63	2.72	28'
L	5600-FC-2.5	2.60	40'
●	254-06-04	1" VALVES	

NOTE: MODEL NUMBERS SHOWN REFLECT TORO SPRINKLER HEADS. ANY HEADS OF EQUAL QUALITY MAY BE USED WITH THE APPROVAL OF THE OWNER.

FIRST BAPTIST CHURCH OF LEESBURG (BY OTHERS)

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SITE IRRIGATION PLAN

DESIGNED BY RTA	DRAWN BY RTA	CHECKED BY RTA	APPROVED BY RTA
--------------------	-----------------	-------------------	--------------------

PROJECT NO. 16-043
SCALE NOTED
DATE AUGUST 2017
SHEET NO. C-18
SHEET 17 OF 18

FLORIDA ENGINEERING GROUP, INC.
CERTIFICATE NO. EB-0006595
STATE OF FLORIDA
LICENSE NO. 1321

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY (ENGINEER), P.E. ON (DATE) USING A SHA-1 AUTHENTICATION CODE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

07/17/2018	REVISED PER BESH COMMENTS 07/11/2018	JV	GRC
DATE	REVISIONS	BY	CHECKED

APPENDIX A

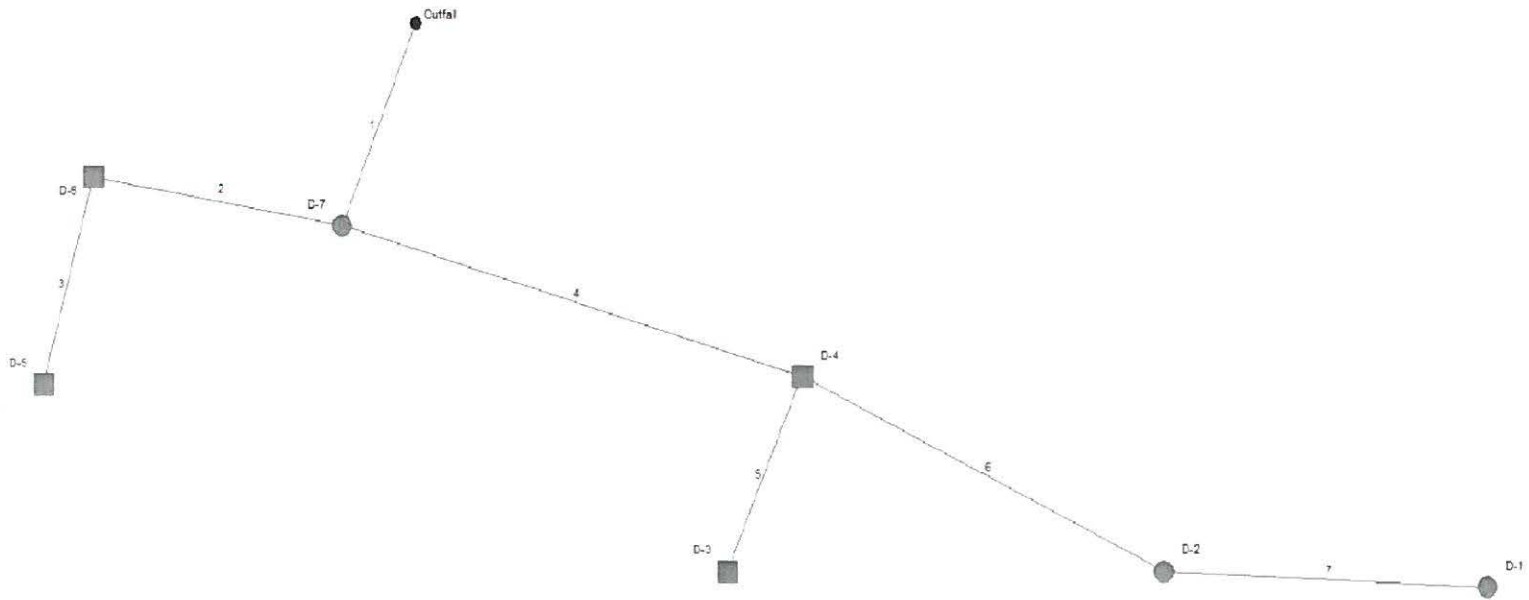


5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325

2302 Parklake Drive, Suite 134
Atlanta, GA 30345
Phone: 1-877-857-1581
Fax: 1-877-857-1582



Hydraflow Plan View

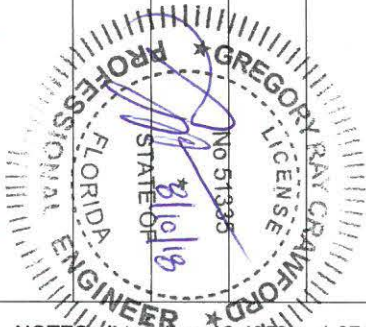


Village Park - Entrance Road

No. Lines: 7

08-10-2018

Line No	To Line	Type of struc	n-value	Len (ft)	Drainage Area			Time of conc (min)	Time of flow in sect (min)	Inten (I) (in/hr)	Total CA	Add Q (cfs)	Inlet elev (ft)	Elev of HGL			Rise (in)	HGL Slope (%)	Actual		Date: 08-10-2018				
					Increment (ac)	Sub-total (ac)	Sum CA							Elev of Crown					Span	Pipe		Full Flow			
														Up (ft)	Down (ft)	Fall (ft)						Size	Slope (%)	Vel (ft/s)	Cap (cfs)
Line description																									
D-1 7	6	MH	0.013	130.0	A=2.0; C=0.50 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00			10.00	0.79	7.41	1.16	0.00 8.60	109.21	103.28 104.24 102.24	102.11 103.20 101.20	1.17 24 1.04	24 24 Cir	0.90 0.80	5.70 6.44	8.60 20.23					
D-2 6	4	MH	0.013	162.0	A=0.0; C=0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00			10.79	1.01	7.22	1.16	0.00 8.38	106.45	100.07 101.04 99.04	98.65 99.75 97.75	1.42 24 1.29	24 24 Cir	0.87 0.80	5.65 6.42	8.38 20.18					
D-3 5	4	Curb	0.013	78.0	A=0.8; C=0.50 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00			10.00	0.54	7.41	0.40	0.00 2.96	103.00	98.47 98.08 96.83	98.30 97.45 96.20	0.16 15 0.63	15 15 Cir	0.21 0.81	2.42 4.73	2.96 5.80					
D-4 4	1	Curb	0.013	193.0	A=0.8; C=0.50 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00			11.80	0.73	7.00	1.96	0.00 13.72	103.00	97.36 98.05 96.05	95.71 96.50 94.50	1.66 24 1.55	24 24 Cir	0.86 0.80	6.60 6.45	13.72 20.27					
D-5 3	2	Curb	0.013	79.0	A=0.8; C=0.50 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00			10.00	0.55	7.41	0.40	0.00 2.96	98.50	94.72 95.25 94.00	94.52 94.85 93.60	0.20 15 0.40	15 15 Cir	0.26 0.51	3.55 3.74	2.96 4.59					
D-6 2	1	Curb	0.013	102.0	A=0.8; C=0.50 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00			10.55	0.51	7.28	0.80	0.00 5.82	98.50	93.92 94.50 93.00	93.03 93.68 92.18	0.89 18 0.82	18 18 Cir	0.87 0.80	5.36 5.33	5.82 9.42					
D-7 1	End	MH	0.013	80.0	A=0.0; C=0.0 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00			12.54	0.22	6.85	2.76	0.00 18.91	100.14	86.87 83.64 81.64	86.31 83.00 81.00	0.56 24 0.64	24 24 Cir	0.70 0.80	6.02 6.44	18.91 20.23					



NOTES: Intensity = 12.4956 + -1.6712(X) + -0.3490(X)^2 + 0.0502(X)^3 -- X = Ln(Tc)(min) (in/hr) ; Time of flow in section is based on full flow.

Village Park - Entrance Road

APPENDIX B

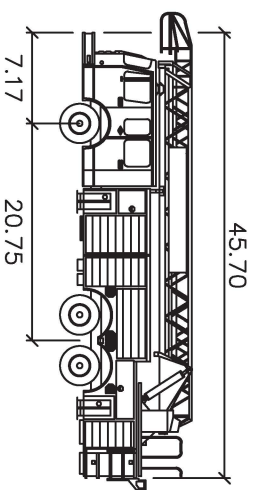
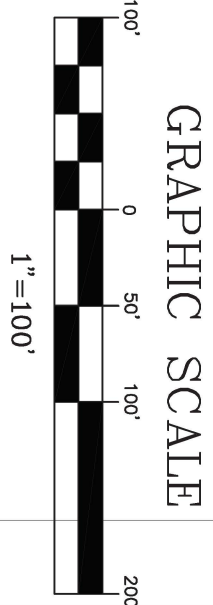
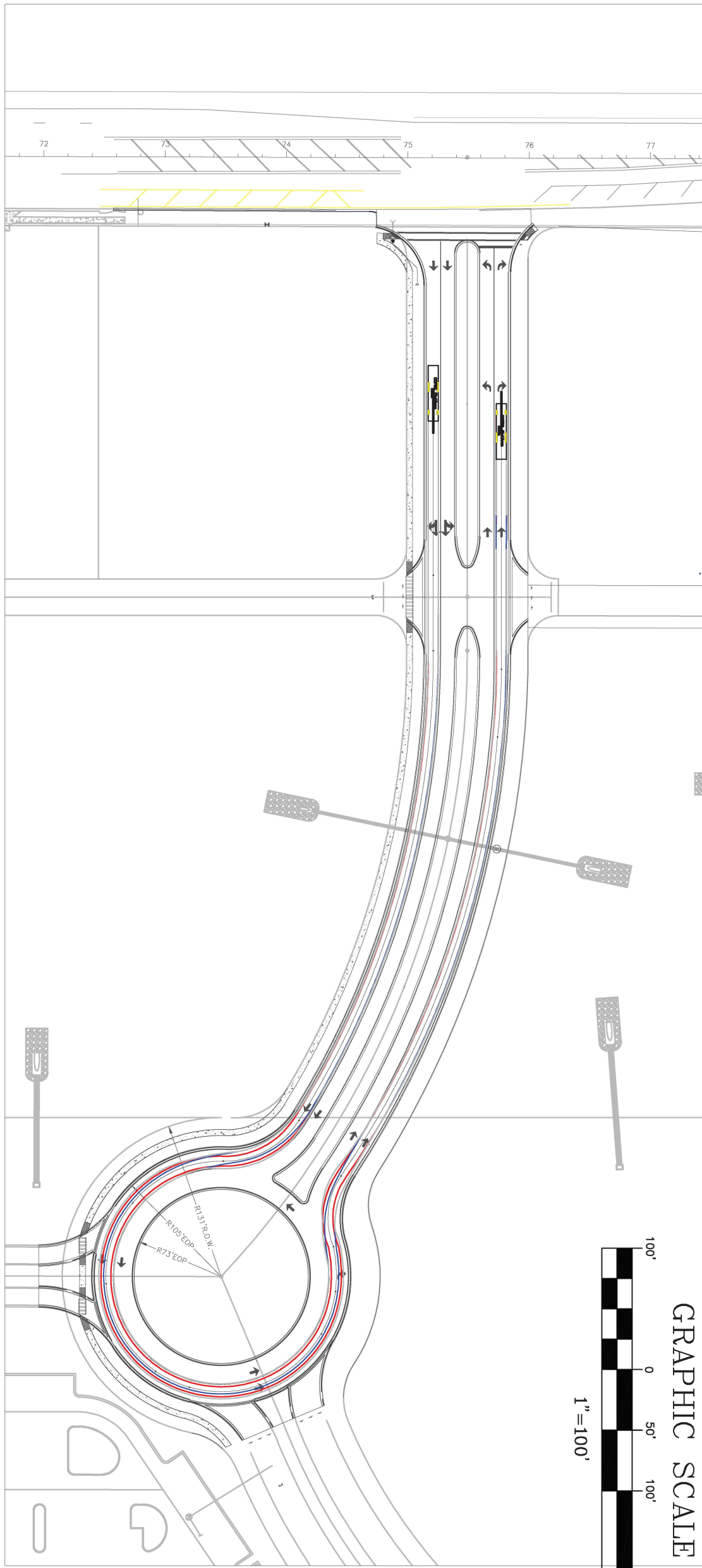


**FLORIDA
ENGINEERING
GROUP**


5127 S. Orange Avenue, Suite 200
Orlando, FL 32826
Phone: 407-895-0324
Fax: 407-895-0325

2302 Parklake Drive, Suite 134
Atlanta, GA 30345
Phone: 1-877-857-1581
Fax: 1-877-857-1582





OCFRD_Platform
 Width : 8.33
 Track : 8.33
 Lock to Lock Time : 6.0
 Steering Angle : 44.2

PROJECT NAME: WESTMINSTER PINE RIDGE ROADWAY DEVELOPMENT		AUTO-TURN EXHIBIT OCFRD_PLATFORM	
CLIENT: PRESBYTERIAN RETIREMENT COMMUNITY, INC.		 Engineering the Future	5127 S. Orange Avenue, Suite 200 Orlando, FL 32809 Phone: 407-895-0324 Fax: 407-895-0325 www.feg-inc.us
S, T, R: S, T, R	F.E.G. PROJECT NO.: 16-043		
DATE: 08/10/2018	SCALE: 1"=100'		

June 12, 2018



SJRWMD
4049 Reid Street
Palatka, Florida 32178-1429

Subject: Stormwater Management Summary
Village Park – Entrance Road
FEG Project No. 16-043

To whom it may concern:

The proposed project is for an entrance road to the overall Village Park development located in the City of Fruitland Park, Lake County, Florida. According to the overall project design, the Village Park development has been previously permitted for Mass Grading (Permit Number 150795-1) and Phases 1 and 2 (Permit Number 150795-2) that contains 47.1 areas of land with two (2) stormwater ponds located on the northern portion of the development. The previously permitted stormwater ponds will collect the stormwater runoff from Basins B-1 and B-2 and direct the flow into Ponds B-1 and B-2, respectively. Basin B-2 will also accept existing runoff from off-site from the adjacent property to the east. As described in the master stormwater calculations, the proposed Ponds B-1 and B-2 were designed to accommodate post-development runoff from on-site that would include up to 80% impervious area, which is equal to 29.40 acres of impervious area. At this time, the mass grading and Phases 1 and 2 have permitted with the District with a total proposed impervious area of 11.35 acres. The proposed entrance road project will include 1.66 acres of impervious area, which will bring the total proposed impervious area for the three (3) permit to 13.01 acres. The proposed total impervious area of 13.01 acres is less than the allowable 29.40 acres of impervious area. Therefore, the proposed entrance road improvements comply with the original stormwater assumptions made for the master stormwater system.

Should you have any questions or require further clarification, please do not hesitate to contact me at (407)895-0324 or by email at GCrawford@feg-inc.us.

Sincerely,
Florida Engineering Group, Inc.
No 51335

STATE OF FLORIDA
Gregory R. Crawford, P.E. #51335
Senior Project Manager


From: Sherie Lindh
To: [Kelly Turner](#)
Cc: [Tracy Kelley](#); [Greg Beliveau](#)
Subject: RE: RAI #1 Village Park Phase 2 Roadway
Date: Monday, August 27, 2018 11:55:29 AM
Attachments: [image002.png](#)
[image003.png](#)

Hi - The applicant addressed LPGs comment regarding the roadway and will construct all lanes in Phase I; therefore, we have no additional comments. Thanks, Sherie



From: Kelly Turner [mailto:kturner@fruitlandpark.org]
Sent: Monday, August 27, 2018 11:12 AM
To: Sherie Lindh <sherie@lpgurp.com>
Cc: Tracy Kelley <tkelley@fruitlandpark.org>
Subject: FW: RAI #1 Village Park Phase 2 Roadway

Sherie,

Does LPG have any comments regarding RAI # 1 Village Park Phase 2 Roadway?



*Under Florida law, *Cf. s. 668.6076, F.S.*, e-mail addresses are public records. If you do not want your e-mail address released in response to a public records request, do not send electronic mail to the City of Fruitland Park. Instead contact the city by telephone or in writing*

From: Kelly Turner



VIA EMAIL tkelley@fruitlandpark.org

August 24, 2018

Tracy Kelley
City of Fruitland Park
506 W. Berckman Street
Fruitland Park, FL 34731

RE: VILLAGE PARK PHASE 2 (ROADWAY AND UTILITY DEVELOPMENT)

Dear Ms. Kelley:

At your request, I have reviewed the calculations and construction plans for the above referenced project.

The 6" force main stub out connection was installed by the City of Fruitland Park based on the best available information. Due to the flow associated with this project, particularly at build-out, excessive velocities are expected within the 6" pipe. After discussions with the city public works director, the city will allow connection to the 6" stub out at this time. This 6" connections shall be allowed to serve the phase 2 roadway, as well as the proposed church project associated with the site. At such time as any subsequent phases of the Westminster PUD are submitted for development review, the applicant will be required to upgrade the force main connection to an 8" force main crossing CR466A, the timing of which will match the required upgrades to CR 466A as required by Lake County as soon as any further development occurs on the property.

Based upon my review of the most recently submitted material, I recommend approval of the construction plans as submitted. Should you have any questions, please feel free to contact me.

Sincerely,
BOOTH, ERN, STRAUGHAN & HIOTT, INC.

Brett J. Tobias, P.E., Project Manager
btobias@besandh.com

BJT:am

H:\amy\WordPerfect-9.0\City of Fruitland Park - 081040\Site Plan Reviews\Village Park Ph. 2 (Roadway and Utility Development)\BESH-recommend approval letter 8-15-18 revised 8-24-18.wpd

ENGINEERS ♦ SURVEYORS ♦ LAND PLANNERS
902 North Sinclair Avenue ♦ Tavares, Florida 32778
Phone: 352.343.8481 ♦ Fax: 352.343.8495
E-Mail: Info@besandh.com ♦ www.besandh.com



August 14, 2018

Tracy Kelly
Community Development Director
Community Development Department
City of Fruitland Park
506 W Berckman Street
Fruitland Park, FL 34731

Subject: **Village Park – Entrance Road
(a.k.a., Westminster Pine Ridge)**

Dear Mrs. Kelly:

As discussed at the August 7, 2018 Technical Review Committee meeting Lake County Department of Public Works has expressed concerns with future traffic, traffic safety and traffic patterns as the later phases of the First Baptist Church PUD develop.

Lake County Department of Public Works in discussions with the developer, has agreed to allow for the phasing of required intersection improvements for the proposed Village Park entrance road connection with CR 466A. The agreed upon phasing will provide for restriping of the transition area of CR 466A to incorporate turn lanes in conjunction with the First Baptist Church development and require with any subsequent development the widening improvements for a right turn lane corresponding with the planned 4-lane CR-466A design.

The purpose of this letter is to request the City to apply the following requirement for the approval of the Village Park Entrance Road, and to any subsequent applications associated with the PUD:

- The first application within the PUD development subsequent to the First Baptist Church site shall be required to construct the phase 2 turn lane improvements per the Westminster Pine Ridge, CR 466A Road Improvements plans by FEG.

In conclusion, Lake County Public Works would like to thank the City of Fruitland Park for coordination during development review and receptiveness of the County's comments and concerns.

Sincerely,

William K. White, P.E.
Lake County Public Works

cc. Gary La Venia, City Manager
Fred Schneider, County Engineer
Tim McClendon, Planning Division Manager

ENGINEERING | A division of the Department of Public Works
P.O. BOX 7800 • 350 N. SINCLAIR AVE., TAVARES, FL 32778 • P 352.253.6000 • F 352.253.9082
Board of County Commissioners • www.lakecountyfl.gov

August 10, 2018

Ms. Tracy Kelley
Administrative Assistant
Community Development Department
City of Fruitland Park
506 W. Berckman Street
City of Fruitland Park, Florida 34731

Subject: Response to Comments Letter of TRC Meeting on August 7, 2018
Westminster Pine Ridge Roadway & Utility Site Plan Review
FEG Project No. 16-043

Dear Ms. Kelley,

Please find attached revised plans and other documents in response to review comments letter for the project of the TRC Meeting on August 7, 2018. The following is also an item-by-item response to each of the comments:

1. Cover Sheet - Please list a phone and contact number for the First Baptist Church, the listed owner.

Response: The "First Baptist Church of Leesburg" has been removed from the owner list; please see clarification in the next response.

2. Cover Sheet – The applicant is listed as Presbyterian Retirement Communities, Inc. on the cover sheet, but is listed as Westminster Services in the application. Which party is the applicant for the project? Please revise the cover or application as necessary.

Response: The Presbyterian Retirement Communities, Inc. is the applicant; the cover sheet has been revised as requested.

3. Cover Sheet – The cover sheet lists sheet C-3 as a survey. Sheet C-3 appears to be a "permitted conditions" plan based on the approved mass grading permit. Please modify cover sheet accordingly.

Response: Sheet C-3 has been renamed to "Permitted Conditions" as directed.

4. Sheet C-3 – The elevations listed for Pond PR-5 adjacent to the site are listed in The Villages Datum. Please revise to NAVD88.

Response: Elevations for Pond PR-5 have been revised to NAVD88 as directed.

5. Sheet C-3 – The sheet is labeled as existing grading and drainage, but includes many callouts to construct inlets, pipes, etc. Additionally, the proposed roadway is shown as existing and the

hatching is missing for the areas to be seeded and the areas to be sodded. The sheet was also not signed and sealed. To help clarify the intent of this sheet, remove the proposed roadway and add the following note: "This plan sheet represents the permitted mass grading condition of the site based on the permit issued to the First Baptist Church of Leesburg, Inc. and signed by the City Manager on March 27th, 2018. It is provided for informational purposes."

Response: Sheet C-3 has been revised to remove proposed roadway work and a note has been added as directed.

6. Sheet C-9 – At the roundabout, label the lane width and the total pavement width.

Response: Sheet C-9 has been revised to add lanes widths and total pavement width at the roundabout as directed.

7. Sheet C-9 – At the roundabout, label the curb type at the drive aisle intersections.

Response: Sheet C-9 has been revised to label curb types at the intersections as directed.

8. Sheet C-10 – Label structure D-2 in the plan view.

Response: Sheet C-10 has been revised to show label structure D-2 as directed.

9. Sheet C-10 – Add additional spot grades around the roundabout and at the driveway stub outs to clarify grading.

Response: Additional spot grades has been added to sheet C-10 has as directed.

10. Sheet C-10 – Please clarify the grading as the proposed roadway enters the roundabout. There are two separate profile grade lines that overlap, and do not meet at the same grade.

Response: The profile grade line has been revised on sheet C-10 to show a single profile line as directed. Also, please see added note 2 on revised sheet C-10.

11. Sheet C-11 – Install a plug valve on the proposed force main at the right-of-way line.

Response: A plug valve has been added on the proposed force main on sheet C-11 as directed.

12. Sheet C-10 and C-11 – Add a note that proposed utilities and lift station are to be privately owned.

Response: A note has been added on sheets C-10 and C-11 as directed.

13. Sheet C-15 – The plans callout a 2" water service, but a 1" water service is shown.

Response: A reducer (2"x1") has been added to the detail on sheet C-15 to clarify the water service detail as directed.

14. Lift Station Calculations – The plans callout a 12” wet well wall thickness, but the calculations show an 8” wet well wall thickness. For a 10’ diameter station, a 12” wall thickness is needed.

Response: The wall thickness for the 10’ diameter wet-well has been revised to be 12” as shown on detail sheets C-14 and C-15 as directed. Please see revised Lift Station Analysis Report for revised calculation information.

15. Lift Station Calculations – Please verify the computation of the static head for all conditions. For instance, for LS-01 (Ultimate) Operating Condition 2, $15\text{psi} \times 2.31 \text{ ft/psi} + 37\text{ft} = 71.65 \text{ ft}$, but 67.34ft was listed in the summary, and 67.11 was used in computing the system curve. Revise calcs as needed.

Response: The static head for all operating conditions have been reviewed to be consisting in computing the system curve. Some minor changes were made to the calculations to reflect the slight changes in the anticipated pressures.

16. Lift Station Calculations – The velocity at the buildout condition in the 6” forcemain is quite high, should be less than 6 ft/sec.

Response: The velocity at the buildout condition was checked to be less than 6 ft/sec. As discussed, we have tried to adjust the pumps to reduce the velocity in the six (6)-inch forcemain, but the line under County Road 466A is already installed so we are not able to upsize to an eight (8)-inch line.

17. Stormwater conveyance calculations for the proposed inlets and pipes were not provided. Please provide for review.

Response: Stormwater conveyance calculations for the proposed inlets and pipes. Please see Appendix A for the secondary stormwater calculations.

18. Turn lane plans are to be reviewed by Lake County, and a Lake County driveway permit is necessary for the work. Final clearance of the proposed roadway and utilities will not be given until such time as turn lanes are permitted and constructed.

Response: Noted.

Informational comments

1. It is recommended that an appropriate hatch cover be specified such that a new hatch will not have to be installed at such time as the larger pumps are to be installed for the build-out condition.

Response: Appropriate hatch covers for larger pumps at build-out condition are indicated on revised lift station plan.

2. The city requires Hydromatic pumps, but since the station is to be private, Flygt pumps can be used.

Response: Since the lift station will be private, the pumps were left as Flygt pumps.

3. The proposed forcemain profile seems to create two high points where air may accumulate. It is recommended that Air Release Valves be installed at force main high points.

Response: Per phone conversation on July 23, 2018 with BESH representative Brett Tobias, P.E. (see attached email), we clarified that only an ARV is needed on-site at a high point by the lift station).

Comment from Land Planning Group:

1. Due to the potential traffic exiting the church property, please provide a letter from the traffic engineer showing that one lane meets the traffic capacity and safety.

Response: As mentioned in the TRC meeting, the plans will be revised to reflect that all four lanes of traffic for the entrance road will be constructed in Phase 1.

Comments from Fire:

1. Please provide a fire truck path for the fire truck showing that it can make it through the roundabout.

Response: Please see Appendix B for a copy of the AutoTurn truck path showing a fire truck making it through the roundabout.

I trust this letter and the attached documents adequately address the review comments and allow site plan approval. Should you have any questions or concerns, please do not hesitate to contact me at 407-895-0324 or by email at GCrawford@feg-inc.us.

Sincerely,

Florida Engineering Group, Inc.



Gregory R. Crawford, P.E., P.S.M.
Senior Project Manager

**CITY OF FRUITLAND PARK
STAFF REPORT BY LPG URBAN & REGIONAL PLANNERS, INC.**

SITE PLAN

Owner: First Baptist Church

Applicant: Westminster Services, Inc.

Engineer: Greg Crawford, P.E.

Project Name: Village Park Entrance Road

General Location: South of CR 466A and west of Pine Ridge Dairy Road

Number of Acres: 59.96 ± acres

Existing Zoning: Mixed Use Planned Unit Development (PUD)

Existing Land Use: Mixed Community

Date: July 27, 2018

Description of Project

The owners are seeking site plan approval to construct approximately 1,000' of entrance road to the Village Park development. The roadway is proposed to be constructed in 2 phases.

	Surrounding Zoning	Surrounding Land Use
North	PUD	Mixed Community
South	County Agriculture and RP	County Rural
East	C-2, R-1 and County Ag	Commercial, SFLD, SFMD
West	PUD (The Villages)	Villages DRI

Assessment

The roadway plans indicate a dual boulevard leading to a round about. The First Baptist Church recently received site plan approval for a 1500 seat house of worship, administrative building, multi-purpose building and educational building with associated drives, parking, and stormwater facilities; however, approval was subject to approval of the entrance roadway. The church facilities were to be constructed in two phases. Phase 1 consisted of a multi-purpose

building which recently has been revised to a sanctuary/fellowship building with an occupancy of approximately 1,451.

The proposed roadway plans indicate the entrance boulevard will be constructed in 2 phases. Traffic exiting the church property would travel the round about and then merge into 2 way traffic and then merge to the right back to the dual lane.

When is the proposed 2nd lane to be constructed?

Recommendation

Due to the potential traffic exiting the church property, please provide a letter from the traffic engineer showing that one lane meets the traffic capacity and safety.

BLUE SKIES

Professional Services, LLC

Specializing in Planning, Training and Exercise Design and Management

August 7, 2018

I have reviewed the TRC Meeting Packet and have no questions or comments at this time!

James J. Wright

James J. Wright, President, MPA, FPEM

(352) 551-8876

From: Jeff Gerling
To: [Kelly Turner](#)
Subject: RE: Village Park Phase 2
Date: Wednesday, June 27, 2018 2:53:46 PM
Attachments: [image001.png](#)

I have no comments on this project.

Thanks,
Jeff

Jeff Gerling
Building Official
City of Fruitland Park
President
Alpha International I, LLC
(352) 536-4481



From: Kelly Turner <kturner@fruitlandpark.org>
Sent: Wednesday, June 27, 2018 10:31 AM
To: Tracy Kelley <tkelley@fruitlandpark.org>
Subject: Village Park Phase 2

TRC Board Members:

Please see attached application package and plans due to be heard at our July 3rd TRC Meeting.

Thank you,

*Kelly Turner, CFM
Administrative Assistant
Community Development Dept
City of Fruitland Park
506 W Berckman St
Fruitland Park, FL, 34731
(352)360-6727
FAX: 352-360-6652*



City of Fruitland Park, Florida
Community Development Department
 506 W. Berckman St., Fruitland Park, Florida 34731
 Tel: (352) 360-6727 Fax: (352) 360-6652
 www.fruitlandpark.org

<i>Staff Use Only</i>	
Case No.:	_____
Fee Paid:	_____
Receipt No.:	_____

Development Application

Contact Information:

Owner Name: Fruitland Park Holdings, LLC - Tejinder S. Grewall, Manager
 Address: 1330 Saxon Blvd Orange City, FL 32763
 Phone: 480-717-7100 Email: tj@tjoil.net

Applicant Name: Fruitland Park Holdings, LLC - Tejinder S. Grewall, Manager
 Address: 1330 Saxon Blvd Orange City, FL 32763
 Phone: 480-717-7100 Email: tj@tjoil.net

Engineer Name: Wicks Engineering Services, Inc - Ted Wicks, P.E.
 Address: 225 W. Main Street Tavares, FL 32778
 Phone: 352-343-8667 Email: 352-343-8665

Property and Project Information:

PROJECT NAME*: IC International Car Wash
 *A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: No Property Address Assigned as Yet

Parcel Number(s): 10-19-24-0003-000-06800 / AK#1170621 Section: 10 Township: 19 Range 24

Area of Property: 1.7 +/- acres / 76,041 SF Nearest Intersection: CR 25A and US Hwy 27

Existing Zoning: General Commercial Existing Future Land Use Designation: Commercial (High Intensity)

Proposed Zoning: General Commercial Proposed Future Land Use Designation: Commercial (High Intensity)

The property is presently used for: Vacant

The property is proposed to be used for: Car Wash Facility

Do you currently have City Utilities? Central Water and Sewer are available - Fruitland Park


Application Type:

- | | | | |
|---|--|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Construction Plan | <input type="checkbox"/> ROW/Plat Vacate |
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Replat of Subdivision | |

Please describe your request in detail: Site plan to construct a car wash facility to include site development grading, utilities, and stormwater retention

Required Data, Documents, Forms & Fees

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Signature:  Date: 3/11/18

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

Development Application Checklist

The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd) Current Deed Aerial Photo
 Property Appraiser Information Electronic Copy of Application Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through www.lakecountyfl.gov/maps/. Note: All maps are required to depict adjacent properties at a minimum.

Failure to provide adequate maps may delay the application process.

Other Required Analyses and Maps:

Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment Environmental Constraints Map Requested FLU Map

Large Scale Comprehensive Plan Amendment Applications:

Maps: Environmental Constraints Soils Requested FLUM Designation Requested Zoning Map Designation

Analyses: Environmental Assessment Utility Availability Analysis Urban Sprawl Analysis School Impact Analysis
 Traffic Impact Analysis Consistency with the Comp Plan Florida Master Site File sign-off or Archaeological Survey

Rezoning Applications: Requested Zoning Map Justification for Rezoning

Planned Development Applications:

Maps/Plans: Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G Environmental Constraints

Analyses: Environmental Assessment Traffic Impact Analysis Preliminary Concurrency Analysis

Variance Applications: Justification for Variance

Special Exception Use Applications: Justification for Special Exception Use
 Site Sketch List of Special Requirements as Described in LDRs, Chapter 155

Conditional Use Permit Applications: Proposed List of Conditions and Safeguards
 Site Plan as Described in LDRs, Chapter 155 Written Statement as Described in LDRs, Chapter 155

Subdivision Applications: As Described in LDRs, Chapter 157
(Preliminary Plan, Improvement Plan and Final Plat)

Minor Subdivision Applications: As Described in LDRs, Chapter 157

Site Plan Applications: As Described in LDRs, Chapter 160

PROPERTY RECORD CARD

General Information

Owner Name:	FRUITLAND PARK HOLDINGS LLC	Alternate Key:	1170621
Mailing Address:	1330 SAXON BLVD ORANGE CITY, FL 32763 Update Mailing Address	Parcel Number:	10-19-24- 000300006800
		Millage Group and City:	00F1 (FRUITLAND PARK)
		Total Certified Millage Rate:	17.8504
		Trash/Recycling/Water/Info:	My Public Services Map ⓘ
Property Location:	US HWY 27/441 FRUITLAND PARK FL 34731 Update Property Location ⓘ	Property Name:	-- Submit Property Name ⓘ
		School Locator:	School and Bus Map ⓘ
Property Description:	N 229 FT OF S 991 FT OF SE 1/4 OF SW 1/4 LYING W OF HWY 27 ORB 4989 PG 2022		

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	VACANT COMMERCIAL (1000)	0	0		76041	SF	\$0.00	\$342,185.00

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
4989 / 2022	7/27/2017	Warranty Deed	Multi-Parcel	Vacant	\$450,000.00
4661 / 2046	7/29/2015	Trustees Deed	Multi-Parcel	Vacant	\$785,000.00
1042 / 902	12/1/1989	Warranty Deed	Unqualified	Vacant	\$0.00
1042 / 906	12/1/1989	Warranty Deed	Unqualified	Vacant	\$0.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

Values and Estimated Ad Valorem Taxes ⓘ

PROPERTY RECORD CARD

General Information

Owner Name:	FRUITLAND PARK HOLDINGS LLC	Alternate Key:	1699754
Mailing Address:	1330 SAXON BLVD ORANGE CITY, FL 32763 Update Mailing Address	Parcel Number:	10-19-24-000300004200
		Millage Group and City:	00F2 (FRUITLAND PARK)
		Total Certified Millage Rate:	17.8504
		Trash/Recycling/Water/Info:	My Public Services Map ⓘ
Property Location:	SOUTH DIXIE AVE FRUITLAND PARK FL 34731 Update Property Location ⓘ	Property Name:	-- Submit Property Name ⓘ
		School Locator:	School and Bus Map ⓘ
Property Description:	BEG 566.5 FT S & 100 FT E OF NW COR OF SE 1/4 OF SW 1/4, RUN E 100 FT, S 200 FT TO HWY, THENCE IN NW'LY DIRECTION ALONG HWY 110.5 FT, N 153.1 FT TO POB ORB 4989 PG 2022		
<p><small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small></p>			

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	VACANT COMMERCIAL (1000)	0	0		16850	SF	\$0.00	\$75,825.00

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
4989 / 2022	7/27/2017	Warranty Deed	Multi-Parcel	Vacant	\$450,000.00
4661 / 2046	7/29/2015	Trustees Deed	Multi-Parcel	Vacant	\$785,000.00
1042 / 900	12/1/1989	Warranty Deed	Unqualified	Vacant	\$0.00
995 / 1984	1/1/1989	Warranty Deed	Qualified	Vacant	\$24,000.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

THIS INSTRUMENT WAS PREPARED BY:
Danielle DeVito-Hurley, Esq.
Gunster, Yoakley & Stewart, P.A.
450 E. Las Olas Blvd., Suite 1400
Ft. Lauderdale, FL 33301

SPECIAL WARRANTY DEED

THIS INDENTURE, made this 21 day of July, 2017, between Van MF Fruitland, LLC, a Florida limited liability company, whose address is 400 Carillon Parkway, Suite 230, St. Petersburg, Florida 33716 ("Grantor"), and Fruitland Park Holdings, LLC a Florida limited liability company, whose address is 1330 Saxon Blvd. Orange City, FL 32763 ("Grantee"):

WITNESSETH THAT:

Grantor, for and in consideration of the sum of Ten and No/100 U.S. Dollars (\$10.00), lawful money of the United States of America, to it in hand paid by the Grantee, at or before the ensealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, sold, alienated, remised, released, conveyed and confirmed and by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee and its/his/her heirs or successors and assignees forever, the following parcel of land, situate, lying and being in Lake County, Florida, and more particularly described as follows:

SEE EXHIBIT A ATTACHED HERETO AND MADE A PART HEREOF (the "Land").

SUBJECT TO AND TOGETHER WITH, HOWEVER, THE FOLLOWING:

1. Real property taxes and assessments for the year 2017 and for subsequent years.
2. Zoning and other regulatory laws and ordinances affecting the Land.
3. Easements, reservations, restrictions, rights of way, and other matters of record, if any, without re-imposing the same.

TOGETHER with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in any way appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that it is lawfully seized of the Land hereby conveyed in fee simple; that it has good right and lawful authority to sell and convey said Land; that it hereby specially warrants the title to said Land and will defend the same against the lawful claims of any persons claiming by, through or under the said Grantor but against no others.

EXHIBIT A

Parcel 1:

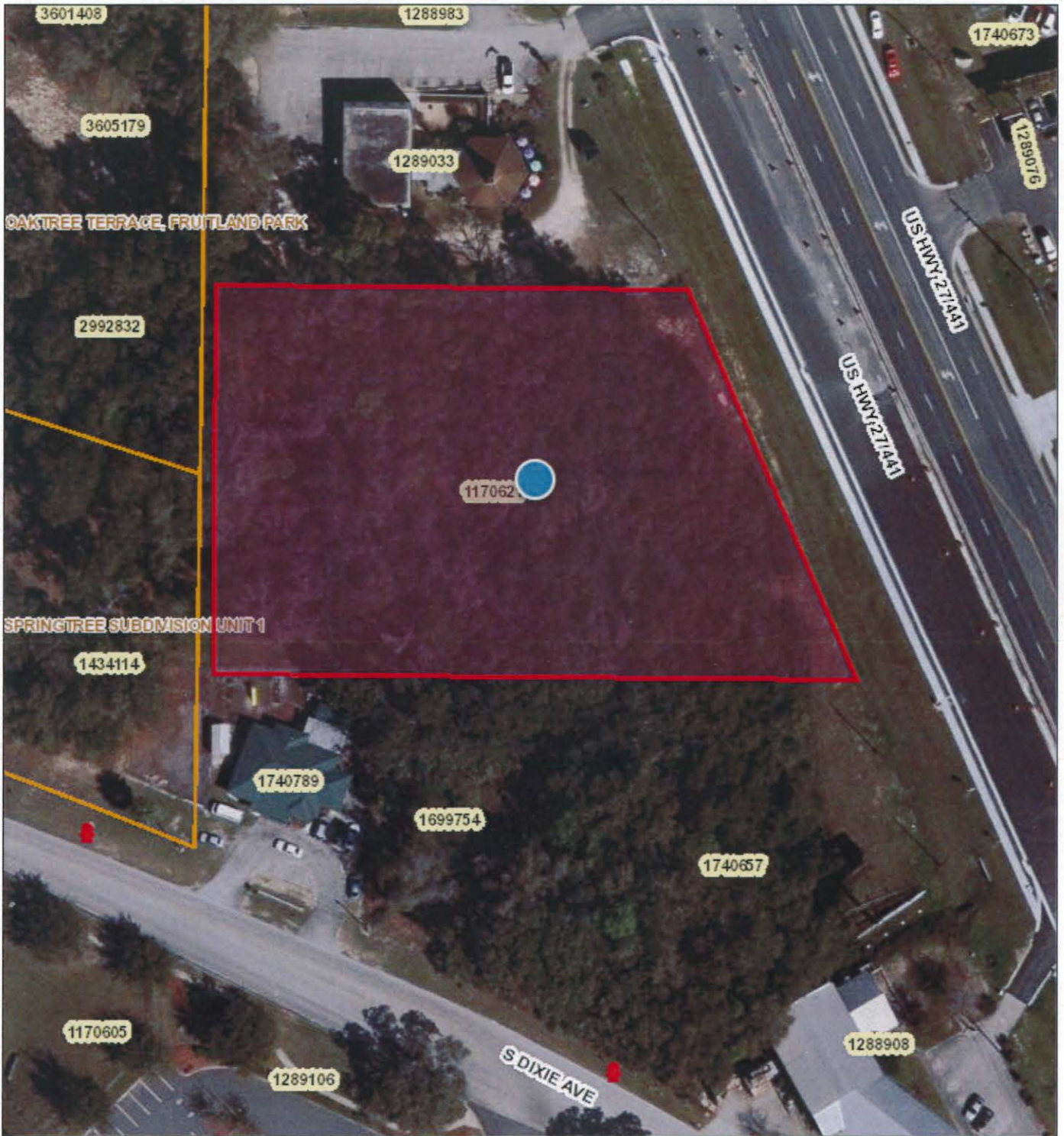
A PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 19 SOUTH, RANGE 24 EAST, IN LAKE COUNTY, FLORIDA, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 566.5 FEET SOUTH AND 100 FEET EAST OF THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION; RUN THENCE EAST 100 FEET; THENCE SOUTH 200 FEET TO THE NORTH LINE OF THE HIGHWAY; THENCE NORTHWESTERLY ALONG THE NORTH LINE OF THE HIGHWAY, A DISTANCE OF 110.5 FEET TO A POINT SOUTH OF THE POINT OF BEGINNING; THENCE NORTH 153.1 FEET TO THE POINT OF BEGINNING.

Parcel 2:

THAT PART OF THE NORTH 229 FEET OF THE SOUTH 991 FEET OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 19 SOUTH, RANGE 24 EAST, IN LAKE COUNTY, FLORIDA, LYING WEST OF THE WESTERLY LINE OF THE RIGHT OF WAY OF U.S. HIGHWAY NO. 27.

AK#1170621 - Aerial Map



June 8, 2017

1:1,000

pointLayer

Override 1

polygonLayer

Override 1

County Boundary

Street Names

Subdivision Boundaries

Tax Parcels Alternate Key

Fire Stations

County

City

City Volunteer

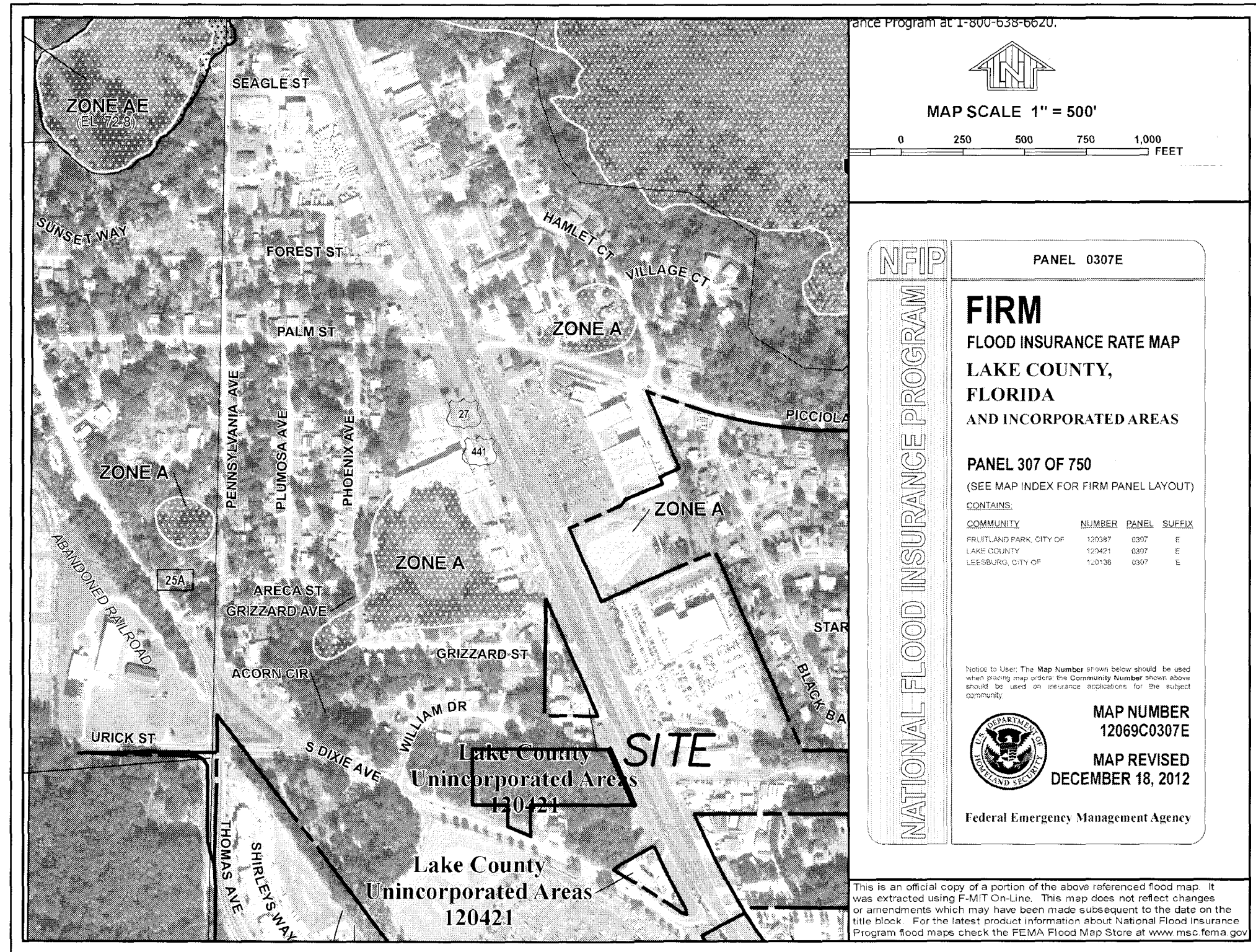
BC 20

BC 90

Hydrants



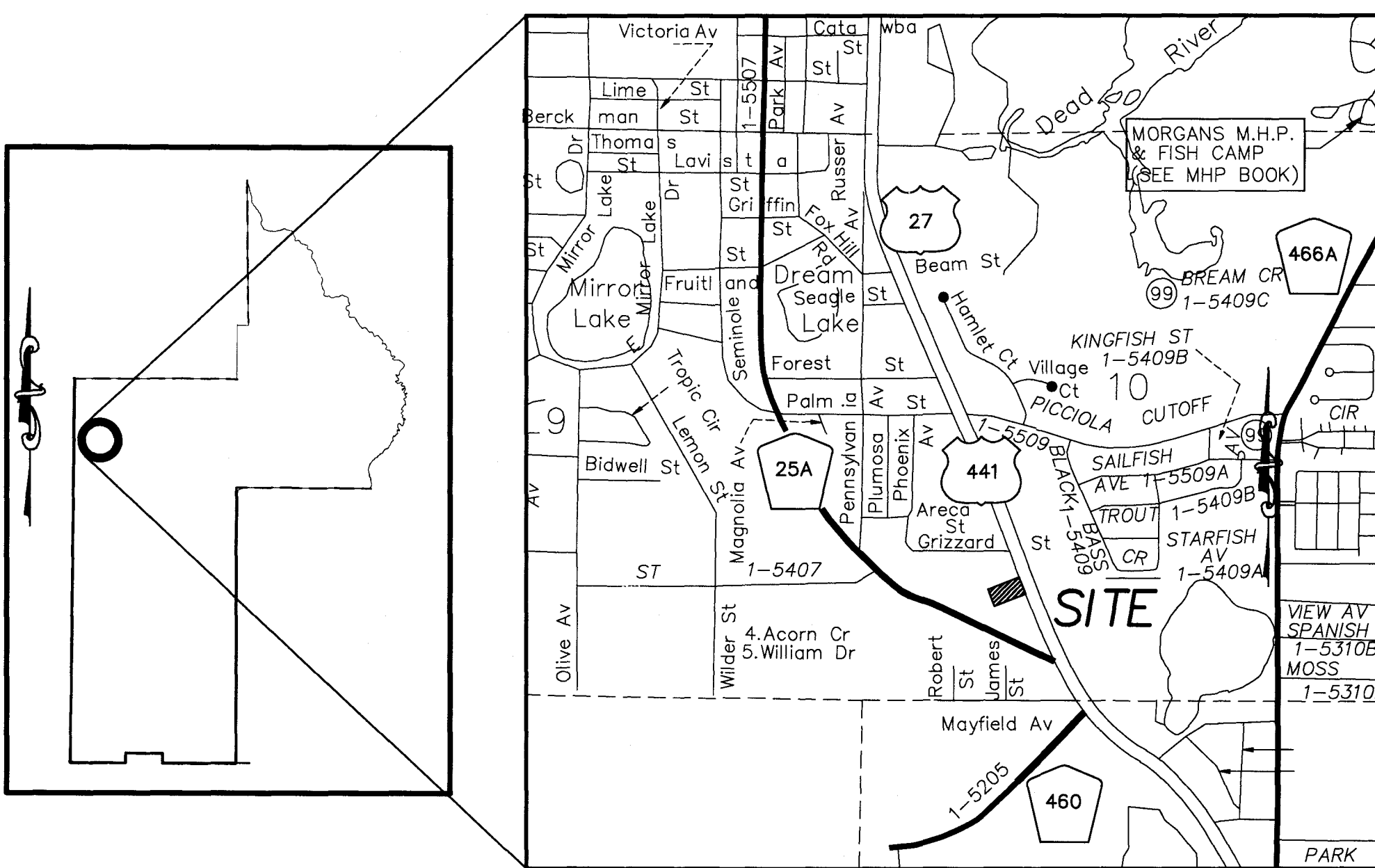
IC INTERNATIONAL CAR WASH FRUITLAND PARK, FLORIDA 34731



FEMA MAP 12069C0307E
nts



AERIAL MAP
ALTERNATE KEY #1170621
SCALE: 1"=200'



LOCATION MAP
N.T.S.

INDEX OF SHEETS

- COVER SHEET
- GENERAL NOTES
- GENERAL UTILITY NOTES
- SURVEY
- DEMOLITION & EROSION CONTROL PLAN
- SITE PLAN
- GEOMETRY PLAN
- GRADING & DRAINAGE PLAN
- AUTOTURN SIMULATION (FIRE TRUCK)
- AUTOTURN SIMULATION (GARAGE TRUCK)
- ENTRANCE ROAD PLAN & PROFILE
- UTILITY PLAN
- LIFT STATION DETAIL
- CONSTRUCTION, DRAINAGE & UTILITY DETAILS
- UTILITY DETAILS
- LANDSCAPE PLAN
- BUILDING ELEVATIONS & DESIGN STANDARDS

OWNER: FRUITLAND PARK HOLDINGS, LLC.
TEJINDER GREWALL, MANAGER
1330 SAXON BLVD.
ORANGE CITY, FL 32763
PHONE: 480-717-7100
EMAIL: TJ@TJOIL.NET

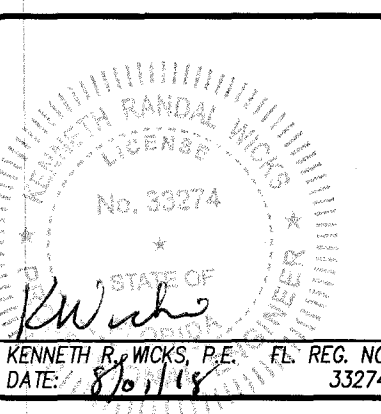
Wicks Engineering Services, Inc.

225 West Main Street, Tavares, Florida 32778
www.wicksengineering.com (352) 343-8667
C.A. #30062

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C.A. #30062

FRUITLAND PARK HOLDINGS, LLC
1330 SAXON BLVD.
ORANGE CITY, FLORIDA 32763

IC INTERNATIONAL CARWASH
COVER SHEET
US HWY 27/441 FRUITLAND PARK FL. 34731



Drawn: WSR	REVISION:	DATE:
Checked: TRW	Δ SJ RAI 1	05-31-2018
Date: 10-25-17	Δ BESH COMMENTS	06-11-2018
Scale: AS SHOWN		
File No.: 17136		
Sheet: 1 of 15		

C:\Users\mshah\Documents\IC Int'l Car Wash P. Proj\Drawings\17136 Car Wash Drawings\17136 Car Wash Drawings_10-25-17.dwg (10-25-17) (17136.dwg)

GENERAL NOTES

- 1. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER IN WRITING, WITHIN 48 HOURS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH DIFFERING CONDITIONS WILL BE ALLOWED IF HE OR SHE FAILS TO PROVIDE WRITTEN NOTIFICATION.
2. THE BOUNDARY AND TOPOGRAPHIC SURVEYS FOR THIS PROJECT WERE PERFORMED BY OTHERS AND WICKS CONSULTING SERVICES, INC. ASSUMES NO RESPONSIBILITY, IN WHOLE OR IN PART, FOR THE COMPLETENESS AND ACCURACY OF THE SURVEYS. WICKS CONSULTING SERVICES, INC. HAS RELIED UPON THE SURVEYS IN PREPARING THE CIVIL ENGINEERING DESIGN SHOWN IN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE EXISTING TOPOGRAPHIC DATA, THE LOCATION OF EXISTING SITE FEATURES, UTILITIES AND ALL OTHER SITE CONDITIONS SHOWN ON THE DRAWINGS PRIOR TO COMMENCING WORK. DIFFERING SITE CONDITIONS SHALL BE DISCLOSED AS DESCRIBED IN GENERAL NOTE NUMBER 1.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL REQUIRED CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
4. ALL MATERIALS, INSTALLATION, AND TESTING SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTIONS AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. WHERE THE SPECIFICATIONS CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
5. THE SUBSURFACE INFORMATION FOR THIS PROJECT WAS OBTAINED FOR DESIGN PURPOSES AND MAY NOT BE AN ADEQUATE REPRESENTATION OF ACTUAL CONDITIONS FOR PROJECT CONSTRUCTION. INFORMATION SHOWN, INCLUDING GROUND WATER LEVELS, REPRESENTS EXISTING BORINGS AT THE SPECIFIC BORING LOCATIONS AT THE TIME THE BORINGS WERE MADE. DIFFERING SITE CONDITIONS SHALL BE DISCLOSED AS DESCRIBED IN GENERAL NOTE NUMBER 1.
6. THE SITE IS CLASSIFIED AS ZONE "X", PER FEMA FLOOD MAP PANEL 12069C0307E DATED DECEMBER 18, 2012
7. THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN ALL NECESSARY TRAFFIC CONTROL AND SAFETY DEVICES IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE LATEST FLORIDA DEPARTMENT OF TRANSPORTATION "ROADWAY DESIGN STANDARDS"
8. ALL HANDICAP ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED (INCLUDING THE WALKING SURFACE) IN COMPLIANCE WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, SECTION 11 AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) INDEX 304.
9. THE CONTRACTOR SHALL COORDINATE CIVIL DRAWINGS WITH ALL TRADES, INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, IRRIGATION, FIRE SYSTEMS. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY.
10. SIGNAGE AND STRIPING SHALL CONFORM TO THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS, AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD). SIGNS SHALL BE ERECTED ACCORDING TO THE REFERENCE NUMBERS DESIGNATED BY THE FDOT OR THE MUTCD.
11. ALL WORK SHALL BE OPEN TO AND SUBJECT TO INSPECTION BY AUTHORIZED PERSONNEL OF THE OWNER, INVOLVED UTILITY COMPANIES, PROJECT ENGINEER AND REGULATORY AGENCIES. ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO REQUIRED INSPECTIONS.
12. ALL RECOMMENDATIONS AND REQUIREMENTS OF INSPECTION PERSONNEL SHALL BE REPORTED TO ENGINEER/OWNER PRIOR TO IMPLEMENTATION. COMPENSATION WILL NOT BE ALLOWED FOR WORK WHICH IS NOT AUTHORIZED BY ENGINEER/OWNER.
13. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ENGINEERING AND AGENCY APPROVAL PRIOR TO PROCUREMENT OF MATERIALS.
14. CONTRACTOR TO SUBMIT COPIES OF ALL TESTING REPORTS TO THE OWNER AND ENGINEER FOR ACCEPTANCE AND CERTIFICATIONS.
15. ANY PUBLIC LAND CORNER, WITHIN THE LIMITS OF CONSTRUCTION, IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT YET BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER & SURVEYOR WITHOUT DELAY. DISTURBED MONUMENTATION SHALL BE RESTORED BY A FLORIDA LICENSED LAND SURVEYOR AT CONTRACTOR'S EXPENSE.
16. ALL AREAS WHERE PAVEMENT, BUILDING SLABS, FOUNDATIONS, UTILITIES, CONDUITS, AND/OR UTILITY STRUCTURES HAVE BEEN REMOVED SHALL BE BACKFILLED WITH SELECT BACKFILL MATERIAL. ALL SELECT BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED PER THE REQUIREMENTS OF THE LOCAL JURISDICTION.
17. REFER TO F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX FOR CONSTRUCTION OF SITE ITEMS.
18. CONTRACTOR SHALL MEET ALL LOCAL STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF TRAFFIC (MOT) PLANS & SIGNAGE THAT WILL BE REQUIRED FOR THIS PROJECT AND SHALL BE INCLUDED IN THE BID FOR THIS PROJECT.
19. ACCESS ROADS AND A SUITABLE TEMPORARY OR PERMANENT SUPPLY OF WATER ACCEPTABLE TO THE FIRE DEPARTMENT SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION PERIOD.
20. UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL PROVIDE FOR THE LAYOUT OF ALL OF THE WORK TO BE CONSTRUCTED. BENCHMARK INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER OR OWNER'S SURVEYOR. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND CONSTRUCTION PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
21. ALL TESTING RESULTS SHALL BE PROVIDED TO THE OWNER/OPERATOR AND THE ENGINEER. TESTING REQUIREMENTS ARE TO BE IN ACCORDANCE WITH THE OWNER/OPERATOR'S SPECIFICATIONS AND REQUIREMENTS. ALL TEST RESULTS SHALL BE PROVIDED (PASSING AND FAILING) ON A REGULAR AND IMMEDIATE BASIS. CONTRACTOR SHALL PROVIDE TESTING SERVICES THROUGH A FLORIDA LICENSED GEOTECHNICAL ENGINEERING FIRM ACCEPTABLE TO THE OWNER AND ENGINEER. CONTRACTOR TO SUBMIT TESTING FIRM TO OWNER FOR APPROVAL PRIOR TO COMMENCING TESTING. TESTING OF SUB GRADE, BASE, AND ASPHALT FOR THICKNESS AND DENSITY SHALL BE PERFORMED AT NO MORE THAN 200' INTERVALS.
22. SHOP DRAWINGS AND CERTIFICATIONS FOR ALL STORM DRAINAGE, WATER SYSTEM, SEWER SYSTEM, AND PAVING SYSTEM MATERIALS AND STRUCTURES ARE REQUIRED. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION.
23. DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL TAKE SPECIAL CARE AND PROVIDE ADEQUATE PROTECTION IN ORDER TO MINIMIZE DAMAGE TO VEGETATION, SURFACED AREAS, AND STRUCTURES WITHIN RIGHT-OF-WAY, EASEMENTS AND ON CONSTRUCTION SITE, AND TAKE FULL RESPONSIBILITY FOR THE REPLACEMENT OR REPAIR THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL MAKE GOOD ALL DAMAGE TO PAVEMENT, BUILDINGS, TELEPHONE OR OTHER CABLES, SANITARY PIPES, OR OTHER STRUCTURES BEYOND THE LIMITS OF THIS PROJECT WHICH MAY BE ENCOUNTERED, WHETHER OR NOT SHOWN ON THE DRAWINGS.
24. TEMPORARY FACILITIES: THE CONTRACTOR SHALL FURNISH WATER AND ELECTRIC POWER AS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL TEMPORARY CONNECTIONS AND FOR REMOVING SAME AFTER CONSTRUCTION HAS BEEN COMPLETED. THE CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AND ENCLOSURES FOR THE USE OF ALL WORKMAN. AT LOCATION ON THE PROJECT WHICH SHALL BE APPROVED BY THE JURISDICTION. SUCH FACILITIES SHALL COMPLY WITH ALL LOCAL CODES AND SHALL BE MAINTAINED IN SANITARY CONDITION AT ALL TIMES. NO WORK SHALL BE STARTED UNTIL THESE FACILITIES ARE ON THE JOB SITE.

GENERAL NOTES (CONT)

- 25. MAINTENANCE OF TRAFFIC: THE CONTRACTOR SHALL BE RESPONSIBLE, DURING THE COURSE OF CONSTRUCTION, FOR PROPER MAINTENANCE, CONTROL, AND DETOUR OF TRAFFIC IN THE AREA OF CONSTRUCTION. ALL TRAFFIC CONTROL AND MAINTENANCE PROCEDURES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION INDEX #600 AND LAKE COUNTY, FLORIDA, WITHIN THEIR RESPECTIVE AREAS OF JURISDICTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY, AS BIDDER, PRIOR TO SUBMITTING HIS BID, TO DETERMINE THE REQUIREMENTS OF THESE AGENCIES SO THAT HIS PROPOSAL REFLECTS ALL COSTS TO BE INCURRED. NO CLAIMS FOR ADDITIONAL PAYMENT SHALL BE CONSIDERED FOR COSTS INCURRED DUE TO THE PROPER MAINTENANCE, CONTROL, DETOUR, AND PROTECTION OF TRAFFIC.
26. FILL MATERIALS PLACED UNDER ROADWAYS SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DENSITY AS SPECIFIED IN AASHTO T-180. ALL OTHER FILL AREAS ARE TO BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DENSITY AS SPECIFIED IN AASHTO T-180. FILL MATERIALS SHALL BE PLACED AND COMPACTED IN A MAXIMUM OF 12" LIFTS. THE CONTRACTOR SHALL PROVIDE THE ENGINEER AND OWNER WITH ALL (PASSING AND FAILING) TESTING RESULTS. RESULTS SHALL BE PROVIDED ON A TIMELY AND REGULAR BASIS PRIOR TO CONTRACTOR'S PAY REQUEST SUBMITTAL FOR THE AFFECTED WORK.
27. ALL AREAS WITHIN RIGHT-OF-WAY SHALL BE FINISH GRADED WITH A SMOOTH TRANSITION INTO EXISTING GROUND. ALL SWALES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING. ALL DISTURBED AREAS SHALL BE RAKED CLEAN OF ALL LIMBEROCK AND ROCKS AND SODDED AFTER FINAL GRADING IN ACCORDANCE WITH THE CONSTRUCTION PLANS PRIOR TO FINAL INSPECTION. ALL GRASSING SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE BY THE OWNER.

DEMOLITION AND EARTHWORK NOTES

- 1. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
2. ALL DEBRIS AND WASTE MATERIALS GENERATED BY DEMOLITION OR SUBSEQUENT CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT AN APPROVED DISPOSAL FACILITY. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED FOR DEMOLITION, CONSTRUCTION WORK AND HAULING WASTE MATERIAL. ALL ASSOCIATED COSTS AND PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PAVEMENT REPAIRS AND/OR RESURFACING TO ALL EXISTING ROADS WHICH ARE SAW-CUT OR DAMAGED DURING CONSTRUCTION.
4. ANY ENCOUNTERED CONTAMINATED MATERIALS SHALL BE DISPOSED OF IN A MANNER APPROVED BY THE ENGINEER IN ACCORDANCE WITH FEDERAL STATE, AND LOCAL REGULATIONS. (REFER TO TREE PROTECTION REQ.)
5. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE, AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR FIELD VERIFICATION OF THE EXISTING UTILITIES. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY TO ENSURE THE INTEGRITY OF THE SYSTEM.
6. PRIOR TO DEMOLISHING UTILITY LINES, CONTRACTOR SHALL VERIFY FLOW DIRECTIONS FROM EXISTING BUILDINGS WHICH ARE TO REMAIN. IF DEMOLITION WILL CUT OFF THESE FACILITIES, THE ENGINEER, ARCHITECT, OWNER (AND/OR OWNERS REPRESENTATIVE) SHALL BE CONTACTED IMMEDIATELY.

EARTHWORK

- 7. THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS AND CALCULATIONS AS NECESSARY TO ASSURE HIMSELF OF EARTHWORK QUANTITIES. THERE IS NO IMPLICATION THAT EARTHWORK BALANCES, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY IMPORT FILL NEEDED, OR FOR REMOVAL AND DISPOSAL OF EXCESS MATERIALS.
8. AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. REPAIR OR RECONSTRUCTION OF DAMAGED AREAS OR SURROUNDING PROPERTIES SHALL BE PERFORMED BY THE CONTRACTOR ON AN IMMEDIATE BASIS. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION SHALL BE PROVIDED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING AND GRUBBING FOR SITE CONSTRUCTION INCLUDING CLEARING FOR PAVING, UTILITIES, DRAINAGE FACILITIES AND BUILDING CONSTRUCTION. ALL AREAS TO BE CLEARED SHALL BE FIELD STAKED AND REVIEWED BY THE OWNER AND ENGINEER PRIOR TO ANY CONSTRUCTION.
10. WHEN CLEARING LAND FOR THE PROJECT, A BURN PERMIT MUST BE OBTAINED FROM THE JURISDICTION AND THE DEPARTMENT OF FORESTRY PRIOR TO BURNING ANY MATERIAL.
11. THE FIRE DEPARTMENT WILL ISSUE A BURNING PERMIT TO ALLOW BURNING OF CLEARED MATERIAL ONLY IF THE FOLLOWING CONDITIONS ARE MET:
A. AN AIR CURTAIN INCINERATOR PROCESS IS USED DURING THE BURNING PROCESS.
B. THE BURN PIT IS AT LEAST 300 FEET AWAY FROM ANY STRUCTURE.
C. THE BURN PIT IS AT LEAST 100 FEET AWAY FROM THE ROAD.
12. ALL MATERIALS EXCAVATED SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE STOCKPILED AT ON-SITE LOCATIONS AS SPECIFIED BY THE OWNER. MATERIALS SHALL BE STOCKPILED SEPARATELY AS TO USABLE (NON ORGANIC) FILL STOCKPILES AND ORGANIC (MUCK) STOCKPILES IF MUCK IS ENCOUNTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNSUITABLE FILL MATERIALS FROM THE SITE. ALL CLAY ENCOUNTERED SHALL BE EXCAVATED OUT AND REPLACED WITH CLEAN GRANULAR FILL MATERIALS.
13. ALL FILL MATERIALS SHALL CONTAIN NO MUCK, STUMPS, ROOTS, BRUSH, VEGETATIVE MATTER, RUBBISH OR OTHER MATERIAL THAT WILL NOT COMPACT INTO A SUITABLE AND ENDURING BACKFILL. FILL SHALL BE CLEAN, NON-ORGANIC, GRANULAR MATERIAL WITH NOT MORE THAN 10% PASSING THE NO. 200 SIEVE.

EROSION & SEDIMENT CONTROL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR: (NPDES) PERMITTING:
A. PREPARING AND SUBMITTING FDEP NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT) APPLICATIONS AND FORMS.
B. FDEP NOTICE OF INTENT APPLICATION FEES.
C. PREPARING THE FDEP STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
2. PRIOR TO EARTH WORK OR CONSTRUCTION, THE CONTRACTOR SHALL POST A COPY OF THE COMPLETED FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NPDES NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AT THE SITE.
3. THE CONTRACTOR SHALL OBTAIN COPIES OF THE APPROPRIATE WATER MANAGEMENT DISTRICT PERMITS PRIOR TO COMMENCING WORK FOR THIS PROJECT AND HAVE POSTED AT CONSTRUCTION SITE.
4. SILT SCREENS AND TURBIDITY BARRIERS MUST REMAIN IN PLACE AND BE MAINTAINED IN GOOD CONDITION AT ALL LOCATIONS SHOWN UNTIL CONSTRUCTION IS COMPLETE, SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
5. THE EROSION CONTROL MEASURES SHOWN HEREON ARE INTENDED AS MINIMUM STANDARDS. ANY EROSION CONTROL REQUIRED BEYOND THAT SPECIFIED TO MAINTAIN SITE EROSION SHALL BE CONSIDERED AS INCLUDED WITHIN THIS CONTRACT.

EROSION & SEDIMENT CONTROL NOTES (CONT)

- 6. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE LOCAL WATER MANAGEMENT DISTRICT, AND FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION STANDARDS, FDOT INDEX #102 AND BEST MANAGEMENT PRACTICES. HAY BALES ARE NOT ACCEPTABLE. COCONUT FIBER MATERIALS ARE ACCEPTED.
7. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION.
8. ALL PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, AND ANY DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL GRADING. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED.
9. PRIOR TO INITIATING CONSTRUCTION OF PLANNED IMPROVEMENTS, ALL WRA'S WILL BE EXCAVATED AND ROUGH GRADED TO PROVIDE SEDIMENT AND RUNOFF CONTROL DURING CONSTRUCTION.
10. ALL DISTURBED AREAS WILL BE BROUGHT TO FINAL GRADE AND SEEDED AND MULCHED AS SOON AS POSSIBLE.
11. AREAS WHICH MAY ERODE DUE TO SLOPES OR CONCENTRATED RUNOFF DURING CONSTRUCTION WILL BE TREATED. TEMPORARY SOPE DRAIN PROTECTION WILL BE PROVIDED PER FDOT ROAD DESIGN STANDARD INDEX NO. 100.
12. OFF SITE DISCHARGE OF UNTREATED STORMWATER WILL BE PREVENTED USING TEMPORARY BERMS AND DIKES WHERE NEEDED.
13. INSPECTIONS SHALL BE MADE IN ACCORDANCE WITH THE NPDES PERMIT BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION/SEDIMENT CONTROL EFFORTS. ANY NECESSARY REMEDIES AND MAINTENANCE SHALL BE PERFORMED WITHOUT DELAY.
14. ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC ROADS AND FACILITIES, DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
15. EROSION AND SEDIMENT MATERIALS FROM THIS PROJECT SHALL BE CONTAINED ON-SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS.

STORMWATER AND GRADING NOTES

- 1. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED OR LINED WITH APPROVED REINFORCED EARTH MATTING. APPROVED RIP RAP PER FDOT INDEX #100 MUST BE PLACED AS NECESSARY TO CONTROL EROSION.
2. BENCHMARK LOCATIONS AND ELEVATIONS ARE AS REPRESENTED BY THE SURVEYOR AT THE TIME OF THE SURVEY. CONTRACTOR SHALL VERIFY ITS CORRECTNESS AT TIME OF CONSTRUCTION.
3. SPOT ELEVATIONS SHOWN FOR INLETS AND MANHOLES ARE AT TOP OF RIM.
4. ALL GRADING AND SITE PREPARATION SHALL CONFORM TO THE LOCAL JURISDICTION'S CODE.
5. ALL OPEN AREAS WITHIN LIMITS OF CONSTRUCTION AND CONSTRUCTION EASEMENTS SHALL BE SODDED WITH BAHIA SOD BY CONTRACTOR UNLESS OTHERWISE NOTED ON PLANS.
6. ALL CONCRETE PIPE JOINTS SHALL BE WRAPPED WITH 4' OF FILTER FABRIC CENTERED ON EACH JOINT.
7. CONTRACTOR SHALL DEWATER WHERE REQUIRED TO MEET TECHNICAL REQUIREMENTS.
8. ALL CONCRETE STORM SEWER PIPE TO BE REINFORCED CONCRETE PIPE CLASS III, EXCEPT WHERE OTHERWISE NOTED ON THE PLANS OR REQUIRED BY JURISDICTION. HDPE STORM PIPE SHALL BE APPROVED BY JURISDICTION AND ENGINEER AND SHALL MEET ASTM-477. PVC STORM PIPE SHALL BE ADS OR APPROVED EQUIVALENT.
9. GEOTECHNICAL SERVICES HAVE BEEN PROVIDED AS REFERENCED BELOW. GEOTECHNICAL RECOMMENDATIONS ARE NOT THE RESPONSIBILITY OF WICKS CONSULTING SERVICES, INC. AND HAS RELIED ON THE BELOW REFERENCED GEOTECHNICAL REPORT'S IN PREPARATION OF THE DRAWINGS. ANY CONFLICT BETWEEN INFORMATION WITHIN THE REPORT AND THESE DRAWINGS SHALL BE REPORTED TO ENGINEER/OWNER. WICKS CONSULTING SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, COMPLETENESS OR ACCURACY OF GEOTECHNICAL INFORMATION.
10. GEOTECHNICAL REPORT PREPARED BY: ANDREYEV ENGINEERING, INC. REPORT #: GPGT-17-132; REPORT DATE: NOVEMBER 29, 2017
11. ALL OFF-SITE DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION, OR BETTER.
12. ALL STORM STRUCTURES SHALL CONFORM WITH FDOT STANDARD INDEX DRAWINGS AND SPECIFICATIONS EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRAVERSABLE, TRAFFIC BEARING GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES. GRATES SHALL BE STEEL UNLESS OTHERWISE SPECIFIED OR APPROVED.
13. EXISTING TOPOGRAPHY BASED ON DRAWING PREPARED BY: SURVEYOR: ALTAMAX SURVEYING DRAWING DATED: FEBRUARY 03, 2017 PROJECT NUMBER: 901692
14. ALL STORMWATER STRUCTURES SHALL HAVE CEMENT BENCHING FROM THE BOTTOM OF THE STRUCTURE TO THE LOWEST PIPE INVERT AND SHALL BE SLOPED TO PROVIDE POSITIVE DRAINAGE UNLESS OTHERWISE NOTED.
15. ALL DISTURBED AREAS ON-SITE SHALL BE SODDED WITH SOD OF LIKE TYPE AND QUALITY TO MATCH EXISTING. ALL DISTURBED AREAS OFF-SITE SHALL BE SODDED WITH ARGENTINA BAHIA. ALL SOD SHALL BE NON-MUCK FARM GROWN.

ROUTINE MAINTENANCE --- STORMWATER

- 1. AFTER COMPLETION OF CONSTRUCTION, WRA'S WILL BE MOWED AND MAINTAINED AS PART OF THE NORMAL LAWN AND OPEN SPACE MAINTENANCE.
2. TRASH AND DEBRIS THAT ACCUMULATES WITHIN THE WRA'S, SWALES, PIPES, AND INLETS WILL BE MANUALLY COLLECTED AND DISPOSED OF WITH OTHER NORMAL SOLID WASTE.
3. ANY EROSION, LOSS OF GRASS, ETC., WILL BE REPAIRED OR REPLACED ROUTINELY AND AS NEEDED.
4. PIPES, INLETS, FLUMES, AND OTHER CONTROL DEVICES WILL BE INSPECTED ANNUALLY AND REPAIRS MADE AS NEEDED.
5. BEST MANAGEMENT PRACTICES SHALL BE USED TO ASSURE EROSION AND SEDIMENT IS CONTROLLED. ADDITIONAL MEASURES MAY BE REQUIRED DURING CONSTRUCTION.

TREE PROTECTION REQUIREMENTS

- 1. PROTECT DESIGNATED EXISTING TREES AGAINST:
-UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS
-SKINNING AND BRUISING OF BARK
-SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN DRIP-LINE
-EXCESS FOOT OR VEHICULAR TRAFFIC
-PARKING VEHICLES WITHIN DRIP-LINE
2. ERECT TEMPORARY TREE PROTECTION FENCING AS SHOWN ON THE DETAIL SHEETS. BEFORE COMMENCEMENT OF ANY SITE CLEARING OR GRADING, ALL FENCING SHOULD BE A MINIMUM OF 10' CLEAR DISTANCE FROM THE FACE OF ANY TREES AND SHALL FULLY ENCLOSE ALL TREES SCHEDULED TO REMAIN. NOTHING SHALL BE PLACED INSIDE OF PROTECTIVE BARRICADES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIAL, MACHINERY, CHEMICALS, OR TEMPORARY SOIL DEPOSITS. ON TREES LARGER THAN 20' DBH, BARRICADES SHALL BE NO CLOSER THAN 15' FROM FACE OF TREE. WHEN PAVING, EXCAVATION OR HARDSCAPE MUST BE DONE WITHIN BARRICADES, BARRICADES SHALL BE MOVED BACK TO A SECONDARY LOCATION AT EDGE OF WORK. EXTRA CARE MUST BE TAKEN AT THIS TIME BY THE CONTRACTOR TO ENSURE THAT NO DAMAGE TO THE TREE OCCURS.
3. PROVIDE WATER TO TREES AS REQUIRED TO MAINTAIN THEIR HEALTH DURING CONSTRUCTION WORK.
4. WHEN NECESSARY TO CUT ROOT OVER 1-1/2" DIAMETER OF TREES TO REMAIN, CUT MUST BE A CLEAN CUT, COAT CUT FACES OF ROOTS WITH AN EMULSIFIED ASPHALT OR OTHER ACCEPTABLE COATING FORMULATED FOR USE ON DAMAGED PLANT TISSUE. TEMPORARILY COVER EXPOSED ROOTS WITH WET BURLAP TO PREVENT DRYING AND COVER WITH EARTH AS SOON AS POSSIBLE.
5. NO GRADE CHANGES ARE TO BE MADE WITHIN THE BARRICADES WITHOUT PRIOR APPROVAL OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE.
6. INTERFERING BRANCHES MAY BE REMOVED AT THE DIRECTION OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE BY A QUALIFIED TREE SURGEON.
7. REPAIR OR REPLACE TREES INDICATED TO REMAIN, WHICH ARE DAMAGED IN THE CONSTRUCTION OPERATIONS, IN A MANNER ACCEPTABLE TO THE OWNER. EMPLOY A QUALIFIED TREE SURGEON TO REPAIR MAJOR DAMAGES TO TREES AND SHRUBS, PROMPTLY, TO PREVENT PROGRESSIVE DETERIORATION'S CAUSED BY THE DAMAGE.
8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF TREES DAMAGED BEYOND REPAIR WITH 3 TREES OF SIMILAR QUALITY AND SPECIES, SIZED TO MATCH THE LARGEST TREES OF THAT SPECIES BEING PLANTED AS PER THE LANDSCAPE PLANS. IF TREES ARE HARMED THROUGH LACK OF PROTECTION OR THROUGH NEGLIGENCE ON THE PART OF THE CONTRACTOR, THE CONTRACTOR SHALL BEAR THE BURDEN OF THE COST OF REPAIR OR REPLACEMENT.

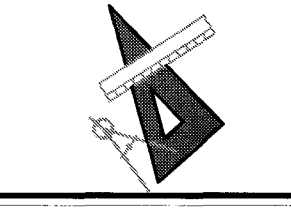
RECORD DRAWINGS

- 1. THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH RECORD SURVEYS OF THE INSTALLED WATER, RECLAIM, WASTEWATER AND STORMWATER SYSTEMS. REQUIREMENTS ARE AS FOLLOWS:
a. PERFORMED BY A FLORIDA REGISTERED LAND SURVEYOR.
b. SIX SIGNED AND SEALED RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD.
c. ELECTRONIC FORMATS OF THE RECORD DRAWINGS SHALL BE IN AUTOCAD 2000 OR HIGHER. A COPY OF THE ELECTRONIC FILES SHALL BE PROVIDED TO THE ENGINEER OF RECORD. IT IS PREFERRED TO USE THE APPROVED PLANS WITH STRIKE THROUGH CORRECTIONS.
2. REQUIRED RECORD DRAWING DATA:
a. WATER, FORCEMAIN & RECLAIMED WATER LINE LOCATIONS, SIZE AND MATERIALS.
b. LOCATION OF WATER, FORCEMAIN, RECLAIMED WATER & SEWER VALVES AND APPURTENANCES
c. MANHOLE TOP AND INVERT ELEVATIONS
d. DEPICOTABLE WATER LINE CROSSING AND PROVIDE ACTUAL SEPARATION DISTANCES
e. SAMPLE POINT LOCATIONS IN ACCORDANCE WITH THE FDEP PERMIT.
f. GRAVITY STORM AND SEWER LOCATIONS, INVERTS, PIPE SIZE AND MATERIALS.
g. PHOTOS OF ALL UTILITIES CROSSING AND WATER MAINS SHALL BE TAKEN AT THE TIME OF CONSTRUCTION PRIOR TO BACKFILLING.
h. ALL STORMWATER MANAGEMENT AREAS SHALL BE DETAILED WITH CROSS SECTIONS AND/OR CONTOURS PROVING FINISH GRADE ELEVATIONS.
i. ALL OUTFALL STRUCTURES SHALL BE VERIFIED WITH SPECIFIC DESIGN ELEVATIONS AS SHOWN ON THE PLANS. (ie. TOPS, WEIRS, ORIFICE AND SKIMMERS SHOULD ALL BE VERIFIED.
j. FINISHED GRADES AT HIGH POINTS AND GRADE BREAKS IN PAVEMENT CENTERLINE AND EDGE OF PAVEMENT AT 100' INTERVALS, LOT GRADES, BUILDING PADS OR FINISH FLOOR ELEVATIONS.

STANDARD ABBREVIATIONS

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Includes ARV (AIR RELEASE VALVE), BFP (BACKFLOW PREVENTER), BOC (BACK OF CURB), BTM (BOTTOM), BV (BALL VALVE), C (CENTER LINE), CMP (CORRUGATED METAL PIPE), CO (CLEANOUT), CONC (CONCRETE), DCDVA (DOUBLE CHECK DETECTOR VALVE ASSEMBLY), DIP (DUCTILE IRON PIPE), DHWL (DESIGN HIGH WATER LEVEL ELEVATION), EOP (EDGE OF PAVEMENT), ERCP (ELLIPTICAL REINFORCED CONCRETE PIPE), FDC (FIRE DEPARTMENT CONNECTION), FFE (FINISHED FLOOR ELEVATION), FH (FIRE HYDRANT), FM (FORCE MAIN), GV (GATE VALVE), HDPE (HIGH DENSITY POLYETHYLENE), DDOCA (DOUBLE DETECTOR CHECK ASSEMBLY), HP (HIGH POINT), HR (HANDICAPPED RAMP), INV (INVERT), LF (LINEAR FEET), LP (LOW POINT), LS (LIFT STATION), MES (MITERED END SECTION), MH (MANHOLE), NWL (NORMAL WATER LEVEL), PIV (POST INDICATOR VALVE), R (PROPERTY LINE), PV (PLUG VALVE), PVC (POLYVINYL CHLORIDE PIPE), RCP (REINFORCED CONCRETE PIPE), RWM (RECLAIMED/REUSE WATER MAIN), R/W (RIGHT OF WAY), SAN (SANITARY), SHWT (SEASONAL HIGH WATER TABLE), SP (SAMPLE POINT), TOB (TOP OF BANK), TOS (TOE OF SLOPE), TYP (TYPICAL), WM (WATER MAIN), RPZ (REDUCED PRESSURE ZONE BACKFLOW DEVICE).

Wicks Engineering Services, Inc. 225 West Main Street, Tavares, Florida 32778 www.wicksengineering.com (352) 343-8667 C.A. #50062



FRUITLAND PARK HOLDINGS, LLC 13075 WINDY BOLLWEGER 13325 WINDY BOLLWEGER ORANGE CITY, FLORIDA 32763

IC INTERNATIONAL CARWASH GENERAL NOTES US HWY 27/441 FRUITLAND PARK FL. 34731

Professional Engineer Seal for GENETHE R. WICKS, P.E., FL. REG. NO. 33274, DATE: 8/21/18

Revision table with columns: REVISION, DATE, and content. Includes revision 1: SU, RAI, 1, 05-31-2018. Revision 2: BESH, COMMENTS, 06-11-2018. Revision 3: AS, SHOW. File No.: 171-36, Sheet: 2 of 15.

FDEP SEPARATION REQUIREMENTS

under 62-555.314 Effective 8-28-2003

HAZARD	HORIZONTAL SEPARATION	VERTICAL SEPARATION	
		WATER ABOVE	WATER BELOW
STORM SEWER	3FT MIN	12" PREF, 6" MIN	12" MIN
STORM FORCE MAIN	3FT MIN	12" MIN	12" MIN
RECLAIMED WATER (REQ'D UNDER 62-610)	3FT MIN	12" MIN	12" MIN
RECLAIMED WATER (NOT UNDER 62-610)	10FT PREF, 6FT MIN	12" MIN	12" MIN
VACUUM SANITARY SEWER	10FT PREF, 3FT MIN	12" PREF, 6" MIN	12" MIN
GRAVITY SANITARY SEWER	10FT PREF, 6FT MIN*	12" PREF, 6" MIN	12" MIN
SANITARY SEWER FORCE MAIN	10FT PREF, 6FT MIN	12" MIN	12" MIN
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10FT MIN (NO ALTERNATIVES)		

- * 3FT MINIMUM IF BOTTOM OF WATER MAIN IS 6" ABOVE THE GRAVITY SEWER MAIN
- THESE TABLES ARE NOT COMPREHENSIVE AND ARE NOT A SUBSTITUTE FOR THE TEXT IN 62-555.314. (SEE TEXT BELOW)
- THIS TABLE WAS CREATED BY A PRIVATE INDIVIDUAL AND IS NOT AN OFFICIAL FDEP TABLE.
- ALL DISTANCES ARE MEASURED OUTSIDE TO OUTSIDE.
- IT IS PREFERABLE TO LAY THE WATER PIPE ABOVE THE HAZARD PIPE.
- WATER MAINS CANNOT COME INTO CONTACT WITH ANY HAZARD STRUCTURES WITHOUT PRIOR APPROVAL BY FDEP.
- EXCEPTIONS ARE ONLY ALLOWED ON A CASE-BY-CASE BASIS WITH JUSTIFICATION TO FDEP BEFORE INSTALLATION.

"AT CROSSINGS, CENTER WATER PIPE ON CROSSING OR MAINTAIN THE FOLLOWING JOINT SPACING:"

HAZARD	ALTERNATIVE JOINT SPACING
STORM SEWER	3FT MIN
STORM FORCE MAIN	3FT MIN
RECLAIMED WATER (REQ'D UNDER 62-610)	3FT MIN
RECLAIMED WATER (NOT UNDER 62-610)	6FT MIN
VACUUM SANITARY SEWER	3FT MIN
GRAVITY SANITARY SEWER	6FT MIN
SANITARY SEWER FORCE MAIN	6FT MIN
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	N/A

62-555.314 LOCATION OF PUBLIC WATER SYSTEM MAINS TEXT.

FOR THE PURPOSE OF THIS SECTION, THE PHRASE WATER MAINS SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER; FIRE HYDRANT LEADS; AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.

(1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.

(A) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

(B) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.

(C) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.

(D) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

(2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.

(A) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY-OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

(B) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.

(C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

(3) SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES.

(A) NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE.

(B) EFFECTIVE AUGUST 28, 2003, WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A STORM SEWER MANHOLE OR INLET STRUCTURE. WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THIS REQUIREMENT (I.E., WHERE THERE IS A CONFLICT IN THE ROUTING OF A WATER MAIN AND A STORM SEWER AND WHERE ALTERNATIVE ROUTING OF THE WATER MAIN OR THE STORM SEWER IS NOT TECHNICALLY FEASIBLE OR IS NOT ECONOMICALLY SENSIBLE), THE DEPARTMENT SHALL ALLOW EXCEPTIONS TO THIS REQUIREMENT (I.E., THE DEPARTMENT SHALL ALLOW CONSTRUCTION OF CONFLICT MANHOLES), BUT SUPPLIERS OF WATER OR PERSONS PROPOSING TO CONSTRUCT CONFLICT MANHOLES MUST FIRST OBTAIN A SPECIFIC PERMIT FROM THE DEPARTMENT IN ACCORDANCE WITH PART V OF THIS CHAPTER AND MUST PROVIDE IN THE PRELIMINARY DESIGN REPORT OR DRAWINGS, SPECIFICATIONS, AND DESIGN DATA ACCOMPANYING THEIR PERMIT APPLICATION THE FOLLOWING INFORMATION:

1. TECHNICAL OR ECONOMIC JUSTIFICATION FOR EACH CONFLICT MANHOLE.
2. A STATEMENT IDENTIFYING THE PARTY RESPONSIBLE FOR MAINTAINING EACH CONFLICT MANHOLE.
3. ASSURANCE OF COMPLIANCE WITH THE DESIGN AND CONSTRUCTION REQUIREMENTS IN SUB-PARAGRAPHS A. THROUGH D. BELOW.

- A. EACH WATER MAIN PASSING THROUGH A CONFLICT MANHOLE SHALL HAVE A FLEXIBLE, WATERTIGHT JOINT ON EACH SIDE OF THE MANHOLE TO ACCOMMODATE DIFFERENTIAL SETTLING BETWEEN THE MAIN AND THE MANHOLE.
- B. WITHIN EACH CONFLICT MANHOLE, THE WATER MAIN PASSING THROUGH THE MANHOLE SHALL BE INSTALLED IN A WATERTIGHT CASING PIPE HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE).
- C. EACH CONFLICT MANHOLE SHALL HAVE AN ACCESS OPENING, AND SHALL BE SIZED, TO ALLOW FOR EASY CLEANING OF THE MANHOLE.
- D. GRATINGS SHALL BE INSTALLED AT ALL STORM SEWER INLETS UPSTREAM OF EACH CONFLICT MANHOLE TO PREVENT LARGE OBJECTS FROM ENTERING THE MANHOLE.

(4) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS. NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.005, F.A.C. (UPDATED 6-15-04)

UTILITY NOTES

1. SHOULD ANY DISCREPANCIES BE DISCOVERED THAT WOULD PREVENT CONSTRUCTION OF NEW IMPROVEMENTS AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER WITHIN 48 HOURS FOR A DETERMINATION AS TO THE DISPOSITION OF THE DISCREPANCIES. NO CLAIM WILL BE ALLOWED BY THE CONTRACTOR SHOULD HE FAIL TO PROVIDE THE REQUIRED NOTIFICATION PRIOR TO CONSTRUCTION.
2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE, AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR FIELD VERIFICATION OF THE EXISTING UTILITIES. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY TO ENSURE THE LOCATION AND INTEGRITY OF THE SYSTEM.
3. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
4. ALL PIPING TO HAVE A MINIMUM OF 3' COVER UNLESS OTHERWISE NOTED ON THE PLANS.
5. WHERE PAVEMENT IS REMOVED, THE SURFACING MATERIAL SHALL BE MECHANICAL SAW-CUT PRIOR TO TRENCH EXCAVATION, LEAVING A UNIFORM AND STRAIGHT EDGE, WITH MINIMUM DISTURBANCE TO THE REMAINING ADJACENT SURFACING. IMMEDIATELY FOLLOWING THE SPECIFIED BACKFILLING AND COMPACTION, A TEMPORARY SAND SEAL COAT SURFACE SHALL BE APPLIED TO THE CUT AREAS AND CONTINUE TO PROVIDE A SMOOTH TRAFFIC SURFACE WITH THE EXISTING ROADWAY AND SHALL BE MAINTAINED UNTIL FINAL RESTORATION.
6. DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL TAKE SPECIAL CARE AND PROVIDE ADEQUATE PROTECTION IN ORDER TO MINIMIZE DAMAGE TO VEGETATION, SURFACED AREAS, AND STRUCTURES WITHIN RIGHT-OF-WAY EASEMENT ON SITE, AND TAKE FULL RESPONSIBILITY FOR THE REPLACEMENT OR REPAIR THEREOF.

WATER DISTRIBUTION

1. EXCAVATED TRENCH BOTTOM(S) SHALL BE FREE OF STICKS, ROOTS, STUMPS, STONES, BOULDERS AND ALL DEBRIS, AND SHALL BE GRADED AND SHAPED FOR CONTINUOUS BEARING OF THE BOTTOM OF THE PIPE SYSTEM WITH ALLOWANCE FOR VALVES, FITTINGS, AND COUPLINGS.
2. UNLESS OTHERWISE SHOWN ON THE PLANS, PIPE SHALL BE MANUFACTURED FROM POLYVINYL CHLORIDE RESIN CONFORMING TO ASTM DESIGNATION D 1784. THE PIPE SHALL BEAR THE NATIONAL SANITATION FOUNDATION (NSF) SEAL FOR POTABLE WATER PIPE. PIPE SHALL MEET THE REQUIREMENTS OF AWWA C900, (D.R. 18) "STANDARD FOR POLYVINYL CHLORIDE (PVC) PRESSURE PIPE, 4 INCHES THROUGH 12 INCHES FOR WATER" AND SHALL BE FURNISHED IN CAST IRON PIPE EQUIVALENT OUTSIDE DIAMETERS WITH RUBBER GASKETED JOINTS AS LISTED C900 STANDARD. DI PIPE SHALL CONFORM WITH AWWA C-150/C-151. POLYVINYL CHLORIDE PIPE LESS THAN 4 INCHES IN DIAMETER SHALL BE IN ACCORDANCE WITH ASTM 1785 (SCHEDULE 40, 80, 120) OR ASTM 2241 (SDR 21, PC 200). DR 14 SHALL BE USED FOR FIRE LINES AND INSTALLED IN ACCORDANCE W/ NFPA 24, 1995.
3. CONNECTIONS FOR PIPE 2" IN DIAMETER AND LARGER SHALL BE RUBBER COMPRESSION RING TYPE. PIPE SHALL BE EXTRUDED WITH INTEGRAL THICKENED WALL BELLS WITHOUT INCREASE IN SDR. RUBBER RING GASKETS SHALL CONSIST OF SYNTHETIC COMPOUNDS MEETING THE REQUIREMENTS OF ASTM DESIGNATION D1869, AND SUITABLE FOR THE DESIGNATED SERVICE. OTHER CONNECTIONS FOR PIPE, SOLVENT WELDED SLEEVE TYPE JOINTS, FITTINGS FOR 2 INCH AND SMALLER PIPE SHALL BE P.V.C. SOLVENT WELDED JOINTS. FITTINGS FOR USE WITH P.V.C. PIPE WILL BE CAST IRON OR DUCTILE IRON WITH MECHANICAL JOINT RUBBER COMPRESSION RING TYPE JOINTS. WHERE MECHANICAL JOINT IRON FITTINGS OR DUCTILE IRON PIPE ARE TO INTERFACE WITH PVC PIPE, A TRANSITION GASKET, CLOW F-6340 OR EQUAL, SHALL BE USED. NO P.V.C. FITTINGS WILL BE ALLOWED EXCEPT ON PIPE AND FITTINGS SMALLER THAN 3 INCHES.
4. PVC PIPE CONNECTED TO HEAVY FITTINGS AND/OR RIGID STRUCTURES SHALL BE SUPPORTED SO THAT NO SUBSEQUENT RELATIVE MOVEMENT BETWEEN THE PVC PIPE AT THE JOINT AND THE RIGID STRUCTURE IS POSSIBLE.
5. RESTRAINED JOINTS SHALL BE USED AT ALL BENDS & TEES.
6. BACKFILLING OF THE TRENCH FROM THE BOTTOM UP TO TWELVE (12) INCHES OVER THE TOP OF THE PIPE SHALL BE COMPACTED IN SIX (6) INCH LAYERS USING DRY FRIBLE SOIL (MAXIMUM PARTICLE OR FRAGMENT DIMENSION 1") TO NINETY-FIVE (95) PERCENT MAXIMUM DENSITY. THE REMAINDER OF THE TRENCH SHALL BE BACKFILLED WITH EXCAVATED EARTH MATERIAL (MAXIMUM ROCK OR FRAGMENT DIMENSION 6") IN NINE (9) INCH LAYERS COMPACTED TO NINETY FIVE (95) PERCENT MAXIMUM DENSITY. NINETY-EIGHT (98) PERCENT UNDER AREAS TO BE PAVED. DENSITY DETERMINATIONS SHALL BE MADE IN ACCORDANCE WITH AASHTO SPECIFICATION T-180. MINIMUM COVER OVER THE TOP OF THE PIPE SHALL BE THIRTY-SIX (36) INCHES UNLESS OTHERWISE SHOWN. IF POSSIBLE, JOINTS SHOULD BE LEFT UNCOVERED UNTIL AFTER TESTING HAS BEEN SATISFACTORILY COMPLETED.
7. THE PIPE SYSTEM SHALL BE TESTED AND EXAMINED FOR LEAKAGE IN SECTIONS NOT EXCEEDING 1,000 FEET, AT NOT LESS THAN 150 PSI STATIC PRESSURE, IN ACCORDANCE WITH AWWA C 600 (DIP) C 605 (PVC).
8. AFTER COMPLETION OF CONSTRUCTION AND TESTING, THE WATER SYSTEM SHALL BE DISINFECTED WITH CHLORINE SOLUTION BEFORE ACCEPTANCE FOR DOMESTIC OPERATION. THE AMOUNT OF CHLORINE APPLIED SHALL BE SUFFICIENT TO PROVIDE A DOSAGE SOLUTION OF NOT LESS THAN FIFTY (50) PARTS PER MILLION. PRIOR TO INTRODUCING THE CHLORINE SOLUTION, THE LINE SHALL BE THOROUGHLY FLUSHED WITH CLEAN POTABLE WATER. CHLORINE SOLUTION SHALL BE INTRODUCED IN ACCORDANCE WITH AWWA STANDARD C-651-92 AND SHALL REMAIN IN THE SYSTEM FOR A CONTACT PERIOD OF AT LEAST TWENTY-FOUR (24) HOURS, DURING WHICH TIME EVERY VALVE IN THE SYSTEM SHALL BE OPENED AND CLOSED SEVERAL TIMES TO ASSURE CONTACT WITH EVERY SURFACE OF THE SYSTEM. AFTER COMPLETION OF THE DISINFECTION PROCEDURE, THE SYSTEM SHALL BE FLUSHED USING CHLORINATED WATER FROM THE CENTRAL WATER SUPPLY. SAMPLES SHALL BE TAKEN FROM THE NEW SYSTEM FOR TESTING BY A D.H.R.S. CERTIFIED LAB AND SUBMITTED TO THE ENGINEER FOR SUBMITTAL TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR CLEARANCE BEFORE IT IS PLACED INTO ACTIVE SERVICE.
9. GATE VALVES SHALL BE MUELLER CLASS 200 RESILIENT SEATED VALVES, OR APPROVED EQUAL, WITH MECHANICAL JOINT ENDS, MANUFACTURED TO MEET OR EXCEED REQUIREMENTS OF AWWA C509, LATEST REVISION. EACH VALVE SHALL BE FITTED WITH A CAST IRON BOX AND COVER
10. FIRE HYDRANT(S) SHALL BE MUELLER STANDARD OR APPROVED EQUAL 3-WAY WITH TWO (2) 2-1/2 INCH HOSE CONNECTIONS AND ONE (1) 4-1/2 INCH PUMPER NOZZLE. MAIN BARREL VALVE SIZE SHALL BE 5-1/4 INCHES. AFTER INSTALLATION THE HYDRANT SHALL BE PAINTED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT REQUIREMENTS.
11. ALL WATER SERVICE LINES TWO (2) INCHES AND UNDER SHALL BE POLYETHYLENE, IDR 9 OR SDR-26 WITH A PRESSURE RATING OF 160 PSI. ASTM D-2239.
12. ALL PVC WATER MAINS SHALL BE LAID WITH METALLIC LOCATING TAPE PLACED 18" ABOVE THE CENTER OF THE WATERLINE. FOR FUTURE LOCATING PURPOSES, #14 COPPER ARMORED POLYGUARD WIRE SHALL BE TAPED TO THE TOP OF THE PIPE AND TERMINATE WITH 12" EXTENDING ABOVE THE TOP OF THE VALVE BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH THE VALVE OPERATION.

UTILITY NOTES (CONT)

13. SURVEY AS-BUILT DRAWING IS REQUIRED.
14. DEDICATED FIRE MAINS SHALL BE INSTALLED BY A STATE CERTIFIED FIRE PROTECTION CONTRACTOR PER F.S. 633.021(5)
15. AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTION DEVICE IS REQUIRED FOR THE DOMESTIC WATERLINE (A.S.S.E. 1013). IT WILL BE INSTALLED AT THE POINT OF DELIVERY FROM THE LOCAL CITY OR COUNTY WATER SYSTEM. THE INSTALLER IS RESPONSIBLE FOR TESTING THE DEVICE UPON INSTALLATION BY A CERTIFIED BACKFLOW TESTER WITH THE RESULTS BEING FORWARDED TO THE LOCAL CITY OR COUNTY UTILITY DEPARTMENT.
16. THE IRRIGATION AND FIRE SYSTEMS ARE REQUIRED TO HAVE AN APPROVED DOUBLE CHECK VALVE ASSEMBLY (A.S.S.E. 1015). IT WILL BE INSTALLED AT THE POINT OF DELIVERY FROM THE LOCAL UTILITIES WATER SYSTEM, IN THE HORIZONTAL POSITION. THE INSTALLER IS RESPONSIBLE FOR TESTING THE DEVICE UPON INSTALLATION BY A CERTIFIED BACKFLOW TESTER WITH THE RESULTS BEING FORWARDED TO THE LOCAL UTILITY DEPARTMENT.
17. ALL WATER MAIN MATERIALS AND APPURTENANCES SHALL CONFORM TO AND SHALL BE INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE STANDARDS OF THE LOCAL JURISDICTION AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AGENCY.
18. IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN A COPY OF THE FDEP WATER AND SEWER PERMITS ON SITE AT ALL TIMES AND PERFORM BACTERIOLOGICAL TESTING (B.T.) AFTER DISINFECTION IN ACCORDANCE WITH THE FDEP WATER PERMITS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR CONTRACTOR TO SUBMIT A SET OF AS-BUILT WATER AND SEWER DRAWINGS TO THE ENGINEER. THE AS-BUILT WATER DRAWING WILL NEED TO BE PREPARED PER CITY OR COUNTY REQUIREMENTS. THE AS-BUILT SURVEY/DRAWINGS WILL NEED TO BE PREPARED, SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR.
19. THE CONTRACTOR SHALL PROTECT THE EXISTING ACTIVE WATER MAIN FROM BACKFLOW CONTAMINATION DURING FILLING, FLUSHING, TESTING AND MAINTAIN A MINIMUM PRESSURE OF 20 PSI IN THE NEW MAINS DURING CONSTRUCTION. ALL PROTECTION METHODS SHALL CONFORM TO THE LOCAL UTILITY COMPANIES, FDEP, AND AWWA STANDARD SPECIFICATIONS.
20. UPON COMPLETION OF THE WATER DISTRIBUTION SYSTEM INSTALLATION, CONTRACTOR SHALL FURNISH TO THE LOCAL FIRE DISTRICT AND ENGINEER CERTIFIED FIRE FLOW DATA FOR ALL FIRE HYDRANTS WITHIN THE PROJECT.
21. ALL WATER PIPE NEW OR RELOCATED SHALL BE COLOR CODED OR DETAIL MARKED USING BLUE AS PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM RECLAIMED OR OTHER WATER. RECLAIMED WATER PIPING SHALL BE PURPLE COLORED PIPE.
22. ALL WATER MAIN MATERIAL AND APPURTENANCES, PIPES, JOINTING AND PACKING MATERIAL INTERNAL COATING, AND LININGS, FITTINGS, AND APPURTENANCES SHALL BE IN THE ACCORDANCE WITH THE CORRESPONDING AWWA STANDARDS AND BE CONFORMING TO NSF REQUIREMENTS IN COMPLIANCE WITH PARAGRAPH 62-555 FLORIDA ADMINISTRATIVE CODE.
23. ALL WATER MAIN MATERIALS AND APPURTENANCES SHALL COMPLY WITH THE LEAD USE PROHIBITION RULE IN 62-555.322 FLORIDA ADMINISTRATIVE CODE.

GENERAL SPECIFICATION NOTES:

1. THE CITY/TOWN SPECIFICATIONS WILL TAKE PRECEDENCE IF THEY ARE MORE STRINGENT THAN THESE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

FORCEMAIN NOTES

1. FORCEMAIN PIPE SHALL BE INSTALLED AND MAINTAINED AT A 3' MINIMUM DEPTH THROUGH-OUT PROJECT EXCEPT WHERE SHOWN ON PLANS AND APPROVED SPECIFICATIONS. MAINTAIN 18" BELOW WATER MAIN.
 2. FORCEMAIN PIPE TO BE PVC C900, DR18 CLASS 100 AWWA.
 3. EXCAVATED TRENCH BOTTOM(S) SHALL BE FREE OF STICKS, ROOTS, STUMPS, STONES, BOULDERS AND ALL DEBRIS AND SHALL BE GRADED AND SHAPED FOR CONTINUOUS BEARING OF THE BOTTOM OF THE PIPE SYSTEM WITH ALLOWANCE FOR VALVES, FITTINGS AND COUPLINGS.
 4. PVC SEWER MAINS SHALL BE LAID WITH METALLIC TAPE PLACED 18" ABOVE THE CENTER OF THE FORCEMAIN WITH CONTINUOUS MARKING "CAUTION SEWAGE PRESSURE LINE" FOR FUTURE LOCATING PURPOSES. #14 COPPER ARMORED POLYGUARD WIRE SHALL BE TAPED TO THE TOP OF THE PIPE AND TERMINATE WITH 12" EXTENDING ABOVE THE TOP OF THE LIFT STATION VALVE BOX.
 5. THE PIPE SYSTEM SHALL BE TESTED AND EXAMINED FOR LEAKAGE IN SECTIONS NOT EXCEEDING 1,000 FEET, AT NOT LESS THAN 150 PSI STATIC PRESSURE, IN ACCORDANCE WITH AWWA C 600 (DIP) C 605 (PVC).
- ALLOWABLE LEAKAGE = $L = (ND/P)/7400$ DURATION 2 HOURS.
 L = ALLOWABLE LEAKAGE GPM/HR
 N = # OF JOINTS IN LENGTH TESTED
 P = AVERAGE TEST PRESSURE (PSI)
 D = NOMINAL DIAMETER OF PIPE (IN)

Wicks Engineering Services, Inc.
225 West Main Street, Tavares, Florida 32778
www.wicksengineering.com (352) 343-8667
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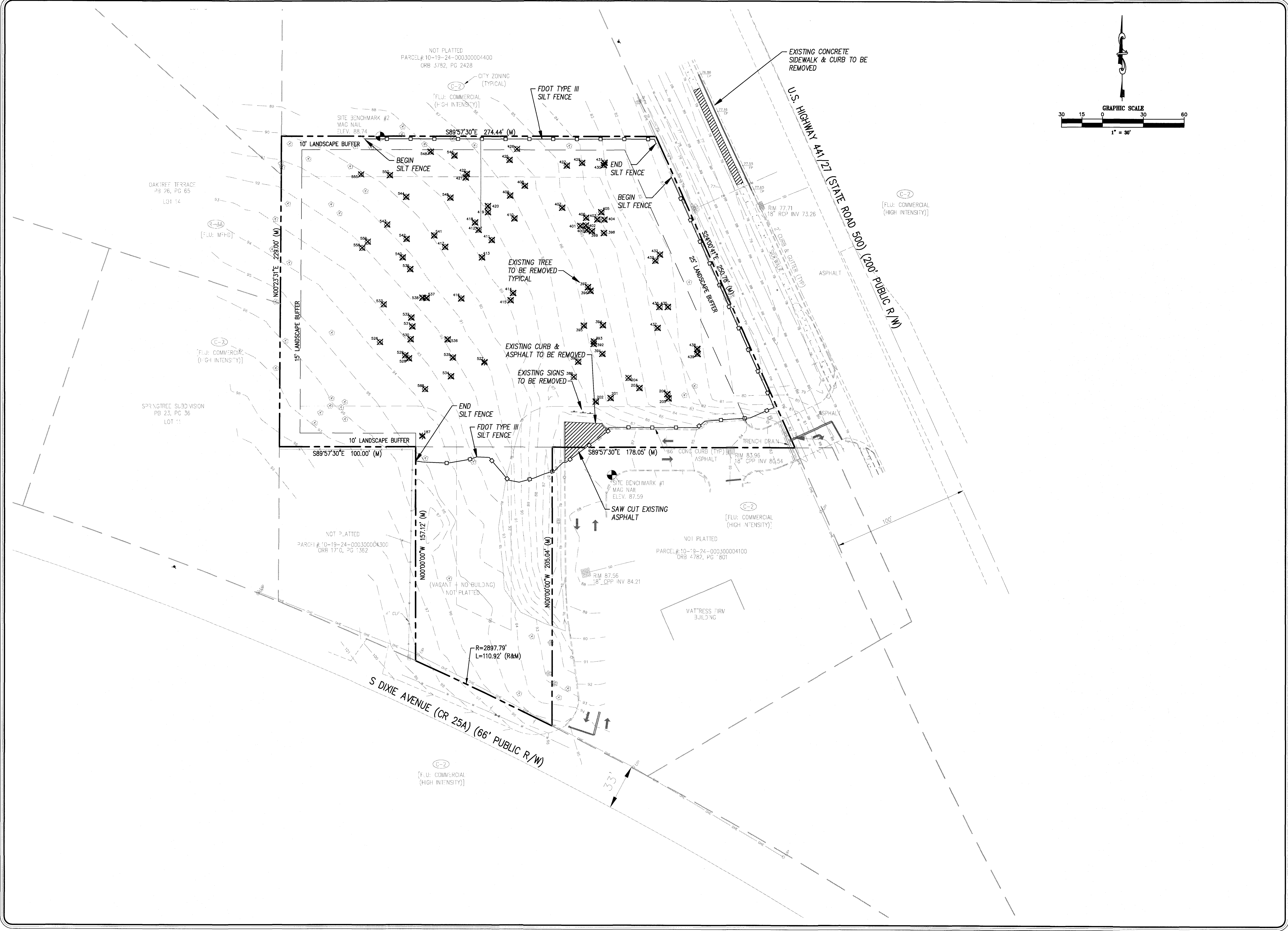
FRUITLAND PARK HQ DINKS, LLC
KENNETH R. WICKS, P.E.
1330 SAXON BOLLINGER
ORANGE CITY, FLORIDA 32763

IC INTERNATIONAL CARWASH
GENERAL UTILITY NOTES
US HWY 27/441 FRUITLAND PARK FL. 34731

KENNETH R. WICKS, P.E.
FL. REG. NO. 33274
DATE: 8/15/14

Drawn: WSR
Checked: TRW
Date: 10-25-17
Scale: AS SHOWN
Revision: SJ RAI 1
Date: 05-31-2018
BESH COMMENTS 08-11-2018
File No.: 17736
Sheet: 3 of 15

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 225 West Main Street, Tallahassee, Florida 32378
 www.wicksengineering.com (352) 343-8667
 C.A. #50062

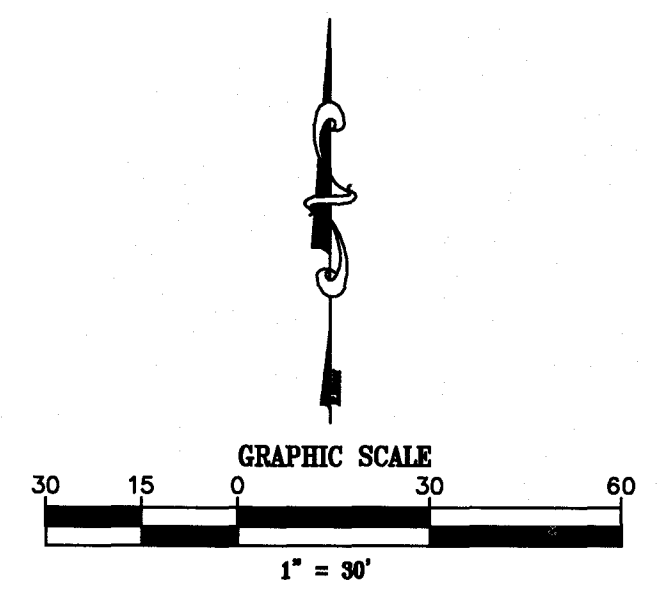
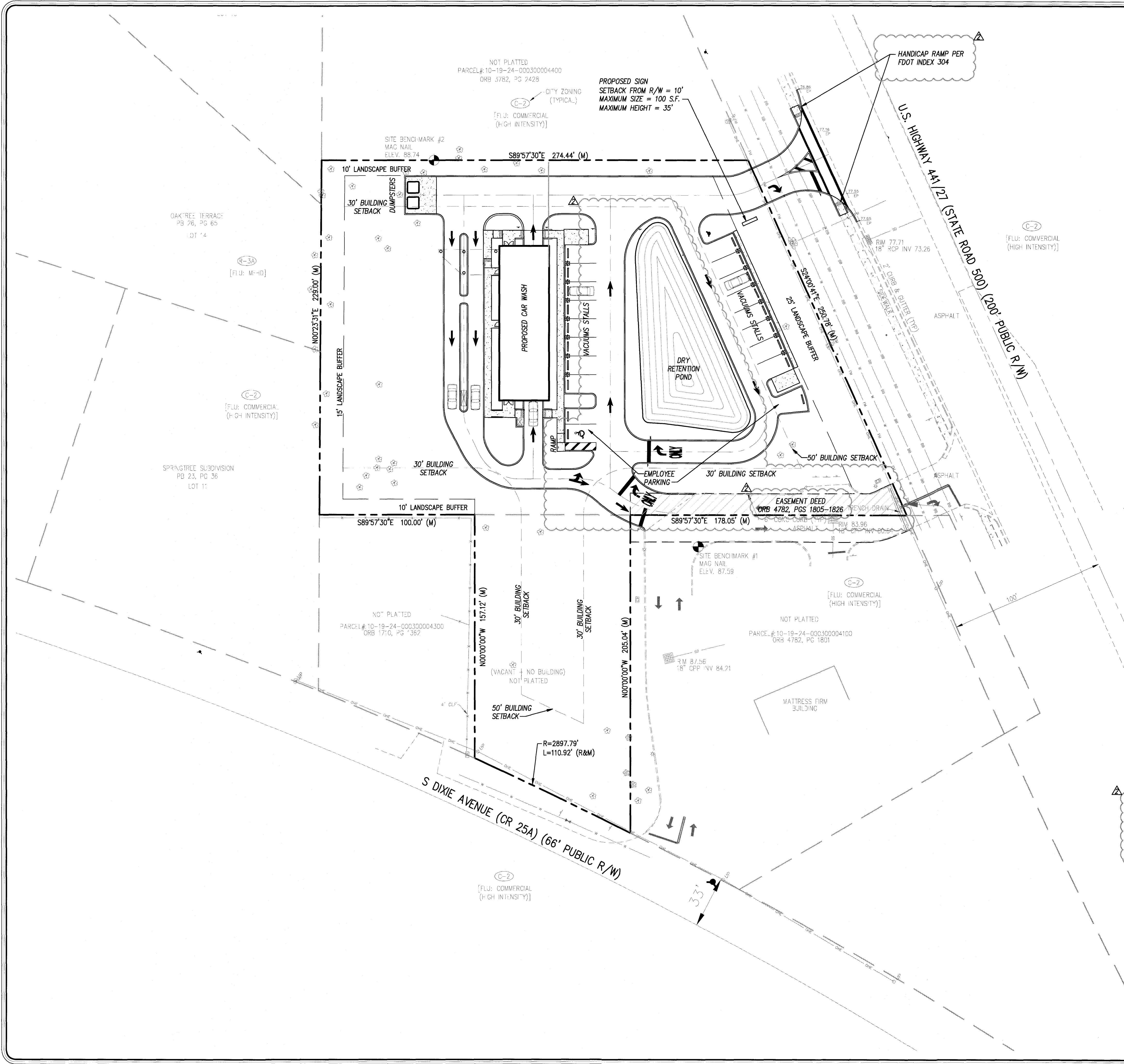
FRUITLAND PARK HOLDINGS, LLC
 TENDER S GREENWAY
 1330 SAXON BOULEVARD
 ORANGE CITY, FLORIDA 32763

**IC INTERNATIONAL CARWASH
 DEMOLITION & EROSION CONTROL PLAN
 US HWY 27/441 FRUITLAND PARK FL. 34731**

KENNETH RANDAL WICKS
 LICENSED PROFESSIONAL ENGINEER
 No. 33274
 STATE OF FLORIDA
 KENNETH B. WICKS, P.E. FL. REG. NO. 33274
 DATE: 8/21/18

Drawn: MSR	REVISION:	DATE:
Checked: TRW	Δ SU RAI 1	05-31-2018
Date: 10-25-17	Δ BESH COMMENTS 06-11-2018	
Scale: AS SHOWN		
File No.: 17136		
Sheet: 5 of 15		

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LEGAL DESCRIPTION
 A part of Southeast 1/4 of Southwest 1/4 of Section 10, Township 19 South, Range 24 East, in Lake County, Florida, bounded and described as follows:
 Beginning at a point 566.5 feet South and 100 feet East of the Northwest corner of the Southeast 1/4 of Southwest 1/4 of said Section; run thence East 100 feet; thence South 200 feet to the North line of the Highway; thence Northwesterly along the North line of the Highway, a distance of 110.5 feet to a point South of the Point of Beginning; thence North 153.1 feet to the Point of Beginning.

AND:
 That part of the North 229 feet of the South 991 feet of the Southeast 1/4 of the Southwest 1/4 of Section 10, Township 19 South, Range 24 East, in Lake County, Florida, lying West of the Westerly line of the right of way of U.S. Highway No. 27.

SITE DATA	
TOTAL ACRES:	1.7± ACRES (76,041 SF)
LAND USE:	VACANT
EXISTING USE:	CARWASH FACILITY
PROPOSED USE:	CARWASH FACILITY
ZONING:	GENERAL COMMERCIAL (C-2)
FUTURE LAND USE:	COMMERCIAL (HIGH INTENSITY)
OPEN SPACE:	
REQUIRED ST:	30% (0.51 ACERS 22,216 SF)
PROVIDED SF:	73% (1.27 ACRES 55,818 SF)
MAXIMUM BUILDING HEIGHT:	35 FEET
BUILDING:	3,200 S.F.
ISR (MAXIMUM):	70%
(PROVIDED):	27%
PARKING:	
REQUIRED:	1 SPACE PER WASH LANE
PROVIDED:	(2) 10'x20' EMPLOYEE SPACES (1) 12'x20' HC SPACE (16) 12'x20' VACUUM SPACES
BUILDING SETBACKS:	
FRONT:	50' FROM RIGHT OF WAY
SIDE:	30' FROM PROPERTY LINE
REAR:	15' FROM PROPERTY LINE
LANDSCAPE BUFFERS:	
HIGHWAY 27 FRONTAGE:	25' LANDSCAPE BUFFER 4 CANOPY TREES, 2 UNDERSTORY TREES & 15 SHRUBS PER 100' OF PROPERTY
SIDES:	10' LANDSCAPE BUFFER 4 CANOPY TREES, 2 UNDERSTORY TREES & 15 SHRUBS PER 100' OF PROPERTY
REAR:	15' LANDSCAPE BUFFER 4 CANOPY TREES, 2 UNDERSTORY TREES & 15 SHRUBS PER 100' OF PROPERTY

NOTES:
 1. LIFT STATION (SHEET 13 of 15) IS PRIVATELY OWNED AND WILL BE MAINTAINED BY THE PROPERTY OWNER.
 2. FIRE HYDRANT IS PRIVATE AND THE CITY OF FRUITLAND PARK OWNERSHIP STOPS AT THE GATE.

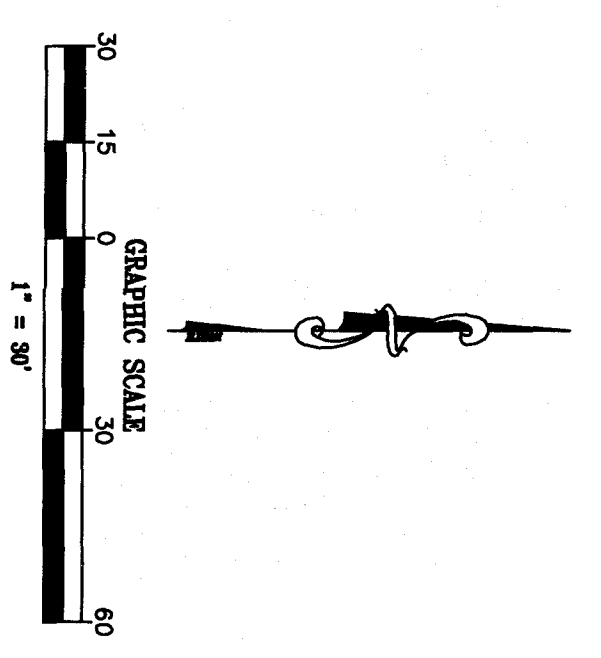
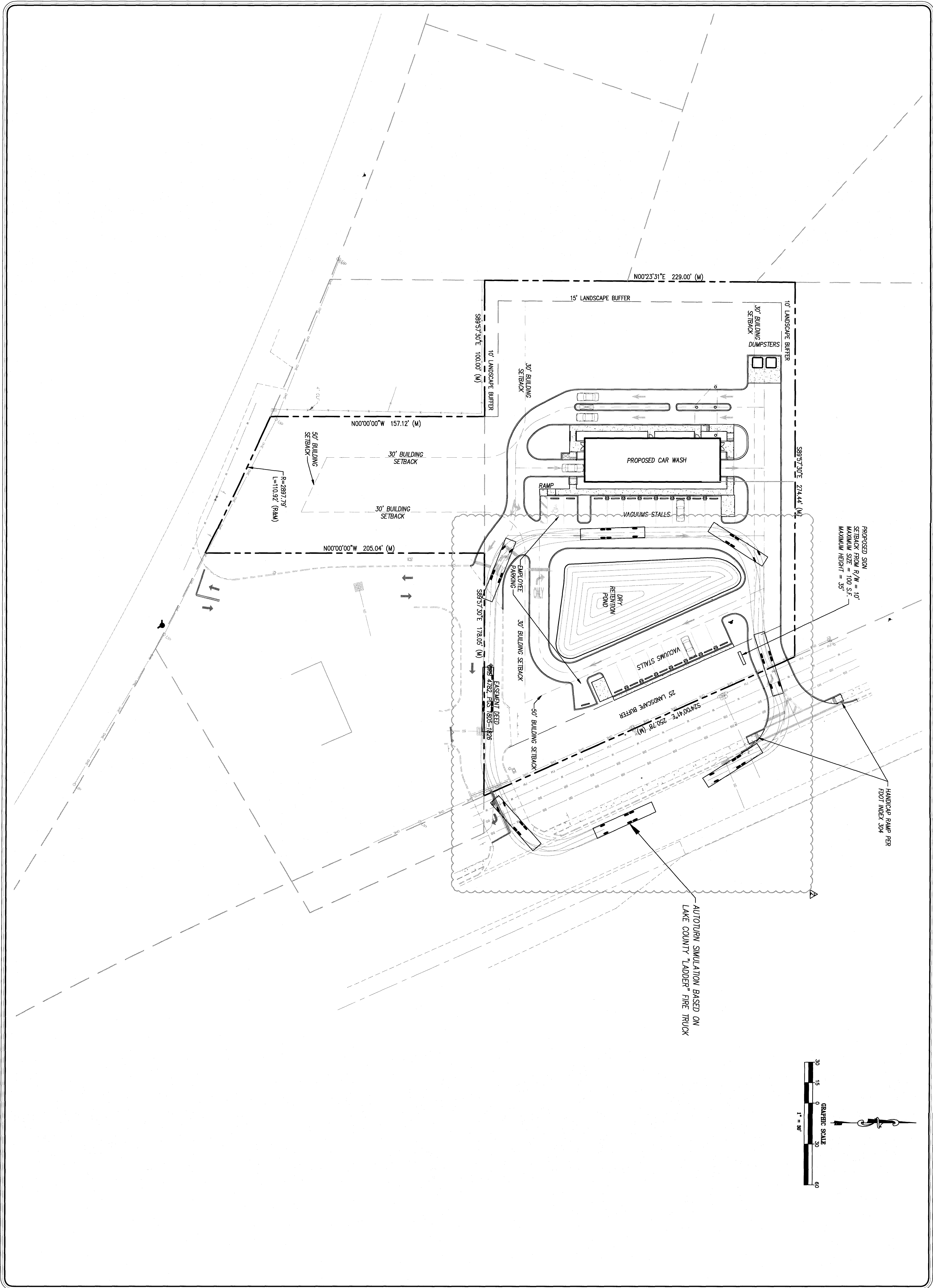
Wicks Engineering Services, Inc.
 225 West Main Street, Tavares, Florida 32778
 www.wicksengineering.com (352) 343-6667
 C.A. #35062

FRUITLAND PARK HOLDINGS, LLC
 1330 Saxon Boulevard
 Orange City, Florida 32763

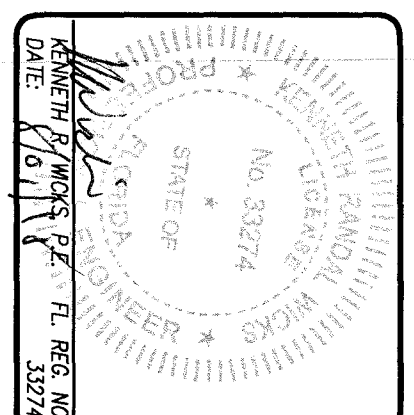
**IC INTERNATIONAL CARWASH
 SITE PLAN**
 US HWY 27/441 FRUITLAND PARK FL. 34731

PROFESSIONAL ENGINEER
 LICENSE No. 33274
 STATE OF FLORIDA
 KENNETH B. WICKS, P.E., FL REG. NO. 33274
 DATE: 10/11/18

Drawn: MSR	REVISION:	DATE:
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Date: 10-25-17	2. BESH COMMENTS 06-11-2018	
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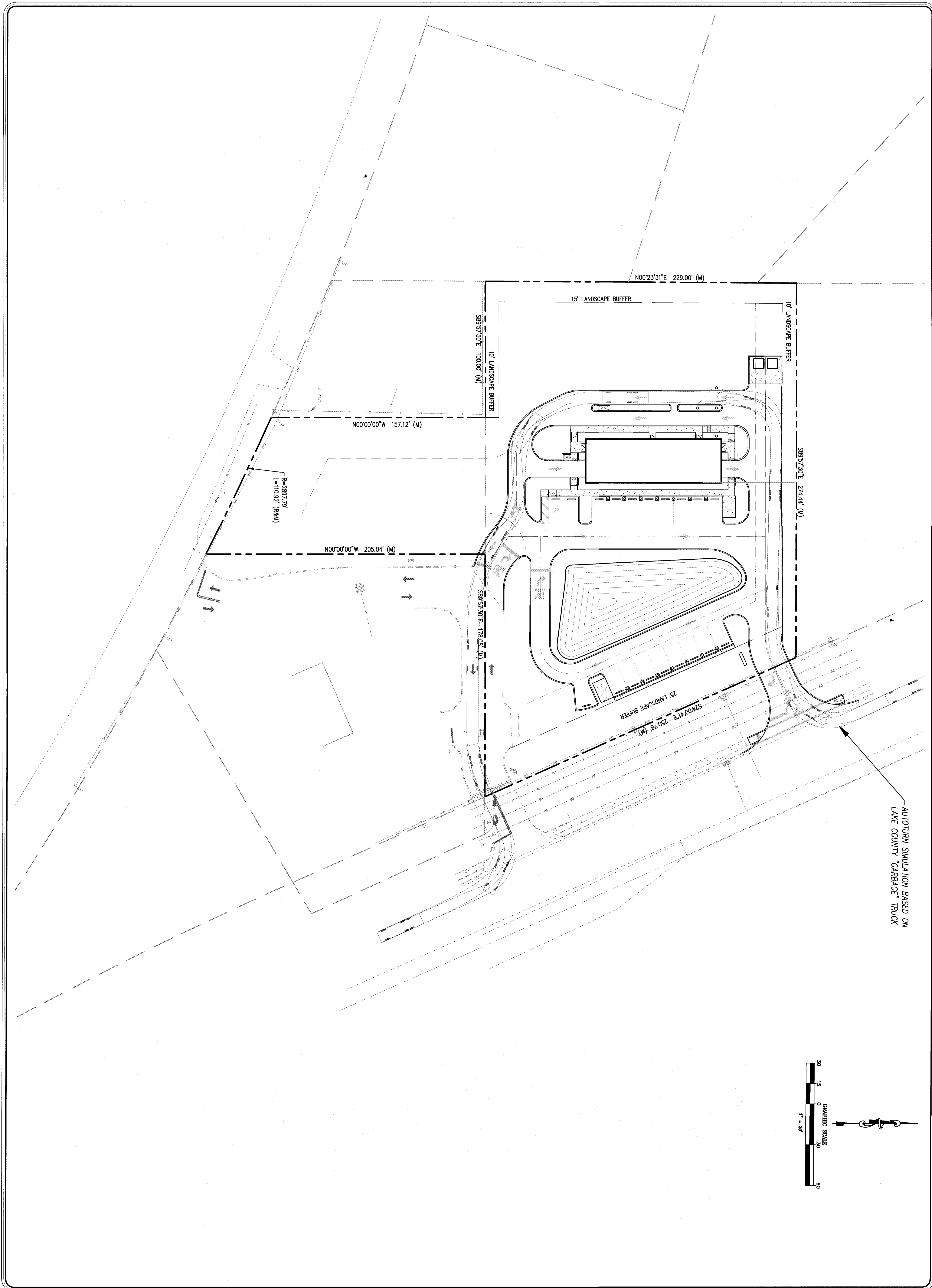
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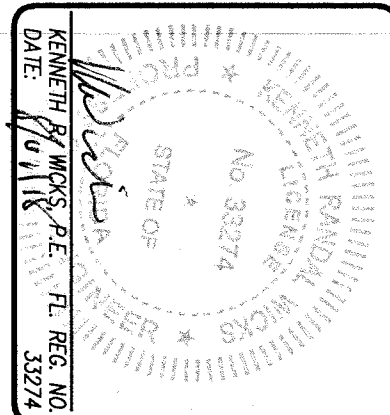
IC INTERNATIONAL CARWASH
AUTOTURN SIMULATION
 US HWY 27/441 FRUITLAND PARK FL. 34731

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 1330 SAXON BOULEVARD
 ORANGE CITY, FLORIDA 32763

Wicks Engineering Services, Inc.
 225 West Main Street, Tavares, Florida 32778
 www.wicksengineering.com (352) 343-8667
 C.A. #30062

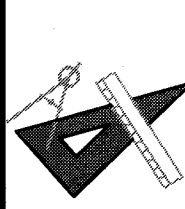


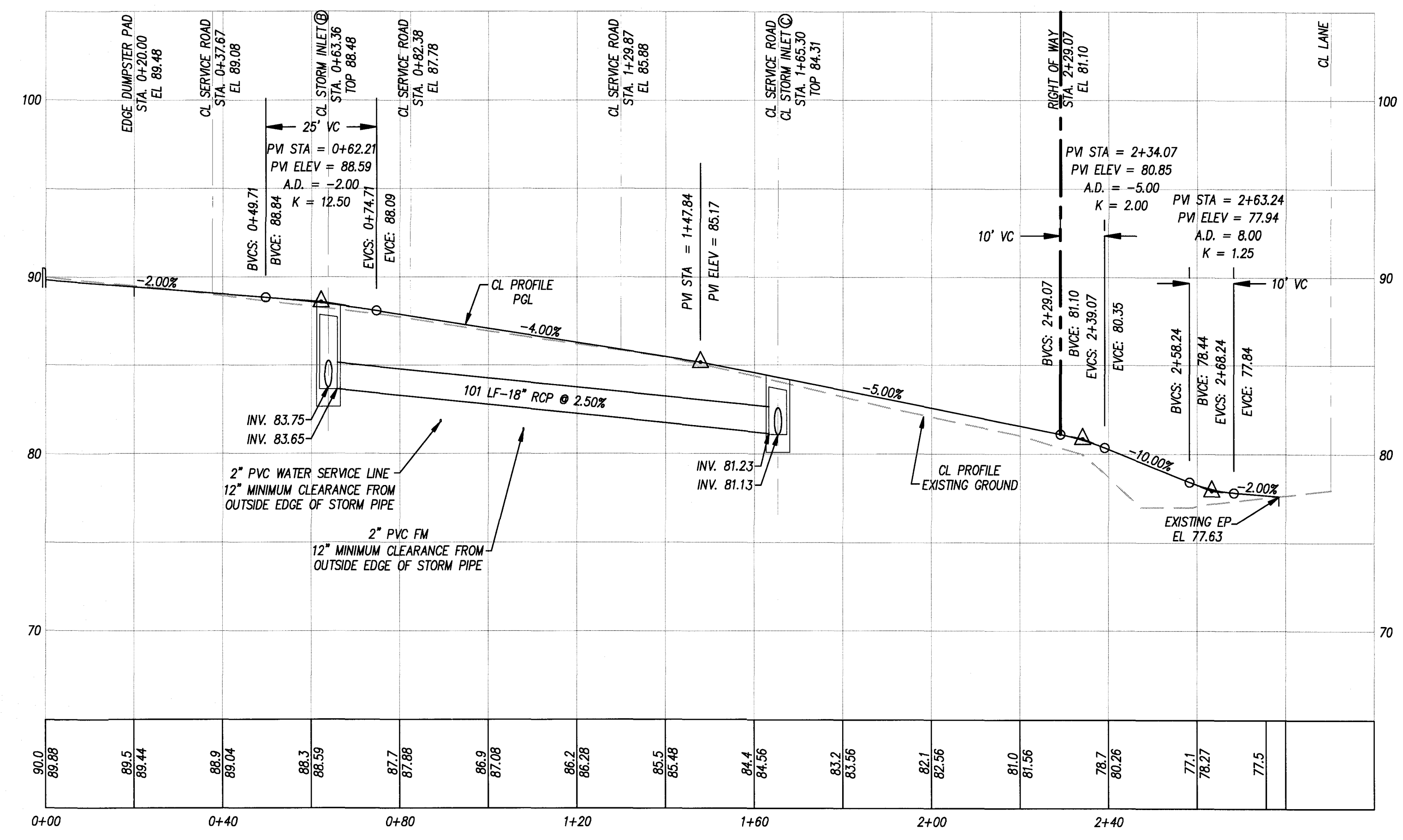
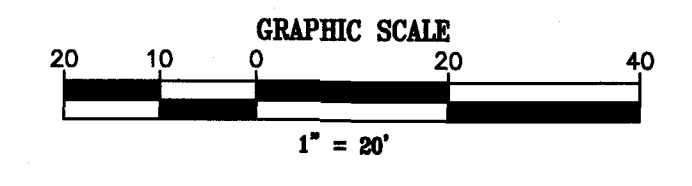
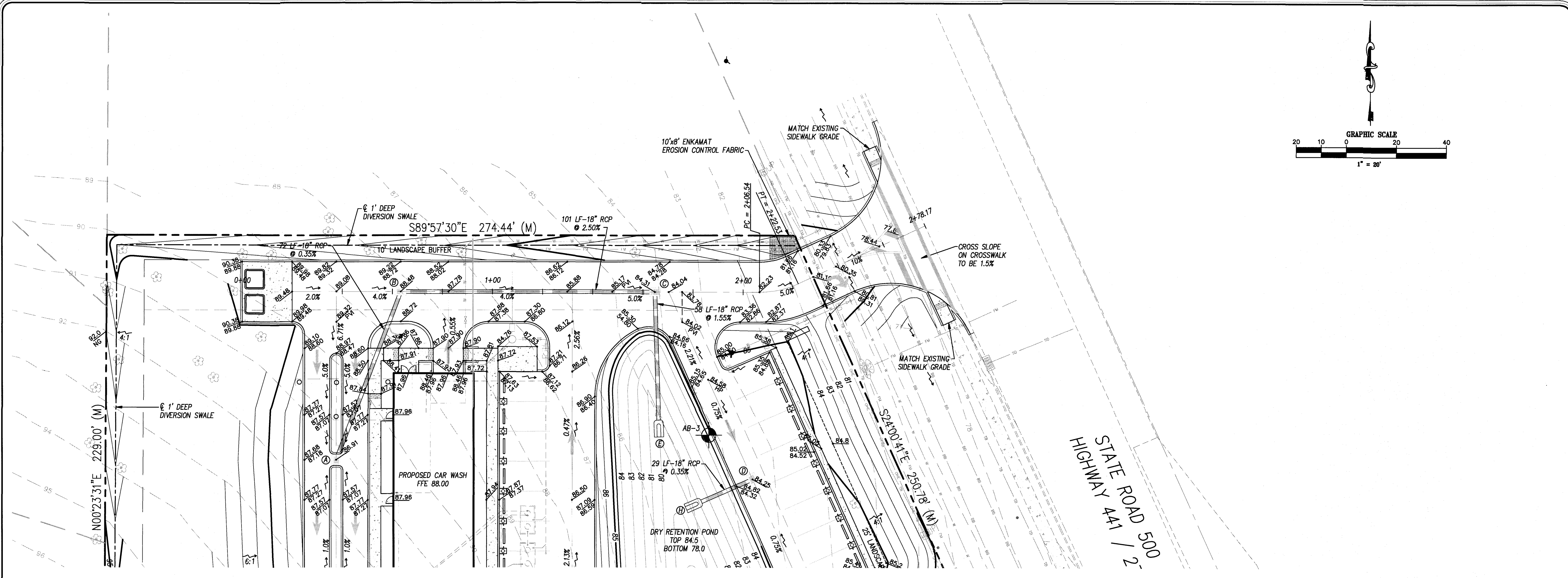
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 ORANGE CITY, FLORIDA 32763


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 225 West Main Street, Tavares, Florida 32778
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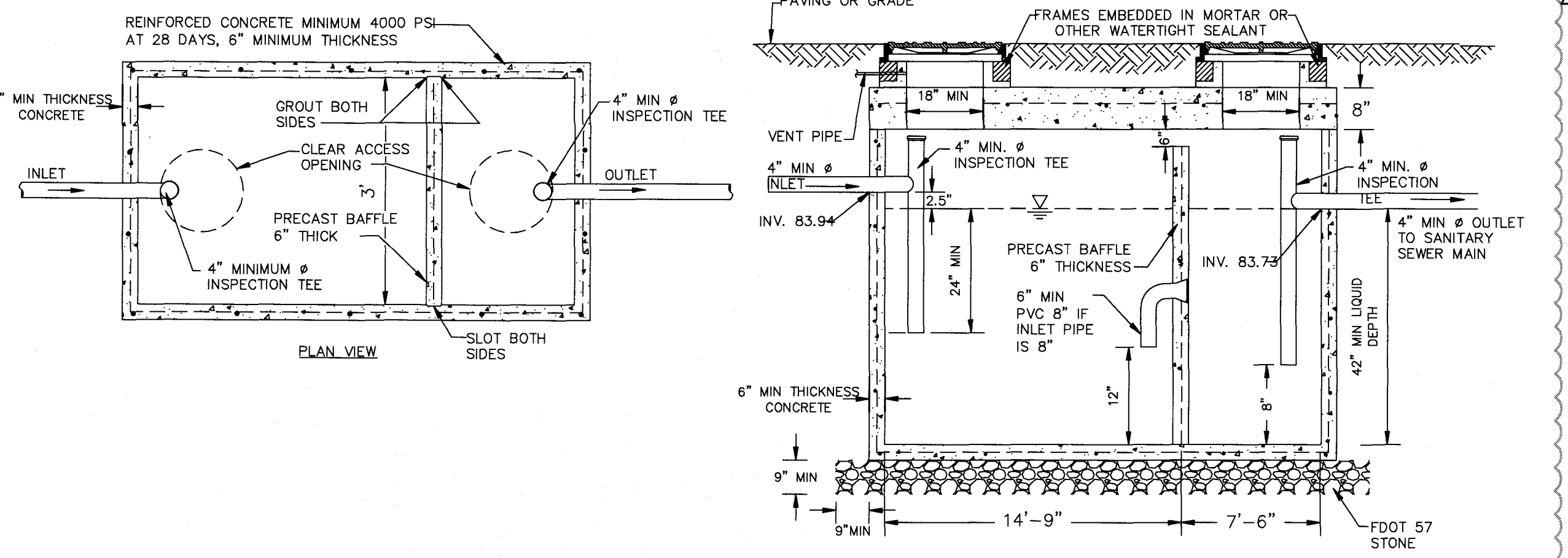
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 TAVARES S. GREENWALL
 1330 SAXON BOULEVARD
 ORANGE CITY, FLORIDA 32763

**IC INTERNATIONAL CARWASH
 GRADING & DRAINAGE PLAN**
 US HWY 27/441 FRUITLAND PARK FL. 34731

Professional Engineer Seal
 KENNETH B. WICKS, P.E.
 No. 33274
 STATE OF FLORIDA
 DATE: 8/11/18
 FL. REG. NO. 33274

Drawn: MSR	REVISION:	DATE:
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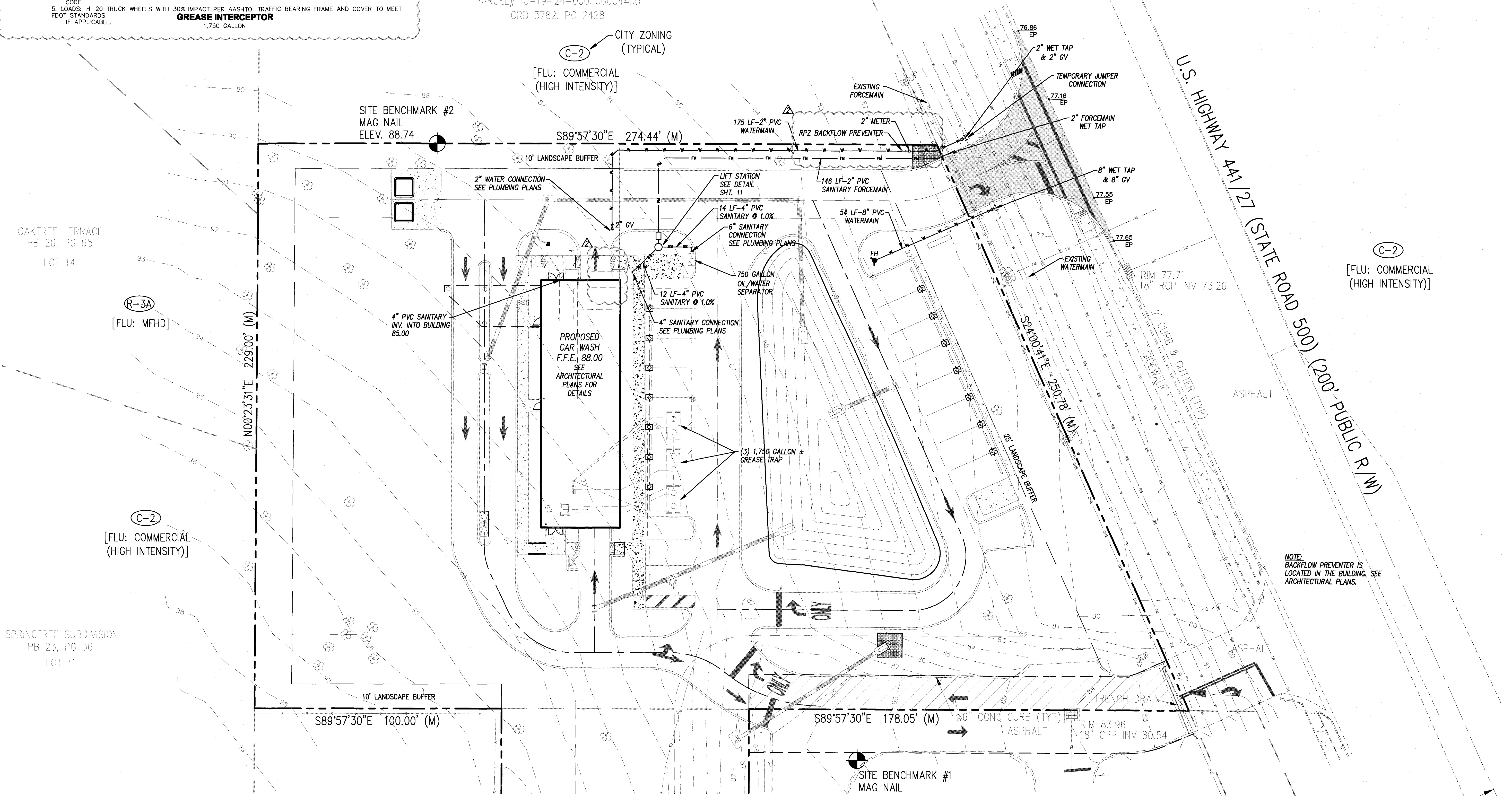
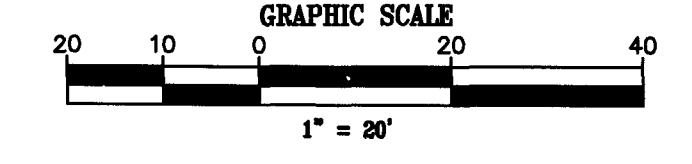
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NOTES:
 1. SPECIFIC DESIGN DETAILS MUST IN ALL ASPECTS MEET APPLICABLE FLORIDA PLUMBING AND ADMINISTRATIVE CODE.
 2. INTERCEPTORS SHALL BE WATER AND GAS TIGHT.
 3. ALL FIXTURES LOCATED IN FOOD AND BEVERAGE PREPARATION AREAS SHALL BE ROUTED THROUGH GREASE INTERCEPTOR.
 4. RESTROOM WASTE SHALL NOT BE ROUTED THROUGH INTERCEPTOR.
 5. BAFFLE REQUIRED; ALTERNATIVE DESIGNS ARE ACCEPTABLE. DESIGN MUST MEET FLORIDA PLUMBING AND ADMINISTRATIVE CODE.
 6. LOADS: H-20 TRUCK WHEELS WITH 30% IMPACT PER AASHTO. TRAFFIC BEARING FRAME AND COVER TO MEET FDOT STANDARDS IF APPLICABLE.

GREASE INTERCEPTOR
 1,750 GALLON

NOT PLATTED
 PARCEL#: 10-19-24-000300004400
 ORB 3782, PG 2428



Wicks Engineering Services, Inc.
 225 West Main Street, Tallahassee, Florida 32378
 www.wicksengineering.com (352) 343-8667
 C.A. #50062

FRUITLAND PARK HOLDINGS, LLC
 TEJINDER S. GREENWALL
 1330 Saxon Boulevard
 Orange City, Florida 32763

IC INTERNATIONAL CARWASH
 UTILITY PLAN
 US HWY 27/441 FRUITLAND PARK FL. 34731

Professional Engineer Seal for Kenneth B. Wicks, P.E., License No. 33274, State of Florida.

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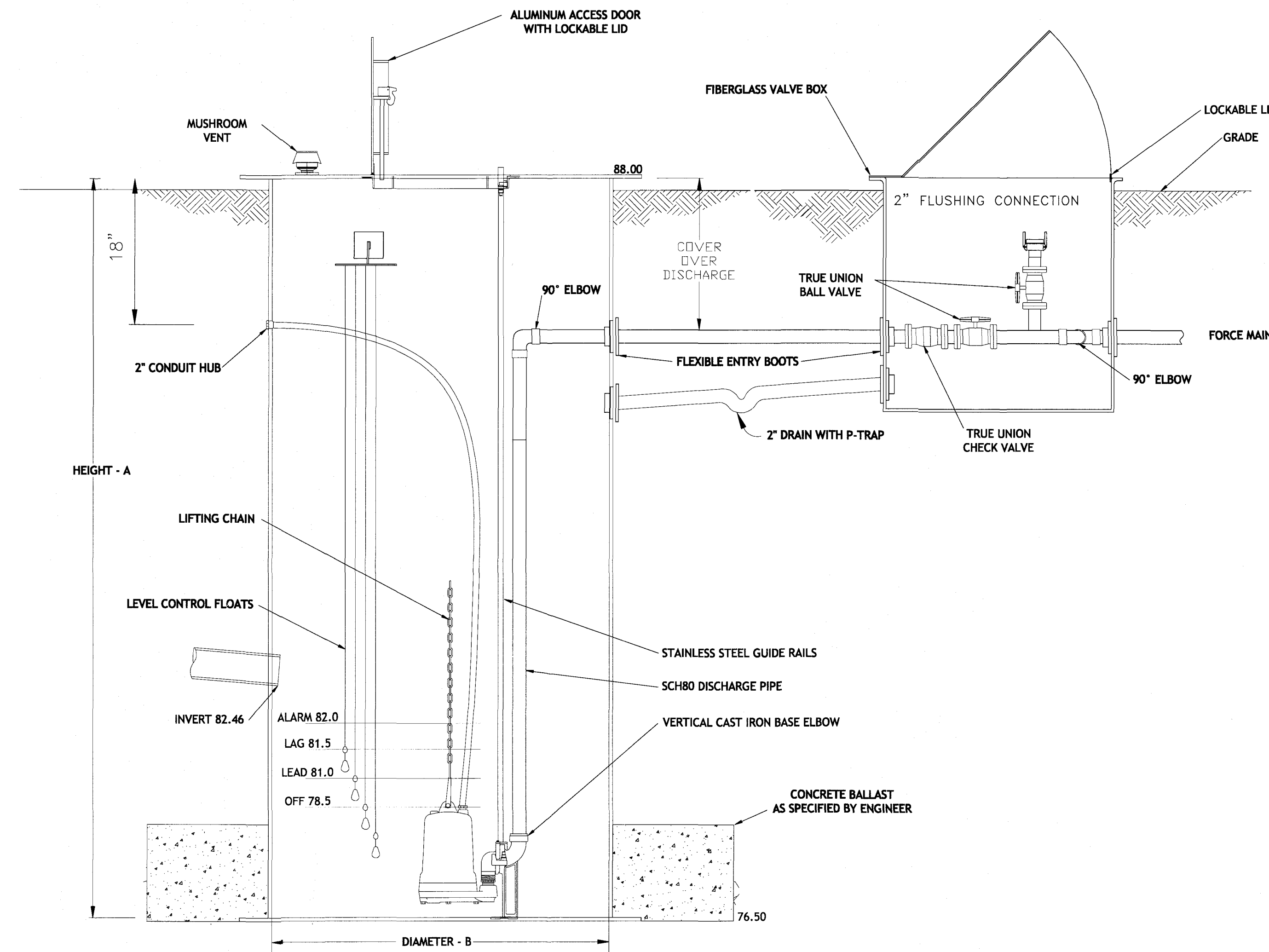
PUMP INFORMATION	
MANUFACTURER	CHAMPION PUMP
MODEL	CPG 3022
HORSEPOWER	3
VOLTAGE / PHASE	230V/1PH
DESIGN FLOW (GPM)	55 GPM
DESIGN HEAD (FEET)	60 FEET
IMPELLER SIZE	4.5"

BASIN DIMENSIONS	
DIAMETER - B	HEIGHT - A
<input type="checkbox"/> 24"	<input type="checkbox"/> 84"
<input checked="" type="checkbox"/> 36"	<input type="checkbox"/> 96"
<input type="checkbox"/> 48"	<input type="checkbox"/> 120"
<input type="checkbox"/> 60"	<input type="checkbox"/> 144"
<input type="checkbox"/> OTHER	<input checked="" type="checkbox"/> 138"
VALVE BOX DIMENSIONS	
<input type="checkbox"/> 32" X 30" X 25"	<input checked="" type="checkbox"/> 36" X 40" X 36"

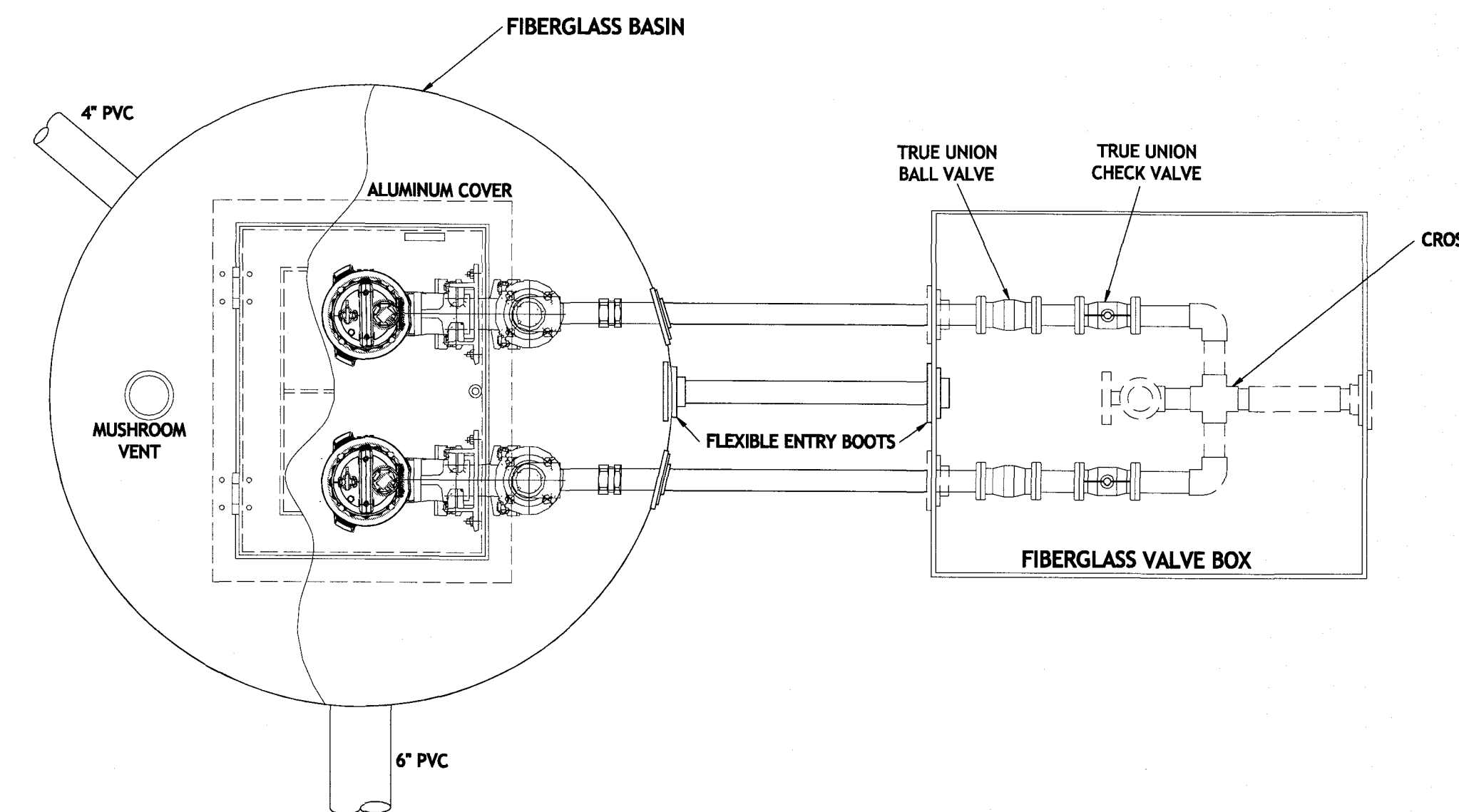


VICTORIA@MESSINAASSOCIATES.COM
PHONE
(352)-800-9758

LIFT STATION SCHEDULE		
1	TOP OF BASIN	88.00 FEET
1	INLET INVERT	82.46 FEET
1	HIGH WATER LEVEL ALARM	82.00 FEET
1	LAG PUMP ON	81.50 FEET
1	LEAD PUMP ON	81.00 FEET
1	PUMPS OFF	78.50 FEET
1	BOTTOM OF BASIN	76.5 FEET
1	COVER OVER DISCHARGE	18 INCHES
1	INLET SIZE AND TYPE	4 INCH and 6 INCH



LIFT STATION SECTION VIEW



LIFT STATION PLAN VIEW

EXAGGERATED FOR DETAIL - N.T.S.

DUPLICATE CONTROL PANEL:
CONTROL PANEL SHALL BE ASSEMBLED AND BUILT BY A UL508A CERTIFIED MANUFACTURE FACILITY.
THE ENCLOSURE SHALL BE NEMA 4X FIBERGLASS WITH PADLOCKABLE DRAW LATCHES.
THE ENCLOSURE SHALL BE ABLE TO BE WALL MOUNTED.
THE FOLLOWING COMPONENTS SHALL BE MOUNTED THROUGH THE ENCLOSURE:
• RED ALARM BEACON (LIGHT)
• ALARM HORN
• GENERATOR RECEPTACLE WITH WEATHERPROOF COVER
• ALARM SILENCE PUSHBUTTON

THE FOLLOWING COMPONENTS SHALL BE MOUNTED THROUGH THE INNERDOOR:
• MAIN CIRCUIT BREAKER
• EMERGENCY CIRCUIT BREAKER
• MECHANICAL INTERLOCK FOR EMERGENCY AND MAIN BREAKERS
• SHORT CIRCUIT PROTECTORS
• CONTROL CIRCUIT BREAKER
• SEAL FAILURE INDICATOR LIGHTS
• HAND-OFF-AUTO SELECTOR SWITCHES
• PUMP RUN PILOT LIGHTS
• POWER ON PILOT LIGHT
• ELAPSE TIME METERS (NON-RESETTABLE)
• GFI DUPLEX CONVENIENCE OUTLET
MISCELLANEOUS: ALL WIRING ON THE BACKPANEL SHALL BE CONTAINED WITHIN THE WIRING DUCT. ALL WIRING BETWEEN THE INNERDOOR AND THE BACKPANEL SHALL BE CONTAINED WITH A PLASTIC SPIRAL WRAP.
EACH WIRE SHALL HAVE A WIRE NUMBER AT EACH END TO CORRESPOND TO THE AS BUILD DRAWING FOR FIELD TROUBLESHOOTING.
THE CONTROL PANEL SHALL BE ASSEMBLED BY A UL508A CERTIFIED MANUFACTURING FACILITY.

FASTENERS AND APPURTENANCES: ALL FASTENERS, LIFTING CABLES, FLOAT CABLE BRACKET, HINGES, AND APPURTENANCES SHALL BE MADE OF 304SS MINIMUM.
• A 304SS SLIDE/LATCH ASSEMBLY SHALL BE PROVIDED FOR HOLDING THE DOORS OPEN ON THE WET WELL AND VALVE BOX.
• SLIDE RAILS SHALL BE MADE OF SCH 40 304SS PIPE.
• PUMP LIFTING CABLES/CHAINS SHALL BE 304SS.
• PUMP LIFTING BALES SHALL BE MADE OF 304SS.
EXECUTION:
INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURE'S RECOMMENDATIONS IN THE THE LOCATIONS SHOWN ON THE DRAWINGS.
CERTIFIED ELECTRICIAN SHALL MOUNT CONTROL PANEL AND CONNECT POWER SERVICE TO PANEL PRIOR TO STARTUP AND FACTORY REP SITE VISIT.
THE PUMP CONTROLS AND PUMPS SHALL BE CHECKED FOR PROPER OPERATION AND ENSURE THAT ALL LEVEL CONTROLS ARE IN ACCORDANCE WITH THE DRAWINGS AND ARE FULLY FUNCTIONING.
PUMP STATION SHALL BE VENTED PER MANUFACTURE'S RECOMMENDATIONS.

BASIN INSTALLATION INSTRUCTIONS:
1. INSPECT ALL MATERIALS SUPPLIED TO ENSURE THERE ARE NO DAMAGES DUE TO SHIPPING PRIOR TO INSTALLATION.
2. EXCAVATE HOLE LARGE ENOUGH TO ACCOMMODATE BASIN, UNDERGROUND PIPING, BACKFILL MATERIAL, AND ADEQUATE WORKING SPACE.
3. PREPARE THE BOTTOM OF THE EXCAVATED HOLE WITH 6" OF BACKFILL MATERIAL OR CONCRETE PAD. CHECK BASE TO INSURE IT IS LEVEL AND SMOOTH.
4. INSTALL BASIN ON GRAVEL BASE OR CONCRETE PAD, ANCHOR IF NECESSARY.
5. CONCRETE MAY BE PORED AROUND BASIN BOTTOM IF BALLAST IS REQUIRED FOR BUOYANCY.
6. BACKFILL WITH PEA GRAVEL 4" TO 6" AROUND THE ENTIRE PERIPHERY OF THE BASIN/COMPACTED BACKFILL MATERIAL IN 12" LIFTS. STOP AND CONNECT PIPING AS REQUIRED.
RECOMMENDED BACKFILL MATERIAL:
GRAVEL OR STONE TO BE FREE FLOWING, NATURALLY ROUNDED AGGREGATE WITH A PARTICLE SIZE OF NOT LESS THAN 3/8" OR LARGER THAN 3/4" IN DIAMETER.

ELECTRICAL NOTES:
1. DISCONNECT IS REQUIRED WITHIN SIGHT OR 50' MAX FROM PANEL LOCATION.
2. COORDINATE ALL ELECTRICAL WORK PRIOR TO CONSTRUCTION.
3. PANEL SHALL BE MANUFACTURED TO UNDERWRITERS' LABORATORIES STANDARDS AND LABELED ACCORDINGLY.
4. EACH FLEXIBLE CABLE SHALL BE PROVIDED WITH A WATERTIGHT SEAL AND SEPARATE STRAIN RELIEF.
5. ELECTRICAL EQUIPMENT EXPOSED TO WEATHER SHALL MEET THE REQUIREMENTS OF WEATHERPROOF EQUIPMENT NEMA 4X.
6. A 110VOLT POWER RECEPTACLE WITH GROUND FAULT INTERRUPTION (GFI) PROTECTION SHALL BE AVAILABLE TO FACILITATE MAINTENANCE EITHER INSIDE THE CONTROL PANEL OR WITHIN 25 FEET OF CONTROL PANEL.
7. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
8. ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS WITH APPROPRIATE MATERIAL.
9. CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT.
10. NEUTRAL TO BE SUPPLIED FOR SINGLE PHASE AND THREE PHASE POWER.
11. ELECTRICAL EQUIPMENT SHALL BE INSTALLED ABOVE THE 100-YEAR FLOOD ELEVATION (WHERE APPLICABLE).

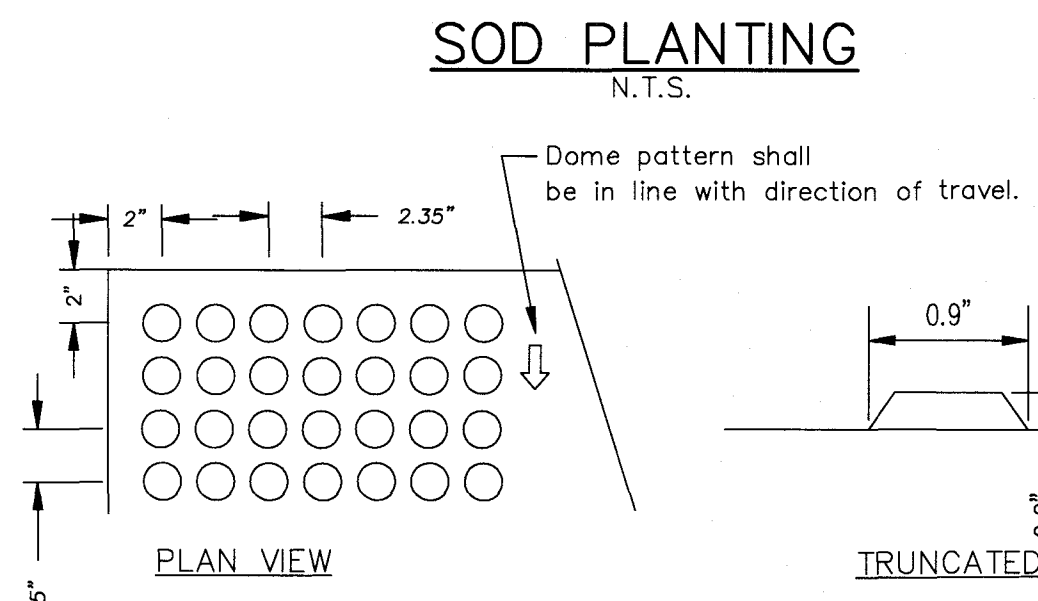
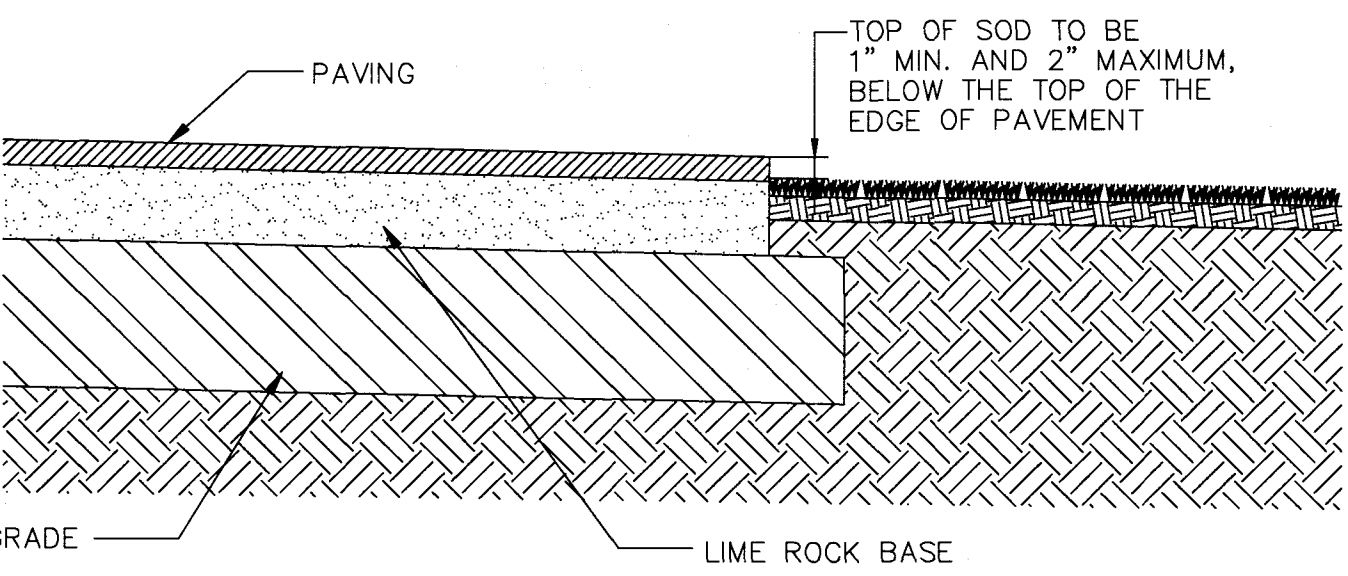
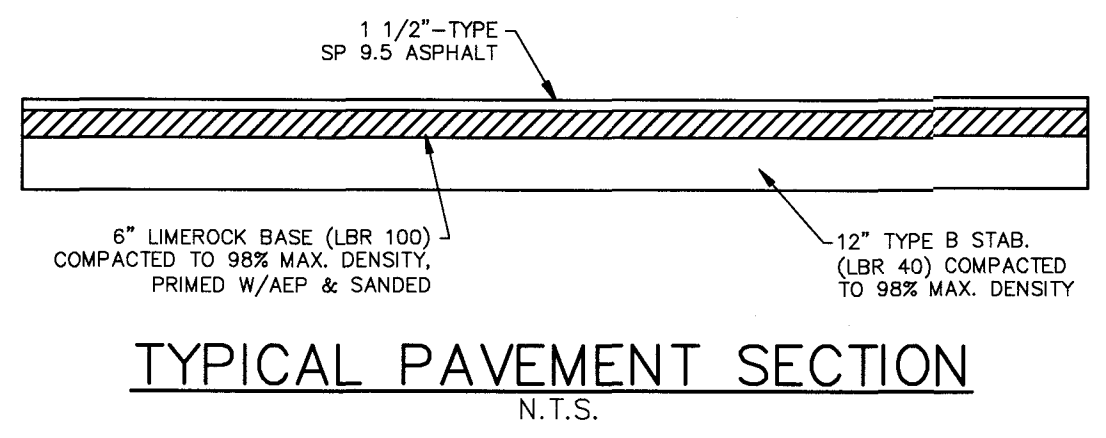
Wicks Engineering Services, Inc.
225 West Main Street, Tallahassee, Florida 32378
www.wicksengineering.com (352) 343-8667
C.A. #50062

FRUITLAND PARK HOLDINGS, LLC
TANNER S. GREENWALL
1330 SAXON BOULEVARD
ORANGE CITY, FLORIDA 32763

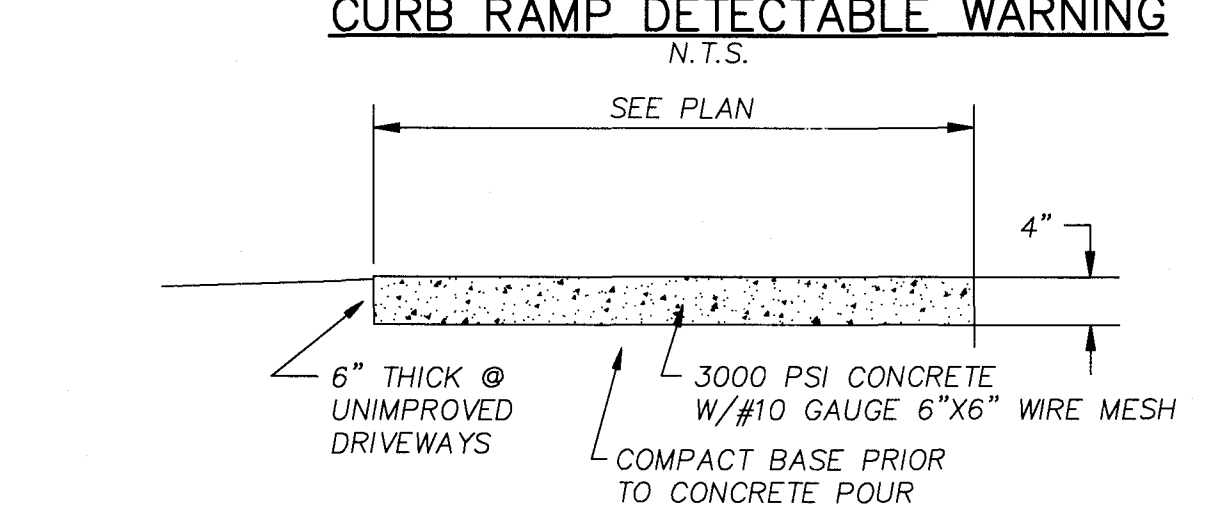
IC INTERNATIONAL CARWASH
PUMP STATION DETAILS & NOTES
US HWY 27/441 FRUITLAND PARK FL. 34731

Professional Engineer Seal for Kenneth Wicks, No. 33274, State of Florida.

Drawn: MSR
Checked: TRW
Date: 10-25-17
Scale: AS SHOWN
File No.: 17156
Revision: SU RAI 1
Date: 05-31-2018
BESH COMMENTS 06-11-2018
Sheet: 13 of 15



All sidewalk curb ramps shall have detectable warning surfaces that extend the full width of the ramp and in the direction of travel 24" (610 mm) from the back of curb.

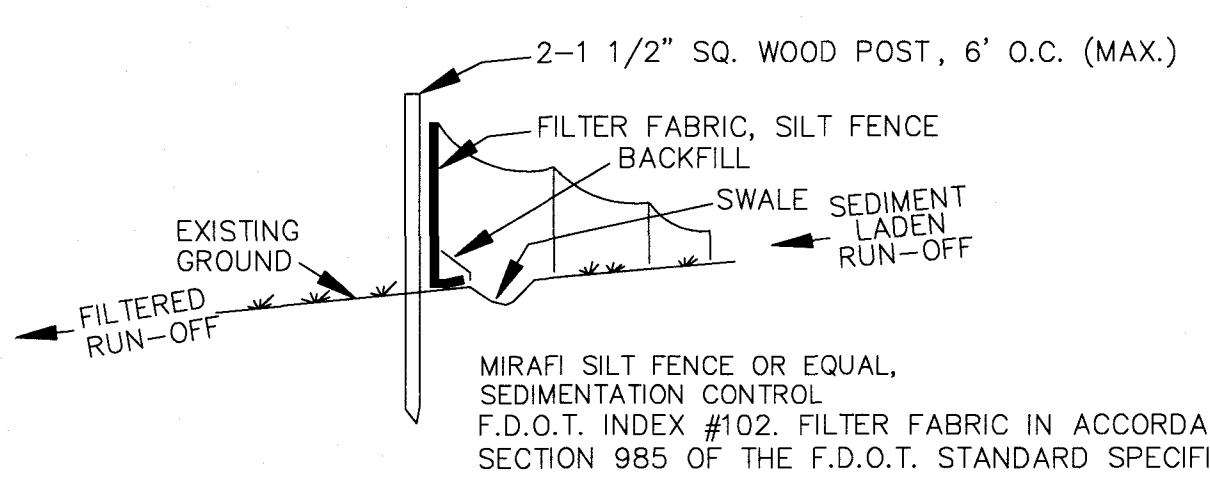


SIDEWALKS
SIDEWALKS ARE TO BE CONSTRUCTED IN THE AREAS AS SHOWN ON THE CONSTRUCTION PLANS. THE SIDEWALK SHALL BE CONSTRUCTED OF 4" OF CONCRETE WITH A 28-DAY COMPRESSION STRENGTH OF 3000 PSI. JOINTS SHALL BE EITHER TOOLED OR SAW CUT AT A DISTANCE OF 5' LENGTHS, HANDICAPPED RAMPS SHALL BE PROVIDED AT ALL INTERSECTIONS AND BE IN ACCORDANCE WITH STATE REGULATIONS FOR HANDICAP ACCESSIBILITY.

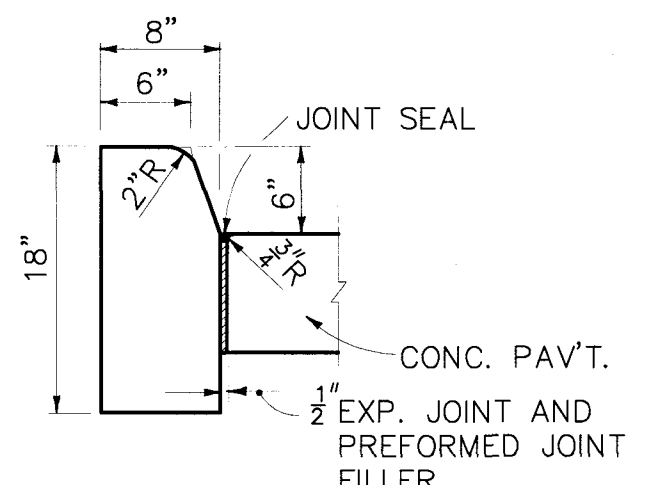
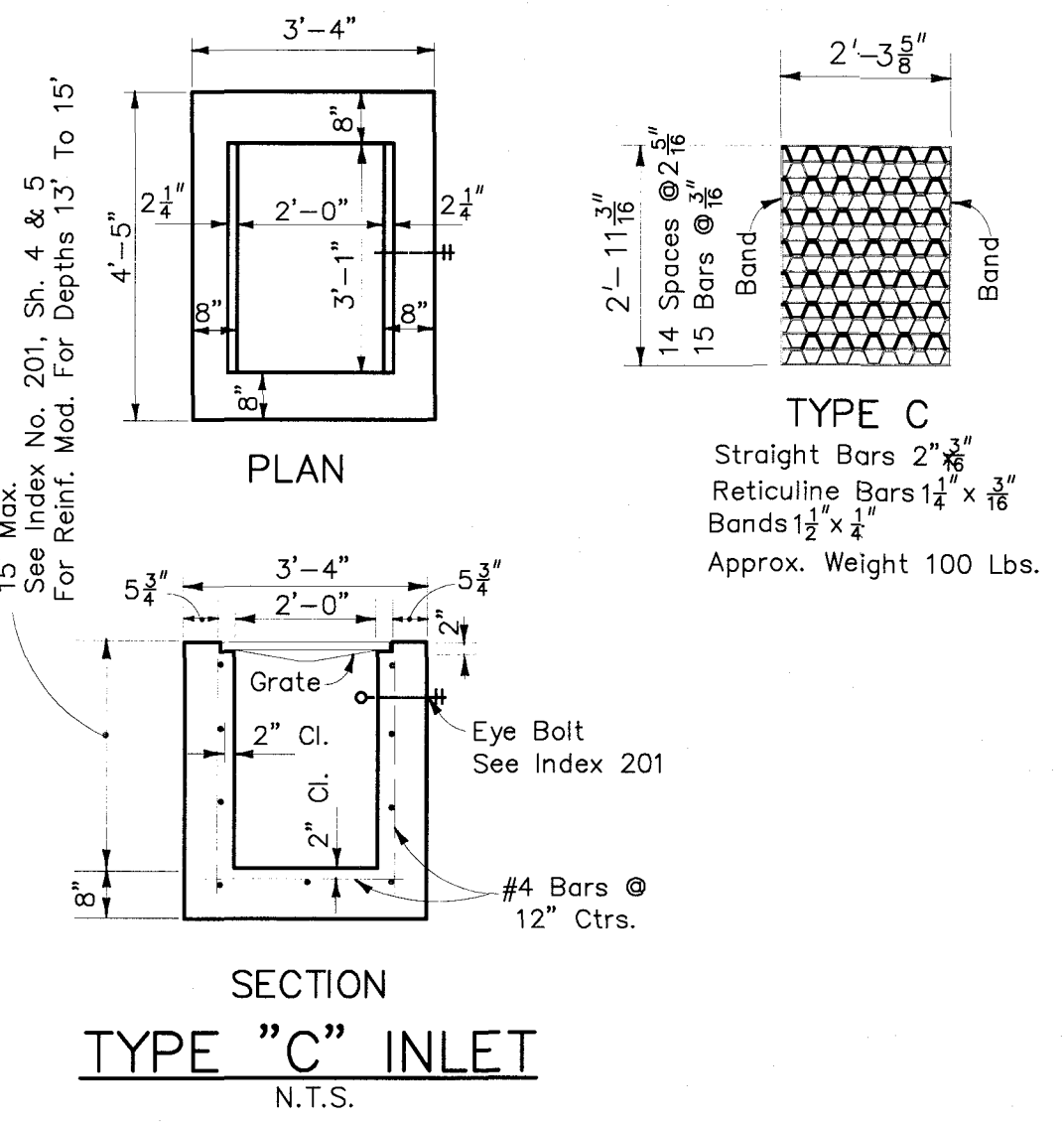
THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.

- PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
- NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

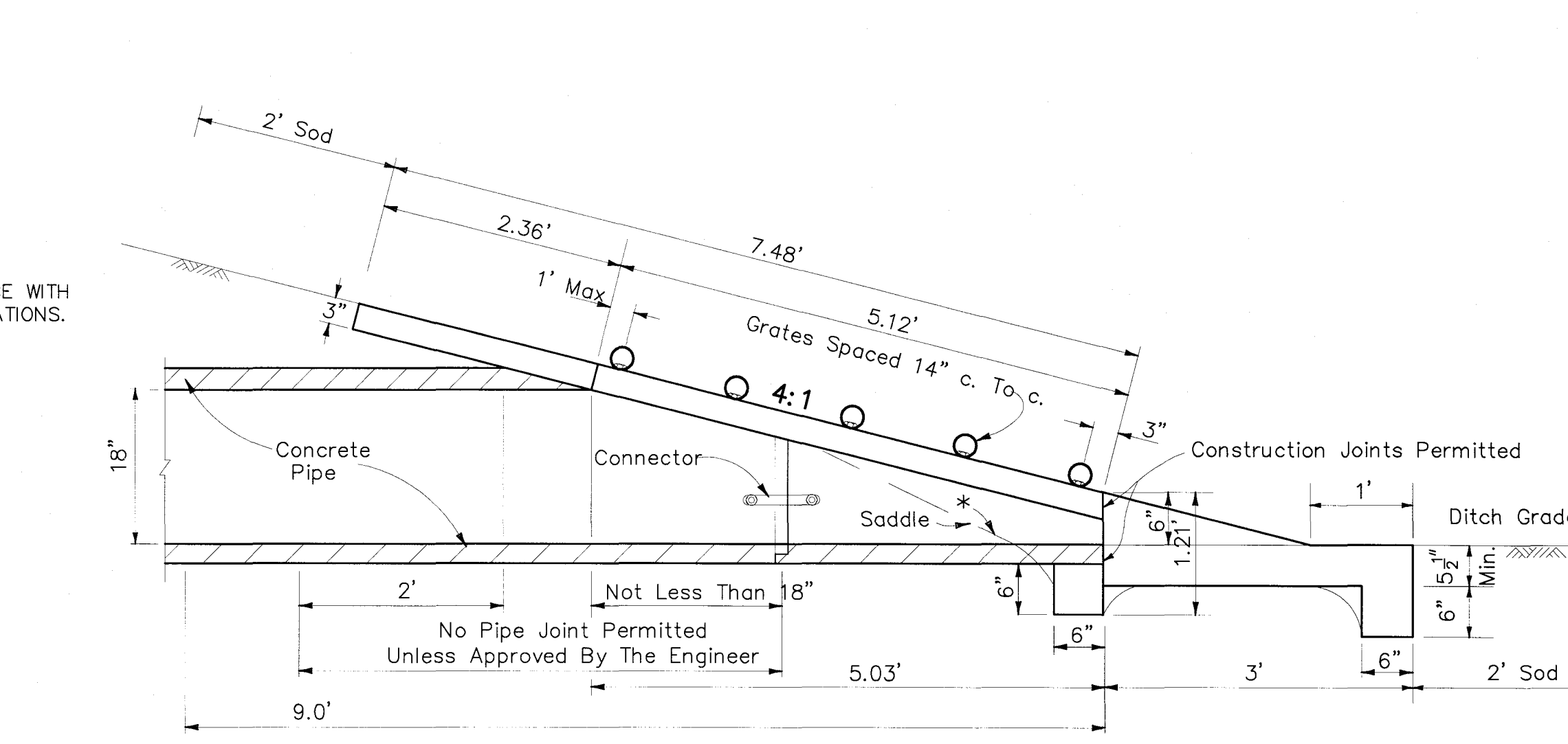
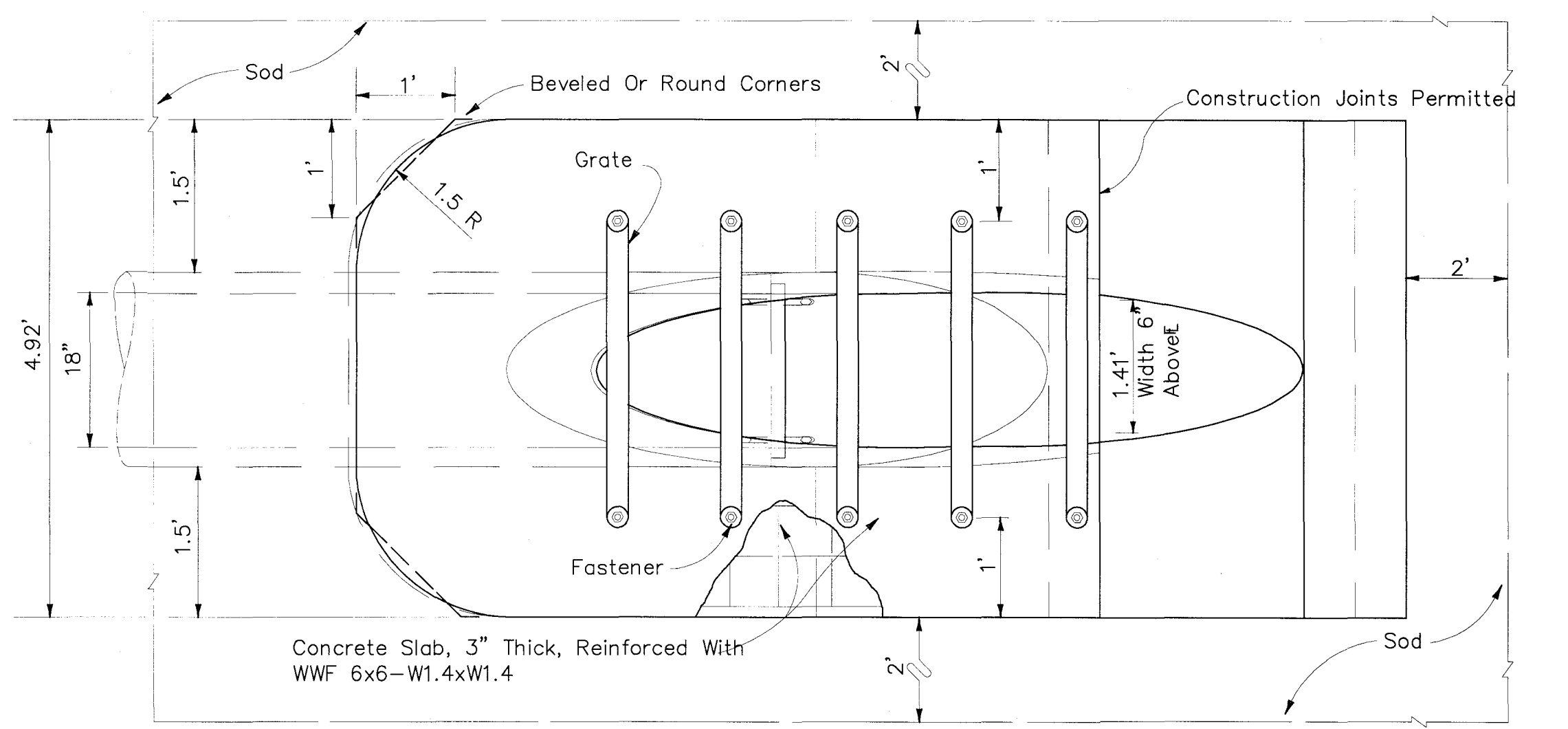
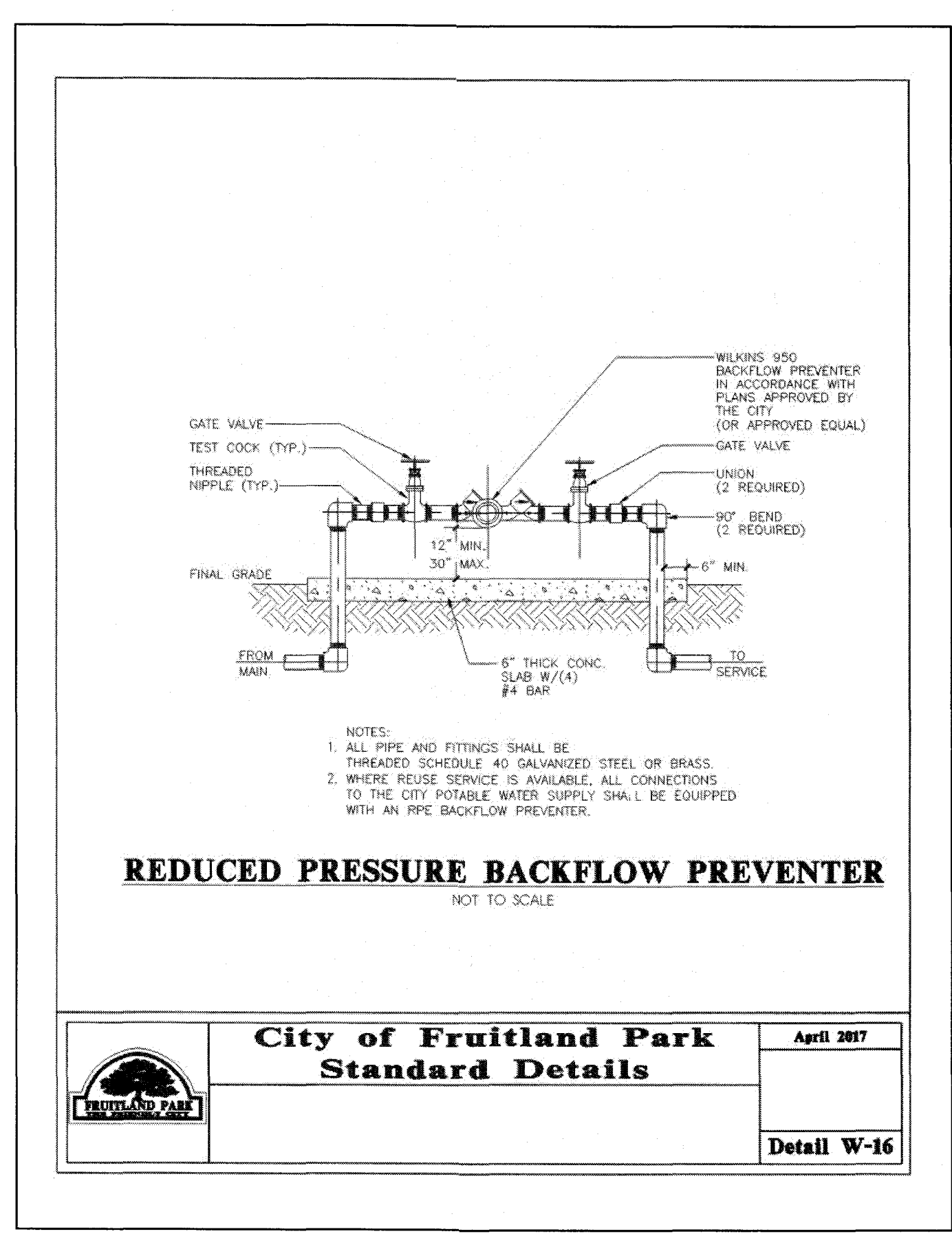
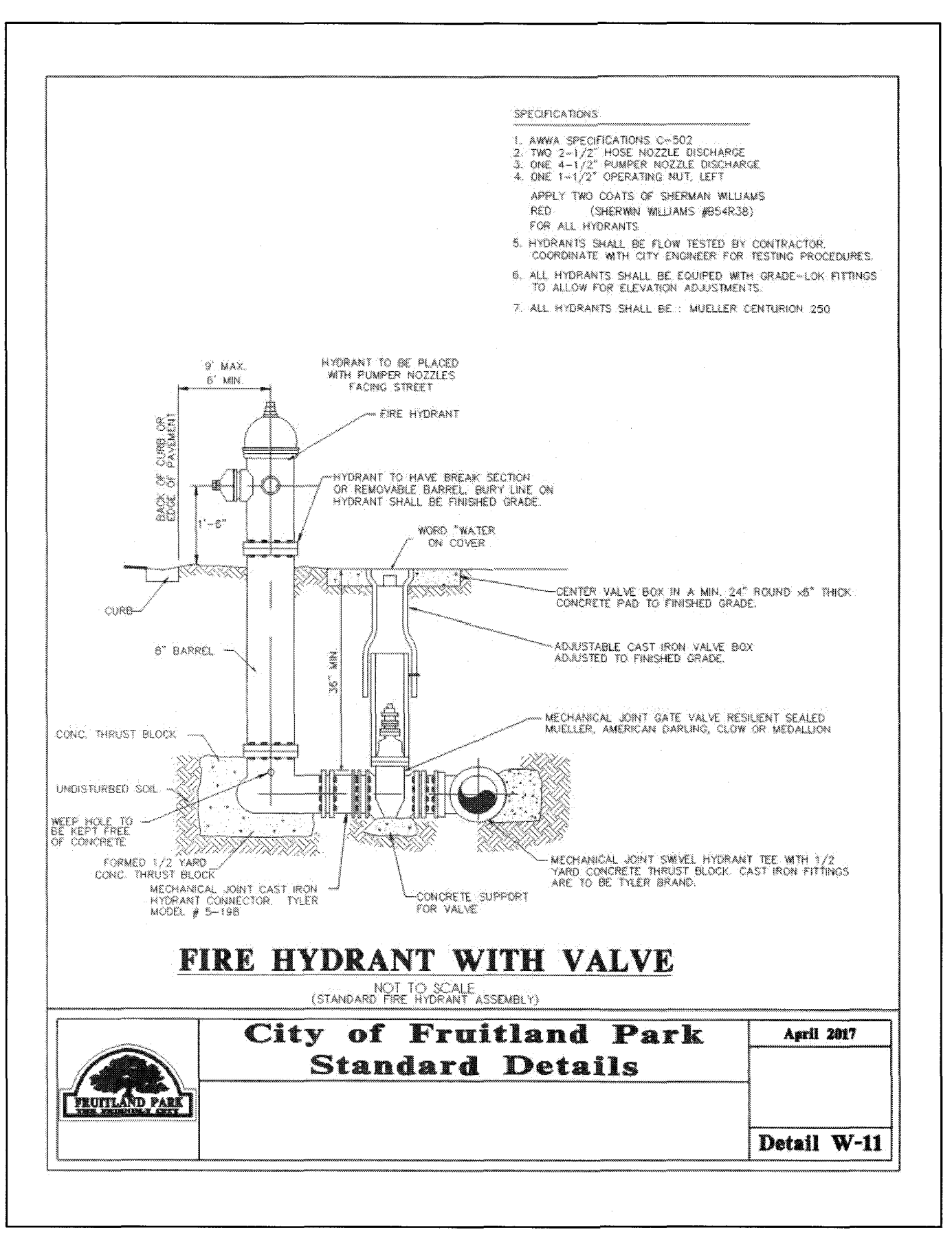
EROSION CONTROL STRUCTURE
N.T.S.



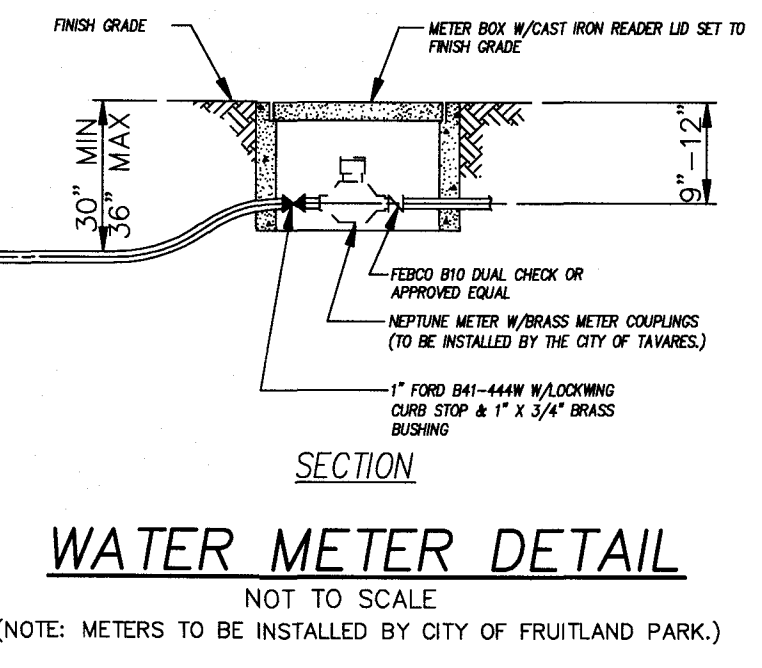
- NOTES:
- TEMPORARY EROSION CONTROL STRUCTURE TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURE MAY BE REMOVED AFTER UPSLOPE AREA HAS BEEN STABILIZED BY SOD, OR COMPACTED AS DETERMINED BY CONTRACTOR.
 - CONSTRUCT STORMWATER SYSTEMS BEFORE ANY BUILDING OR ROAD CONSTRUCTION IS STARTED.
 - PROTECT SYSTEM FROM SILTING AND DEBRIS BY METHODS PROVIDED IN DETAILS.
 - PROTECT SWALE BOTTOM FROM SEALING BY EXCAVATING ALL SILT DEPOSITS DURING CONSTRUCTION. THIS SHALL BE DONE BEFORE SOD & SEEDING & MULCHING IS FINISHED.



TYPE "D" CURB
N.T.S.

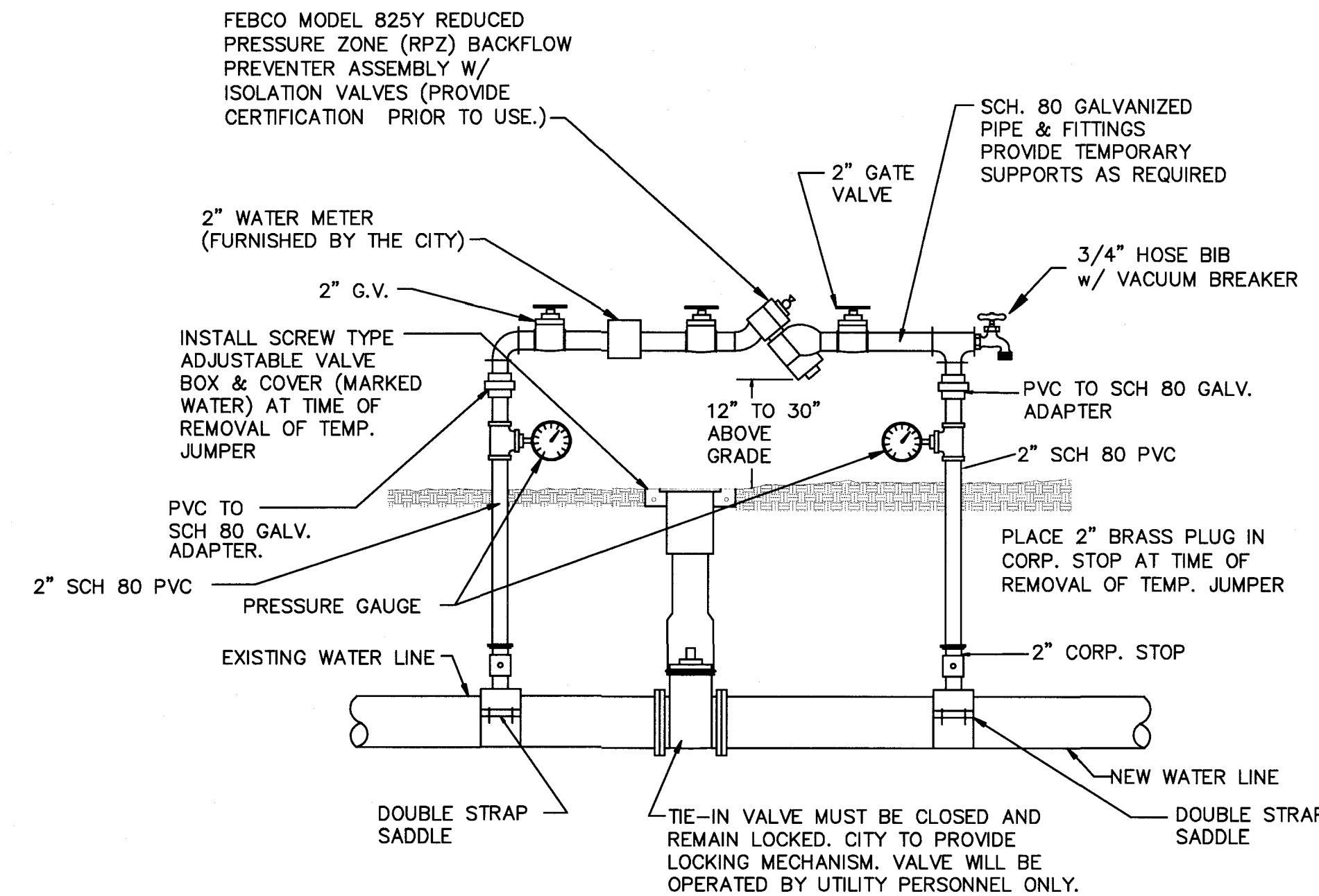


MITERED END SECTION DETAIL
N.T.S.



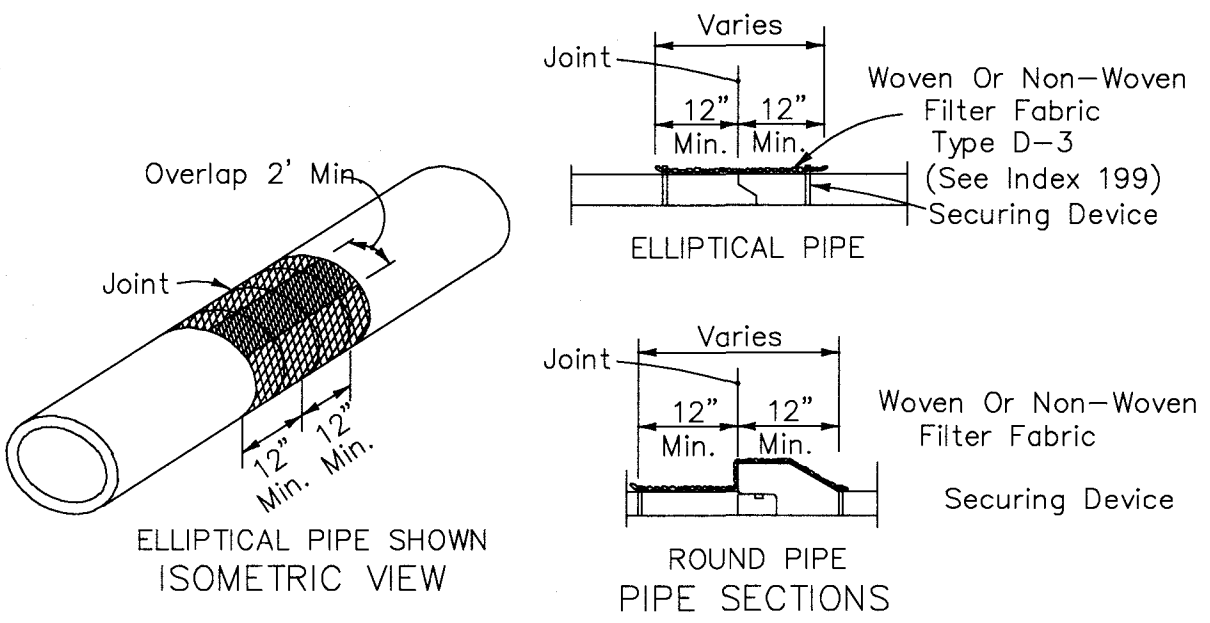
TEMPORARY JUMPER CONNECTION NOTES

- A TEMPORARY JUMPER CONNECTION IS REQUIRED AT ALL CONNECTIONS BETWEEN EXISTING ACTIVE WATER MAINS AND PROPOSED NEW WATER MAIN IMPROVEMENTS.
- THE DETAILS TO BE USED FOR FILLING ANY WATER MAIN OF ANY SIZE FROM EXISTING ACTIVE WATER MAINS AND FOR FLUSHING OF NEW MAINS UP TO 8" DIAMETER (2.5 FPS MINIMUM VELOCITY) AND FOR PULLING BACTERIOLOGICAL SAMPLES FROM ANY NEW WATER MAIN OF ANY SIZE. THE JUMPER CONNECTION SHALL BE MAINTAINED UNTIL AFTER FILLING, FLUSHING, TESTING AND DISINFECTION OF THE NEW MAIN HAS BEEN SUCCESSFULLY COMPLETED AND CLEARANCE FOR USE FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) AND OTHER PERTINENT AGENCIES HAS BEEN RECEIVED. THE JUMPER CONNECTION SHALL ALSO BE USED TO MAINTAIN A MINIMUM PRESSURE OF 20 PSI IN THE NEW MAINS ALL THE TIME AFTER DISINFECTION AND UNTIL THE FDEP CLEARANCE LETTER IS OBTAINED. ADEQUATE THRUST BLOCKING AND/OR RESTRAINTS SHALL BE PROVIDED TEMPORARILY, AS REQUIRED. PIPE AND FITTINGS USED FOR CONNECTING THE NEW PIPE TO THE EXISTING PIPE SHALL BE DISINFECTED PRIOR TO INSTALLATION IN ACCORDANCE WITH AWWA C651, 1992 EDITION. THIS TAPPING SLEEVE AND THE EXTERIOR OF THE MAIN TO BE TAPPED SHALL BE DISINFECTED BY SPRAYING OR SWABBING PER SECTION II OF AWWA C561-92.
- FLUSHING OF 10" DIAMETER AND LARGE WATER MAINS MAY BE DONE THROUGH THE TIE-IN VALVE. IN THE PRESENCE OF THE UTILITY DEPT. THE UTILITY DEPARTMENT WILL NOTIFIED IN WRITING 48 HOURS PRIOR TO THE FLUSHING OF SAID MAINS. THE FOLLOWING PROCEDURES SHALL BE FOLLOWED:
 - THE TIE-IN VALVES SHALL BE OPERATED AND PRESSURE TESTED IN THE PRESENCE OF THE UTILITY COMPANY AND ENGINEER TO VERIFY WATER TIGHTNESS PRIOR TO THE TIE-IN. VALVES WHICH ARE NOT WATERTIGHT SHALL BE REPLACED OR A NEW VALVE INSTALLED IMMEDIATELY ADJACENT TO THE LEAKING VALVE.
 - THE TEMPORARY JUMPER CONNECTION SHALL BE CONSTRUCTED AS DETAILED. THE JUMPER CONNECTION SHALL BE USED TO FILL THE NEW WATER MAIN AND FOR PROVIDING WATER FOR BACTERIOLOGICAL SAMPLING OF THE NEW MAIN AS REQUIRED BY THE FDEP PERMIT.
 - FLUSHING SHALL NOT BE ATTEMPTED DURING PEAK DEMAND HOURS OF THE EXISTING WATER MAIN.
 - ALL DOWNSTREAM VALVES IN THE NEW SYSTEM MUST BE OPEN PRIOR TO OPENING THE TIE-IN VALVE.
 - PROVIDE FOR AND MONITOR THE PRESSURE AT THE TIE-IN POINT, THE PRESSURE IN THE EXISTING MAIN MUST NOT DROP BELOW 35 PSI.
 - TIE-IN VALVE SHALL BE OPENED A FEW TURNS ONLY, ENSURING A PRESSURE DROP ACROSS THE VALVE IS ALWAYS GREATER THAN 10 PSI.
 - THE TIE-IN VALVE SHALL BE LOCKED CLOSED BY THE CITY UNTIL FLUSHING BEGINS.
 - THE TIE-IN VALVE SHALL BE OPENED ONLY A FEW TURNS FOR FLUSHING OF THE NEW MAIN. THE PROCEDURE SHALL BE DIRECTED BY THE CITY AND OBSERVED BY THE ENGINEER.
 - AFTER FLUSHING, THE TIE-IN VALVE SHALL BE CLOSED AND LOCKED IN THE CLOSED POSITION BY THE CITY.
- THE CONTRACTOR SHALL PROVIDE DOCUMENTATION DEMONSTRATING THAT THE RPZ BACKFLOW PREVENTION DEVICE HAS BEEN TESTED WITHIN ONE YEAR AT THE TIME OF INSTALLATION AND IS IN GOOD WORKING ORDER AT THE TIME OF INSTALLATION. THE TEST SHALL BE PERFORMED BY A QUALIFIED BACKFLOW PREVENTION TECHNICIAN.
- EXCEPT AS REQUIRED TO FLUSH LINES OF GREATER THAN 8" IN DIAMETER, THE TIE-IN VALVE SHALL REMAIN CLOSED AND SHALL BE LOCKED IN THE CLOSED POSITION BY THE CITY. THE TIE-IN VALVE SHALL REMAIN LOCKED CLOSED UNTIL THE NEW SYSTEM HAS BEEN CLEARED FOR USE BY FDEP AND ALL OTHER PERTINENT AGENCIES.
- UPON RECEIPT OF CLEARANCE FOR USE FROM FDEP AND ALL OTHER PERTINENT AGENCIES, THE CONTRACTOR SHALL REMOVE THE JUMPER CONNECTION. THE CORPORATION STOPS ARE TO BE CLOSED AND PLUGGED WITH 2" BRASS PLUGS.
- ALL INSTALLATION AND MAINTENANCE OF THE TEMPORARY JUMPER CONNECTION AND ASSOCIATED BACKFLOW PREVENTION DEVICE FITTINGS, VALVE, ETC., SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



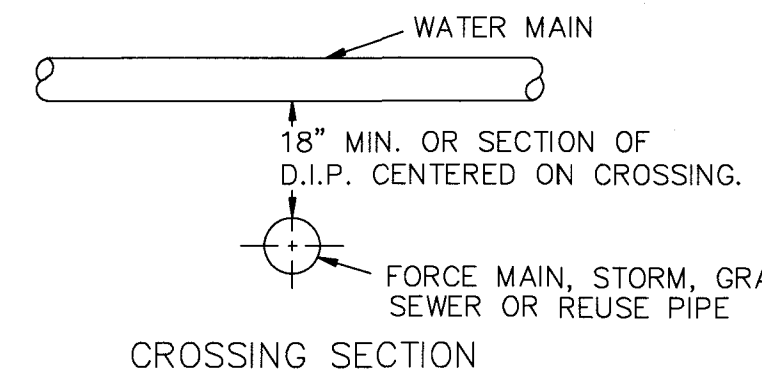
TEMPORARY JUMPER CONNECTION DETAIL
NOT TO SCALE

NOTE: LOCATION TO BE DETERMINED AT TIME OF PRECONSTRUCTION CONFERENCE W/ CITY.
 • MAINS LARGER THAN 8" WILL REQUIRE 3" PIPING, 3" VALVES AND 3" RPZ



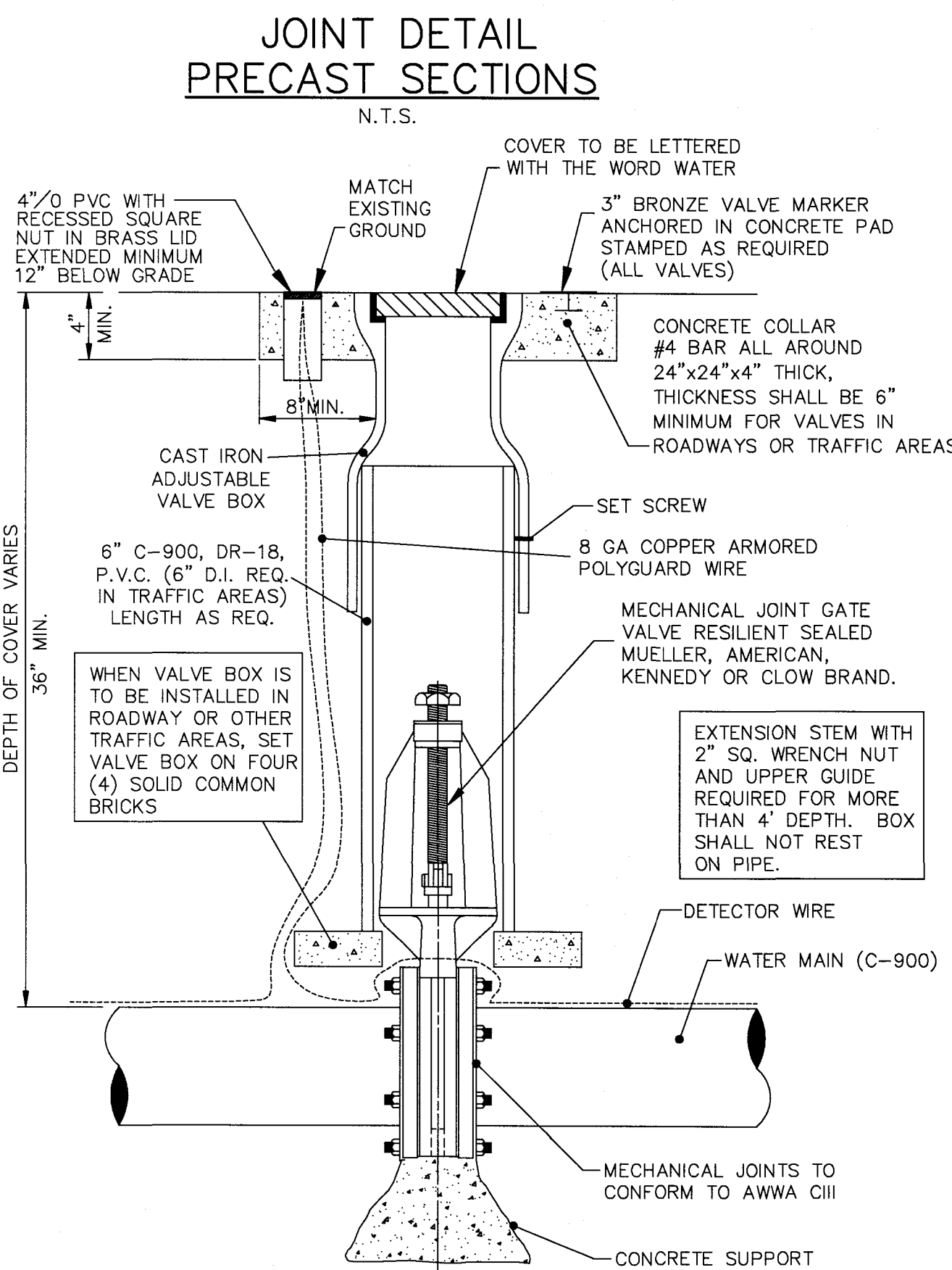
Cost of filter fabric jacket to be included in cost of pipe culverts.
 FOR ALL PIPE TYPES - CONCRETE PIPE SHOWN

FILTER FABRIC JACKET
N.T.S.

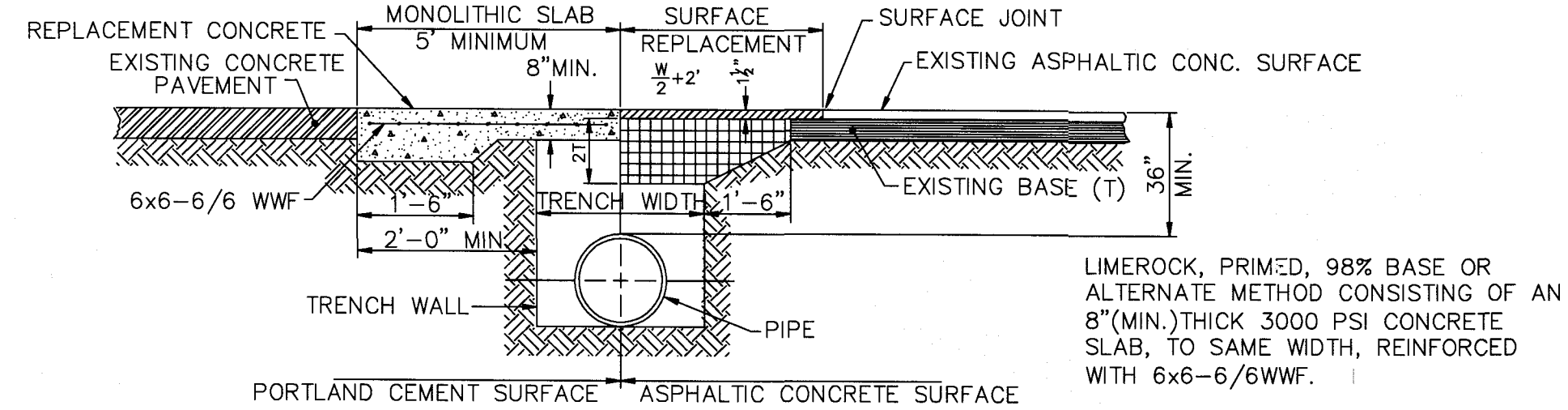


- NOTES:**
- IF WATERMAIN IS LESS THAN 18" ABOVE SANITARY OR STORM SEWER, REUSE OR SEWERAGE FORCEMAIN PIPE AT A CROSSING, THEN CENTER ONE FULL LENGTH JOINT OF D.I.P. ON CROSSING POINT.
 - ALL PIPING CLEARANCES SHALL BE IN ACCORDANCE WITH CHAPTER 62-555.314, F.A.C.
 - DO NOT ENCASE PIPING IN CONCRETE UNLESS SPECIFICALLY AUTHORIZED.
 - ALL PIPING SHALL CLEAR OTHER CONSTRUCTION BY 6" MINIMUM.

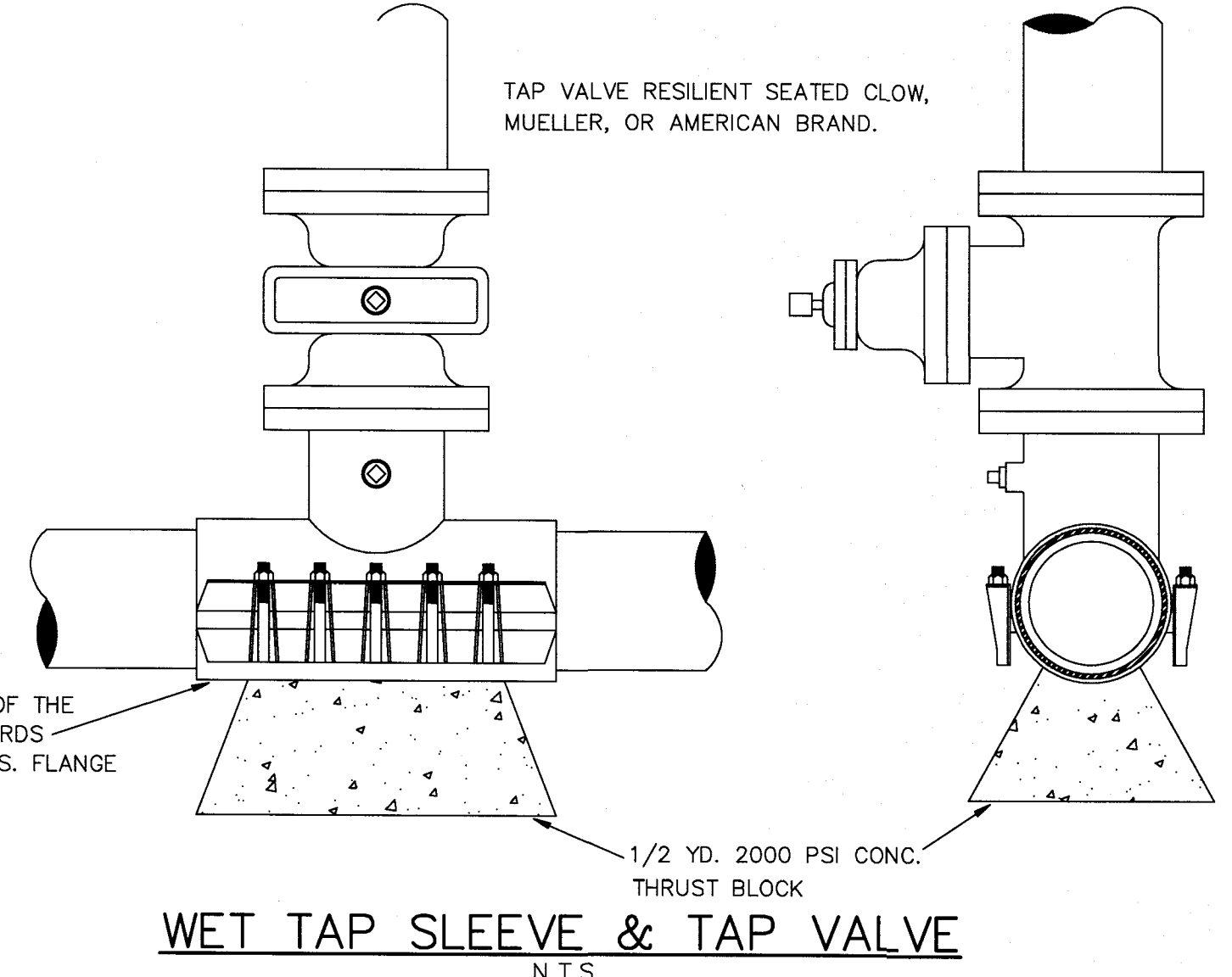
PIPING CLEARANCES
N.T.S.



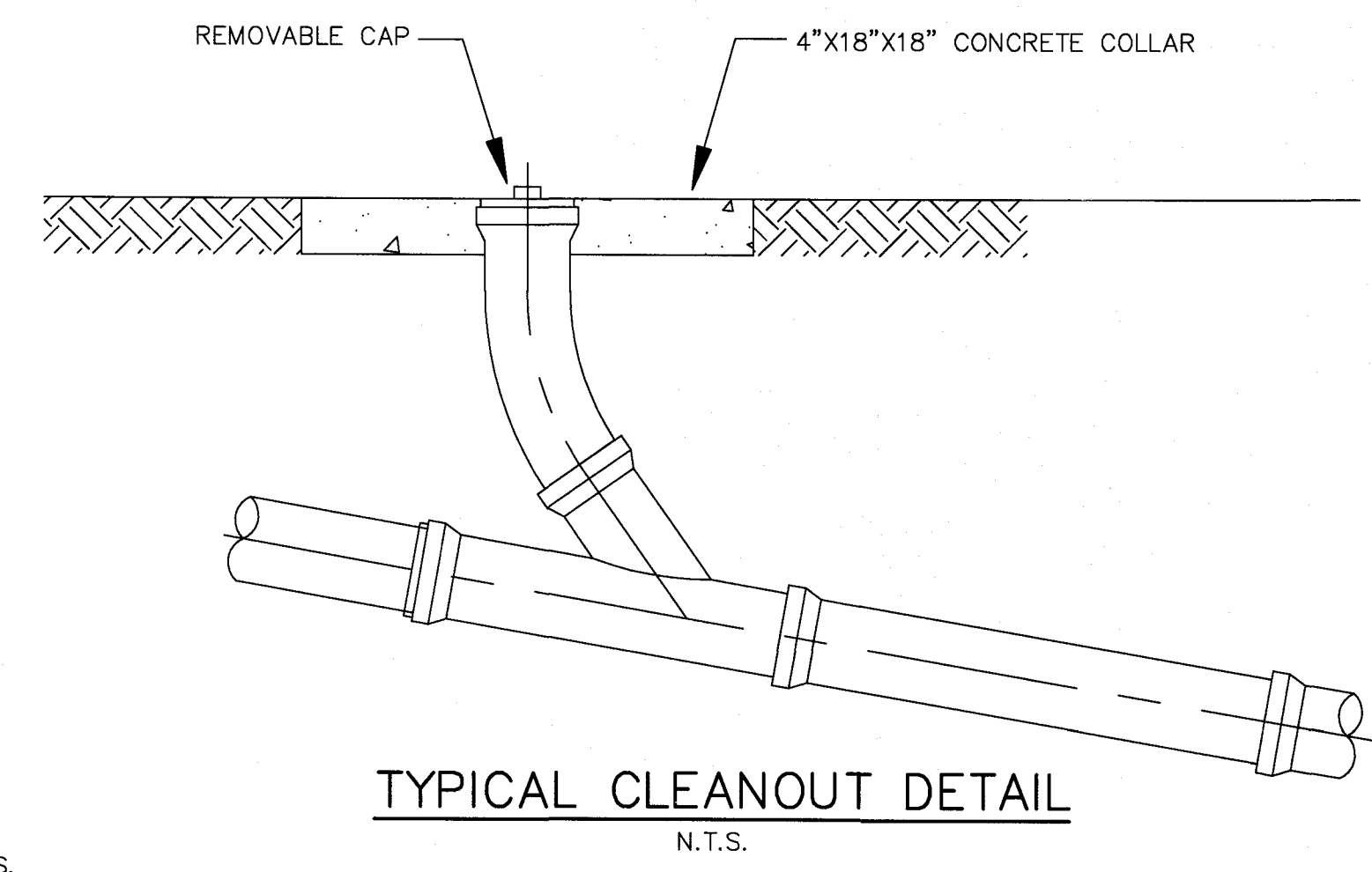
GATE VALVE & BOX
N.T.S.



OPEN CUT AND REPAIR DETAIL
N.T.S.



WET TAP SLEEVE & TAP VALVE
N.T.S.



TYPICAL CLEANOUT DETAIL
N.T.S.

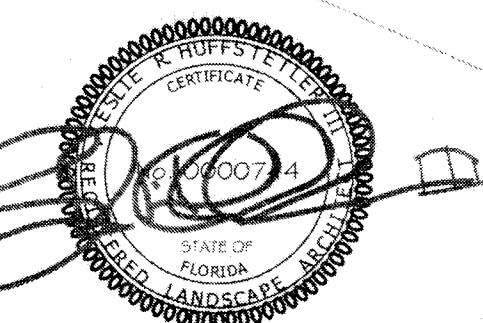
GENERAL WATER NOTES

- WATER SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS, CLEANED, DISINFECTED AND BACTERIOLOGICAL CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND CHAPTER 62-555 FLORIDA ADMINISTRATIVE CODE.
- ALL PIPING SHALL BEAR THE "NSF" SEAL FOR POTABLE WATER.
- WATER MAINS SHALL BE PVC CONFORMING TO AWWA C-900, DR 18 FOR PIPE SIZES 4"-12". PIPES 14" OR LARGER SHALL BE AWWA C-905, DR 18. ALL COUPLINGS COMPOUNDS, SOLVENTS, LUBRICANTS AND PIPE PREPARATION, FOR LAYING, SHALL BE IN ACCORDANCE WITH THE PIPE MANUFACTURERS LATEST RECOMMENDATIONS.
- DEPTH OF WATER LINES TO BE MINIMUM 36" BELOW FINISHED GRADE.
- WATER MAINS TO BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL PIPING CLEARANCES SHALL BE IN ACCORDANCE WITH CHAPTER 62-555.314, F.A.C., AND APPROVED BY THE CITY.
- ALL WATER MAINS UNDER PAVEMENT SHALL BE DUCTILE IRON AND SHALL EXTEND 5' BEYOND THE BACK OF CURB, EXCEPT DIRECTIONAL BORES, WHICH SHALL BE SDR-11 HDPE.
- ALL SLEEVES UNDER PAVEMENT SHALL EXTEND 5' BEYOND THE BACK OF CURB.

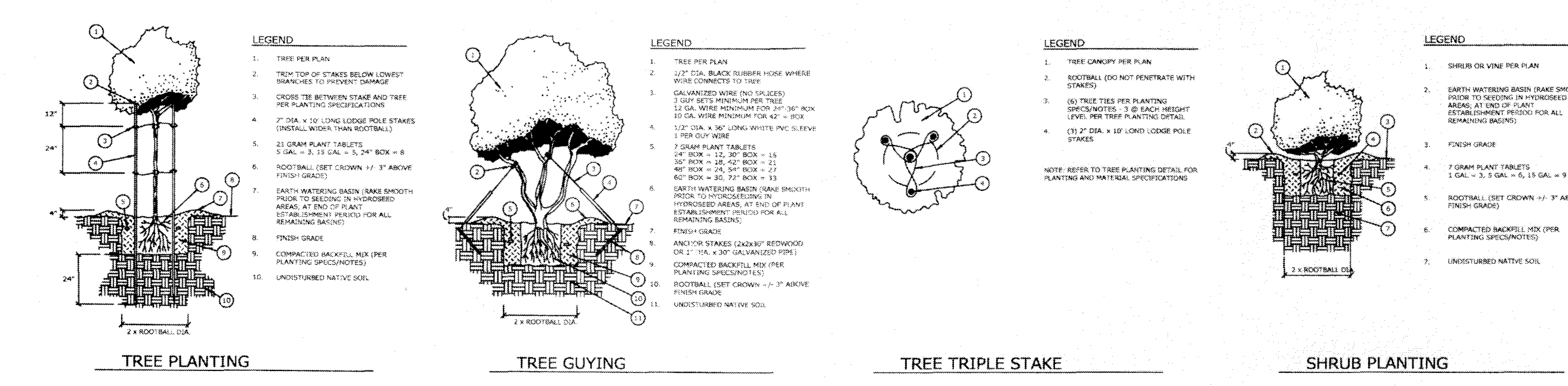
* NOTE: MARK ALL POINTS WHERE WATER SERVICES CROSS CURB WITH A "W" MARK IN CONCRETE.

BEDDING DETAILS
N.T.S.

- NOTES: FOR BEDDING AND TRENCHING**
- Dimension Bc = Pipe O.D.
 Dimension Bd = Trench Width at Top of Pipe
 Maximum Bd = Bc + 30"
 Minimum Bd = Maximum Dimension of Bell + 8" (Unsheeted Trench)
 - DEPTH FOR REMOVAL FOR UNSUITABLE MATERIAL SHALL BE AS REQUIRED TO REACH SUITABLE FOUNDATION. FOR ROCK OR OTHER NON-CUSHIONING MATERIAL, DEPTH SHALL BE 6" BELOW BOTTOM OF UTILITY.
 - ALL BACKFILL AND SELECT MATERIAL UNDER ALL ROADWAYS, DRIVES (INCLUDING DIRT DRIVES), AND PARKING AREAS SHALL BE COMPACTED TO 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY. (AASHTO T-180). BACKFILL AND SELECT MATERIAL UNDER ALL OTHER AREAS SHALL BE COMPACTED AS FOLLOWS: FROM BOTTOM OF TRENCH TO 12" ABOVE TOP OF PIPE - 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY (AASHTO T-180). FROM 12" ABOVE TOP OF PIPE TO TOP OF BACKFILL - 90% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY (AASHTO T-180)



Planting Details:

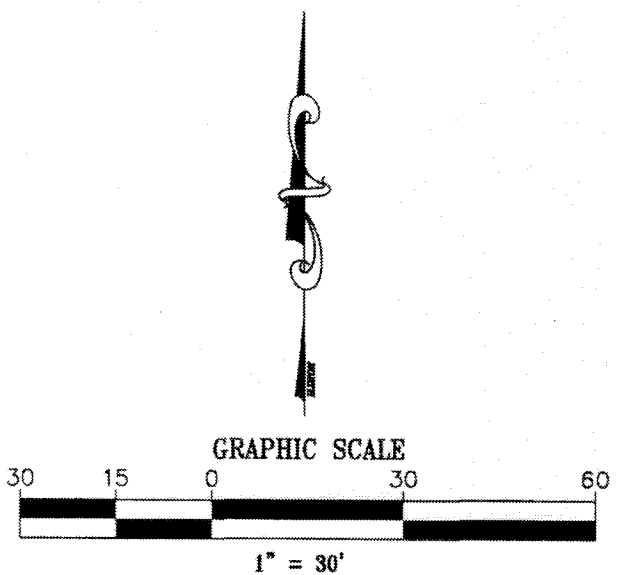


Plant Legend:

- 19 Quercus virginiana
Live Oak
- 15 Magnolia grandiflora
Southern Magnolia
- 10 Cercis canadensis
Eastern Redbud
- 14 Lagerstroemia indica
Muscogee Crape Myrtle
- 215 Viburnum obovatum
Walter's viburnum
- 56 Loropetalum chinense
Loropetalum Plum Dwarf
- 127 Ilex vomitoria 'Shillings Dwarf'
Shillings Dwarf

TREE REMOVAL

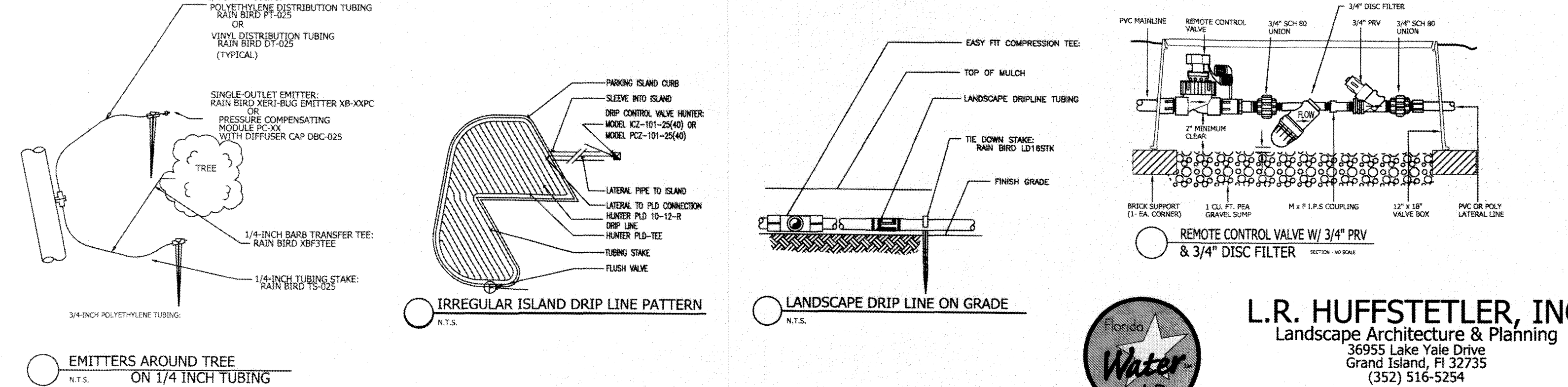
Remove 82 trees as indicated by X
Required Replacement 25% = 21 canopy trees
Replacement Trees Provided = 34 canopy trees



GENERAL LANDSCAPE NOTES

- Canopy trees to be from preferred list.
- Understory trees to be from preferred list.
- Shrubs to be 3 gal. minimum 30" tall from preferred list.
- Installation of trees and shrubs shall comply with standard nursery practice.
- Landscaping to meet all Applicable Florida Friendly requirements.

Irrigation Details:



GENERAL IRRIGATION NOTES

- Connect to irrigation to lowest quality water source available.
- Install backflow preventer as required.
- Irrigation system controller will be installed with rain sensor and back-up battery.
- Shrub and tree irrigation to be Hunter Drip Line and poly line with emitters as shown in details.
- Automatic irrigation system to provide 100% coverage of shrubs and trees only.
- All trees shall be on a separate irrigation zone from shrubs. Tree zone to be turned off after tree establishment.
- Sod to be irrigated by hand until established.
- Sitework contractor to provide 4" SCH 40 PPVC chase pipes at pavement crossings.
- Irrigation pressure and volume are unknown at this time.
- Irrigation contractor to adjust system design to match water pressure and volume available.

Quantity	Common Name	Scientific Name	Soil Moisture Range	Native	Spacing	Notes
STREET TREES						
0	None Required					
TREES						
19	Southern live oak, cathedral oak	Quercus virginiana	Dry - moist	Yes	as shown	1.5" DBH, 12' oa
14	Crape myrtle	Lagerstroemia indica	Dry - moist	No	as shown	0.5" DBH, 6' oa
15	Southern magnolia	Magnolia grandiflora	Dry - moist	Yes	as shown	1.5" DBH, 12' oa
10	Eastern Redbud	Cercis canadensis	Dry - moist	Yes	as shown	0.5" DBH, 6' oa
SHRUBS						
127	Schillings Dwarf, Ilex schillings	Ilex vomitoria 'Schillings'	Dry - moist	No	3' oc	3G
56	Loropetalum, Chinese Fringe Bush	Loropetalum chinense	Dry - moist	No	3' oc	3G
215	Walter's viburnum	Viburnum obovatum	Dry - moist	Yes	4' oc	3G
GROUND COVER						
	Bahia Sod					

INSTALLATION AND MAINTENANCE NOTES

- The work consists of the complete plant material installation as shown on the drawings and as herein specified. This work shall include, but is not limited to, the supplying of all plant material specified, the furnishing of all labor, equipment, appliances and materials called for, and performing all operations in connection with the landscape specifications as shown on this plan. Further, the work shall include the maintaining of all plants and planting areas until plant acceptance by the owner, and fulfilling of all guarantee provisions as herein specified.
- Adjustments to planter beds as shown on plans may be necessary due to walk locations, leveling, and relationship to roadways, etc. Plant material may need to be added or subtracted in the field. The contractor shall be responsible for the final plant count upon completion of the job. The final plant count will be submitted to the owner prior to final payment.
- The contractor shall fully acquire themselves with the related site grading, water supply, electrical supply, and other utilities to produce any misunderstanding and facilitate a trouble-free installation.
- No substitution shall be made without written permission of the owner.
- In the event of a variation between the plant list and the number of plants shown on the plans, contact the Project Landscape Architect immediately.
- Plant materials will be inspected at the job site by the owner. When inspected work does not comply with the specified requirements, the contractor shall replace rejected plants and continue specified maintenance until the work is re-inspected and found acceptable and remove rejected plants and materials from the job site within 48 hours.
- All materials shall be installed in a neat and workmanlike manner. The owner or his landscape architect reserves the right to direct the removal and replacement of any items which, in his opinion, do not present an orderly and reasonably neat or workmanlike appearance, provided such items can be installed in an orderly way by the usual method of such work.
- All plant material shall be Florida No. 1 grade or better as defined in "Grades and Standards for Nursery Plants", Parts 1 and 2, as published by the Florida Department of Agriculture and Consumer Services, and shall conform to ANR standards for nursery stock (ansi 260, 1-1980).
- All planting beds shall be mulched with 3" of pine bark nuggets, 100% organic, of the highest grade.
- All trees 6' or larger shall be staked or guyed. Staking materials and methods shall be submitted to the Owner for approval prior to installation.
- Planting soil shall consist of the existing soil amended if required.
- Fertilizer shall be quick release, water soluble and shall conform to the applicable state of Florida fertilizer laws. The contractor shall submit to the owner or landscape architect a fertilization certification.

IRRIGATION NOTES

- The plans and drawings are diagrammatic of the work to be performed. The work shall be executed in a manner to avoid conflicts with utilities and other elements of construction, including landscape materials. Any and all deviations shall be brought to the attention of the owner or owner's representative. The contractor will assume full responsibility for all revisions.
- Irrigation system shall be installed in accordance with the plans, irrigation system specifications and all contract documents. Contractor shall comply with all prevailing local codes, ordinances and regulations.
- Check and verify all site conditions, including service utility locations, prior to trenching or digging. Coordinate all irrigation system construction with existing and / or new plantings to avoid conflict or interference with location piping, sleeving, cables and service utilities. The irrigation contractor is responsible for coordinating installation with all other construction on the property landscape installation. Irrigation system is to be relocated for no additional cost for any conflict with landscape installation or any other construction or existing conditions. All components that are not contained within the specific areas shown on the drawings will not be relocated. All piping and other components are to remain within the property of the OWNER.
- When existing or new trees, light standards, signs, electronic controllers and / or other objects are an obstruction to an irrigation system's pattern, the component and piping shall be relocated as necessary to obtain proper coverage without damaging the obstruction. Landscape architect or representative to determine if obstruction occurs at all.
- Component spacings are maximum. Do not exceed spacing shown or noted on the plans. Component spacing may be changed to accommodate changes in terrain and planting layout as long as the modified spacings do not exceed the spacings shown in the plans. Unless shown otherwise, irrigation contractor shall provide 100% coverage.
- All materials and equipment shown shall be installed as detailed on the plans. If the drawing do not thoroughly describe the techniques to be used, the installer shall follow the installation methods/instructions recommended by their manufacturer.
- Irrigation contractor shall adjust all sprinklers, controller and other operating characteristics, including coverage, operating pressure, flow rates and operation time, as indicated on the drawings and on the irrigation system specifications. Adjust all sprinklers to avoid overflow of water onto buildings, roadways, sidewalks or existing native vegetation.
- Contractor to provide installation shop drawings and manufacturer product information for all irrigation components. All installation shall be as recommended by manufacturers. The quantities shown in the legends and symbol sheets shall not be used for bidding purposes. The contractor will be responsible for conducting a comprehensive take-off of materials to determine the actual quantities of materials necessary to execute the work described on the plans and drawings.
- All trenches shall be backfilled with clean, debris-free material. Clean sand shall be used for bedding materials if parent soil can not adequately rid of rock and other extraneous debris. Pulling pipe may be utilized where applicable.
- All solvent welding shall be preceded by priming of the fittings and pipe as recommended by the manufacturer.
- Contractor and label / number all zone valve covers with corresponding controller zone number and location valve box with record drawing numbers.

MAINLINE & PIPING

- All irrigation (mainline & submain) shall be Class 200 PVC Purple Pantone Reclaimed pipe with solvent weld fittings. All pipes used downstream of each remote control valve shall be Class 200 PVC Purple Pantone Reclaimed pipe or higher solvent weld pipe. Unless shown otherwise.
- The depth of all lines shall be 18" minimum cover for mainline and 12" minimum cover for lateral lines as specified per plans and details. Measurements shall be from top of pipe(s) to finish grade. Contractor will be responsible for re-trenching and relaying any piping not meeting specified depths.
- All piping subunits for future zone expansions shall have the capped end within a 6" valve box.

SLEEVING

- All sleeves for mainline to be Sch. 40 PVC. All sleeves for lateral lines to be twice the diameter of piping to be installed.
- Irrigation contractor shall coordinate with general contractor for the location of sleeving crossings whether shown or not. At no time shall wiring share the same sleeve with mainline(s) or other piping.
- All sleeving shall extend 12" beyond the edge of the surface requiring sleeving.
- All wiring sleeves shall be Sch. 40 (2") or as noted per plan.

CONTROL SYSTEM

- Controller shall be completely electric in operation. Controller shall be installed and wired in accordance with manufacturer's published instructions. Controller shall be capable of operating from an independent power supply. Primary shall be 115V a.c. 60hz or 230V, 50hz.

REMOTE CONTROL VALVES

- All control valves shall be Hunter and installed as close as possible to the mainline(s) or submain(s) piping. Controller valves shall be type and size as specified herein and indicated on the drawings.

DRIP TUBE

- Drip tube to be Hunter inline drip tubing 1 GPH on 12" centers Purple Reclaimed piping.

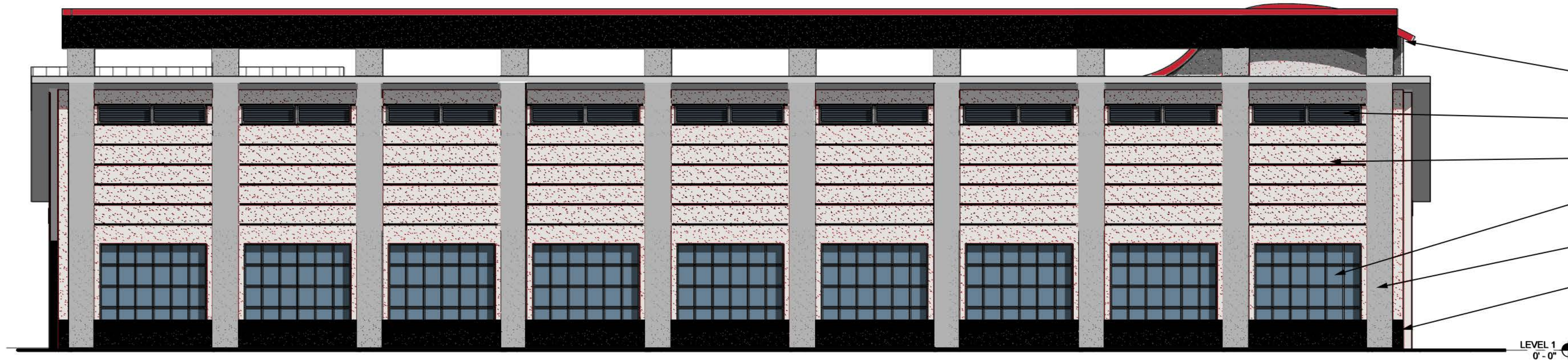
Wicks Engineering Services, Inc.
225 West Main Street, Tallahassee, Florida 32378
www.wicksengineering.com (352) 343-8667
C.A. #30062

FRUITLAND PARK HOLDINGS, LLC
TEJINDER S. GREENWALL
1330 SAXON BOULEVARD
ORANGE CITY, FLORIDA 32763

IC International Car Wash
Landscape and Irrigation Plan
Lake County, Florida

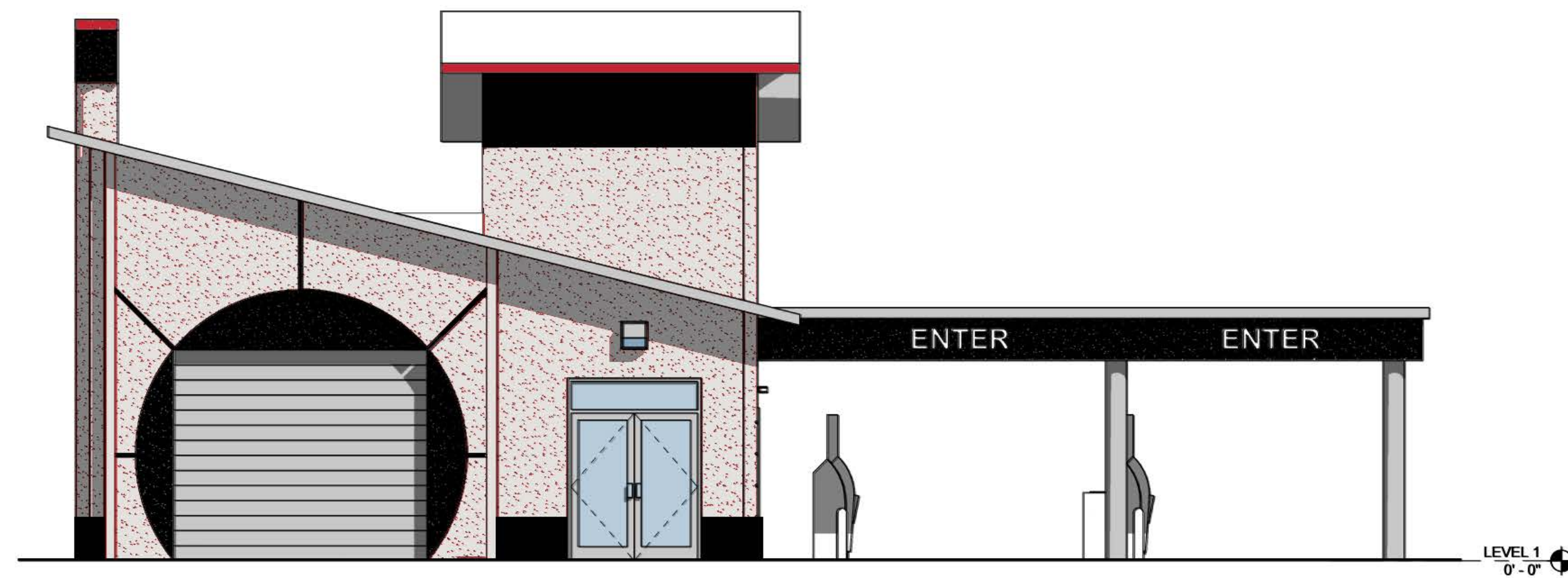
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Checked: BH
Date: 06-05-18
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File No: 17136
Sheet: 1 of 1

L.R. HUFFSTETLER, INC.
Landscape Architecture & Planning
36955 Lake Yale Drive
Grand Island, FL 32735
(352) 516-5254
L.R. Huffstetler III - Lic. # 0000744

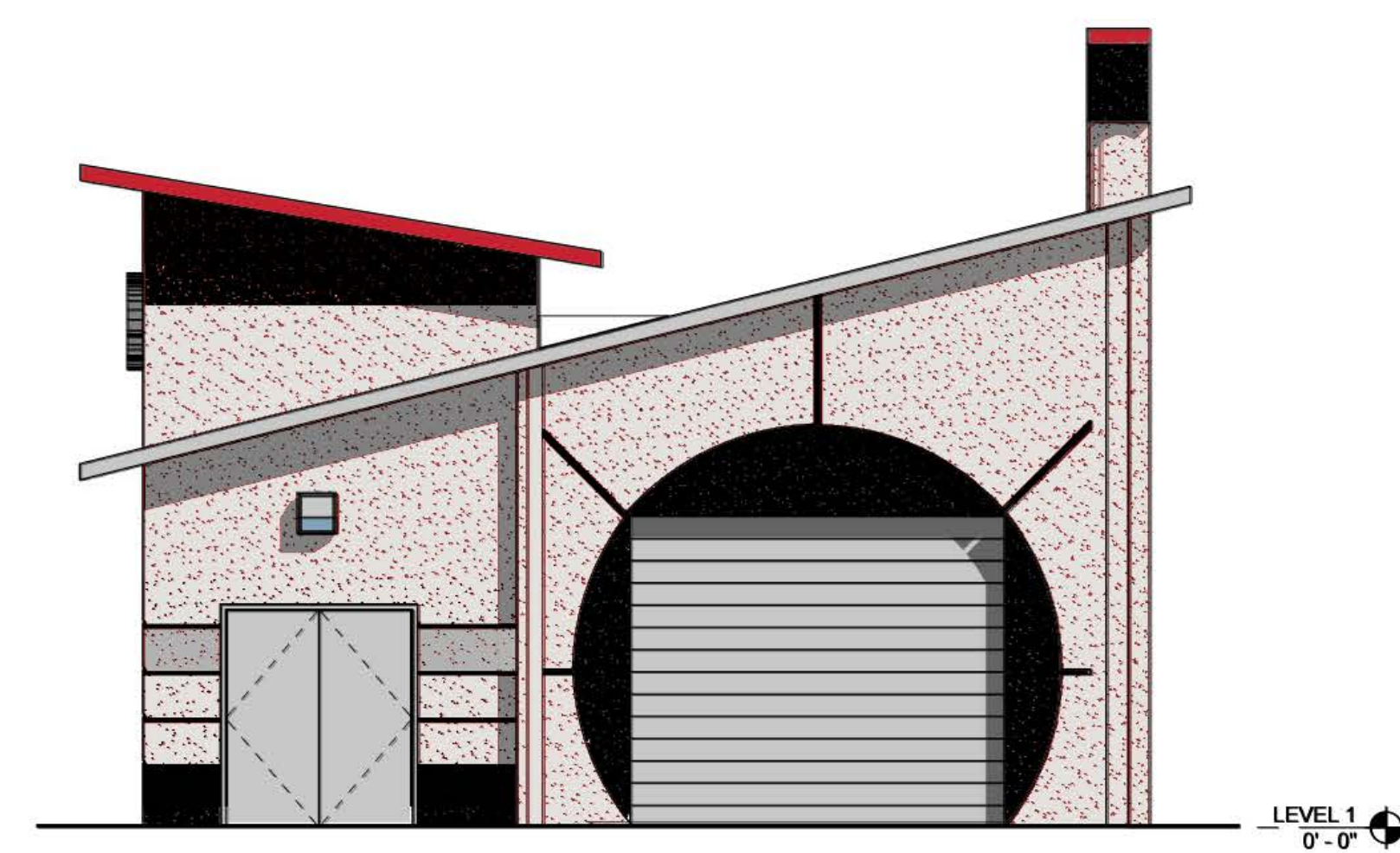


PAINTED STUCCO
 METAL LOUVER
 PAINTED STUCCO W/REVEALS
 STOREFRONT GLAZING
 PAINTED CONCRETE COLUMN
 PAINTED STUCCO

1 Elevation
3/16" = 1'-0"



2 Elevation WASH PAY STATION
3/16" = 1'-0"



3 Elevation - TUNNEL ENTRY -
3/16" = 1'-0"

WALLS:
STUCCO PAINTED:

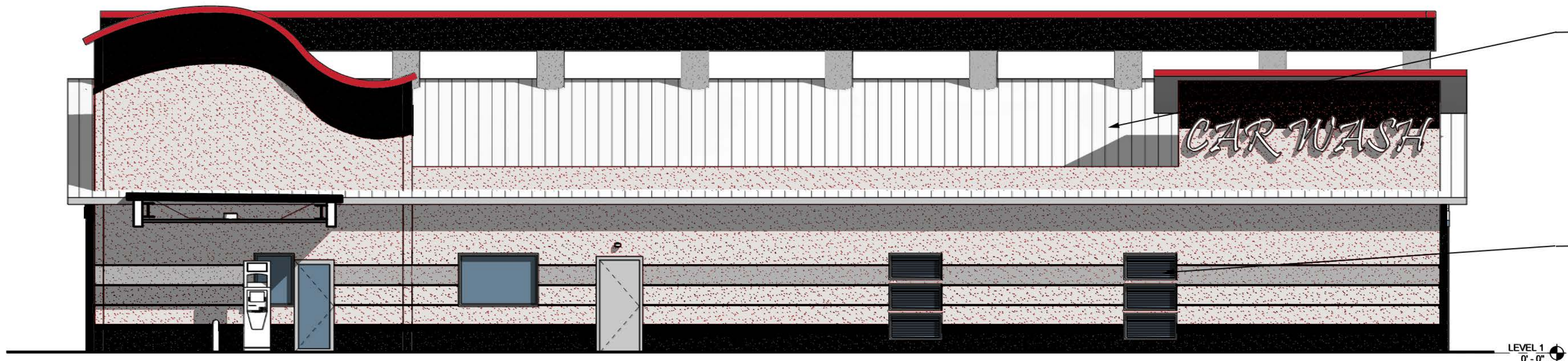


PAINT FACADE
PER ELEVATIONS
UTILIZING PAINT
COLORS SHOWN.

METAL LOUVERS
AND DOORS:
POWDER COATED:



ROOF:
BERRIDGE STANDING SEAM
SHASTA WHITE



METAL ROOF

METAL LOUVER

4 Elevation
3/16" = 1'-0"

Jeff Gaither, Architect
4101 Woodlynne Lane
Orlando, FL 32812
(407) 342-5995

Jeff Gaither
AR3366

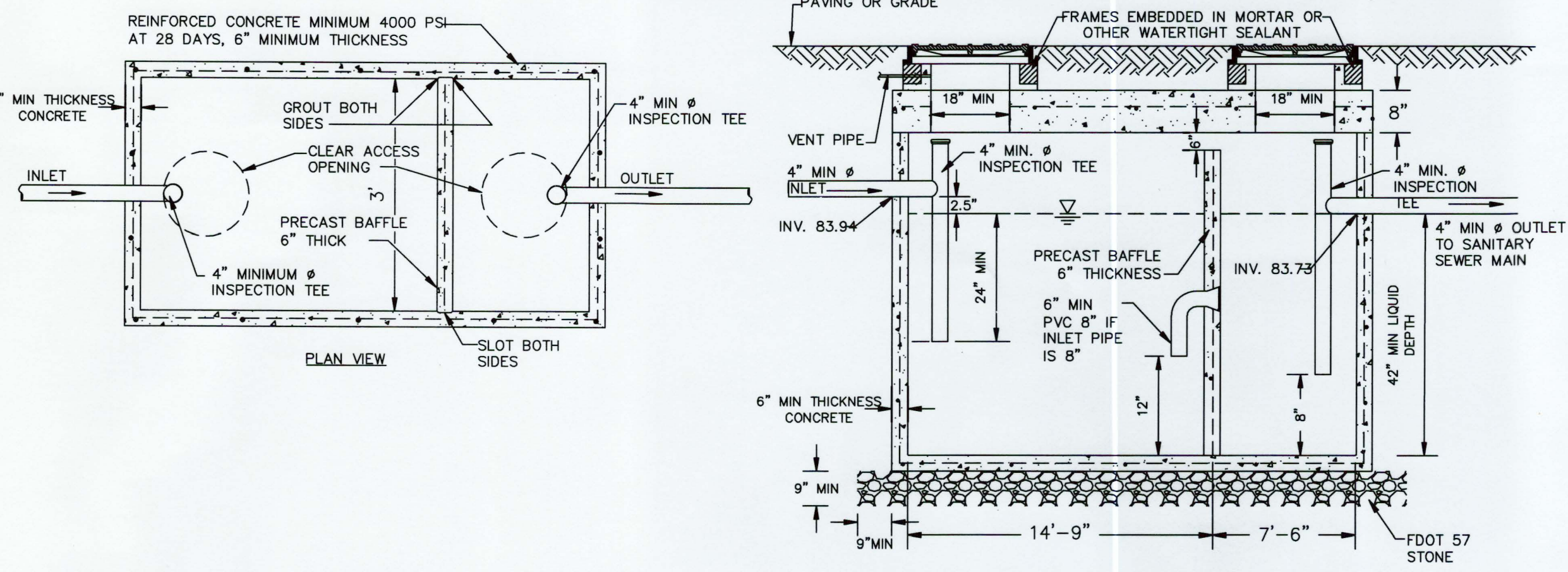
Revision Schedule		
Revision Number	Revision Description	Revision Date

US 27-441 FRUITLAND PARK
CAR WASH
BUILDING ELEVATIONS

Project number	16-042
Date	3-23-2017
Drawn by	Author
Checked by	Checker

A501

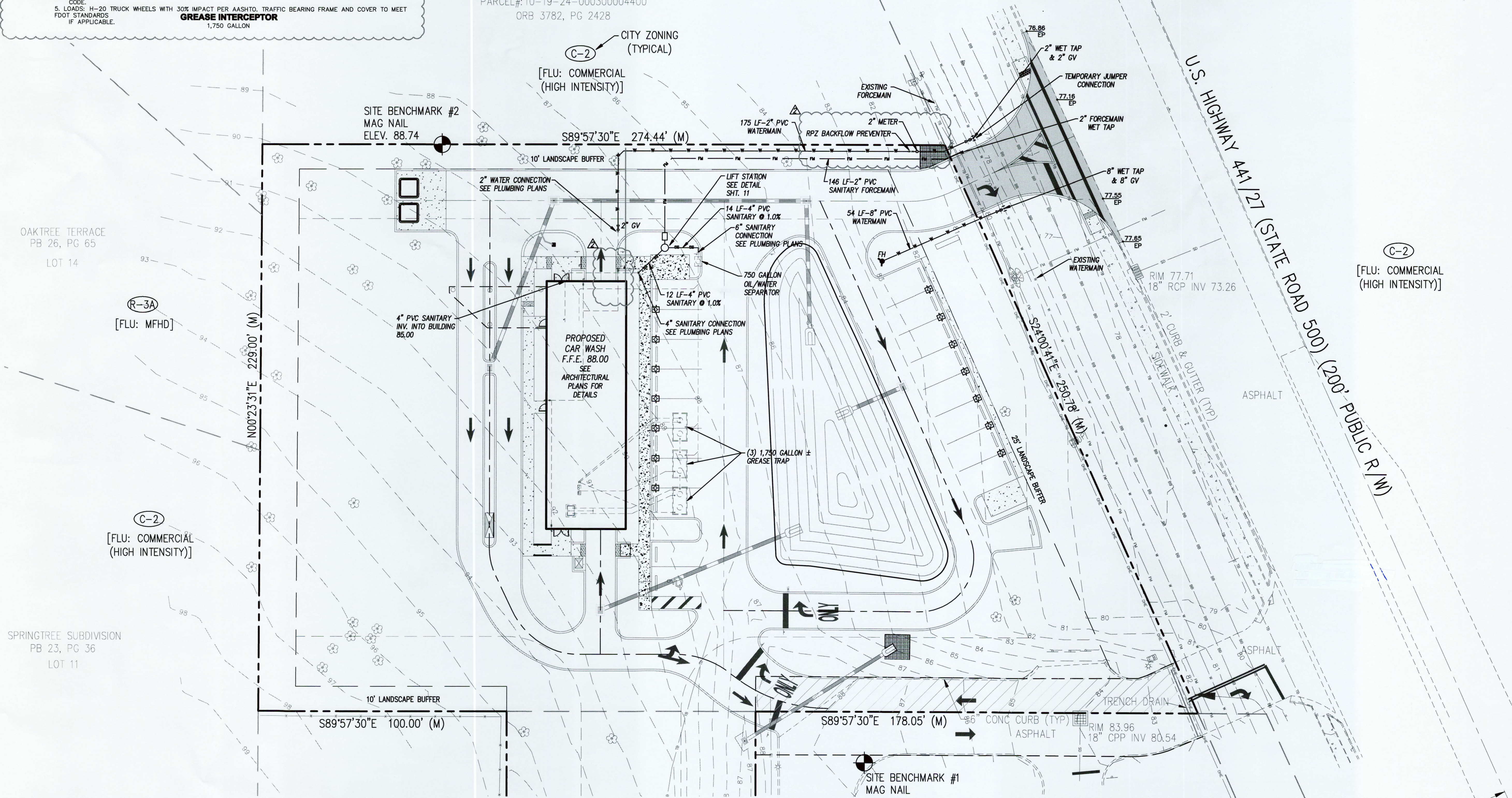
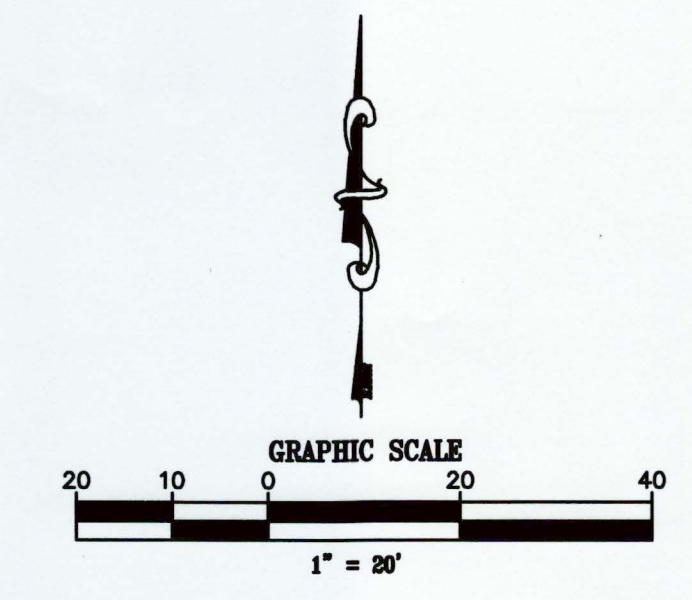
Scale As indicated



NOTES:
 1. SPECIFIC DESIGN DETAILS MUST IN ALL ASPECTS MEET APPLICABLE FLORIDA PLUMBING AND ADMINISTRATIVE CODE.
 2. INTERCEPTORS SHALL BE WATER AND GAS TIGHT.
 3. ALL FIXTURES LOCATED IN FOOD AND BEVERAGE PREPARATION AREAS SHALL BE ROUTED THROUGH GREASE INTERCEPTOR.
 4. RESTROOM WASTE SHALL NOT BE ROUTED THROUGH INTERCEPTOR.
 5. BAFFLE REQUIRED; ALTERNATIVE DESIGNS ARE ACCEPTABLE. DESIGN MUST MEET FLORIDA PLUMBING AND ADMINISTRATIVE CODE.
 6. LOADS: H-20 TRUCK WHEELS WITH 30% IMPACT PER AASHTO. TRAFFIC BEARING FRAME AND COVER TO MEET FDOT STANDARDS IF APPLICABLE.

GREASE INTERCEPTOR
 1,750 GALLON

NOT PLATTED
 PARCEL #: 10-19-24-000300004400
 ORB 3782, PG 2428



Wicks Engineering Services, Inc.
 225 West Main Street, Tallahassee, Florida 32378
 www.wicksengineering.com (352) 343-8667
 C.A. #50062

FRUITLAND PARK HOLDINGS, LLC
 TENDER S. GREENWALD
 1330 SAKON BOULEVARD
 ORANGE CITY, FLORIDA 32763

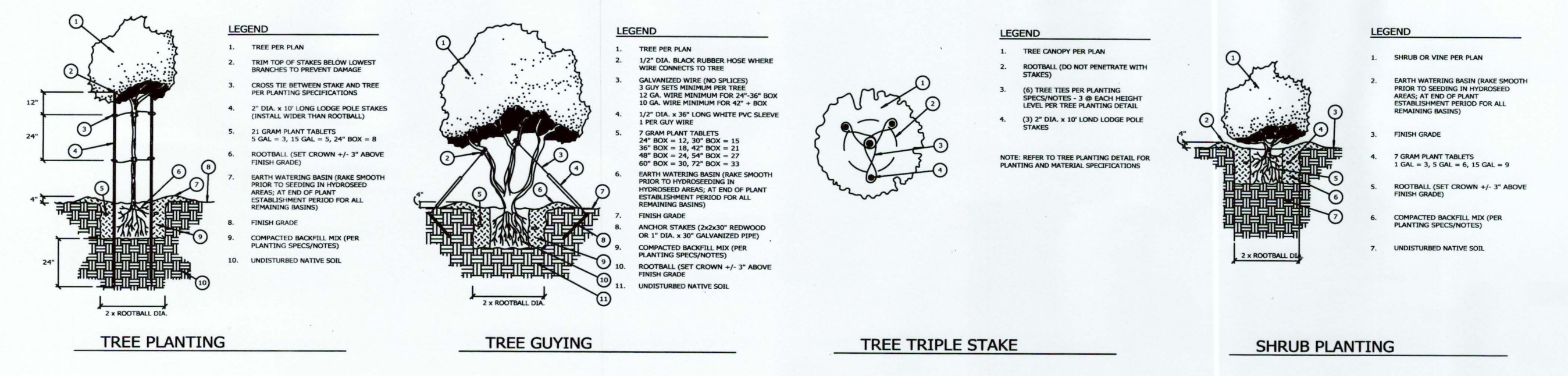
IC INTERNATIONAL CARWASH
 UTILITY PLAN
 US HWY 27/441 FRUITLAND PARK FL. 34731

KENNETH RANDAL WICKS
 LICENSE
 No. 33274
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 KENNETH R. WICKS (P.E.) FL. REG. NO. 33274
 DATE: 8/21/2018

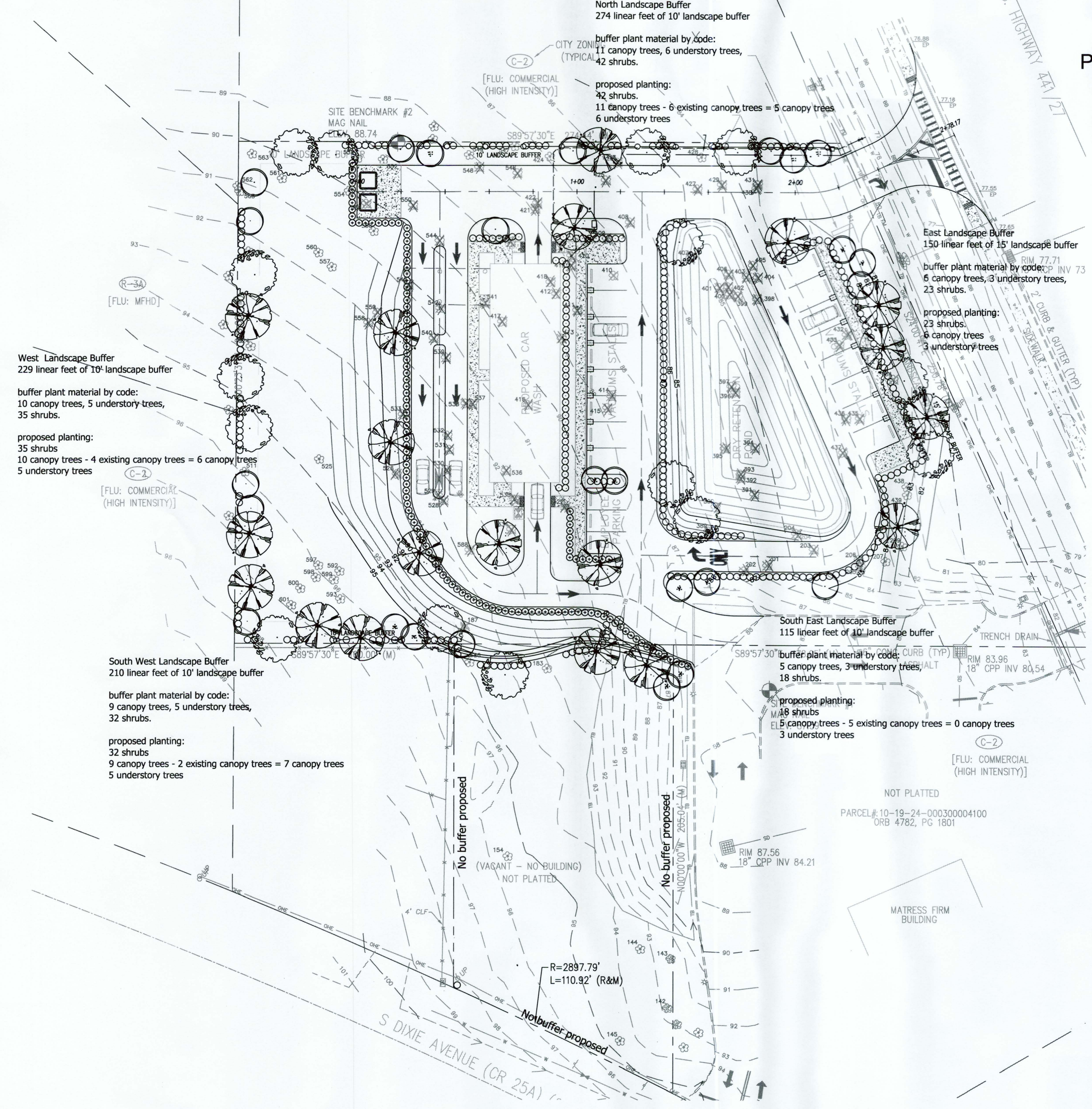
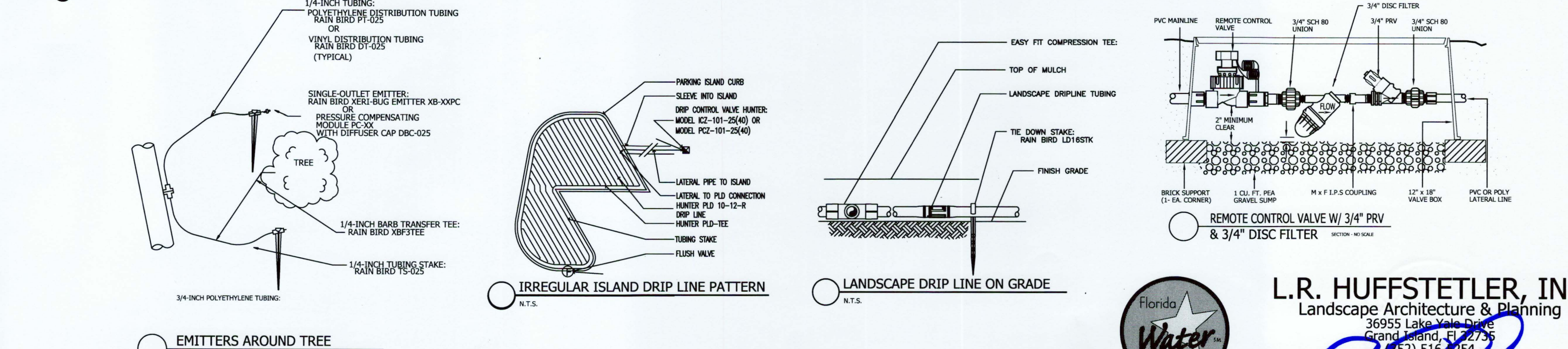
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 Checked: TRW
 Date: 10-25-17
 Scale: AS SHOWN
 File No.: 17136
 DATE: 05-31-2018
 REVISION: S.J. RAI 1
 BESH COMMENTS 06-11-2018
 REG. NO. 17136
 SHEET: 12 of 15

C:\Users\Wicks\OneDrive\Documents\17136 IC Int Car Wash Plumbing\17136 IC Int Car Wash Plumbing.dwg, 7/24/2018 12:27:37 PM, DWG to PDF.plt

Planting Details:



Irrigation Details:

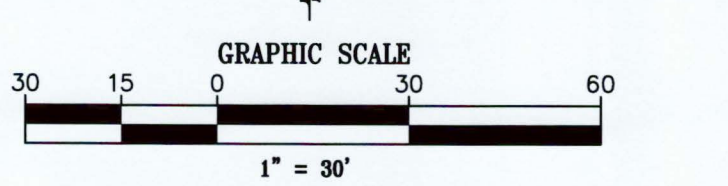


Plant Legend:

- 19 Quercus virginiana
Live Oak
- 15 Magnolia grandiflora
Southern Magnolia
- 10 Cercis canadensis
Eastern Redbud
- 14 Lagerstroemia indica
Muscogee Crape Myrtle
- 215 Viburnum obovatum
Walter's viburnum
- 56 Loropetalum chinense
Loropetalum Plum Dwarf
- 127 Ilex vomitoria "Shillings Dwarf"
Shillings Dwarf

TREE REMOVAL

Remove 80 trees as indicated by X
Required Replacement 25% = 20 canopy trees
Replacement Trees Provided = 34 canopy trees



GENERAL LANDSCAPE NOTES

1. Canopy trees to be from preferred list.
2. Understory trees to be from preferred list.
3. Shrubs to be 3 gal. minimum 30" tall from preferred list.
4. Installation of trees and shrubs shall comply with standard nursery practice.
5. Landscaping to meet all Applicable Florida Friendly requirements.

Plant List:

Quantity	Common Name	Scientific Name	Soil Moisture Range	Native	Spacing	Notes
STREET TREES						
0	None	Required				
TREES						
19	Southern live oak cathedral oak	Quercus virginiana	Dry - moist	Yes	as shown	1.5" DBH, 12' ca
14	Crape myrtle	Lagerstroemia indica	Dry - moist	No	as shown	0.5" DBH, 6' ca
15	Southern magnolia	Magnolia grandiflora	Dry - moist	Yes	as shown	1.5" DBH, 12' ca
10	Eastern Redbud	Cercis canadensis	Dry - moist	Yes	as shown	0.5" DBH, 6' ca
SHRUBS						
127	Schillings Dwarf, Ilex schillings	Ilex vomitoria 'Schillings'	Dry - moist	No	3' oc	3G
56	Loropetalum, Chinese Fringe Bush	Loropetalum chinense	Dry - moist	No	3' oc	3G
215	Walter's viburnum	Viburnum obovatum	Dry - moist	Yes	4' oc	3G
GROUND COVER						
	Bahia Sod					

INSTALLATION AND MAINTENANCE NOTES

1. The work consists of the complete plant material installation as shown on the drawings and as herein specified. This work shall include, but is not limited to, the supplying of all plant material specified, the furnishing of all labor, equipment, appliances and materials called for, and in performing all operations in connection with the landscape specifications as shown on this plan. Further, the work shall include the maintaining of all plants and planting areas until phase acceptance by the owner, and fulfilling of all guarantee provisions as herein specified.
2. Adjustments to planter beds as shown on plans may be necessary due to walk locations, berming, relationship to roadways, etc. Plant material may need to be added or subtracted in the field. The contractor shall be responsible for the final plant count upon completion of the job. The final plant count will be submitted to the owner prior to final payment.
3. The contractor shall fully acquaint themselves with the related site grading, water supply, electrical supply, and other utilities to preclude any misunderstanding and facilitate a trouble free installation.
4. No substitution shall be made without written permission of the owner.
5. In the event of a variation between the plant list and the number of plants shown on the plans, contact the Project Landscape Architect immediately.
6. Plant materials will be inspected at the job site by the owner. When inspected work does not comply with the specified requirements, the contractor shall replace rejected work and continue specified maintenance until the work is inspected and found acceptable and remove rejected plants and materials from the job site within 48 hours.
7. All materials shall be installed in a neat and workmanlike manner. The owner or his landscape architect reserves the right to direct the removal and replacement of any items which, in his opinion, do not present an orderly and reasonably neat or workmanlike appearance, provided such items can be installed in an orderly way by the usual method of such work.
8. All plant material shall be Florida No. 1 grade or better as defined in "Grades and Standards for Nursery Plants", Parts 1 and 2, as published by the Florida Department of Agriculture and Consumer Services, and shall conform to AHS standards for nursery stock (Rev. 2/1/2000).
9. All planting beds shall be mulched with 3" of pine bark nuggets, 100% organic, of the highest grade.
10. All trees 8' or larger shall be staked or guyed. Staking materials and methods shall be submitted to the Owner for approval prior to installation.
11. Planting soil shall consist of the existing soil amended if required.
12. Fertilizer shall be quick release, water soluble and shall conform to the applicable state of Florida fertilizer laws. The contractor shall submit to the owner or landscape architect a fertilization certification.

IRRIGATION NOTES

1. The plans and drawings are diagrammatic of the work to be performed. The work shall be executed in a manner to avoid conflicts with utilities and other element of construction, including landscape materials. Any and all deviations shall be brought to the attention of the owner or owners. The contractor shall not willfully install any aspect of the irrigation system as shown on the plans and drawings when it is obvious in the field that obstructions, grade differences, or discrepancies exist that might not have been known during the design of the irrigation system. In the event that notification of the conflict is not given to the representative, the contractor will assume full responsibility for all revisions.
 2. Irrigation system shall be installed in accordance with the plans, irrigation system specifications and all contract documents. Contractor shall comply with all prevailing local codes, ordinances and regulations.
 3. Check and verify all site conditions, including service utility locations, prior to trenching or digging. Coordinate all irrigation system construction with existing and / or new plantings to avoid conflict or interference with location piping, sleeving, cables and service utilities. The irrigation contractor is responsible for coordinating installation with all other construction on site especially landscape installation. Irrigation system is to be relocated for no additional cost for any conflict with landscape installation or any other site construction or existing conditions. All components that are not contained within the specific areas shown on the drawings will not be accepted. All piping and other components are to remain within the property of the OWNER.
 4. Where existing or new trees, light standards, signs, electronic controllers and / or other objects are on obstruction to an irrigation sprinkler's pattern, the component and piping shall be relocated as necessary to obtain proper coverage without damaging the obstruction. Landscape architect or representative to determine if obstruction occurs at all.
 5. Component spacings are minimum. Do not exceed spacing shown or noted on the plans. Component spacing may be changed to accommodate changes in terrain and planting layout as long as the modified spacings do not exceed the spacings shown in the plans. Unless shown otherwise, irrigation contractor shall provide 100% coverage.
 6. All materials and equipment shown shall be installed as detailed on the plans. If the drawing do not thoroughly describe the techniques to be used, the installer shall follow the installation methods/instructions recommended by their manufacturer.
 7. Irrigation contractor shall adjust all sprinklers, controller and other operating characteristics, including coverage, operating pressure, flow rates and operation time, as indicated on the drawings and on the irrigation system specifications. Adjust all sprinklers to avoid overwater of water onto buildings, roadways, sidewalks or existing native vegetation.
 8. Contractor to provide installation shop drawings and manufacturer product information for all irrigation components. All installation shall be as recommended by manufacturers. The quantities shown in the legends and symbol sheets shall not be used for bidding purposes. The contractor will be responsible for conducting a comprehensive take off of materials to determine the actual quantities of materials necessary to execute the work described on the plans and drawings.
 9. All trenches shall be backfilled with clean, debris free materials. Clean sand shall be used for bedding materials if parent soil can not adequately rid of rock and other extraneous debris. Pulling pipe may be utilized where applicable.
 10. All solvent welding shall be preceded by priming of the fittings and pipe as recommended by the manufacturer.
 11. Contractor and label / number all zone valve covers with corresponding controller zone number and isolation valve box with record drawing numbers.
- B. MAINLINE & PIPING**
1. All irrigation main(s) & submain(s) shall be Class 200 PVC Purple Pantone Reclaimed pipe with solvent weld fittings. All pipes used downstream of each remote control valve shall be Class 200 PVC Purple Pantone Reclaimed pipe or higher solvent weld pipe. Unless shown otherwise.
 2. The depth of all lines shall be 18" minimum cover for mainline and 12" minimum cover for lateral lines as specified per plans and details. Measurements shall be from top of pipe(s) to finish grade. Contractor will be responsible for re-trenching and relaying any piping not meeting specified depths.
 3. All piping stubouts for future zone expansions shall have the capped end within a 6" valve box.
- C. SLEEVING**
1. All sleeves for mainline to be Sch. 40 PVC. All sleeves for lateral lines to be twice the diameter of piping to be installed.
 18. Irrigation contractor shall coordinate with general contractor for the location of sleeving crossings whether shown or not. At no time shall wiring share the same sleeve with main(s) or other piping.
 3. All sleeving shall extend (12") beyond the edge of the surface requiring sleeving.
 4. All wiring sleeves shall be Sch. 40 (12") or as stated per plan.
- D. CONTROL SYSTEM**
- Controller shall be completely electric in operation. Controller shall be installed and wired in accordance with manufacturer's published instructions. Controller shall be capable of operating from an independent power supply. Primary shall be 115V a.c. 60Hz or 230V, 50Hz.
- E. REMOTE CONTROL VALVES**
1. All control valves shall be Hunter and installed as close as possible to the mainline(s) or submain(s) piping. Controller valves shall be type and size as specified herein and indicated on the drawings.
- F. DRIP TUBE**
1. Drip tube to be Hunter inline drip tubing 1 GPH on 12" centers Purple Reclaimed piping.

GENERAL IRRIGATION NOTES

1. Connect to irrigation to lowest quality water source available.
2. Install backflow preventer as required
3. Irrigation system controller will be installed with rain sensor and back-up battery.
4. Shrub and tree irrigation to be Hunter Drip Line and poly line with emitters as shown in details
5. Automatic irrigation system to provide 100% coverage of shrubs and trees only.
6. All trees shall be on a separate irrigation zone from shrubs. Tree zone to be turned off after tree establishment.
7. Sod to be irrigated by hand until established.
8. Sitework contractor to provide 4" Sch 40 PPVC chase pipes at pavement crossings
9. Irrigation pressure and volume are unknown at this time
10. Irrigation contractor to adjust system design to match water pressure and volume available.

**IC International Car Wash
Landscape and Irrigation Plan**
Lake County, Florida

Wicks Engineering Services, Inc.
225 West Main Street, Tallahassee, Florida 32378
(904) 352-8667
www.wickeengineering.com
C.A. #50062

FRUITLAND PARK HOLDINGS, LLC
TEJINDER S. GREENWALL
1330 SAXON BOULEVARD
ORANGE CITY, FLORIDA 32763

Drawn: BH	DATE:
Checked: BH	REVISION:
Date: 04-22-18	
Scale: 1" = 30'	
File No.: 17136	Sheet: 1 Of: 1

L.R. HUFFSTETLER, INC.
Landscape Architecture & Planning
36955 Lake Wales Drive
Sebring, Florida 33875
(888) 516-2254

From: Lynch, Seth
To: [Kelly Turner](#); [Tracy Kelley](#)
Cc: [White, William](#)
Subject: RE: International Carwash RAI #4
Date: Monday, August 27, 2018 8:31:12 AM

Tracey and Kelly,

Per previous email:

The applicant will be conditioned to apply for a Right-of-Way Utilization Permit for the construction of sidewalk along CR 25A/Dixie Ave.

Thanks,
Seth



SETH LYNCH

Engineer III

Department of Public Works

Engineering Division

A (Mailing) PO Box 7800, Tavares, FL 32778

A (Office) 350 N. Sinclair Ave., Tavares, FL 32778

P 352-253-9052 | www.lakecountyfl.gov

NOTE: Florida has a very broad public records law.

Your email communications may be subject to public disclosure.

From: Kelly Turner [mailto:kturner@fruitlandpark.org]
Sent: Wednesday, August 08, 2018 1:11 PM
To: Tracy Kelley <tkelley@fruitlandpark.org>
Subject: International Carwash RAI #4

Board Members:

Please follow dropbox link for RAI #4 IC International Carwash.

<https://www.dropbox.com/sh/34qg2ciesmxqugc/AABfGYg6ivkmT3dEyla4VkXqa?dl=0>

Thank you,

*Kelly Turner, CFM
Administrative Assistant
Community Development Dept
City of Fruitland Park
506 W Berckman St*



VIA EMAIL tkelley@fruitlandpark.org

August 15, 2018

Tracy Kelley
City of Fruitland Park
506 W. Berckman Street
Fruitland Park, FL 34731

RE: IC INTERNATIONAL CARWASH

Dear Ms. Kelley:

At your request, I have reviewed the construction plans for the above referenced project. Based upon my review of the most recently submitted material, I recommend approval of the construction plans as submitted. Should you have any questions, please feel free to contact me.

Sincerely,

BOOTH, ERN, STRAUGHAN & HIOTT, INC.

Brett J. Tobias, P.E.
Project Manager
btobias@besandh.com

BJT:am

From: Sherie Lindh
To: [Kelly Turner](#)
Cc: [Tracy Kelley](#); [Greg Beliveau](#)
Subject: RE: International Carwash RAI #4
Date: Tuesday, August 14, 2018 8:39:58 AM
Attachments: [image001.png](#)

Hi Kelly – We have no further comments as the applicant did submit the proposed architectural samples and color pallet. Thanks, Sherie



From: Kelly Turner [mailto:kturner@fruitlandpark.org]
Sent: Monday, August 13, 2018 4:06 PM
To: Sherie Lindh <sherie@lpgurp.com>
Cc: Tracy Kelley <tkelley@fruitlandpark.org>
Subject: FW: International Carwash RAI #4

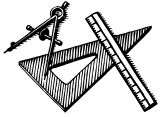
Sherie,

Does LPG have any comments to date regarding International Carwash RAI #4?

Thank you,

*Kelly Turner, CFM
Administrative Assistant
Community Development Dept
City of Fruitland Park
506 W Berckman St
Fruitland Park, FL, 34731
(352)360-6727
FAX: 352-360-6652*

From: Kelly Turner
Sent: Wednesday, August 08, 2018 1:11 PM
To: Tracy Kelley <tkelley@fruitlandpark.org>
Subject: International Carwash RAI #4



Wicks Engineering Services, Inc.

225 West Main Street ♦ Tavares, Florida 32778
P (352) 343-8667 F (352) 343-8665

July 31, 2018

Tracy Kelly, Administrative Assistant
City of Fruitland Park Community Development Dept.
506 W. Berckman Street
Fruitland Park, FL 34731

RE: Response to BESH Site Plan TRC Comments 7/17/2018 – IC International Carwash; and
Response to LPG Site Plan TRC Comments 7/30/2018 – IC International Carwash

Dear Ms. Kelly:

We have received and reviewed latest TRC comments dated July 17, 2018 from BESH and the July 30, 2018 LPG Urban & Regional Planners, regarding the referenced project. Please find below our written response which corresponds to your items.

BESH (City Engineer) Review Comments

- *Provide OR Book and Page number for the existing easements*

RESPONSE: The OR Book and Page has been added to Sheet 6 for the easement callout.

- *Provide an auto turn simulation for the turning radius for the garbage truck route using a garbage truck for the simulation.*

RESPONSE: Please see Sheet 10 of the revised plan set. A revised simulation has been included with the revised plan set.

- *The grades shown at the handicap ramp still appear to show a raised sidewalk and/or a 6" curb. Provide sufficient grading to show the handicap ramp.*

RESPONSE: Please see revised plans.

- *List the impeller size on the plans for the lift station pump. The calculations show a 4.5" impeller, but the standard size is 5".*

RESPONSE: The impeller size has been added to the plan. The design is for the 4.5" impeller.

- *The utility plan states that the RPZ backflow preventer will be interior to the building. This will not allow for yearly inspections to be performed by the City utility department as required by FDEP. Place the RPZ where it can be accessed by the City utility department at all times.*

RESPONSE: The RPZ backflow preventer has been located outside the building.

- *The swale cross section shown in the calculations for Basin B-1 is not shown on the plans. Add the cross section to the plans so that swales will be constructed in proper locations.*

RESPONSE: The cross section has been added to the plan.

- *The swale calculations submitted do not correctly calculate the swale cross sectional area, or the hydraulic radius. As such, the swale capacity appears to be less than what is submitted. Revise calculations accordingly.*

RESPONSE: The calculations have been revised.

LPG Urban & Regional Planners

- *The site plan has been revised as requested by DRC staff and meets the minimum standards as required in Chapter 160; however, the applicant needs to submit the proposed architectural design, sample materials, and color scheme in order to show compliance with the non-residential design standards in order to comply with Chapter 154.*

RESPONSE: Please see the enclosed architectural plans.

This concludes our response to Staff comments. If there are additional questions or comments regarding this response, please contact our office.

Sincerely,

Rick Hartenstein

Rick Hartenstein, AICP, CPM, Planning Project Manager
Wicks Engineering Services, Inc.
225 W. Main Street
Tavares, FL 32778

352-343-8667

rhartenstein@wicksengineering.com

Enclosures

**CITY OF FRUITLAND PARK
STAFF REPORT BY LPG URBAN & REGIONAL PLANNERS, INC.**

SITE PLAN AND VARIANCE

Owner: Fruitland Park Holdings, LLC

Applicant: Ted Wicks, P.E., Wicks Engineering Services

General Location: West of US 27/441 and north of Dixie Ave.

Number of Acres: 1.7 ± acres

Existing Zoning: Commercial (C-2)

Existing Land Use: Highway Commercial

Date: July 30, 2018

Description of Project

The owners are seeking approval of the site plan for a 3,200 square foot car wash facility which is a single tunnel automatic carwash with no detailing provided. The facility will house a small office for employees only which is not accessible to customers. Vacuum stations are provided. They are also seeking a variance to the one (1) way drive aisle width from 24' to 18' adjacent to the carwash and 14' adjacent to the vacuum stations.

	Surrounding Zoning	Surrounding Land Use
North	C-2	Commercial High Intensity
South	C-2	Commercial High Intensity
East	C-2	Commercial High Intensity
West	C-2 and R-3A	Commercial and Multi-family High Density

Assessment

The site plan has been revised as requested by DRC staff and meets the minimum standards as required in Chapter 160; however, the applicant needs to submit the proposed architectural design, sample materials and color scheme in order to show compliance with the non-residential design standards in order to comply with Chapter 154. The applicant has also submitted for a variance to allow one (1) way drive aisle width from 24' to 18' adjacent to the carwash and 14' adjacent to the vacuum stations. See attached for justification and variance review criteria submitted by the applicant.

Recommendation

LPG recommends approval of the site plan and variance provided the applicant submit items necessary to show compliance with the non-residential design standards.

From: [Tracy Kelley](#)
To: ["Wicks Engineering Services, Inc. - Rick Hartenstein"](#)
Cc: [Kelly Turner](#); [Donald Gilpin](#); [Duane Booth](#); [Brett Tobias](#); ["Beliveau, Greg"](#); sherie@lpgurp.com
Subject: Response to Simulation
Date: Friday, June 29, 2018 8:50:00 AM
Attachments: [image002.png](#)

Rick:

Please see the comments below as per the Fire Chief with regards to the auto CAD simulation.

Thank you.

Tracy

From: Donald Gilpin
Sent: Thursday, June 28, 2018 9:47 PM
To: Tracy Kelley <tkelley@fruitlandpark.org>
Subject: RE: Response to Simulation

Tracy the setback has my approval as long as the auto CAD simulation shows that the fire truck will be fine with the setbacks.

Respectfully,

Donald Gilpin
Fire Chief
Fruitland Park Fire Department
506 W. Berckman St.
Fruitland Park, FL 34731
Cell: 321.436.9929
Duty Cell: 352.455.5229
Station: 352.801.7078
Dgilpin@fruitlandpark.org



 *Go Green: Please do not print this e-mail unless you really need to.*



Under Florida Law, e-mail addresses are public records. If you do not want your e-mail address released in response



INVOICE# _____

FIRE INSPECTION REPORT

YEAR# 2018

IC International Car Wash
Site Plan
Plan Review

Inspector: Judd Wright

Date: 5/11/18

Time: _____

Existing Lights

Fire Sprinkler System Tested

Emergency Lighting

Valves Clearly Marked

Fire Extinguishers

Hood Systems Tested

Comments: IC International Car Wash Site Plan Application:

Site looks OK from fire
standpoint

Inspector: _____



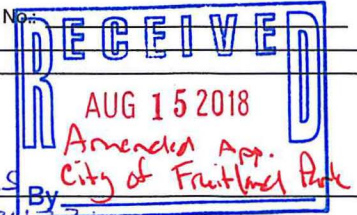
City of Fruitland Park, Florida
Community Development Department
 506 W. Berckman St., Fruitland Park, Florida 34731
 Tel: (352) 360-6727 Fax: (352) 360-6652
 www.fruitlandpark.org

Staff Use Only

Case No.: _____

Fee Paid: _____

Receipt No.: _____



Development Application

Contact Information:

Owner Name: Larry J. and Beth R. Smith Trustees
 Address: 8892 NE 90th St, Fruitland Park FL 34731
 Phone: 352-406-0772 Email: larryspa@kingdom@gmail.com
 Applicant Name: Larry J. and Beth R. Smith Trustees
 Address: 8892 NE 90th St, Fruitland Park FL 34731
 Phone: 352-406-0772 Email: larryspa@kingdom@gmail.com
 Engineer Name: NA
 Address: _____
 Phone: _____ Email: _____

Property and Project Information:

PROJECT NAME*: Spa Kingdom, Inc.
*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.
 Property Address: 206 E Berckman Street, Fruitland Park FL 34731
 Parcel Number(s): 09-19-24-040001500005 Section: _____ Township: _____ Range _____
 Area of Property: 170' Frontage x 194' Depth Nearest Intersection: US Hwy 27/441 + East Berckman Street
 Existing Zoning: RP (Residential Professional) Existing Future Land Use Designation: MC (Mixed Community)
 Proposed Zoning: C-1 Proposed Future Land Use Designation: MC (Mixed Community)
 The property is presently used for: Business Administration Office for Spa Kingdom
 The property is proposed to be used for: Same as present use
 Do you currently have City Utilities? Yes, water only (septic system)

Application Type:

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Comp Plan Amendment | <input checked="" type="checkbox"/> Rezoning | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Construction Plan | <input type="checkbox"/> ROW/Plat Vacate |
| <input type="checkbox"/> Site Plan | <input type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Replat of Subdivision | |

Please describe your request in detail: To rezone to C1 to conform to existing zoning in area and historical use of property.

Required Data, Documents, Forms & Fees

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Signature: Larry Smith Date: 8-15-18

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

Development Application Checklist

The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd) Current Deed Aerial Photo
 Property Appraiser Information Electronic Copy of Application Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through www.lakecountyfl.gov/maps/. Note: All maps are required to depict adjacent properties at a minimum.

Failure to provide adequate maps may delay the application process.

Other Required Analyses and Maps:

Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment Environmental Constraints Map Requested FLU Map

Large Scale Comprehensive Plan Amendment Applications:

Maps: Environmental Constraints Soils Requested FLUM Designation Requested Zoning Map Designation

Analyses: Environmental Assessment Utility Availability Analysis Urban Sprawl Analysis School Impact Analysis
 Traffic Impact Analysis Consistency with the Comp Plan Florida Master Site File sign-off or Archaeological Survey

Rezoning Applications: Requested Zoning Map Justification for Rezoning

Planned Development Applications:

Maps/Plans: Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G Environmental Constraints

Analyses: Environmental Assessment Traffic Impact Analysis Preliminary Concurrency Analysis

Variance Applications: Justification for Variance

Special Exception Use Applications: Justification for Special Exception Use
 Site Sketch List of Special Requirements as Described in LDRs, Chapter 155

Conditional Use Permit Applications: Proposed List of Conditions and Safeguards
 Site Plan as Described in LDRs, Chapter 155 Written Statement as Described in LDRs, Chapter 155

Subdivision Applications: As Described in LDRs, Chapter 157
(Preliminary Plan, Improvement Plan and Final Plat)

Minor Subdivision Applications: As Described in LDRs, Chapter 157

Site Plan Applications: As Described in LDRs, Chapter 160

OWNER'S AFFIDAVIT

STATE OF FLORIDA

COUNTY OF LAKE

Before me the undersigned authority, personally appeared Larry Smith

_____, who being by me first duly sworn on oath deposes and says:

1) That he/she is the fee-simple owner of the property legally described on attached page of this application.

2) That he/she desires To rezone to C1 to allow conformity
to existing zoning in area and historical use
of property.

3) That he/she has appointed n/a to act as agent on his/her behalf to accomplish the above. The owner is required to complete the Applicant's Affidavit of this application if no agent is appointed to act on his/her behalf.

Larry Smith
Affiant (Owner's Signature)

State of Florida
County of Lake

The Foregoing instrument was acknowledged before me this 15th day of August, 2018,
by Larry Smith who is personally known to me or has produced
FL Driver License as identification and who did or did not take an oath
(Notary Seal)



Notary Public - State of Florida
Commission No GG069771
My Commission Expires 2/5/2021

Tracy Kelley
Signature
Tracy Kelley
Printed Name

2007121132
Bk 03504 Pg 04688 (1pg)
DATE: 09/07/2007 02:43:23 PM
JAMES C. WATKINS, CLERK OF COU
LAKE COUNTY
RECORDING FEES 10.00
DEED DOC 542.50

Prepared by/Return to
TERESA REAGOR, an employee of
Paradise Land Title Corporation,
205 W. North Boulevard
Leesburg, Florida 34748

File Number: 07-1995

Corporate Warranty Deed

This Indenture, made , August 13, 2007 A.D.
Between

WRIGHT HOLDINGS, LLC, As to an **Undivided One Half Interest** whose post office address is: P.O. Box 1114, Fruitland Park, FL 34731 a corporation existing under the laws of the State of Florida, Grantor and **LARRY J. SMITH and BETH R. SMITH, husband and wife** whose post office address is: 3050 HWY 441/27, Fruitland Park, FL 34731, Grantee,

Witnesseth, that the said Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), to it in hand paid by the said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee forever, the following described land, situate, lying and being in the County of Lake, State of Florida, to wit:

Begin 100 feet East of the Northwest corner of the South 1/2 of Block 15 of Fruitland Park, according to the Plat thereof as recorded in Plat Book 3, Page 9, of the Public Records of Lake County, Florida, and run thence South 4 feet, thence East 3 feet, thence South 12 feet, thence West 3 feet, thence South 178.5 feet, thence East 170 feet, thence North 194.5 feet, thence West 170 feet to the Point of Beginning, in Section 4, Township 19 South, Range 24 East.

Subject to taxes for the current year, covenants, restrictions and easements of record, if any.

Parcel Identification Number: 0919240400-015-00005

And the said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, the said Grantor has caused this instrument to be executed in its name by its duly authorized officer and caused its corporate seal to be affixed the day and year first above written.

WRIGHT HOLDINGS, LLC

Signed and Sealed in Our Presence:

By: [Signature]
NORMAN A. WRIGHT
Its: MANAGER

By: [Signature]
LINDA A. WRIGHT
Its: MANAGER

[Signature]
Witness Print Name: Lucy F Kinzer
[Signature]
Witness Print Name: J. ROBERT DUGGAN

(Corporate Seal)

State of Florida
County of Lake

The foregoing instrument was acknowledged before me this 13th day of August, 2007, by NORMAN A. WRIGHT and LINDA A. WRIGHT, who constitute all the MANAGER MEMBERS of WRIGHT HOLDINGS, LLC A corporation existing under the laws of the State of Florida, on behalf of the corporation. He/She is personally known to me or has produced [Signature] as identification.

[Signature] (Seal)
Notary Public
Notary Printed Name: _____
My Commission Expires: _____



CFN 2007121133
Bk 03504 Pg 04691 (1pg)
DATE: 09/07/2007 02:43:23 PM
JAMES C. WATKINS, CLERK OF COURT
LAKE COUNTY
RECORDING FEES 10.00
DEED DDC 542.50

Prepared by: / Return To
LUCY F. KINZER
Paradise Land Title Corporation
205 W. North Boulevard
Gainesburg, Florida 34748

File Number: 07-1995

Warranty Deed

Made this August 13, 2007 A.D. By **S. DALE ARROWSMITH and JUDY L. ARROWSMITH, husband and wife**, As to an Undivided One Half Interest whose address is: P.O. Box 1114, Fruitland Park, FL 34731, hereinafter called the grantor, to **LARRY J. SMITH and BETH R. SMITH, husband and wife**, whose post office address is: 3050 HWY 441/27, Fruitland Park, FL 34731, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Lake County, Florida, viz:

Begin 100 feet East of the Northwest corner of the South 1/2 of Block 15 of Fruitland Park, according to the Plat thereof as recorded in Plat Book 3, Page 9, of the Public Records of Lake County, Florida, and run thence South 4 feet, thence East 3 feet, thence South 12 feet, thence West 3 feet, thence South 178.5 feet, thence East 170 feet, thence North 194.5 feet, thence West 170 feet to the Point of Beginning, in Section 4, Township 19 South, Range 24 East.

Parcel ID Number: 0919240400-015-00005


Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2006.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

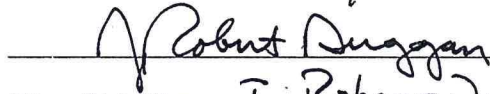
Signed, sealed and delivered in our presence:



Witness Printed Name Lucy F. Kinzer



S. DALE ARROWSMITH (Seal)
Address: P.O. Box 1114, Fruitland Park, FL 34731



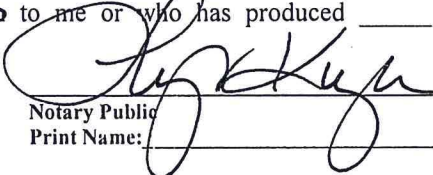
Witness Printed Name J. Robert Duggan



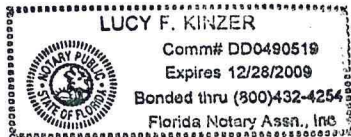
JUDY L. ARROWSMITH (Seal)
Address: P.O. Box 1114, Fruitland Park, FL 34731

State of Florida
County of Lake

The foregoing instrument was acknowledged before me this 13th day of August, 2007, by S. DALE ARROWSMITH and JUDY L. ARROWSMITH, husband and wife, who is/are personally known to me or who has produced _____ as identification.



Notary Public
Print Name: _____
My Commission Expires: _____



Select Language ▼

PROPERTY RECORD CARD

General Information

Owner Name:	SMITH LARRY J & BETH R TRUSTEES	Alternate Key:	1324378
Mailing Address:	8892 NE 90TH ST FRUITLAND PARK, FL 34731 Update Mailing Address	Parcel Number:	09-19-24- 040001500005
		Millage Group and City:	00F1 (FRUITLAND PARK)
		Total Certified Millage Rate:	17.8504
		Trash/Recycling/Water/Info:	My Public Services Map
Property Location:	206 EAST BERCKMAN ST FRUITLAND PARK FL 34731 Update Property Location	Property Name:	-- Submit Property Name
		School Locator:	School and Bus Map
Property Description:	FRUITLAND PARK BEG 100 FT E OF NW COR OF S 1/2 OF BLK 15, RUN S 4 FT, E 3 FT, S 12 FT, W 3 FT, S 178.5 FT, E 170 FT, N 194.5 FT, W 170 FT TO POB, BLK 15 PB 3 PGS 8-9 ORB 3504 PGS 468 & 469 ORB 5053 PG 869		
<p><small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small></p>			

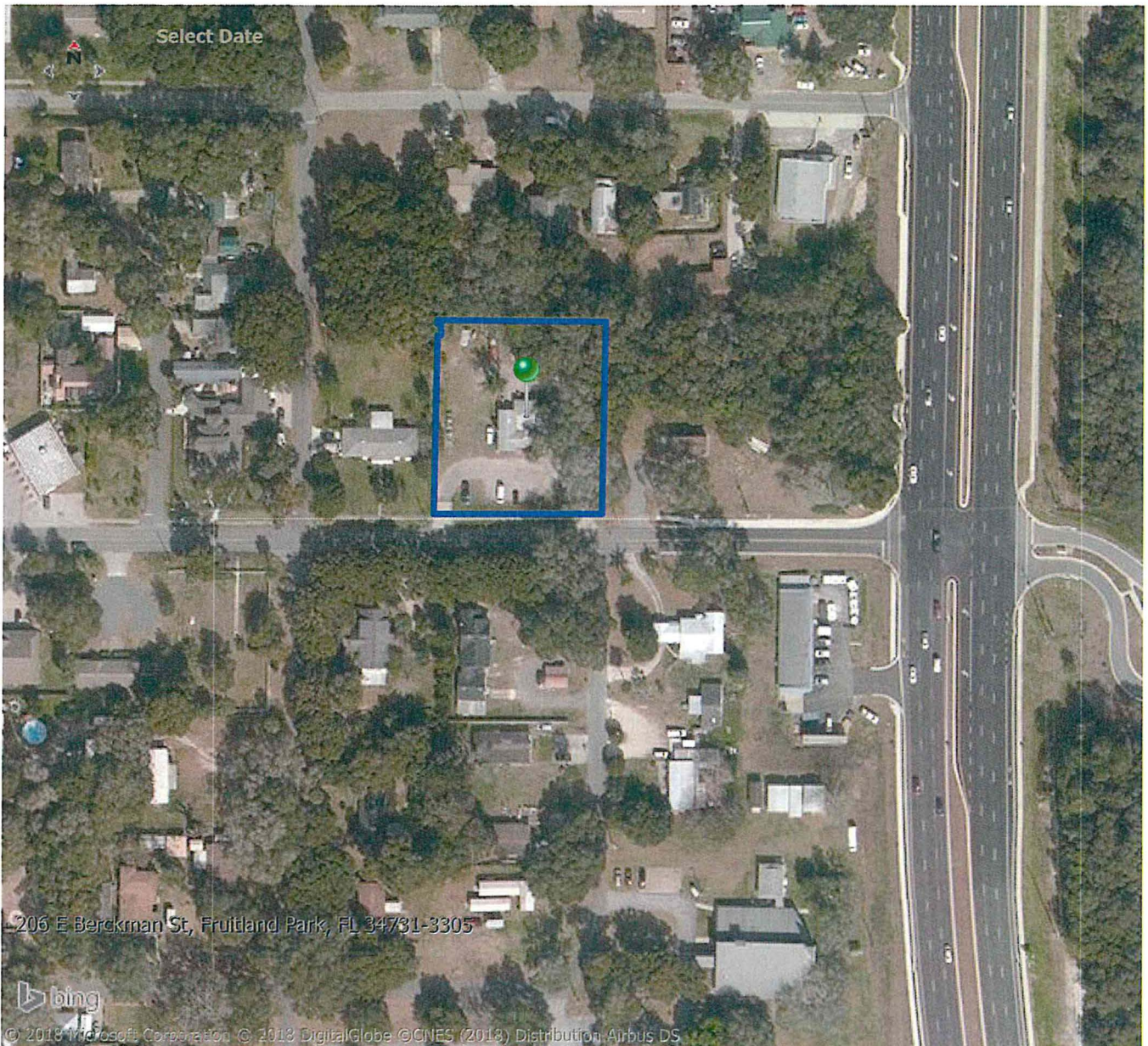
Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	SINGLE FAMILY (0100)	170	194		170	FF	\$0.00	\$33,660.00

Residential Building(s)

Building 001

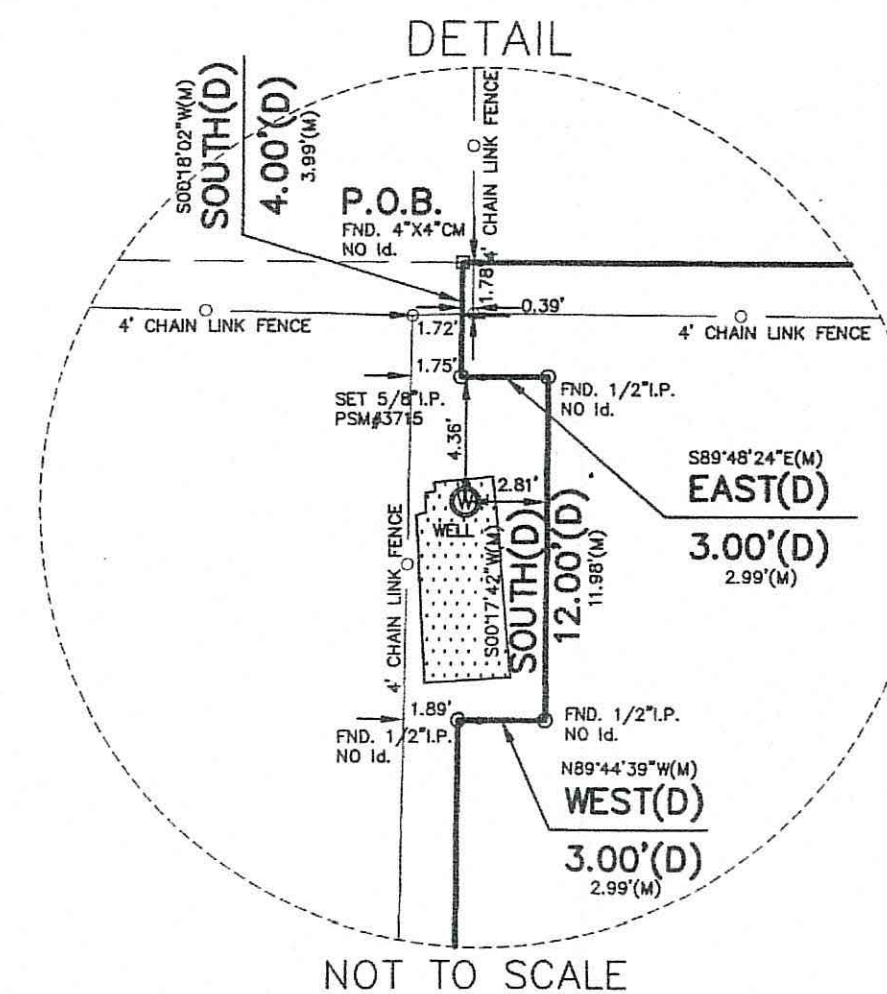
Residential	Single Family	Building Value: \$49,171.00						
Summary								
Year Built: 1947	Total Living Area: 1276	Central A/C: No	Attached Garage: Yes					
Bedrooms: 3	Full Bathrooms: 1	Half Bathrooms: 1	Fireplaces: 0					
<i>Incorrect Bedroom, Bath, or other information?</i>								
Section(s)								
Section No.	Section Type	Ext. Wall Type	No. Stories	Floor Area	Finished Attic	Basement	Basement Finished	Map Color
1			1	1276	N	0%	0%	



BOUNDARY SURVEY

DESCRIPTION

Begin 100 feet East of the Northwest corner of the South 1/2 of Block 15 of Fruitland Park, according to the Plat thereof as recorded in Plat Book 3, Page 9, of the Public Records of Lake County, Florida, and run thence South 4 feet, thence East 3 feet, thence South 12 feet, thence West 3 feet, thence South 178.5 feet, thence East 170 feet, thence North 194.5 feet, thence West 170 feet to the Point of Beginning, in Section 4, Township 19 South, Range 24 East.



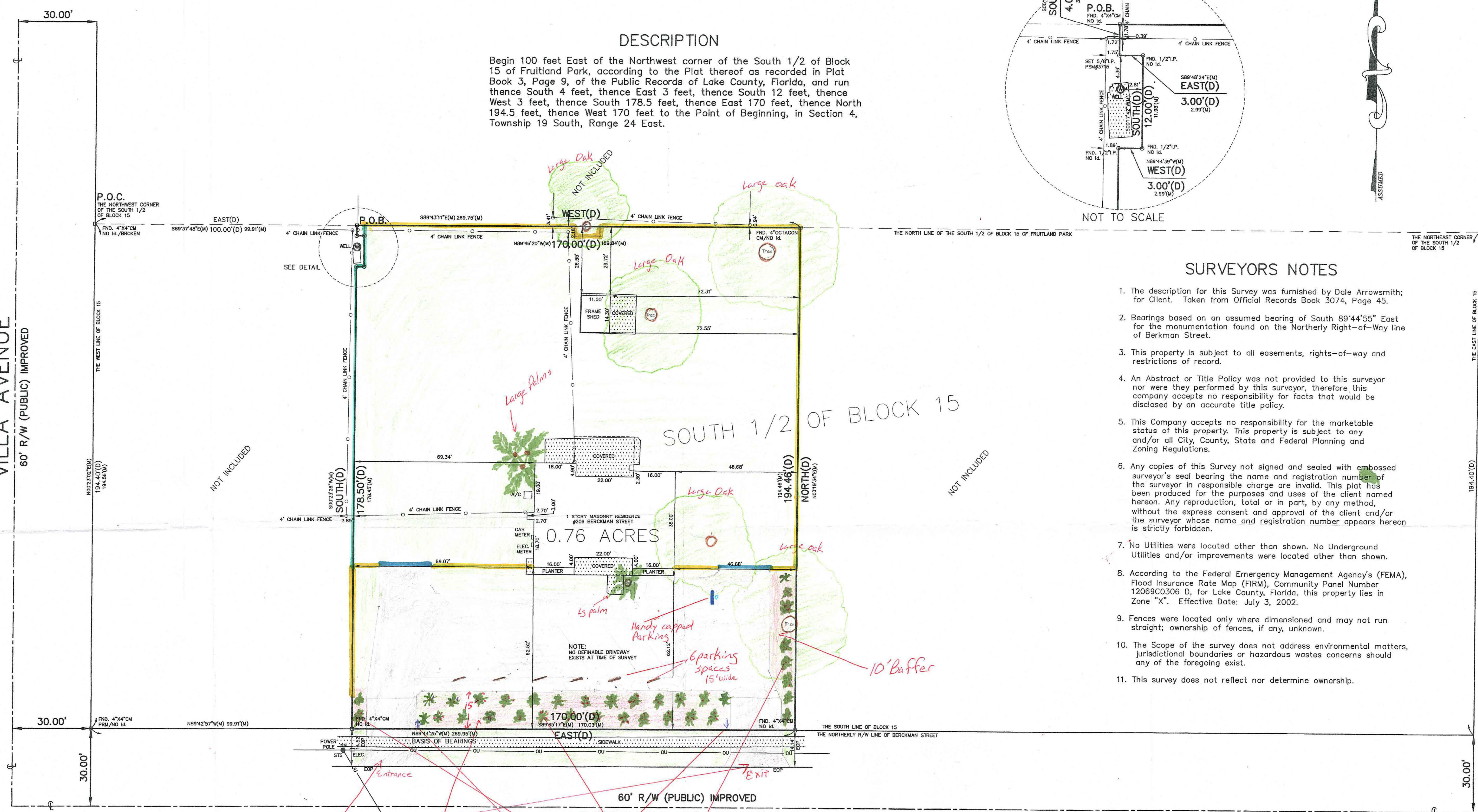
NOT TO SCALE

LEGEND/ABBREVIATIONS

- = PAVEMENT
- = CONCRETE
- E.O.P. = EDGE OF PAVEMENT
- ECR = EDGE OF CLAY ROAD
- Fnd. = Found
- C.M. = Concrete Monument
- I.P. = IRON PIN
- Disk = Surveyor's Nail and Disk
- (R) = radial
- STS = Sprint Telephone Service Box
- Elec. = Electrical Service Box
- Catv = Cable T.V. Service Box
- A/C = Air Conditioner
- SSS = Sanitary Sewer Stub
- L.B. = Licensed Business
- RLS = Registered Land Surveyor
- PSM = Professional Surveyor & Mapper
- PLS = Professional Land Surveyor
- ⊙ = Centerline
- R/W = Right-of-Way
- (P) = Plat
- (M) = Measured
- (C) = Calculated from record plat
- (D) = From Deed or Description
- Id. = Identification
- PRM = Permanent Reference Monument
- PCP = Permanent Control Point
- P.O.B. = Point of Beginning
- P.O.C. = Point of Commencement
- OU = Overhead Utility Lines

- 10' Vinyl Fence
- 6' Vinyl Fence
- Gates

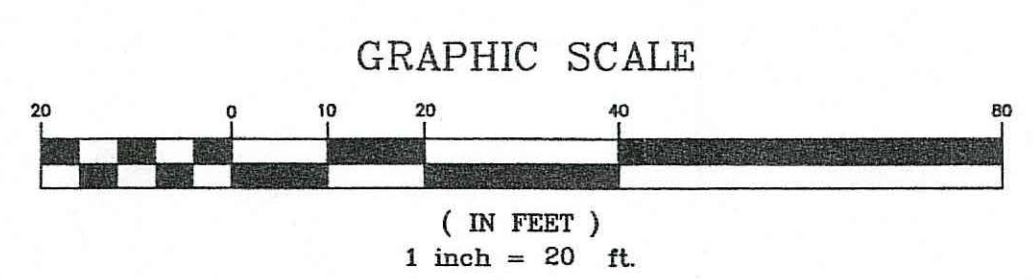
VILLA AVENUE
60' R/W (PUBLIC) IMPROVED



SURVEYORS NOTES

1. The description for this Survey was furnished by Dale Arrowsmith; for Client. Taken from Official Records Book 3074, Page 45.
2. Bearings based on an assumed bearing of South 89°44'55" East for the monumentation found on the Northerly Right-of-Way line of Berkman Street.
3. This property is subject to all easements, rights-of-way and restrictions of record.
4. An Abstract or Title Policy was not provided to this surveyor nor were they performed by this surveyor, therefore this company accepts no responsibility for facts that would be disclosed by an accurate title policy.
5. This Company accepts no responsibility for the marketable status of this property. This property is subject to any and/or all City, County, State and Federal Planning and Zoning Regulations.
6. Any copies of this Survey not signed and sealed with embossed surveyor's seal bearing the name and registration number of the surveyor in responsible charge are invalid. This plat has been produced for the purposes and uses of the client named herein. Any reproduction, total or in part, by any method, without the express consent and approval of the client and/or the surveyor whose name and registration number appears hereon is strictly forbidden.
7. No Utilities were located other than shown. No Underground Utilities and/or improvements were located other than shown.
8. According to the Federal Emergency Management Agency's (FEMA), Flood Insurance Rate Map (FIRM), Community Panel Number 12069C0306 D, for Lake County, Florida, this property lies in Zone "X". Effective Date: July 3, 2002.
9. Fences were located only where dimensioned and may not run straight; ownership of fences, if any, unknown.
10. The Scope of the survey does not address environmental matters, jurisdictional boundaries or hazardous wastes concerns should any of the foregoing exist.
11. This survey does not reflect nor determine ownership.

Existing Concrete Road Skirts
15' Buffer
One Way Signs
-74 Azales planted 30" apart to grow 4' to 5' tall
-All newly planted areas will have automated irrigation + weed matting under mulch.



Sheet 1 of 1

LB#6451
McGlohorn Land Surveyor Inc.
P.O. Box 490061
1501 AKRON DRIVE
Lakeland, Florida 34749
(352) 326-5088 fax (352) 326-2326



CLIENT: Larry J. & Beth R. Smith	REVISIONS
SURVEY DATE: July 13, 2007	
SCALE: 1" = 20'	
SMITH1924.DWG	
Checked by: T.M. Drawn by: E.S.	

Certified to:
Larry J. & Beth R. Smith

I hereby certify that this SURVEY was made under my responsible charge and meets the "Minimum Technical Standards" as set forth by the Florida Board of Professional Land Surveyors in Chapter 61G17-6, of the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Tolbert McGlohorn July 18, 2007
Tolbert McGlohorn P.S.M. #3715 DATE

**CITY OF FRUITLAND PARK
STAFF REPORT BY LPG URBAN & REGIONAL PLANNERS, INC.**

SSCPA AND REZONING

Owner: Larry Smith, Trustee

General Location: West of US 27/441 and north of Berckman

Number of Acres: 0.75 ± acres

Existing Zoning: Residential Professional (RP)

Proposed Zoning: Neighborhood Commercial (C-1)

Existing Land Use: Central Business District Mixed Use

Date: August 13, 2018

Description of Project

The owners are seeking a rezoning to Neighborhood Commercial (C-1) for the business administration/maintenance contractor office of Spa Kingdom in response to a Code Violation letter from the City. The land use allows for a maximum ISR of 80%. Review of the property tax card indicates the site is developed with approximately 2,764 sf of impervious surface which equates to 0.08%. No additional floor area or additional impervious surface is proposed.

	Surrounding Zoning	Surrounding Land Use
North	RP	Central Business District
South	RP	Central Business District
East	C-2	Central Business District
West	RP	Central Business District

Assessment

The proposed rezoning is compatible with the adjacent properties and is consistent with the land use category and comprehensive plan.

The applicant is offering a 15' buffer along Beckman Street, a 10' buffer along a portion of the eastern property boundary, a 6' vinyl fence along the remaining eastern and southern property boundary and a 10' vinyl fence along the western property boundary. The subject site is exempt from the non-residential design standards (25' buffer along East Berckman consisting of 5 canopy trees, 4 understory trees, and 30 shrubs per 100') since no expansion of the site is

requested pursuant to Chapter 154, Section 154.050. The proposed buffer widths offered do meet the C-1 district criteria. The applicant is proposing to provide shrub planting only within the vegetative buffers offered. Chapter 164.100 exempts the parcel from having to meet the landscape code since no additional impervious area or building expansion is proposed.

Adjustments to the proposed parking will need to be made as there appears to be insufficient width for a 2 way drive aisle as required by code unless the applicant proposes a 1 way entrance and a 1 way exit. The minimum # of parking spaces required is six (6). Please label and dimension the parking spaces on the site plan.

Recommendation

Please submit a signed and notarized Owner's Affidavit. Staff supports a solid vinyl fence in lieu of a 10' buffer along the properties, eastern and western property boundary and in lieu of a 15' buffer along the northern property boundary. Staff supports the additional vegetative planting along East Berckman and along the eastern portion of the site. Please revise the site plan as indicated above.

DRAFT