



506 WEST BERCKMAN STREET
FRUITLAND PARK, FL 34731

PHONE: 352/ 360-6727
FAX: 352/ 360-6652

Board Members: City Manager Gary La Venia, Chairman City Engineer Duane Booth City Land Planner Greg Beliveau Jeff Gerling, Building Official Judd Wright, Fire Inspector Tracy Kelley, CDD	Board Members: Chief Mike Fewless, Police Department, Vice Chair Chief Donald Gilpin, Fire Department Dale Bogle, Public Works Director Lori Davis, Code Enforcement
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AGENDA
TECHNICAL REVIEW COMMITTEE
AUGUST 7, 2018
10:00AM

- I. MEETING CALLED TO ORDER:**
- II. MEMBERS PRESENT:**
- III. MINUTES FROM PREVIOUS MEETING:** Approve meeting minutes from June 5, 2018 and Special TRC June 18, 2018
- IV. OLD BUSINESS: NONE**
- V. NEW BUSINESS:**
 - A. Westminister Services, Inc. Site Plan Application for Village Park Entrance Road Vacant Property (ALT Key 1287863)

Applicant requesting site plan approval to construct approximately 1,000' of entrance road to the Village Park development. The road way is proposed to be constructed in two phases

MEMBERS' COMMENTS:

ADJOURNMENT:



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MINUTES
TECHNICAL REVIEW COMMITTEE
JUNE 5, 2018
10:00AM

- I. MEETING CALLED TO ORDER:** Meeting called to order at 10:03AM
- II. MEMBERS PRESENT:** All board members present with the exception of Jeff Gerling, Building Official and Judd Wright, Fire Inspector.
- III. MINUTES FROM PREVIOUS MEETING:** Motion to approve May 1, 2018 meeting minutes by Lori Davis, Code Enforcement Officer. Second by Greg Beliveau, City Land Planner. Approved 8-0.
- IV. OLD BUSINESS:**
- A. IC International Car Wash Revised Major Site Plan Application with Variance Amendment; Vacant Property (ALT Key 1170621 & 1699754)

Planning Project Manager, Rick Hartenstein attended on behalf of applicant. Typographical error and page omission error noted by CDD Kelley. Planning Project Manager Hartenstein submitted the revised landscape plan and stated that the typographical error on the plans has since been corrected. The revised landscape plan has not yet been reviewed.

Property Owner Fruitland Park Holdings, LLC submitting a revised site plan application with a variance for the design standards for the one way isle width from twenty (24') feet to fourteen (14') feet for construction of a proposed car wash facility under the existing zoning land use of C-2 (General Commercial).

Regarding the variance request City Land Planner Beliveau asked if the City Fire Department had any comments regarding destabilization adjacent to the fourteen (14') foot lane width for fire purposes, which has been mentioned in prior. Planning Project Manager stated that it would not obstruct access in the event of an emergency. City Engineer Booth pointed out that the justification letter mistakenly stated that other cities had similar requirements as what is proposed. City Engineer Booth stated that other cities actually hold similar standards to what the City of Fruitland Park enforces. The justification letter states that Lake County allows for a fourteen (14') foot lane width, which City Engineer Booth states is incorrect, as Lake County requires twenty-two (22') foot lane width for 90 degree parking. Upon researching surrounding cities City Engineer Booth stated that one city did allow sixteen (16') foot for a one way drive with no parking. Planning Project Manager stated that the vacuum stalls were not classified as parking. CDD Kelley clarified that a space used to park and turn the car

off is classified as a parking space. City Engineer Booth agreed that the spaces in question are classified as parking stalls. City Engineer Booth states that the problem with the request is that NFPA 1 requires a twenty (20') foot unobstructed access. City Engineer Booth would like the City Fire Chief to make the determination on whether a curb is an obstruction. NFPA 1 also requires one-hundred fifty (150') foot max allowable space from access for backing up unless a turnaround area is provided. Fire Chief Gilpin questioned the Community Development Director as to whether we have any similar situations as what is being proposed currently located in the city. CDD Kelley stated not to best of knowledge. Fire Chief Gilpin stated that he would not recommend the variance as it will start a precedence for others to follow. Also, the City Fire Department will be purchasing a new ladder truck that will be larger than what is currently being utilized, which will make it harder to safely access the site in the event of an emergency. City Engineer Booth gave his experience with another municipality that required him to show the turn radius; fifty (50') foot outside; twenty (20') foot inside turning radius on a ladder truck. Planning Project Manager requested that he be able to show that the proposed turn radius will be effective. City Engineer Booth stated that he needed to utilize CAD to convey this to the City Fire Department. City Engineer Booth stated that he was concerned that the proposed project as-is would not be able to meet the twenty (20') foot unobstructed access as defined in NFPA 1 and is seeking advisement of the City Fire Department. Chief Gilpin stated that it would depend on the specs of the truck being purchased. Planning Project Manager stated that they would comply with worst case scenario which would be the largest truck proposed to be purchased. City Land Planner Beliveau stated that he has utilized the CAD program's time elapse software to confirm compliance, which resulted in approval. Planning Project Manager stated that they would be able to move the curb over to allot for more space to make a stabilized surface and change the width to comply with the unobstructed accessible route requirement. City Engineer Booth recommended that Planning Project Manager look up NFPA 1, which CDD Kelley stated that she would provide the referenced sections. City Engineer Booth asked Fire Chief Gilpin if a curb is considered an obstruction and if the fire truck can drive over the curb. Fire Chief Gilpin stated that he would review. Planning Project Manager stated that he may be able to move the curb. City Manager La Venia asked for any further comments. CDD Kelley provided the referenced chapters of NFPA 1; Section numbers 18, 2, 3, 5, 1, 1. Public Works Director Bogle made the comment that the lift station belongs to the developer and the City will not be responsible for maintenance. City Manager La Venia stated that the same would apply to the Village Park Development as well. Brett Tobias, BESH Engineering, noted that they have not yet seen a response addressing some of the comments made. Mr. Tobias referenced the easements shown in the resubmittal on the reciprocal easement agreement. Mr. Tobias noted that the drainage plans were not clear; cannot tell where the pipe is in relation to the easement. Mr. Tobias needs clarification that none of the piping on the plans are located outside of the easement. Mr. Tobias did say that the agreement is that the piping will be maintained by the owner of the property where it is located and wanted to make sure that the plans are completely clear to who owns which section of the piping to avoid future conflict of maintenance responsibilities. Planning Project Manager stated that the storm pipe will be maintained by the developer regardless of location. City Engineer Booth requested that this be noted on the plans. CDD Kelley asked if another formal TRC meeting would be required for this project since there are still some concerns. City Engineer Booth stated that there are revised plans as well as comments that need to be reviewed but another formal TRC is not required. City Engineer Booth stated that if the City Fire Department is satisfied regarding the width of the aisles then the City Engineering Service will be satisfied as well. Once the fire review is completed and accepted, the revisions will move forward to further review. City

Manager La Venia recommended that the development move forward to Planning and Zoning. Planning Project Manager requested a timeline. Revisions to be in by the week of the 18th-22nd of June to prepare for July 19th Planning and Zoning. No further comments.

V. NEW BUSINESS:

- A. Lake Saunders Groves Land, LLP Planned Development Application; Vacant Property (ALT Key 1284805, 1284511, 1284503, 1284490, 3883988, 1771625, 1771617, 1284821)

Applicant requesting Ordinance 2006-013 and Exhibit B of the Ordinance to be extended under the PUD zoning

Jimmy Crawford, Esq, in attendance to represent Lake Saunders Grove development application. Attorney Crawford respectfully disagrees with the opinion that the development needs to start from the beginning. Attorney Crawford stated that their developer gave the City a utility easement and met with the former CDD (Charlie Rector) and was assured that the PUD would have no problem going through; now the applicant is applying to renew or extend the PUD. Attorney Crawford believes that under the existing PUD, Section 33 states that it expires in 10 years unless the term is extended by mutual consent of the city and the owner/developer is subject to a public hearing. Whether that means that it has to be extended before the expiration date or not is a question for the City Attorney or the City Manager. City Land Planner Beliveau stated that in his opinion that it means prior to the expiration date. Attorney Crawford disagrees with that opinion and believes that the City Council should come to a conclusion with consideration from the City Attorney and City Manager. Attorney Crawford requests that the PUD be renewed under Section 33 and if it cannot, Attorney Crawford does not agree with the comment that a new preliminary plan must be submitted. The PUD Ordinance in Chapter 154 of the LDRs states that if the applicant so chooses, a conceptual plan may be submitted prior to the rezoning period. City Land Planner Beliveau adds that it also says City Council may require additional information. City Land Planner Beliveau recommended the development set up a workshop up front to convey their objective to the City prior to the hearing process. Attorney Crawford stated that his client may regret giving the City an easement. City Manager La Venia stated that the easement agreement benefits the client as City sewer services are available immediately upon developing the property, but ERU (equivalent residential unit) credits toward impact fees are agreed upon as well. A contracted appraisal is being afforded by the City as well, which is beneficial to the client. A previous verbal agreement that may have been made does not exempt the developer from following the proper approval process. Attorney Crawford's client is not looking to develop the property, but to sell the property. A professional marketer has it listed, but it cannot be pushed until the property zoning is clarified. Attorney Crawford mentioned that starting the project over may push them to consider straight zoning, rather than the PUD. City Land Planner Beliveau stated the City would seek advisement from the City Attorney and that a bubble plan is not recommended as it may delay the entire process. Attorney Crawford stated that upon selling the property, another developer would go through the entire PUD process before developing the property, regardless of the outcome of the process completed by the current owners. Attorney Crawford would rather extend the existing PUD than start the process completely over. City Land Planner Beliveau will seek City Attorney advisement before moving forward. Attorney Crawford stated that the owners are not in a predicament where the project is under a time constraint, but they do not want to allocate the funds design a subdivision that will not be built, as the property will be sold regardless. Straight zoning may be an option since any new developer would need to appear before council with a new

June 5, 2018 TRC Meeting Minutes Continued

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development application. City Manager La Venia stated that a PUD would be ideal. Attorney Crawford would like to present his PUD extension request for hearing before making any other development decisions. City Land Planner Beliveau stated that there are ideal options

available regardless of the outcome of the request. Attorney Crawford stated that the PUD allows for 6 acres of municipal use, whether it is use for a sewer plan or not. Attorney Crawford will await the City Attorney's advisement.

B. Village Park Campus of First Baptist Church of Leesburg Major Site Plan Application

Major Site Plan application for Phases 1 & 2 for First Baptist Church of Leesburg with associated parking and storm water management system to include a variance from Section 162.060 – a.3.C.ii – the 2 foot grass overhang requirement for the 163 vehicle parking spaces that adjoin the sidewalk

Jeff Head, P.E., Farnar Barley & Associates Inc, is in attendance to represent Village Park Major Site Plan Application. Mr. Head is in receipt of comments from the City, as well as Lake County. CDD Kelley stated the corresponding documents from the Westminister's Engineer (Greg Crawford, FL Engineering Group) were received after the agenda packet was complete and a copy was given to Board Members today merely to make the Board aware of the correspondence. CDD Kelley stated that Public Works has not had a chance to review or address the documents yet as they were only received late yesterday. An agreement in the form of a bond pertaining to sidewalk construction has been proposed to avoid reconstructing the sidewalk upon the development of each parcel. Lake County comments address the requirement of a new traffic analysis. City Engineer Booth asserted that all new comments must be reviewed and approved. A contingency approval may be given to the church since construction will have to be started to access other parts of the property. Though there are two projects to be developed simultaneously, a permit cannot be issued for the second project (Westminister Properties) until the approval process is completed. In reference to the parking variance, the code makes a reduction possible by leaving spaces unpaved, which is unlikely. Mr. Head interprets the code to say that a variance is not required, but will request a variance if necessary. City Land Planner Beliveau stated that there are two conflicting sections in the code concerning specific parking requirements. City Engineer Booth stated that the dimensions section requires ten (10') feet by twenty (20') feet parking spots. The same section, part B, also reads specific requirements for reduced length. Designers are encouraged to reduce paved areas by reducing the length of standard parking spaces to eighteen (18') feet of pavement with two (2') feet of grassed overhang area. This will reduce the impervious surface ratio. Wheel stops shall be installed at least thirty (30") inches from an adjacent sidewalk, fence, wall or hedge if required. The stops shall be of the standard concrete curb, or other appurtenance or design feature that keeps a vehicle from obstructing a sidewalk or making contact with a wall, hedge or fence. A sidewalk adjacent to a building may be used for vehicle overhang if the sidewalk is not less than seven (7') feet wide. Section 162.060 (G) reads: wheel stops shall be installed at least thirty (30") inches from an adjacent sidewalk, fence, wall or hedge if required. The stops shall be of the standard concrete curb or other appurtenance or design feature that keeps a vehicle from obstructing a sidewalk or making contact with a wall, hedge or fence. A sidewalk adjacent to a building may be used for vehicle overhang if the sidewalk is not less than seven (7') feet wide. City Engineer Booth questions if this section can be interpreted to reduce the width of the parking stall provided the five (5') feet accessibility is met; though this section is specifically for wheel stops, curbing, and speed bumps. City Engineer Booth is unsure if a determination can be made

June 5, 2018 TRC Meeting Minutes Continued

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regarding the variance request based on how the code reads. City Land Planner Beliveau states that his position is that the intent allows the parking stall to be the equivalent of twenty (20') feet, including the two (2') feet overhang area if the sidewalk exceeds five (5') feet. City Engineer Booth questioned that since the parking stall does not have to be all asphalt, can the two (2') feet of sidewalk be included in the required twenty (20') feet? City Land Planner Beliveau answered with yes. Mr. Head stated that the impervious surface ratio would

be the same either way. Mr. Head stated that wheel stops are unfavorable and the two (2') feet strip would be hard to maintain as well as unaesthetic. The seven (7') foot proposed sidewalk is raised with its own wheel stop, it is a nice clean look. City Land Planner Beliveau knows that the width has to be twenty (20') feet. A case by case basis is proposed. City Engineer Booth stated that the flush sidewalk, if a wheel stop is not included, someone could pull onto the sidewalk and block the accessible route. Mr. Head with make sure a vehicle cannot pull onto the sidewalk. City Manager La Venia stated that as long as the conditions are met a car cannot pull onto the sidewalk. **City Engineer Booth only remaining comment is that the other set of plans needs to be reviewed prior to starting the project, the applicant can move forward with conditional approval.** City Land Planner Beliveau asked if there was an agreement for golf cart access. Mr. Head stated that the church chose not to request golf cart access. City Land Planner Beliveau stated that the easements are visible on the plans, but does not allow golf cart access; if golf cart access is wanted, now would be the time to ask for those provisions as it would be very favorable for the church. CDD Kelley stated that this may make them drive on the sidewalk if access is not allowed. Mr. Tobias stated that they would revise their letter to the City recommending conditional approval upon the approval of the newest revised submittal. An application has not been received for the rear development (Westminister Properties), just a set of construction plans. CDD Kelley did convey that concern with the applicant, if the plans are submitted, the completed application needs to be submitted as well to avoid partial reviews. Mr. Head questioned if a variance needed to be filed and CDD Kelley answered no. Per CDD Kelley project will be moved forward to the July 19th Planning & Zoning meeting with the conditional approval.

MEMBERS' COMMENTS: No further Comments

ADJOURNMENT: Meeting adjourned at 11:00AM



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**SPECIAL TRC
MEETING MINUTES
JUNE 18, 2018
10:00AM**

- I. MEETING CALLED TO ORDER:** Meeting called to order at 10:06AM.
- II. MEMBERS PRESENT:** All members present with the exception of Jeff Gerling, Building Official; Judd Wright, Fire Inspector; Lori Davis, Code Enforcement; Vice Chair Chief Mike Fewless, Police Department; and Chief Donald Gilpin, Fire Department.
- III. MINUTES FROM PREVIOUS MEETING:** Special TRC Agenda does not include meeting minutes from June 5, 2018.
- IV. OLD BUSINESS: None**
- V. NEW BUSINESS:**
 - A. The Glen – PH 10 Final Plat Application

Applicant Michel Moukhtara – A. A. Moukhtara Company requesting approval of the Modification of Developer’s Agreement and Final Plat approval for Phase 10 of The Glen Subdivision currently under construction.

Jason Hurley, P. E., Springstead Engineering; Michel Moukhtara and Sayed Moukhtara of A.A. MOUKHTARA CO, INC. were in attendance to represent The Modification of Developer’s Agreement and The Glen PH 10 - Final Plat application submittal. Engineer Hurley would like to discuss the Plat Review Checklist and comments from BESH Engineering. Engineer Hurley stated they received notice from the surveyor that all record monuments are in and would like to know if a letter certifying approval is still required. City Engineer Booth stated yes, a certification letter is required. Engineer Hurley is in possession of a revised sheet prepared for resubmittal. Engineer Hurley stated that Item 28 refers to another checklist in the plat requesting certification from City Commission that they are in acceptance of the dedications. Engineer Hurley wants to make sure there are no partial acceptances. City Engineer Booth stated that there are two checklists, Chapter 177 F.S. and the City Code (Land Development Regulations). City Engineer Booth states that the entirety is not needed in the certification block on the plat, but the certification block still needs to note that it has been accepted. Public Works Director Bogle questioned inspection requirements for septic. City Engineer Booth stated that Lake County Environmental Health completes the inspection of all septic tanks. City Engineer Booth stated that amount of the bond has been approved, but the language has been submitted to the City Attorney for approval. Engineer Hurley stated that CDD Kelley specified in an email that the bond would be reviewed again with the survey. CDD Kelley stated this comment came from the City Attorney. City Engineer Booth stated the legal description needs the required language.

Engineer Hurley stated a revised legal description has been added, and it does not change the property, but does have additional required language. City Engineer Booth stated this language makes it clear there are no gaps and overlaps and this plat is abutting other plats. CDD Kelley stated the City Attorney's other comment was to make sure "Exhibit A" is included in the covenant. Engineer Hurley stated they would submit the revised "Exhibit A." Engineer Hurley stated that several other comments are pending the approval of this plat. Engineer Hurley asked when Springstead Engineering would be notified of the acceptance of the draft to be able to request the mylar. CDD Kelley stated she would send notification once all required documents have been submitted. Once this is complete, the documents will be recirculated for review. CDD Kelley stated while an additional TRC meeting is not required, City Commission will not be asked to conditionally approve a draft, but will seek final approval. City Engineer Booth stated the final mylar needs to be signed and notarized prior to the Commission meeting. Typically record plats are a consent agenda and the mayor will sign the plat during the scheduled Commission meeting once approved. City Planner Beliveau stated the Modification of the Developer's Agreement will need to be approved prior to final plat. Engineer Hurley questioned the deadline. CDD Kelley stated the Modification of the Developer's Agreement is scheduled to go before the Planning and Zoning Board June 21, 2018; City Commission First Reading June 28th, 2018; City Commission Final Reading July 12, 2018. City Land Planner Beliveau stated the Modification of the Developer's Agreement has to be heard twice. The plat does not require a 2nd reading, but the Modification of the Developer's Agreement is an ordinance which requires two readings. The Modification of the Developer's Agreement has to be heard before the plat. The plat will be on the agenda for July 12, 2018 also. The City Clerk will hand deliver the plat to Lake County Clerk of Courts for recording the next day. The Agreement was executed in October by the previous Community Development Director in error since it was never brought before City Commission to be adopted. This is basically an amendment to the PUD, which is why it goes through the same process as the PUD, which is a two hearing process. Michel Moukhtara questioned if they would be allowed special consideration since it was not a fault of their own. City Land Planner Beliveau stated that this is why we are at this special TRC meeting today. The Modification of the PUD is heard first, and the plat is a follow-up since it is referenced in the Agreement. All future phases rely on this document. Once the Modification of the Developer's Agreement is adopted, that is the last time it has to be heard. Each phase does not need to repeat the same process as the Modification of the Developer's Agreement. CDD Kelley stated while the Agreement does not have to be heard again, each plat will need to be heard for future phases. A letter was requested by Michel Moukhtara to satisfy obligations of development. CDD Kelley stated the City would be glad to draft a letter to Maronda Homes stating the Modification of the Developer's Agreement is in the process of approval with a timeline, which was offered previously. City Engineer Booth recommended the recording fees are paid in advance for the recording of the plat and the Modification of the Developer's Agreement. The applicant can check with the Lake County Clerk of Courts to find out the cost of recording in advance. City Engineer Booth recommended CDD Kelley check with the City Attorney to see if the bond is required to be recorded as well. In regards to the Engineer's inspection for the completion of improvement, Engineer Hurley stated Springstead Engineering is waiting on signage and striping. Engineer Hurley inquired if a date for the inspection is required. City Engineer Booth stated the Public Works Director would notify them when the time is right. Public Works Director Bogle will make a site visit this afternoon though the signage and striping are not complete. In regards to the required playground equipment, CDD Kelley stated the plans have yet to be submitted. Sayed Moukhtara stated this request will be met prior to the Final Plat hearing. Playground plan approval from the Community Development Department is required prior to installation per CDD Kelley. The agreement states the playground equipment will be commercial recreational park grade consisting of swing sets, slides, jungle gym climbs, benches, wood mulch, and surrounded by a 48" black vinyl coated chain-link fence with gate. The

playground equipment will be a minimum of \$30,000 hard investment cost, not including fence, gate, mulch, and install cost. Per City Engineer Booth if it is an improvement in the subdivision, the City will either need it installed prior to recording the plat or a payment performance bond prior to recording the plat. Engineer Hurley stated that PH 13 is the plat that we are referring to concerning the completion of the road. City Engineer Booth then stated that since the playground is not in PH 10, the installation needed to be complete before the completion of PH 13. City Planner Believeau clarified the graphic is what is required at the time of the City Commission on June 28, 2018. City Manager La Venia interpreted the graphic is a conceptual drawing of the required playground. CDD Kelley stated prior to Community Development Department approval, the drawing is to be reviewed by Recreation Department Director Michelle Yoder. City Land Planner Believeau stated there is another problem the developer needs to be aware of that will arise during the public hearing; the language in the agreement reads “if the owner intends on completing the original development as was approved by the City Commission...” The original project was approved with no curbs and gutters. City Manager La Venia stated since the project was originally approved without the curbs and gutters, it cannot be changed in retrospect. City Land Planner Believeau stated the requirement of gutters and curbing has been in city design standards since 1999 so he is unsure why it was not included in the original project. The position of Community Development Director has changed over the years, which contributed to the change in how the reviews were completed and the variation in requirement enforcement. CDD Kelley stated under her direction, the Community Development Department will enforce all adopted Land Development Regulations. City Manager La Venia stated the previously mentioned requested letter will be sent to the project Engineer. CDD Kelley stated the Planning and Zoning Meeting is scheduled for Thursday, June 21, 2018, which is a recommending board only. City Engineer Booth stated typically the plat is heard once during City Commission. The PUD Agreement will be required to be heard at the Planning and Zoning Meeting as well as two City Commission Meetings. CDD Kelley stated the plat will be removed from the Planning and Zoning agenda. Engineer Hurley questioned if a representative’s presence is required at the Planning and Zoning Meeting for the Ordinance pertaining to the Developer’s Agreement. CDD Kelley stated a representative is recommended. City Engineer Booth stated a representative would be able to better explain the history of the project. CDD Kelley stated a home was built on the lot that was set aside for the playground in the original Developer’s Agreement. Michele Moukhtara stated the original agreement called for two playgrounds but the City has since agreed upon a single playground as outlined. CDD Kelley stated the outlined playground is to be placed beside the Wingspread Subdivision gate, which is an ideal location for access.

MEMBERS’ COMMENTS: No additional comments.

ADJOURNMENT: 10:37AM

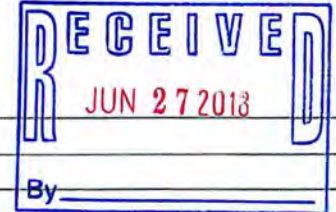


City of Fruitland Park, Florida
Community Development Department
 506 W. Berckman St., Fruitland Park, Florida 34731
 Tel: (352) 360-6727 Fax: (352) 360-6652
 www.fruitlandpark.org

Staff Use Only

Case No.: _____
 Fee Paid: _____
 Receipt No.: _____

Development Application



Contact Information:

Owner Name: Westminster Services, Inc.
Address: 80 W. Lucerne Circle, Orlando, FL 32801
Phone: 407-839-5050 **Email:** rchampany@wservices.org

Applicant Name: Westminster Services, Inc.
Address: 80 W. Lucerne Circle, Orlando, FL 32801
Phone: (407) 839-5050 **Email:** rchampany@wservices.org

Engineer Name: Gregory R. Crawford, P.E.
Address: 5127 S. Orange Avenue, Suite 200, Orlando, FL 32809
Phone: 407-895-0324 **Email:** Gcrawford@feg-inc.us

Property and Project Information:

PROJECT NAME*: Village Park - Entrance Road
 *A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: Fruitland Park, FL 34731

Parcel Number(s): 05-19-24-0003-000022-00-000F **Section:** 05 **Township:** 19 S **Range:** 24 E

Area of Property: 59.96 Acres **Nearest Intersection:** C-468 (Rose Avenue)

Existing Zoning: PUD **Existing Future Land Use Designation:** PUD

Proposed Zoning: N/A **Proposed Future Land Use Designation:** N/A

The property is presently used for: Vacant

The property is proposed to be used for: Commercial, residential, institutional

Do you currently have City Utilities? Yes

Application Type:

- | | | | |
|---|--|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Construction Plan | <input type="checkbox"/> ROW/Plat Vacate |
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Replat of Subdivision | |

Please describe your request in detail: To construct approximately 1,100 feet of entrance road to the Village Park development.

Required Data, Documents, Forms & Fees

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Signature:  Date: 6.26.13

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.



Development Application Checklist

The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd)
- Current Deed
- Aerial Photo
- Property Appraiser Information
- Electronic Copy of Application
- Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through www.lakecountyfl.gov/maps/. Note: All maps are required to depict adjacent properties at a minimum.

Failure to provide adequate maps may delay the application process.

Other Required Analyses and Maps:

Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment
- Environmental Constraints Map
- Requested FLU Map

Large Scale Comprehensive Plan Amendment Applications:

- Maps: Environmental Constraints Soils Requested FLUM Designation Requested Zoning Map Designation
- Analyses: Environmental Assessment Utility Availability Analysis Urban Sprawl Analysis School Impact Analysis
- Traffic Impact Analysis Consistency with the Comp Plan Florida Master Site File sign-off or Archaeological Survey

- Rezoning Applications: Requested Zoning Map Justification for Rezoning

Planned Development Applications:

- Maps/Plans: Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G Environmental Constraints
- Analyses: Environmental Assessment Traffic Impact Analysis Preliminary Concurrency Analysis

- Variance Applications: Justification for Variance

- Special Exception Use Applications: Justification for Special Exception Use
- Site Sketch List of Special Requirements as Described in LDRs, Chapter 155

- Conditional Use Permit Applications: Proposed List of Conditions and Safeguards
- Site Plan as Described in LDRs, Chapter 155 Written Statement as Described in LDRs, Chapter 155

- Subdivision Applications: As Described in LDRs, Chapter 157
(Preliminary Plan, Improvement Plan and Final Plat)

- Minor Subdivision Applications: As Described in LDRs, Chapter 157

- Site Plan Applications: As Described in LDRs, Chapter 160

OWNER'S AFFIDAVIT



STATE OF FLORIDA

COUNTY OF LAKE

Before me, the undersigned authority, personally appeared _____

Rex Champany, who being by me first duly sworn on oath, deposes and says:

- 1) That he/she is the fee-simple owner of the property legally described on page two of this application.
2) That he/she desires Site Plan Approval to allow The construction of the entrance road to the Village Park development.
3) That he/she has appointed Gregory R. Crawford, P.E., Florida Engineering Group, Inc. to act as agent in his/her behalf to accomplish the above. The owner is required to complete the Applicant's affidavit of this application if no agent is appointed to act in his/her behalf.

[Handwritten signature]
Affiant (Owner's signature)

Signed and sworn to (or affirmed before me on June 27, 2018

(date) by Rex Champany (name of affiant).

He/she is personally known to me or has produced

(type of identification) as

identification.

Marcia L Johnson (Signature of Person Taking Acknowledgment)

Marcia L Johnson (Name of Acknowledger Typed, Printed or Stamped)

Insurance Coordinator (Title or Rank)

(Serial Number, if any)



Marcia L. Johnson
Notary Public, State of Florida
My Comm. Expires Mar. 6, 2022
Commission No. GG 179726

(NOTARY'S SEAL)

LEGAL DESCRIPTION:
(WRITTEN BY SURVEYOR)

That land lying in Sections 5 and 8, Township 19 South, Range 24 East, Lake County, Florida, described as follows:

Commence at the Northeast corner of Villages of Fruitland Park Unit No. 27, according to the plat thereof as recorded in Plat Book 66, Page 42, Public Records of Lake County, Florida, also being a point on the South right of way line of County Road 466-A; thence run S89°14'18"E along said South right of way line, a distance of 739.12 feet for the Point of Beginning; thence continue S89°14'18"E along said South right of way line, a distance of 150.00 feet to a point on a non-tangent curve, concave to the Southeast, having a radius of 25.00 feet; thence from a radial bearing of S00°45'42"W, run Southwesterly along the arc of said curve through a central angle of 90°11'04", an arc distance of 39.35 feet, having a chord bearing of S45°40'10"W and a chord distance of 35.41 feet; thence run S00°34'38"W, a distance of 326.78 feet to the beginning of a curve concave to the West, having a radius of 800.07 feet; thence run Southwesterly along the arc of said curve through a central angle of 28°31'01", an arc distance of 398.20 feet, having a chord bearing of S14°50'08"W and a chord distance of 394.11 feet; thence run S89°25'04"E, a distance of 351.07 feet; thence run S00°34'38"W along the East line of the Southwest 1/4 of the Southwest 1/4 of said Section, a distance of 530.06 feet to the Southeast corner of said Southwest 1/4 of the Southwest 1/4 of Section 5; thence run S89°39'42"E along the North line of the Northeast 1/4 of the Northwest 1/4 of Section 8, a distance of 1330.49 feet to the Northeast corner of the Northeast 1/4 of the Northwest 1/4 of said section 8; thence run S00°44'42"W along the East line of said Northeast 1/4 of the Northwest 1/4 of Section 8, a distance of 1343.27 feet to the Southeast corner of said Northeast 1/4 of the Northwest 1/4 of Section 8; thence run N89°40'49"W along the North line of the Southeast 1/4 of the Northwest 1/4 of said Section 8, a distance of 1331.19 feet to the Southwest corner of said Northeast 1/4 of the Northwest 1/4 of Section 8; thence run S00°46'31"W along the West line of said Southeast 1/4 of the Northwest 1/4 of Section 8, a distance of 917.29 feet; thence run N48°08'07"W, a distance of 53.49 feet to the beginning of a curve concave to the Northeast, having a radius of 353.53 feet; thence run Northwesterly along the arc of said curve through a central angle of 48°53'35", an arc distance of 301.68 feet, having a chord bearing of N23°41'20"W and a chord distance of 292.61 feet; thence run N00°45'27"E, a distance of 83.40 feet to the beginning of a curve concave to the Southwest, having a radius of 301.31 feet; thence run Northwesterly along the arc of said curve through a central angle of 93°13'50", an arc distance of 301.31 feet, having a chord bearing of N45°51'28"W and a chord distance of 437.95 feet; thence run N00°46'26"E, a distance of 277.84 feet; thence run S89°40'53"E, a distance of 381.67 feet; thence run N51°10'07"E, a distance of 62.26 feet to a point on a non-tangent curve concave to the Southeast, having a radius of 131.00 feet; thence from a radial bearing of N71°59'15"E, run Northeasterly along the arc of said curve through a central angle of 99°12'01", an arc distance of 226.81 feet, having a chord bearing of N31°35'16"E and a chord distance of 199.52 feet; thence run N02°20'25"E, a distance of 188.36 feet; thence run N02°26'46"W, a distance of 65.30 feet; thence run N06°23'37"W, a distance of 34.32 feet; thence run N51°52'42"W, a distance of 176.94 feet; thence run N48°08'57"W, a distance of 103.47 feet; thence run S86°42'49"W, a distance of 212.31 feet; thence run N00°47'50"E, a distance of 251.35 feet; thence run S89°12'10"E, a distance of 9.70 feet; thence run N00°43'00"E, a distance of 231.45 feet; thence run S89°17'00"E, a distance of 132.92 feet; thence run N26°11'59"W, a distance of 109.71 feet to the beginning of a curve

concave to the Southwest, having a radius of 439.44 feet; thence run Northwesterly along the arc of said curve through a central angle of $19^{\circ}00'15''$, an arc distance of 145.75 feet, having a chord bearing of $N35^{\circ}28'37''W$ and a chord distance of 145.09 feet to a point of reverse curvature of a curve concave to the Northeast, having a radius of 539.33 feet; thence run Northwesterly along the arc of said curve through a central angle of $22^{\circ}52'42''$, an arc distance of 215.36 feet, having a chord bearing of $N33^{\circ}32'23''W$ and a chord distance of 213.93 feet to a point of reverse curvature of a curve concave to the Southwest, having a radius of 50.00 feet; thence run Northwesterly along the arc of said curve through a central angle of $56^{\circ}39'08''$, an arc distance of 49.44 feet, having a chord bearing of $N50^{\circ}25'36''W$ and a chord distance of 47.45 feet to a point of reverse curvature of a curve concave to the East, having a radius of 131.00 feet; thence run Northerly along the arc of said curve through a central angle of $172^{\circ}57'28''$, an arc distance of 395.45 feet, having a chord bearing of $N07^{\circ}43'34''E$ and a chord distance of 261.51 feet; to a point of reverse curvature of a curve concave to the Northwest, having a radius of 50.00 feet; thence run Northeasterly along the arc of said curve through a central angle of $62^{\circ}53'01''$, an arc distance of 54.88 feet, having a chord bearing of $N62^{\circ}45'47''E$ and a chord distance of 52.16 feet to a point of compound curvature of a curve concave to the West, having a radius of 700.07 feet; thence run Northeasterly along the arc of said curve through a central angle of $30^{\circ}44'39''$, an arc distance of 375.65 feet, having a chord bearing of $N15^{\circ}56'57''E$ and a chord distance of 371.16 feet; thence run $N00^{\circ}34'38''E$, a distance of 327.27 feet to the beginning of a curve concave to the Southwest, having a radius of 25.00 feet; thence run Northwesterly along the arc of said curve through a central angle of $89^{\circ}48'55''$, an arc distance of 39.19 feet, having a chord bearing of $N44^{\circ}19'49''W$ and a chord distance of 35.30 feet to the Point of Beginning.

Contains 59.956 Acres, more or less.

Prepared by and return to:
Robert Q. Williams
Williams, Smith & Summers
380 West Alfred Street
Tavares, FL 32778
352-343-6655
File Number: 17380

[Space Above This Line For Recording Data]

Special Warranty Deed

This Special Warranty Deed made this 25 day of May, 2018 between **First Baptist Church of Leesburg, Inc.**, a Florida not-for-profit corporation whose post office address is **220 North 13th Street, Leesburg, FL 34748**, grantor, and **Presbyterian Retirement Communities, Inc.**, a Florida not-for-profit corporation whose post office address is **80 West Lurcerne Circle, Orlando, FL 32801**, grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Lake County, Florida**, to-wit:

That land lying in Sections 5 and 8, Township 19 South, Range 24 East, Lake County, Florida, described as follows:

Commence at the Northeast corner of Villages of Fruitland Park Unit No. 27, according to the plat thereof as recorded in Plat Book 66, Page 42, Public Records of Lake County, Florida, also being a point on the South right of way line of County Road 466-A; thence run S89°14'18"E along said South right of way line, a distance of 739.12 feet for the Point of Beginning; thence continue S89°14'18"E along said South right of way line, a distance of 150.00 feet to a point on a non-tangent curve, concave to the Southeast, having a radius of 25.00 feet; thence from a radial bearing of S00°45'42"W, run Southwesterly along the arc of said curve through a central angle of 90°11'04", an arc distance of 39.35 feet, having a chord bearing of S45°40'10"W and a chord distance of 35.41 feet; thence run S00°34'38"W, a distance of 326.78 feet to the beginning of a curve concave to the West, having a radius of 800.07 feet; thence run Southwesterly along the arc of said curve through a central angle of 28°31'01", an arc distance of 398.20 feet, having a chord bearing of S14°50'08"W and a chord distance of 394.11 feet; thence run S89°25'04"E, a distance of 351.07 feet; thence run S00°34'38"W along the East line of the Southwest 1/4 of the Southwest 1/4 of said Section, a distance of 530.06 feet to the Southeast corner of said Southwest 1/4 of the Southwest 1/4 of Section 5; thence run S89°39'42"E along the North line of the Northeast 1/4 of the Northwest 1/4 of Section 8, a distance of 1330.49 feet to the Northeast corner of the Northeast 1/4 of the Northwest 1/4 of said section 8; thence run S00°44'42"W along the East line of said Northeast 1/4 of the Northwest 1/4 of Section 8, a distance of 1343.27 feet to the Southeast corner of said Northeast 1/4 of the Northwest 1/4 of Section 8; thence run N89°40'49"W along the North line of the Southeast 1/4 of the Northwest 1/4 of said Section 8, a distance of 1331.19 feet to the Southwest corner of said Northeast 1/4 of the Northwest 1/4 of Section 8; thence run S00°46'31"W along the West line of said Southeast 1/4 of the Northwest 1/4 of Section 8, a distance of 917.29 feet; thence run N48°08'07"W, a distance of 53.49 feet to the beginning of a curve concave to the Northeast, having a radius of 353.53 feet; thence run Northwesterly along the arc of said curve through a central angle of 48°53'35", an arc distance of 301.68 feet, having a chord bearing of N23°41'20"W and a chord distance of 292.61 feet; thence run N00°45'27"E, a distance of 83.40 feet to the beginning of a curve concave to the Southwest, having a radius of 301.31 feet; thence run Northwesterly along the arc of said curve through a central angle of 93°13'50", an arc distance of 301.31 feet, having a chord bearing of N45°51'28"W and a chord distance of 437.95 feet; thence run N00°46'26"E, a distance of 277.84 feet; thence run S89°40'53"E, a distance of 381.67 feet; thence run N51°10'07"E, a distance of 62.26 feet to a point on a non-tangent curve concave to the Southeast, having a radius of 131.00 feet; thence from a radial bearing of N71°59'15"E, run Northeasterly along the arc of said curve through a central angle of 99°12'01", an arc distance of 226.81 feet, having a chord bearing of N31°35'16"E and a chord distance of 199.52 feet; thence run N02°20'25"E, a distance of 188.36 feet; thence run N02°26'46"W, a distance of 65.30 feet; thence run N06°23'37"W, a distance of 34.32 feet; thence run N51°52'42"W, a distance of 176.94 feet; thence run N48°08'57"W, a distance of 103.47 feet; thence run S86°42'49"W, a distance of 212.31 feet; thence run N00°47'50"E, a distance of 251.35 feet; thence run S89°12'10"E, a distance of 9.70 feet; thence run N00°43'00"E, a distance of 231.45 feet; thence run S89°17'00"E, a distance of 132.92 feet; thence run N26°11'59"W, a distance of 109.71 feet to the beginning of a curve concave to the Southwest, having a radius of 439.44 feet; thence run Northwesterly along the arc of said curve through a central angle of 19°00'15", an arc distance of 145.75 feet, having a chord bearing of N35°28'37"W and a chord distance of 145.09 feet to a point of reverse curvature of a curve concave to the Northeast, having a radius of 539.33 feet; thence run Northwesterly along the arc of said curve through a central angle of 22°52'42", an arc distance of 215.36 feet, having a chord bearing of N33°32'23"W and a chord distance of 213.93 feet to a point of reverse curvature of a curve concave to the Southwest, having a radius of 50.00 feet; thence run Northwesterly along the arc of said curve

through a central angle of 56°39'08", an arc distance of 49.44 feet, having a chord bearing of N50°25'36"W and a chord distance of 47.45 feet to a point of reverse curvature of a curve concave to the East, having a radius of 131.00 feet; thence run Northerly along the arc of said curve through a central angle of 172°57'28", an arc distance of 395.45 feet, having a chord bearing of N07°43'34"E and a chord distance of 261.51 feet; to a point of reverse curvature of a curve concave to the Northwest, having a radius of 50.00 feet; thence run Northeasterly along the arc of said curve through a central angle of 62°53'01", an arc distance of 54.88 feet, having a chord bearing of N62°45'47"E and a chord distance of 52.16 feet to a point of compound curvature of a curve concave to the West, having a radius of 700.07 feet; thence run Northeasterly along the arc of said curve through a central angle of 30°44'39", an arc distance of 375.65 feet, having a chord bearing of N15°56'57"E and a chord distance of 371.16 feet; thence run N00°34'38"E, a distance of 327.27 feet to the beginning of a curve concave to the Southwest, having a radius of 25.00 feet; thence run Northwesterly along the arc of said curve through a central angle of 89°48'55", an arc distance of 39.19 feet, having a chord bearing of N44°19'49"W and a chord distance of 35.30 feet to the Point of Beginning.

Contains 59.956 Acres, more or less.

Parcel Identification Number: 0519240003-000-02200

Subject to taxes for 2018 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantors.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

First Baptist Church of Leesburg, Inc., a Florida non-profit corporation

Neil Stewart
Witness Name: NEIL STEWART

By: Arthur A. Ayris
Arthur A. Ayris, Vice President

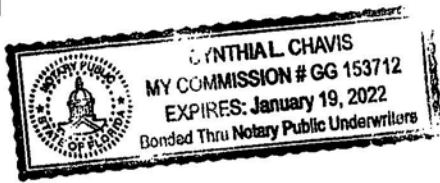
(Corporate Seal)

Robert Williams
Witness Name: Robert Williams

County of Lake

The foregoing instrument was acknowledged before me this 25th day of May, 2018 by Arthur A. Ayris, Vice President of First Baptist Church of Leesburg, Inc., a Florida non-profit corporation, on behalf of the corporation. He is personally known to me or has produced _____ as identification.

[Notary Seal]



Cynthia L. Chavis
Notary Public
Printed Name: Cynthia L. Chavis

My Commission Expires: _____



PROJECT SITE

MILLER BLVD

PINE RIDGE DAIRY RD

PROJECT NAME:

WESTMINSTER VILLAGES

AERIAL PHOTOGRAPHY MAP

CLIENT:

FIRST BAPTIST CHURCH OF LEESBURG



5127 S. Orange Avenue, Suite 200
 Orlando, FL 32809
 Phone: 407-895-0324
 Fax: 407-895-0325

S, T, R:

S 05; T 19S; R 24E

F.E.G. PROJECT NO.:

16-043

DATE:

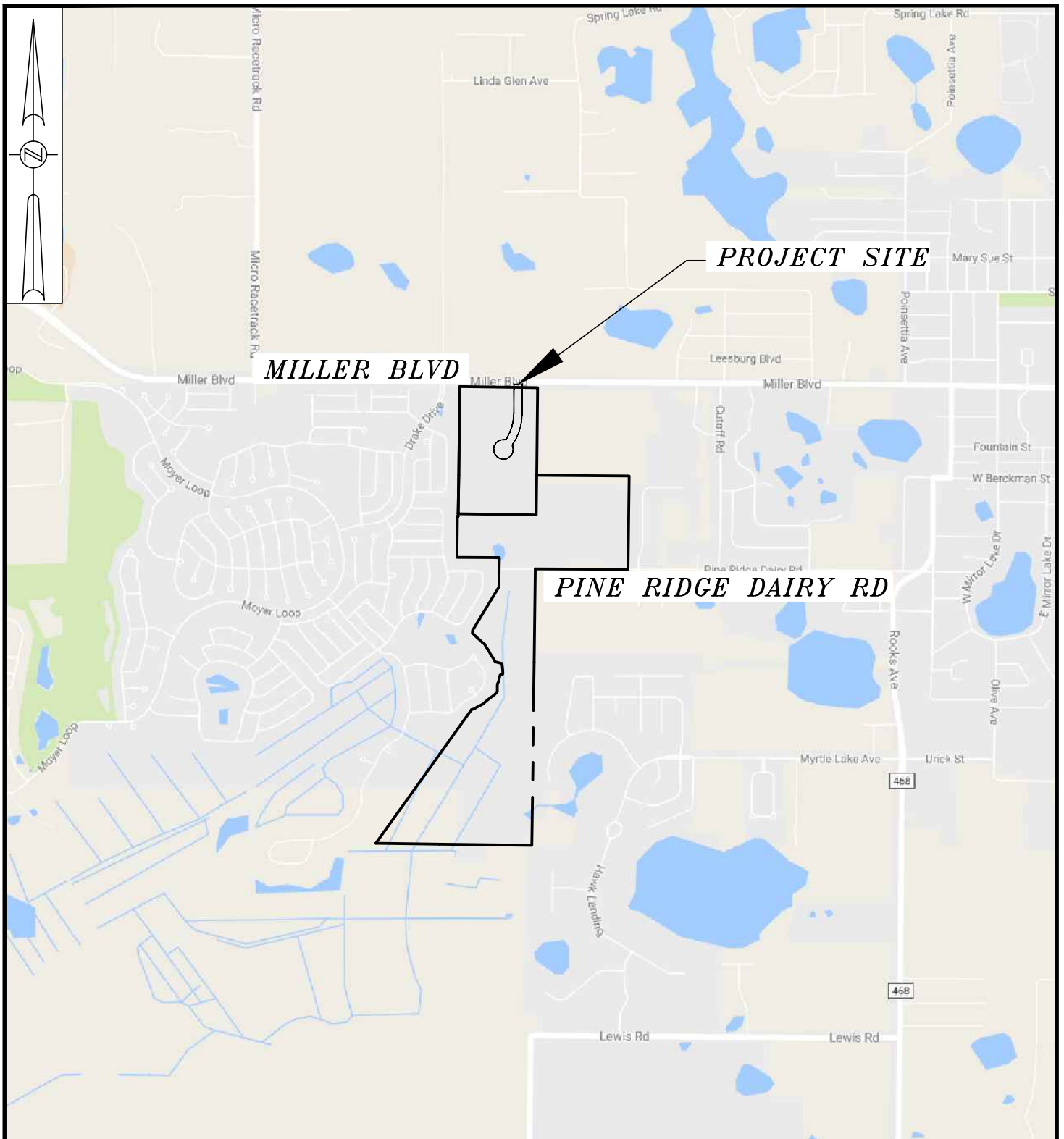
JANUARY 03, 2018

SCALE:

1 : 1,000

Engineering the Future

www.feg-inc.us



PROJECT NAME:
WESTMINSTER VILLAGES

CLIENT:
FIRST BAPTIST CHURCH OF LEESBURG

S, T, R:
S 05; T 19S; R 24E

F.E.G. PROJECT NO.:
16-043

DATE:
JANUARY 03, 2018

SCALE:
1 : 2,000

SITE LOCATION MAP

FEG  **FLORIDA ENGINEERING GROUP**
Engineering the Future

5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
www.feg-inc.us

Select Language ▼

PROPERTY RECORD CARD

General Information

Owner Name:	FIRST BAPTIST CHURCH OF LEESBURG INC	Alternate Key:	1287863
Mailing Address:	220 N 13TH ST LEESBURG, FL 34748-4962 Update Mailing Address	Parcel Number:	05-19-24- 000300002200 000F (FRUITLAND PARK)
		Millage Group and City:	(FRUITLAND PARK)
		Total Certified Millage Rate:	17.8504
		Trash/Recycling/Water/Info:	My Public Services Map ⓘ
Property Location:	PINE RIDGE DAIRY RD FRUITLAND PARK FL 34731 Update Property Location ⓘ	Property Name:	-- Submit Property Name ⓘ
		School Locator:	School and Bus Map ⓘ
Property Description:	FROM NW COR OF SEC 8-19-24 RUN S 89-39-50 E 200 FT FOR POB, RUN S 0-47-54 W 1184.03 FT TO N LINE OF S 160 FT OF NW 1/4 OF NW 1/4 OF SAID SEC 8, S 89-40-49 E 611.54 FT, S 0-46-30 W 425.68 FT, S 31-15-56 W 733.08 FT, S 0-47-54 W 35.45 FT, S 43-54-50 E 75.41 FT, S 49-19-38 E 80.87 FT, S 45-31-17 E 45.42 FT, S 57-57-35 E 31.06 FT, S 27-16-42 E 46.23 FT, S 36-0-06 E 62.89 FT, S 26-28-20 E 49.91 FT, S 32-28-21 E 80.27 FT, S 29-57-55 E 60.93 FT, S 75-47-10 E 99.18 FT, S 07-22-59 E 55.03 FT, S 04-58-53 E 28.31 FT, S 03-51-23 E 57.52 FT, S 03-23-32 W 15.26 FT, S 75-48-45 W 38.64 FT, S 12-05-0 W 92.40 FT, S 24-08-42 W 41.93 FT, S 11-20-47 W 21.80 FT, S 0-21-45 W 90.73 FT, S 40-46-06 W 53.01 FT, S 53-05-55 W 104.34 FT, S 49-53-36 W 70.59 FT, S 48-18-47 W 37.84 FT, S 61-43-23 W 48.54 FT, S 62-49-12 W 50.56 FT, S 59-14-26 W 52.64 FT, S 70-58-32 W 38.87 FT, S 35-38-27 W 2364.05 FT TO S LINE OF SE 1/4 OF SEC 7-19-24, S 89-06-25 E 914.79 FT TO SW COR OF SW 1/4 OF SEC 8, CONT S 89-14-24 E 1330.47 FT TO E LINE OF W 1/4 OF SEC 8, N 0-42-44 E 2636.42 FT, N 0-46-31 E 1343.41 FT TO SW COR OF NE 1/4 OF NW 1/4 OF SEC 8, S 89-40-49 E 1331.19 FT TO SE COR OF NE 1/4 OF NW 1/4, N 0-44-42 E 1343.27 FT TO NE COR OF NE 1/4 OF NW 1/4, N 89-39-42 W 1330.49 FT TO SE COR OF SW 1/4 OF SW 1/4 OF SEC 5-19-24, N 0-34-38 E 1263.10 FT TO S'LY R/W LINE OF CR 466-A, N 89-14-18 W ALONG SAID S'LY R/W LINE 1122.82 FT TO E LINE OF W 200 FT OF SW 1/4 OF SW 1/4 OF SEC 5, S 0-56-55 W 1271.51 FT TO POB--LESS E 10 FT OF W 210 FT OF SW 1/4 OF SW 1/4 LYING S OF CR 466-A OF SEC 4 & LESS N 595 FT OF E 10 FT OF W 210 FT OF NW 1/4 OF NW 1/4 OF SEC 8, ALL BEING IN		

SECS |
5, 7, & 8-19-24 |
ORB 4425 PG 1713 |

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	MUCK SOIL ROW CROPLAND (5200)	0	0	ROW CROP	112.34	AC	\$78,638.00	\$2,022,120.00
2	WETLAND (9600)	0	0		92.6	AC	\$4,167.00	\$4,167.00

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
4520 / 685	8/20/2014	Quit Claim Deed	Unqualified	Vacant	\$100.00
4432 / 3	1/13/2014	Quit Claim Deed	Unqualified	Vacant	\$100.00
4425 / 1700	12/23/2013	Warranty Deed	Unqualified	Vacant	\$100.00
4425 / 1706	12/23/2013	Warranty Deed	Unqualified	Vacant	\$100.00
4425 / 1713	12/23/2013	Personal Rep Deed	Unqualified	Vacant	\$100.00

[Click here to search for mortgages, liens, and other legal documents.](#) ⓘ

Values and Estimated Ad Valorem Taxes ⓘ

Values shown are 2018 'Working Values' subject to change.

The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$2,026,287	\$82,805	\$82,805	5.11800	\$423.80
LAKE COUNTY MSTU AMBULANCE	\$2,026,287	\$82,805	\$82,805	0.46290	\$38.33
SCHOOL BOARD STATE	\$2,026,287	\$82,805	\$82,805	4.35500	\$360.62
SCHOOL BOARD LOCAL	\$2,026,287	\$82,805	\$82,805	2.24800	\$186.15
CITY OF FRUITLAND PARK	\$2,026,287	\$82,805	\$82,805	3.98630	\$330.09
ST JOHNS RIVER FL WATER MGMT DIST	\$2,026,287	\$82,805	\$82,805	0.27240	\$22.56
LAKE COUNTY VOTED DEBT SERVICE	\$2,026,287	\$82,805	\$82,805	0.15240	\$12.62
	\$2,026,287	\$82,805	\$82,805	0.25540	\$21.15

LAKE COUNTY WATER
AUTHORITY

NORTH LAKE HOSPITAL DIST	\$2,026,287	\$82,805	\$82,805	1.00000	\$82.81
				Total:	Total:
				17.8504	\$1,478.13

Exemptions Information

This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	Learn More	View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More	View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	Learn More	View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000) ⓘ	Learn More	View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More	View the Law
Widow / Widower Exemption (up to \$500)	Learn More	View the Law
Blind Exemption (up to \$500)	Learn More	View the Law
Disability Exemption (up to \$500)	Learn More	View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Veteran's Disability Exemption (\$5000)	Learn More	View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More	View the Law
Deployed Servicemember Exemption (amount varies)	Learn More	View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More	View the Law
Conservation Exemption (amount varies)	Learn More	View the Law
Tangible Personal Property Exemption (up to \$25,000)	Learn More	View the Law
Religious, Charitable, Institutional, and Organizational Exemptions (amount varies)	Learn More	View the Law
Economic Development Exemption	Learn More	View the Law
Government Exemption (amount varies)	Learn More	View the Law

Exemption Savings ⓘ

WESTMINSTER PINE RIDGE ROADWAY & UTILITY DEVELOPMENT CONSTRUCTION PLANS CITY OF FRUITLAND PARK, FLORIDA

PARCEL ID: 05-19-24-0003-000022-00-000F

PLAN INDEX

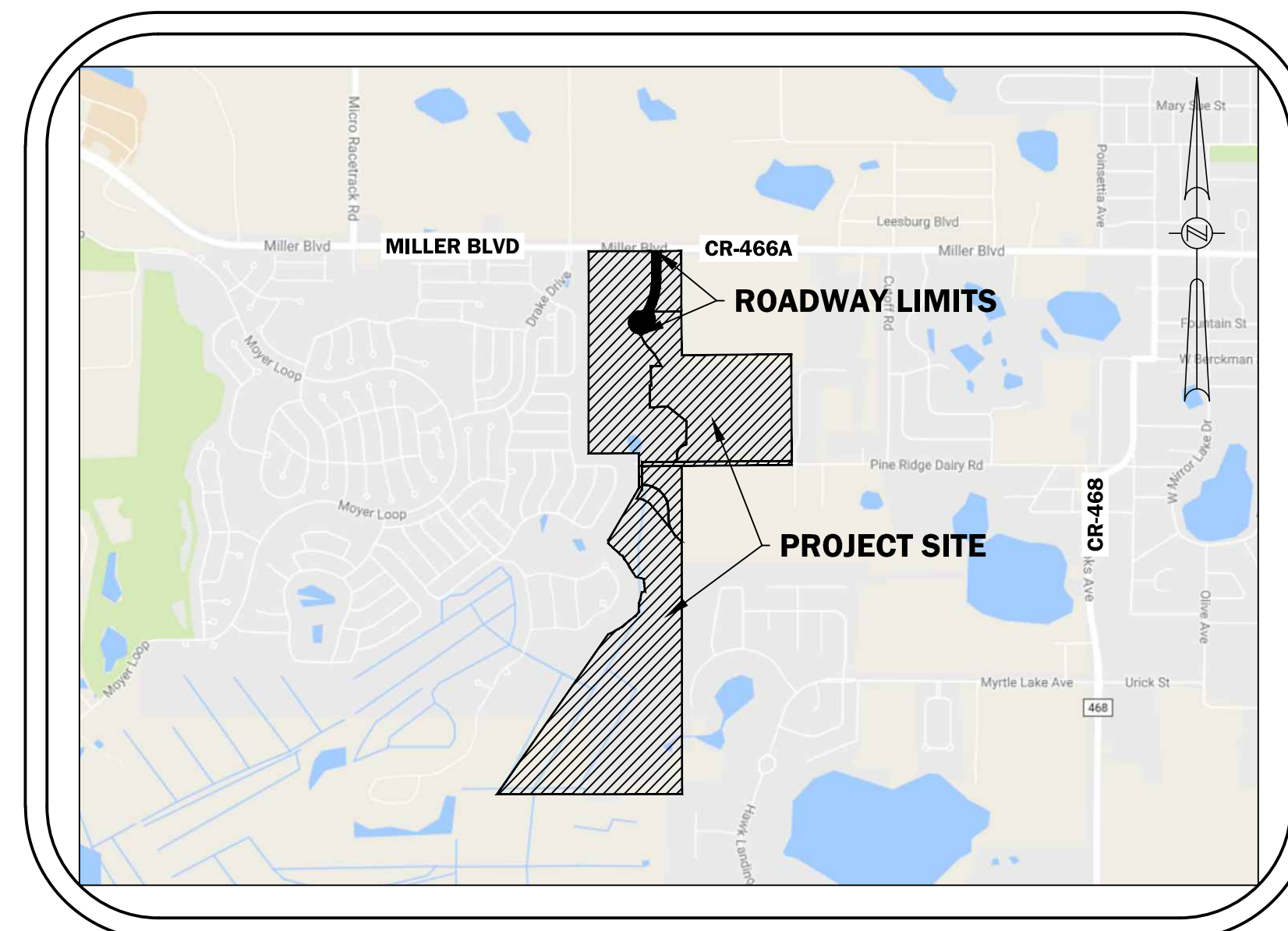
Sheet Number	Sheet Title
C-1	COVER
C-2	GENERAL NOTES
C-3	SURVEY (1 of 3)
C-4	SURVEY (2 of 3)
C-5	SURVEY (3 of 3)
C-6	SITE DEMOLITION AND STORMWATER POLLUTION PREVENTION PLAN
C-7	TYPICAL ROAD SECTION
C-8	OVERALL ROADWAY PLAN
C-9	ENTRANCE ROAD - SITE GEOMETRY, SIGNING AND MARKING PLAN
C-10	ENTRANCE ROAD - PLAN AND PROFILE
C-11	GRAVITY SEWER TO LIFT STATION & FORCE MAIN PLAN-PROFILE
C-12	CR-466A ROAD IMPROVEMENTS PLAN
C-13	STANDARD DETAILS (1 of 2)
C-14	STANDARD DETAILS (2 of 2)
C-15	LIFT STATION DETAIL (1 of 2)
C-16	LIFT STATION DETAIL (2 of 2)
C-17	SITE LANDSCAPE PLAN
C-18	SITE IRRIGATION PLAN

**OWNER/
APPLICANT:** **FIRST BAPTIST CHURCH OF LEESBURG**
220 N. 13th STREET
LEESBURG, FL 34748
PHONE:

**PRESBYTERIAN RETIREMENT
COMMUNITIES, INC.**
80 W. LUCERNE CIRCLE
ORLANDO, FL 32801
PHONE: (407) 839-5050

SURVEYOR: **FARNER BARLEY & ASSOCIATES, INC.**
4450 NE. 83RD ROAD
WILDWOOD, FL 34785
PHONE: (352) 784-3126

SURVEYOR: **SHANNON SURVEYING, INC.**
499 NORTH S.R. 434 - SUITE 2045
ALTAMONTE SPRINGS, FL 32714
PHONE: (407) 774-8372



SITE VICINITY MAP

SCALE: N.T.S

THESE PLANS ARE PREPARED BASED ON
THE NAVD 88 DATUM

UTILITY COMPANIES

WATER: (352) 360-6727
SEWER: (352) 360-6727
ELECTRIC: (352) 728-9800
TELEPHONE: (800) 788-3500
CABLE: (352) 787-7875

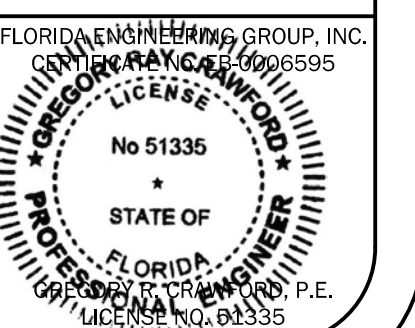
CITY OF FRUITLAND PARK UTILITY DEPT.
CITY OF FRUITLAND PARK UTILITY DEPT.
CITY OF LEESBURG, ELECTRIC DEPARTMENT
CENTURYLINK
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Engineering the Future

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GENERAL NOTES:

- THESE GENERAL NOTES APPLY TO ALL WORK IN THIS SET OF DRAWINGS.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL CONDITIONS CONTAINED THEREIN.
- THE SPECIFICATIONS, NOTES, AND PLANS CALL ATTENTION TO CERTAIN REQUIRED FEATURES OF THE CONSTRUCTION BUT DO NOT PURPORT TO COVER ALL DETAILS OF DESIGN AND CONSTRUCTION. HOWEVER, THE CONTRACTOR SHALL FURNISH & INSTALL THE WORK IN ALL DETAILS AND READY FOR OPERATION.
- ALL EQUIPMENT SHALL BE HANDLED, STORED, INSTALLED, TESTED, AND OPERATED IN STRICT ACCORDANCE WITH THE APPLICABLE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ALL WORK SHALL BE ACCOMPLISHED TO THE HIGHEST QUALITY CRAFTSMANSHIP STANDARDS AS APPROVED BY THE ENGINEER.
- ALL WORK SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS.
- APPARENT ERRORS, DISCREPANCIES, OR OMISSIONS ON THE DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION BEFORE BIDDING.
- AFTER COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PERFORM SITE CLEAN-UP OPERATIONS FOR REMOVAL OF ALL TRASH, DEBRIS, EXCESS MATERIAL, AND EQUIPMENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESENT THE PROJECT SITE CLEAN AND IN GOOD ORDER AT THE TIME OF FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS, AND SPECIFICATIONS OF LAKE COUNTY FOR SITE IMPROVEMENT IN THE ABSENCE OF A PARTICULAR REGULATION.
- FLORIDA LAW (F.S. 553.851) PROTECTION OF UNDERGROUND PIPELINES MANDATES THAT "NO EXCAVATOR SHALL COMMENCE OR PERFORM ANY EXCAVATION IN ANY PUBLIC OR PRIVATE STREET, ALLEY, OR RIGHT-OF-WAY DEDICATED TO THE PUBLIC USE, OR GAS UTILITY EASEMENT WITHOUT FIRST OBTAINING INFORMATION CONCERNING THE POSSIBLE LOCATION OF GAS PIPELINES IN THE AREA OF THE PROPOSED EXCAVATION. THIS INCLUDES ANY OPERATION UTILIZING HAND TOOLS OR POWER TOOLS WHICH MOVES OR REMOVES ANY STRUCTURE, EARTH, ROCK, OR OTHER MASS OF MATERIAL BY SUCH METHODS AS DIGGING, BACKFILLING, DEMOLITION, GRADING, DITCHING, BORING, AND CABLE PLOWING. THE EXCAVATOR MUST NOTIFY THE GAS UTILITY A MINIMUM OF 48 HOURS AND A MAXIMUM OF 5 DAYS PRIOR TO EXCAVATING (EXCLUDING SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS).
- CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS; INCLUDING BUT NOT LIMITED TO WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV COMPANIES.
- ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON, OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE ENGINEER AND OWNER.
- THE CONTRACTOR SHALL FURNISH OWNER WITH ACCURATE RECORD DRAWINGS PREPARED BY A LICENSED PROFESSIONAL SURVEYOR SHOWING AS-CONSTRUCTED HORIZONTAL AND VERTICAL DIMENSIONING OF THE WORK. THE SUBMITAL COPY OF THE RECORD DRAWINGS WILL NOT BE RETURNED. THE RECORD DRAWING OR A REPRODUCIBLE COPY PREPARED BY THE ENGINEER SHALL BE CERTIFIED BY THE CONTRACTOR AS CORRECT. ALL INFORMATION WHICH IS UNCHANGED AND CURRENT SHALL BE NOTED BY CHECKING OFF OR CIRCLING. ALL REVISED INFORMATION SHALL BE CROSSED THROUGH AND NEW DATA ADDED. ADDITIONAL REQUIREMENTS ARE NOTED IN PAVING, GRADING, DRAINAGE, WATER, AND SEWER NOTES.
- ALL PRIVATE AND PUBLIC PROPERTIES AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN PREPARING THE SITE FOR CONSTRUCTION; THIS INCLUDES REMOVAL OF ANY EXISTING ORGANIC SOILS, DELETERIOUS MATERIAL, VEGETATION, AND/OR DEBRIS FROM WITHIN THE LIMITS OF CONSTRUCTION AS IDENTIFIED BY THE GEOTECHNICAL ENGINEER; PROOFROLLING OF THE NATURAL SOILS WHERE REQUIRED; AND OTHER GENERAL SITE PREPARATION REQUIREMENTS. SPECIFIC PROOFROLLING COMPACTION REQUIREMENTS SHOULD BE CONSISTENT WITH THE APPLICABLE DESIGN DOCUMENTS AND GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF THERE IS A CONFLICT BETWEEN THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND THE DESIGN DOCUMENTS, THE MORE STRINGENT REQUIREMENT SHALL APPLY.

GEOMETRY NOTES:

- THESE PLANS ARE BASED ON A SURVEY PREPARED FOR THE OWNER BY FARNER BARLEY AND ASSOCIATES, INC. DATED JULY 07, 2017, AND SHANNON SURVEYING, INC. REVISED JANUARY 03, 2018.
- REFER TO SHEET C-2 FOR REFERENCED BENCHMARK.
- CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE & CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL & VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY APPARENT DISCREPANCIES ARE FOUND.
- ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY THE ACCURACY OF THE BUILDING GEOMETRY SHOWN WITH THAT IN THE FINAL ARCHITECTURAL DRAWINGS. PRIOR TO STAKE-OUT, & SHALL NOTIFY OWNER & ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

MARKING, STRIPING, & SIGNAGE NOTES:

- ALL MARKINGS MUST COMPLY WITH THE F.D.O.T. ROADWAY & TRAFFIC DESIGN STANDARDS, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND THE CITY OF FRUITLAND PARK LAND DEVELOPMENT CODE. PARKING SPACES MAY BE F.D.O.T. RATED PAINT. ALL OTHER MARKINGS MUST BE THERMOPLASTIC.
- HANDICAP PARKING SPACES SHALL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND OTHER APPLICABLE STANDARDS. REFER TO F.D.O.T. ROADWAY & TRAFFIC DESIGN STANDARDS INDEX 17355 FOR HANDICAP SYMBOL.
- HANDICAP SIGN SHALL BE F.D.O.T. SPECIFICATION FTP 25.

PAVING, GRADING, & DRAINAGE NOTES:

- ALL CONSTRUCTION, INCLUDING SIDEWALKS, SHALL BE IN ACCORDANCE WITH CITY OF FRUITLAND PARK CONSTRUCTION SPECIFICATIONS AND OTHER GENERAL AND SPECIAL SPECIFICATIONS, AND THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, INCLUDING STATEMENT OTHERWISE IN THE SPECIFICATIONS OR ON THE PLANS.
- SUBSURFACE INFORMATION PROVIDED WITH THESE DRAWINGS WAS OBTAINED FOR USE IN ESTABLISHING DESIGN CRITERIA FOR THE PROJECT. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED AND IS NOT TO BE CONSTRUED AS PART OF THE PLANS GOVERNING CONSTRUCTION OF THE PROJECT.
- THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR FIELD LOCATIONS AND FOR ANY RELOCATIONS OF THE VARIOUS EXISTING UTILITIES WITH THE UTILITY OWNERS, WHICH SHALL BE DONE IN A TIMELY FASHION TO MINIMIZE IMPACT ON THE CONSTRUCTION SCHEDULE. ANY DELAY OR INCONVENIENCE CAUSED THE CONTRACTOR BY THE RELOCATION OF THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- ALL FILL MATERIAL IN GENERAL IMPROVEMENT AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE SOIL'S MODIFIED PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180. REFER TO PAVEMENT SECTION DETAILS FOR MATERIAL AND COMPACTION REQUIREMENTS OF PAVEMENT SUBGRADE.
- ALL UNDERGROUND UTILITIES INCLUDING CONDUIT FOR ELECTRICAL, CABLE TV, AND TELEPHONE SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY PROBLEMS REQUIRING DEVIATION FROM THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS OF ALL MAJOR ITEMS PROPOSED FOR THIS PROJECT TO THE ENGINEER PRIOR TO ORDERING ANY OF THE EQUIPMENT. UPON THE CONTRACTOR'S RECEIPT OF APPROVED SHOP DRAWINGS FROM THE ENGINEER, THE CONTRACTOR MAY PROCEED WITH THE WORK.
- ALL DISTURBED AREAS MUST BE SODDED UNLESS OTHERWISE NOTED ON THE PLANS. ALL SODDING MUST BE DONE IN ACCORDANCE WITH SECTION 570 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION.
- PROVIDE HANDICAP ACCESS WHERE SIDEWALKS MEET CURBS.

EROSION CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH CITY OF FRUITLAND PARK SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONAL CHANGES.
- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
- CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN AT THE PRE-CONSTRUCTION MEETING. THE CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES IN CONTROLLING EROSION AND SEDIMENTATION DURING CONSTRUCTION.
- ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
- PRIOR TO LAND CLEARING THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF CITY OF FRUITLAND PARK.
- THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION AND STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.

WATER & SEWER UTILITY NOTES:

- CONTRACTOR SHALL COORDINATE WITH CITY OF FRUITLAND PARK FOR CONSTRUCTION OF THE WATER AND SEWER SYSTEMS, RESPECTIVELY. ALL MATERIAL AND WORKSMANSHIP SHALL CONFORM TO THEIR SPECIFICATIONS AND REQUIREMENTS, AS APPLICABLE AND WILL BE SUBJECT TO THEIR INSPECTION AND ACCEPTANCE.
- CONTRACTOR SHALL COORDINATE ALL WATER AND SEWER SYSTEM TEST SCHEDULING TO ALLOW ENGINEER'S ATTENDANCE AND PROVIDE FIVE (5) WORKING DAYS NOTICE OF WATER AND SEWER TESTS. CONTRACTOR'S FAILURE TO PROPERLY NOTIFY ENGINEER MAY RESULT IN RETESTING AT ENGINEER'S OPTION AND AT CONTRACTOR'S EXPENSE.
- ENGINEER RESERVES THE RIGHT TO WITHHOLD APPROVAL FOR ANY PORTION OF THE WATER OR SEWER PIPE WORK WHICH HAS NOT BEEN TESTED (OBSERVED BY ENGINEER) AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS.
- SITE CONTRACTOR SHALL COORDINATE AND VERIFY ALL UTILITY SERVICES WITH FINAL ARCHITECTURAL DRAWINGS AND BUILDING CONTRACTOR.
- CONTRACTOR SHALL VERIFY SIZE AND TYPE OF EXISTING MAIN PRIOR TO ORDERING TAPPING MATERIALS FOR TIE-INS.
- CONTRACTOR SHALL MAINTAIN A SET OF RECORD DRAWINGS MARKED UP WITH HORIZONTAL AND VERTICAL AS-BUILT INFORMATION ON LOCATION OF WATER MAINS, FITTINGS, AND WATER SERVICES LOCATED FROM CENTERLINE OF NEAREST FIRE HYDRANT OR NEAREST MANHOLE.
- SITE UTILITY WORK SHALL TERMINATE 5 FEET FROM BUILDINGS UNLESS OTHERWISE STATED.
- CONTRACTOR SHALL NOT ACTIVATE WATER SERVICE UNTIL THE FDEP HAS CLEARED THE SYSTEM FOR USE AND THE CLEARANCE LETTER HAS BEEN RECEIVED BY THE OWNER.

F.D.E.P. CONSTRUCTION NOTES:

UTILITY SEPARATION - VERTICAL CLEARANCE:

- NEW OR RELOCATED UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE WATER MAIN OR PIPELINE CONVEYING RECLAIMED WATER. AND NEW OR RELOCATED UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE.
- AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE OR THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE OR THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AND A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER IF THE BOTTOM OF THE WATER MAIN WILL BE LAID AT LEAST (6") SIX INCHES ABOVE THE TOP OF THE SEWER; A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM."

UTILITY SEPARATION HORIZONTAL SEPARATION:

- NEW OR RELOCATED UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III CHAPTER 62-610, F.A.C.; A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER (OR A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER IF THE BOTTOM OF THE WATER MAIN WILL BE LAID AT LEAST (6") SIX INCHES ABOVE THE TOP OF THE SEWER); A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM."
- THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING OF ALL NEWLY-INSTALLED WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE CITY OF FRUITLAND PARK & IN ACCORDANCE WITH AWWA STANDARD C600 FOR DUCTILE-IRON PIPE. TESTING SHALL BE IN ACCORDANCE WITH AWWA MANUAL M23 FOR PVC PIPE.
- THE CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE F.D.E.P. WATER PERMIT, & RECEIVE APPROVAL THEREOF FROM THE LOCAL WATER UTILITY, ENGINEER OF RECORD, & F.D.E.P., PRIOR TO PLACING IN SERVICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE F.D.E.P. WATER & SEWER PERMITS FROM THE PERMITS FROM THE OWNER & MAINTAIN THEM ON THE JOB SITE AT ALL TIMES. DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA 651 "DISINFECTING WATER MAINS". SHALL BE PERFORMED IN ACCORDANCE WITH AWWA 651 "DISINFECTING WATER MAINS".

CONSTRUCTION NOTES:

- THE PERMITTEE SHALL BE SEPARATELY RESPONSIBLE FOR APPROPRIATE CONSTRUCTION, DISINFECTION & TESTING BEYOND THE METER TO ASSURE POTABILITY AT THE POINT OF USE.
- POTABLE WATER PIPES WILL BE DISINFECTED IN ACCORDANCE WITH AWWA SPECIFICATIONS C651.
- POTABLE PIPES WILL BE HYDROSTATICALLY TESTED IN ACCORDANCE WITH SPECIFICATION NUMBERS C600 & C605/M23 FOR DUCTILE IRON & PVC PIPES, RESPECTIVELY.
 - POTABLE WATER PIPES MUST BE MANUFACTURED IN ACCORDANCE WITH THE FOLLOWING AWWA SPECIFICATIONS:
 - DUCTILE IRON PIPE (3" TO 64") - AWWA C150/AWWA C151; LINING PER AWWA C104, COATING PER AWWA C116, ENCASEMENT PER AWWA C105, FLANGED PIPE PER AWWA C115, GASKET JOINTS PER AWWA C111 AND FITTINGS PER AWWA C110 OR AWWA C113.
 - PVC (WITH NATIONAL SANITATION FOUNDATION SEAL)
 - AWWA C900/ASTM 1784 (4" TO 12") WITH DR25 MINIMUM;
 - AWWA C905 (14" TO 48")
 - PRESSURE RATED PIPE (SDR SERIES) SHALL BE ASTM D2241, SCHEDULE 40, 80, & 120 PVC PIPES PER ASTM D1785. THE COMPOUNDS USED FOR EITHER OF THESE TYPES SHALL BE PER ASTM D1784.
 - POLYETHYLENE PIPE (1/2" - 3") - AWWA C901 WITH VALVES & FITTINGS (AWWA C800);
 - POLYETHYLENE PIPE (4" - 63") - AWWA C906.
 - FIRE HYDRANTS & VALVES PER AWWA SERIES C500 THROUGH C560.
 - METERS PER AWWA SERIES C700 THROUGH C710.
 - NON-AWWA PVC PIPES (ALLOWED ONLY FOR SIZES LESS THAN 4 INCHES) MUST HAVE A MINIMUM PRESSURE CLASS OF 200 PSI AND MUST BEAR THE NSF MARK ON EACH INSTALLED LENGTH.

CONNECTION TO EXISTING WATER MAINS:

- IF CONNECTION OF THE PROPOSED ACTIVITY TO THE WATER MAIN WILL RESULT IN DEPRESSURIZATION OF THE EXISTING SYSTEM BELOW 20 POUNDS PER SQUARE INCH, ONE OF THE FOLLOWING MUST OCCUR:
 - PRECAUTIONARY BOIL WATER NOTICES MUST BE ISSUED IN CASES OF PLANNED DISTRIBUTION INTERRUPTIONS, WHICH DEEMED AN IMMINENT PUBLIC HEALTH THREAT BY THE D.E.P. CENTRAL DISTRICT OR WILL AFFECT BACTERIOLOGICAL QUALITY OF THE DRINKING WATER UNLESS THE PUBLIC WATER SYSTEM CAN DEMONSTRATE, BY SOUND ENGINEERING JUDGMENT, THAT THE INTEGRITY OF THE WATER QUALITY ARE EXPECTED TO OCCUR & NOT DEEMED AN IMMINENT PUBLIC HEALTH RISK.
 - IN CASES OF BRIEF INTERRUPTION IN SERVICE, ADVISORIES (NOT BOIL WATER NOTICES) SHOULD BE ISSUED IF TEMPORARY CHANGES IN WATER QUALITY ARE EXPECTED TO OCCUR & NOT DEEMED AN IMMINENT PUBLIC HEALTH RISK.

FILLING OF WATERMANS:

- FILLING OF PROPOSED WATER MAINS FROM EXISTING WATER MAINS WILL BE DONE IN ACCORDANCE WITH AWWA SPECIFICATIONS C651.

MATERIAL SPECIFICATIONS:

PAVING, GRADING, & DRAINAGE:

- PAVING MATERIALS SHALL CONFORM WITH F.D.O.T. STANDARDS & SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION.
- STORM DRAINS SHALL BE REINFORCED CONCRETE PIPE, PER ASTM C-76 CLASS III, UNLESS OTHERWISE SPECIFIED. LIFTING HOLES ARE PROHIBITED.
- ALL STORM STRUCTURES SHALL CONFORM WITH F.D.O.T. STANDARD INDEX DRAWINGS & SPECIFICATIONS EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRAVERSABLE, TRAFFIC BEARING, GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES. GRATES SHALL BE CAST IRON UNLESS BICYCLE TRAFFIC IS ANTICIPATED.
- ALL TYPE "P" STRUCTURE BOTTOMS SHALL BE ROUND UNLESS OTHERWISE SPECIFIED & SHALL HAVE 4 FEET MINIMUM DIAMETER.

SEWER MATERIAL:

- PVC GRAVITY SEWER PIPE
 - PVC GRAVITY SEWER PIPE (4"-15"), ASTM D3034, SDR 35. UNIFORM MINIMUM "PIPE STIFFNESS" AT FIVE (5) PERCENT DEFLECTION SHALL BE 46 PSI. THE JOINTS MANUFACTURED IN ACCORDANCE WITH ASTM D3212 AND ASTM F477. APPLICABLE UNI-BELL PLASTIC PIPE ASSOCIATION STANDARD IS UNI-B-4.
 - PVC GRAVITY SEWER PIPE (18"-27"), ASTM F679, SDR35. UNIFORM MINIMUM "PIPE STIFFNESS" AT FIVE (5) PERCENT DEFLECTION SHALL BE 46 PSI. THE JOINTS SHALL BE INTEGRAL BELL ELASTOMERIC GASKET JOINTS MANUFACTURED IN ACCORDANCE WITH ASTM D3212 AND ASTM F477. APPLICABLE UNI-BELL PLASTIC PIPE ASSOCIATION STANDARD IS UNI-B-7.
- ALL PVC PIPE SHALL BEAR THE NSF-DW SEAL. THE MINIMUM STANDARD LENGTH OF PIPE SHALL BE THIRTEEN (13) FEET.
- ALL PIPE SHALL HAVE A HOMING MARK ON THE SPIGOT PROVIDED BY THE MANUFACTURER. ON FIELD CUT PIPE, CONTRACTOR SHALL PROVIDE HOMING MARK ON THE SPIGOT IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. REINFORCED CONCRETE PIPE SHALL HAVE MARKINGS INDICATING THE MINOR AXIS OF THE ELLIPTICAL REINFORCEMENT.
- JOINTS MATERIALS
 - PVC SEWER PIPE JOINTS SHALL BE FLEXIBLE ELASTOMERIC SEALS PER ASTM D 3212.
 - JOINTS BETWEEN PIPES OF DIFFERENT MATERIALS SHALL BE MADE WITH A FLEXIBLE MECHANICAL COMPRESSION COUPLING WITH NO. 304 STAINLESS STEEL BANDS. REFER TO CITY OF FRUITLAND PARK MANUAL FOR APPROVED MANUFACTURERS' LIST.
- FITTINGS
 - UNLESS OTHERWISE SPECIFIED, WYE BRANCHES SHALL BE PROVIDED IN THE GRAVITY SEWER MAIN FOR SERVICE LATERAL CONNECTIONS. WYES SHALL BE SIX (6) INCHES INSIDE DIAMETER, UNLESS OTHERWISE APPROVED BY THE CITY OF FRUITLAND PARK. ALL FITTINGS SHALL BE OF THE SAME MATERIAL AS THE PIPE.
 - PLUGS FOR STUB OUTS SHALL BE OF THE SAME MATERIAL AS THE PIPE, AND GASKETED WITH THE SAME GASKET MATERIAL AS THE PIPE JOINT, OR BE OF MATERIAL APPROVED BY THE CITY OF FRUITLAND PARK. THE PLUG SHALL BE SECURED TO WITHSTAND TEST PRESSURES SPECIFIED IN SECTION 44 OF THE ORANGE COUNTY MANUAL OF STANDARDS AND SPECIFICATIONS FOR WASTEWATER CONSTRUCTION.

LEGEND

SITE	
	POLE SIGN
	SMALL PYLON SIGN
	LARGE PYLON SIGN
	RIGHT TURN DIRECTIONAL ARROW
	STRAIGHT DIRECTIONAL ARROW
	LEFT TURN DIRECTIONAL ARROW
	STRAIGHT AND LEFT TURN DIRECTIONAL ARROW
	STRAIGHT AND RIGHT TURN DIRECTIONAL ARROW
	HANDICAP PARKING SYMBOL
	F.D.O.T. TYPE "D" CURB
	F.D.O.T. TYPE "F" CURB AND GUTTER
	GATE VALVE BOX, WW= WATER, FV= FIRE, IV=IRRIGATION, & SSV=SANITARY SEWER
	CHAINLINK FENCE
	DECORATIVE WOOD OR ALUMINUM FENCE
	BARB WIRE FENCE
	HANDRAIL
	SCREEN/RETAINING WALL, AS NOTED.
	BIKE RACK
	PARKING COUNT SYMBOL PER ROW
	ROAD CENTERLINE SYMBOL

GRADING & DRAINAGE

	F.D.O.T. TYPE "C" DRAINAGE INLET
	F.D.O.T. TYPE "D" DRAINAGE INLET
	F.D.O.T. TYPE "E" DRAINAGE INLET
	F.D.O.T. TYPE "1" DRAINAGE INLET
	F.D.O.T. TYPE "2" DRAINAGE INLET
	F.D.O.T. TYPE "3" DRAINAGE INLET
	F.D.O.T. TYPE "4" DRAINAGE INLET
	F.D.O.T. TYPE "5" DRAINAGE INLET
	F.D.O.T. TYPE "6" DRAINAGE INLET
	STORM DRAINAGE MANHOLE
	MITERED END SECTION
	STORM DRAINAGE PIPE
	DRAINAGE FLOW DIRECTIONAL ARROW
	DRAINAGE STRUCTURE BUBBLE
	GRADE ELEVATION
	CONTOUR ELEVATION
	EROSION CONTROL SILT FENCE

UTILITY

	DCDA - DOUBLE CHECK DETECTOR ASSEMBLY
	DCVA - DOUBLE CHECK VALVE ASSEMBLY
	RPZ - REDUCED PRESSURE ZONE DEVICE
	DOMESTIC METER
	IRRIGATION METER
	GATE VALVE
	BLOW-OFF GATE VALVE
	REDUCER
	WET WELL
	11.25' PIPE BEND
	22.5' PIPE BEND
	30' PIPE BEND
	45' PIPE BEND
	60' PIPE BEND
	90' PIPE BEND
	TEE
	CROSS
	FIRE HYDRANT ASSEMBLY W/ UNOBSTRUCTED AREA CLEARANCES AS REQUIRED BY FIRE MARSHALL
	FIRE DEPARTMENT CONNECTION
	CLEAN OUT
	LIFT STATION
	GREASE TRAP
	SITE LIGHTING
	DECORATIVE SITE LIGHTING
	UTILITY POLE

DATE	REVISIONS	BY	CHECKED

**WESTMINSTER PINE RIDGE
ROADWAY AND UTILITY DEVELOPMENT
CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA**

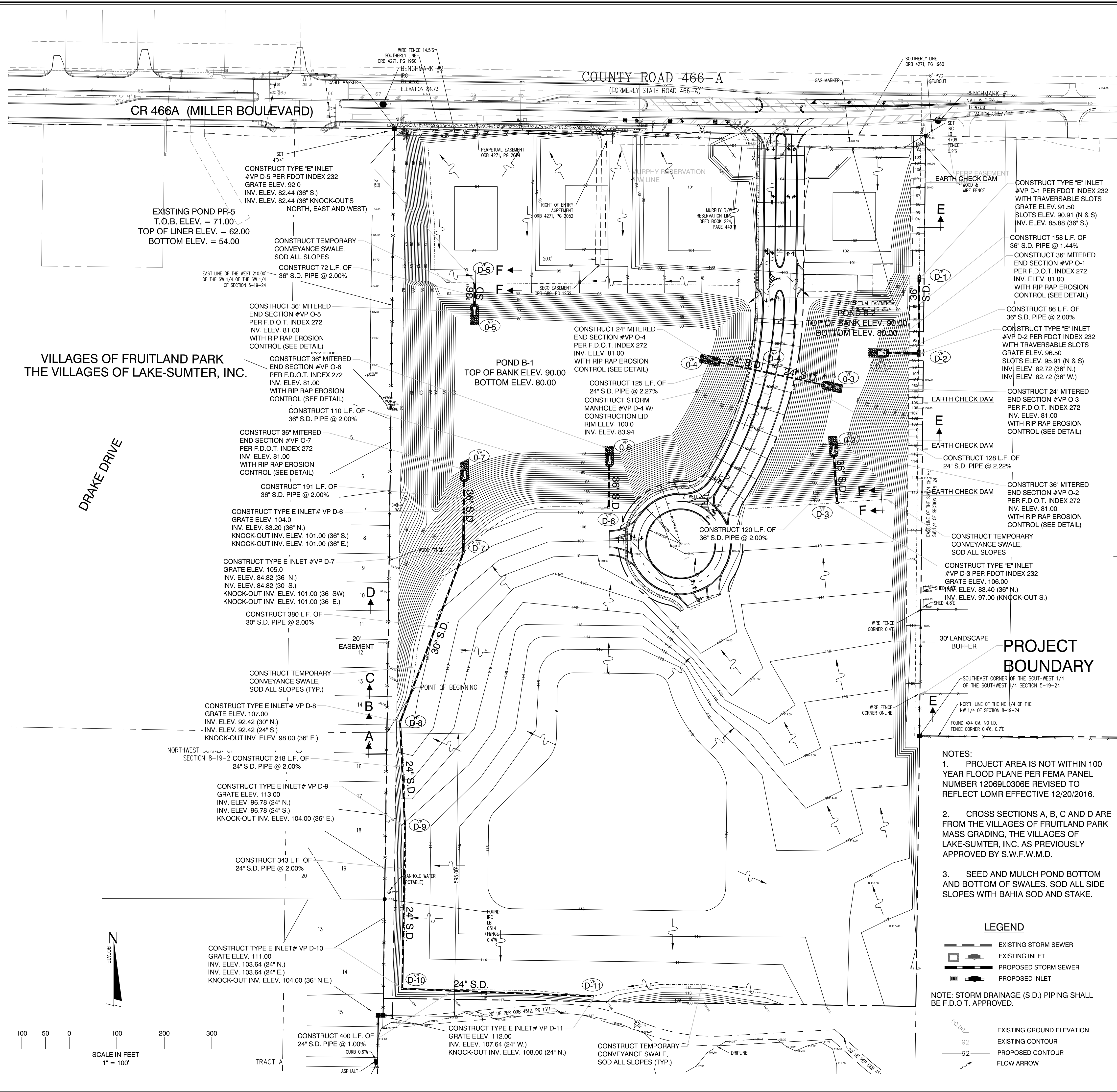
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Engineering the Future

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GENERAL NOTES				PROJECT NO. 16-043
DESIGNED BY GRC				SCALE N.T.S.
DRAWN BY JV				DATE AUGUST 2017
CHECKED BY GRC				SHEET NO. C-2
APPROVED BY GRC				SHEET 2 OF 18

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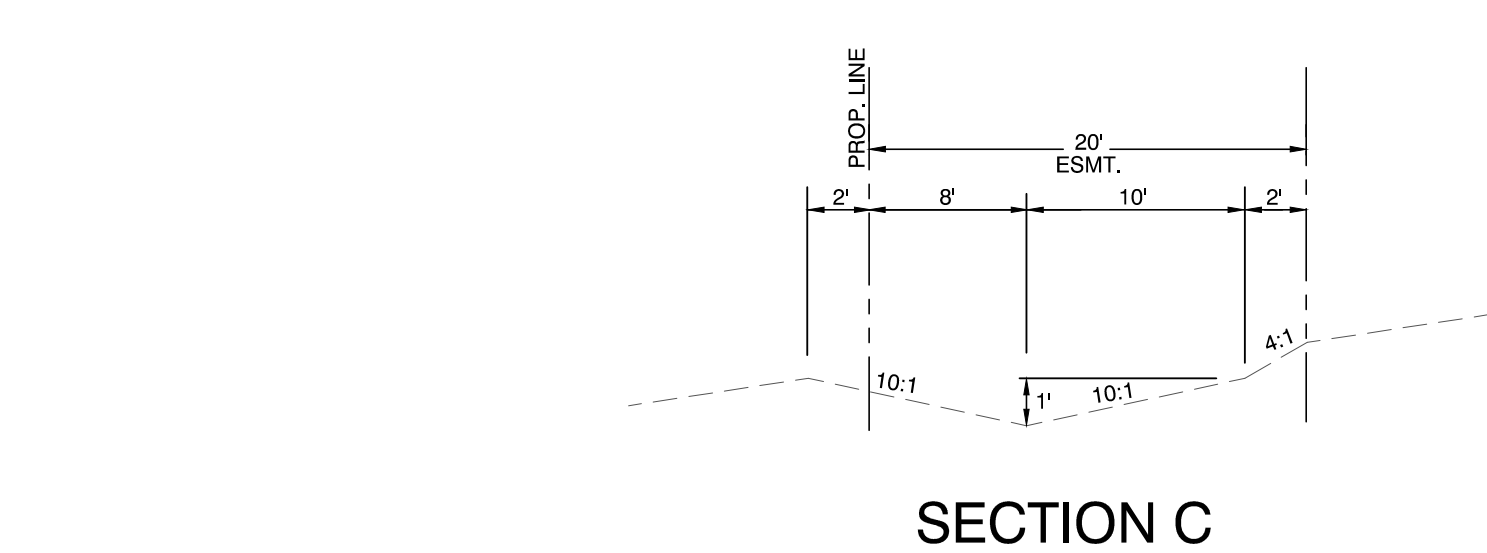
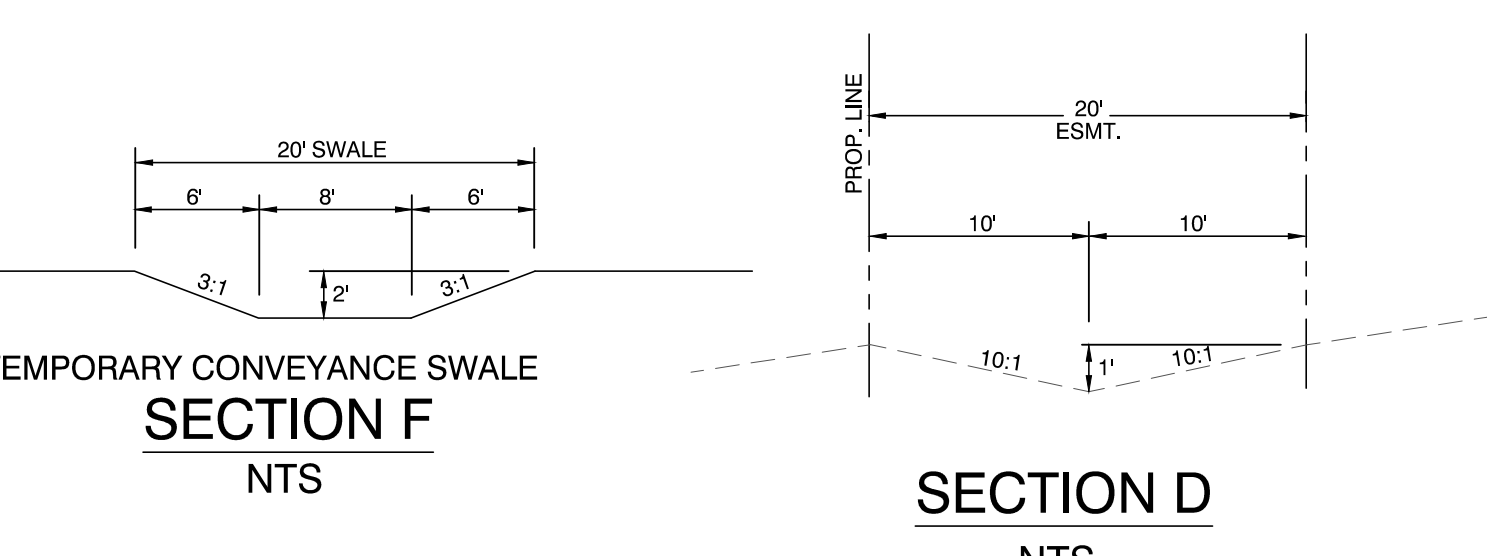
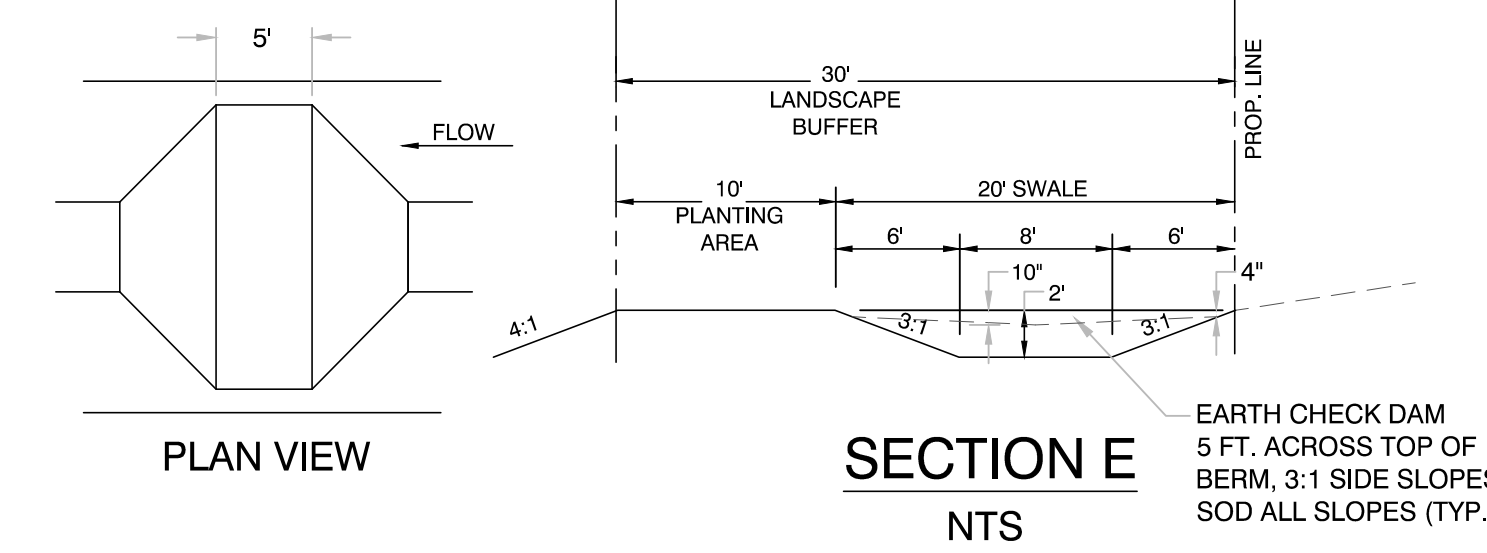
16-043_C-3_GeneralNotes.dwg



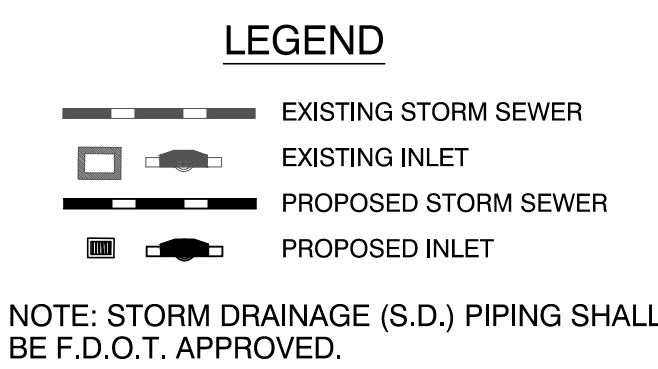
- NOTES:
1. CONTRACTOR SHALL PLACE AND COMPACT (SEE NOTE 2 BELOW) ANY EXCESS FILL MATERIAL IN LOCATIONS APPROVED BY THE OWNER AND/OR ENGINEER. ALL EARTHWORK PERFORMED ON THIS PROJECT SHALL BE APPROVED BY A FLORIDA LICENSED GEOTECHNICAL ENGINEER.
 2. ANY REQUIRED STRUCTURAL FILL SOILS SHOULD CONSIST OF CLEAN SAND SOILS COMPACTED IN TWELVE (12) INCH LOOSE LIFTS. GENERALLY, SAND WITH BETWEEN 3 AND 12 PERCENT FINES PASSING A U.S. STANDARD NO. 200 SIEVE IS USED FOR THIS PURPOSE. ALL STRUCTURAL FILL SHOULD BE PRE-QUALIFIED PRIOR TO IMPORTING AND PLACING. UPPER FINE SAND SOILS FOUND ON SITE SHOULD MEET THESE REQUIREMENTS AND CAN BE USED FOR STRUCTURAL FILL. STRUCTURAL FILL SOILS SHOULD BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST METHOD (ASTM D-1557).
 3. ANY MATERIAL THAT WILL BE IMPORTED SHALL BE PLACED IN LIFTS NOT TO EXCEED TWELVE (12) INCHES IN THICKNESS AND SHOULD BE COMPACTED TO A MINIMUM OF NINETY (90) PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557. THIS TESTING FREQUENCY SHOULD CONTINUE AT ONE (1) TEST PER 10,000 SQUARE FEET OF AREA PER EVERY TWELVE (12) INCH LIFT.
 4. CONTRACTOR SHALL SOD ALL DISTURBED AREAS STEEPER THAN 4:1. ALL OTHER DISTURBED AREAS SHALL BE SEEDED AND MULCHED. BOTH SOD AND NEWLY PLANTED SEEDED AREAS MUST BE ESTABLISHED AND SELF SUSTAINING PRIOR TO ACCEPTANCE BY OWNER.

AREA TO BE SEED AND MULCH
TURF ESTABLISHMENT SHALL BE PERFORMED MEETING THE REQUIREMENTS OF SECTION 570 (GRASSING BY SEEDING) OF THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. (LATEST EDITION)

AREA TO BE SODDED
TURF ESTABLISHMENT SHALL BE PERFORMED MEETING THE REQUIREMENTS OF SECTION 575 (SODDING) OF THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. (LATEST EDITION)



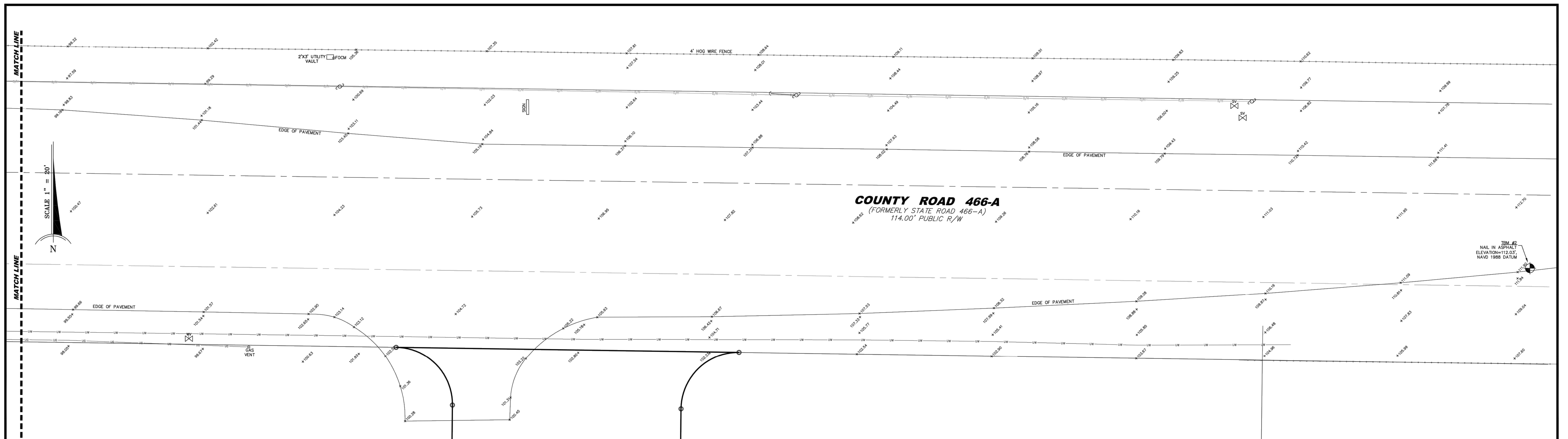
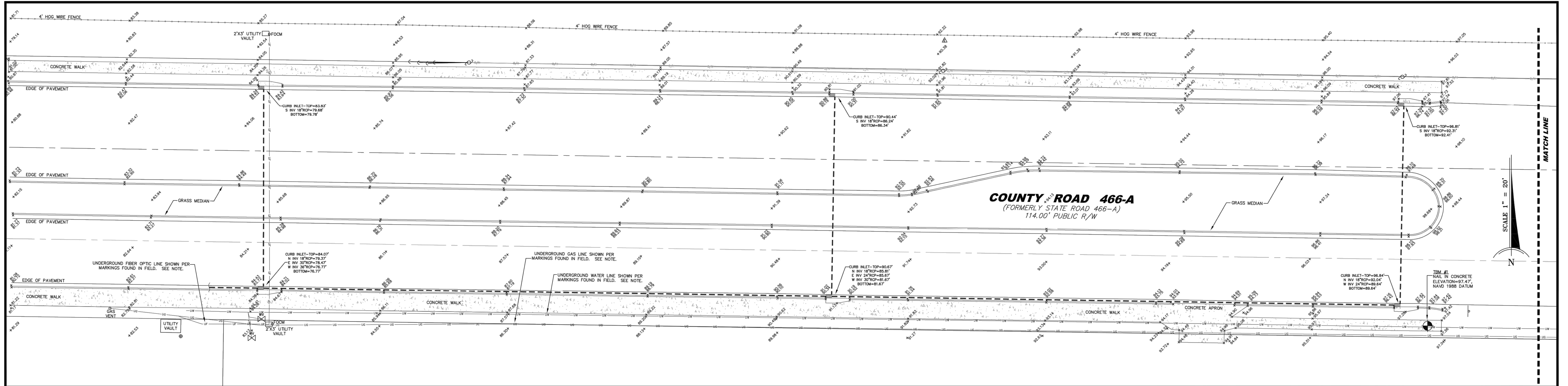
- NOTES:
1. PROJECT AREA IS NOT WITHIN 100 YEAR FLOOD PLANE PER FEMA PANEL NUMBER 12069L0306E REVISED TO REFLECT LOMR EFFECTIVE 12/20/2016.
 2. CROSS SECTIONS A, B, C AND D ARE FROM THE VILLAGES OF FRUITLAND PARK MASS GRADING, THE VILLAGES OF LAKE-SUMTER, INC. AS PREVIOUSLY APPROVED BY S.W.F.W.M.D.
 3. SEED AND MULCH POND BOTTOM AND BOTTOM OF SWALES. SOD ALL SIDE SLOPES WITH BAHIA SOD AND STAKE.



F.E.G. PROJECT NO. 16-043
SHEET NO. C-3
SHEET 3 OF 18

BY	
REVISIONS	
DATE	
 ENGINEERS SURVEYORS PLANNERS Certificate of Authorization Number: 4709 4450 N.E. 83rd Road • Wilton, Florida 34785 • (352) 748-3128	
CITY OF FRUITLAND PARK, FLORIDA VILLAGE PARK EXISTING GRADING AND DRAINAGE	
DATE	JULY 07, 2017
DRAWN BY	DLB
CHKD BY	REF
FILE NAME	GRADING
JOB NO.	160644.0001
ENGINEER	ROBERT E. FARNER, P.E. # 31950
DATE	
SHT.	C-3 OF 18

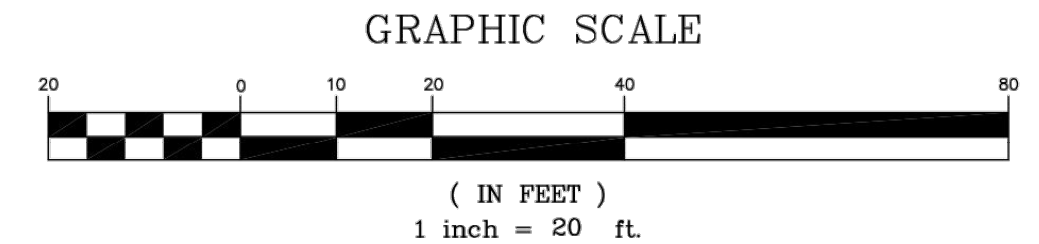
ROUTE SURVEY COUNTY ROAD 466-A
 Section 5, Township 19 South, Range 24 East, Lake County, Florida



- LEGEND
- BOLLARD
 - ⊗ FIRE HYDRANT
 - ⊕ GUY ANCHOR
 - ⊙ WOOD UTILITY POLE
 - ⊗ WATER VALVE

UNDERGROUND UTILITIES NOTE:
 UNDERGROUND UTILITIES ARE SHOWN BASED ON MARKING FOUND IN THE FIELD. SOURCE OF THE MARKINGS IS FROM AN UNKNOWN SOURCE AND THE UNDERSIGNED ACCEPTS NO LIABILITY FOR THE ACCURACY OF THE UNDERGROUND UTILITIES SHOWN. UNDERGROUND UTILITIES SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.

ELEVATION NOTE:
 ELEVATIONS BASED ON LAKE COUNTY BENCHMARK #LCBM E30, A PK NAIL & DISK SET IN SOUTHWEST SIDE OF A CONCRETE DRIVEWAY 17' EAST OF THE EAST EDGE OF PAVEMENT OF SPRING LAKE ROAD AND 1' NORTH OF THE SOUTH EDGE OF THE CONCRETE DRIVEWAY. ELEVATION=106.06', NAVD 1988 DATUM.



F.E.G. PROJECT NO. 16-043
 SHEET NO. C-5
 SHEET 5 OF 18

SHANNON SURVEYING, INC.
 499 NORTH S.R. 434 - SUITE 2045
 ALTAMONTE SPRINGS, FLORIDA, 32714
 (407) 774-8372 LB # 6998

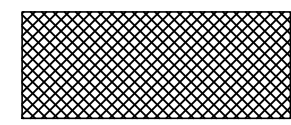

DEMOLITION NOTES

1. THE LOCATIONS, ELEVATIONS, & DIMENSIONS OF EXISTING UTILITIES & OTHER FEATURES ARE SHOWN ON THE PLANS ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PLAN PREPARATION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, & DIMENSIONS OF ALL EXISTING UTILITIES & OTHER FEATURES AFFECTING THE WORK PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY FEG OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROPOSED WORK.
2. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE EXCAVATION.
3. THE CONTRACTOR SHALL, PRIOR TO INITIATION OF ANY SITE CLEARING OR OTHER CONSTRUCTION ACTIVITIES, INSTALL SILT SCREENS DOWNSTREAM OF ALL AREAS WHICH HAVE POTENTIAL OF EROSION OR SEDIMENT TRANSPORT OFFSITE OR TO WATER BODIES. THE CONTRACTOR SHALL IMPLEMENT OTHER STRUCTURAL EROSION CONTROL MEASURES IF REQUIRED TO PREVENT SEDIMENT TRANSPORT TO OFF-SITE AREAS & WATER BODIES.
4. ALL TRASH, DEBRIS, & OTHER MATERIAL REMOVED FROM THE SITE SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS.
5. ANY EXCAVATED TRENCHES ARE TO BE BACKFILLED WITH CLEAN SAND COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY VALUE (AASHTO T-180). REFER TO GEOTECHNICAL REPORT FOR SPECIFIC COMPACTION REQUIREMENTS UNDER BUILDING & OTHER STRUCTURES.
6. ALL EXISTING CONCRETE TO BE REMOVED SHALL BE SAWCUT & REMOVED @ THE FIRST AVAILABLE GOOD JOINT & REPLACED TO MATCH EXISTING.
7. THE CONTRACTOR SHALL CONTACT THE GAS UTILITY FOR LOCATION BEFORE EXCAVATION. CHAPTER 17-153 F.S. REQUIRES THAT AN EXCAVATOR NOTIFIES ALL GAS UTILITIES AT LEAST TWO DAYS PRIOR TO EXCAVATING. ALSO CALL 1-800-432-4770 FOR SUNSHINE LOCATES. F.S. 556.101 THROUGH 111.
8. CONTRACTOR TO PROVIDE TREE PROTECTION AS REQUIRED BY THE LOCAL JURISDICTION.

DEMOLITION KEYNOTES

- D1. F.D.O.T. TYPE "III" SILT FENCE EROSION CONTROL BARRIER PER INDEX No. 102, TYPICAL.
- D2. REMOVE ASPHALT ENTRANCE
- D3. REMOVE EXISTING ROADWAY STRIPING WITHIN SHOWN BOUNDARY
- D4. REMOVE EXISTING "MERGE" AND ARROW PAVEMENT STRIPING

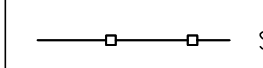

DEMOLITION LEGEND

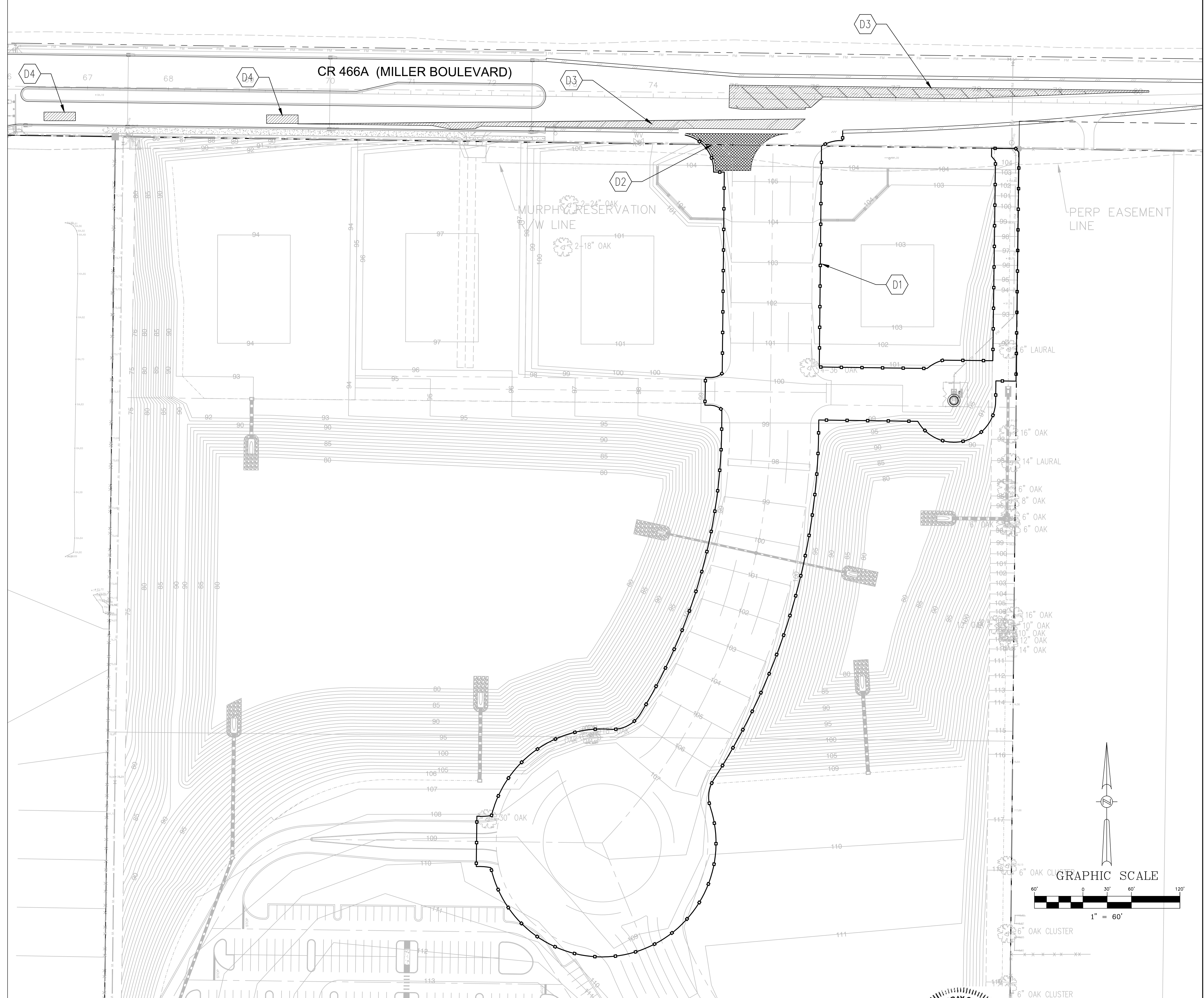
-  REMOVE EXISTING ASPHALT PAVEMENT, BASE, CURBING & SIDEWALK.
-  REMOVE EXISTING STRIPING

EROSION CONTROL SITE DESCRIPTION NOTES:

1. THE PROPOSED CONSTRUCTION ACTIVITY WILL ENTAIL THE CLEARING & GRUBBING OF A 4.0± ACRES SITE LOCATED AT MILLER BLVD (C.R.466A), CITY OF FRUITLAND PARK, TO BUILD THE ROADWAY ENTRANCE WITH ITS ASSOCIATED DRAINAGE & UTILITIES.
2. THE SEQUENCE OF SOILS DISTURBANCE ACTIVITY IS AS FOLLOWS:
 - A. INSTALL SILT FENCE AS SHOWN ON THE PLANS & PROVIDE TREE PROTECTION ON SITE, IF APPLICABLE.
 - B. CLEAR & GRUB THE AREA TO BE DISTURBED.
 - C. PLACE FILL ON-SITE TO BRING THE SITE UP TO THE PROPOSED GRADES.
 - D. BEGIN COMPACTION / STABILIZATION PROCESS.
3. THE TOTAL PROJECT SITE AREA IS 4.27± ACRES & THE AREA TO BE DISTURBED IS 4.27± ACRES.
4. THE EXISTING SOILS ARE: SPARR SAND, 0 TO 5 PERCENT SLOPES; APOPKA SAND, 0 TO 5 PERCENT SLOPES; APOPKA SAND, 5 TO 12 PERCENT SLOPES; CANDLER SAND, 0 TO 5 PERCENT SLOPES; AND CANDLER SAND, 5 TO 12 PERCENT SLOPES. THE QUALITY OF THE STORMWATER DISCHARGE IS CONSISTENT W/ THE RUNOFF GENERATED BY A ROADWAY SITE.
5. THE TOTAL DRAINAGE AREA FOR THE PROJECT IS APPROXIMATELY 4.27 ACRES.
6. THE LATITUDE & LONGITUDE FOR THE DISCHARGE POINTS IS LAT: 28°51'32" LONG: 81°55'59.5". THE RECEIVING WATER BODY IS THE MASTER WET DETENTION PONDS SYSTEM DESIGNED TO RECEIVE STORMWATER RUN-OFF FROM THE SITE. THE MASTER PONDS DISCHARGE IS LANDLOCKED.
7. WASTE DISPOSAL SHALL BE IMPLEMENTED IN ACCORDANCE WITH LOCAL, STATE & FEDERAL REGULATIONS. ALL TRUCKS EXITING THE SITE WILL BE HOSED, ITS LOAD COVERED and THE COVER PROPERLY SECURED. THE STORAGE, APPLICATION, GENERATION & MIGRATION OF ALL FERTILIZERS, HERBICIDES, PESTICIDES & TOXIC MATERIAL SHALL BE IN ACCORDANCE W/ LOCAL, STATE & FEDERAL REGULATIONS.
8. CONTRACTOR SHALL IDENTIFY THE INDIVIDUAL(S) RESPONSIBLE FOR THE WEEKLY & REQUIRED INSPECTIONS. A REPORTING SYSTEM ENTAILING THE ITEMS TO BE INSPECTED & THEIR CONDITION SHOULD BE DOCUMENTED & PLACED IN A DEDICATED FILING SYSTEM THAT WILL REMAIN ON THE PROJECT SITE, ACCESSIBLE TO THE CONSTRUCTION TEAM & TO THE F.D.E.P. INSPECTORS.
9. INSPECTIONS: CONSTRUCTION SITE WILL BE INSPECTED FOR EROSION PROBLEMS DAILY AND AFTER EACH RAINFALL GREATER THAN 0.5 INCH. A RAIN GAUGE WILL BE ON SITE TO MEASURE THE RAINFALL AMOUNT.

PLAN LEGEND

-  SILT FENCE EROSION CONTROL BARRIER
-  WETLAND AREA TO BE IMPACTED
- RB # ROAD BORING
- LB # LOT BORING



WESTMINSTER PINE RIDGE
ROADWAY AND UTILITY DEVELOPMENT
CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA

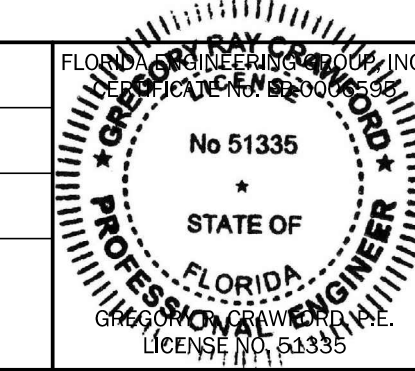


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SITE DEMOLITION AND STORMWATER POLLUTION PREVENTION PLAN

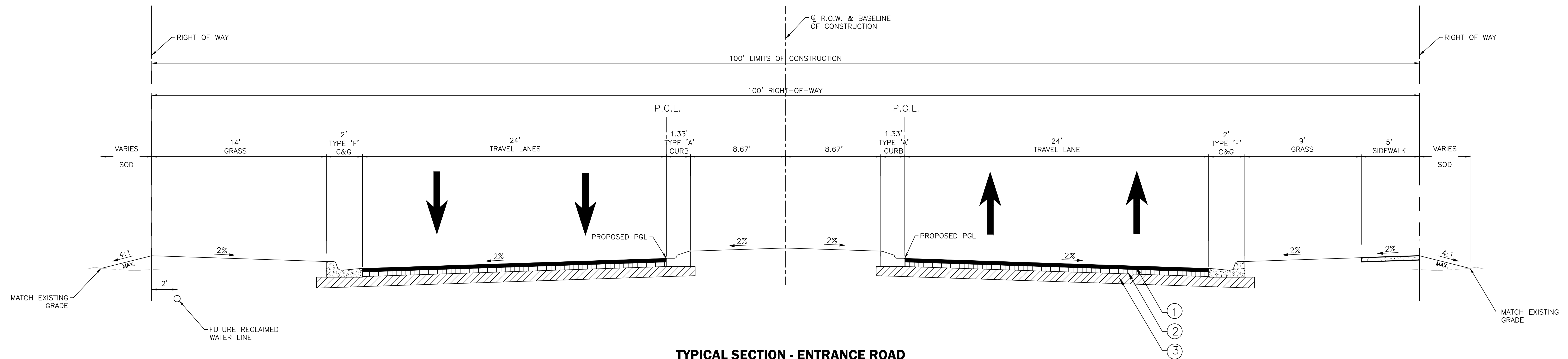
DESIGNED BY GRC	DRAWN BY JV	CHECKED BY GRC	APPROVED BY GRC
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PROJECT NO. 16-043
SCALE 1" = 60'
DATE AUGUST 2017
SHEET NO. C-6
SHEET 6 OF 18



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DATE	REVISIONS	BY	CHECKED



TYPICAL SECTION - ENTRANCE ROAD
STA 10+00 TO STA 16+28
 N.T.S.

- ① 2 1/2" TYPE SP 12.5 ASPHALTIC CONCRETE COMPACTED TO AN AVERAGE FIELD DENSITY OF 93% OF THE LABORATORY MAX. DENSITY
- ② 8" LIMEROCK BASE - COMPACTED TO A MIN. DENSITY OF 98% OF THE MODIFIED PROCTOR MAX. DRY DENSITY (LBR 100 MIN.)
- ③ 12" STABILIZED SUBGRADE - COMPACTED TO A MIN. DENSITY OF 98% OF THE MODIFIED PROCTOR MAX. DRY DENSITY (ASTM D1157) UNDER LIMEROCK - THE UPPER 6" TO BE STABILIZED TO A MIN. LBR OF 40.

DATE	REVISIONS	BY	CHECKED

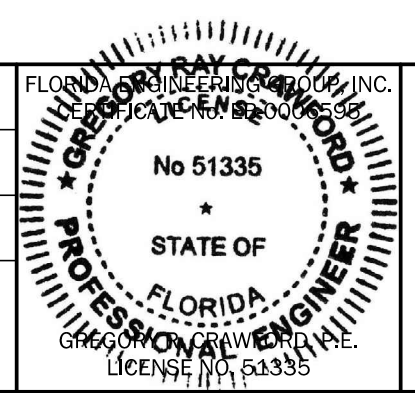
WESTMINSTER PINE RIDGE
 ROADWAY AND UTILITY DEVELOPMENT
 CONSTRUCTION PLANS
 CITY OF FRUITLAND PARK, FLORIDA



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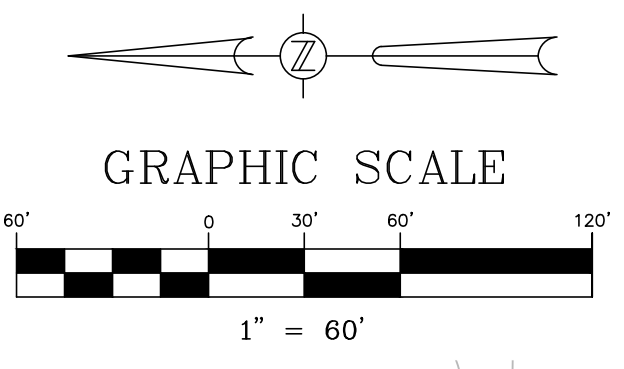
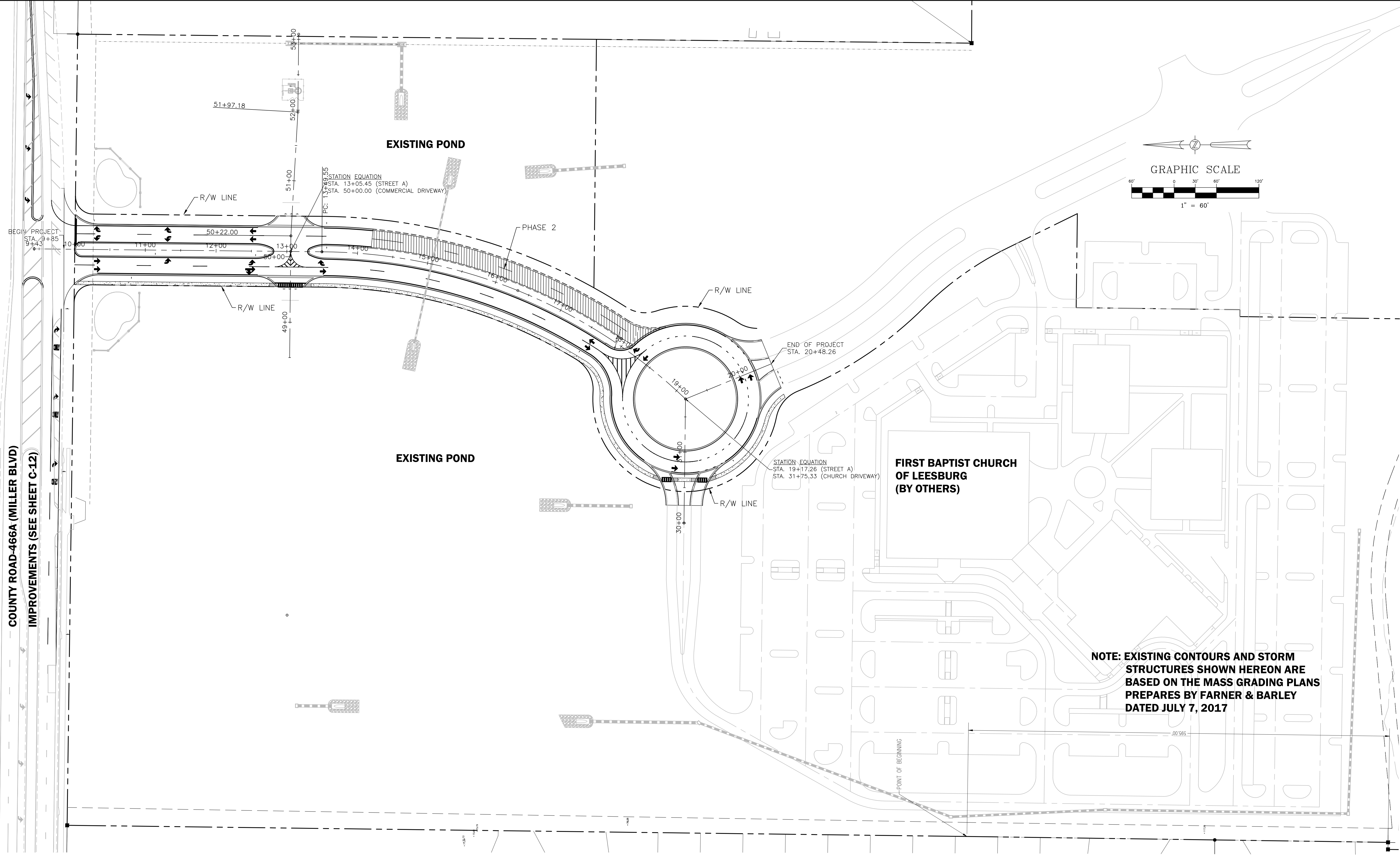
TYPICAL ROAD SECTION			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
GRC	JV	GRC	GRC

PROJECT NO.	16-043
SCALE	N.T.S.
DATE	AUGUST 2017
SHEET NO.	C-7
SHEET	7 OF 18



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COUNTY ROAD-466A (MILLER BLVD)
IMPROVEMENTS (SEE SHEET C-12)



NOTE: EXISTING CONTOURS AND STORM STRUCTURES SHOWN HEREON ARE BASED ON THE MASS GRADING PLANS PREPARED BY FARNER & BARLEY DATED JULY 7, 2017

THE VILLAGES

WESTMINSTER PINE RIDGE
ROADWAY AND UTILITY DEVELOPMENT
CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA

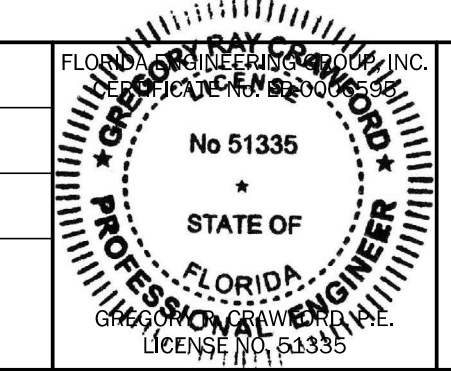


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OVERALL ROADWAY PLAN

DESIGNED BY GRC	DRAWN BY JV	CHECKED BY GRC	APPROVED BY GRC
--------------------	----------------	-------------------	--------------------

PROJECT NO. 16-043
SCALE 1" = 60'
DATE AUGUST 2017
SHEET NO. C-8
SHEET 8 OF 18



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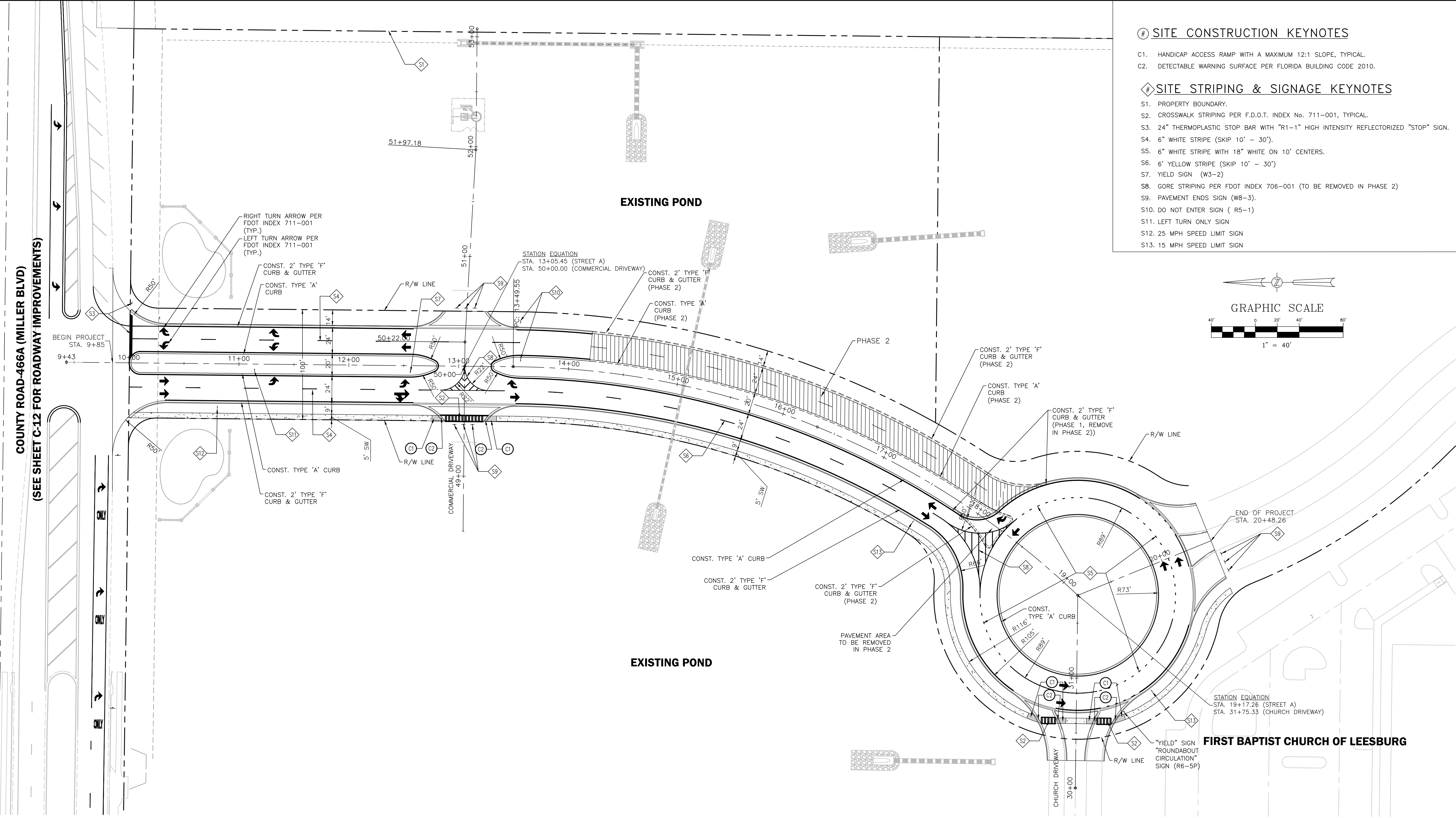
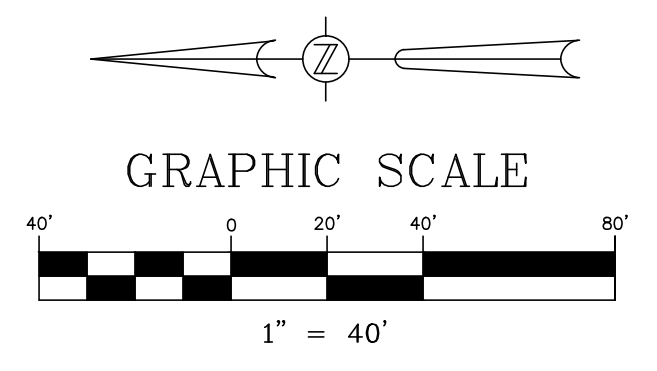
DATE	REVISIONS	BY	CHECKED

SITE CONSTRUCTION KEYNOTES

- C1. HANDICAP ACCESS RAMP WITH A MAXIMUM 12:1 SLOPE, TYPICAL.
- C2. DETECTABLE WARNING SURFACE PER FLORIDA BUILDING CODE 2010.

SITE STRIPING & SIGNAGE KEYNOTES

- S1. PROPERTY BOUNDARY.
- S2. CROSSWALK STRIPING PER F.D.O.T. INDEX No. 711-001, TYPICAL.
- S3. 24" THERMOPLASTIC STOP BAR WITH "R1-1" HIGH INTENSITY REFLECTORIZED "STOP" SIGN.
- S4. 6" WHITE STRIPE (SKIP 10' - 30').
- S5. 6" WHITE STRIPE WITH 18" WHITE ON 10' CENTERS.
- S6. 6" YELLOW STRIPE (SKIP 10' - 30')
- S7. YIELD SIGN (W3-2)
- S8. GORE STRIPING PER FDOT INDEX 706-001 (TO BE REMOVED IN PHASE 2)
- S9. PAVEMENT ENDS SIGN (W8-3).
- S10. DO NOT ENTER SIGN (R5-1)
- S11. LEFT TURN ONLY SIGN
- S12. 25 MPH SPEED LIMIT SIGN
- S13. 15 MPH SPEED LIMIT SIGN



NOTE:
RPM REFLECTORS TO BE INSTALLED PER FDOT INDEX No. 706-001

DATE	REVISIONS	BY	CHECKED

WESTMINSTER PINE RIDGE
ROADWAY AND UTILITY DEVELOPMENT
CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA

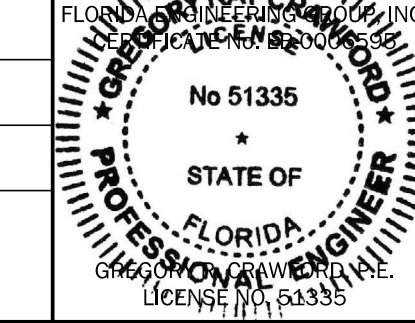


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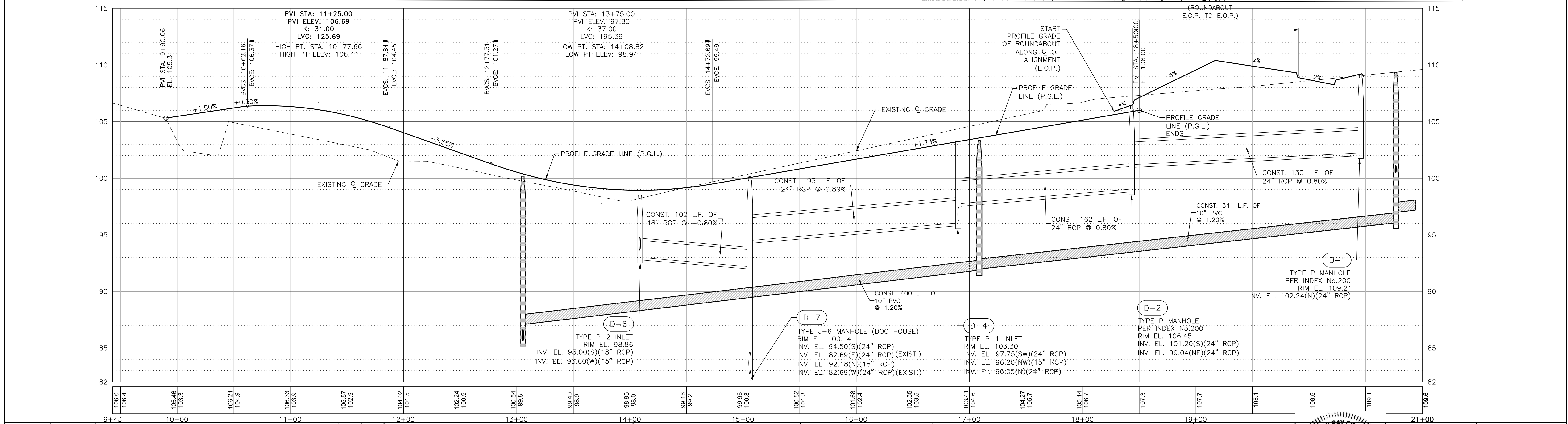
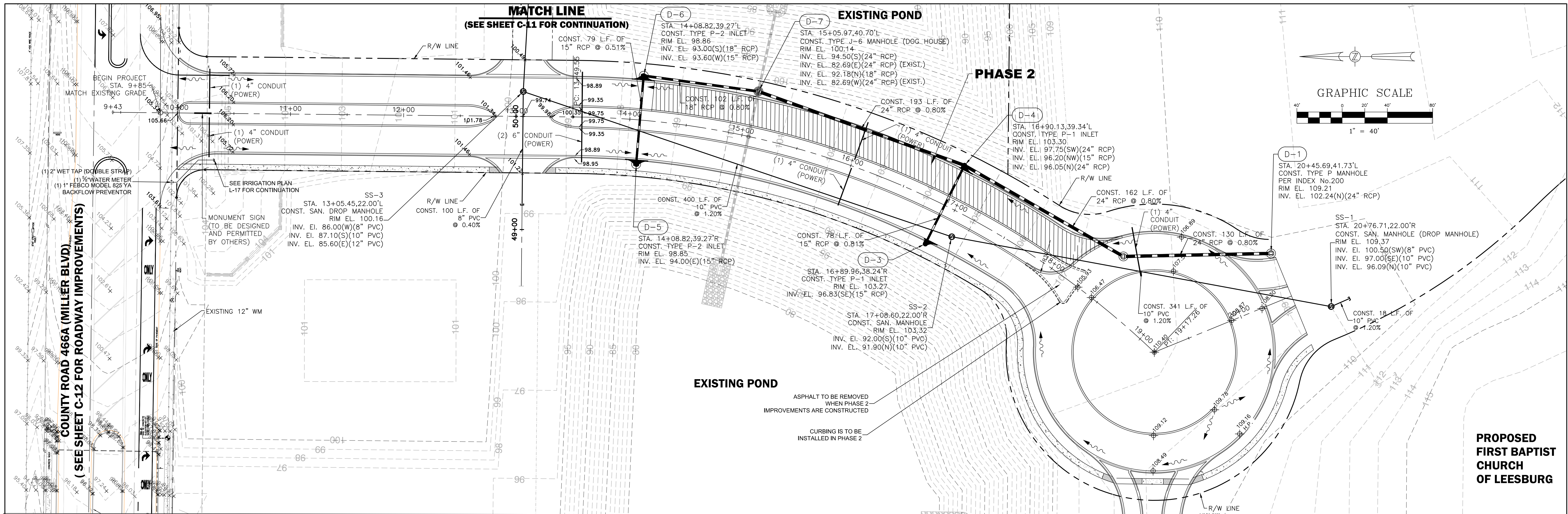
**ENTRANCE ROAD - SITE GEOMETRY,
SIGNING AND MARKING PLAN**

DESIGNED BY GRC	DRAWN BY JV	CHECKED BY GRC	APPROVED BY GRC
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PROJECT NO. 16-043
SCALE 1" = 40'
DATE AUGUST 2017
SHEET NO. C-9
SHEET 9 OF 18



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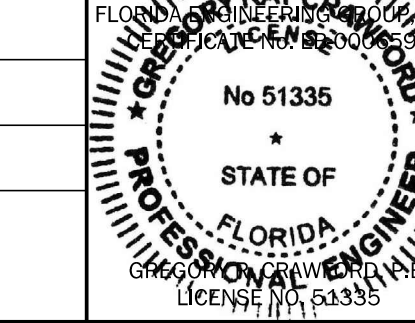
**WESTMINSTER PINE RIDGE
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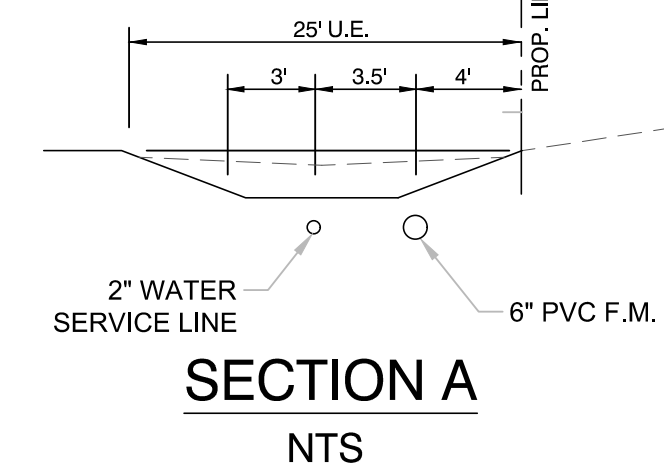
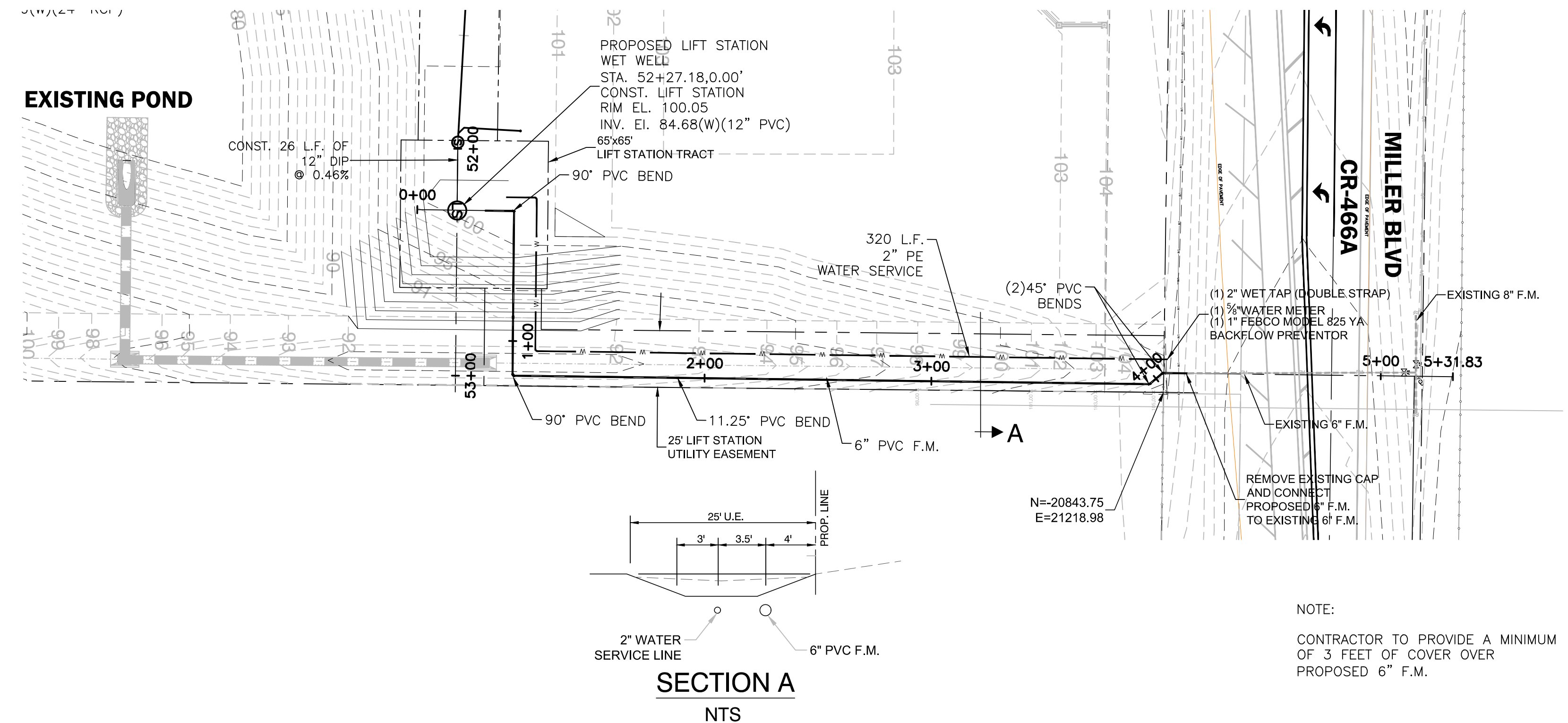
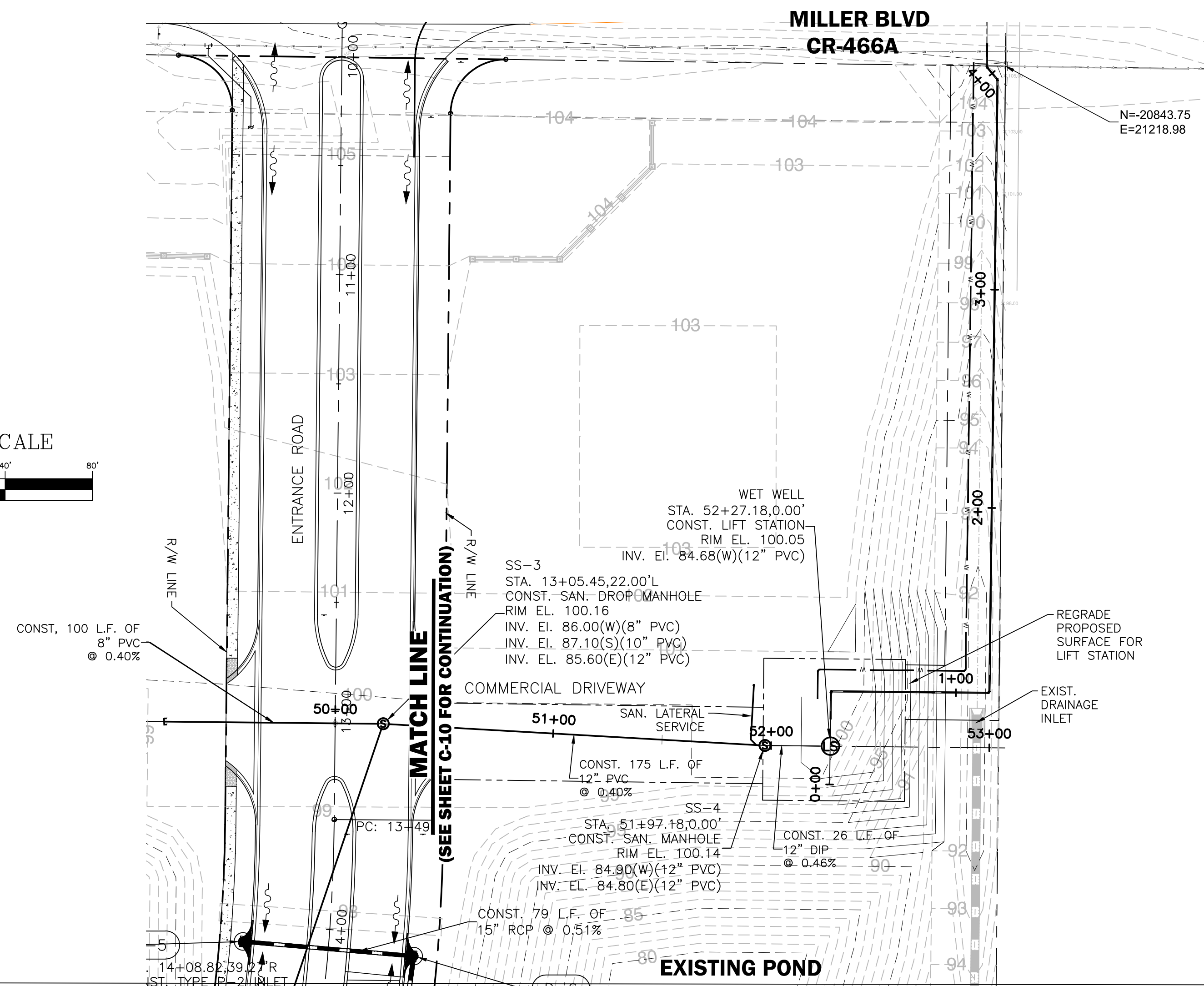
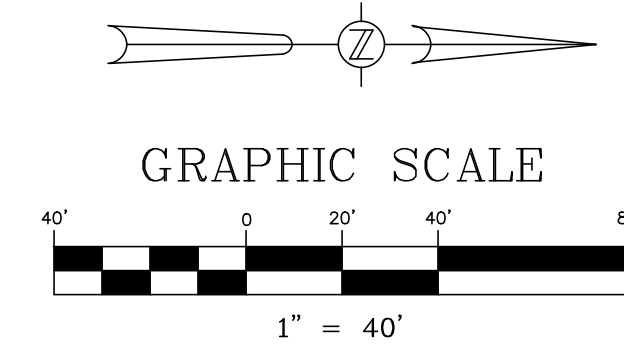
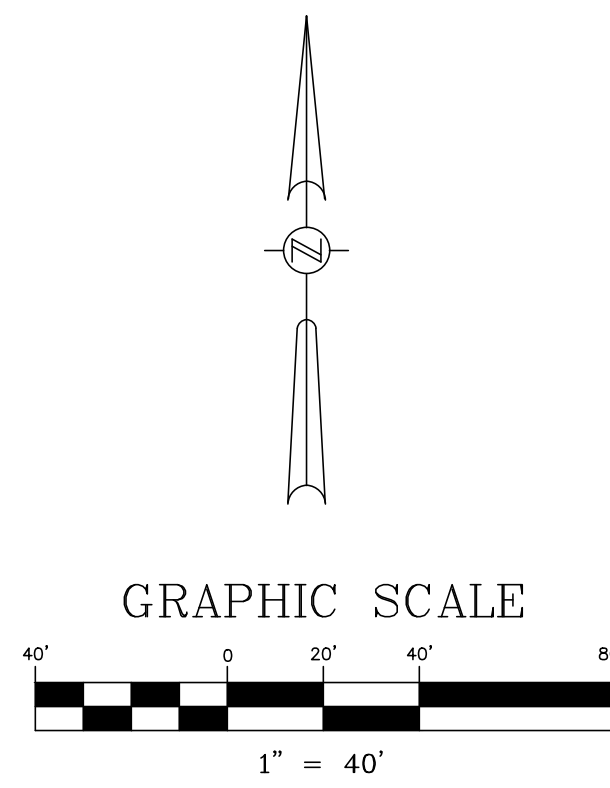
ENTRANCE ROAD - PLAN AND PROFILE			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
GRC	JV	GRC	GRC

PROJECT NO.	16-043
SCALE	H:1"=40'; V:1"= 4'
DATE	AUGUST 2017
SHEET NO.	C-10
SHEET	10 OF 18

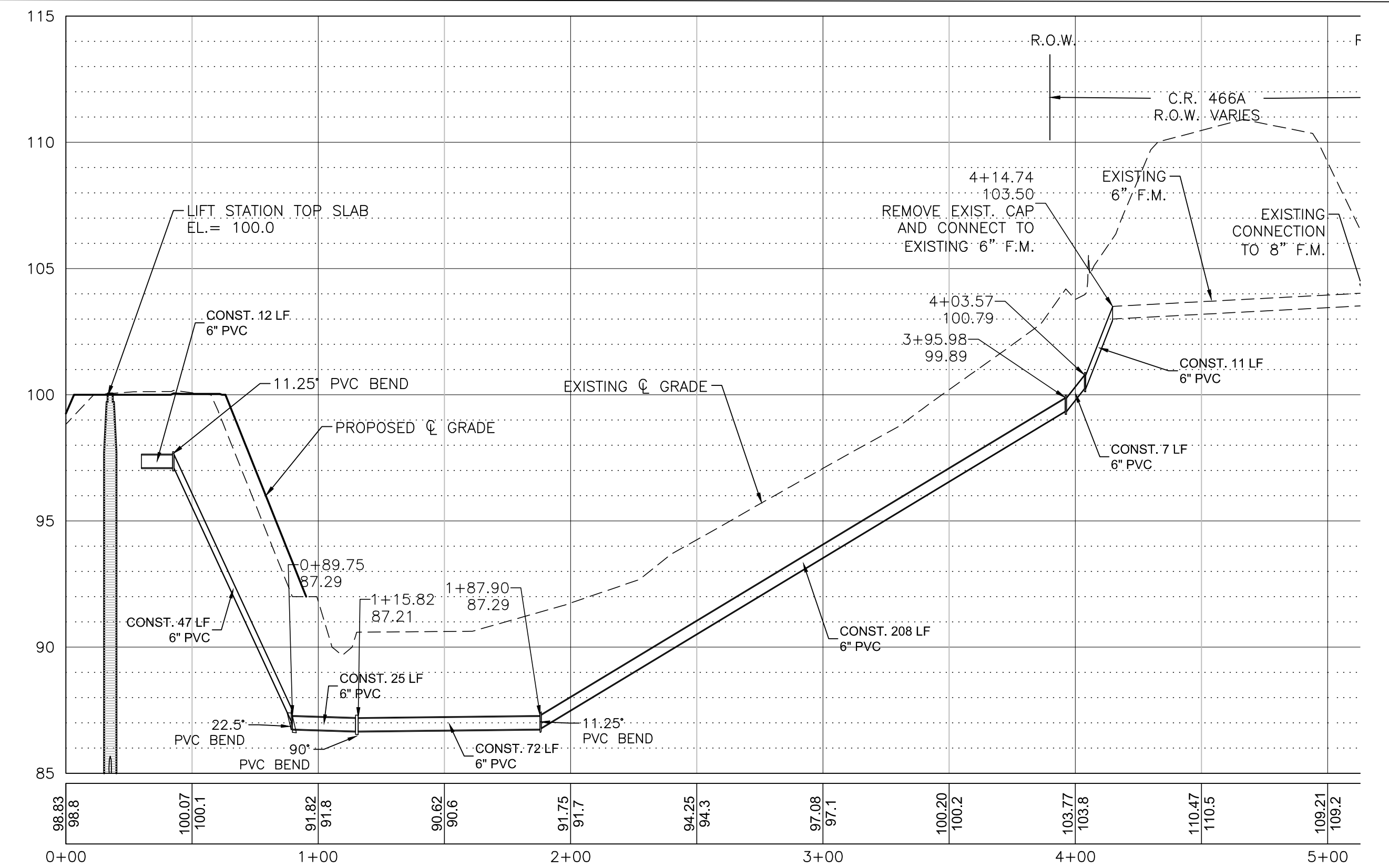
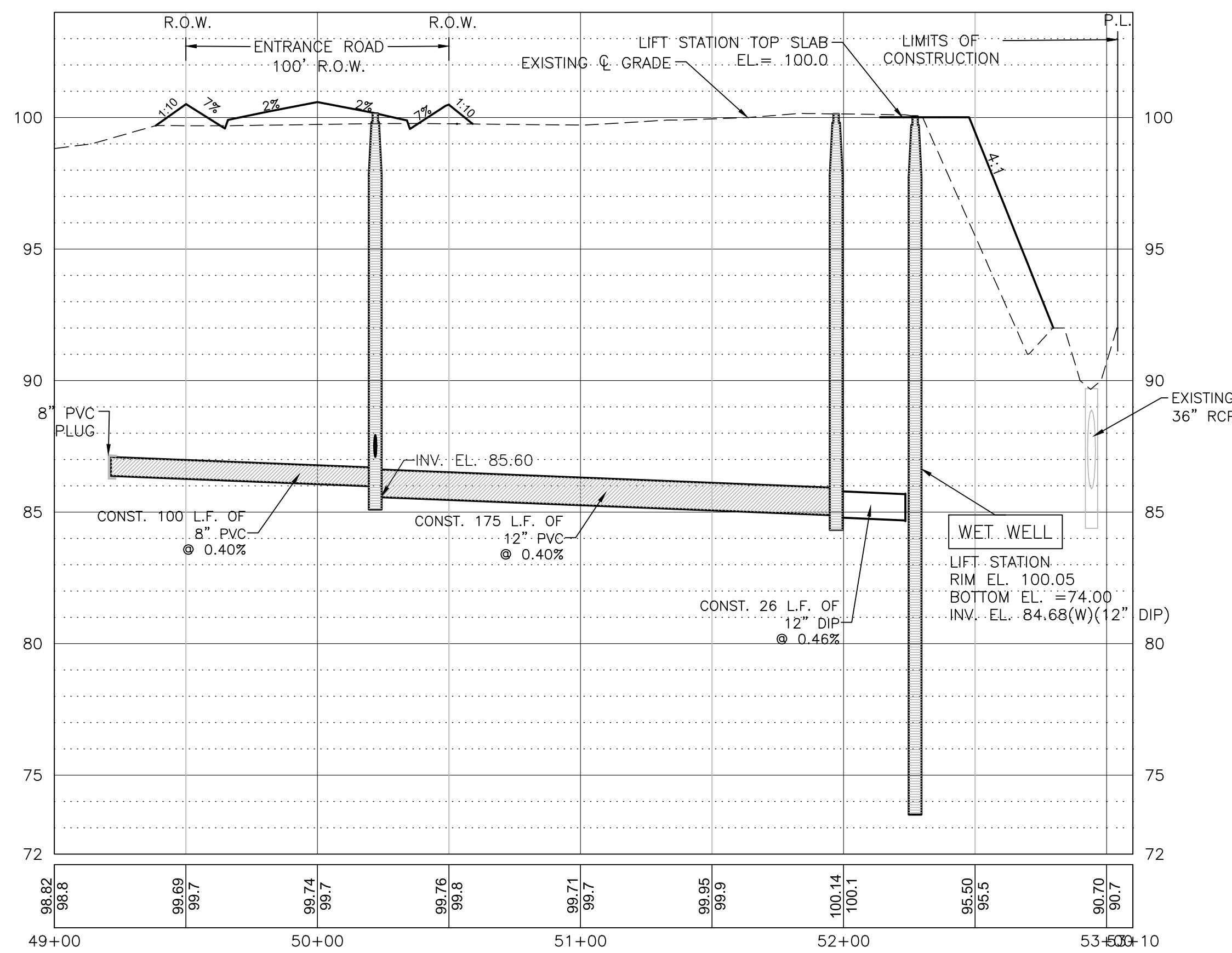


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16-043_C-8_PlanProfile.dwg



NOTE:
CONTRACTOR TO PROVIDE A MINIMUM OF 3 FEET OF COVER OVER PROPOSED 6" F.M.



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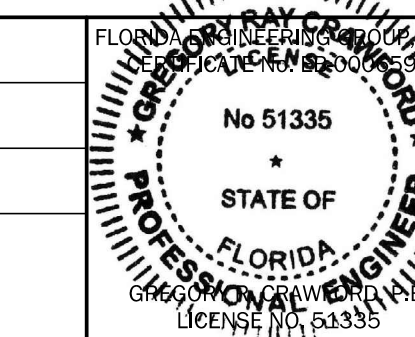
WESTMINSTER PINE RIDGE
ROADWAY AND UTILITY DEVELOPMENT
CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA



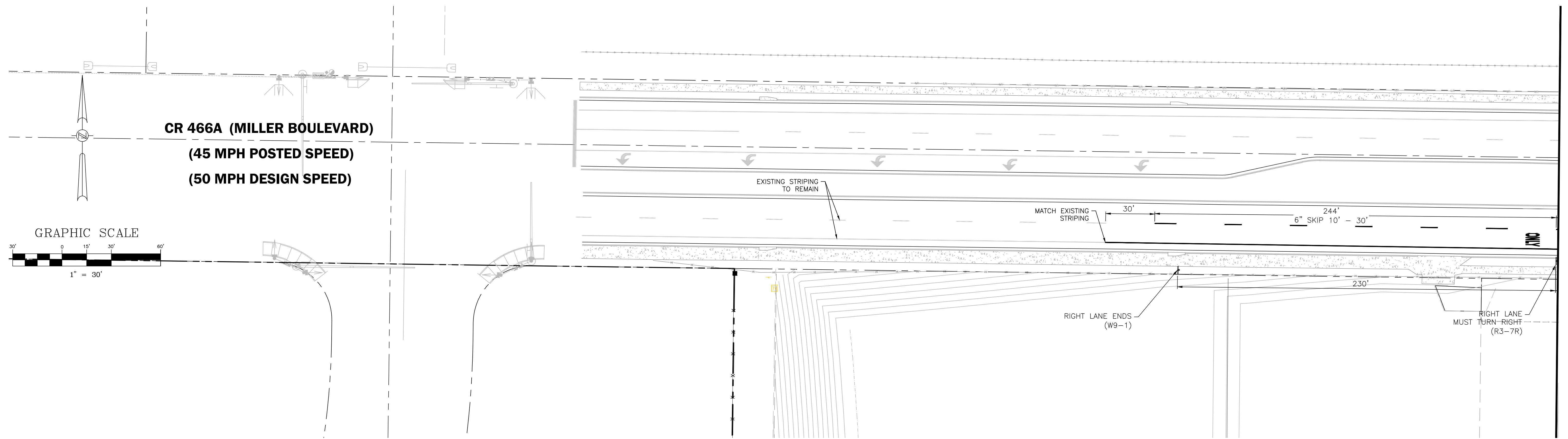
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GRAVITY SEWER TO LIFT STATION & FORCE MAIN PLAN-PROFILE			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
GRC	JV	GRC	GRC

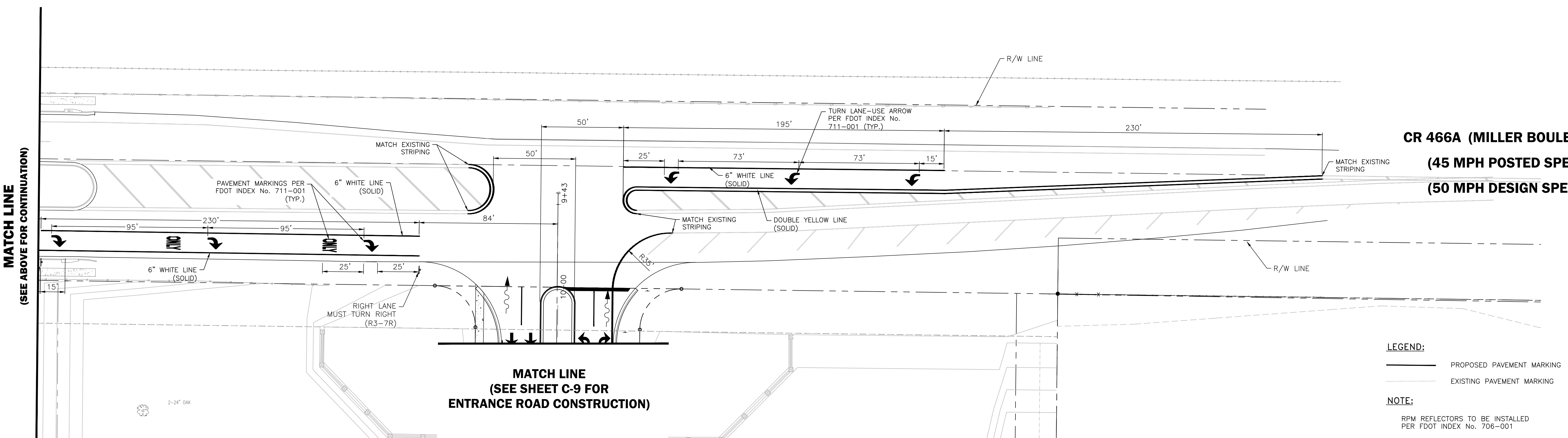
PROJECT NO.	16-043
SCALE	NOTED
DATE	AUGUST 2017
SHEET NO.	C-11
SHEET	11 OF 18



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MATCH LINE
(SEE BELOW FOR CONTINUATION)



MATCH LINE
(SEE ABOVE FOR CONTINUATION)

**MATCH LINE
(SEE SHEET C-9 FOR
ENTRANCE ROAD CONSTRUCTION)**

LEGEND:
 ——— PROPOSED PAVEMENT MARKING
 - - - - EXISTING PAVEMENT MARKING

NOTE:
 RPM REFLECTORS TO BE INSTALLED
 PER FDOT INDEX No. 706-001

DATE	REVISIONS	BY	CHECKED

WESTMINSTER PINE RIDGE
 ROADWAY AND UTILITY DEVELOPMENT
 CONSTRUCTION PLANS
 CITY OF FRUITLAND PARK, FLORIDA

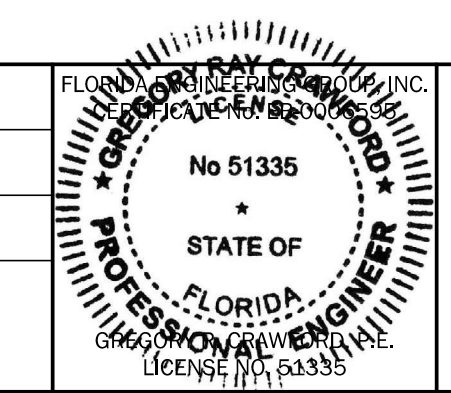


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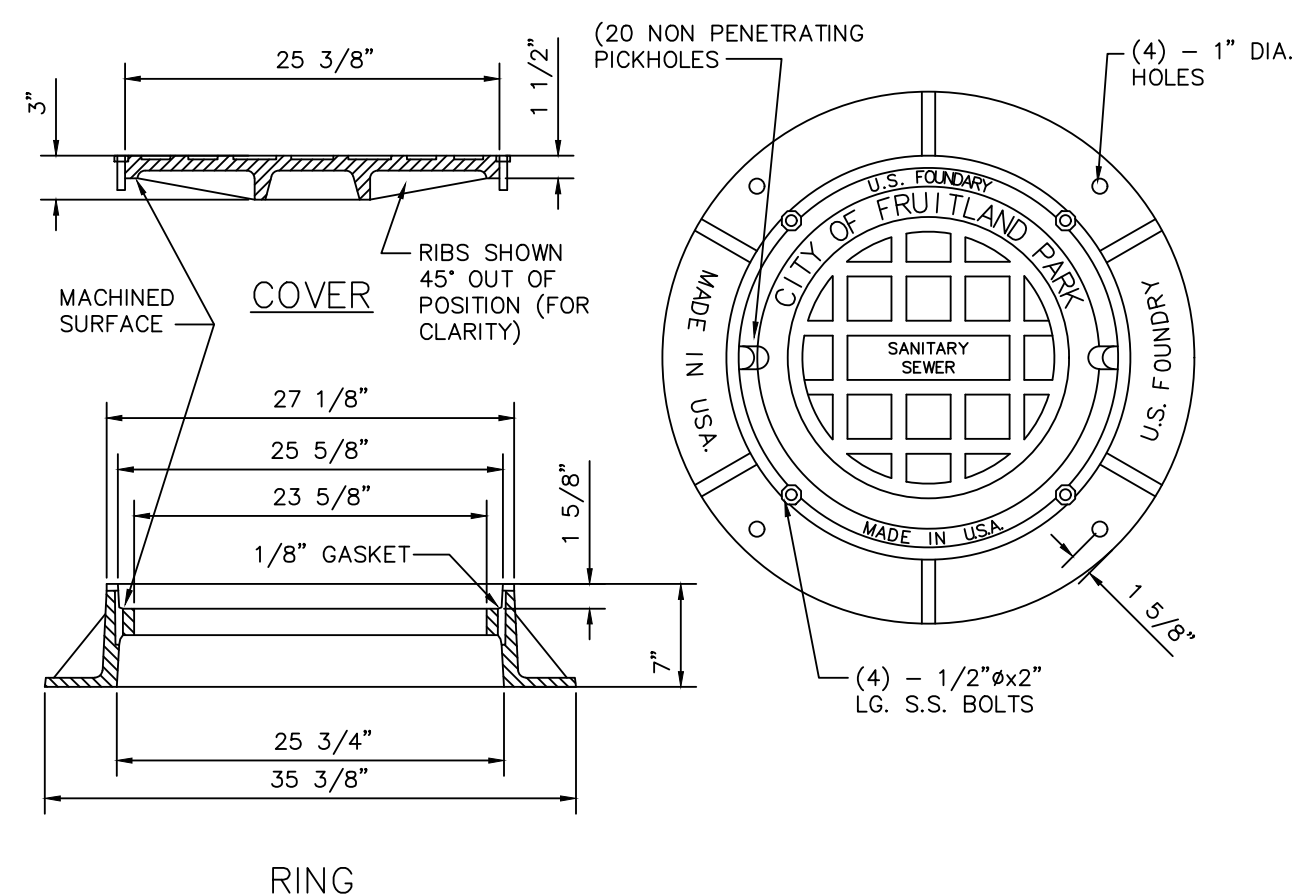
CR-466A ROAD IMPROVEMENTS PLAN

DESIGNED BY GRC	DRAWN BY JV	CHECKED BY GRC	APPROVED BY GRC
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PROJECT NO. 16-043
 SCALE 1" = 30'
 DATE AUGUST 2017
 SHEET NO. C-12
 SHEET 12 OF 18



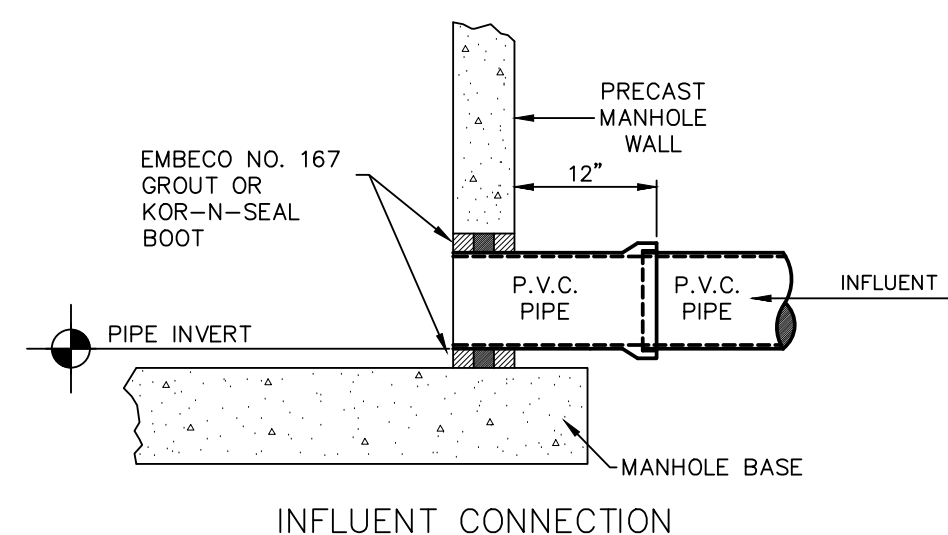
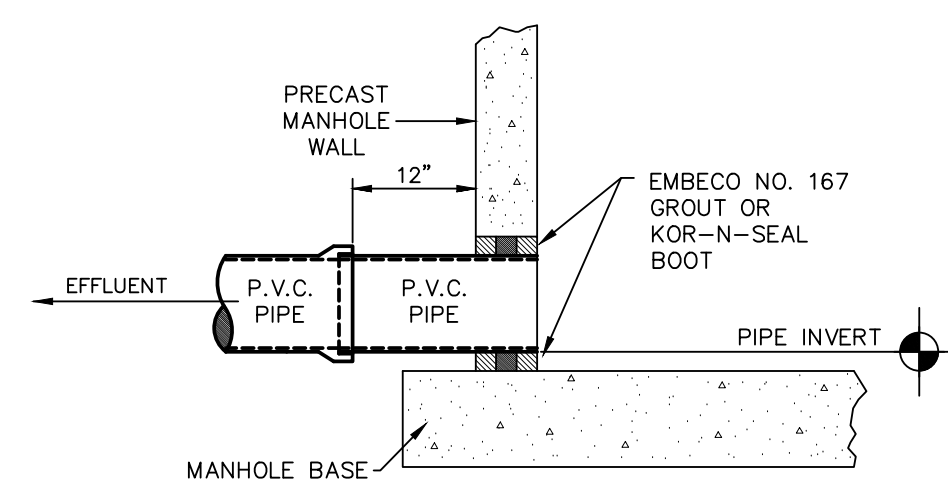
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*MODEL 299 CT AS MANUFACTURED BY U.S. FOUNDRY AND MFG. DORP.

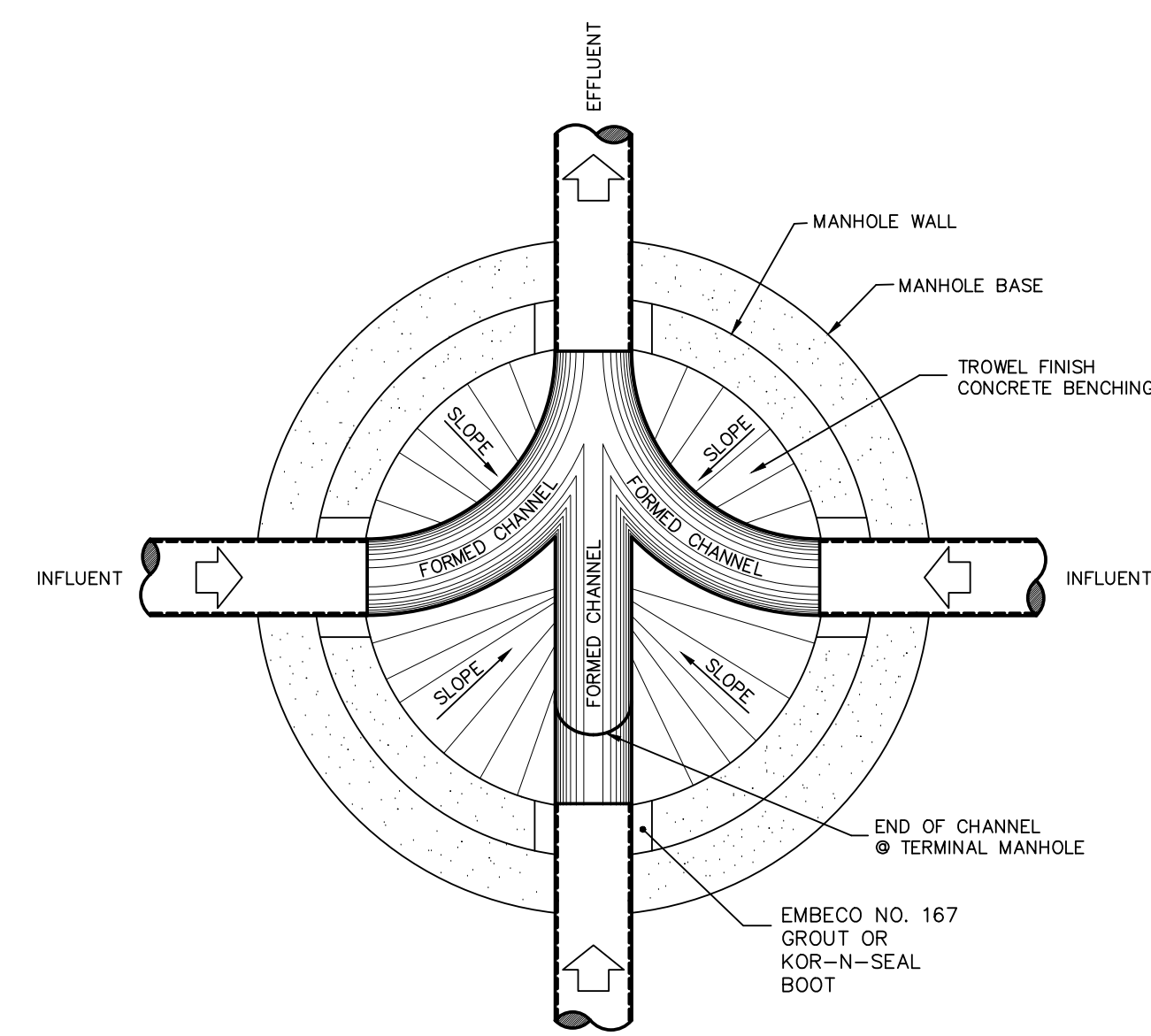
SANITARY MANHOLE COVER DETAIL
NOT TO SCALE

	City of Fruitland Park Standard Details	Arpil 2017
		Detail S-1a

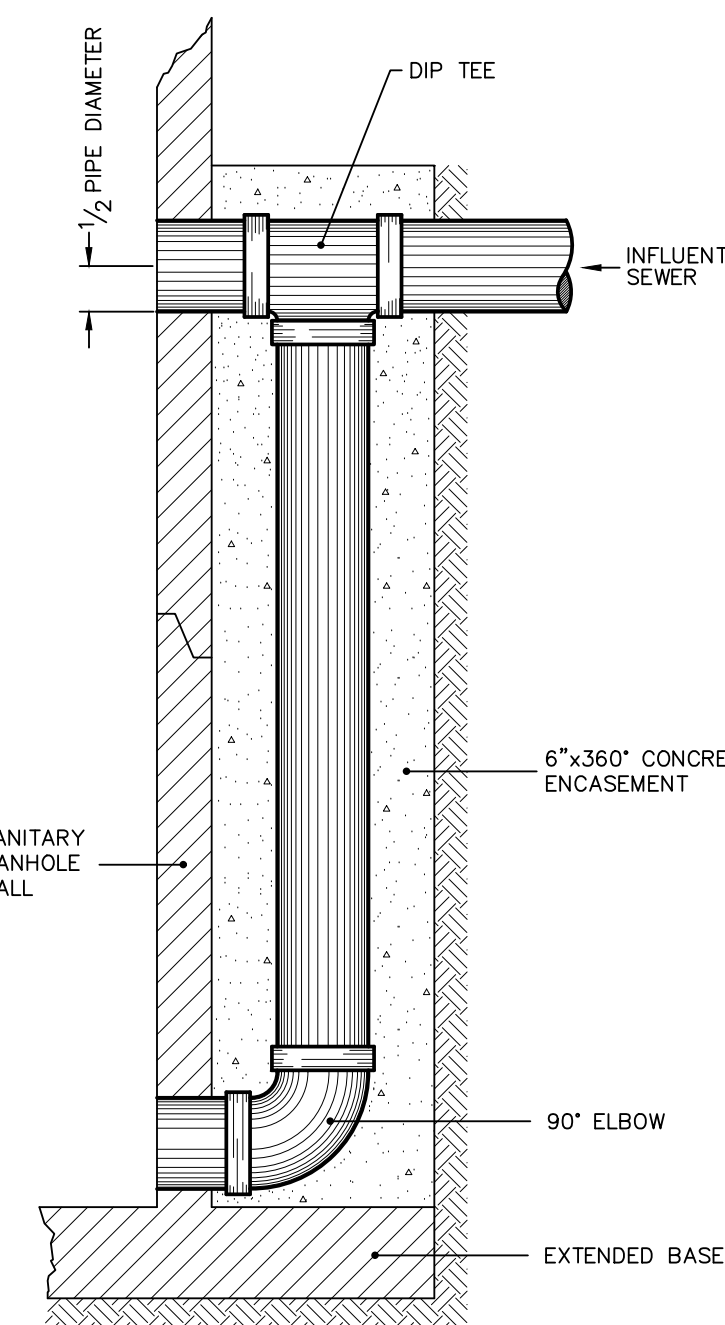


PIPE CONNECTION TO PRECAST SANITARY MANHOLE
NOT TO SCALE

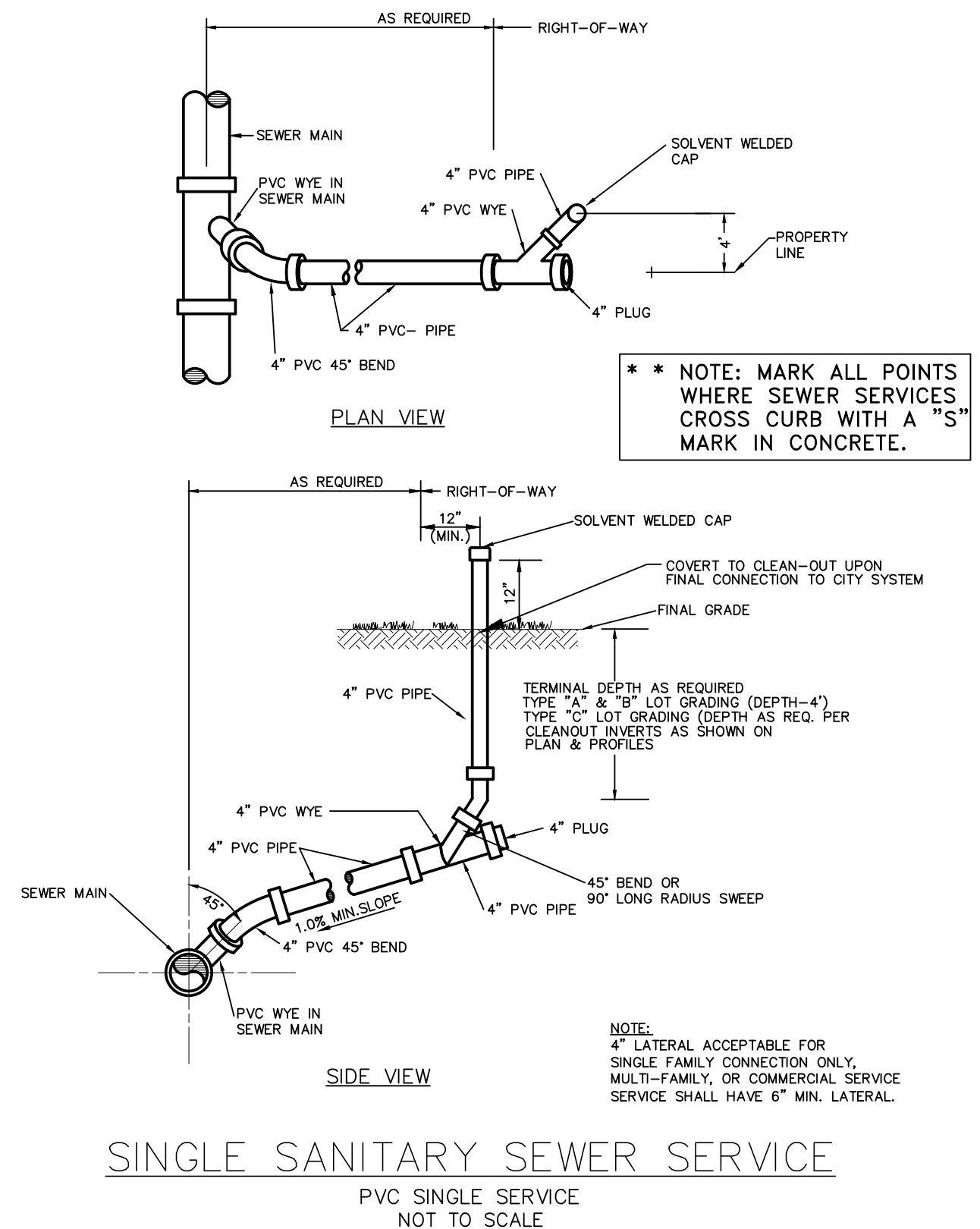
	City of Fruitland Park Standard Details	Arpil 2017
		Detail S-2



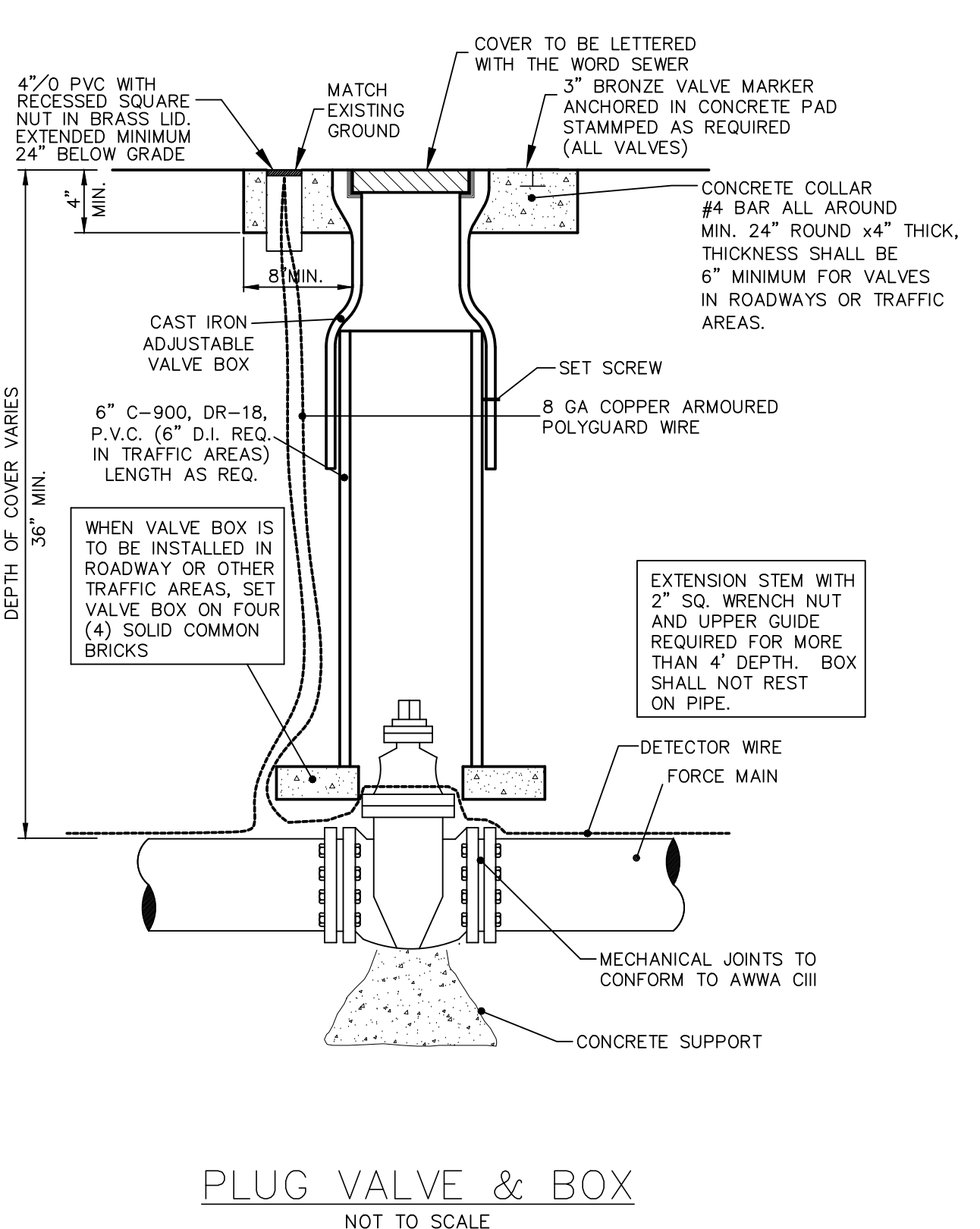
	City of Fruitland Park Standard Details	Arpil 2017
		Detail S-3



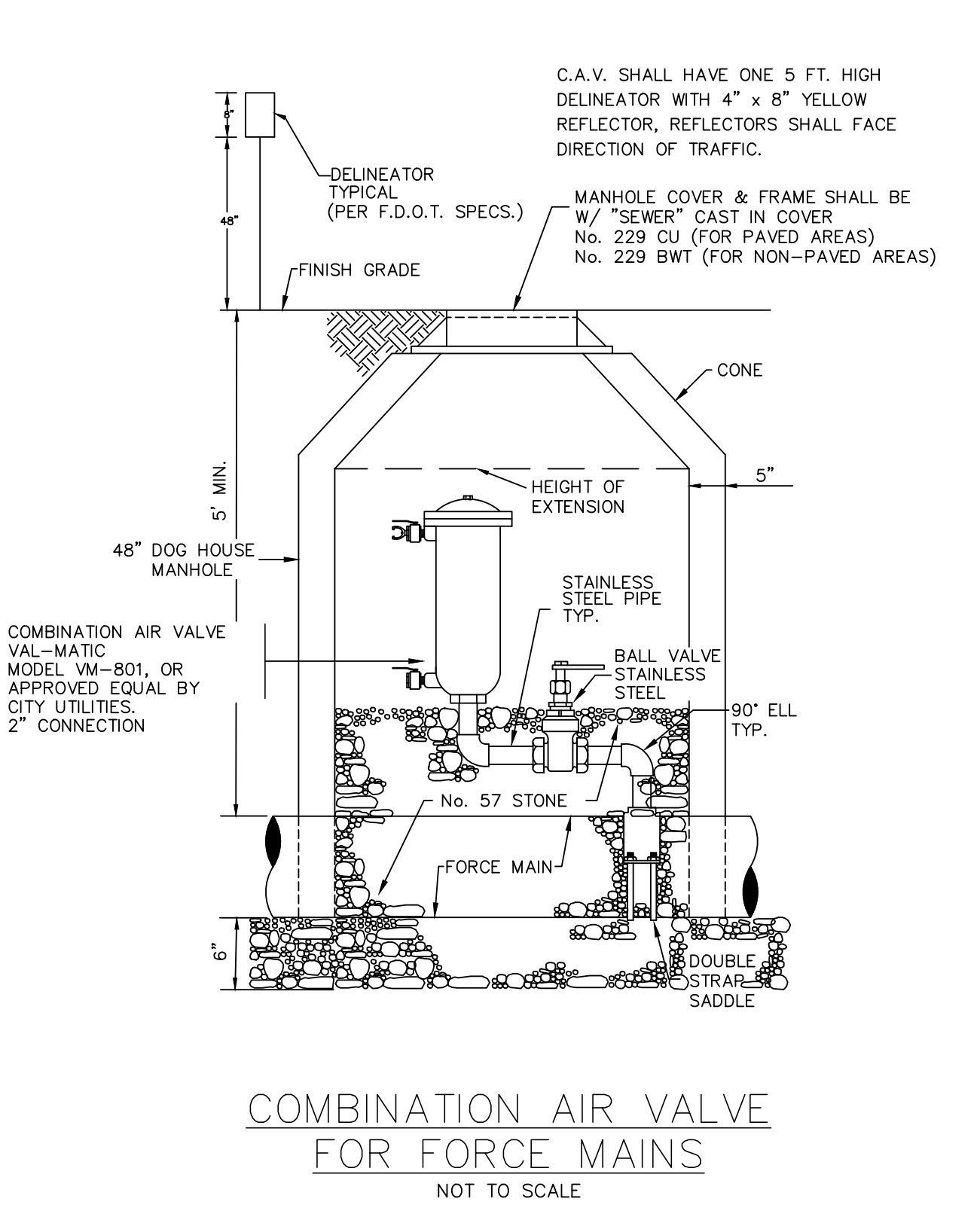
	City of Fruitland Park Standard Details	Arpil 2017
		Detail S-4



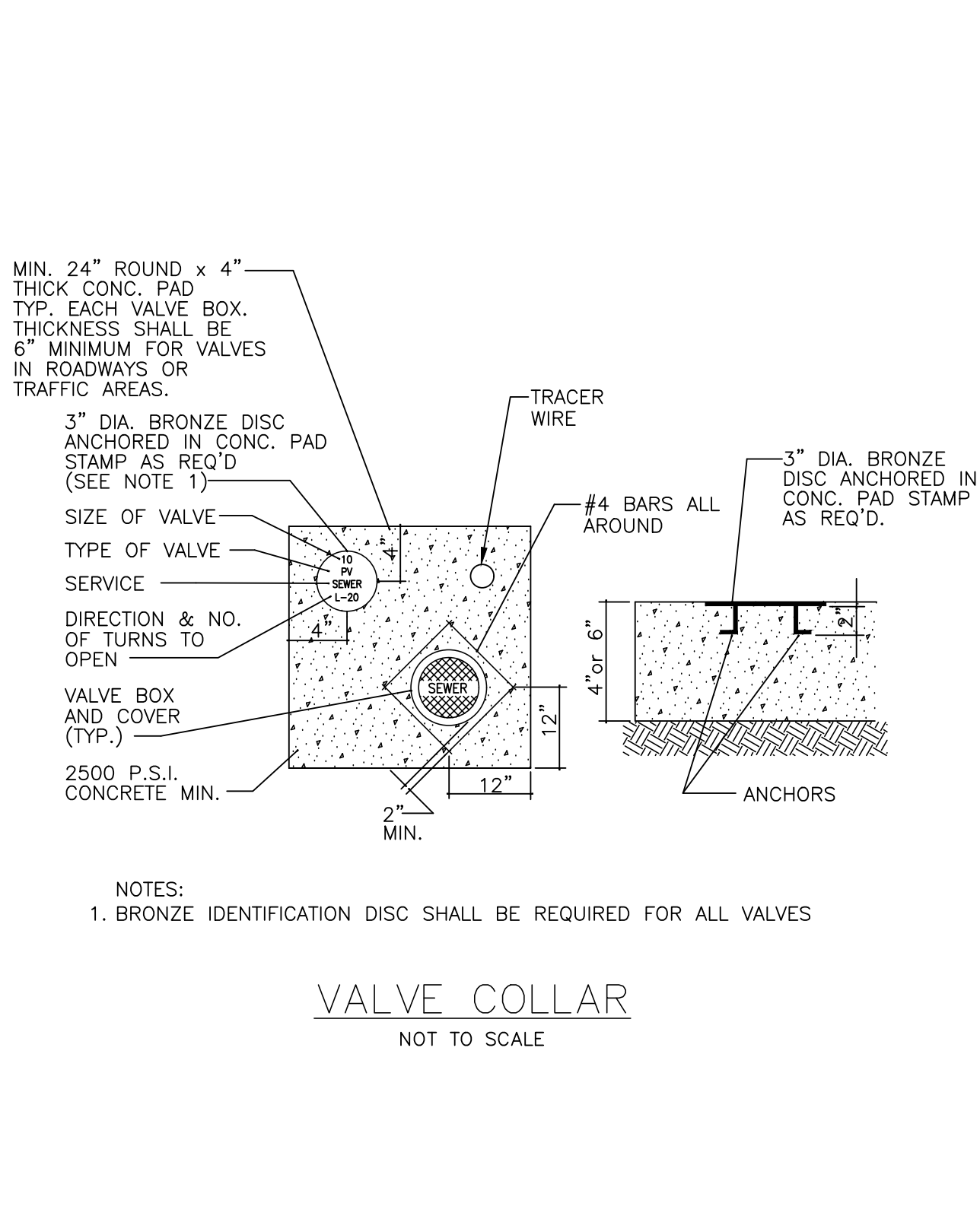
	City of Fruitland Park Standard Details	Arpil 2017
		Detail S-5



	City of Fruitland Park Standard Details	May 2005
		Detail S-12



	City of Fruitland Park Standard Details	Arpil 2017
		Detail S-13



	City of Fruitland Park Standard Details	Arpil 2017
		Detail S-14

WESTMINSTER PINE RIDGE
ROADWAY AND UTILITY DEVELOPMENT
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CITY OF FRUITLAND PARK, FLORIDA

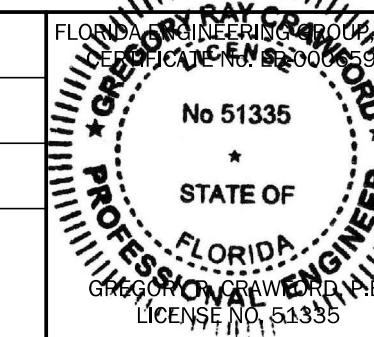


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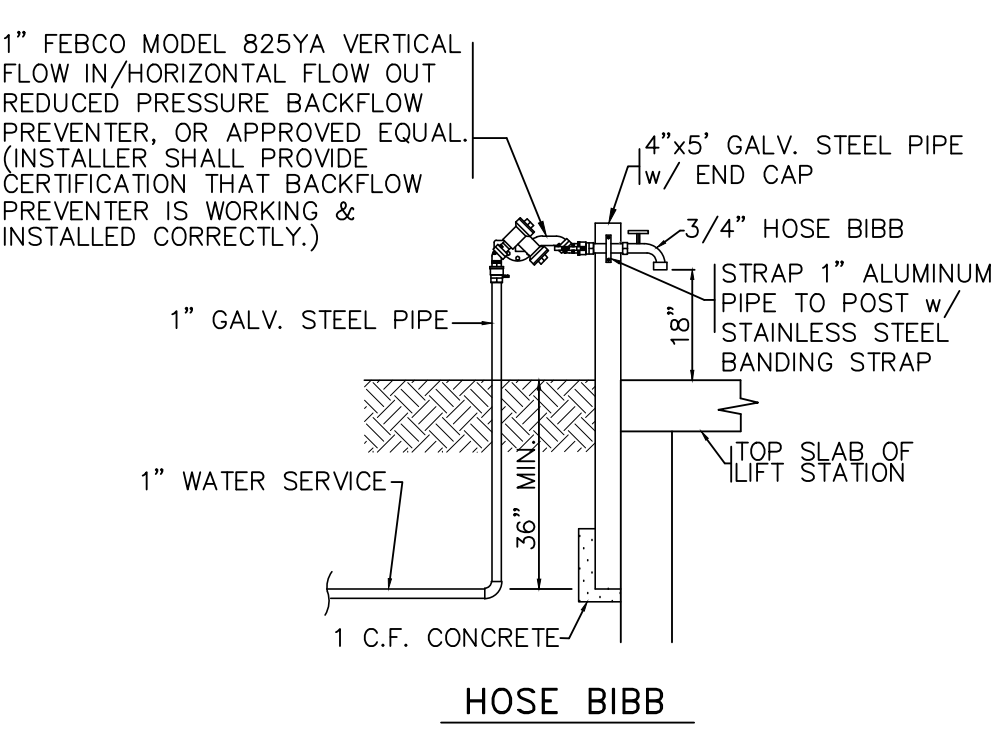
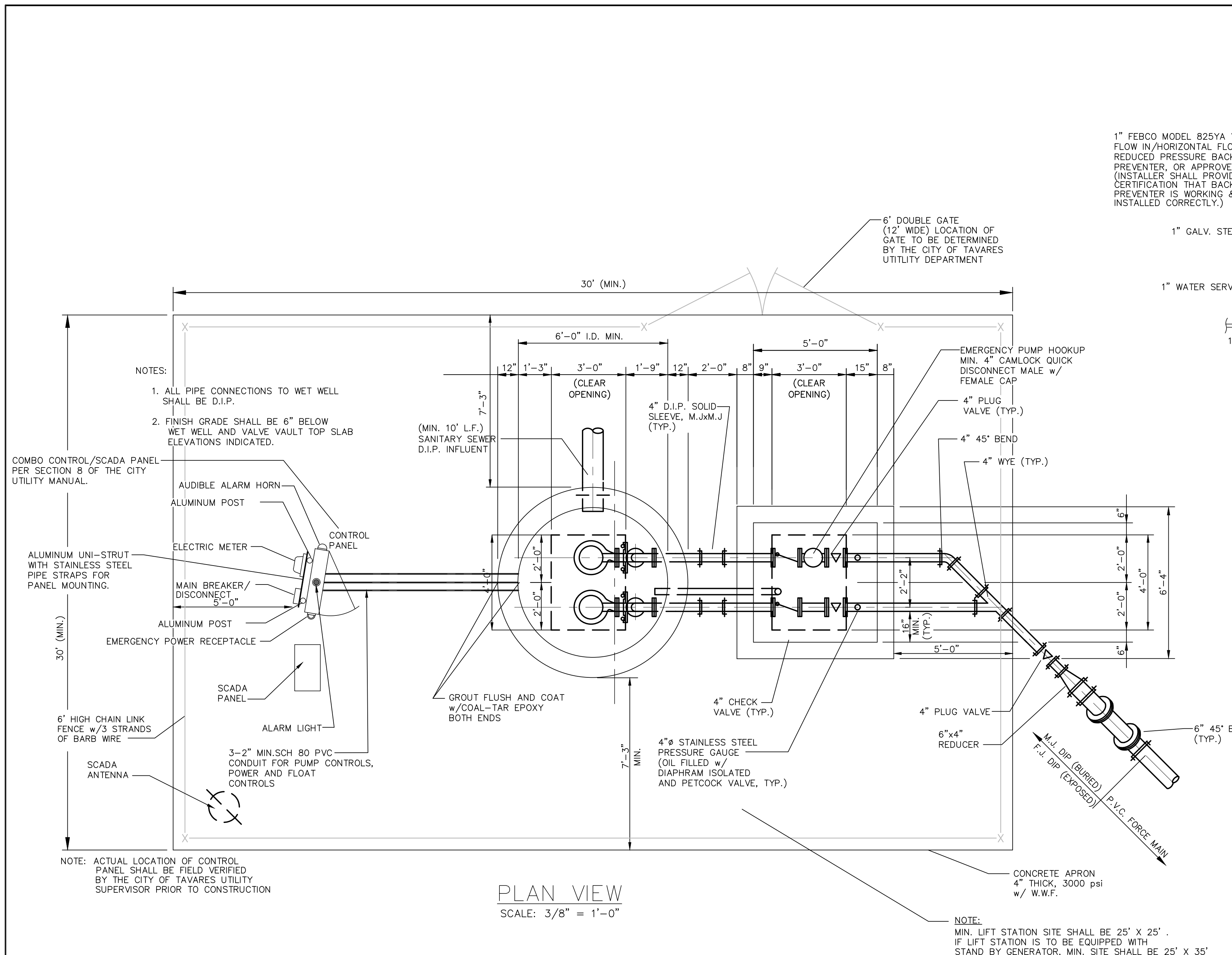
STANDARD DETAILS (2 OF 2)

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
GRC	JV	GRC	GRC

PROJECT NO.	16-043
SCALE	NOTED
DATE	AUGUST 2017
SHEET NO.	C-14
SHEET 14	OF 18



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- NOTES:**
- PUMPS: SHALL BE HYDROMATIC SUBMERSIBLE PUMPS. PUMPS SHALL HAVE (2) 2" STAINLESS STEEL GUIDE RAILS PER PUMP AND A BPI FRONT DUPLEX SYSTEM.
 - LEVEL CONTROLS: SHALL BE IN ACCORDANCE WITH SECTION 8 OF THE CITY UTILITY MANUAL.
 - WET WELL ACCESS COVER: SHALL HAVE CLEAR OPENING OF 36"x84" AS MANUFACTURED BY HALLIDAY PRODUCTS OR APPROVED EQUAL. ACCESS FRAME AND COVER SHALL HAVE A 1/4" THICK ONE-PIECE, MILL FINISH, EXTRUDED ALUMINUM FRAME, INCORPORATING A CONTINUOUS CONCRETE ANCHOR. DOOR PANEL(S) SHALL BE 1/4" ALUMINUM DIAMOND PLATE, REINFORCED TO WITHSTAND A LIVE LOAD OF 300 psf. DOOR(S) SHALL OPEN TO 90° AND AUTOMATICALLY LOCK WITH STAINLESS STEEL HOLD OPEN ARMS WITH ALUMINUM RELEASE HANDLES. DOOR(S) SHALL CLOSE FLUSH WITH THE FRAME. UNIT SHALL LOCK WITH A NONCORROSIVE LOCKING BAR. FRAME SHALL SUPPORT GUIDE RAILS AND CABLE HOLDER FOR ELECTRICAL WIRING. ALL ACCESS FRAME, COVER, AND HARDWARE SHALL BE CONSTRUCTED OF STAINLESS STEEL. ALL SURFACES IN CONTACT WITH CONCRETE SHALL HAVE A SHOP COAT OF ZINC CHROMATIC PRIMER APPROVED ALKALI RESISTANT PAINT OR APPROVED PROTECTIVE COATING. DOUBLE DOOR ACCESS COVERS SHALL HAVE REMOVABLE CENTER BAR SUPPORT. COVER MUST BE COMPATIBLE WITH PUMP.
 - VALVE VAULT ACCESS COVER: SHALL HAVE CLEAR OPENING OF 36"x84" ACCESS AS MANUFACTURED BY HALLIDAY PRODUCTS OR APPROVED EQUAL. ACCESS FRAME AND COVER SHALL HAVE A 1/4" THICK ONE-PIECE, MILL FINISH, EXTRUDED ALUMINUM FRAME, INCORPORATING A CONTINUOUS CONCRETE ANCHOR. DOOR PANEL(S) SHALL BE 1/4" ALUMINUM DIAMOND PLATE, REINFORCED TO WITHSTAND A LIVE LOAD OF 300 psf. DOOR(S) SHALL OPEN TO 90° AND AUTOMATICALLY LOCK WITH STAINLESS STEEL HOLD OPEN ARMS WITH ALUMINUM RELEASE HANDLES. DOOR(S) SHALL CLOSE FLUSH WITH THE FRAME. UNIT SHALL LOCK WITH A NONCORROSIVE LOCKING BAR. ALL ACCESS FRAME, COVER, HARDWARE, AND FASTENERS SHALL BE CONSTRUCTED OF 316 STAINLESS STEEL. ALL SURFACES IN CONTACT WITH CONCRETE SHALL HAVE A SHOP COAT OF ZINC CHROMATIC PRIMER, APPROVED ALKALI RESISTANT PAINT OR APPROVED PROTECTIVE COATING. DOUBLE DOOR ACCESS COVERS SHALL HAVE REMOVABLE CENTER BAR SUPPORT. COVER MUST BE COMPATIBLE WITH PUMP.
 - ELECTRICAL SERVICE ENTRANCE: PROVIDE METER SOCKET AND MAIN DISCONNECT MEETING APPLICABLE ELECTRIC CODES AND REQUIREMENTS OF POWER COMPANY. LIGHTNING AND VOLTAGE SURGE PROTECTION TO BE PROVIDED. **COST FOR THE ELECTRICAL SERVICE AND COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTROL PANEL: SHALL BE IN ACCORDANCE WITH SECTION 8 OF THE CITY UTILITY MANUAL. PANEL SHALL BE EQUIPPED WITH THREE, 2" X 6" ALUMINUM NIPPLES TO THE SEALOFFS, WITH SCH 80 PVC TO WET WELL.
 - PAINT: INSIDE AND OUTSIDE OF VALVE VAULT SHALL BE PAINTED WITH TWO COATS OF "POXITAR" OR EQUAL APPLIED AS PER MANUFACTURER'S RECOMMENDATIONS.
 - VALVE VAULT: PRECAST CONCRETE 60"x 84" (MINIMUM) INSIDE DIMENSIONS.
 - STEEL PLACED IN BOTTOM SLAB IS TO BE IDENTICAL TO THE TOP SLAB EXCEPT THAT DIAGONAL BARS AND OPENINGS ARE ELIMINATED. STEEL IS CONTINUOUS AND SLAB IS SOLID.
 - CONTRACTOR TO CONFIRM SERVICE ARRANGEMENTS WITH POWER COMPANY BEFORE COMMENCING WORK. CONTRACTOR TO RUN UNDERGROUND WIRING TO NEAREST TRANSFORMER OR HAND HOLE.
 - ALL FASTENERS ON FLANGES AND ETC. INSIDE WET WELL WILL BE STAINLESS STEEL.
 - DIMENSIONS BETWEEN CENTERLINE OF PIPES ARE STANDARD FOR PIPE SIZES SPECIFIED.
 - SHOP DRAWINGS OF ENTIRE INSTALLATION MUST BE APPROVED BY CITY PRIOR TO PLACEMENT OF ORDER.
 - PLUG VALVES SHALL BE SERIES 100, AS MANUFACTURED BY DEZURIK CORP., AND CLOW OR APPROVED EQUAL. VALVES SHALL BE CONSTRUCTED WITH RESILIENT FACED PLUGS. ON BY-PASS LINES, VALVES SHALL BEBURIED WITH ACCESS THROUGH CAST IRON VALVE BOXES. VALVES SHALL HAVE A 2" OPERATION NUT. ONE(1) 5' LONG VALVE WRENCH SHALL BE PROVIDED TO THE CITY OF TAVARES PER LIFT STATION. ALL PLUG VALVES 8" AND SMALLER SHALL BE 1/4 TURN TYPE.
 - ALL EXPOSED AND EMBEDDED CONDUITS TO BE SCHEDULE 80 PVC.
 - ALL EXPOSED METAL SHALL BE PAINTED WITH TWO (2) COATS OF EXTERIOR BLACK ENAMEL PAINT.
 - ALL EXTERNAL PIPING SHALL BE DUCTILE IRON CLASS 50 (FLANGED JOINT FOR EXPOSED PIPE & MECHANICAL JOINT FOR BURIED PIPE). ALL INTERNAL WET WELL PIPING FROM THE PUMP DISCHARGE ELBOW TO THE VALVE BOX SHALL BE MINIMUM SDR-11 HDPE.
 - ALL DIMENSIONS AND LOCATIONS OF UTILITIES TO BE FIELD VERIFIED BY CONTRACTOR.
 - PRESSURE GAUGES SHALL BE STAINLESS STEEL WITH STAINLESS STEEL DIAPHRAGM, LIQUID FILLED, 4" DIAMETER DIAL WITH 0-100 psi RANGE. GAUGES SHALL BE AS MANUFACTURED BY WKA, LOWER MOUNT, TYPE 233.30 AND DIAPHRAGMS SHALL BE AS MANUFACTURED BY HYETT, MODEL 43MCR-01 OR APPROVED EQUALS.
 - CHECK VALVES SHALL BE MUELLER, KENNEDY, AMERICAN-DARLING, OR DRESSER WITH OUTSIDE LEVER AND WEIGHT.
 - PADLOCKS FOR ACCESS COVERS AND CONTROL PANEL SHALL BE MASTER NO. 4 BRASS PADLOCK, KEYED ALIKE, FURNISH TWO(2) KEYS PER LOCK. BOLTS IN LOCKING DEVICE SHALL BE STAINLESS STEEL.
 - WET WELL TO BE LINED WITH SEWPER COAT. ALL JOINTS SHALL BE EXTRUSION WELDED BY CERTIFIED WELDERS.
 - SOD ALL AREAS DISTURBED BY CONSTRUCTION.
 - ALL ALUMINUM SURFACES IN CONTACT WITH CONCRETE WILL REQUIRE SHOP COATING OF SUITABLE PROTECTIVE COATING TO RESIST CORROSION.
 - BYPASS PUMPING: CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BYPASS PUMPING. A BYPASS PUMPING PLAN SHALL BE SUBMITTED AT THE TIME OF PERMIT APPLICATION TO THE ENVIRONMENTAL SERVICES DIRECTOR. CITIZEN CONSIDERATION WILL BE REVIEWED WHEN BYPASS PUMPING EQUIPMENT IS REQUIRED. SOUND ATTENUATING ENCLOSURES MAY BE REQUIRED, AT THE DISCRETION OF THE ENVIRONMENTAL SERVICES DIRECTOR.
 - FIELD TESTING: THE CONTRACTOR SHALL FURNISH THE SERVICES OF THE SYSTEM SUPPLIER'S SERVICEMAN, ALL SPECIAL TOOLS, CALIBRATION EQUIPMENT, AND LABOR TO PERFORM THE TESTS. CERTIFIED COPIES OF THE TESTS SHALL BE FURNISHED IN DUPLICATE TO THE CITY ENGINEER PRIOR TO FINAL APPROVAL.

PLAN VIEW
SCALE: 3/8" = 1'-0"

NOTE:
MIN. LIFT STATION SITE SHALL BE 25' X 25'.
IF LIFT STATION IS TO BE EQUIPPED WITH
STAND BY GENERATOR, MIN. SITE SHALL BE 25' X 35'

DUPLEX
Lift Station

City of Fruitland Park
Standard Details



DATE: April 2017
DETAIL S-11

DATE	REVISIONS	BY	CHECKED

**WESTMINSTER PINE RIDGE
ROADWAY AND UTILITY DEVELOPMENT
CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA**



5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
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LIFT STATION DETAIL (1 OF 2)

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GRC	JV	GRC	GRC

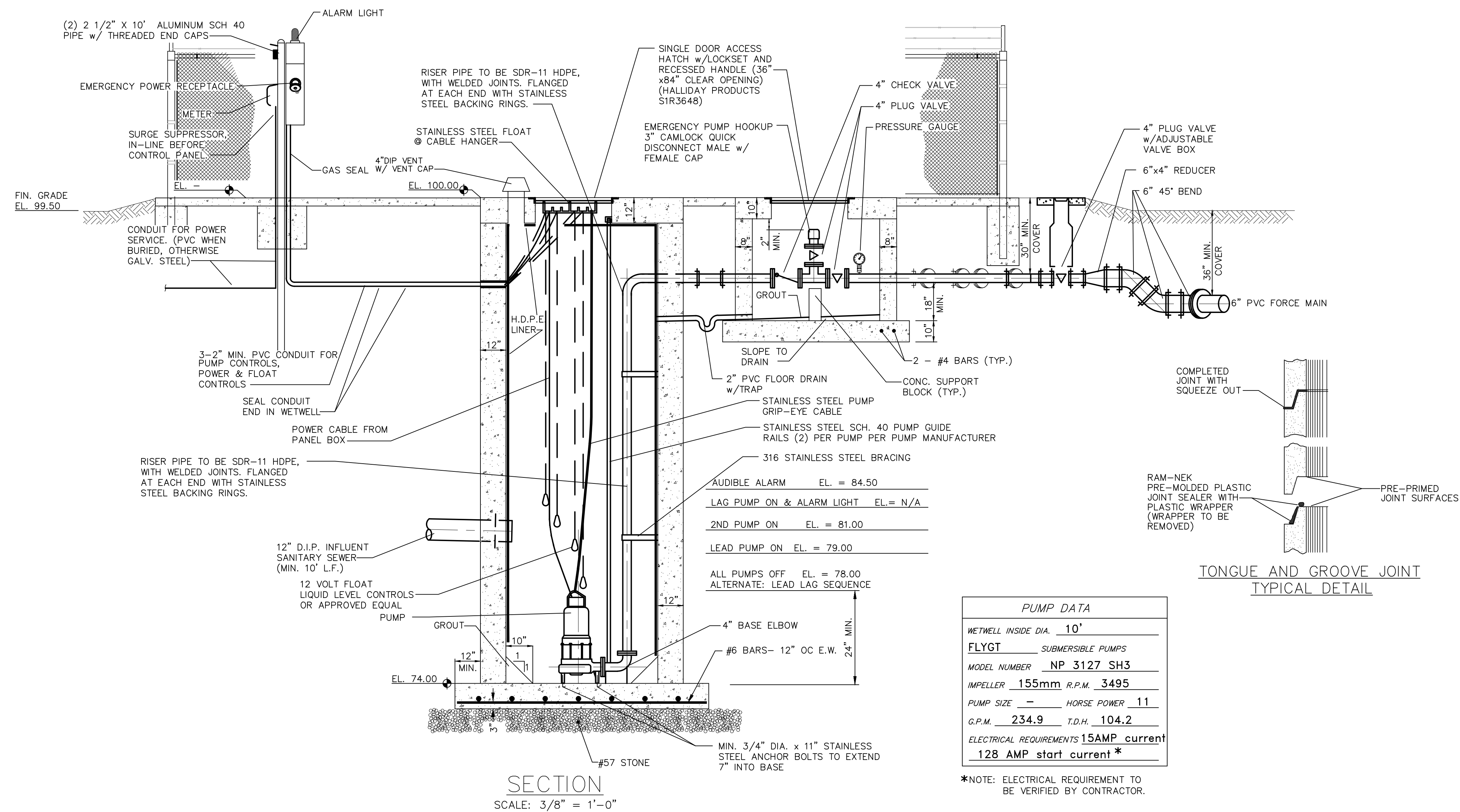
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SCALE	NOTED
DATE	AUGUST 2017
SHEET NO.	C-15
SHEET 15	OF 18



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DUPLEX
Lift Station

City of Fruitland Park
Standard Details



DATE: April 2017
DETAIL S-11

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ROADWAY AND UTILITY DEVELOPMENT
CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA

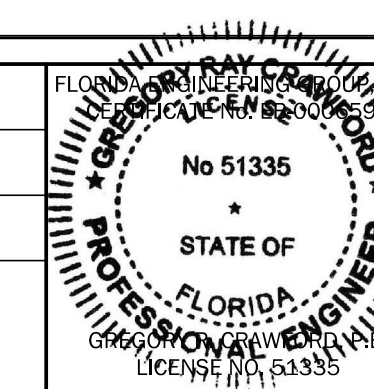


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LIFT STATION DETAIL (2 OF 2)

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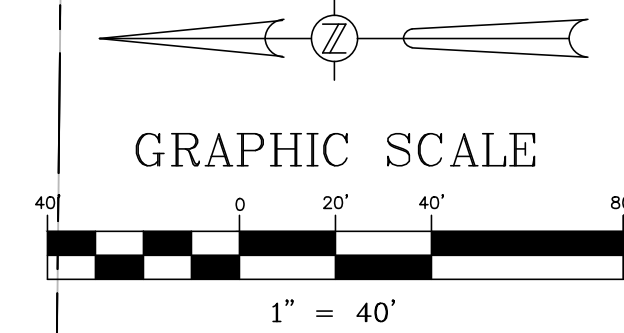
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SHEET NO. C-16
SHEET 16 OF 18



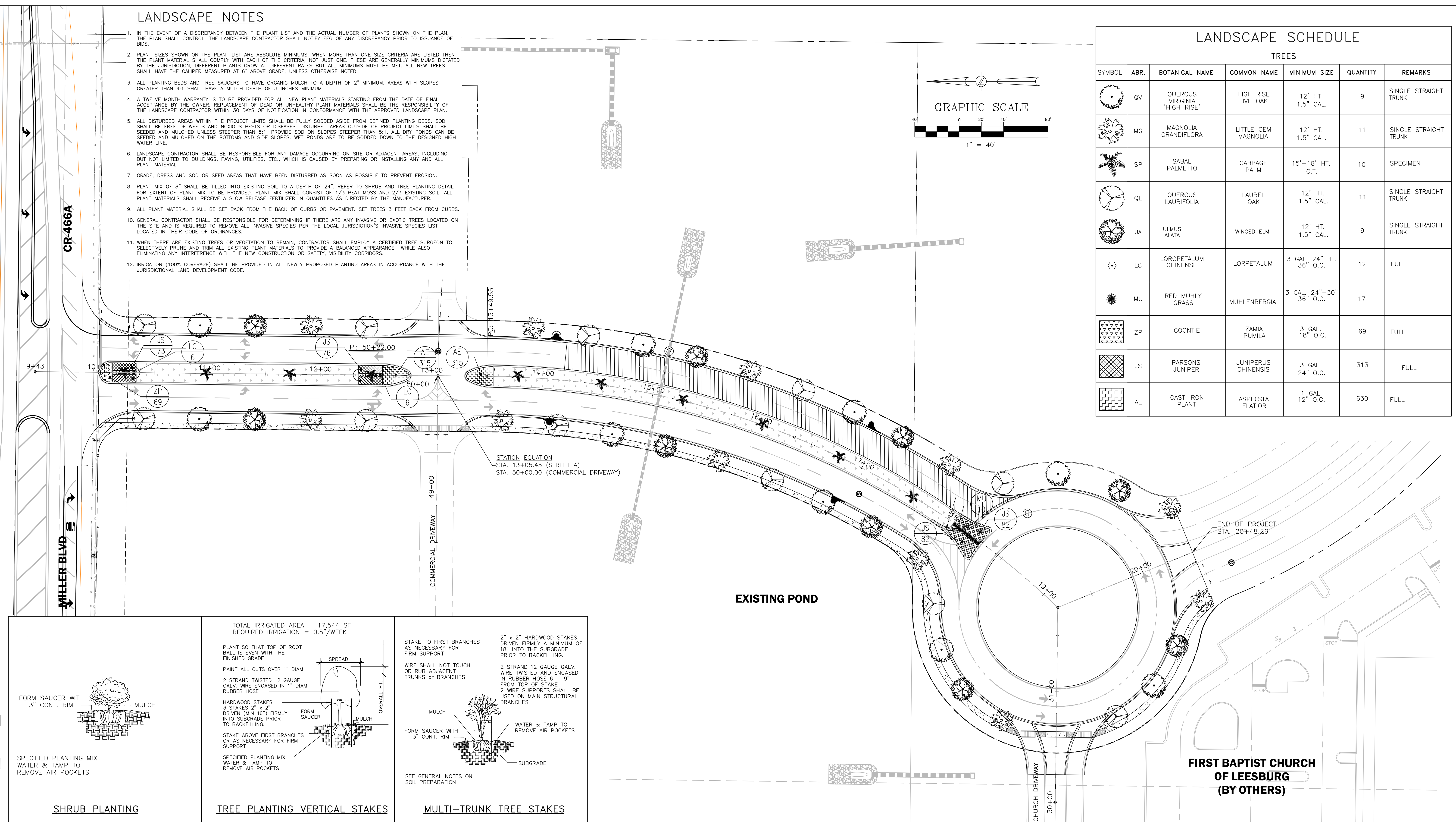
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LANDSCAPE NOTES

1. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE ACTUAL NUMBER OF PLANTS SHOWN ON THE PLAN, THE PLAN SHALL CONTROL. THE LANDSCAPE CONTRACTOR SHALL NOTIFY FEG OF ANY DISCREPANCY PRIOR TO ISSUANCE OF BIDS.
2. PLANT SIZES SHOWN ON THE PLANT LIST ARE ABSOLUTE MINIMUMS. WHEN MORE THAN ONE SIZE CRITERIA ARE LISTED THEN THE PLANT MATERIAL SHALL COMPLY WITH EACH OF THE CRITERIA, NOT JUST ONE. THESE ARE GENERALLY MINIMUMS DICTATED BY THE JURISDICTION. DIFFERENT PLANTS GROW AT DIFFERENT RATES BUT ALL MINIMUMS MUST BE MET. ALL NEW TREES SHALL HAVE THE CALIPER MEASURED AT 6" ABOVE GRADE, UNLESS OTHERWISE NOTED.
3. ALL PLANTING BEDS AND TREE SAUCERS TO HAVE ORGANIC MULCH TO A DEPTH OF 2" MINIMUM. AREAS WITH SLOPES GREATER THAN 4:1 SHALL HAVE A MULCH DEPTH OF 3 INCHES MINIMUM.
4. A TWELVE MONTH WARRANTY IS TO BE PROVIDED FOR ALL NEW PLANT MATERIALS STARTING FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. REPLACEMENT OF DEAD OR UNHEALTHY PLANT MATERIALS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR WITHIN 30 DAYS OF NOTIFICATION IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
5. ALL DISTURBED AREAS WITHIN THE PROJECT LIMITS SHALL BE FULLY SODDED ASIDE FROM DEFINED PLANTING BEDS. SOD SHALL BE FREE OF WEEDS AND NOXIOUS PESTS OR DISEASES. DISTURBED AREAS OUTSIDE OF PROJECT LIMITS SHALL BE SEEDED AND MULCHED UNLESS STEEPER THAN 5:1. PROVIDE SOD ON SLOPES STEEPER THAN 5:1. ALL DRY PONDS CAN BE SEEDED AND MULCHED ON THE BOTTOMS AND SIDE SLOPES. WET PONDS ARE TO BE SODDED DOWN TO THE DESIGNED HIGH WATER LINE.
6. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OCCURRING ON SITE OR ADJACENT AREAS, INCLUDING, BUT NOT LIMITED TO BUILDINGS, PAVING, UTILITIES, ETC., WHICH IS CAUSED BY PREPARING OR INSTALLING ANY AND ALL PLANT MATERIAL.
7. GRADE, DRESS AND SOD OR SEED AREAS THAT HAVE BEEN DISTURBED AS SOON AS POSSIBLE TO PREVENT EROSION.
8. PLANT MIX OF 8" SHALL BE TILLED INTO EXISTING SOIL TO A DEPTH OF 24". REFER TO SHRUB AND TREE PLANTING DETAIL FOR EXTENT OF PLANT MIX TO BE PROVIDED. PLANT MIX SHALL CONSIST OF 1/3 PEAT MOSS AND 2/3 EXISTING SOIL. ALL PLANT MATERIALS SHALL RECEIVE A SLOW RELEASE FERTILIZER IN QUANTITIES AS DIRECTED BY THE MANUFACTURER.
9. ALL PLANT MATERIAL SHALL BE SET BACK FROM THE BACK OF CURBS OR PAVEMENT. SET TREES 3 FEET BACK FROM CURBS.
10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING IF THERE ARE ANY INVASIVE OR EXOTIC TREES LOCATED ON THE SITE AND IS REQUIRED TO REMOVE ALL INVASIVE SPECIES PER THE LOCAL JURISDICTION'S INVASIVE SPECIES LIST LOCATED IN THEIR CODE OF ORDINANCES.
11. WHEN THERE ARE EXISTING TREES OR VEGETATION TO REMAIN, CONTRACTOR SHALL EMPLOY A CERTIFIED TREE SURGEON TO SELECTIVELY PRUNE AND TRIM ALL EXISTING PLANT MATERIALS TO PROVIDE A BALANCED APPEARANCE WHILE ALSO ELIMINATING ANY INTERFERENCE WITH THE NEW CONSTRUCTION OR SAFETY, VISIBILITY CORRIDORS.
12. IRRIGATION (100% COVERAGE) SHALL BE PROVIDED IN ALL NEWLY PROPOSED PLANTING AREAS IN ACCORDANCE WITH THE JURISDICTIONAL LAND DEVELOPMENT CODE.



LANDSCAPE SCHEDULE						
TREES						
SYMBOL	ABR.	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	QUANTITY	REMARKS
	QV	QUERCUS VIRGINIANA 'HIGH RISE'	HIGH RISE LIVE OAK	12' HT. 1.5" CAL.	9	SINGLE STRAIGHT TRUNK
	MG	MAGNOLIA GRANDIFLORA	LITTLE GEM MAGNOLIA	12' HT. 1.5" CAL.	11	SINGLE STRAIGHT TRUNK
	SP	SABAL PALMETTO	CABBAGE PALM	15'-18' HT. C.T.	10	SPECIMEN
	QL	QUERCUS LAURIFOLIA	LAUREL OAK	12' HT. 1.5" CAL.	11	SINGLE STRAIGHT TRUNK
	UA	ULMUS ALATA	WINGED ELM	12' HT. 1.5" CAL.	9	SINGLE STRAIGHT TRUNK
	LC	LOROPETALUM CHINENSE	LORPETALUM	3 GAL. 24" HT. 36" O.C.	12	FULL
	MU	RED MUHLY GRASS	MUHLENBERGIA	3 GAL. 24"-30" 36" O.C.	17	
	ZP	COONTIE	ZAMIA PUMILA	3 GAL. 18" O.C.	69	FULL
	JS	PARSONS JUNIPER	JUNIPERUS CHINENSIS	3 GAL. 24" O.C.	313	FULL
	AE	CAST IRON PLANT	ASPIDISTRA ELATOR	1 GAL. 12" O.C.	630	FULL



SHRUB PLANTING

FORM SAUCER WITH 3" CONT. RIM
MULCH
SPECIFIED PLANTING MIX
WATER & TAMP TO REMOVE AIR POCKETS

TREE PLANTING VERTICAL STAKES

TOTAL IRRIGATED AREA = 17,544 SF
REQUIRED IRRIGATION = 0.5"/WEEK

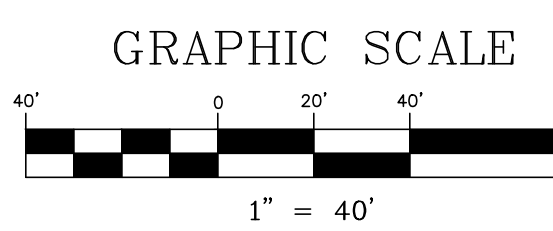
PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.
PAINT ALL CUTS OVER 1" DIAM.
2 STRAND TWISTED 12 GAUGE GALV. WIRE ENCASED IN 1" DIAM. RUBBER HOSE
HARDWOOD STAKES 3 STAKES 2" x 2" DRIVEN (MIN 16") FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING.
STAKE ABOVE FIRST BRANCHES OR AS NECESSARY FOR FIRM SUPPORT
SPECIFIED PLANTING MIX
WATER & TAMP TO REMOVE AIR POCKETS

MULTI-TRUNK TREE STAKES

STAKE TO FIRST BRANCHES AS NECESSARY FOR FIRM SUPPORT
WIRE SHALL NOT TOUCH OR RUB ADJACENT TRUNKS OR BRANCHES
2" x 2" HARDWOOD STAKES DRIVEN FIRMLY A MINIMUM OF 18" INTO THE SUBGRADE PRIOR TO BACKFILLING.
2 STRAND 12 GAUGE GALV. WIRE TWISTED AND ENCASED IN RUBBER HOSE 6 - 9" FROM TOP OF STAKE
2 WIRE SUPPORTS SHALL BE USED ON MAIN STRUCTURAL BRANCHES
MULCH
FORM SAUCER WITH 3" CONT. RIM
WATER & TAMP TO REMOVE AIR POCKETS
SUBGRADE
SEE GENERAL NOTES ON SOIL PREPARATION

IRRIGATION NOTES:

1. SPRINKLER LINES & HEAD LOCATIONS SHOWN ARE ESSENTIALLY DIAGRAMMATIC. THE IRRIGATION SYSTEM SHALL BE CONSTRUCTED WITHIN THE PROPERTY BOUNDARIES.
2. CONTRACTOR SHALL INSTALL A COMPLETE IRRIGATION SYSTEM WHICH PROVIDES 100% COVERAGE OF ALL PLANTED & GRASSED AREAS. HEAD SPACING IS TO BE EQUAL TO THE RADIUS OF THE GIVEN SPRINKLER HEADS. PROVIDE ALL PIPING, VALVES, VALVE BOXES, SPRINKLER HEADS & WIRING AS REQUIRED FOR A COMPLETE & OPERATIONAL IRRIGATION SYSTEM.
3. ADJUST SPRINKLER HEAD RADIUS & PATTERN (WHERE APPLICABLE) TO OBTAIN MAX. COVERAGE FOR TURF & SHRUBS ELIMINATING ANY OVERTHROW ONTO SIDEWALKS, PAVEMENT, OR BUILDING STRUCTURE.
4. ALL IRRIGATION PIPING WHICH IS LOCATED UNDER PAVEMENT SHALL BE ENCASED IN A SLEEVE TWO SIZES LARGER THAN THE IRRIGATION LINE.
5. CONTRACTOR TO PROVIDE A DOUBLE DETECTOR CHECK VALVE AT THE POINT OF WATER SERVICE IN ADDITION TO AN IRRIGATION METER. COORDINATE LOCATION WITH OTHER UTILITIES & GENERAL CONTRACTOR.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY & ALL PERMITS REQUIRED FOR THE INSTALLATION OR CONSTRUCTION OF THE WORK INCLUDED IN THIS CONTRACT.
7. COORDINATE LOCATION OF IRRIGATION CONTROLLER WITH OWNER & GENERAL CONTRACTOR.
8. PROVIDE A RAIN SWITCH EQUIVALENT TO TORO RAIN SWITCH #850-74. MOUNT ON BUILDING IN AN INCONSPICUOUS LOCATION EXPOSED TO NORMAL RAINFALL & PER MFRS. SUGGESTIONS.
9. OBTAIN INSPECTION & APPROVAL OF ALL BURIED PIPING PRIOR TO BACKFILLING.
10. SPRINKLER HEAD MODEL NUMBERS SHOWN REFLECT TORO SPRINKLERS. ANY SPRINKLERS OF EQUAL QUALITY MAY BE USED WITH THE APPROVAL OF THE OWNER.
11. ADJUST DESIGN OF SYSTEM WHERE NECESSARY TO AVOID CONFLICTS IN THE FIELD WITH LANDSCAPING OR UTILITY LINES.
12. IRRIGATION CONTROLLER IS HUNTER ET IRRIGATION CONTROLLER WITH SOIL SENSORS. MODEL # A20-990 DECODER CONTROLLER AND MODEL # SOLAR-SYNC-WSS-SEN SOIL SENSORS. SENSOR MUST BE PLACED IN FULL SUN PER MANUFACTURER SPECIFICATIONS.
13. PROGRAM IRRIGATION CONTROLLER TO PROVIDE 0.5 INCH OF WATER PER WEEK. SCHEDULE HEADS TO OPERATE DURING MORNING HOURS.
14. ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
15. ALL POP-UP ROTORS & SPRAYS SHALL BE INSTALLED USING AN 18" PVC FLEX PIPE CONNECTION. DO NOT USE FUNNY PIPE.
16. THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.
17. ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING SNAP-TITE CONNECTORS & SEALANT.
18. THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (SEPIA OR MYLAR) SHOWING ALL IRRIGATION INSTALLATIONS. A MYLAR OR SEPIA OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE IRRIGATION ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL VALVES & MANLINES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES OR STRUCTURES.
19. ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE AN IRRIGATION AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY & INSIDE THE IRRIGATION AREAS.
20. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT & WORKMANSHIP.
21. ELECTRICAL SERVICE TO ALL EQUIPMENT SHALL BE PROVIDED TO A JUNCTION BOX AT THE EQUIPMENT LOCATION BY OTHERS.
22. ALL IRRIGATION SLEEVES ARE TO HAVE BEEN INSTALLED BY GENERAL CONTRACTOR AT TIME OF UTILITY CONSTRUCTION.



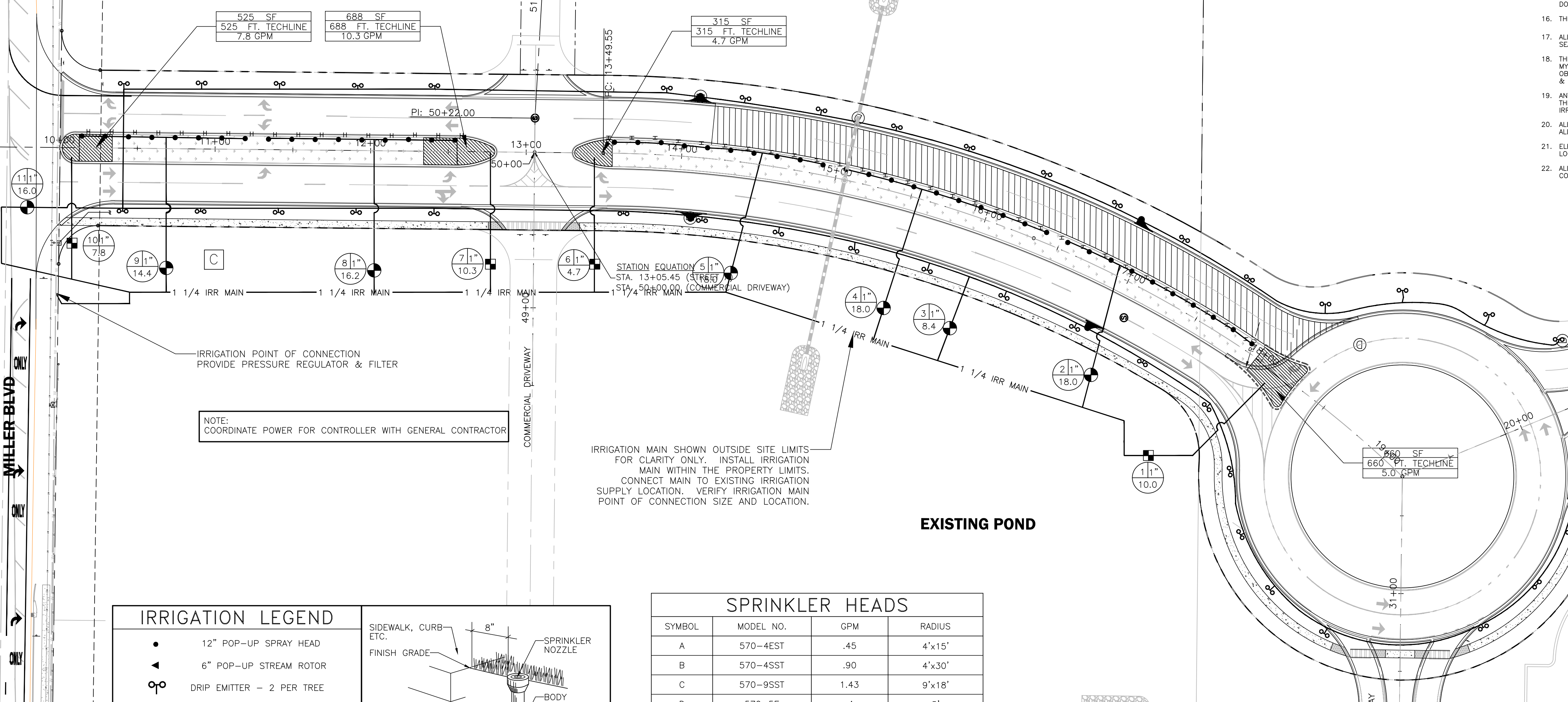
CR-466A

MILLER BLVD

EXISTING POND

EXISTING POND

FIRST BAPTIST CHURCH OF LEESBURG (BY OTHERS)



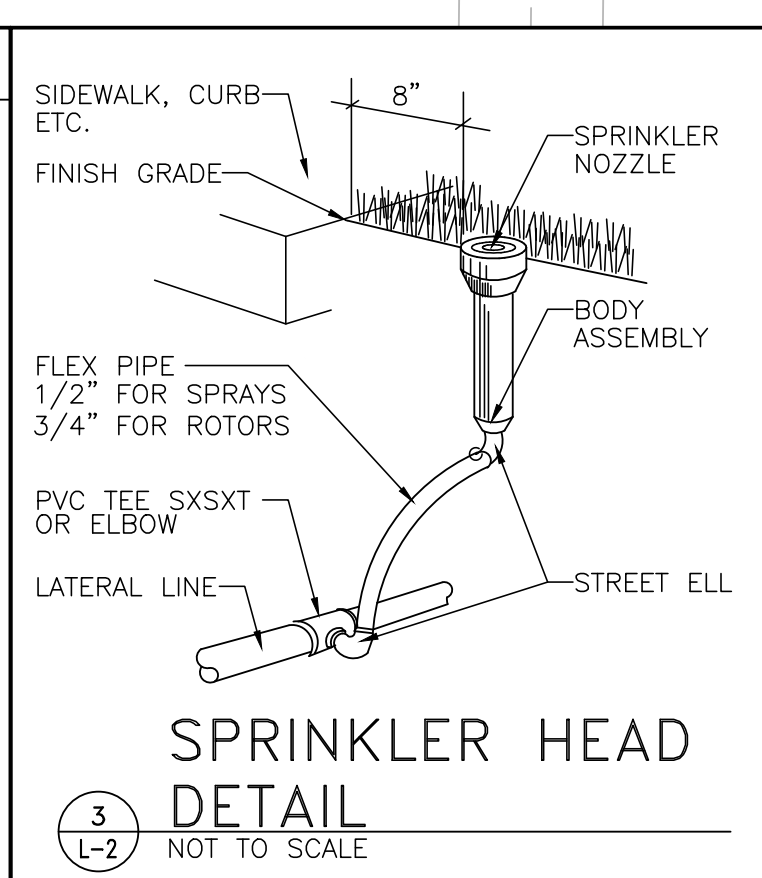
IRRIGATION POINT OF CONNECTION PROVIDE PRESSURE REGULATOR & FILTER

NOTE: COORDINATE POWER FOR CONTROLLER WITH GENERAL CONTRACTOR

IRRIGATION MAIN SHOWN OUTSIDE SITE LIMITS FOR CLARITY ONLY. INSTALL IRRIGATION MAIN WITHIN THE PROPERTY LIMITS. CONNECT MAIN TO EXISTING IRRIGATION SUPPLY LOCATION. VERIFY IRRIGATION MAIN POINT OF CONNECTION SIZE AND LOCATION.

IRRIGATION LEGEND

- 12" POP-UP SPRAY HEAD
- ▲ 6" POP-UP STREAM ROTOR
- DRIP EMITTER - 2 PER TREE
- ⊕ TORO PLASTIC VALVE
- ⊞ DRIPLINE ZONE VALVE
- ⊠ CONTROLLER
- ≡≡≡ PVC SLEEVE-2 SIZES LARGER
- VALVE ZONE NO. 1 VALVE SIZE 1" VALVE GPM XX.X



SPRINKLER HEADS

SYMBOL	MODEL NO.	GPM	RADIUS
A	570-4EST	.45	4'x15'
B	570-4SST	.90	4'x30'
C	570-9SST	1.43	9'x18'
D	570-5F	.4	5'
E	570-8F	1.00	8'
F	570-10F	1.50	10'
G	570-12F	2.20	12'
H	570-15F	3.60	15'
J	316-00-02	2.90	21'
K	316-00-63	2.72	28'
L	5600-FC-2.5	2.60	40'
⊕	254-06-04	1" VALVES	

NOTE: MODEL NUMBERS SHOWN REFLECT TORO SPRINKLER HEADS. ANY HEADS OF EQUAL QUALITY MAY BE USED WITH THE APPROVAL OF THE OWNER.

WESTMINSTER PINE RIDGE
ROADWAY AND UTILITY DEVELOPMENT
CONSTRUCTION PLANS
CITY OF FRUITLAND PARK, FLORIDA

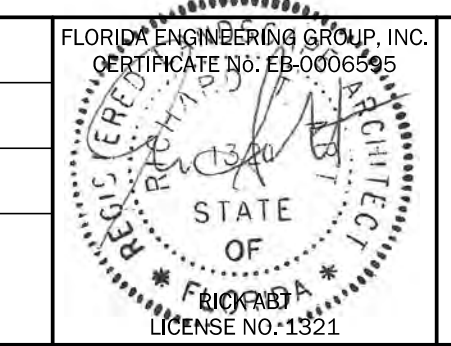


5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
www.feg-inc.us

SITE IRRIGATION PLAN

DESIGNED BY RTA	DRAWN BY RTA	CHECKED BY RTA	APPROVED BY RTA
--------------------	-----------------	-------------------	--------------------

PROJECT NO. 16-043
SCALE NOTED
DATE AUGUST 2017
SHEET NO. C-18
SHEET 17 OF 18



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY (ENGINEER), P.E. ON (DATE) USING A SHA-1 AUTHENTICATION CODE.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

June 12, 2018

SJRWMD
4049 Reid Street
Palatka, Florida 32178-1429

Subject: Stormwater Management Summary
Village Park – Entrance Road
FEG Project No. 16-043

To whom it may concern:

The proposed project is for an entrance road to the overall Village Park development located in the City of Fruitland Park, Lake County, Florida. According to the overall project design, the Village Park development has been previously permitted for Mass Grading (Permit Number 150795-1) and Phases 1 and 2 (Permit Number 150795-2) that contains 47.1 areas of land with two (2) stormwater ponds located on the northern portion of the development. The previously permitted stormwater ponds will collect the stormwater runoff from Basins B-1 and B-2 and direct the flow into Ponds B-1 and B-2, respectively. Basin B-2 will also accept existing runoff from off-site from the adjacent property to the east. As described in the master stormwater calculations, the proposed Ponds B-1 and B-2 were designed to accommodate post-development runoff from on-site that would include up to 80% impervious area, which is equal to 29.40 acres of impervious area. At this time, the mass grading and Phases 1 and 2 have permitted with the District with a total proposed impervious area of 11.35 acres. The proposed entrance road project will include 1.66 acres of impervious area, which will bring the total proposed impervious area for the three (3) permit to 13.01 acres. The proposed total impervious area of 13.01 acres is less than the allowable 29.40 acres of impervious area. Therefore, the proposed entrance road improvements comply with the original stormwater assumptions made for the master stormwater system.

Should you have any questions or require further clarification, please do not hesitate to contact me at (407)895-0324 or by email at GCrawford@feg-inc.us.

Sincerely,

Florida Engineering Group, Inc.
No 51335
STATE OF FLORIDA
PROFESSIONAL ENGINEER
GREGORY B. CRAWFORD, P.E. #51335
Senior Project Manager

**CITY OF FRUITLAND PARK
STAFF REPORT BY LPG URBAN & REGIONAL PLANNERS, INC.**

SITE PLAN

Owner: First Baptist Church

Applicant: Westminster Services, Inc.

Engineer: Greg Crawford, P.E.

Project Name: Village Park Entrance Road

General Location: South of CR 466A and west of Pine Ridge Dairy Road

Number of Acres: 59.96 ± acres

Existing Zoning: Mixed Use Planned Unit Development (PUD)

Existing Land Use: Mixed Community

Date: July 27, 2018

Description of Project

The owners are seeking site plan approval to construct approximately 1,000' of entrance road to the Village Park development. The roadway is proposed to be constructed in 2 phases.

	Surrounding Zoning	Surrounding Land Use
North	PUD	Mixed Community
South	County Agriculture and RP	County Rural
East	C-2, R-1 and County Ag	Commercial, SFLD, SFMD
West	PUD (The Villages)	Villages DRI

Assessment

The roadway plans indicate a dual boulevard leading to a round about. The First Baptist Church recently received site plan approval for a 1500 seat house of worship, administrative building, multi-purpose building and educational building with associated drives, parking, and stormwater facilities; however, approval was subject to approval of the entrance roadway. The church facilities were to be constructed in two phases. Phase 1 consisted of a multi-purpose

building which recently has been revised to a sanctuary/fellowship building with an occupancy of approximately 1,451.

The proposed roadway plans indicate the entrance boulevard will be constructed in 2 phases. Traffic exiting the church property would travel the round about and then merge into 2 way traffic and then merge to the right back to the dual lane.

When is the proposed 2nd lane to be constructed?

Recommendation

Due to the potential traffic exiting the church property, please provide a letter from the traffic engineer showing that one lane meets the traffic capacity and safety.

VIA EMAIL tkelley@fruitlandpark.org

July 11, 2018

Tracy Kelley
Administrative Assistant
Community Development Department
City of Fruitland Park
506 W. Berckman Street
Fruitland Park, FL 34731

**RE: WESTMINISTER PINE RIDGE ROADWAY & UTILITY
SITE PLAN REVIEW**

Dear Ms. Kelley,

Based on my review, my comments are below.

1. Cover Sheet - Please list a phone and contact number for the First Baptist Church, the listed owner.
2. Cover Sheet – The applicant is listed as Presbyterian Retirement Communities, Inc. on the cover sheet, but is listed as Westminster Services in the application. Which party is the applicant for the project? Please revise the cover or application as necessary.
3. Cover Sheet – The cover sheet lists sheet C-3 as a survey. Sheet C-3 appears to be a “permitted conditions” plan based on the approved mass grading permit. Please modify cover sheet accordingly.
4. Sheet C-3 – The elevations listed for Pond PR-5 adjacent to the site are listed in The Villages Datum. Please revise to NAVD88.
5. Sheet C-3 – The sheet is labeled as existing grading and drainage, but includes many callouts to construct inlets, pipes, etc. Additionally, the proposed roadway is shown as existing and the hatching is missing for the areas to be seeded and the areas to be sodded. The sheet was also not signed and sealed. To help clarify the intent of this sheet, remove the proposed roadway and add the following note: “This plan sheet represents the permitted mass grading condition of the site based on the permit issued to the First Baptist Church of Leesburg, Inc. and signed by the City Manager on March 27th, 2018. It is provided for informational purposes.”
6. Sheet C-9 – At the roundabout, label the lane width and the total pavement width.
7. Sheet C-9 – At the roundabout, label the curb type at the drive aisle intersections.
8. Sheet C-10 – Label structure D-2 in the plan view.
9. Sheet C-10 – Add additional spot grades around the roundabout and at the driveway stub outs to clarify grading.
10. Sheet C-10 – Please clarify the grading as the proposed roadway enters the roundabout. There are two separate profile grade lines that overlap, and do not meet at the same grade.
11. Sheet C-11 – Install a plug valve on the proposed force main at the right-of-way line.

ENGINEERS ♦ SURVEYORS ♦ LAND PLANNERS

902 North Sinclair Avenue ♦ Tavares, Florida 32778

Phone: 352.343.8481 ♦ Fax: 352.343.8495

E-Mail: Info@besandh.com ♦ www.besandh.com

Good...Better...*BESH!*

12. Sheet C-10 and C-11 – Add a note that proposed utilities and lift station are to be privately owned.
13. Sheet C-15 – The plans callout a 2" water service, but a 1" water service is shown.
14. Lift Station Calculations – The plans callout a 12" wet well wall thickness, but the calculations show an 8" wet well wall thickness. For a 10' diameter station, a 12" wall thickness is needed.
15. Lift Station Calculations – Please verify the computation of the static head for all conditions. For instance, for LS-01 (Ultimate) Operating Condition 2, $15\text{psi} \times 2.31 \text{ ft/psi} + 37\text{ft} = 71.65 \text{ ft}$, but 67.34ft was listed in the summary, and 67.11 was used in computing the system curve. Revise calcs as needed.
16. Lift Station Calculations – The velocity at the buildout condition in the 6" forcemain is quite high, should be less than 6 ft/sec.
17. Stormwater conveyance calculations for the proposed inlets and pipes were not provided. Please provide for review.
18. Turn lane plans are to be reviewed by Lake County, and a Lake County driveway permit is necessary for the work. Final clearance of the proposed roadway and utilities will not be given until such time as turn lanes are permitted and constructed.

Informational comments

1. It is recommended that an appropriate hatch cover be specified such that a new hatch will not have to be installed at such time as the larger pumps are to be installed for the build-out condition.
2. The city requires Hydromatic pumps, but since the station is to be private, Flygt pumps can be used.
3. The proposed forcemain profile seems to create two high points where air may accumulate. It is recommended that Air Release Valves be installed at force main high points.

Should you have any questions, please feel free to contact our office.

Sincerely,



Brett J. Tobias, P.E.

btobias@besandh.com

BJT:am

From: Jeff Gerling
To: [Kelly Turner](#)
Subject: RE: Village Park Phase 2
Date: Wednesday, June 27, 2018 2:53:46 PM
Attachments: [image001.png](#)

I have no comments on this project.

Thanks,
Jeff

Jeff Gerling
Building Official
City of Fruitland Park
President
Alpha International I, LLC
(352) 536-4481



From: Kelly Turner <kturner@fruitlandpark.org>
Sent: Wednesday, June 27, 2018 10:31 AM
To: Tracy Kelley <tkelley@fruitlandpark.org>
Subject: Village Park Phase 2

TRC Board Members:

Please see attached application package and plans due to be heard at our July 3rd TRC Meeting.

Thank you,

*Kelly Turner, CFM
Administrative Assistant
Community Development Dept
City of Fruitland Park
506 W Berckman St
Fruitland Park, FL, 34731
(352)360-6727
FAX: 352-360-6652*