



506 WEST BERCKMAN STREET
FRUITLAND PARK, FL 34731

PHONE: 352/ 360-6727
FAX: 352/ 360-6652

Board Members: City Manager Gary La Venia City Engineer Duane Booth City Land Planner Greg Beliveau Jeff Gerling, Building Official Judd Wright, Fire Inspector Tracy Kelley, CDD	Board Members: Chief Mike Fewless, Police Department Chief Donald Gilpin, Fire Department Dale Bogle, Public Works Director Lori Davis, Code Enforcement
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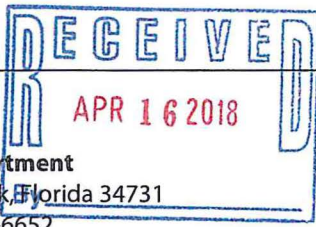
AGENDA
TECHNICAL REVIEW COMMITTEE
MAY 1, 2018
10:00AM

- I. MEETNIG CALLED TO ORDER:** Appoint Chair and Vice Chair
- II. OLD BUSINESS:** None
- III. NEW BUSINESS:**
- A. Variance Application; 102 W Berckman Street (ALT Key #1434742)
Property owner Karen Crispin applying for a variance to allow for a 5' rear setback to allow for a storage building behind main building; property zoned C-1
 - B. Rezoning Application; 206 E Berckman Street (ALT Key #1324378)
Property owner Larry and Beth Smith Trustees applying for rezoning from RP (Residential Professional) to C-2 (General Commercial) to conform to existing zoning in area and historical use of property
 - C. Site Plan Application; Vacant Property (ALT Key 1170621 & 1699754)
Property Owner Fruitland Park Holdings, LLC submitting a site plan application for construction of a proposed car wash facility under the existing zoning land use of C-2 (General Commercial)

PUBLIC COMMENTS:

MEMBERS' COMMENTS:

ADJOURNMENT:



City of Fruitland Park, Florida
Community Development Department
 506 W. Berckman St., Fruitland Park, Florida 34731
 Tel: (352) 360-6727 Fax: (352) 360-6652
 www.fruitlandpark.org

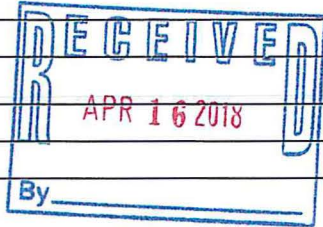
Staff Use Only

Case No.: _____
 Fee Paid: _____
 Receipt No.: _____

Development Application

Contact Information:

Owner Name: KAREN CRISPIN
 Address: 102 W BERCKMAN ST
 Phone: 305-984-0038 Email: KJCRISPIN@HOTMAIL.COM
 Applicant Name: SAME
 Address: _____
 Phone: _____ Email: _____
 Engineer Name: _____
 Address: _____
 Phone: _____ Email: _____



Property and Project Information:

PROJECT NAME*: Simply Rustic VARIANCE
*A project name is required for all submissions. Please choose a name representative of the project for ease of reference.
 Property Address: 102 W. BERCKMAN ST
 Parcel Number(s): 0419241600-016-02700 Section: _____ Township: _____ Range _____
 Area of Property: 8,100 SQ FT For Bld 1,200 Nearest Intersection: TONA + BECKMAN
 Existing Zoning: C-1 Existing Future Land Use Designation: Comm
 Proposed Zoning: N/A Proposed Future Land Use Designation: N/A
 The property is presently used for: RETAIL SALES
 The property is proposed to be used for: N/A
 Do you currently have City Utilities? YES

Application Type:

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Planned Development |
| <input checked="" type="checkbox"/> Variance | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Construction Plan | <input type="checkbox"/> ROW/Plat Vacate |
| <input type="checkbox"/> Site Plan | <input type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Replat of Subdivision | |

Please describe your request in detail: I AM REQUESTING A VARIANCE FROM A 10 FOOT REAR SETBACK TO A 5 FOOT REAR SETBACK

Required Data, Documents, Forms & Fees SEE ATTACHED DOCUMENT FOR DETAILS
 Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Signature: Karen Crispin Date: 4/9/18

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

To: Fruitland Park City Commission
From: Karen Crispin, Owner
Simply Rustic, Vintage Home Décor
102 W Berckman St
Fruitland Park, FL 34731
(305) 984-0038
Re: Variance
Date: April 16, 2018

I am requesting a variance for the setback at the rear of my property from 10 ft to 5 ft. This setback change is necessary so I may install a storage shed to keep additional inventory safe, dry, and immediately available to replace sold items.

My name is Karen Crispin and I am a new business owner in Fruitland Park. Simply Rustic, on W. Berckman St, specializing in vintage home décor, opened in 2018. My store has been extremely well received and I am getting customers from much of the surrounding area including Fruitland Park, The Villages, Ocala, Inverness and Leesburg.

My business requires that I have merchandise available to quickly replace items sold. At this time. I do not have space to store the necessary additional items. I need a dry, clean storage shed in the back yard to provide for merchandise waiting to be displayed for sale.

The nature of my business is that I must buy one of a kind items when I find them for sale. I cannot call up a supplier and have merchandise delivered. I need the storage shed so that I have enough merchandise to keep my store full and profitable. Without additional storage, it will be almost impossible to keep merchandise readily available and meet the demands of my growing business. I need your Help.

Thank you,

A handwritten signature in blue ink that reads "Karen Crispin". The signature is fluid and cursive, with the first letters of "Karen" and "Crispin" being capitalized and prominent.

Karen Crispin

\$140,000.

Prepared by and return to:
Tiffany M. Henderson
Freedom Title & Escrow Company, LLC
133 South Old Dixie Highway
Lady Lake, Florida 32159

INSTRUMENT #2017131744
OR BK 5038 PG 1603 - 1604 (2 PGS)
DATE: 12/11/2017 10:25:20 AM
NEIL KELLY, CLERK OF THE CIRCUIT COURT
LAKE COUNTY
RECORDING FEES \$18.50 DEED DOC \$980.00

File Number: 2017-6123

Warranty Deed

THIS INDENTURE, made this December 4, 2017 A.D. by **Eileen M. Farmer-Lustgarten, a single person**, whose post office address is 912 Mendoza Boulevard, Lady Lake, Florida 32159, hereinafter called the grantor(s), to **Karen J. Crispin, a single person**, whose post office address is: 2483 Maverick Way, The Villages, Florida 32162, hereinafter called the grantee(s):

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in **Lake County, Florida**, viz:

Lot 27, Block 16, ACCORDING TO A MAP SUPPLEMENTARY TO THE MAP OF F.H. WHITNEY'S SUBDIVISION OF BLKS 3, 13, 16 AND 23 IN FRUITLAND PARK, FLORIDA, according to the plat thereof recorded in Plat Book 4, Page 13, Public Records of Lake County, Florida.

Parcel ID Number: 0419241600-016-02700

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.
To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to **December 31, 2016**.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Patricia A. Saccomanno

Witness Printed Name Patricia A. Saccomanno

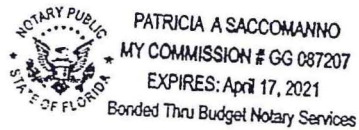
Eileen M. Farmer-Lustgarten (Seal)
Eileen M. Farmer-Lustgarten

Brandon Treder
Witness Printed Name Brandon Treder

State of Florida
County of Lake

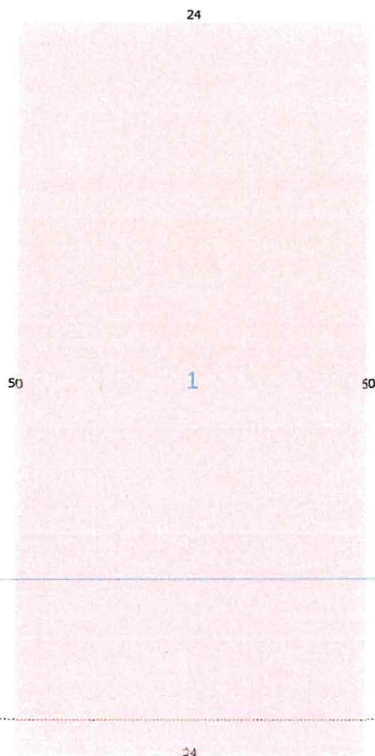
The foregoing instrument was acknowledged before me this 4th day of December, 2017, by Eileen M. Farmer-Lustgarten, a single person, [] who is/are personally known to me or [XX] who has produced Driver's License as identification.

{SEAL}



Patricia A. Saccomanno
Notary Public
Print Name: Patricia A. Saccomanno
My Commission Expires: 4/17/2021

Residential
 Units:
 Kitchens: 0
 Fireplaces: 0
 Structure Type:
 Concrete Block
 or Masonry
 Walls
 Exterior Walls:
 08 : 100.00 %



[View Larger](#)

Miscellaneous Improvements

No.	Type	No. Units	Unit Type	Year	Depreciated Value
0001	PAVING (PAV)	3203	SF	1990	\$2,595.00
0002	PAVING (PAV)	164	SF	1990	\$230.00
0003	FENCING (FEN)	245	SF	2015	\$700.00

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
5038 / 1603	12/4/2017	Warranty Deed	Qualified	Improved	\$140,000.00
4544 / 2278	10/24/2014	Warranty Deed	Qualified	Improved	\$115,000.00
1236 / 1334	6/1/1993	Quit Claim Deed	Unqualified	Improved	\$0.00
778 / 1978	5/1/1983	Warranty Deed	Qualified	Vacant	\$10,000.00

[Click here to search for mortgages, liens, and other legal documents.](#)

Values and Estimated Ad Valorem Taxes

Values shown are 2018 "Working Values" subject to change.
 The Market Value listed below is not intended to represent the anticipated selling price of the property and should not be relied upon by any individual or entity as a determination of current market value.

Tax Authority	Market Value	Assessed Value	Taxable Value	Millage	Estimated Taxes
LAKE COUNTY BCC GENERAL FUND	\$100,931	\$100,931	\$100,931	5.11800	\$516.56
	\$100,931	\$100,931	\$100,931	0.46290	\$46.72

LAKE COUNTY MSTU AMBULANCE						
SCHOOL BOARD STATE	\$100,931	\$100,931	\$100,931	4.35500	\$439.55	
SCHOOL BOARD LOCAL	\$100,931	\$100,931	\$100,931	2.24800	\$226.89	
CITY OF FRUITLAND PARK	\$100,931	\$100,931	\$100,931	3.98630	\$402.34	
ST JOHNS RIVER FL WATER MGMT DIST	\$100,931	\$100,931	\$100,931	0.27240	\$27.49	
LAKE COUNTY VOTED DEBT SERVICE	\$100,931	\$100,931	\$100,931	0.15240	\$15.38	
LAKE COUNTY WATER AUTHORITY	\$100,931	\$100,931	\$100,931	0.25540	\$25.78	
NORTH LAKE HOSPITAL DIST	\$100,931	\$100,931	\$100,931	1.00000	\$100.93	
				Total: 17.8504	Total: \$1,801.64	

Exemptions Information

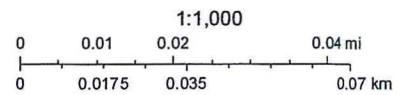
This property is benefitting from the following exemptions with a checkmark ✓

Homestead Exemption (first exemption up to \$25,000)	Learn More	View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More	View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	Learn More	View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000) ⓘ	Learn More	View the Law
Limited Income Senior 25 Year Residency (county millage only - exemption amount varies)	Learn More	View the Law
Widow / Widower Exemption (up to \$500)	Learn More	View the Law
Blind Exemption (up to \$500)	Learn More	View the Law
Disability Exemption (up to \$500)	Learn More	View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Veteran's Disability Exemption (\$5000)	Learn More	View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More	View the Law
Deployed Servicemember Exemption (amount varies)	Learn More	View the Law
First Responder Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Surviving Spouse of First Responder Exemption (amount varies)	Learn More	View the Law
Conservation Exemption (amount varies)	Learn More	View the Law



April 13, 2018

- County Boundary
- Street Names
- Local Streets
- Subdivision Lot Numbers
- Address Locations
- Property Name
- Tax Parcels Alternate Key
- Tax Parcels
- Surrounding Counties



Lake BCC

Always display results after performing a search, buffer or selection



1434742

102 WEST BERCKMAN ST

FRUITLAND PARK FL 34731

Owner: CASPIN KAREN J

Owner Address: 2483 MANERICK

WAY THE VILLAGES FL 32162

[More info](#) [Zoom to](#)

[Property Appraiser](#), [Tax Collector](#),

[Building Permits](#), [Public Services](#),

[Google Maps](#), [Street View](#), [EagleView](#),

[Bing Bird's Eye](#), [FEMA Flood Map](#)



City of Fruitland Park, Florida
Community Development Department
 506 W. Berckman St., Fruitland Park, Florida 34731
 Tel: (352) 360-6727 Fax: (352) 360-6652
 www.fruitlandpark.org

Staff Use Only

Case No.: _____
 Fee Paid: _____
 Receipt No.: _____

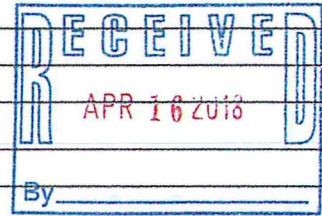
Development Application

Contact Information:

Owner Name: Larry & Beth R Smith Trustees
 Address: 8892 NE 90th Street, Fruitland Park, FL 34731
 Phone: 352-406-0772 Email: larryspakingdom@gmail.com

Applicant Name: Larry & Beth R Smith Trustees
 Address: 8892 NE 90th Street, Fruitland Park, FL 34731
 Phone: 352-406-0772 Email: larryspakingdom@gmail.com

Engineer Name: N/A
 Address: N/A
 Phone: N/A Email: N/A



Property and Project Information:

PROJECT NAME*: Spa Kingdom, Inc.
 *A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: 206 E Berckman Street, Fruitland Park, FL 34731
 Parcel Number(s): 09-19-24-040001500005 Section: _____ Township: _____ Range: _____
 Area of Property: 170' Frontage x 194' Depth Nearest Intersection: US Hwy 27/441 & East Berckman Street
 Existing Zoning: RP (Residential Professional) Existing Future Land Use Designation: MC (Mixed Community)
 Proposed Zoning: C-2 Proposed Future Land Use Designation: MC (Mixed Community)

The property is presently used for: Business Administration Office for Spa Kingdom
 The property is proposed to be used for: Same as present use
 Do you currently have City Utilities? Yes, water only (septic system)

Application Type:

- | | | | |
|--|--|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Comp Plan Amendment | <input checked="" type="checkbox"/> Rezoning | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Construction Plan | <input type="checkbox"/> ROW/Plat Vacate |
| <input type="checkbox"/> Site Plan | <input type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Replat of Subdivision | |

Please describe your request in detail: To rezone to C-2 to conform to existing zoning in area and historical use of property.

Required Data, Documents, Forms & Fees

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Signature: Date: 4/16/18

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

Development Application Checklist

The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd) Current Deed Aerial Photo
 Property Appraiser Information Electronic Copy of Application Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through www.lakecountyfl.gov/maps/. Note: All maps are required to depict adjacent properties at a minimum.

Failure to provide adequate maps may delay the application process.

Other Required Analyses and Maps:

Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment Environmental Constraints Map Requested FLU Map

Large Scale Comprehensive Plan Amendment Applications:

Maps: Environmental Constraints Soils Requested FLUM Designation Requested Zoning Map Designation

Analyses: Environmental Assessment Utility Availability Analysis Urban Sprawl Analysis School Impact Analysis
 Traffic Impact Analysis Consistency with the Comp Plan Florida Master Site File sign-off or Archaeological Survey

Rezoning Applications: Requested Zoning Map Justification for Rezoning

Planned Development Applications:

Maps/Plans: Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G Environmental Constraints

Analyses: Environmental Assessment Traffic Impact Analysis Preliminary Concurrency Analysis

Variance Applications: Justification for Variance

Special Exception Use Applications: Justification for Special Exception Use

Site Sketch List of Special Requirements as Described in LDRs, Chapter 155

Conditional Use Permit Applications:

Site Plan as Described in LDRs, Chapter 155 Proposed List of Conditions and Safeguards
 Written Statement as Described in LDRs, Chapter 155

Subdivision Applications:

(Preliminary Plan, Improvement Plan and Final Plat)

As Described in LDRs, Chapter 157

Minor Subdivision Applications:

As Described in LDRs, Chapter 157

Site Plan Applications:

As Described in LDRs, Chapter 160

Select Language ▼

PROPERTY RECORD CARD

General Information

Owner Name:	SMITH LARRY J & BETH R TRUSTEES	Alternate Key:	1324378
Mailing Address:	8892 NE 90TH ST FRUITLAND PARK, FL 34731 Update Mailing Address	Parcel Number:	09-19-24- 040001500005
		Millage Group and City:	00F1 (FRUITLAND PARK)
		Total Certified Millage Rate:	17.8504
		Trash/Recycling/Water/Info:	My Public Services Map
Property Location:	206 EAST BERCKMAN ST FRUITLAND PARK FL 34731 Update Property Location	Property Name:	Submit Property Name
		School Locator:	School and Bus Map
Property Description:	FRUITLAND PARK BEG 100 FT E OF NW COR OF S 1/2 OF BLK 15, RUN S 4 FT, E 3 FT, S 12 FT, W 3 FT, S 178.5 FT, E 170 FT, N 194.5 FT, W 170 FT TO POB, BLK 15 PB 3 PGS 8-9 ORB 3504 PGS 468 & 469 ORB 5053 PG 869		
<p><small>NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.</small></p>			

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	SINGLE FAMILY (0100)	170	194		170	FF	\$0.00	\$33,660.00

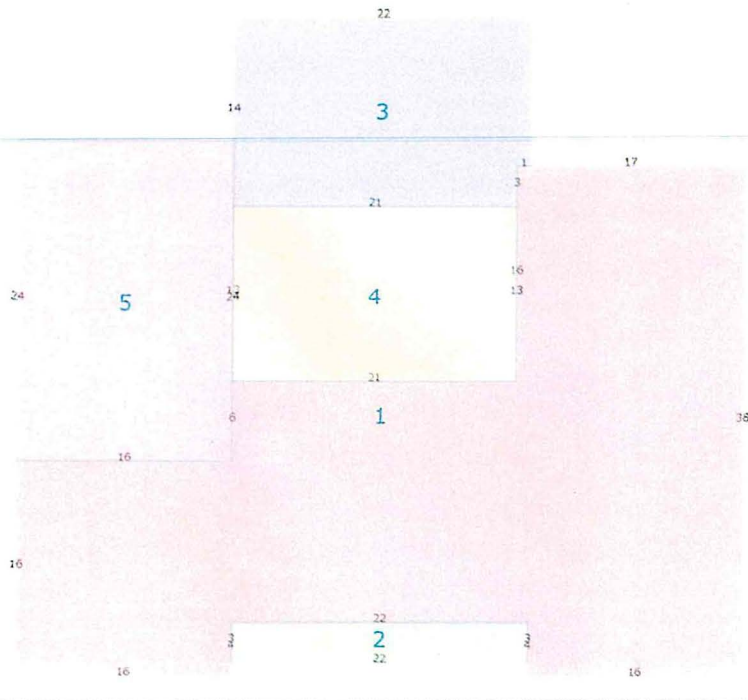
Residential Building(s)

Building 001

Residential	Single Family	Building Value: \$49,171.00						
Summary								
Year Built: 1947	Total Living Area: 1276	Central A/C: No	Attached Garage: Yes					
Bedrooms: 3	Full Bathrooms: 1	Half Bathrooms: 1	Fireplaces: 0					
Incorrect Bedroom, Bath, or other information?								
Section(s)								
Section No.	Section Type	Ext. Wall Type	No. Stories	Floor Area	Finished Attic	Basement	Basement Finished	Map Color
1			1	1276	N	0%	0%	

	FINISHED LIVING AREA (FLA)	Block (002)					
2	OPEN PORCH (OPU)	No Wall Type (000)	1	66	N	0%	0%
3	CARPORT (CPU)	No Wall Type (000)	1	305	N	0%	0%
4	ENCLOSED PORCH (EPB)	Block (002)	1	273	N	0%	0%
5	GARAGE (GBU)	Block (002)	1	384	N	0%	0%

[View Larger / Print / Save](#)



Miscellaneous Improvements

No.	Type	No. Units	Unit Type	Year	Depreciated Value
0001	UTILITY BUILDING - UNFINISHED (UBU)	460	SF	1947	\$568.00

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
5053 / 869	11/29/2017	Quit Claim Deed	Unqualified	Improved	\$100.00
3504 / 468	8/13/2007	Warranty Deed	Unqualified	Improved	\$77,500.00
3504 / 469	8/13/2007	Warranty Deed	Unqualified	Improved	\$77,500.00
3074 / 45	12/19/2005	Warranty Deed	Qualified	Improved	\$100,000.00
387 / 863	6/6/1969	Guardian/Custodian	Unqualified	Improved	\$10,200.00

[Click here to search for mortgages, liens, and other legal documents.](#)

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LAKE COUNTY MSTU AMBULANCE	\$83,399	\$83,399	\$83,399	0.46290	\$38.61
SCHOOL BOARD STATE	\$83,399	\$83,399	\$83,399	4.35500	\$363.20
SCHOOL BOARD LOCAL	\$83,399	\$83,399	\$83,399	2.24800	\$187.48
CITY OF FRUITLAND PARK	\$83,399	\$83,399	\$83,399	3.98630	\$332.45
ST JOHNS RIVER FL WATER MGMT DIST	\$83,399	\$83,399	\$83,399	0.27240	\$22.72
LAKE COUNTY VOTED DEBT SERVICE	\$83,399	\$83,399	\$83,399	0.15240	\$12.71
LAKE COUNTY WATER AUTHORITY	\$83,399	\$83,399	\$83,399	0.25540	\$21.30
NORTH LAKE HOSPITAL DIST	\$83,399	\$83,399	\$83,399	1.00000	\$83.40
				Total:	Total:
				17.8504	\$1,488.71

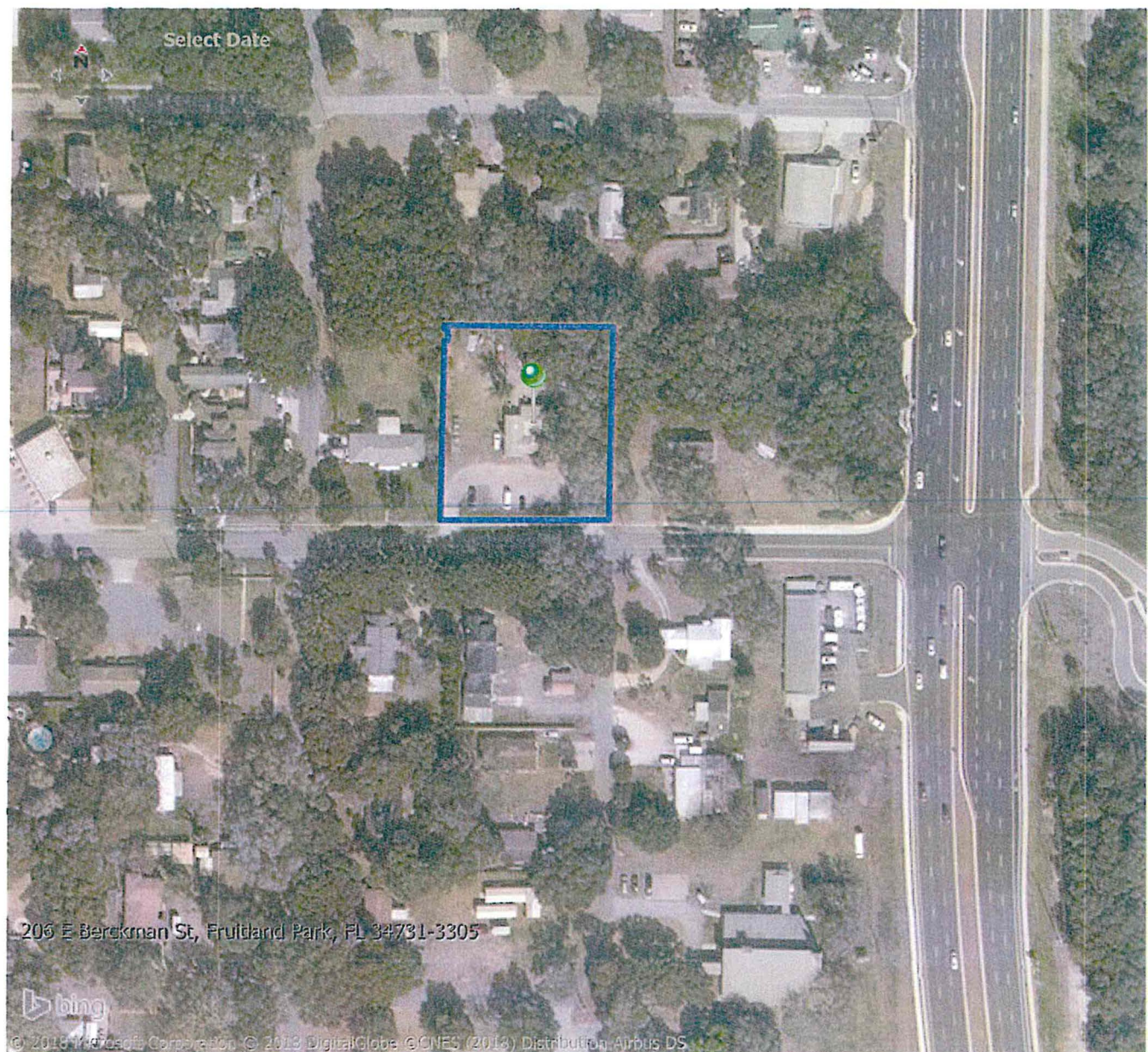
Exemptions Information

This property is benefitting from the following exemptions with a checkmark 

Homestead Exemption (first exemption up to \$25,000)	Learn More	View the Law
Additional Homestead Exemption (up to an additional \$25,000)	Learn More	View the Law
Limited Income Senior Exemption (applied to county millage - up to \$50,000)	Learn More	View the Law
Limited Income Senior Exemption (applied to city millage - up to \$25,000) 	Learn More	View the Law
Limited Income Senior 25 Year Residency (county millage only-exemption amount varies)	Learn More	View the Law
Widow / Widower Exemption (up to \$500)	Learn More	View the Law
Blind Exemption (up to \$500)	Learn More	View the Law
Disability Exemption (up to \$500)	Learn More	View the Law
Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Veteran's Disability Exemption (\$5000)	Learn More	View the Law
Veteran's Total and Permanent Disability Exemption (amount varies)	Learn More	View the Law
Veteran's Combat Related Disability Exemption (amount varies)	Learn More	View the Law
Deployed Servicemember Exemption (amount varies)	Learn More	View the Law



V.



Prepared by:/Return to
TERESA REAGOR, an employee of
Paradise Land Title Corporation,
205 W. North Boulevard
Leesburg, Florida 34748

File Number: 07-1995

Corporate Warranty Deed

This Indenture, made , August 13, 2007 A.D.

Between
WRIGHT HOLDINGS, LLC, As to an Undivided One Half Interest whose post office address is: P.O. Box 1114, Fruitland Park Fl 34731 a corporation existing under the laws of the State of Florida, Grantor and LARRY J. SMITH and BETH R. SMITH, husband and wife whose post office address is: 3050 HWY 441/27, Fruitland Park, FL 34731, Grantee,

Witnesseth, that the said Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00), to it in l paid by the said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee forever, following described land, situate, lying and being in the County of Lake, State of Florida, to wit:

Begin 100 feet East of the Northwest corner of the South 1/2 of Block 15 of Fruitland Park, according to the Plat thereof as recorded in Plat Book 3, Page 9, of the Public Records of Lake County, Florida, and run thence South 4 feet, thence East 3 feet, thence South 12 feet, thence West 3 feet, thence South 178.5 feet, thence East 170 feet, thence North 194.5 feet, thence West 170 feet to the Point of Beginning, in Section 4, Township 19 South, Range 24 East.

Subject to taxes for the current year, covenants, restrictions and easements of record, if any.

Parcel Identification Number: 0919240400-015-00005

And the said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims c persons whomsoever.

In Witness Whereof, the said Grantor has caused this instrument to be executed in its name by its duly authorized of and caused its corporate seal to be affixed the day and year first above written.

WRIGHT HOLDINGS, LLC

Signed and Sealed in Our Presence:

By: [Signature]
NORMAN A. WRIGHT
Its: MANAGER

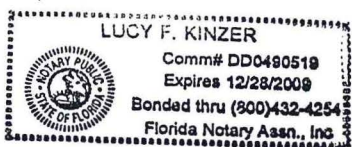
By: [Signature]
LINDA A. WRIGHT
Its: MANAGER

[Signature]
Witness Print Name: Lucy F. Kinzer
[Signature]
Witness Print Name: J. Robert Duggan

(Corporate Seal)

State of Florida
County of Lake

The foregoing instrument was acknowledged before me this 13th day of August, 2007, by NORMAN A. WRIGHT and LINDA A. WRIGHT, who constitute all the MANAGER MEMBERS of WRIGHT HOLDINGS, LLC A corporation existing under the laws of State of Florida, on behalf of the corporation. He/She is personally known to me or has produced Blue identification.



[Signature] (Seal)
Notary Public
Notary Printed Name: _____
My Commission Expires: _____

Prepared by: / Return To
LUCY F. KINZER
Paradise Land Title Corporation
205 W. North Boulevard
Leesburg, Florida 34748

CFN 2007121133
Bk 03504 Pg 04697 (1pg)
DATE: 09/07/2007 02:43:23 PM
JAMES C. WATKINS, CLERK OF COURT
LAKE COUNTY
RECORDING FEES 10.00
DEED DOC 542.50

File Number: 07-1995

Warranty Deed

Made this August 13, 2007 A.D. By **S. DALE ARROWSMITH and JUDY L. ARROWSMITH, husband and wife**, As to an Undivided One Half Interest whose address is: P.O. Box 1114, Fruitland Park, Fl 34731, hereinafter called the grantor, to **LARRY J. SMITH and BETH R. SMITH, husband and wife**, whose post office address is: 3050 HWY 441/27, Fruitland Park, FL 34731, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Lake County, Florida, viz:

Begin 100 feet East of the Northwest corner of the South 1/2 of Block 15 of Fruitland Park, according to the Plat thereof as recorded in Plat Book 3, Page 9, of the Public Records of Lake County, Florida, and run thence South 4 feet, thence East 3 feet, thence South 12 feet, thence West 3 feet, thence South 178.5 feet, thence East 170 feet, thence North 194.5 feet, thence West 170 feet to the Point of Beginning, in Section 4, Township 19 South, Range 24 East.

Parcel ID Number: 0919240400-015-00005


Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2006.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

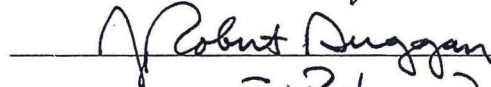
Signed, sealed and delivered in our presence:




Witness Printed Name: Lucy F. Kinzer

 (Seal)

S. DALE ARROWSMITH
Address: P.O. Box 1114, Fruitland Park, Fl 34731



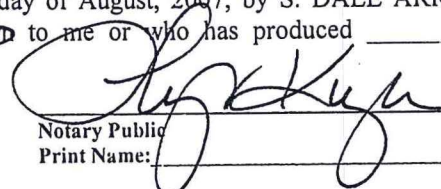
Witness Printed Name: J. Robert Duggan

 (Seal)

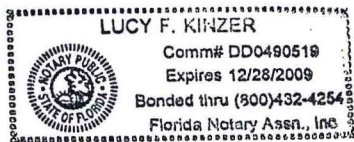
JUDY L. ARROWSMITH
Address: P.O. Box 1114, Fruitland Park, Fl 34731

State of Florida
County of Lake

The foregoing instrument was acknowledged before me this 13th day of August, 2007, by S. DALE ARROWSMITH and JUDY L. ARROWSMITH, husband and wife, who is/are personally known to me or who has produced _____ as identification.



Notary Public
Print Name: _____
My Commission Expires: _____





City of Fruitland Park, Florida
Community Development Department
 506 W. Berckman St., Fruitland Park, Florida 34731
 Tel: (352) 360-6727 Fax: (352) 360-6652
 www.fruitlandpark.org

<i>Staff Use Only</i>	
Case No.:	_____
Fee Paid:	_____
Receipt No.:	_____

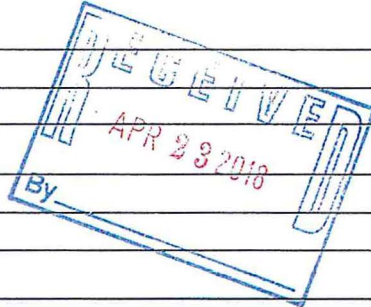
Development Application

Contact Information:

Owner Name: Fruitland Park Holdings, LLC - Tejinder S. Grewall, Manager
 Address: 1330 Saxon Blvd Orange City, FL 32763
 Phone: 480-717-7100 Email: tj@tjoil.net

Applicant Name: Fruitland Park Holdings, LLC - Tejinder S. Grewall, Manager
 Address: 1330 Saxon Blvd Orange City, FL 32763
 Phone: 480-717-7100 Email: tj@tjoil.net

Engineer Name: Wicks Engineering Services, Inc - Ted Wicks, P.E.
 Address: 225 W. Main Street Tavares, FL 32778
 Phone: 352-343-8667 Email: 352-343-8665



Property and Project Information:

PROJECT NAME*: IC International Car Wash
 *A project name is required for all submissions. Please choose a name representative of the project for ease of reference.

Property Address: No Property Address Assigned as Yet

Parcel Number(s): 10-19-24-0003-000-06800 / AK#1170621 Section: 10 Township: 19 Range: 24

Area of Property: 1.7 +/- acres / 76,041 SF Nearest Intersection: CR 25A and US Hwy 27

Existing Zoning: General Commercial Existing Future Land Use Designation: Commercial (High Intensity)

Proposed Zoning: General Commercial Proposed Future Land Use Designation: Commercial (High Intensity)

The property is presently used for: Vacant

The property is proposed to be used for: Car Wash Facility

Do you currently have City Utilities? Central Water and Sewer are available - Fruitland Park


Application Type:

- | | | | |
|---|--|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Comp Plan Amendment | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Planned Development |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Minor Lot Split | <input type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Construction Plan | <input type="checkbox"/> ROW/Plat Vacate |
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> Minor Site Plan | <input type="checkbox"/> Replat of Subdivision | |

Please describe your request in detail: Site plan to construct a car wash facility to include site development grading, utilities, and stormwater retention

Required Data, Documents, Forms & Fees

Attached to this application is a list of **REQUIRED** data, documents and forms for each application type as well as the adopted fee schedule. These items must be included when submitting the application package. Failure to include the supporting data will deem your application package **INCOMPLETE** and will not be processed for review.

Signature:  Date: 3/11/18

If application is being submitted by any person other than the legal owner(s) of the property, the applicant must have written authorization from the owner to submit application.

Development Application Checklist

The Following are Required for ALL Development Applications:

- Legal Description (Word file req'd) Current Deed Aerial Photo
 Property Appraiser Information Electronic Copy of Application Location Map

Pre-application conferences are strongly encouraged. Submit TWO CDs with ALL documents in pdf; those that are generated as CAD files should be submitted in pdf and dwg formats. . Legal Descriptions should also come with a MS Word file of the legal description. Most maps are accessible through www.lakecountyfl.gov/maps/. Note: All maps are required to depict adjacent properties at a minimum.

Failure to provide adequate maps may delay the application process.

Other Required Analyses and Maps:

Small Scale Comprehensive Plan Amendment Applications:

- Justification for Amendment Environmental Constraints Map Requested FLU Map

Large Scale Comprehensive Plan Amendment Applications:

Maps: Environmental Constraints Soils Requested FLUM Designation Requested Zoning Map Designation

Analyses: Environmental Assessment Utility Availability Analysis Urban Sprawl Analysis School Impact Analysis

Traffic Impact Analysis Consistency with the Comp Plan Florida Master Site File sign-off or Archaeological Survey

Rezoning Applications: Requested Zoning Map Justification for Rezoning

Planned Development Applications:

Maps/Plans: Conceptual Plan as Described in LDRs Chapter 154, Section 154.030,10,G Environmental Constraints

Analyses: Environmental Assessment Traffic Impact Analysis Preliminary Concurrency Analysis

Variance Applications: Justification for Variance

Special Exception Use Applications:

- Justification for Special Exception Use
 Site Sketch List of Special Requirements as Described in LDRs, Chapter 155

Conditional Use Permit Applications:

- Proposed List of Conditions and Safeguards
 Site Plan as Described in LDRs, Chapter 155 Written Statement as Described in LDRs, Chapter 155

Subdivision Applications:

(Preliminary Plan, Improvement Plan and Final Plat)

- As Described in LDRs, Chapter 157

Minor Subdivision Applications:

- As Described in LDRs, Chapter 157

Site Plan Applications:

- As Described in LDRs, Chapter 160

PROPERTY RECORD CARD

General Information

Owner Name:	FRUITLAND PARK HOLDINGS LLC	Alternate Key:	1170621
Mailing Address:	1330 SAXON BLVD ORANGE CITY, FL 32763 Update Mailing Address	Parcel Number:	10-19-24- 000300006800 00F1 (FRUITLAND PARK)
		Millage Group and City:	(FRUITLAND PARK)
		Total Certified Millage Rate:	17.8504
		Trash/Recycling/Water/Info:	My Public Services Map
Property Location:	US HWY 27/441 FRUITLAND PARK FL 34731 Update Property Location	Property Name:	-- Submit Property Name
Property Description:	N 229 FT OF S 991 FT OF SE 1/4 OF SW 1/4 LYING W OF HWY 27 ORB 4989 PG 2022	School Locator:	School and Bus Map

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	VACANT COMMERCIAL (1000)	0	0		76041	SF	\$0.00	\$342,185.00

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
4989 / 2022	7/27/2017	Warranty Deed	Multi-Parcel	Vacant	\$450,000.00
4661 / 2046	7/29/2015	Trustees Deed	Multi-Parcel	Vacant	\$785,000.00
1042 / 902	12/1/1989	Warranty Deed	Unqualified	Vacant	\$0.00
1042 / 906	12/1/1989	Warranty Deed	Unqualified	Vacant	\$0.00

[Click here to search for mortgages, liens, and other legal documents.](#)

Values and Estimated Ad Valorem Taxes

PROPERTY RECORD CARD

General Information

Owner Name: FRUITLAND PARK HOLDINGS LLC
Alternate Key: 1699754
Mailing Address: 1330 SAXON BLVD ORANGE CITY, FL 32763
[Update Mailing Address](#)
Parcel Number: 10-19-24-000300004200
Millage Group and City: 00F2 (FRUITLAND PARK)
Total Certified Millage Rate: 17.8504
Trash/Recycling/Water/Info: [My Public Services Map](#)

Property Location: SOUTH DIXIE AVE FRUITLAND PARK FL 34731
[Update Property Location](#)
Property Name: --
[Submit Property Name](#)
School Locator: [School and Bus Map](#)

Property Description: BEG 566.5 FT S & 100 FT E OF NW COR OF SE 1/4 OF SW 1/4, RUN | E 100 FT, S 200 FT TO HWY, THENCE IN NW'LY DIRECTION ALONG | HWY 110.5 FT, N 153.1 FT TO POB | ORB 4989 PG 2022 |

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	VACANT COMMERCIAL (1000)	0	0		16850	SF	\$0.00	\$75,825.00

Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
4989 / 2022	7/27/2017	Warranty Deed Multi-Parcel		Vacant	\$450,000.00
4661 / 2046	7/29/2015	Trustees Deed Multi-Parcel		Vacant	\$785,000.00
1042 / 900	12/1/1989	Warranty Deed Unqualified		Vacant	\$0.00
995 / 1984	1/1/1989	Warranty Deed Qualified		Vacant	\$24,000.00

[Click here to search for mortgages, liens, and other legal documents.](#)

THIS INSTRUMENT WAS PREPARED BY:
Danielle DeVito-Hurley, Esq.
Gunster, Yoakley & Stewart, P.A.
450 E. Las Olas Blvd., Suite 1400
Ft. Lauderdale, FL 33301

SPECIAL WARRANTY DEED

THIS INDENTURE, made this 21 day of July, 2017, between Van MF Fruitland, LLC, a Florida limited liability company, whose address is 400 Carillon Parkway, Suite 230, St. Petersburg, Florida 33716 ("Grantor"), and Fruitland Park Holdings, LLC a Florida limited liability company, whose address is 1330 Saxon Blvd. Orange City, FL 32763 ("Grantee"):

WITNESSETH THAT:

Grantor, for and in consideration of the sum of Ten and No/100 U.S. Dollars (\$10.00), lawful money of the United States of America, to it in hand paid by the Grantee, at or before the ensealing and delivery of these presents, the receipt of which is hereby acknowledged, has granted, bargained, sold, alienated, remised, released, conveyed and confirmed and by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee and its/his/her heirs or successors and assignees forever, the following parcel of land, situate, lying and being in Lake County, Florida, and more particularly described as follows:

SEE EXHIBIT A ATTACHED HERETO AND MADE A PART HEREOF (the "Land").

SUBJECT TO AND TOGETHER WITH, HOWEVER, THE FOLLOWING:

1. Real property taxes and assessments for the year 2017 and for subsequent years.
2. Zoning and other regulatory laws and ordinances affecting the Land.
3. Easements, reservations, restrictions, rights of way, and other matters of record, if any, without re-imposing the same.

TOGETHER with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in any way appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that it is lawfully seized of the Land hereby conveyed in fee simple; that it has good right and lawful authority to sell and convey said Land; that it hereby specially warrants the title to said Land and will defend the same against the lawful claims of any persons claiming by, through or under the said Grantor but against no others.

EXHIBIT A

Parcel 1:

A PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 19 SOUTH, RANGE 24 EAST, IN LAKE COUNTY, FLORIDA, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 566.5 FEET SOUTH AND 100 FEET EAST OF THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION: RUN THENCE EAST 100 FEET; THENCE SOUTH 200 FEET TO THE NORTH LINE OF THE HIGHWAY; THENCE NORTHWESTERLY ALONG THE NORTH LINE OF THE HIGHWAY, A DISTANCE OF 110.5 FEET TO A POINT SOUTH OF THE POINT OF BEGINNING; THENCE NORTH 153.1 FEET TO THE POINT OF BEGINNING.

Parcel 2:

THAT PART OF THE NORTH 229 FEET OF THE SOUTH 991 FEET OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 19 SOUTH, RANGE 24 EAST, IN LAKE COUNTY, FLORIDA, LYING WEST OF THE WESTERLY LINE OF THE RIGHT OF WAY OF U.S. HIGHWAY NO. 27.



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Limited Liability Company
FRUITLAND PARK HOLDINGS, LLC

Filing Information

Document Number	L17000086420
FEI/EIN Number	NONE
Date Filed	04/18/2017
State	FL
Status	ACTIVE

Principal Address

1330 SAXON BLVD.
ORANGE CITY, FL 32763

Mailing Address

1330 SAXON BLVD.
ORANGE CITY, FL 32763

Registered Agent Name & Address

NISHAD KHAN PL
617 E. COLONIAL DRIVE
ORLANDO, FL 32803

Authorized Person(s) Detail

Name & Address

Title MGR

GREWALL, TEJINDER S
1330 SAXON BLVD.
ORANGE CITY, FL 32763

Annual Reports

No Annual Reports Filed

Document Images

[04/18/2017 -- Florida Limited Liability](#) [View image in PDF format](#)

AK#1170621 - Aerial Map



June 8, 2017

pointLayer

Override 1

polygonLayer

Override 1
 County Boundary
 Street Names

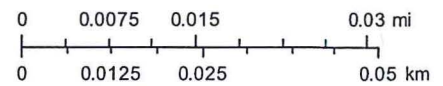
Subdivision Boundaries
 Tax Parcels Alternate Key

Fire Stations

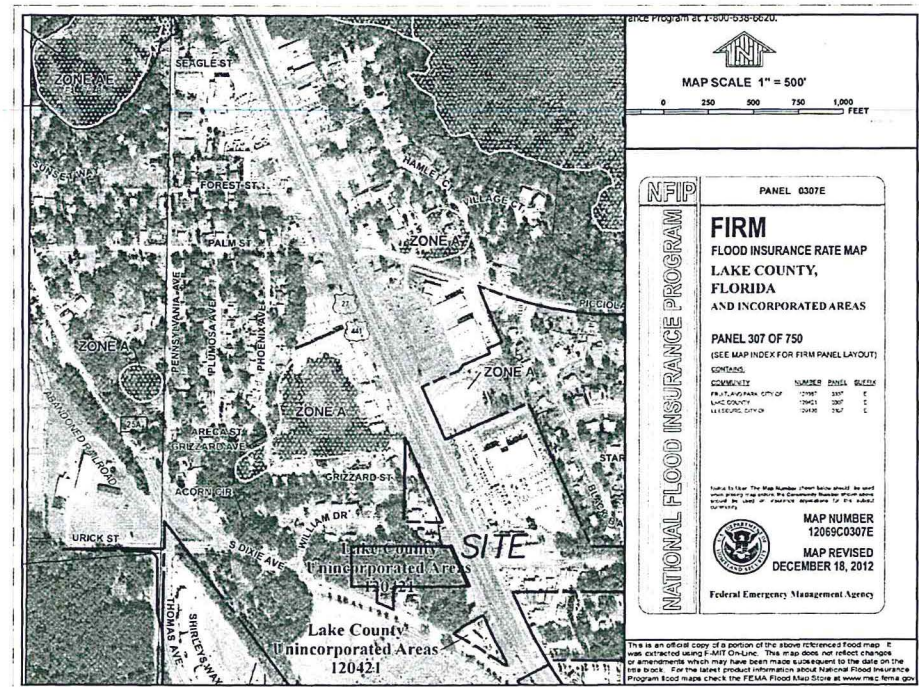
County
 City

City Volunteer
 BC 20
 BC 90
 Hydrants

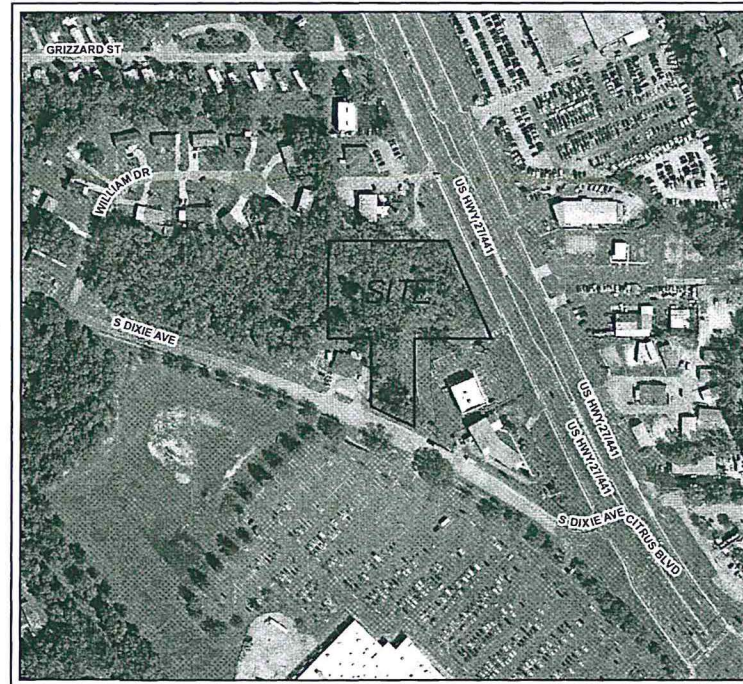
1:1,000



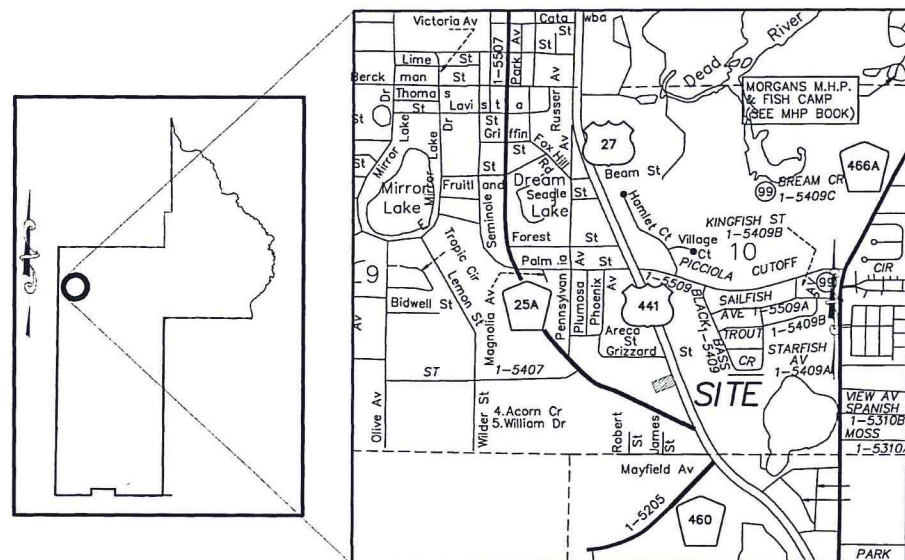
IC INTERNATIONAL CAR WASH FRUITLAND PARK, FLORIDA 34731



FEMA MAP 12069C0307E
nls



AERIAL MAP
ALTERNATE KEY #1170621
SCALE: 1"=200'



LOCATION MAP
N.T.S.

- INDEX OF SHEETS
1. COVER SHEET
 2. GENERAL NOTES
 3. GENERAL UTILITY NOTES
 4. SURVEY
 5. DEMOLITION & EROSION CONTROL PLAN
 6. SITE PLAN
 7. GEOMETRY PLAN
 8. GRADING & DRAINAGE PLAN
 9. ENTRANCE ROAD PLAN & PROFILE
 10. UTILITY PLAN
 11. LIFT STATION DETAIL
 12. CONSTRUCTION & DRAINAGE DETAILS
 13. UTILITY DETAILS

Wicks Engineering Services, Inc.
225 West Main Street, Tavares, Florida 32778
www.wicksengineering.com (352) 343-8667
C.A. #30062

Wicks Engineering Services, Inc.
225 West Main Street, Tavares, Florida 32778
www.wicksengineering.com (352) 343-8667
C.A. #30062

FRUITLAND PARK HOLDINGS, LLC
TANNER S. GREENWALL
1330 Saxon Boulevard
Orange City, Florida 32763

IC INTERNATIONAL CARWASH
COVER SHEET
US HWY 27/441 FRUITLAND PARK FL. 34731

STATE OF FLORIDA
Professional Engineer
No. 30274
Kenneth R. Wicks, P.E.
DATE: 4/24/13

Drawn: MSR	REVISION:	DATE:
Checked: TRW		
Date: 10-25-17		
Scale: AS SHOWN		
File No.: 17136		

Sheet: 1 of 13

GENERAL NOTES

- 1. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER IN WRITING, WITHIN 48 HOURS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH DIFFERING CONDITIONS WILL BE ALLOWED UNLESS THE CONTRACTOR PROVIDES WRITTEN NOTIFICATION.
2. THE BOUNDARY AND TOPOGRAPHIC SURVEYS FOR THIS PROJECT WERE PERFORMED BY OTS AND WICKS CONSULTING SERVICES, INC. ASSUME NO RESPONSIBILITY, IN WHOLE OR IN PART, FOR THE COMPLETENESS AND ACCURACY OF THE SURVEYS. WICKS CONSULTING SERVICES, INC. HAS RELIED UPON THE SURVEYS IN PREPARING THE CIVIL ENGINEERING DESIGN SHOWN IN THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE EXISTING TOPOGRAPHIC DATA, THE LOCATION OF EXISTING SITE FEATURES, UTILITIES AND ALL OTHER SITE CONDITIONS SHOWN ON THE DRAWINGS PRIOR TO COMMENCING WORK. DIFFERING SITE CONDITIONS SHALL BE DISCLOSED AS DESCRIBED IN GENERAL NOTE NUMBER 1.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL REQUIRED CONSTRUCTION PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
4. ALL MATERIALS, INSTALLATION, AND TESTING SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTIONS AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHERE THE SPECIFICATIONS CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY.
5. THE SURFACE INFORMATION FOR THIS PROJECT WAS OBTAINED FOR DESIGN PURPOSES AND MAY NOT BE AN ADEQUATE REPRESENTATION OF ACTUAL CONDITIONS FOR PROJECT CONSTRUCTION. INFORMATION SHOWN, INCLUDING GROUND WATER LEVELS, REPRESENTS EXISTING CONDITIONS AT THE SPECIFIED BORING LOCATIONS AT THE TIME THE BORINGS WERE MADE. DIFFERING SITE CONDITIONS SHALL BE DISCLOSED AS DESCRIBED IN GENERAL NOTE NUMBER 1.
6. THE SITE IS CLASSIFIED AS ZONE "X", PER FEMA FLOOD MAP PANEL 12069C0307E DATED DECEMBER 18, 2012.
7. THE CONTRACTOR SHALL TURN, ERECT AND MAINTAIN ALL NECESSARY TRAFFIC CONTROL AND SAFETY DEVICES IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE LATEST FLORIDA DEPARTMENT OF TRANSPORTATION "ROADWAY DESIGN STANDARDS".
8. ALL HANDICAP ACCESSIBLE CURB RAMP SHALL BE CONSTRUCTED (INCLUDING THE WALKING SURFACE) IN COMPLIANCE WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, SECTION 11 AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) INDEX 304.
9. THE CONTRACTOR SHALL COORDINATE CIVIL DRAWINGS WITH ALL TRADES, INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, IRRIGATION, FIRE SYSTEMS. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY.
10. SIGNAGE AND STRIPING SHALL CONFORM TO THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS, AND THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD). SIGNS SHALL BE ERECTED ACCORDING TO THE REFERENCE NUMBERS DESIGNATED BY THE FDOT OR THE MUTCD.
11. ALL WORK SHALL BE OPEN TO AND SUBJECT TO INSPECTION BY AUTHORIZED PERSONNEL OF THE OWNER, APPROVED UTILITY COMPANIES, PROJECT ENGINEER AND REGULATORY AGENCIES. ENGINEER SHALL NOTIFIED 48 HOURS PRIOR TO REQUIRED INSPECTIONS.
12. ALL RECOMMENDATIONS AND REQUIREMENTS OF INSPECTION PERSONNEL SHALL BE REPORTED TO ENGINEER/OWNER PRIOR TO IMPLEMENTATION. COMPENSATION WILL NOT BE ALLOWED FOR WORK WHICH IS NOT AUTHORIZED BY ENGINEER/OWNER.
13. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ENGINEERING AND AGENCY APPROVAL PRIOR TO PROGRAMMING OF MATERIALS.
14. CONTRACTOR TO SUBMIT COPIES OF ALL TESTING REPORTS TO THE OWNER AND ENGINEER FOR ACCEPTANCE AND CERTIFICATIONS.
15. ANY PUBLIC LAND CORNER, WITHIN THE LIMITS OF CONSTRUCTION, IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT YET BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL NOTIFY THE OWNER, ENGINEER & SURVEYOR WITH-OUT DELAY. DISTURBED MONUMENTATION SHALL BE RESTORED BY A FLORIDA LICENSED LAND SURVEYOR AT CONTRACTOR'S EXPENSE.
16. ALL AREAS WHERE PAVEMENT, BUILDING SLABS, FOUNDATIONS, UTILITIES, CONDUITS, AND/OR UTILITY STRUCTURES, ARE BEING REMOVED SHALL BE BACKFILLED WITH SELECT BACKFILL MATERIAL. ALL SELECT BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED PER THE REQUIREMENTS OF THE LOCAL JURISDICTION.
17. REFER TO FDOT, ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX FOR CONSTRUCTION OF SITE ITEMS.
18. CONTRACTOR SHALL MEET ALL LOCAL STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF TRAFFIC CONTROL PLANS & SIGNAGE THAT WILL BE REQUIRED FOR THIS PROJECT AND SHALL BE INCLUDED IN THE BID FOR THIS PROJECT.
19. ACCESS ROADS AND A SUITABLE TEMPORARY OR PERMANENT SUPPLY OF WATER ACCEPTABLE TO THE FIRE DEPARTMENT SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT THE CONSTRUCTION PERIOD.
20. UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL PROVIDE FOR THE LAYOUT OF ALL OF THE WORK TO BE CONSTRUCTED. BENCHMARK INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER OR OWNER'S SURVEYOR. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND CONSTRUCTION PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
21. ALL TESTING RESULTS SHALL BE PROVIDED TO THE OWNER/OPERATOR AND THE ENGINEER. TESTING REQUIREMENTS ARE TO BE IN ACCORDANCE WITH THE OWNER/OPERATOR'S SPECIFICATIONS AND REQUIREMENTS. ALL TEST RESULTS SHALL BE PROVIDED (PASSING AND FAILING) ON A REGULAR AND IMMEDIATE BASIS. CONTRACTOR SHALL PROVIDE TESTING SERVICES THROUGH A FLORIDA LICENSED GEOTECHNICAL ENGINEERING FIRM ACCEPTABLE TO THE OWNER AND ENGINEER. CONTRACTOR TO SUBMIT TESTING FIRM TO OWNER FOR APPROVAL PRIOR TO COMMENCING TESTING. TESTING OF SUB GRADE, BASE, AND ASPHALT FOR THICKNESS AND DENSITY SHALL BE PERFORMED AT NO MORE THAN 200' INTERVALS.
22. SHOP DRAWINGS AND CERTIFICATIONS FOR ALL STORM DRAINAGE, WATER SYSTEM, SEWER SYSTEM, AND PAVING SYSTEM MATERIALS AND STRUCTURES ARE REQUIRED. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION.
23. DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL TAKE SPECIAL CARE AND PROVIDE ADEQUATE PROTECTION IN ORDER TO MINIMIZE DAMAGE TO VEGETATION, SURFACED AREAS, AND STRUCTURES WITHIN RIGHT-OF-WAY, EASEMENTS AND ON CONSTRUCTION SITE, AND TAKE FULL RESPONSIBILITY FOR THE REPLACEMENT OR REPAIR THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL MAKE GOOD ALL DAMAGE TO PAVEMENT, BUILDINGS, TELEPHONE OR OTHER CABLES, SANITARY PIPES, OR OTHER STRUCTURES BEYOND THE LIMITS OF THIS PROJECT WHICH MAY BE ENCOUNTERED, WHETHER OR NOT SHOWN ON THE DRAWINGS.
24. TEMPORARY FACILITIES: THE CONTRACTOR SHALL FURNISH WATER AND ELECTRIC POWER AS REQUIRED FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL TEMPORARY CONNECTIONS AND FOR REMOVING SAME AFTER CONSTRUCTION HAS BEEN COMPLETED. THE CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AND ENCLOSURES FOR THE USE OF ALL WORKMAN, AT A LOCATION ON THE PROJECT WHICH SHALL BE APPROVED BY THE JURISDICTION. SUCH FACILITIES SHALL COMPLY WITH ALL LOCAL CODES AND SHALL BE MAINTAINED IN SANITARY CONDITION AT ALL TIMES. NO WORK SHALL BE STARTED UNTIL THESE FACILITIES ARE ON THE JOB SITE.

GENERAL NOTES (CONT)

- 25. MAINTENANCE OF TRAFFIC: THE CONTRACTOR SHALL BE RESPONSIBLE, DURING THE COURSE OF CONSTRUCTION, FOR PROPER MAINTENANCE, CONTROL, AND DETOUR OF TRAFFIC IN THE AREA OF CONSTRUCTION. ALL TRAFFIC CONTROL AND MAINTENANCE PROCEDURES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION INDEX #600 AND LAKE COUNTY, FLORIDA, WITHIN THEIR RESPECTIVE AREAS OF JURISDICTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY AS NOTED, PRIOR TO SUBMITTING HIS BID, TO DETERMINE THE REQUIREMENTS OF THESE AGENCIES SO THAT HIS PROPOSAL REFLECTS ALL COSTS TO BE INCURRED. NO CLAIMS FOR ADDITIONAL PAYMENT SHALL BE CONSIDERED FOR COSTS INCURRED DUE TO THE PROPER MAINTENANCE, CONTROL, DETOUR, AND PROTECTION OF TRAFFIC.
26. ALL MATERIALS PLACED UNDER ROADWAYS SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DENSITY AS SPECIFIED IN AASHTO T-99. ALL OTHER FILL AREAS ARE TO BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DENSITY AS SPECIFIED IN AASHTO T-99. FILL MATERIALS SHALL BE PLACED AND COMPACTED IN A MAXIMUM OF "2" LIFTS. THE CONTRACTOR SHALL PROVIDE THE ENGINEER AND OWNER WITH ALL (PASSING AND FAILING) TESTING RESULTS. RESULTS SHALL BE PROVIDED ON A TIMELY AND REGULAR BASIS PRIOR TO CONTRACTOR'S PAY REQUEST SUBMITTAL FOR THE AFFECTED WORK.
27. ALL AREAS WITHIN RIGHT-OF-WAY SHALL BE FINISH GRADED WITH A SMOOTH TRANSITION INTO EXISTING GROUND. ALL SWALES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING. ALL DISTURBED AREAS SHALL BE RAKED CLEAN OF ALL LIVEROCK AND ROCKS AND SODDED AFTER FINAL GRADING IN ACCORDANCE WITH THE CONSTRUCTION STANDARDS TO FINAL INSPECTION. ALL CROSSINGS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE BY THE OWNER.

DEMOLITION AND EARTHWORK NOTES

- 1. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
2. ALL DEBRIS AND WASTE MATERIALS GENERATED BY DEMOLITION OR SUBSEQUENT CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT AN APPROVED DISPOSAL FACILITY. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED FOR DEMOLITION, CONSTRUCTION WORK AND HAULING WASTE MATERIAL. ALL ASSOCIATED COSTS AND PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PAVEMENT REPAIRS AND/OR RESURFACING TO ALL EXISTING ROADS WHICH ARE SAW-CUT OR DAMAGED DURING CONSTRUCTION.
4. ANY UNCONTAMINATED MATERIALS SHALL BE DISPOSED OF IN A MANNER APPROVED BY THE ENGINEER IN ACCORDANCE WITH FEDERAL STATE, AND LOCAL REGULATIONS. (REFER TO TREE PROTECTION R-10.)
5. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE, AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR FIELD VERIFICATION OF THE EXISTING UTILITIES. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY TO ENSURE THE INTEGRITY OF THE SYSTEM.
6. PRIOR TO DEMOLISHING UTILITY LINES, CONTRACTOR SHALL VERIFY FLOW DIRECTIONS FROM EXISTING BUILDINGS WHICH ARE TO REMAIN. IF DEMOLITION WILL CUT OFF THESE FACILITIES, THE ENGINEER, ARCHITECT, OWNER (AND/OR OWNERS REPRESENTATIVE) SHALL BE CONTACTED IMMEDIATELY.

EARTHWORK

- 7. THE CONTRACTOR SHALL PERFORM HIS OWN MEASUREMENTS AND CALCULATIONS AS NECESSARY TO ASSURE HIMSELF OF EARTHWORK QUANTITIES. THERE IS NO IMPLICATION THAT EARTHWORK BALANCES, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY IMPORT/EXPORT NEEDED, OR FOR REMOVAL AND DISPOSAL OF EXCESS MATERIALS.
8. AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. REPAIR OF UNCONSTRUCTED OR DAMAGED AREAS ON SURROUNDING PROPERTIES SHALL BE PERFORMED BY THE CONTRACTOR ON AN IMMEDIATE BASIS. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION SHALL BE PROVIDED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING AND GRUBBING FOR SITE CONSTRUCTION INCLUDING CLEANSING FOR PAVING, UTILITIES, DRAINAGE FACILITIES AND HURDLE CONSTRUCTION. ALL AREAS TO BE CLEARED SHALL BE FIELD STAKED AND REVIEWED BY THE OWNER AND ENGINEER PRIOR TO ANY CONSTRUCTION.
10. WHEN CLEARING LAND FOR THE PROJECT, A BURN PERMIT MUST BE OBTAINED FROM THE JURISDICTION AND THE DEPARTMENT OF FORESTRY PRIOR TO BURNING ANY MATERIAL.
11. THE FIRE DEPARTMENT WILL ISSUE A BURNING PERMIT TO ALLOW BURNING OF CLEARED MATERIAL ONLY IF THE FOLLOWING CONDITIONS ARE MET:
A. AN AIR CURTAIN INCINERATOR PROCESS IS USED DURING THE BURNING PROCESS.
B. THE BURN PIT IS AT LEAST 300 FEET AWAY FROM ANY STRUCTURE.
C. THE BURN PIT IS AT LEAST 100 FEET AWAY FROM THE ROAD.
12. ALL MATERIALS EXCAVATED SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE STOCKPILED AT ON-SITE LOCATIONS AS SPECIFIED BY THE OWNER. MATERIALS SHALL BE STOCKPILED SEPARATELY AS TO USABLE (NON ORGANIC) FILL, STOCKPILES AND ORGANIC (MUCK) STOCKPILES IF MUCK IS ENCOUNTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNSUITABLE FILL MATERIALS FROM THE SITE. ALL CLAY UNCONTAMINATED SHALL BE EXCAVATED OUT AND REPLACED WITH CLEAN GRANULAR FILL MATERIALS.
13. ALL FILL MATERIALS SHALL CONTAIN NO MUCK, STUMPS, ROOTS, BRUSH, VEGETATIVE MATERIAL, RUBBER OR OTHER MATERIAL THAT WILL NOT COMPACT INTO A SUITABLE AND ENDURING BACKFILL. FILL SHALL BE CLEAN, NON-ORGANIC, GRANULAR MATERIAL WITH NOT MORE THAN 10% PASSING THE NO. 200 SIEVE.

EROSION & SEDIMENT CONTROL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR: (NPDES) PERMITTING:
A. PREPARING AND SUBMITTING FDEP NOTICE OF INTENT (NOI) AND NOTICE OF TERMINATION (NOT) APPLICATIONS AND FORMS.
B. FDEP NOTICE OF INTENT APPLICATION FEES.
C. PREPARING THE FDEP STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
2. PRIOR TO EARTH WORK OR CONSTRUCTION, THE CONTRACTOR SHALL POST A COPY OF THE COMPLETED FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NPDES NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AT THE SITE.
3. THE CONTRACTOR SHALL OBTAIN COPIES OF THE APPROPRIATE WATER MANAGEMENT DISTRICT PERMITS PRIOR TO COMMENCING WORK FOR THIS PROJECT AND HAVE POSTED AT CONSTRUCTION SITE.
4. SILT SCREENS AND TURBIDITY BARRIERS MUST REMAIN IN PLACE AND BE MAINTAINED IN GOOD CONDITION AT ALL LOCATIONS SHOWN UNTIL CONSTRUCTION IS COMPLETE. SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
5. THE EROSION CONTROL MEASURES SHOWN HEREON ARE INTENDED AS MINIMUM STANDARDS. ANY EROSION CONTROL REQUIRED BEYOND THAT SPECIFIED TO MAINTAIN SITE EROSION SHALL BE CONSIDERED AS INCLUDED WITHIN THIS CONTRACT.

EROSION & SEDIMENT CONTROL NOTES (CONT)

- 6. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE LOCAL WATER MANAGEMENT DISTRICT, AND FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION STANDARDS, FDOT INDEX #102 AND BEST MANAGEMENT PRACTICES. HAY BALES ARE NOT ACCEPTABLE. COCONUT FIBER MATERIALS ARE ACCEPTED.
7. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION.
8. ALL PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, AND ANY DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL GRADING. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED.
9. PRIOR TO INITIATING CONSTRUCTION OF PLANNED IMPROVEMENTS, ALL WRA'S WILL BE EXCAVATED AND ROUGH-GRADED TO PROVIDE SEDIMENT AND RUNOFF CONTROL DURING CONSTRUCTION.
10. ALL DISTURBED AREAS WILL BE BROUGHT TO FINAL GRADE AND SEEDED AND MULCHED AS SOON AS POSSIBLE.
11. AREAS WHICH MAY ERODE DUE TO SLOPES OR CONCENTRATED RUNOFF DURING CONSTRUCTION WILL BE TREATED. TEMPORARY SLOPE DRAIN PROTECTION WILL BE PROVIDED PER FDOT ROAD DESIGN STANDARD INDEX NO. 100.
12. OFF-SITE DISCHARGE OF UNTREATED STORMWATER WILL BE PREVENTED USING TEMPORARY BERMS AND DIKES WHERE NEEDED.
13. INSPECTIONS SHALL BE MADE IN ACCORDANCE WITH THE NPDES PERMIT BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION/SEDIMENT CONTROL EFFORTS. ANY NECESSARY REMEDIES AND MAINTENANCE SHALL BE PERFORMED WITH-OUT DELAY.
14. ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC ROADS AND FACILITIES, DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
15. EROSION AND SEDIMENT MATERIALS FROM THIS PROJECT SHALL BE CONTAINED ON-SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS.

STORMWATER AND GRADING NOTES

- 1. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED OR LINED WITH APPROVED REINFORCED EARTH-MATTING APPROVED RIP RAP PER FDOT INDEX #100 MUST BE PLACED AS NECESSARY TO CONTROL EROSION.
2. BENCHMARK LOCATIONS AND ELEVATIONS ARE AS REPRESENTED BY THE SURVEYOR AT THE TIME OF THE SURVEY. CONTRACTOR SHALL VERIFY ITS CORRECTNESS AT TIME OF CONSTRUCTION.
3. SPOT ELEVATIONS SHOWN FOR INLETS AND MANHOLES ARE AT TOP OF RIM.
4. ALL GRADING AND SITE PREPARATION SHALL CONFORM TO THE LOCAL JURISDICTION'S CODES.
5. ALL OPEN AREAS WITHIN LIMITS OF CONSTRUCTION AND CONSTRUCTION EASEMENTS SHALL BE SODDED WITH BAA-A SOD BY CONTRACTOR UNLESS OTHERWISE NOTED ON PLANS.
6. ALL CONCRETE PIPE JOINTS SHALL BE WRAPPED WITH 4' OF FILTER FABRIC CENTERED ON EACH JOINT.
7. CONTRACTOR SHALL DEWATER WHERE REQUIRED TO MEET TECHNICAL REQUIREMENTS.
8. ALL CONCRETE STORM SEWER PIPE TO BE REINFORCED CONCRETE PIPE CLASS III, EXCEPT WHERE OTHERWISE NOTED ON THE PLANS OR REQUIRED BY JURISDICTION. HDPE STORM PIPE SHALL BE APPROVED BY JURISDICTION AND ENGINEER AND SHALL MEET ASTM-477. PVC STORM PIPE SHALL BE ADS OR APPROVED EQUAL.
9. GEOTECHNICAL SERVICES HAVE BEEN PROVIDED AS REFERENCED BELOW. GEOTECHNICAL RECOMMENDATIONS ARE NOT THE RESPONSIBILITY OF WICKS CONSULTING SERVICES, INC. AND HAS RELIED ON THE BELOW REFERENCED GEOTECHNICAL REPORTS IN PREPARATION OF THE DRAWINGS. ANY CONFLICT BETWEEN INFORMATION WITHIN THE REPORT AND THESE DRAWINGS SHALL BE REPORTED TO ENGINEER/OWNER. WICKS CONSULTING SERVICES, INC. ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, COMPLETENESS OR ACCURACY OF GEOTECHNICAL INFORMATION.
10. GEOTECHNICAL REPORT PREPARED BY: ANDREYEV ENGINEERING, INC. REPORT #: GP07-17-132; REPORT DATE: NOVEMBER 29, 2017
11. ALL OFF-SITE DISTURBED AREAS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION, OR BETTER.
12. ALL STORM STRUCTURES SHALL CONFORM WITH FDOT STANDARD INDEX. DRAWINGS AND SPECIFICATIONS EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRAVERSABLE, TRAFFIC BEARING GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES. GRATES SHALL BE STEEL UNLESS OTHERWISE SPECIFIED OR APPROVED.
13. EXISTING TOPOGRAPHY BASED ON DRAWING PREPARED BY: SURVEYOR: ALTAMAX SURVEYING DRAWING DATE: FEBRUARY 03, 2017 PROJECT NUMBER: 901692
14. ALL STORMWATER STRUCTURES SHALL HAVE CEVENT BENCHING FROM THE BOTTOM OF THE STRUCTURE TO THE LOWEST PIPE INVERT AND SHALL BE SLOPED TO PROVIDE POSITIVE DRAINAGE UNLESS OTHERWISE NOTED.
15. ALL DISTURBED AREAS ON-SITE SHALL BE SODDED WITH SOD OF LIKE TYPE AND QUALITY TO MATCH EXISTING. ALL DISTURBED AREAS OFF-SITE SHALL BE SODDED WITH ARGENTINA BAA-A. ALL SOD SHALL BE NON-MUCK FARM GROWN.

ROUTINE MAINTENANCE --- STORMWATER

- 1. AFTER COMPLETION OF CONSTRUCTION, WRA'S WILL BE MOWED AND MAINTAINED AS PART OF THE NORMAL LAWN AND OPEN SPACE MAINTENANCE.
2. TRASH AND DEBRIS THAT ACCUMULATES WITHIN THE WRA'S, SWALES, PIPES, AND INLETS WILL BE MANUALLY COLLECTED AND DISPOSED OF WITH OTHER NORMAL SOLID WASTE.
3. ANY EROSION, LOSS OF GRASS, ETC., WILL BE REPAIRED OR REPLACED ROUTINELY AND AS NEEDED.
4. PIPES, INLETS, FLUMES, AND OTHER CONTROL DEVICES WILL BE INSPECTED ANNUALLY AND REPAIRS MADE AS NEEDED.
5. BEST MANAGEMENT PRACTICES SHALL BE USED TO ASSURE EROSION AND SEDIMENT IS CONTROLLED. ADDITIONAL MEASURES MAY BE REQUIRED DURING CONSTRUCTION.

TREE PROTECTION REQUIREMENTS

- 1. PROTECT DESIGNATED EXISTING TREES AGAINST:
--UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS
--SKINNING AND BRUISING OF BARK
--SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN DRIP-LINE
--EXCESS FOOT OR VEHICULAR TRAFFIC
--PARKING VEHICLES WITHIN DRIP-LINE
2. ERECT TEMPORARY TREE PROTECTION FENCING AS SHOWN ON THE DETAIL SHEETS. BEFORE COMMENCEMENT OF ANY SITE CLEARING OR GRADING, ALL FENCING SHOULD BE A MINIMUM OF 10' CLEAR DISTANCE FROM THE FACE OF ANY TREES AND SHALL FULLY ENCLOSE ALL TREES SCHEDULED TO REMAIN. NOTHING SHALL BE PLACED INSIDE OF PROTECTIVE BARRICADES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIAL, MACHINERY, CHEMICALS, OR TEMPORARY SOIL DEPOSITS. ON TREES LARGER THAN 20" DBH, BARRICADES SHALL BE NO CLOSER THAN 15' FROM FACE OF TREE. WHEN PAVING, EXCAVATION OR HARDSHAPE MUST BE DONE WITHIN BARRICADES, BARRICADES SHALL BE MOVED BACK TO A SECONDARY LOCATION AT EDGE OF WORK. EXTRA CARE MUST BE TAKEN AT THIS TIME BY THE CONTRACTOR TO ENSURE THAT NO DAMAGE TO THE TREE OCCURS.
3. PROVIDE WATER TO TREES AS REQUIRED TO MAINTAIN THEIR HEALTH DURING CONSTRUCTION WORK.
4. WHEN NECESSARY TO CUT ROOTS OVER 1-1/2" DIAMETER OF TREES TO REMAIN, CUT MUST BE A CLEAN CUT, COAT CUT FACES OF ROOTS WITH AN EMULSIFIED ASPHALT OR OTHER ACCEPTABLE COATING FORMULATED FOR USE ON DAMAGED PLANT TISSUE. TEMPORARILY COVER EXPOSED ROOTS WITH WET BURLAP TO PREVENT DRYING AND COVER WITH EARTH AS SOON AS POSSIBLE.
5. NO GRADE CHANGES ARE TO BE MADE WITHIN THE BARRICADES WITHOUT PRIOR APPROVAL OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE.
6. INTERFERING BRANCHES MAY BE REMOVED AT THE DISCRETION OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE BY A QUALIFIED TREE SURGEON.
7. REPAIR OR REPLACE TREES INDICATED TO REMAIN, WHICH ARE DAMAGED IN THE CONSTRUCTION OPERATIONS, IN A MANNER ACCEPTABLE TO THE OWNER. EMPLOY A QUALIFIED TREE SURVEYOR TO REPAIR MAJOR DAMAGES TO TREES AND SHRUBS. PROMPTLY TO PREVENT PROGRESSIVE DETERIORATION'S CAUSED BY THE DAMAGE.
8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF TREES DAMAGED BEYOND REPAIR WITH 3 TREES OF SIMILAR QUALITY AND SPECIES, SIZED TO MATCH THE LARGEST TREES OF THAT SPECIES BEING PLANTED AS PER THE LANDSCAPE PLANS. IF TREES ARE HARMED THROUGH LACK OF PROTECTION OR THROUGH NEGLIGENCE ON THE PART OF THE CONTRACTOR, THE CONTRACTOR SHALL BEAR THE BURDEN OF THE COST OF REPAIR OR REPLACEMENT.

RECORD DRAWINGS

- 1. THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH RECORD SURVEYS OF THE INSTALLED WATER, SEWAGE, WASTEWATER AND STORMWATER SYSTEMS. REQUIREMENTS ARE AS FOLLOWS:
a. PERFORMED BY A FLORIDA REGISTERED LAND SURVEYOR.
b. SIX SIGNED AND SEALED RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD.
c. ELECTRONIC FORMATS OF THE RECORD DRAWINGS SHALL BE IN AUTOCAD 2000 OR HIGHER. A COPY OF THE ELECTRONIC FILES SHALL BE PROVIDED TO THE ENGINEER OF RECORD. IT IS PREFERRED TO USE THE APPROVED PLANS WITH STRIKE THROUGH CORRECTIONS.
2. REQUIRED RECORD DRAWING DATA:
a. WATER, FORCEMAIN & RECEIVED WATER LINE LOCATIONS, SIZE AND MATERIALS.
b. LOCATION OF WATER, FORCEMAIN, RECEIVED WATER & SEWER VALVES AND APPURTENANCES
c. MANHOLE TOP AND INVERT ELEVATIONS
d. DEPTH POTABLE WATER LINE CROSSING AND PROVIDE ACTUAL SEPARATION DISTANCES
e. SAMPLE POINT LOCATIONS IN ACCORDANCE WITH THE FDEP PERMIT.
f. PHOTO'S OF STORM AND SEWER LOCATIONS, INVERTS, PIPE SIZE AND MATERIALS.
g. GRADY OF ALL UTILITIES CROSSING AND WATER MAINS SHALL BE TAKEN AT THE TIME OF CONSTRUCTION PRIOR TO BACKFILLING.
h. ALL STORMWATER MANAGEMENT AREAS SHALL BE DETAILED WITH CROSS SECTIONS AND/OR CONTOURS PROVING FINISH GRADE ELEVATIONS.
i. ALL OUTFALL STRUCTURES SHALL BE VERIFIED WITH SPECIFIC DESIGN ELEVATIONS AS SHOWN ON THE PLANS (i.e. TIPS, WEIRS, ORIFICE AND SKIMMERS SHOULD ALL BE VERIFIED.
j. FINISHED GRADES AT HIGH POINTS AND GRADE BREAKS IN PAVEMENT CENTERLINE AND EDGE OF PAVEMENT AT 100' INTERVALS, LOT GRADES, BUILDING PADS OR FINISH FLOOR ELEVATIONS.

STANDARD ABBREVIATIONS

ARV	AIR RELEASE VALVE	HP	HIGH POINT
BFP	BACKFLOW PREVENTER	HR	HANDICAPPED RAMP
BOC	BACK OF CURB	INV	INVERT
BTM	BOTTOM	LF	LINEAR FEET
BV	BALL VALVE	LP	LOW POINT
CL	CENTER LINE	LS	LIFT STATION
CVP	CORRUGATED METAL PIPE	MES	MITERED END SECTION
CO	CLEANOUT	MH	MANHOLE
CONC	CONCRETE	NWL	NORMAL WATER LEVEL
CDVA	DOUBLE CHECK DETECTOR VALVE ASSEMBLY	PV	POST AND CATOR VALVE
DP	DUCTILE IRON PIPE	PLV	PLUG VALVE
DHWL	DESIGN HIGH WATER LEVEL	PVC	POLYVINYL CHLORIDE PIPE
EOP	ELEVATION	RCP	REINFORCED CONCRETE PIPE
EL	EDGE OF PAVEMENT	R/W	RECLAIMED/REUSE WATER MAIN
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE	R/W	RIGHT OF WAY
FC	FIRE DEPARTMENT CONNECTION	SAN	SANITARY
FFE	FINISHED FLOOR ELEVATION	SH-WT	SEASONAL HIGH WATER TABLE
FD	FIRE HYDRANT	SP	SAMPLE POINT
FM	FORCE MAIN	TOS	TOP OF BANK
GV	GATE VALVE	TS	TOP OF SLOPE
HDPE	HIGH DENSITY POLYETHYLENE	TYF	TYPICAL
JCCA	DOUBLE DETECTOR CHECK ASSEMBLY	WM	WATER MAIN
		RPZ	REDUCED PRESSURE ZONE BACKFLOW DEVICE

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FDEP SEPARATION REQUIREMENTS

under 62-555.314 Effective 8-28-2003

HAZARD	HORIZONTAL SEPARATION	VERTICAL SEPARATION	
		WATER ABOVE	WATER BELOW
STORM SEWER	3FT MIN	12" PREF, 6" MIN	12" MIN
STORM SEWER MAIN	3FT MIN	12" MIN	12" MIN
RECLAIMED WATER (REQ'D UNDER 62-610)	3FT MIN	12" MIN	12" MIN
RECLAIMED WATER (NOT UNDER 62-610)	10FT PREF, 6FT MIN	12" MIN	12" MIN
VACUUM SANITARY SEWER	10FT PREF, 3FT MIN	12" PREF, 6" MIN	12" MIN
GRAVITY SANITARY SEWER	10FT PREF, 6FT MIN*	12" PREF, 6" MIN	12" MIN
SANITARY SEWER FORCE MAIN	10FT PREF, 6FT MIN	12" MIN	12" MIN

ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM 10FT MIN (NO ALTERNATIVES)

- * 3FT MINIMUM IF BOTTOM OF WATER MAIN IS 6" ABOVE THE GRAVITY SEWER MAIN
- THESE TABLES ARE NOT COMPREHENSIVE AND ARE NOT A SUBSTITUTE FOR THE TEXT IN 62-555.314. (SEE TEXT BELOW)
- THIS TABLE WAS CREATED BY A PRIVATE INDIVIDUAL AND IS NOT AN OFFICIAL FDEP TABLE.
- ALL DISTANCES ARE MEASURED OUTSIDE TO OUTSIDE.
- IT IS PREFERABLE TO LAY THE WATER PIPE ABOVE THE HAZARD PIPE.
- WATER MAINS CANNOT COME INTO CONTACT WITH ANY HAZARD STRUCTURES WITHOUT PRIOR APPROVAL BY FDEP.
- EXCEPTIONS ARE ONLY ALLOWED ON A CASE-BY-CASE BASIS WITH JUSTIFICATION TO FDEP BEFORE INSTALLATION.

"AT CROSSINGS, CENTER WATER PIPE ON CROSSING OR MAINTAIN THE FOLLOWING JOINT SPACING:"

HAZARD	ALTERNATIVE JOINT SPACING
STORM SEWER	3FT MIN
STORM SEWER MAIN	3FT MIN
RECLAIMED WATER (REQ'D UNDER 62-610)	3FT MIN
RECLAIMED WATER (NOT UNDER 62-610)	6FT MIN
VACUUM SANITARY SEWER	3FT MIN
GRAVITY SANITARY SEWER	6FT MIN
SANITARY SEWER FORCE MAIN	6FT MIN
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	N/A

62-555.314 LOCATION OF PUBLIC WATER SYSTEM MAINS TEXT.

FOR THE PURPOSE OF THIS SECTION, THE PHRASE WATER MAINS SHALL MEAN MAINS, INCLUDING TREATMENT PLANT PROCESS PIPING, CONVEYING EITHER RAW, PARTIALLY TREATED, OR FINISHED DRINKING WATER; FIRE HYDRANT LEADS; AND SERVICE LINES THAT ARE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER.

(1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.

- (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
- (B) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
- (C) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
- (D) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.

(2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.

- (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY-OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- (B) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
- (C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY-OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

(3) SEPARATION BETWEEN WATER MAINS AND SANITARY OR STORM SEWER MANHOLES.

- (A) NO WATER MAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SANITARY SEWER MANHOLE.
- (B) EFFECTIVE AUGUST 28, 2003, WATER MAINS SHALL NOT BE CONSTRUCTED OR ALTERED TO PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A STORM SEWER MANHOLE OR INLET STRUCTURE, WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THIS REQUIREMENT (I.E., WHERE THERE IS A CONFLICT IN THE ROUTING OF A WATER MAIN AND A STORM SEWER AND WHERE ALTERNATIVE ROUTING OF THE WATER MAIN OR THE STORM SEWER IS NOT TECHNICALLY FEASIBLE OR IS NOT ECONOMICALLY SENSIBLE). THE DEPARTMENT SHALL ALLOW EXCEPTIONS TO THIS REQUIREMENT (I.E., THE DEPARTMENT SHALL ALLOW CONSTRUCTION OF CONFLICT MANHOLES), BUT SUPPLIERS OF WATER OR PERSONS PROPOSING TO CONSTRUCT CONFLICT MANHOLES MUST FIRST OBTAIN A SPECIFIC PERMIT FROM THE DEPARTMENT IN ACCORDANCE WITH PART V OF THIS CHAPTER AND MUST PROVIDE IN THE PRELIMINARY DESIGN REPORT OR DRAWINGS, SPECIFICATIONS, AND DESIGN DATA ACCOMPANYING THEIR PERMIT APPLICATION THE FOLLOWING INFORMATION:

1. TECHNICAL OR ECONOMIC JUSTIFICATION FOR EACH CONFLICT MANHOLE.
 2. A STATEMENT IDENTIFYING THE PARTY RESPONSIBLE FOR MAINTAINING EACH CONFLICT MANHOLE.
 3. ASSURANCE OF COMPLIANCE WITH THE DESIGN AND CONSTRUCTION REQUIREMENTS IN SUB-SUBPARAGRAPHS A. THROUGH D. BELOW.
- A. EACH WATER MAIN PASSING THROUGH A CONFLICT MANHOLE SHALL HAVE A FLEXIBLE, WATERTIGHT JOINT ON EACH SIDE OF THE MANHOLE TO ACCOMMODATE DIFFERENTIAL SETTLING BETWEEN THE MAIN AND THE MANHOLE.
- B. WITHIN EACH CONFLICT MANHOLE, THE WATER MAIN PASSING THROUGH THE MANHOLE SHALL BE INSTALLED IN A WATERTIGHT CASING PIPE HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE).
- C. EACH CONFLICT MANHOLE SHALL HAVE AN ACCESS OPENING, AND SHALL BE SIZED, TO ALLOW FOR EASY CLEANING OF THE MANHOLE.
- D. GRATINGS SHALL BE INSTALLED AT ALL STORM SEWER INLETS UPSTREAM OF EACH CONFLICT MANHOLE TO PREVENT LARGE OBJECTS FROM ENTERING THE MANHOLE.

(4) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS. NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AT LEAST THREE FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER; AT LEAST SIX FEET, AND PREFERABLY TEN FEET, FROM ANY EXISTING OR PROPOSED GRAVITY-OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.005, F.A.C. (UPDATED 8-15-04)

UTILITY NOTES

1. SHOULD ANY DISCREPANCIES BE DISCOVERED THAT WOULD PREVENT CONSTRUCTION OF NEW IMPROVEMENTS AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER WITHIN 48 HOURS FOR A DETERMINATION AS TO THE DISPOSITION OF THE DISCREPANCIES. NO CLAIM WILL BE ALLOWED BY THE CONTRACTOR SHOULD HE FAIL TO PROVIDE THE REQUIRED INDICATION PRIOR TO CONSTRUCTION.
2. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE, AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR FIELD VERIFICATION OF THE EXISTING UTILITIES. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY TO ENSURE THE LOCATION AND INTEGRITY OF THE SYSTEM.
3. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
4. ALL PIPING TO HAVE A MINIMUM OF 3' COVER UNLESS OTHERWISE NOTED ON THE PLANS.
5. WHEN PAVEMENT IS REMOVED, THE SURFACING MATERIAL SHALL BE MECHANICAL SAW-CUT PRIOR TO TRENCH EXCAVATION, LEAVING A UNIFORM AND STRAIGHT EDGE, WITH MINIMUM DISTURBANCE TO THE REMAINING ADJACENT SURFACING. IMMEDIATELY FOLLOWING THE SPECIFIED BACKFILLING AND COMPACTION, A TEMPORARY SAND SEAL COAT SURFACE SHALL BE APPLIED TO THE CUT AREAS AND CONTINUE TO PROVIDE A SMOOTH TRAFFIC SURFACE WITH THE EXISTING ROADWAY AND SHALL BE MAINTAINED UNTIL FINAL RESTORATION.
6. DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL TAKE SPECIAL CARE AND PROVIDE ADEQUATE PROTECTION IN ORDER TO MINIMIZE DAMAGE TO VEGETATION, SURFACED AREAS, AND STRUCTURES WITHIN RIGHT-OF-WAY FASEMENT ON SITE, AND TAKE FULL RESPONSIBILITY FOR THE REPLACEMENT OR REPAIR THEREOF.

WATER DISTRIBUTION

1. EXCAVATED TRENCH BOTTOM(S) SHALL BE FREE OF STICKS, ROOTS, STUMPS, STONES, BOULDERS AND ALL DEBRIS, AND SHALL BE GRADED AND SHAPED FOR CONTINUOUS BEARING OF THE BOTTOM OF THE PIPE SYSTEM WITH ALLOWANCE FOR VALVES, FITTINGS, AND COUPLINGS.
2. UNLESS OTHERWISE SHOWN ON THE PLANS, PIPE SHALL BE MANUFACTURED FROM POLYVINYL CHLORIDE RESIN CONFORMING TO ASTM DESIGNATION D 1784. THE PIPE SHALL BEAK THE NATIONAL SANITATION FOUNDATION (NSF) SEAL FOR POTABLE WATER PIPE. PIPE SHALL MEET THE REQUIREMENTS OF AWWA C900, (D.R. 18) STANDARD FOR POLYVINYL CHLORIDE (PVC) PRESSURE PIPE, 4 INCHES THROUGH 12 INCHES FOR WATER AND SHALL BE FURNISHED IN CAST IRON PIPE EQUIVALENT SIZES. DIAMETERS WITH RUBBER GASKETED JOINTS AS LISTED C900 STANDARD. DI PIPE SHALL CONFORM WITH AWWA C-50/C-151. POLYVINYL CHLORIDE PIPE 18" AND 4 INCHES IN DIAMETER SHALL BE IN ACCORDANCE WITH ASTM 1785 (SCHEDULE 40, 80, 120) OR ASTM 2241 (SDR 21, PC 200). DR 14 SHALL BE USED FOR FIRE LINES AND INSTALLED IN ACCORDANCE WITH NFPA 24, 1995.
3. CONNECTIONS FOR PIPE 2" IN DIAMETER AND LARGER SHALL BE RUBBER COMPRESSION RING TYPE. PIPE SHALL BE EXTRUDED WITH INTEGRAL THICKENED WALL BEHIND JOINTS. INSDR RUBBER RING GASKETS SHALL CONSIST OF SYNTHETIC COMPOUNDS MEETING THE REQUIREMENTS OF ASTM DESIGNATION D 869, AND SUITABLE FOR THE DESIGNATED SERVICE. OTHER CONNECTIONS FOR PIPE, SOLENT WELDED SLEEVE TYPE JOINT, FITTINGS FOR 2" AND SMALLER PIPE SHALL BE P.V.C. SOLVENT WELDED JOINTS. FITTINGS FOR USE WITH P.V.C. PIPE WILL BE CAST IRON OR DUCTILE IRON WITH MECHANICAL JOINT RUBBER COMPRESSION RING TYPE JOINTS. W-FH MECHANICAL JOINT JOINT FITTINGS OR DUCTILE IRON PIPE ARE TO INTERFACE WITH PVC PIPE. A TRANSITION GASKET, C.O.W F-6340 OR EQUAL, SHALL BE USED. NO P.V.C. FITTINGS WILL BE ALLOWED EXCEPT ON PIPE AND FITTINGS SMALLER THAN 3 INCHES.
4. PVC PIPE CONNECTED TO HEAVY FITTINGS AND/OR RIGID STRUCTURES SHALL BE SUPPORTED SO THAT NO SUBSEQUENT RELATIVE MOVEMENT BETWEEN THE PVC PIPE AT THE JOINT AND THE RIGID STRUCTURE IS POSSIBLE.
5. RESTRAINED JOINTS SHALL BE USED AT ALL BENDS & TEES.
6. BACKFILLING OF THE TRENCH FROM THE BOTTOM UP TO TWELVE (12) INCHES OVER THE TOP OF THE PIPE SHALL BE COMPACTED IN SIX (6) INCH LAYERS USING DRY FRABLE SOIL (MAXIMUM PARTICLE OR FRAGMENT DIMENSION 1" TO NINETY-FIVE (95) PERCENT MAXIMUM DENSITY. THE REMAINDER OF THE TRENCH SHALL BE BACKFILLED WITH EXCAVATED EARTH MATERIAL (MAXIMUM ROCK OR FRAGMENT DIMENSION 6") IN NINE (9) INCH LAYERS COMPACTED TO NINETY FIVE (95) PERCENT MAXIMUM DENSITY. NINETY-FIVE (95) PERCENT UNDER AREAS TO BE PAVED, DENSITY DETERMINATIONS SHALL BE MADE IN ACCORDANCE WITH AASHTO SPECIFICATION T-180. MINIMUM COVER OVER THE TOP OF THE PIPE SHALL BE THIRTY-SIX (36) INCHES UNLESS OTHERWISE SHOWN. IF POSSIBLE, JOINTS SHOULD BE LEFT UNCOVERED UNTIL AFTER TESTING HAS BEEN SATISFACTORILY COMPLETED.
7. THE PIPE SYSTEM SHALL BE TESTED AND EXAMINED FOR LEAKAGE IN SECTIONS NOT EXCEEDING 1,000 FEET, AT NOT LESS THAN 150 PSI STATIC PRESSURE, IN ACCORDANCE WITH AWWA C 600 (DIP) C 605 (PVC).
8. AFTER COMPLETION OF CONSTRUCTION AND TESTING, THE WATER SYSTEM SHALL BE DISINFECTED WITH CHLORINE SOLUTION BEFORE ACCEPTANCE FOR DOMESTIC OPERATION. THE AMOUNT OF CHLORINE APPLIED SHALL BE SUFFICIENT TO PROVIDE A DOSE SOLUTION OF NOT LESS THAN FIFTY (50) PARTS PER MILLION PRIOR TO INTRODUCING THE CHLORINE SOLUTION. THE LINE SHALL BE THOROUGHLY FLUSHED WITH CLEAN POTABLE WATER. CHLORINE SOLUTION SHALL BE INTRODUCED IN ACCORDANCE WITH AWWA STANDARD C-651-92 AND SHALL REMAIN IN THE SYSTEM FOR A CONTACT PERIOD OF AT LEAST TWENTY-FOUR (24) HOURS, DURING WHICH TIME EVERY VALVE IN THE SYSTEM SHALL BE OPENED AND CLOSED SEVERAL TIMES TO ASSURE CONTACT WITH EVERY SURFACE OF THE SYSTEM. AFTER COMPLETION OF THE DISINFECTION PROCEDURE, THE SYSTEM SHALL BE FLUSHED USING CHLORINATED WATER FROM THE CENTRAL WATER SUPPLY. SAMPLES SHALL BE TAKEN FROM THE NEW SYSTEM FOR TESTING BY A D.A.R.S. CERTIFIED LAB AND SUBMITTED TO THE ENGINEER FOR SUBMITTAL TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR CLEARANCE BEFORE IT IS PLACED INTO ACTIVE SERVICE.
9. GATE VALVES SHALL BE MUELLER CLASS 200 RESILIENT SEATED VALVES, OR APPROVED EQUAL, WITH MECHANICAL JOINT ENDS, MANUFACTURED TO MEET OR EXCEED REQUIREMENTS OF AWWA C569. LATEST REVISION. EACH VALVE SHALL BE FITTED WITH A CAST IRON BOX AND COVER.
10. FIRE HYDRANT(S) SHALL BE MUELLER STANDARD OR APPROVED EQUAL 3-WAY WITH TWO (2) 2-1/2 INCH HOSE CONNECTIONS AND ONE (1) 4-1/2 INCH PUMPER NOZZLE. MAIN BARREL VALVE SIZE SHALL BE 5-1/4 INCHES. AFTER INSTALLATION THE HYDRANT SHALL BE PAINTED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT REQUIREMENTS.

1. ALL WATER SERVICE LINES TWO (2) INCHES AND UNDER SHALL BE POLYETHYLENE, IDR 9 OR SDR 26 WITH A PRESSURE RATING OF 160 PSI. ASTM D-2239.
2. ALL PVC WATER MAINS SHALL BE LAID WITH METALLIC LOCATING TAPE PLACED 18" ABOVE THE CENTER OF THE WATERLINE FOR FUTURE LOCATING PURPOSES. #14 COPPER ARMORED POLYGLASS WIRE SHALL BE TAPED TO THE TOP OF THE PIPE AND TERMINATE WITH 12" EXTENDING ABOVE THE TOP OF THE VALVE BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH THE VALVE OPERATION.

UTILITY NOTES (CONT)

13. SURVEY AS-BUILT DRAWING IS REQUIRED.
14. DEDICATED FIRE MAINS SHALL BE INSTALLED BY A STATE CERTIFIED FIRE PROTECTION CONTRACTOR PER F.S. 633.021(5).
15. AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTION DEVICE IS REQUIRED FOR THE DOMESTIC WATERLINE (A.S.S.E. 10'3). IT WILL BE INSTALLED AT THE POINT OF DELIVERY FROM THE LOCAL CITY OR COUNTY WATER SYSTEM. THE INSTALLER IS RESPONSIBLE FOR TESTING THE DEVICE UPON INSTALLATION BY A CERTIFIED BACKFLOW TESTER WITH THE RESULTS BEING FORWARDED TO THE LOCAL CITY OR COUNTY UTILITY DEPARTMENT.
16. THE IRRIGATION AND FIRE SYSTEMS ARE REQUIRED TO HAVE AN APPROVED DOUBLE CHECK VALVE ASSEMBLY (A.S.S.E. 10'6). IT WILL BE INSTALLED AT THE POINT OF DELIVERY FROM THE LOCAL UTILITIES WATER SYSTEM, IN THE HORIZONTAL POSITION. THE INSTALLER IS RESPONSIBLE FOR TESTING THE DEVICE UPON INSTALLATION BY A CERTIFIED BACKFLOW TESTER WITH THE RESULTS BEING FORWARDED TO THE LOCAL UTILITY DEPARTMENT.
17. ALL WATER MAIN MATERIALS AND APPURTENANCES SHALL CONFORM TO AND SHALL BE INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE STANDARDS OF THE LOCAL JURISDICTION AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AGENCY.
18. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A COPY OF THE FDEP WATER AND SEWER PERMITS ON SITE AT ALL TIMES AND PERFORM BACTERIOLOGICAL TESTING (B.T.) AFTER DISINFECTION IN ACCORDANCE WITH THE FDEP WATER PERMITS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/CONTRACTOR TO SUBMIT A SET OF AS-BUILT WATER AND SEWER DRAWINGS TO THE ENGINEER. THE AS-BUILT WATER DRAWING WILL NEED TO BE PREPARED PER CITY OR COUNTY REQUIREMENTS. THE AS-BUILT SURVEY DRAWINGS WILL NEED TO BE PREPARED, SIGNED AND SEALED BY A FLORIDA REGISTERED SURVEYOR.
19. THE CONTRACTOR SHALL PROTECT THE EXISTING ACTIVE WATER MAIN FROM BACKFLOW CONTAMINATION DURING FILLING, FLUSHING, TESTING AND MAINTAIN A MINIMUM PRESSURE OF 20 PSI IN THE NEW MAINS DURING CONSTRUCTION. ALL PROTECTION MEASURES SHALL CONFORM TO THE LOCAL UTILITY COMPANIES, FDEP, AND AWWA STANDARD SPECIFICATIONS.
20. UPON COMPLETION OF THE WATER DISTRIBUTION SYSTEM INSTALLATION, CONTRACTOR SHALL FURNISH TO THE LOCAL FIRE DISTRICT AND ENGINEER CERTIFIED FIRE FLOW DATA FOR ALL FIRE HYDRANTS WITHIN THE PROJECT.
21. ALL WATER PIPE NEW OR RELOCATED SHALL BE COLOR CODED OR DETAIL MARKED USING BLUE AS PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM RECLAIMED OR OTHER WATER. RECLAIMED WATER PIPING SHALL BE PURPLE COLORED PIPE.
22. ALL WATER MAIN MATERIAL AND APPURTENANCES, PIPES, JOINTING AND PACKING MATERIAL, MATERIAL LOCATING AND LIVING, FITTINGS, AND APPURTENANCES SHALL BE IN ACCORDANCE WITH THE CORRESPONDING AWWA STANDARDS AND BE CONFORMING TO NSF REQUIREMENTS IN COMPLIANCE WITH PARAGRAPH 62-555 FLORIDA ADMINISTRATIVE CODE.
23. ALL WATER MAIN MATERIALS AND APPURTENANCES SHALL COMPLY WITH THE LEAD USE PROHIBITION RULE IN 62-555.322 FLORIDA ADMINISTRATIVE CODE.

GENERAL SPECIFICATION NOTES:

1. THE CITY/TOWN SPECIFICATIONS WILL TAKE PRECEDENCE IF THEY ARE MORE STRINGENT THAN THESE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

FORCEMAIN NOTES

1. FORCEMAIN PIPE SHALL BE INSTALLED AND MAINTAINED AT A 3' MINIMUM DEPTH THROUGHOUT PROJECT EXCEPT WHERE SHOWN ON PLANS AND APPROVED SPECIFICATIONS. MAINTAIN 18" BELOW WATER MAIN.
 2. FORCEMAIN PIPE TO BE PVC C900, DR18 CLASS 100 AWWA.
 3. EXCAVATED TRENCH BOTTOM(S) SHALL BE FREE OF STICKS, ROOTS, STUMPS, STONES, BOULDERS AND ALL DEBRIS AND SHALL BE GRADED AND SHAPED FOR CONTINUOUS BEARING OF THE BOTTOM OF THE PIPE SYSTEM WITH ALLOWANCE FOR VALVES, FITTINGS AND COUPLINGS.
 4. PVC SEWER MAINS SHALL BE LAID WITH METALLIC TAPE PLACED 18" ABOVE THE CENTER OF THE FORCEMAIN WITH CONTINUOUS MARKING "CAUTION SEWAGE PRESSURE LINE" FOR FUTURE LOCATING PURPOSES. #14 COPPER ARMORED POLYGLASS WIRE SHALL BE TAPED TO THE TOP OF THE PIPE AND TERMINATE WITH 12" EXTENDING ABOVE THE TOP OF THE LIFE STATION VALVE BOX.
 5. THE PIPE SYSTEM SHALL BE TESTED AND EXAMINED FOR LEAKAGE IN SECTIONS NOT EXCEEDING 1,000 FEET, AT NOT LESS THAN 150 PSI STATIC PRESSURE, IN ACCORDANCE WITH AWWA C 600 (DIP) C 605 (PVC).
- ALLOWABLE LEAKAGE = L = (ND/P)/7400 DURATION 2 HOURS
 L = ALLOWABLE LEAKAGE GPM/HR
 N = # OF JOINTS IN LENGTH TESTED
 P = AVERAGE TEST PRESSURE (PSI)
 D = NOMINAL DIAMETER OF PIPE (IN)

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 C.A. #30062

FRUITLAND PARK HOLDINGS, LLC
 TALENDER S. GREENWALL
 1330 Saxon Boulevard
 Orange City, Florida 32763

IC INTERNATIONAL CARWASH
 GENERAL UTILITY NOTES
 US HWY 27/441 FRUITLAND PARK FL. 34731

REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 No. 32274
 DATE: 4/20/18

DATE: _____
 REVISION: _____
 Drawn: MSR
 Checked: TRW
 Date: 10-25-17
 Scale: AS SHOWN
 File No.: 17136
 Sheet: 3 of 13

NOT PLATTED
 PARCEL # 10-19-24-00030004100
 ORR 3752, PG 2428

CITY ZONING
 (TYPICAL)
 C-2

[FLU: COMMERCIAL
 (HIGH INTENSITY)]

SITE BENCHMARK #2
 MAG NAIL
 ELEV. 88.74

S89°57'30"E 274.44' (M)

10' LANDSCAPE BUFFER

- EDGE OF PAVEMENT
 GEOMETRY
- 54.06'
 - S 0°02'30" W
 - 54.06'
 - S 0°02'30" W
 - 72.14'
 - S 0°02'30" W
 - R=25.00'
 - L=11.81'
 - 19.08'
 - S 27°01'24" E
 - R=43.67'
 - L=29.46'
 - 2.03'
 - S 65°40'39" E
 - R=31.00'
 - L=13.14'
 - 32.65'
 - S 89°57'30" E
 - R=25.00'
 - L=16.97'
 - 8.99'
 - S 51°04'35" E
 - R=74.00'
 - L=28.33'
 - 32.41'
 - S 0°02'30" W
 - 39.75'
 - S 0°02'30" W
 - 10.89'
 - N 89°57'30" W
 - R=15.00'
 - L=16.30'

(2) 8x8'
 DUMPSTERS
 FOOT TYPE "D"
 CURB (TYP)

10'x15.67'
 CONCRETE PAD
 FOR TURBINES

PROPOSED CAR WASH
 SEE ARCHITECTURAL
 PLANS FOR
 DETAILS

EMPLOYEE
 PARKING
 10'x18' STALLS

DRY RETENTION POND
 TOP 84.5
 BOTTOM 78.0

10'x15.67'
 CONCRETE PAD
 FOR TURBINES

EQUIPMENT AREA
 SEE ARCHITECTURAL PLANS
 FOR DETAILS

10' LANDSCAPE BUFFER

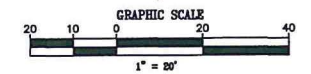
S89°57'30"E 100.00' (M)

NOT PLATTED
 PARCEL # 10-19-24-00030004300
 ORR 1710, PG 1362

(VACANT - NO BUILDING)
 NOT PLATTED

NOT PLATTED
 PARCEL # 10-19-24-00030004100
 ORR 4782, PG 1601

MATRESS FIRM
 BUILDING



CITY ZONING
 (TYPICAL)
 C-2
 [FLU: COMMERCIAL
 (HIGH INTENSITY)]

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 1330 SAKON BOULEVARD
 ORANGE CITY, FLORIDA 32763

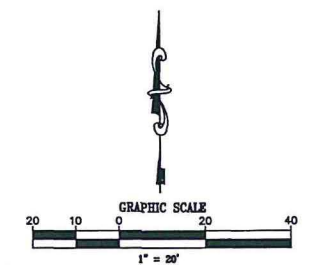
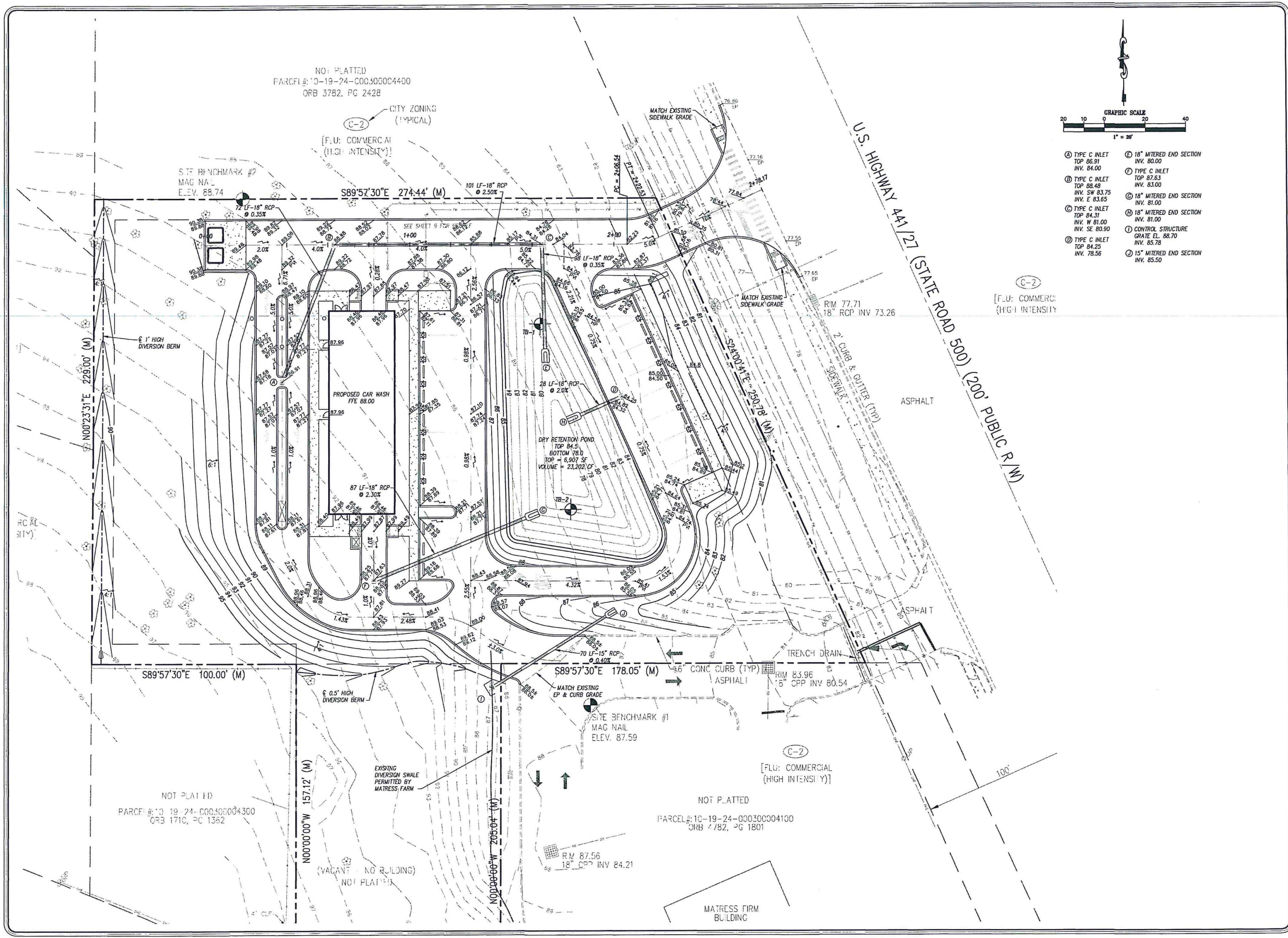
IC INTERNATIONAL CARWASH
 GEOMETRY PLAN
 US HWY 27/441 FRUITLAND PARK FL. 34731

KENNETH RANDALL WICKS
 LICENSED PROFESSIONAL ENGINEER
 No. 33274
 STATE OF FLORIDA
 Wicks
 KENNETH & WICKS, P.C.
 DATE: 4/20/18 FL REG. NO. 33274

Drawn: MSR	DATE:
Checked: TRW	REVISION:
Date: 10-25-17	
Scale: AS SHOWN	
File No.: 17136	
Sheet: 7 of 13	

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4/17/2018 10:41 AM C:\Users\j\Documents\17118 Car Wash\Drawings\4/17/2018 2:42:02 PM



- ① TYPE C INLET
TOP 86.91
INV. 84.00
- ② TYPE C INLET
TOP 88.48
INV. SW 83.75
INV. E 83.65
- ③ TYPE C INLET
TOP 84.31
INV. W 81.00
INV. SE 80.90
- ④ TYPE C INLET
TOP 84.25
INV. 78.56
- ⑤ 18" MITERED END SECTION
INV. 80.00
- ⑥ TYPE C INLET
TOP 87.63
INV. 83.00
- ⑦ 18" MITERED END SECTION
INV. 81.00
- ⑧ 18" MITERED END SECTION
INV. 81.00
- ⑨ CONTROL STRUCTURE
GRATE EL. 88.70
INV. 85.78
- ⑩ 15" MITERED END SECTION
INV. 85.50

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IC INTERNATIONAL CARWASH
 GRADING & DRAINAGE PLAN
 US HWY 27/441 FRUITLAND PARK FL. 34731

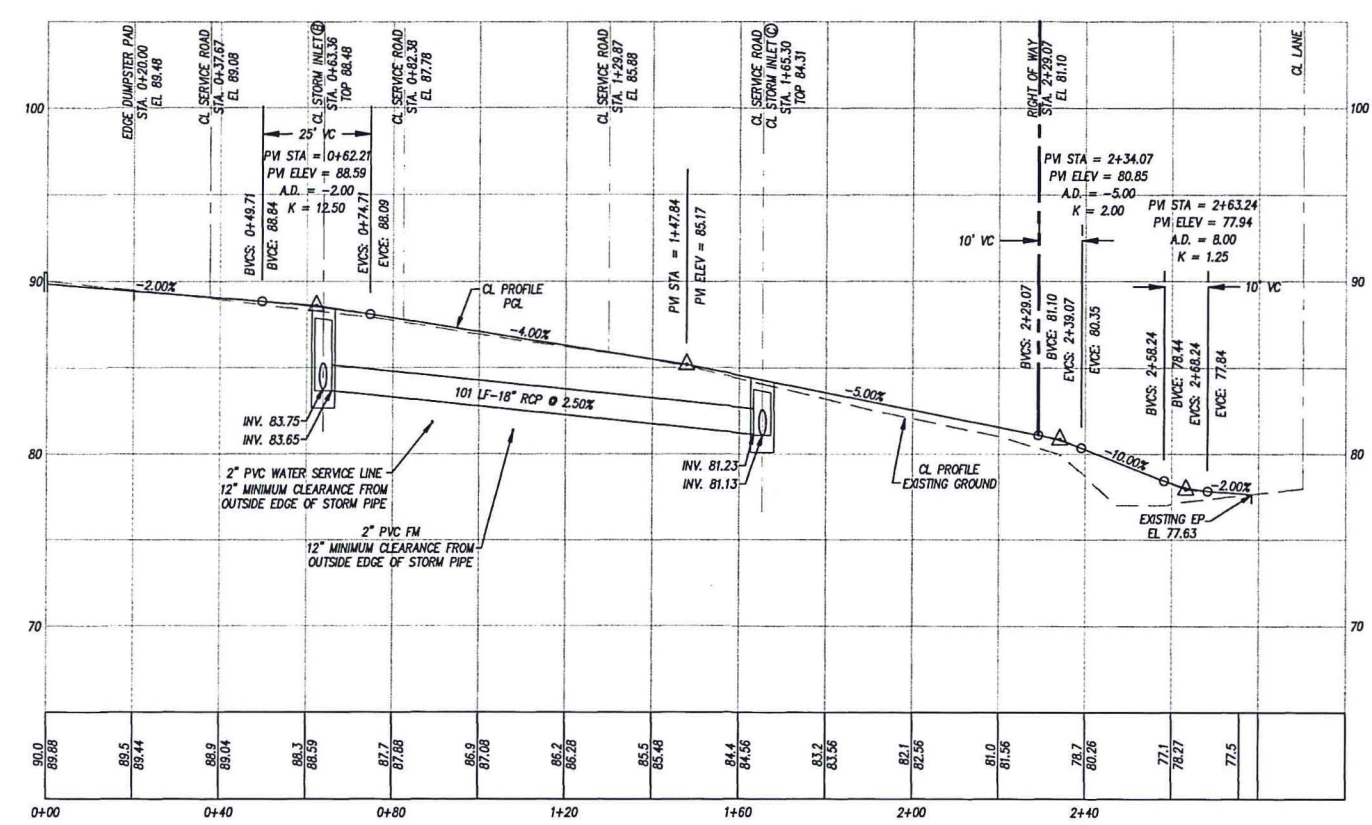
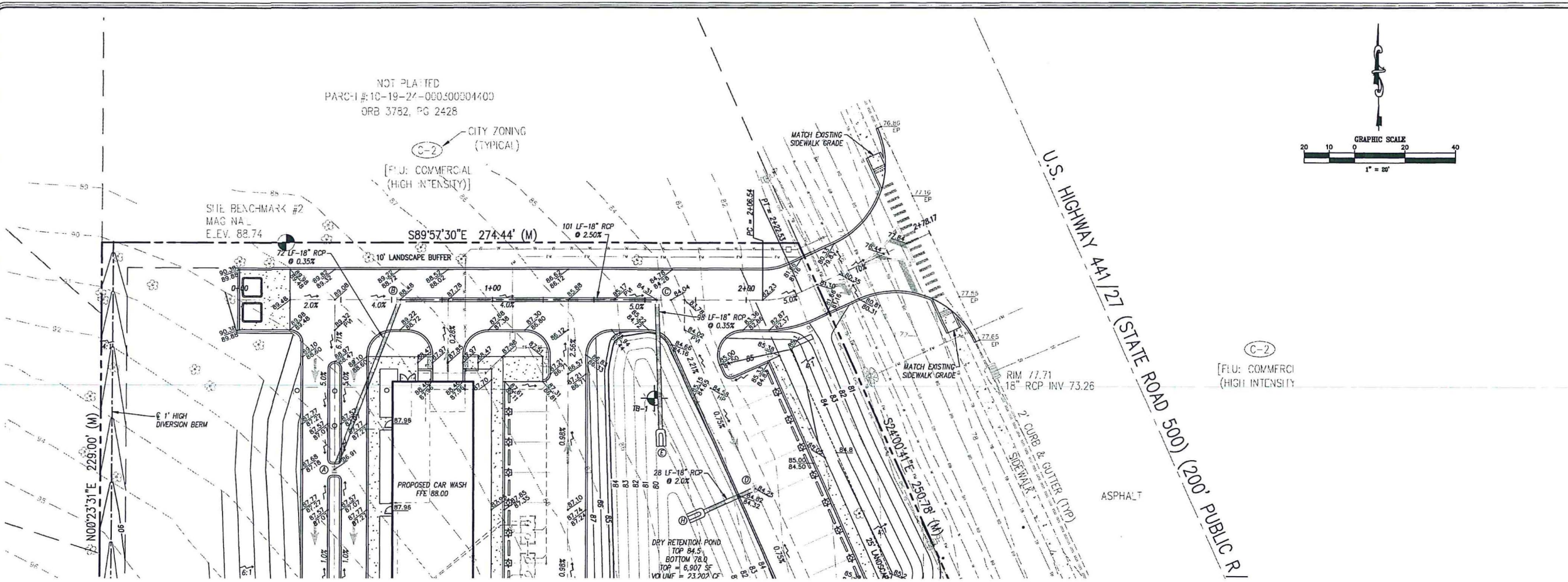
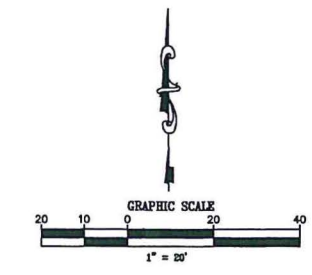
Professional Engineer Seal for Kenneth E. Wicks, P.E., No. 32274, State of Florida, License No. 33274, dated 9/22/18.

Drawn: MSR	REVISION:	DATE:
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Date: 10-25-17		
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File No: 17136		
Sheet: 8 of 13		

NOT PLATTED
 PARC-1 # 10-19-24-060.500304400
 ORB 3782, PG 2428

CITY ZONING
 (TYPICAL)
 [FLU: COMMERCIAL
 (HIGH INTENSITY)]

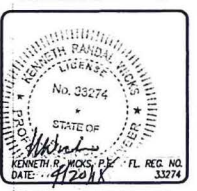
ST. BENCHMARK #2
 MAG NA
 E. EV. 88.74



Wicks Engineering Services, Inc.
 225 West Main Street, Tallahassee, Florida 32378
 www.wicksengineering.com (352) 343-8667
 C.A. #50062

FRUITLAND PARK HOLDINGS, LLC
 TRAVELER S. GREENWALD
 130 S. 3000 E. BOULEVARD
 ORANGE CITY, FLORIDA 32763

IC INTERNATIONAL CARWASH
 GRADING & DRAINAGE PLAN
 US HWY 27/441 FRUITLAND PARK FL. 34731



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Sheet: 9 of 13		

A:\17136 - IC Int Car Wash - P:\Projects\17136 Car Wash - Tallahassee - 4/19/2018 1:40:07 PM

LOT 13

NOT PLATTED
PARCEL #: 10-19-24-00030004400
ORB 3782, PG 2428

CITY ZONING
(TYPICAL)
C-2

[FLU: COMMERCIAL
(HIGH INTENSITY)]

SITE BENCHMARK #2
MAG NAIL
ELEV. 88.74

S89°57'30"E 274.44' (M)

175 LF-2" PVC
WATERMAIN

EXISTING
FORCEMAIN

2" METER

2" NET TAP
& 2" GY

TEMPORARY JUMPER
CONNECTION

U.S. HIGHWAY 441/27 (STATE ROAD 500) (200' PUBLIC R/W)

ASPHALT

C-2
[FLU: COMMERCIAL
(HIGH INTENSITY)]

OAKTREE TERRACE
PB 26, PG 65

LOT 14

R-3A
[F.U. MFD]

N00°23'31"E 229.00' (M)

4" PVC SANITARY
INV. INTO BUILDING
85.00

PROPOSED CAR WASH
F.F.E. 88.00
SEE ARCHITECTURAL
PLANS FOR
DETAILS

2" GY

14 LF-4" PVC
SANITARY @ 1.0%

6" SANITARY CONNECTION
SEE PLUMBING PLANS

4" SANITARY CONNECTION
SEE PLUMBING PLANS

12 LF-4" PVC
SANITARY @ 1.0%

LIFT STATION
SEE DETAIL
SHT. 11

146 LF-2" PVC
SANITARY FORCEMAIN

2" FORCEMAIN
NET TAP

EXISTING
WATERMAIN

RIM 77.71
18" RCP INV 73.26

2" CURB & GUTTER (TYP)

ASPHALT

NOTE:
BACKFLOW PREVENTER IS
LOCATED IN THE BUILDING. SEE
ARCHITECTURAL PLANS.

SPR. OAKTREE SUBDIVISION
PB 23, PG 56

LOT 11

C-2
[FLU: COMMERCIAL
(HIGH INTENSITY)]

S89°57'30"E 100.00' (M)

10' LANDSCAPE BUFFER

S89°57'30"E 178.05' (M)

#5 CONC CURB (TYP)
ASPHALT

RIM 83.96
18" CPP INV 80.54

SITE BENCHMARK #
MAG NAIL
ELEV. 87.59

C-2
[FLU: COMMERCIAL
(HIGH INTENSITY)]

NOT PLATTED
PARCEL #: 10-19-24-00030004300
ORB 1710, PG 1362

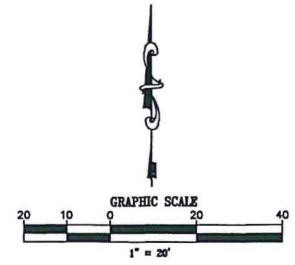
N00°00'00"W 157.12' (M)

(VACANT - NO BUILDING)

S00°00'00"W 205.04' (M)

NOT PLATTED
PARCEL #: 10-19-24-00030004100
ORB 4752, PG 1601

RIM 87.56
18" CPP INV 84.21



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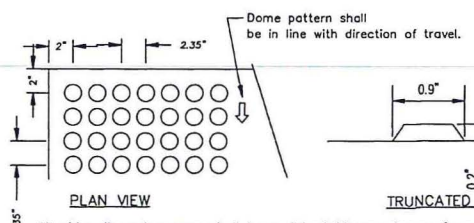
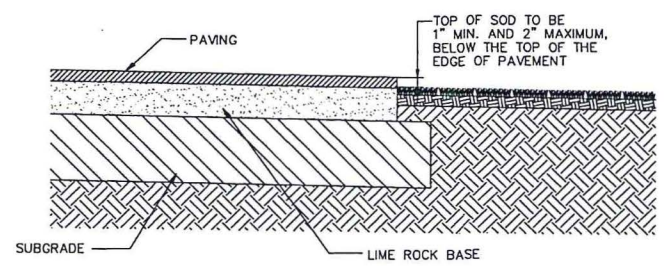
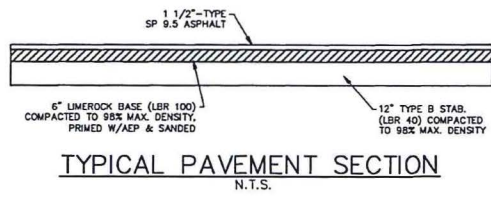
FRUITLAND PARK HOLDINGS, LLC
TANNER S. GREENWALL
1330 S.W. 50TH AVE., SUITE 200
ORANGE CITY, FLORIDA 32763

IC INTERNATIONAL CARWASH
UTILITY PLAN
US HWY 27/441 FRUITLAND PARK FL. 34731

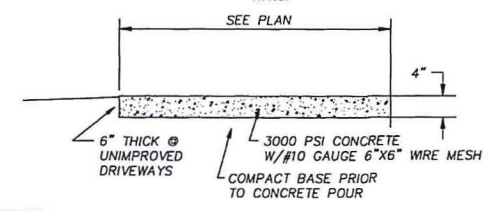
Professional Engineer Seal for Kenneth Randolph Wicks, No. 33274, State of Florida, License No. 33274, dated 7/22/11.

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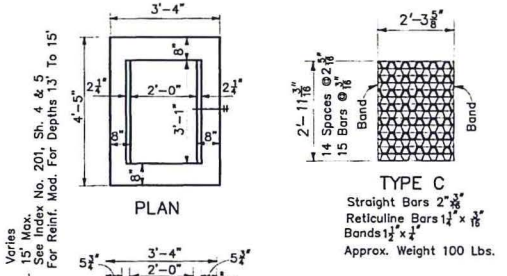
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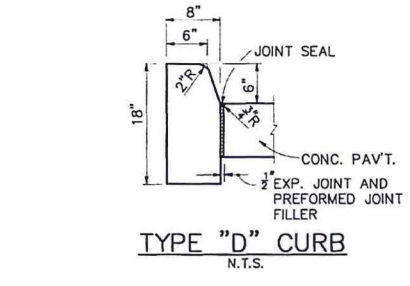
All sidewalk curb ramps shall have detectable warning surfaces that extend the full width of the ramp and in the direction of travel 24" (610 mm) from the back of curb.



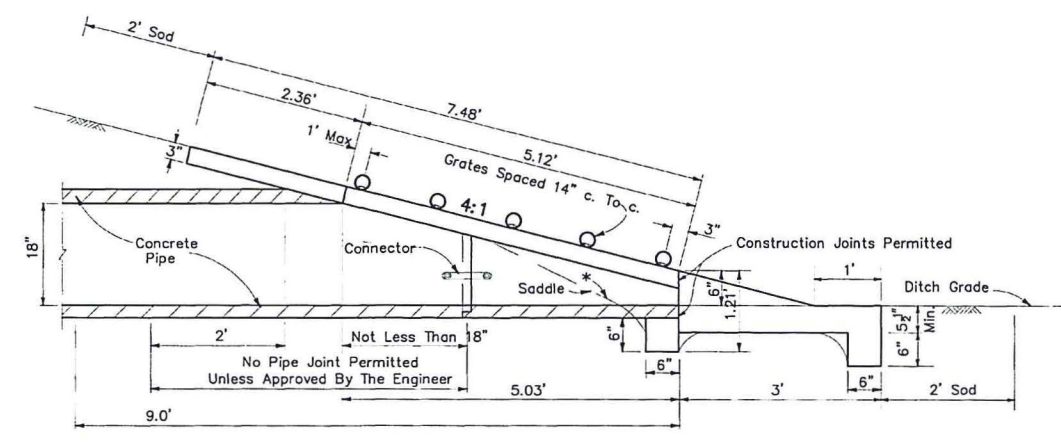
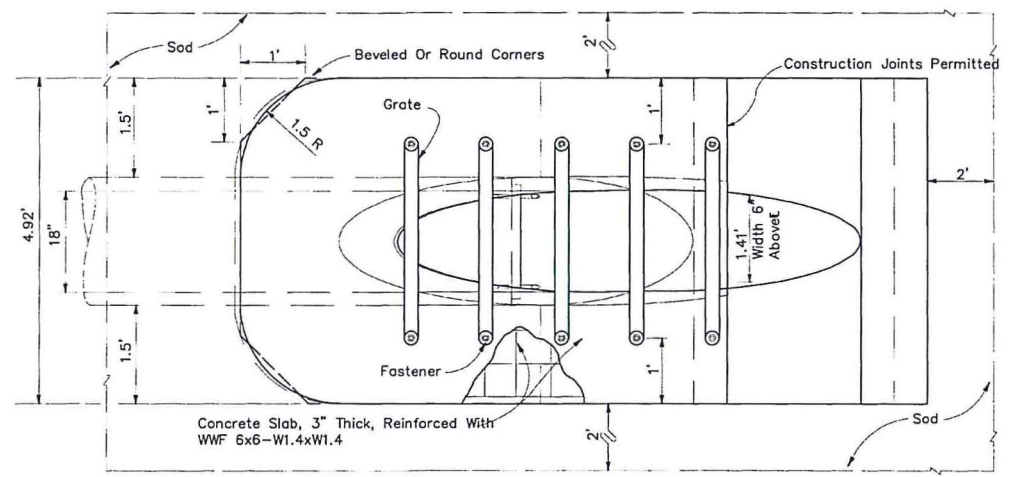
SIDEWALKS
SIDEWALKS ARE TO BE CONSTRUCTED IN THE AREAS AS SHOWN ON THE CONSTRUCTION PLANS. THE SIDEWALK SHALL BE CONSTRUCTED OF 4" OF CONCRETE WITH A 28-DAY COMPRESSION STRENGTH OF 3000 PSI. JOINTS SHALL BE EITHER TOOLED OR SAW CUT AT A DISTANCE OF 5' LENGTHS, HANDICAPPED RAMPS SHALL BE PROVIDED AT ALL INTERSECTIONS AND BE IN ACCORDANCE WITH STATE REGULATIONS FOR HANDICAP ACCESSIBILITY.



TYPE "C" INLET
N.T.S.



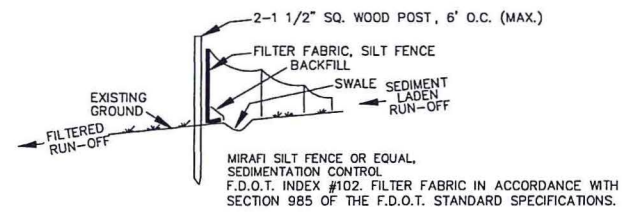
TYPE "D" CURB
N.T.S.



MITERED END SECTION DETAIL
N.T.S.

THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.

- PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
- NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.



- NOTES:**
- TEMPORARY EROSION CONTROL STRUCTURE TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURE MAY BE REMOVED AFTER UPSLOPE AREA HAS BEEN STABILIZED BY SOD, OR COMPACTED AS DETERMINED BY CONTRACTOR.
 - CONSTRUCT STORMWATER SYSTEMS BEFORE ANY BUILDING OR ROAD CONSTRUCTION IS STARTED.
 - PROTECT SYSTEM FROM SILTING AND DEBRIS BY METHODS PROVIDED IN DETAILS.
 - PROTECT SWALE BOTTOM FROM SEALING BY EXCAVATING ALL SILT DEPOSITS DURING CONSTRUCTION. THIS SHALL BE DONE BEFORE SOD & SEEDING & MULCHING IS FINISHED.

EROSION CONTROL STRUCTURE
N.T.S.

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C.A. #30062

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ORANGE CITY, FLORIDA 32763

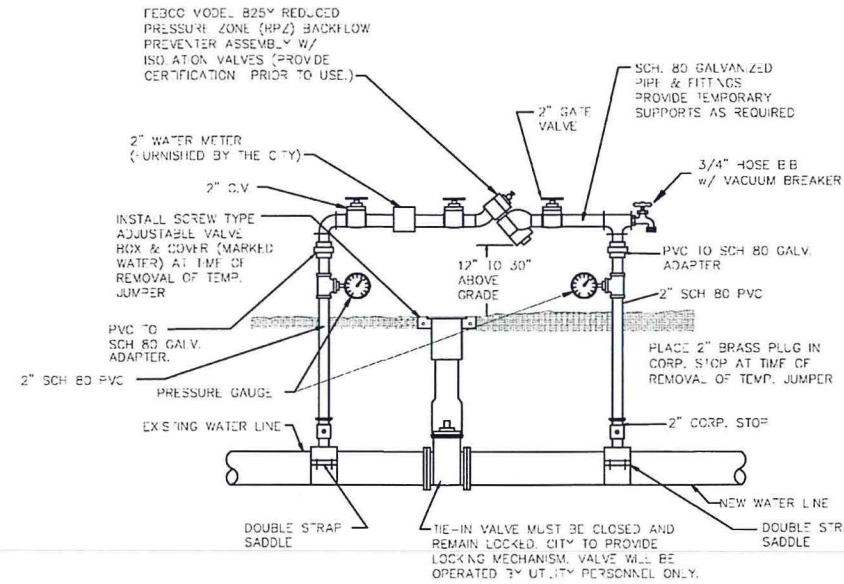
**IC INTERNATIONAL CARWASH
CONSTRUCTION & DRAINAGE DETAILS
US HWY 27/441 FRUITLAND PARK FL. 34731**



Drawn: MSR	DATE:
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TEMPORARY JUMPER CONNECTION NOTES

- A TEMPORARY JUMPER CONNECTION IS REQUIRED AT ALL CONNECTIONS BETWEEN EXISTING ACTIVE WATER MAINS AND PROPOSED NEW WATER MAIN IMPROVEMENTS.
 - THE DETAILS TO BE USED FOR FILLING ANY WATER MAIN OF ANY SIZE FROM EXISTING ACTIVE WATER MAINS AND FOR FLUSHING OF NEW MAINS UP TO 8" DIAMETER (2.5 FPS MINIMUM VELOCITY) AND FOR PULLING BACTERIOLOGICAL SAMPLES FROM ANY NEW WATER MAIN OF ANY SIZE. THE JUMPER CONNECTION SHALL BE MAINTAINED UNTIL AFTER FINISHING, FLUSHING, TESTING AND DISINFECTION OF THE NEW MAIN HAS BEEN SUCCESSFULLY COMPLETED AND CLEARANCE FOR USE FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) AND OTHER "PERTINENT" AGENCIES HAS BEEN RECEIVED. THE JUMPER CONNECTION SHALL ALSO BE USED TO MAINTAIN A MINIMUM PRESSURE OF 20 PSI IN THE NEW MAINS ALL THE TIME AFTER DISINFECTION AND UNTIL THE CLEARANCE LETTER IS OBTAINED. ADEQUATE THRUST BLOCKING AND/OR RESTRAINTS SHALL BE PROVIDED TEMPORARILY, AS REQUIRED. PIPE AND FITTINGS USED FOR CONNECTING THE NEW PIPE TO THE EXISTING PIPE SHALL BE DISINFECTED PRIOR TO INSTALLATION IN ACCORDANCE WITH AWWA C601, 1992 EDITION. THIS TAPPING SLEEVE AND THE EXTERIOR OF THE MAIN TO BE TAPPED SHALL BE DISINFECTED BY SPRAYING OR SWABBING PER SECTION 1.07 OF AWWA C601-92.
 - FLUSHING OF 10" DIAMETER AND LARGER WATER MAINS MAY BE DONE THROUGH THE TIE-IN VALVE. IN THE PRESENCE OF THE UTILITY DEPARTMENT, THE UTILITY DEPARTMENT WILL NOTIFY IN WRITING 48 HOURS PRIOR TO THE FLUSHING OF SAID MAINS.
- THE FOLLOWING PROCEDURES SHALL BE FOLLOWED:
- THE TIE-IN VALVES SHALL BE OPERATED AND PRESSURE TESTED IN THE PRESENCE OF THE UTILITY COMPANY AND ENGINEER TO VERIFY WATER TIGHTNESS PRIOR TO THE TIE-IN. VALVES WHICH ARE NOT WATER TIGHT SHALL BE REPLACED OR A NEW VALVE INSTALLED IMMEDIATELY ADJACENT TO THE LEAKING VALVE.
 - THE TEMPORARY JUMPER CONNECTION SHALL BE CONSTRUCTED AS DETAILED. THE JUMPER CONNECTION SHALL BE USED TO FILL THE NEW WATER MAIN AND FOR PROVIDING WATER FOR BACTERIOLOGICAL SAMPLING OF THE NEW MAIN AS REQUIRED BY THE FDEP (P. 1011).
 - FLUSHING SHALL NOT BE ATTEMPTED DURING PEAK DEMAND HOURS OF THE EXISTING WATER MAIN.
 - ALL DOWNSTREAM VALVES IN THE NEW SYSTEM MUST BE OPEN PRIOR TO OPENING THE TIE-IN VALVE.
 - PROVIDE FOR AND MONITOR THE PRESSURE AT THE TIE-IN POINT. THE PRESSURE IN THE EXISTING MAINS SHOULD NOT DROP BELOW 30 PSI.
 - THE TIE-IN VALVE SHALL BE OPENED A FEW TURNS ONLY, ENSURING A PRESSURE DROP ACROSS THE VALVE IS ALWAYS GREATER THAN 10 PSI.
 - THE TIE-IN VALVE SHALL BE LOCKED CLOSED BY THE CITY UNTIL FLUSHING BEGINS.
 - THE TIE-IN VALVE SHALL BE OPENED ONLY A FEW TURNS FOR FLUSHING OF THE NEW MAIN. THE PROCEDURE SHALL BE DIRECTED BY THE CITY AND OBSERVED BY THE ENGINEER.
 - AFTER FLUSHING, THE TIE-IN VALVE SHALL BE CLOSED AND LOCKED IN THE CLOSED POSITION BY THE CITY.
- THE CONTRACTOR SHALL PROVIDE DOCUMENTATION DEMONSTRATING THAT THE R-2 BACKFLOW PREVENTION DEVICE HAS BEEN TESTED WITHIN ONE YEAR AT THE TIME OF INSTALLATION AND IS IN GOOD WORKING ORDER AT THE TIME OF INSTALLATION. THE TEST SHALL BE PERFORMED BY A QUALIFIED BACKFLOW PREVENTION TECHNICIAN.
 - EXCEPT AS REQUIRED TO FLUSH LINES OF GREATER THAN 8" IN DIAMETER, THE TIE-IN VALVE SHALL REMAIN CLOSED AND BE LOCKED IN THE CLOSED POSITION BY THE CITY. THE TIE-IN VALVE SHALL REMAIN LOCKED UNTIL THE NEW SYSTEM HAS BEEN CLEARED FOR USE BY FDEP AND ALL OTHER PERTINENT AGENCIES.
 - UPON RECEIPT OF CLEARANCE FOR USE FROM FDEP AND ALL OTHER PERTINENT AGENCIES, THE CONTRACTOR SHALL REMOVE THE JUMPER CONNECTION. THE CORPORATION STOPS ARE TO BE CLOSED AND PLUGGED WITH 2" BRASS PLUGS.
 - ALL INSTALLATION AND MAINTENANCE OF THE TEMPORARY JUMPER CONNECTION AND ASSOCIATED BACKFLOW PREVENTION DEVICE FITTINGS, VALVE, ETC., SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

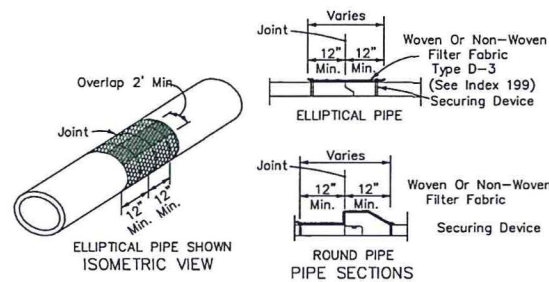


TEMPORARY JUMPER CONNECTION DETAIL

NOT TO SCALE

NOTE: LOCATION TO BE DETERMINED AT TIME OF PRECONSTRUCTION CONFERENCE W/ CITY.

- MAINS LARGER THAN 8" WILL REQUIRE 3" RING, 3" VALVES AND 3" RPZ.

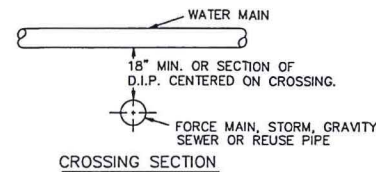


Cost of filter fabric jacket to be included in cost of pipe culverts.

FOR ALL PIPE TYPES - CONCRETE PIPE SHOWN

FILTER FABRIC JACKET

N.T.S.



CROSSING SECTION

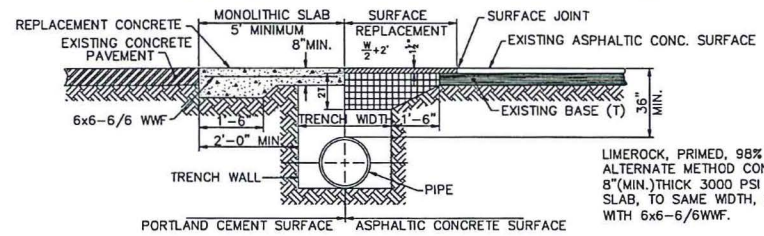
FORCE MAIN, STORM, GRAVITY SEWER OR REUSE PIPE

NOTES:

- IF WATERMAIN IS LESS THAN 18" ABOVE SANITARY OR STORM SEWER, REUSE OR SEWERAGE FORCEMAIN PIPE AT A CROSSING, THEN CENTER ONE FULL LENGTH JOINT OF D.I.P. ON CROSSING POINT.
- ALL PIPING CLEARANCES SHALL BE IN ACCORDANCE WITH CHAPTER 62-555.314, F.A.C.
- DO NOT ENCASE PIPING IN CONCRETE UNLESS SPECIFICALLY AUTHORIZED.
- ALL PIPING SHALL CLEAR OTHER CONSTRUCTION BY 6" MINIMUM.

PIPING CLEARANCES

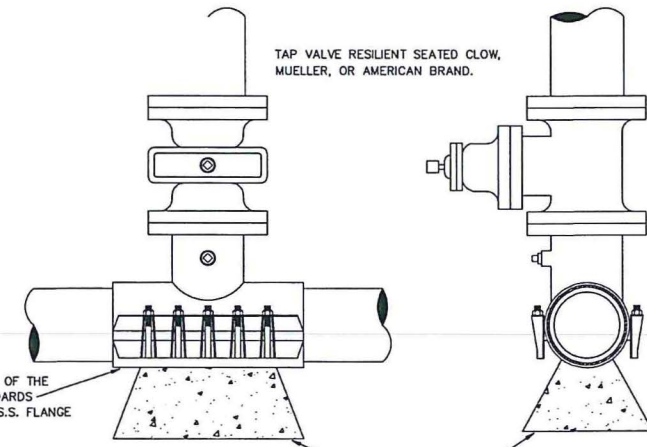
N.T.S.



OPEN CUT AND REPAIR DETAIL

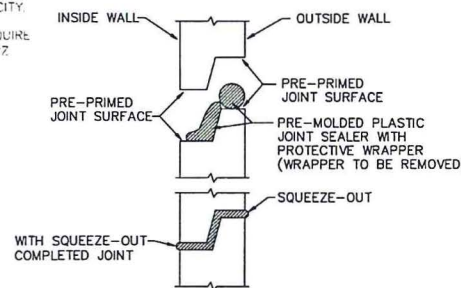
N.T.S.

LIMEROCK, PRIMED, 98% BASE OR ALTERNATE METHOD CONSISTING OF AN 8" (MIN.) THICK 3000 PSI CONCRETE SLAB, TO SAME WIDTH, REINFORCED WITH 6x6-6/6 WMF.



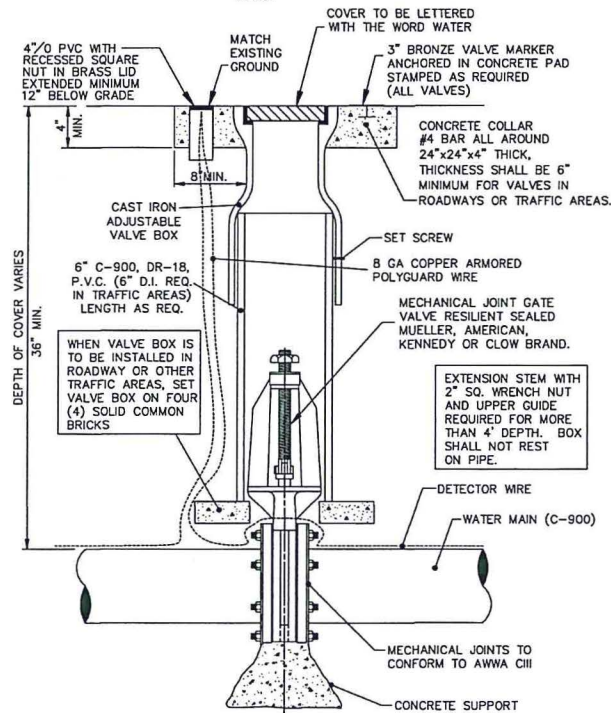
WET TAP SLEEVE & TAP VALVE

N.T.S.



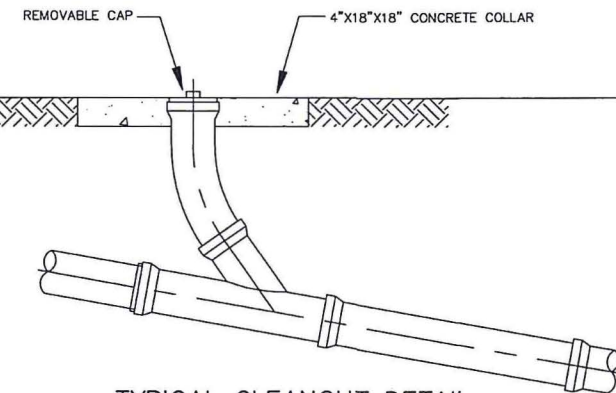
JOINT DETAIL PRECAST SECTIONS

N.T.S.



GATE VALVE & BOX

N.T.S.



TYPICAL CLEANOUT DETAIL

N.T.S.

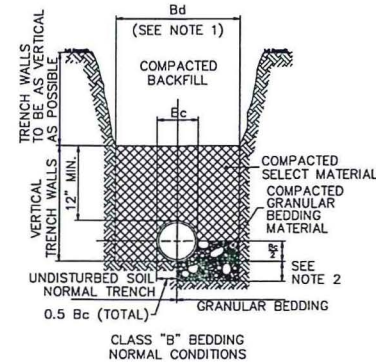
GENERAL WATER NOTES

- WATER SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS, CLEANED, DISINFECTED AND BACTERIOLOGICAL CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND CHAPTER 62-555 FLORIDA ADMINISTRATIVE CODE.
- ALL PIPING SHALL BEAR THE "NSF" SEAL FOR POTABLE WATER.
- WATER MAINS SHALL BE PVC CONFORMING TO AWWA C-900, DR 18 FOR PIPE SIZES 4"-12", PIPES 14" OR LARGER SHALL BE AWWA C-905, DR 18. ALL COUPLINGS, COMPOUNDS, SOLVENTS, LUBRICANTS AND PIPE PREPARATION, FOR LAYING, SHALL BE IN ACCORDANCE WITH THE PIPE MANUFACTURERS LATEST RECOMMENDATIONS.
- DEPTH OF WATER LINES TO BE MINIMUM 36" BELOW FINISHED GRADE.
- WATER MAINS TO BE LOCATED 5' FROM BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL PIPING CLEARANCES SHALL BE IN ACCORDANCE WITH CHAPTER 62-555.314, F.A.C., AND APPROVED BY THE CITY.
- ALL WATER MAINS UNDER PAVEMENT SHALL BE DUCTILE IRON AND SHALL EXTEND 5' BEYOND THE BACK OF CURB, EXCEPT DIRECTIONAL BORES, WHICH SHALL BE SDR-11 HDPE.
- ALL SLEEVES UNDER PAVEMENT SHALL EXTEND 5' BEYOND THE BACK OF CURB.

•• NOTE: MARK ALL POINTS WHERE WATER SERVICES CROSS CURB WITH A "W" MARK IN CONCRETE.

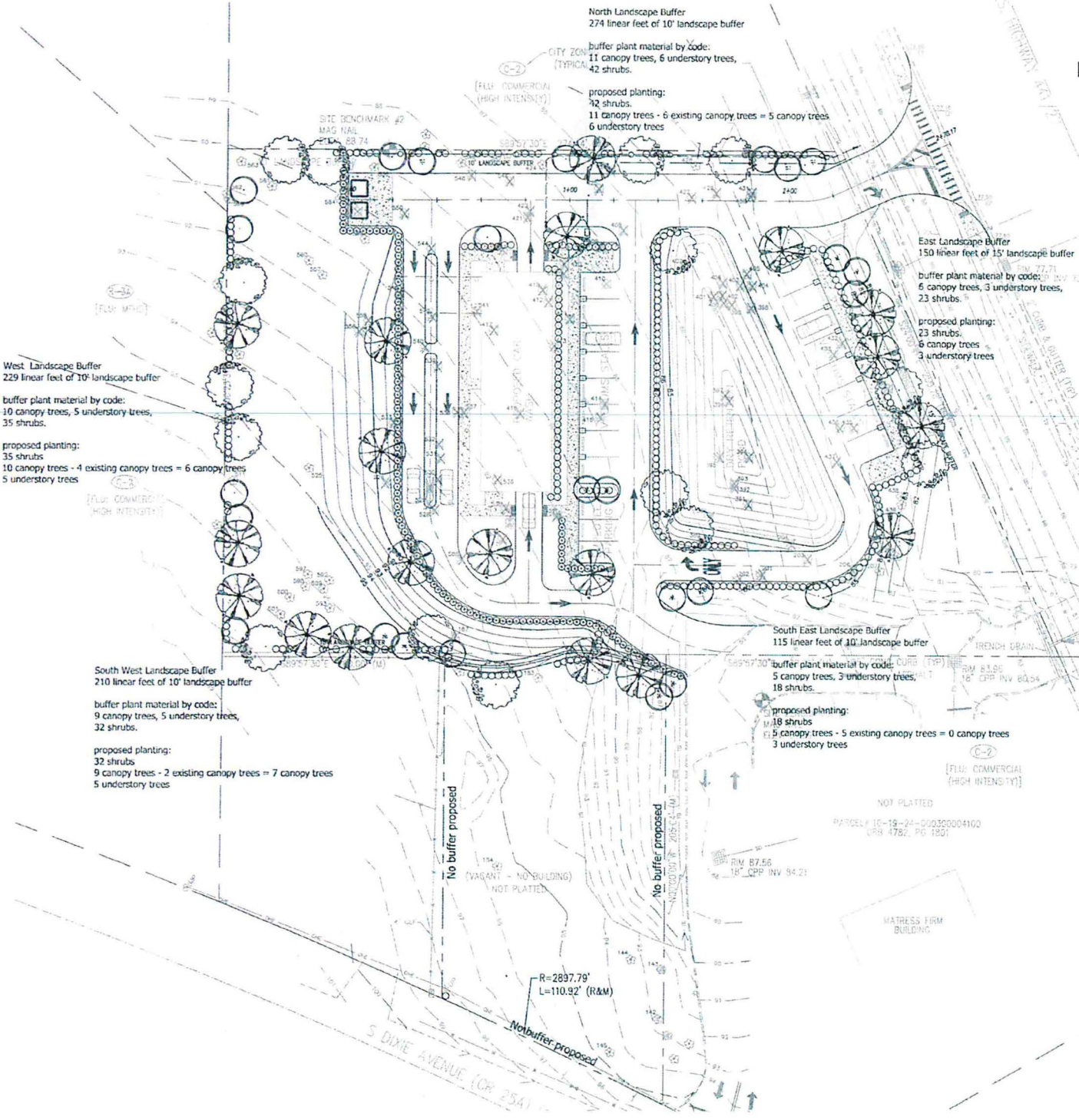
BEDDING DETAILS

N.T.S.



NOTES: FOR BEDDING AND TRENCHING

- Dimension Bc = Pipe O.D.
Dimension Bd = Trench Width at Top of Pipe
Maximum Bd = Bc + 30"
Minimum Bd = Maximum Dimension of Bell + 8" (Unsheeted Trench)
- DEPTH OF REMOVAL FOR UNSUITABLE MATERIAL SHALL BE AS REQUIRED TO REACH SUITABLE FOUNDATION. FOR ROCK OR OTHER NON-CUSHIONING MATERIAL, DEPTH SHALL BE 6" BELOW BOTTOM OF UTILITY.
- ALL BACKFILL AND SELECT MATERIAL UNDER ALL ROADWAYS, DRIVES (INCLUDING DIRT DRIVES), AND PARKING AREAS SHALL BE COMPACTED TO 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY. (AASHTO T-180). BACKFILL AND SELECT MATERIAL UNDER ALL OTHER AREAS SHALL BE COMPACTED AS FOLLOWS: FROM BOTTOM OF TRENCH TO 12" ABOVE TOP OF PIPE - 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY (AASHTO T-180). FROM 12" ABOVE TOP OF PIPE TO TOP OF BACKFILL - 90% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY (AASHTO T-180).

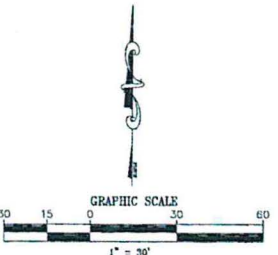


Plant Legend:

19	Quercus virginiana Live Oak
15	Magnolia grandiflora Southern Magnolia
10	Cercis canadensis Eastern Redbud
14	Lagerstroemia indica Muscogee Crape Myrtle
215	Viburnum ovatum Walter's viburnum
56	Loropetalum chinense Loropetalum Plum Dwarf
127	Ilex vomitoria 'Shillings Dwarf' Shillings Dwarf

TREE REMOVAL

Remove 80 trees as indicated by X
 Required Replacement 25% = 20 canopy trees
 Replacement Trees Provided = 34 canopy trees



GENERAL LANDSCAPE NOTES

1. Canopy trees to be from preferred list.
2. Understory trees to be from preferred list.
3. Shrubs to be 3 gal. minimum 30" tall from preferred list.
4. Installation of trees and shrubs shall comply with standard nursery practice.
5. Landscaping to meet all Applicable Florida Friendly requirements.

Plant List:

Quantity	Common Name	Scientific Name	Soil Moisture Range	Native	Spacing	Notes
STREET TREES						
0	None Required					
TREES						
19	Southern live oak cathedral oak	Quercus virginiana	Dry - moist	Yes	as shown	1.5" DBH 12' ca
14	Crape myrtle	Lagerstroemia indica	Dry - moist	No	as shown	0.5" DBH 6' ca
15	Southern magnolia	Magnolia grandiflora	Dry - moist	Yes	as shown	1.5" DBH 12' ca
10	Eastern Redbud	Cercis canadensis	Dry - moist	Yes	as shown	0.5" DBH 6' ca
SHRUBS						
127	Shillings Dwarf, Ilex shillings	Ilex vomitoria 'Shillings'	Dry - moist	No	3' oc	3G
56	Loropetalum chinense	Loropetalum chinense	Dry - moist	No	3' oc	3G
215	Walter's viburnum	Viburnum ovatum	Dry - moist	Yes	4' oc	3G
GROUND COVER						
	Bahia Sod					

INSTALLATION AND MAINTENANCE NOTES

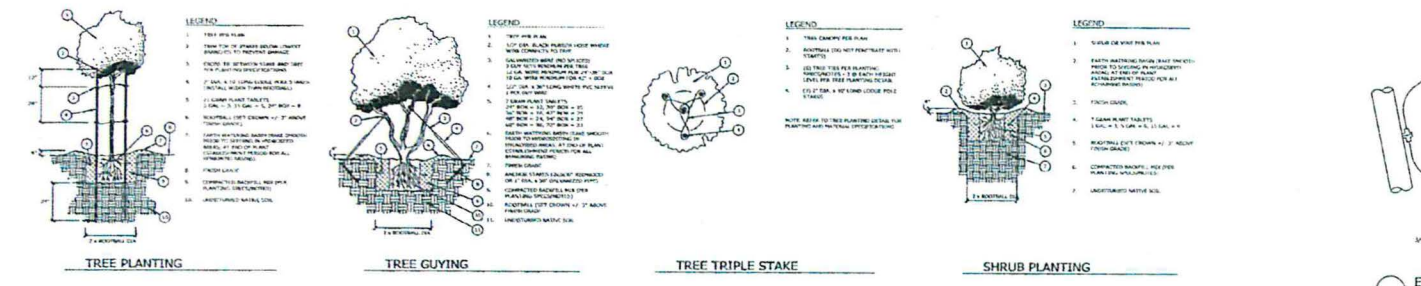
1. The work consists of the complete and final installation as shown on the drawings and as herein specified. This work shall include, but is not limited to, the watering of all plants received, the furnishing of all labor, equipment, appliances and materials called for, and in performing all operations in connection with the landscape specifications as shown on the plan. Further, the work shall include the maintenance of all plants and planting areas until such acceptance by the owner, and watering of all plants as herein specified.
2. Adjustments to planting beds as shown on plans may be necessary due to work conditions, burning, relationship to roadways, etc. Plant material may need to be added or subtracted in the field. The contractor shall be responsible for the final plant count upon completion of the job. The final plant count will be submitted to the owner prior to final payment.
3. The contractor shall fully acquaint themselves with the relative site grading, water supply, electrical supply, and other utilities to provide any misunderstanding and facilitate a trouble free installation.
4. No installation shall be made without written permission of the owner.
5. In the event of a variation between the plant list and the number of plants shown on the plans, contact the Project Landscape Architect immediately.
6. Plants material will be inspected at the job site by the owner. When inspected work does not comply with the specified requirements, the contractor shall replace rejected work and continue correct maintenance until the work is inspected and found acceptable and remove rejected plants and substitute from the job site within 48 hours.
7. All materials shall be installed in a neat and workmanlike manner. The owner or his landscape architect reserves the right to direct the removal and replacement of any items which, in his opinion, do not present an orderly and reasonably well maintained appearance, provided such items can be replaced in an orderly way by the same method of plant work.
8. All plant material shall be Florida No. 1 grade or better as defined in "Grades and Standards for Nursery Plants", Parts 1 and 2, as published by the Florida Department of Agriculture and Consumer Services, and shall conform to AHA standards for nursery stock (and 26C, 1-1940).
9. All planting beds shall be mulched with 3" of pine bark mulch, 100% organic, of the highest grade.
10. All trees 18" or larger shall be staked or guaged. Staking materials and methods shall be submitted to the Owner for approval prior to installation.
11. Planting soil shall consist of the existing soil amended if required.
12. Fertilizer shall be quick release, water soluble and shall conform to the applicable state of Florida fertilizer laws. The contractor shall submit to the owner or landscape architect a fertilizer certification.

- ### IRRIGATION NOTES
1. The plans and drawings are diagrams of the work to be performed. The work shall be executed in a manner to avoid conflicts with utilities and other elements of construction, including foundation materials. Any and all utilities shall be brought to the attention of the owner or owners. The contractor shall not be held liable for any damage to the irrigation system as shown on the plans and drawings when it is shown in the field that obstructions, grade differences, or discrepancies that might not have been known during the design of the irrigation system. In the event that notification of the conflict is not given to the representative, the contractor will be held responsible for all repairs.
 2. Irrigation systems shall be installed in accordance with the plans, irrigation system specifications and all current codes. Contractor shall comply with all existing local codes, ordinances and regulations.
 3. Check and verify all site conditions, including terrain, utility locations, prior to trenching or digging. Coordinate all irrigation system installation with existing and/or new planning to avoid conflicts or interference with existing piping, conduits, cables and service utilities. The irrigation contractor is responsible for coordinating installation with other construction on the property to avoid interference. Irrigation system will be installed and/or modified for any surface work, landscape modifications or other site preparation or existing conditions. All components that are not shown within the specific area shown on the drawings will not be installed. All piping and/or components are to remain within the property of the OWNER.
 4. Where existing or new trees, light standards, signs, existing conduits and/or other objects are on or near an irrigation system's path, the contractor shall be required to relocate or remove such objects as necessary to obtain proper coverage without damaging the obstruction. Landscape architect is representative to determine if relocation is required.
 5. Component spacing and maximums: Do not exceed spacing shown or noted on the plans. Component spacing may be changed to accommodate changes in terrain and planting layout as long as the modified spacing does not exceed the spacing shown on the plans. Unless shown otherwise, irrigation contractor shall provide 100% coverage.
 6. All materials and equipment shown shall be installed as described on the plans. If the drawing does not thoroughly describe the techniques to be used, the contractor shall follow the installation methods, instructions recommended by the manufacturer, or applicable industry practices.
 7. Irrigation contractor shall adjust all quantities, controller and other operating characteristics, including pressure, flow rates and operation time, as indicated on the drawings and on the irrigation system specifications. Adjust all sprinklers to avoid overhead of water onto buildings, roadways, walkways or existing mature vegetation.
 8. Contractor to provide installation design and manufacturer product information for all irrigation components. All installations shall be as recommended by manufacturers. The quantities shown in the legends and symbol sheets shall not be used for bidding purposes. The contractor will be responsible for conducting a comprehensive site visit of materials to determine the actual quantities of materials necessary to execute the work described on the plans and drawings.
 9. All trenches shall be backfilled with clean, debris free materials. Clean sand shall be used for bedding materials if present and not adequately off of rock and other obstructions. Pulling pipe may be allowed where applicable.
 10. All trenching shall be protected by staking of the fittings and pipe as recommended by the manufacturer.
 11. Controller and label / number all zone valves in accordance with manufacturer's specifications and include zone number and location with each zone with record drawing numbers.
- ### MATERIALS & PIPING
1. All irrigation piping (6" and smaller) shall be Class 200 PVC Pressure Pipe (Schedule 40) with solvent weld fittings. All pipe used downstream of each remote control valve shall be Class 200 PVC Pressure Pipe (Schedule 40) or higher unless noted otherwise. (Unless shown otherwise, all piping shall be 1/2" minimum depth and 12" maximum depth for lateral lines as specified per plans and details. Measurement shall be from face of pipe to finish grade. Contractor will be responsible for re-excavating and relaying any piping not meeting specified depths.)
 2. All piping outdoors for future pipe expansion shall have 1/2" minimum depth.
- ### SLEEVING
1. All sleeves for risers to be 1/2" SDR 41 PVC. All sleeves for lateral lines to be 1/2" SDR 41 PVC. Sleeves shall be installed.
 1. Irrigation contractor shall coordinate with general contractor for the location of sleeve openings, whether above or not. All sleeve shall wrap around the same diameter and be installed in a clean zone.
 1. All sleeve shall extend 12" beyond the edge of the surface opening.
 1. All wiring sleeves shall be 1/2" SDR 41 PVC or as noted per plans.
- ### CONTROL SYSTEM
- Controller shall be compatible with the system. Controller shall be installed and wired in accordance with manufacturer's published instructions. Controller shall be capable of operating from a regulated power supply. Pressure shall be 120V AC 60Hz 15Amp 100VA.
- ### REMOTE CONTROL VALVES
1. All control valves shall be 1/2" and installed as close as possible to the manifold in subsurface piping. Controller valves shall be top and not as specified herein and installed on the drawings.
- ### DRIP TUBE
1. Drip tubes to be 1/2" diameter polypropylene tubing 1/2" OD x 1/2" length. Pressure Pipe (Schedule 40).

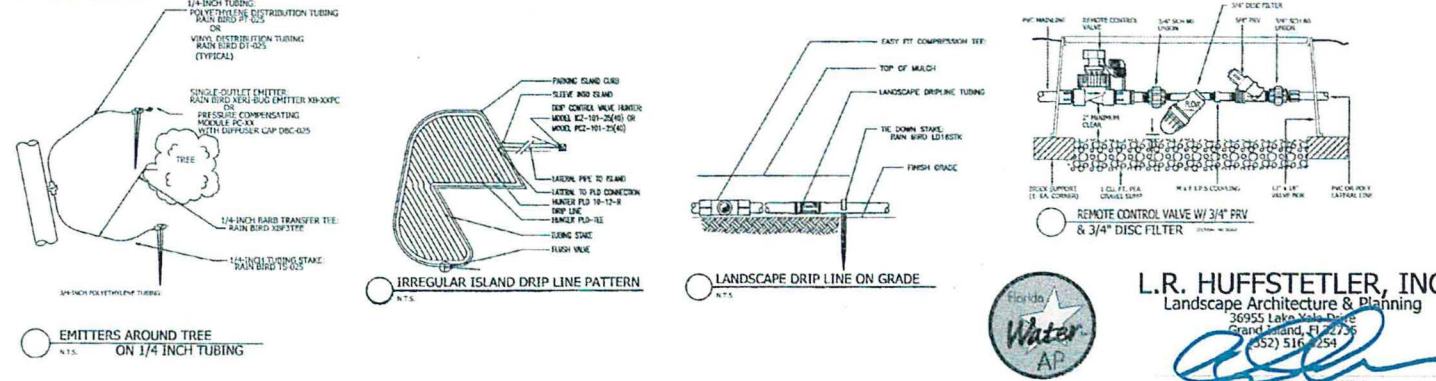
GENERAL IRRIGATION NOTES

1. Connect to irrigation to lowest quality water source available.
2. Install backflow preventer as required.
3. Irrigation system controller will be installed with rain sensor and back-up battery.
4. Shrub and tree irrigation to be Hunter Drip Line and poly line with emitters as shown in details.
5. Automatic irrigation system to provide 100% coverage of shrubs and trees only.
6. All trees shall be on a separate irrigation zone from shrubs. Tree zone to be turned off after tree establishment.
7. Sod to be irrigated by hand until established.
8. Sitework contractor to provide 4" SCH 40 PPVC chase pipes at pavement crossings.
9. Irrigation pressure and volume are unknown at this time.
10. Irrigation contractor to adjust system design to match water pressure and volume available.

Planting Details:



Irrigation Details:



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 www.wicksengineering.com (352) 343-8667
 C.A. #20002

FRUITLAND PARK HOLDINGS, LLC
 TEJINDER S. GREENWALL
 1330 SAXON BOULEVARD
 ORANGE CITY, FLORIDA 32763

IC International Car Wash
Landscape and Irrigation Plan
 Lake County, Florida

DATE: _____
 REVISIONS: _____
 Drawn: BH
 Checked: BH
 Date: 04-22-18
 Scale: 1" = 30'
 File No.: 17136
 Sheet: 1 of 1

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