



FRUITLAND PARK LOCAL PLANNING AGENCY MEETING AGENDA

January 11, 2018

City Hall Commission Chambers
506 W. Berckman Street
Fruitland Park, FL 34731

6:15 p.m.

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. APPROVAL OF MINUTES** (city clerk)
October 26, 2017
- 4. Ordinance 2018-002 – Rezoning and Development Agreement – Petitioner: First Baptist Church of Leesburg Inc.** (city manager/community development director/city attorney)

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, REZONING 14.95 + ACRES OF THE PROPERTY FROM GENERAL COMMERCIAL (C-2) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 52.70 +/- ACRES OF PROPERTY FROM PUBLIC FACILITIES DISTRICT (PFD) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 85.44 +/- ACRES OF PROPERTY FROM SINGLE FAMILY MEDIUM DENSITY RESIDENTIAL (R-2) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 17.00 +/- ACRES OF PROPERTY FROM HIGH DENSITY RESIDENTIAL/NEIGHBORHOOD COMMERCIAL (R-3A) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 33.98 +/- ACRES OF PROPERTY FROM GREENBELT DISTRICT (GB) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; APPROVING A MASTER DEVELOPMENT AGREEMENT FOR THE PROPERTY; PROVIDING FOR CONDITIONS AND CONTINGENCIES; DIRECTING THE CITY MANAGER TO AMEND THE ZONING MAP OF THE CITY OF FRUITLAND PARK; PROVIDING FOR SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT HEREWITH; PROVIDING FOR

AN EFFECTIVE DATE. (The second reading will be held on January 25, 2018.)

5. Mesos Medical Office –Site Development Plan Submittal (Major) - Petitioner: Carrie Ross Blevins (city manager/community development director)

Consider the Planning and Zoning Board’s recommendations granting a site plan approval for construction of a medical office building in accordance with the land development code.

6. Ordinance 2018-001 – Site Specific Comprehensive Plan – FLUE Petitioner: Terry F. and Rachel Ann Ross (city manager/attorney/ community development director)

AN ORDINANCE AMENDING THE COMPREHENSIVE PLAN OF THE CITY OF FRUITLAND PARK, LAKE COUNTY, FLORIDA PURSUANT TO 163.3187(1), FLORIDA STATUTES; CHANGING THE FUTURE LAND USE ELEMENT OF THE COMPREHENSIVE PLAN BY PROVIDING TEXT AMENDMENTS SPECIFIC TO LOTS 15 – 19, BLOCK B, FIRST ADDITION TO DREAM LAKE SUBDIVISION, CONSISTING OF LESS THAN 10 ACRES IN SIZE, LOCATED ON SUNSET WAY, FOREST STREET AND PENNSYLVANIA AVENUE, SPECIFYING ALLOWABLE USES ON THE PROPERTY; AMENDING THE FUTURE LAND USE MAP AND FUTURE LAND USE DESIGNATION TO MULTI-FAMILY LOW DENSITY AS LIMITED BY THE SITE SPECIFIC AMENDMENT; PROVIDING FOR CONFLICTS; PROVIDING FOR THE FORWARDING OF THIS ORDINANCE TO THE STATE OF FLORIDA DEPARTMENT OF ECONOMIC OPPORTUNITY; PROVIDING FOR SEVERABILITY AND PROVIDING FOR AN EFFECTIVE DATE. (The second reading will be held on January 25, 2018.)

7. PUBLIC COMMENTS

This section is reserved for members of the public to bring up matters of concern or opportunities for praise. Action may not be taken by the Local Planning Agency at this meeting; however, questions may be answered by staff or issues may be referred for appropriate staff action.

Note: Pursuant to F.S. 286.0114 and the City of Fruitland Park’s Public Participation Policy adopted by Resolution 2013-023, members of the public shall be given a reasonable opportunity to be heard on propositions before the Local Planning Agency. Accordingly, comments, questions, and concerns regarding items listed on this agenda shall be received at the time the Local Planning Agency addresses such items during this meeting. Pursuant to Resolution 2013-023, public comments are limited to three minutes.

8. OTHER BUSINESS

9. ADJOURNMENT

Any person requiring a special accommodation at this meeting because of disability or physical impairment should contact the City Clerk’s Office at City Hall (352) 360-6727 at least forty-eight (48) hours prior to the meeting. (§286.26 F.S.) If a person decides to appeal any decision made by the City of Fruitland Park with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The city does not provide verbatim records. (§286.0105, F.S.)

PLEASE TURN OFF ELECTRONIC DEVICES OR PLACE IN VIBRATE MODE.

**FRUITLAND PARK LOCAL PLANNING AGENCY
MEETING MINUTES
October 26, 2017**

A meeting of the City of Fruitland Park's Local Planning Agency was held at 506 W. Berckman Street, Fruitland Park, Florida 34731 on Thursday, October 26, 2017 at 6:15 p.m.

Members Present: Mayor Chris Cheshire, Vice Mayor John L. Gunter, Jr., Commissioners Christopher Bell, Ray Lewis, and Rick Ranize.

Also Present: City Manager Gary La Venia, City Attorney Anita Geraci-Carver; City Treasurer Jeannine Racine; Captain Eric Luce; Interim Fire Chief Don Gilpin; Deputy Fire Chief Tim Yoder; Firefighters Madison Leary and Chris Lewis, Fire Department; Michelle Yoder, Parks and Recreation Director; Community Development Director Charlie Rector; Public Works Director Dale Bogle, and City Clerk Esther B. Coulson.

1. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

Mayor Cheshire called the meeting to order at 6:15 p.m.

2. ROLL CALL

At Mayor Cheshire's request, Ms. Coulson called the roll and a quorum was declared present.

3. APPROVAL OF MINUTES

On motion of Commissioner Ranize, seconded by Commissioner Bell and unanimously carried, the LPA approved the June 8, 2017 minutes as submitted.

4. ORDINANCE 2017-029 FLOODPLAIN

Ms. Geraci-Carver read into the record proposed Ordinance 2017-029 the substance of which is as follows:

Mr. Rector addressed the Federal Emergency Management Agency's (FEMA's) mandate of the city's current ordinance and indicated that the updates by FEMA are housekeeping.

In response to several inquiries posed by Commissioner Ranize, Mr. Rector confirmed Ms. Kelly Buchan as the floodplain administrator and indicated that the city does not have a backup, if the position is vacated. With respect to Section 9, floodplain management records and in compliance with Chapter 119, Florida Statutes and with reference to Ms. Coulson, Mr. Rector indicated that such records are retained in the community development department and are available for public inspection. He mentioned the few records retained due to the elevation of properties that are located some distance from Mirror Lake.

After discussion and **a motion was made by Vice Mayor Gunter and seconded by Commissioner Bell that the LPA recommend the approval of proposed Ordinance 2017-029 to the city commission.**

There being no comments from the public, **Mayor Cheshire called for a roll call vote on the motion and declared it carried unanimously.**

5. NEW BUSINESS

There was no new business to come before the LPA at this time.

6. PUBLIC COMMENTS

No one from the public appeared before the LPA at this time.

7. ADJOURNMENT

There being no further business to come before the city commission at this time, on motion made, second and unanimously carried, the meeting adjourned at 6:23 p.m.

The minutes were approved at the January 11, 2018 meeting.

Signed _____
Esther B. Coulson, City Clerk

Signed _____
Chris Cheshire, Mayor

ORDINANCE 2018-002

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, REZONING 14.95 ± ACRES OF THE PROPERTY FROM GENERAL COMMERCIAL (C-2) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 52.70 +/- ACRES OF PROPERTY FROM PUBLIC FACILITIES DISTRICT (PFD) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 85.44 +/- ACRES OF PROPERTY FROM SINGLE FAMILY MEDIUM DENSITY RESIDENTIAL (R-2) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 17.00 +/- ACRES OF PROPERTY FROM HIGH DENSITY RESIDENTIAL/NEIGHBORHOOD COMMERCIAL (R-3A) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 33.98 +/- ACRES OF PROPERTY FROM GREENBELT DISTRICT (GB) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; APPROVING A MASTER DEVELOPMENT AGREEMENT FOR THE PROPERTY; PROVIDING FOR CONDITIONS AND CONTINGENCIES; DIRECTING THE CITY MANAGER TO AMEND THE ZONING MAP OF THE CITY OF FRUITLAND PARK; PROVIDING FOR SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT HERewith; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a petition has been submitted by First Baptist Church of Leesburg, Inc., Owner, requesting that approximately 14.95 acres of real property generally located south of CR 466A and west of Pine Ridge Dairy Road (the “Property”) be rezoned from General Commercial (C-2) to Mixed Use Planned Unit Development; approximately 52.70 acres of real property generally located south of CR 466A and west of Pine Ridge Dairy Road (the “Property”) be rezoned from Public Facilities District (PFD) to Mixed Use Planned Unit Development (PUD) within the city limits of Fruitland Park; approximately 85.44 acres of real property generally located south of CR 466A and west of Pine Ridge Dairy Road (the “Property”) be rezoned from Single Family Medium Density Residential (R-2) to Mixed Use Planned Unit Development (PUD) within the city limits of Fruitland Park; approximately 17.00 acres of real property generally located south of CR 466A and west of Pine Ridge Dairy Road (the “Property”) be rezoned from High Density Residential/Neighborhood Commercial (R-3A) to Mixed Use Planned Unit Development (PUD) within the city limits of Fruitland Park; and further requesting that approximately 33.98 acres of property be rezoned from Greenbelt District (GB) to Mixed Use Planned Unit Development within the city limits of Fruitland Park; and

WHEREAS, the petition bears the signature of all applicable parties; and

WHEREAS, the required notice of the proposed rezoning has been properly published;
and

WHEREAS, the City Commission reviewed said petition, the recommendations of the Planning and Zoning Board, staff report and any comments, favorable or unfavorable, from the public and surrounding property owners at a public hearing duly advertised;

NOW, THEREFORE, BE IT ORDAINED by the City Commission of the City of Fruitland Park, Florida, as follows:

Section 1. The following described property consisting of approximately 206.11 ± acres of land generally located south of CR 466A and west of Pine Ridge Dairy Road shall hereafter be designated as PUD, Mixed Use Planned Unit Development, as defined in the Fruitland Park Land Development Regulations. The property is more particularly described and depicted as set forth on Exhibit "A".

Section 2. That the City Manager, or designee, is hereby directed to amend, alter, and implement the official zoning maps of the City of Fruitland Park, Florida to include said designation consistent with this Ordinance.

Section 3. If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

Section 4. Conflict. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 5. This Ordinance shall become effective immediately upon passage by the City Commission of the City of Fruitland Park.

PASSED AND ORDAINED in regular session of the City Commission of the City of Fruitland Park, Lake County, Florida, this _____ day of _____, 2017.

Chris Cheshire, Mayor
City of Fruitland Park, Florida

ATTEST:

Approved as to Form:

Esther Coulson, CMC, City Clerk

Anita Geraci-Carver, City Attorney

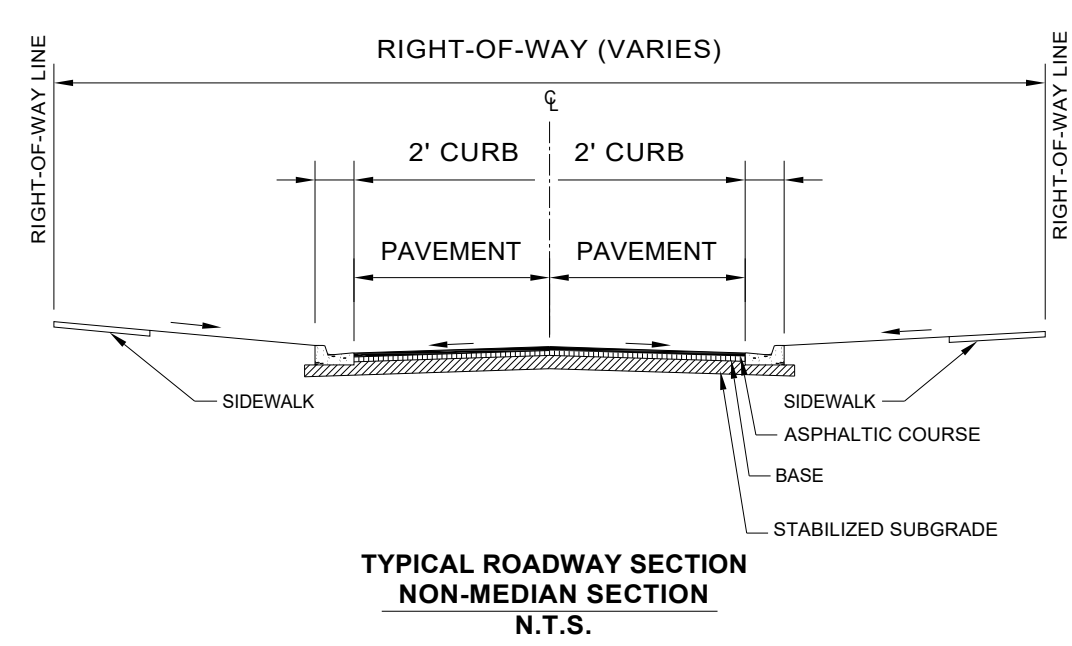
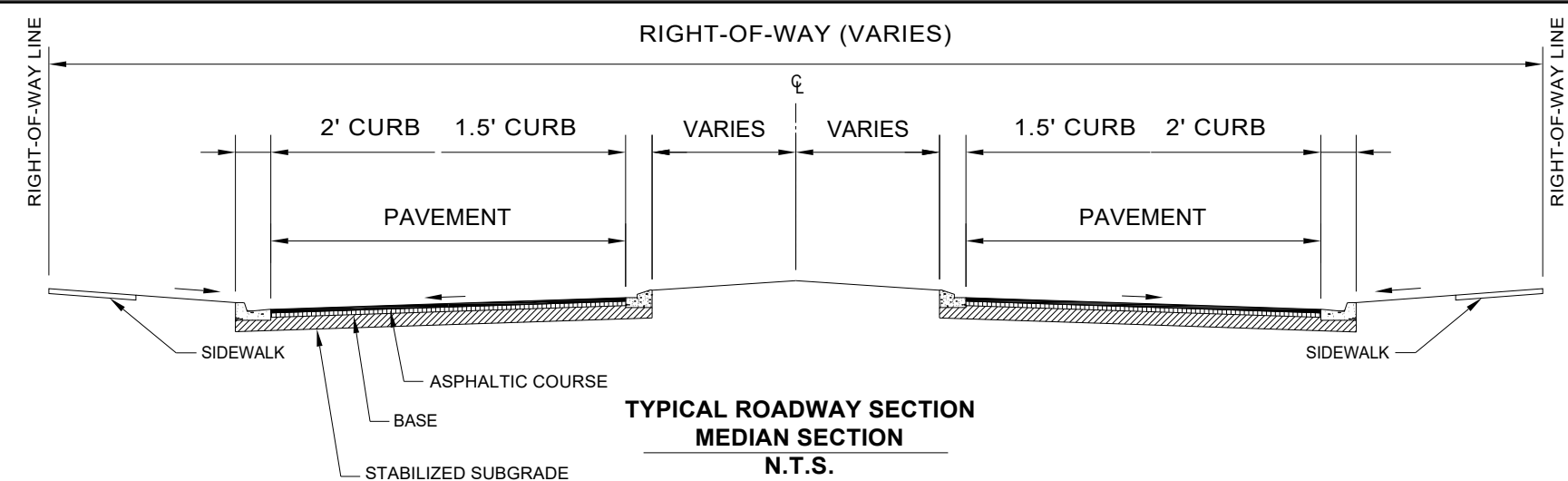
| | |
|---------------------|--|
| Vice-Mayor Gunter | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |
| Commissioner Ranize | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |
| Commissioner Lewis | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |

Commissioner Bell
Mayor Cheshire

_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)
_____ (Yes), _____ (No), _____ (Abstained), _____ (Absent)

Passed First Reading _____
Passed Second Reading _____
(SEAL)

EXHIBIT "A"
LEGAL DESCRIPTION



NOTE: ALL STREETS WILL BE PRIVATE BUT CONSTRUCTED TO CITY STANDARDS

PROPOSED USES

- COMMERCIAL
- RESIDENTIAL
- INSTITUTIONAL
- ROADWAY/PARKING/PONDS
- OPEN SPACE/PARK/RECREATION
- PROPOSED BUFFER - (A)

OWNERS/APPLICANTS

FIRST BAPTIST CHURCH OF LEESBURG
220 N. 13TH STREET
LEESBURG, FL 34748

PRESBYTERIAN RETIREMENT COMMUNITIES, INC.
80 W. LUCERNE CIRCLE
ORLANDO, FL 32801
(407) 839-5050

ENGINEER

FLORIDA ENGINEERING GROUP, INC.
5127 S. ORANGE AV, SUITE 200
ORLANDO, FL 32809
(407) 895-0324

SURVEYOR

FARNER BARLEY & ASSOCIATES, INC.
4450 NE 83RD ROAD
WILDWOOD, FL 34785
(352) 784-3126

SITE DATA

PROPERTY LOCATION: COUNTY ROAD 466A
FRUITLAND PARK, FLORIDA

PARCEL ID NUMBER: 05-19-24-0003-00022-00-000F
R-2(SINGLE FAMILY); R-3A(HDR & LIGHT COMMERCIAL); C-2(GENERAL COMMERCIAL); PFD(PUBLIC FACILITY DIST) AND GB(GREEN BELT)

EXISTING PROPERTY ZONING: PUD
PROPERTY FUTURE LAND USE DESIGNATION: PUD
EXISTING USE: VACANT
PROPOSED USE: MULTI-USE
(RESIDENTIAL, COMMERCIAL & INSTITUTIONAL)
THIS DEVELOPMENT WILL BE AN AGE RESTRICTED 55+ COMMUNITY
205.76 ACRES

PROPOSED PROPERTY ZONING: PUD
MIXED USES ON THIS PROPERTY SHALL INCLUDE AT LEAST TWO (2) OF THE THREE (3) USES IN THE FOLLOWING TABLE:

| USE | MINIMUM | MAXIMUM |
|---------------|---------|---------|
| RESIDENTIAL | 15% | 65% |
| COMMERCIAL | 5% | 30% |
| INSTITUTIONAL | 5% | 35% |

PERMITTED USES ARE ALL OF THE USES LISTED UNDER R-1, R-2, R-3, R-P, AND C-1 ZONING DISTRICTS. USES ALSO ALLOWED WITHOUT SPECIAL EXCEPTION APPROVAL ARE: CHURCH/RELIGIOUS FACILITIES, CONVENIENCE STORES WITH FUEL OPERATIONS, RESTAURANTS, BANKS, AND ATHLETIC/SPORTS FACILITY USES. USES THAT ARE PROHIBITED ARE MOBILE HOMES PARKS, HOMESTAY BED & BREAKFAST, OFFICE/WAREHOUSE FACILITIES, AND MINI-WAREHOUSES.

ALLOWABLE DENSITY: 900 DU

MAXIMUM ALLOWABLE DENSITY: 900 DU
NON-RESIDENTIAL:
MAXIMUM ALLOWED FAR - 0.70
MAXIMUM ALLOWED ISR - 0.80

PROPOSED NON-RESIDENTIAL

| TOTAL | MAXIMUM COMM. (SF) | MAXIMUM INST. (SF) | FAR: 0.04<0.7 |
|-------|--------------------|--------------------|---------------|
| | 190,000 | 180,000 | |

OPEN SPACE:
REQUIRED: 20% (MIN.: 41.2 AC)
PROVIDED: 46.2% (95± AC)(PARK AND RECREATION)
OPEN SPACES MAY BE ADJUSTED IN THE FUTURE BASED ON MARKET DEMANDS, HOWEVER, A MINIMUM OF 20% OPEN SPACE WILL BE PROVIDED.

BUFFER YARDS

| FRONT (NORTH) | 10' |
|---------------|-----------------------------------|
| SIDE (EAST) | 10' |
| SIDE (WEST) | 25' |
| REAR (SOUTH) | 25' (ALONG PINE RIDGE DAIRY ROAD) |

(1) SEE SITE PLAN FOR BUFFER LOCATIONS

LOT REQUIREMENTS:

| District | Min. Living Area/DU (SF) | Min. Lot Width (FT) | Max. Building Cover (%) | Min. Open Space (%) | Max. Building Height (N.T.E.) (2) (FT) | Min. Building Setback (1) (FT) | | |
|------------------------|--------------------------|---------------------|-------------------------|---------------------|--|--------------------------------|------|------|
| | | | | | | Front (4) | Side | Rear |
| RES (DETACHED)(ILF) | 1,000 | 40 | 50 | 10 | 35 | 20 | 5 | 20 |
| RES (ATTACHED)(ILF)(3) | 1,000 | 20 | 50 | 10 | 35 | 20 | 0 | 20 |
| INSTITUTIONAL | N/A | 100 | N/A | 10 | 95 | 20 | 5 | 20 |
| COMMERCIAL | N/A | 100 | N/A | 10 | 95 | 20 | 5 | 20 |

- ACCESSORY STRUCTURE SETBACKS (i.e. - WOOD DECK, SWIMMING POOL & DECK, SCREEN POOL ENCLOSURE) CAN BE REDUCED TO 5'.
- MAXIMUM HEIGHT FOR SPECIFIC STRUCTURES (i.e. - ANTENNA-DISH (GROUND MOUNTED); FREE STANDING CARPORTS; RESIDENTIAL STORAGE BUILDINGS): 20'.
- APPLIES TO TOWNHOMES AND ATTACHED VILLAS.
- FRONT (GARAGE SETBACK): 25'

- NOTES:**
- THIS PLAN IS PREPARED BASED ON CURRENT NEEDS AND ANTICIPATED DEVELOPMENT PROGRAM. HOWEVER, THE PLAN AND DEVELOPMENT PROGRAM ARE SUBJECT TO CHANGE BASED ON FUTURE MARKET CONDITIONS AND DEMANDS.
 - STORMWATER MANAGEMENT WILL BE ADDRESSED BY EACH PROJECT DURING THE CONSTRUCTION PLAN REVIEW PROCESS. STORMWATER MANAGEMENT WILL BE PROVIDED IN SHARED PONDS OR SEPARATE PONDS LOCATED WITHIN THE INDIVIDUAL PARCELS.
 - NEGOTIATIONS ARE IN THE PROCESS TO POTENTIALLY PROVIDE A GOLF CART PATH TO THE PROPERTY FROM THE VILLAGES.

UTILITIES STATEMENT
WATER AND SEWER SERVICES WILL BE PROVIDED BY THE CITY OF FRUITLAND PARK UTILITY DEPARTMENT. THE WATER CONNECTIONS WILL BE MADE TO THE EXISTING MAINS LOCATED ALONG PINE RIDGE DAIRY ROAD AND COUNTY ROAD 466A. THE SEWER CONNECTION WILL BE MADE TO THE EXISTING FORCEMAIN LOCATED ALONG COUNTY ROAD 466A.

FLOOD ZONE
FLOOD ZONE X AND A PER FEMA F.I.R.M. PANELS 305 AND 306 OF 750 DATED: 12/18/2012.

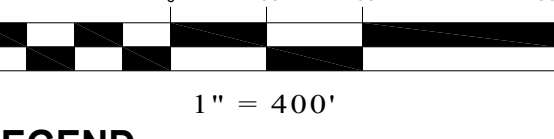
WETLAND STATEMENT
THIS PROJECT CONTAINS JURISDICTIONAL WETLANDS. THE APPROXIMATE WETLAND LOCATIONS ARE SHOWN HEREON. THE ACTUAL LIMITS OF THE WETLANDS WILL BE DETERMINED PRIOR TO FINAL CONSTRUCTION PLAN PREPARATION.

STORMWATER CRITERIA
STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH CHAPTER 158 OF THE CITY OF FRUITLAND PARK L.D.R. AND ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT'S CRITERIA.

FIRE CODE
THE PROPOSED DEVELOPMENT WILL BE DESIGNED IN ACCORDANCE WITH CHAPTER 161 OF THE CITY OF FRUITLAND PARK L.D.R., STATE, AND FEDERAL FIRE CODE REQUIREMENTS.

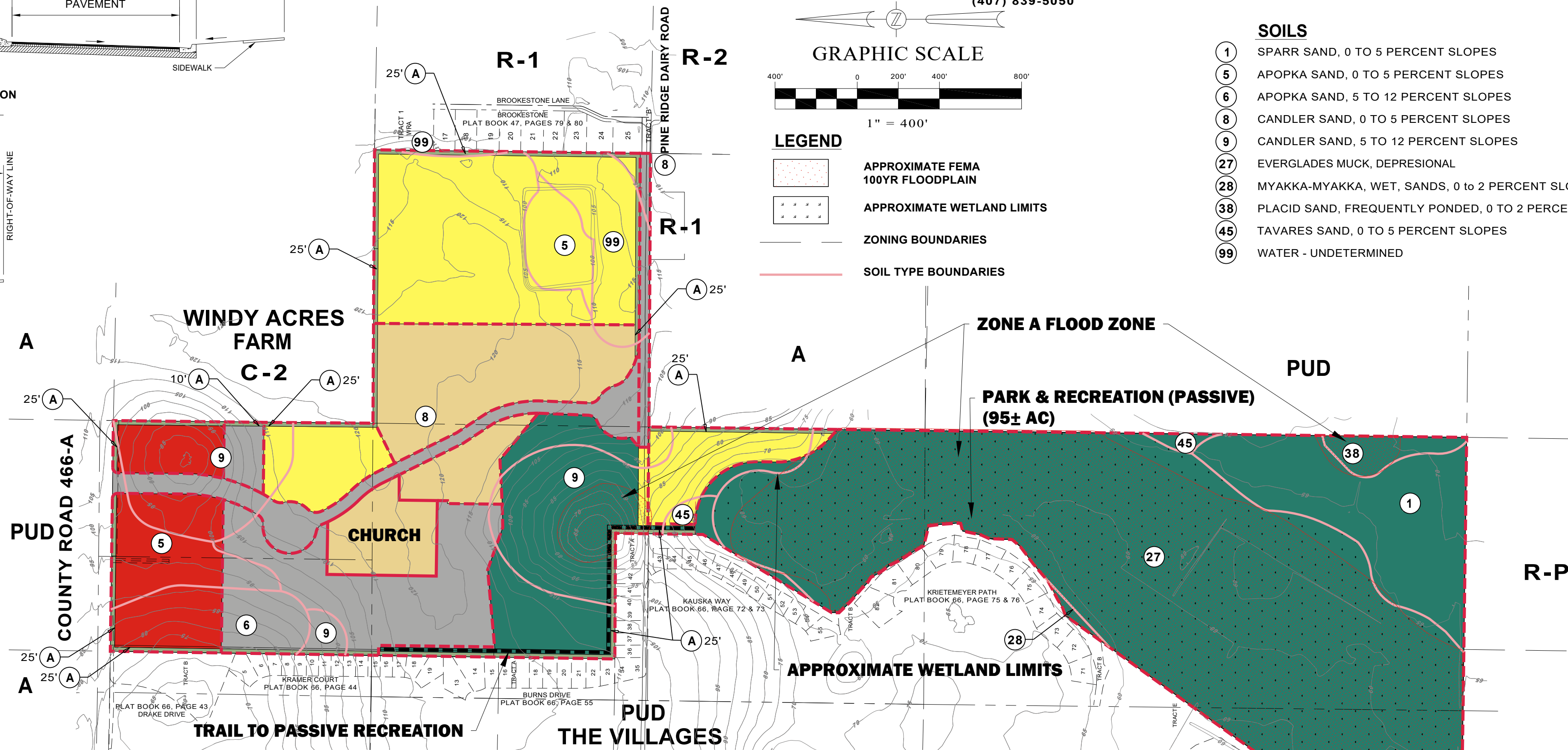
TREE AND LANDSCAPING
LANDSCAPING AND TREE PROTECTION WILL BE PROVIDED IN ACORDANCE WITH CHAPTER 164 OF THE CITY OF FRUITLAND PARK L.D.R.

GRAPHIC SCALE



LEGEND

- APPROXIMATE FEMA 100YR FLOODPLAIN
- APPROXIMATE WETLAND LIMITS
- ZONING BOUNDARIES
- SOIL TYPE BOUNDARIES

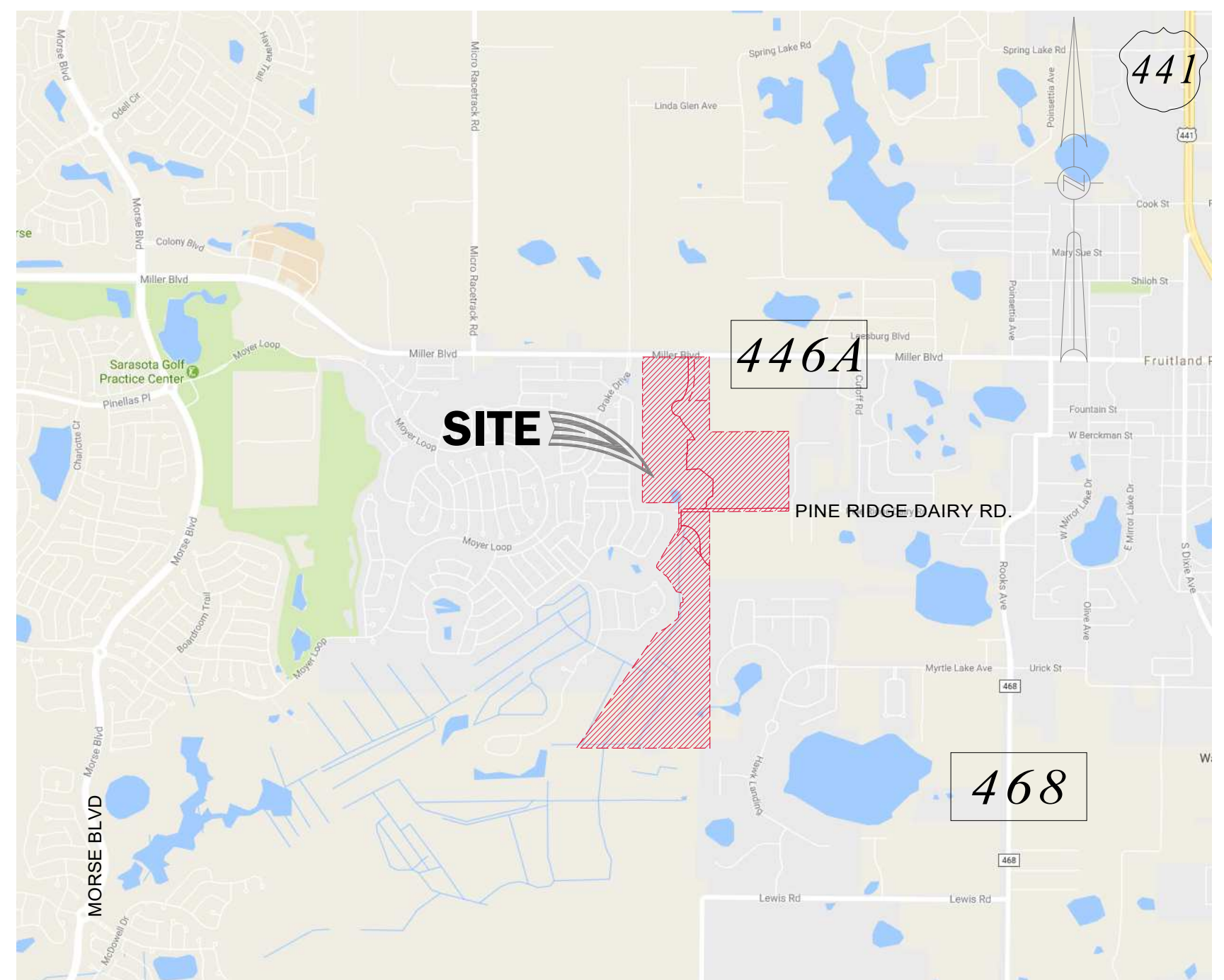


LEGAL DESCRIPTION
THAT LAND LYING IN SECTIONS 5, 7 AND 8, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

FROM THE NORTHWEST CORNER OF SAID SECTION 8, RUN S89°39'50"E, ALONG THE NORTH LINE THEREOF, A DISTANCE OF 210.00 FEET TO THE EAST LINE OF THE WEST 210.00 FEET OF THE NORTHWEST 1/4 OF SAID SECTION 8, ALSO BEING THE EASTERLY BOUNDARY OF VILLAGES OF FRUITLAND PARK UNIT NO. 27 AS RECORDED IN PLAT BOOK 66, PAGES 42 THROUGH 44, INCLUSIVE, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND THE POINT OF BEGINNING; THENCE ALONG SAID EAST LINE AND SAID EASTERLY BOUNDARY, S00°47'54"W, 350.15 FEET TO THE NORTHEAST CORNER OF VILLAGES OF FRUITLAND PARK UNIT NO. 28 AS RECORDED IN PLAT BOOK 66, PAGES 54 THROUGH 55, INCLUSIVE, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, THENCE DEPARTING THE EASTERLY BOUNDARY OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 27 AND ALONG THE EASTERLY BOUNDARY OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 28 THE FOLLOWING COURSES: S00°47'54"W, 244.87 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 595.00 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING THE EAST LINE OF THE WEST 210.00 FEET OF THE NORTHWEST 1/4 OF SAID SECTION 8 AND ALONG SAID SOUTH LINE, N89°39'50"W, 10.00 FEET TO THE EAST LINE OF THE WEST 200.00 FEET OF SAID SECTION 8; THENCE DEPARTING SAID SOUTH LINE AND ALONG SAID EAST LINE, S00°47'54"W, 589.01 FEET TO THE SOUTHEAST CORNER OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 28 AND A POINT ON THE NORTH LINE OF THE SOUTH 160.00 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING SAID EASTERLY BOUNDARY, SAID EAST LINE AND ALONG SAID NORTH LINE, S89°40'49"E, 611.54 FEET; THENCE DEPARTING SAID NORTH LINE AND ALONG THE FOLLOWING BOUNDARIES: VILLAGES OF FRUITLAND PARK, UNIT NO. 29, AS RECORDED IN PLAT BOOK 66, PAGE 71 THROUGH 73, INCLUSIVE, VILLAGES OF FRUITLAND PARK, UNIT NO. 31, AS RECORDED IN PLAT BOOK 66, PAGE 74 THROUGH 82, INCLUSIVE, SAID BOUNDARIES ALSO BEING THE EAST LINE OF THOSE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 4415, PAGE 1806, ALL IN THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; RUN THENCE S00°46'30"W, 425.68 FEET; THENCE S31°15'56"W, 733.08 FEET; THENCE S00°47'54"W, 35.45 FEET; THENCE S43°54'50"E, 75.41 FEET; THENCE S49°19'38"E, 80.87 FEET; THENCE S45°31'17"E, 45.42 FEET; THENCE S57°57'35"E, 31.06 FEET; THENCE S27°16'42"E, 46.23 FEET; THENCE S36°00'06"E, 62.89 FEET; THENCE S26°28'20"E, 49.91 FEET; THENCE S32°28'21"E, 80.27 FEET; THENCE S29°57'55"E, 60.93 FEET; THENCE S75°47'10"E, 99.18 FEET; THENCE S07°22'59"E, 55.03 FEET; THENCE S04°58'53"E, 28.31 FEET; THENCE S03°51'23"E, 57.52 FEET; THENCE S03°23'32"W, 15.26 FEET; THENCE S75°48'45"W, 38.64 FEET; THENCE S12°05'00"W, 92.40 FEET; THENCE S24°08'42"W, 41.93 FEET; THENCE S11°20'47"W, 21.80 FEET; THENCE S00°21'45"W, 90.73 FEET; THENCE S40°46'06"W, 53.01 FEET; THENCE S53°05'55"W, 104.34 FEET; THENCE S49°53'36"W, 70.59 FEET; THENCE S48°18'47"W, 37.84 FEET; THENCE S61°43'23"W, 48.54 FEET; THENCE S62°49'12"W, 50.56 FEET; THENCE S59°14'26"W, 52.64 FEET; THENCE S70°58'32"W, 38.87 FEET; THENCE S35°38'27"W, 2,364.05 FEET TO THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 7; THENCE DEPARTING THE BOUNDARIES OF SAID SUBDIVISIONS AND THE BOUNDARY OF OFFICIAL RECORDS BOOK 4415, PAGE 1806; RUN THENCE ALONG SAID SOUTH LINE, S89°06'25"E, 914.79 FEET TO THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 7 AND ALONG THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 8, S89°14'24"E, 1,330.47 FEET TO THE EAST LINE OF THE WEST 1/4 OF SAID SECTION 8; THENCE ALONG SAID EAST LINE, N00°42'44"E, 2,636.42 FEET TO THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE N00°46'31"E, 1,343.41 FEET TO THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING SAID SOUTH LINE AND ALONG THE SOUTH LINE OF SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8, S89°40'49"E, 1,331.19 FEET TO THE SOUTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING SAID SOUTH LINE AND ALONG THE EAST LINE OF SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8, N00°44'42"E, 1,343.27 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4; THENCE DEPARTING SAID EAST LINE AND ALONG THE NORTH LINE OF SAID NORTHEAST 1/4 OF THE NORTHWEST 1/4, N89°39'42"W, 1,330.49 FEET TO THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 5; THENCE DEPARTING SAID NORTH LINE AND ALONG THE EAST LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, N00°34'38"E, 1,263.10 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF COUNTY ROAD 466-A, AS PER OFFICIAL RECORDS BOOK 4271, PAGE 1960, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE DEPARTING SAID EAST LINE AND ALONG SAID SOUTHERLY RIGHT-OF-WAY, N89°14'18"W, 1,118.09 FEET TO THE EAST LINE OF THE WEST 210.00 FEET OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE NORTHEAST CORNER OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 27; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY, ALONG SAID EAST LINE OF THE WEST 210.00 FEET AND THE EASTERLY BOUNDARY OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 27, S00°56'55"W, 1,271.43 FEET TO THE POINT OF BEGINNING.

CONTAINING 205.76 ACRES, MORE OR LESS.

SITE VICINITY MAP



NOT TO SCALE

| DATE | REVISIONS | BY | CHECKED |
|------|-----------|----|---------|
| | | | |
| | | | |

WESTMINSTER PINE RIDGE
PUD REZONING
CITY OF FRUITLAND PARK, FLORIDA



5127 S. Orange Avenue,
Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
www.feg-inc.us

PUD EXHIBIT PLAN

| DESIGNED BY | DRAWN BY | CHECKED BY | APPROVED BY |
|-------------|----------|------------|-------------|
| GRC | DG | GRC | GRC |

| | |
|-------------|----------------|
| PROJECT NO. | 16-043 |
| SCALE | 1" = 400' |
| DATE | AUGUST 7, 2017 |
| SHEET NO. | C-1 |
| SHEET | 1 OF 1 |

LEGAL DESCRIPTION

THAT LAND LYING IN SECTIONS 5, 7 AND 8, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

FROM THE NORTHWEST CORNER OF SAID SECTION 8, RUN S89°39'50"E, ALONG THE NORTH LINE THEREOF, A DISTANCE OF 210.00 FEET TO THE EAST LINE OF THE WEST 210.00 FEET OF THE NORTHWEST 1/4 OF SAID SECTION 8, ALSO BEING THE EASTERLY BOUNDARY OF VILLAGES OF FRUITLAND PARK UNIT NO. 27 AS RECORDED IN PLAT BOOK 66, PAGES 42 THROUGH 44, INCLUSIVE, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND THE POINT OF BEGINNING; THENCE ALONG SAID EAST LINE AND SAID EASTERLY BOUNDARY, S00°47'54"W, 350.15 FEET TO THE NORTHEAST CORNER OF VILLAGES OF FRUITLAND PARK UNIT NO. 28 AS RECORDED IN PLAT BOOK 66, PAGES 54 THROUGH 55, INCLUSIVE, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, THENCE DEPARTING THE EASTERLY BOUNDARY OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 27 AND ALONG THE EASTERLY BOUNDARY OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 28 THE FOLLOWING COURSES: S00°47'54"W, 244.87 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 595.00 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING THE EAST LINE OF THE WEST 210.00 FEET OF THE NORTHWEST 1/4 OF SAID SECTION 8 AND ALONG SAID SOUTH LINE, N89°39'50"W, 10.00 FEET TO THE EAST LINE OF THE WEST 200.00 FEET OF SAID SECTION 8; THENCE DEPARTING SAID SOUTH LINE AND ALONG SAID EAST LINE, S00°47'54"W, 589.01 FEET TO THE SOUTHEAST CORNER OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 28 AND A POINT ON THE NORTH LINE OF THE SOUTH 160.00 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING SAID EASTERLY BOUNDARY, SAID EAST LINE AND ALONG SAID NORTH LINE, S89°40'49"E, 611.54 FEET; THENCE DEPARTING SAID NORTH LINE AND ALONG THE FOLLOWING BOUNDARIES: VILLAGES OF FRUITLAND PARK, UNIT NO. 29, AS RECORDED IN PLAT BOOK 66, PAGE 71 THROUGH 73, INCLUSIVE, VILLAGES OF FRUITLAND PARK, UNIT NO. 31, AS RECORDED IN PLAT BOOK 66, PAGE 74 THROUGH 82, INCLUSIVE, SAID BOUNDARIES ALSO BEING THE EAST LINE OF THOSE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 4415, PAGE 1806, ALL IN THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; RUN THENCE S00°46'30"W, 425.68 FEET; THENCE S31°15'56"W, 733.08 FEET; THENCE S00°47'54"W, 35.45 FEET; THENCE S43°54'50"E, 75.41 FEET; THENCE S49°19'38"E, 80.87 FEET; THENCE S45°31'17"E, 45.42 FEET; THENCE S57°57'35"E, 31.06 FEET; THENCE S27°16'42"E, 46.23 FEET; THENCE S36°00'06"E, 62.89 FEET; THENCE S26°28'20"E, 49.91 FEET; THENCE S32°28'21"E, 80.27 FEET; THENCE S29°57'55"E, 60.93 FEET; THENCE S75°47'10"E, 99.18 FEET; THENCE S07°22'59"E, 55.03 FEET; THENCE S04°58'53"E, 28.31 FEET; THENCE S03°51'23"E, 57.52 FEET; THENCE S03°23'32"W, 15.26 FEET; THENCE S75°48'45"W, 38.64 FEET; THENCE S12°05'00"W, 92.40 FEET; THENCE S24°08'42"W, 41.93 FEET; THENCE S11°20'47"W, 21.80 FEET; THENCE S00°21'45"W, 90.73 FEET; THENCE S40°46'06"W, 53.01 FEET; THENCE S53°05'55"W, 104.34 FEET; THENCE S49°53'36"W, 70.59 FEET; THENCE S48°18'47"W, 37.84 FEET; THENCE S61°43'23"W, 48.54 FEET; THENCE S62°49'12"W, 50.56 FEET; THENCE S59°14'26"W, 52.64 FEET; THENCE

S70°58'32"W, 38.87 FEET; THENCE S35°38'27"W, 2,364.05 FEET TO THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 7; THENCE DEPARTING THE BOUNDARIES OF SAID SUBDIVISIONS AND THE BOUNDARY OF OFFICIAL RECORDS BOOK 4415, PAGE 1806; RUN THENCE ALONG SAID SOUTH LINE, S89°06'25"E, 914.79 FEET TO THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 7 AND ALONG THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 8, S89°14'24"E, 1,330.47 FEET TO THE EAST LINE OF THE WEST 1/4 OF SAID SECTION 8; THENCE ALONG SAID EAST LINE, N00°42'44"E, 2,636.42 FEET TO THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE N00°46'31"E, 1,343.41 FEET TO THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING SAID EAST LINE AND ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE NORTHWEST 1/4, S89°40'49"E, 1,331.19 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING SAID SOUTH LINE AND ALONG THE EAST LINE OF SAID NORTHEAST 1/4 OF THE NORTHWEST 1/4, N00°44'42"E, 1,343.27 FEET TO THE NORTHEAST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4; THENCE DEPARTING SAID EAST LINE AND ALONG THE NORTH LINE OF SAID NORTHEAST 1/4 OF THE NORTHWEST 1/4, N89°39'42"W, 1,330.49 FEET TO THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 5; THENCE DEPARTING SAID NORTH LINE AND ALONG THE EAST LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, N00°34'38"E, 1,263.10 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF COUNTY ROAD 466-A, AS PER OFFICIAL RECORDS BOOK 4271, PAGE 1960, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE DEPARTING SAID EAST LINE AND ALONG SAID SOUTHERLY RIGHT-OF-WAY, N89°14'18"W, 1,118.09 FEET TO THE EAST LINE OF THE WEST 210.00 FEET OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE NORTHEAST CORNER OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 27; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY, ALONG SAID EAST LINE OF THE WEST 210.00 FEET AND THE EASTERLY BOUNDARY OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 27, S00°42'41"W, 1,271.43 FEET TO THE POINT OF BEGINNING.
CONTAINING 205.76 ACRES, MORE OR LESS.

MASTER DEVELOPMENT AGREEMENT

THIS AGREEMENT is entered into and made as of the ____th day of _____, 2018, between the **CITY OF FRUITLAND PARK, FLORIDA, a Florida municipal corporation**, (hereinafter referred to as the "City"), and First Baptist Church of Leesburg, Inc. (hereinafter referred to as the "Owner").

RECITALS

1. The Owner desires to rezone approximately 205.76 ± acres of property within the City of Fruitland Park, described and depicted as set forth on Exhibit "A" attached to and incorporated in this Agreement (hereafter referred to as the "Property").

2. The Property is currently located within the City of Fruitland Park and is currently zoned "General Commercial" (C-2), Public Facilities District (PFD), Single Family Medium Density Residential (R-2), High Density Residential/Neighborhood Commercial (R-3A), and Greenbelt District (GB) with a future land use designation on the City of Fruitland Park Future Land Use Map of "Mixed Community."

3. Owner has filed applications for rezoning for the Property as a mixed use planned unit development.

4. Owner represents that it is the sole legal owner of the Property and that it has the full power and authority to make, deliver, enter into, and perform pursuant to the terms and conditions of this Agreement and has taken all necessary action to authorize the execution, delivery, and performance of the terms and conditions of this Agreement.

5. The City of Fruitland Park has determined that the rezoning of the Property and the proposal for its development presents, among other things, an opportunity for the City to secure quality planning and growth, protection of the environment, and a strengthened and revitalized tax base.

6. Owner will fund certain public improvements and infrastructure to facilitate the development of the Property.

7. The Property is within the City's Chapter 180, Florida Statutes, utility district, and Owner has requested and City desires to provide water and sewer as well as other municipal services to the Property.

ACCORDINGLY, in consideration of the mutual benefits and the public interest and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

Section 1. Recitals. The above recitals are true and correct, are hereby incorporated herein by reference, and form a material part of this Agreement. All exhibits to this Agreement are hereby deemed a part thereof.

Section 2. Conditions Precedent. Owner has filed an application for rezoning for the Property. It is understood and agreed to by the City and the Owner that this Agreement shall not be binding or enforceable as to any party unless and until: a) the City duly adopts the Agreement and adopts an ordinance rezoning the Property. The parties hereto understand and acknowledge that the City is in no way bound to rezone the Property. The City shall have the full and complete right to approve or deny the application for rezoning.

Section 3. Land Use/Development. Development of the Property shall be substantially consistent with the "Conceptual Site Plan" prepared by Florida Engineering Group, Inc., dated _____, and attached as **Exhibit "B"** (the "Plan"). The project shall be developed as a senior (age 55+) mixed use community. All development shall be consistent with City's "PUD" (Planned Unit Development/Mixed Use) zoning district and, subject to City approval. As set forth further below, all land use issues addressed herein must be adopted by City through its regular procedures before being effective.

Section 4. Permitted Uses. Permitted Uses shall include:

- a. Single family detached residential dwelling units.
- b. Duplex (Villa) dwelling units.
- c. Single family attached residential dwelling units meeting the R-3 standards.
- d. Multi-family residential dwelling units meeting the R-3 standards.
- e. Adult Congregate Living Facilities. The maximum number of beds shall not exceed 150.
- f. Nursing homes. The maximum number of beds shall not exceed 60.
- g. Church/Religious Facilities.
- h. All permitted C-1 uses.
- i. Convenience Store with fuel operations.
- j. Restaurants.
- k. Banks.
- l. Athletic/Sports Facilities.
- m. Residential units shall not exceed 900 units.
- n. Passive and Active Recreation Facilities.
- o. Total Commercial Square footage shall not exceed 190,000 square feet.
- p. Total Institutional Square footage shall not exceed 180,000 square feet which includes Adult Congregate Living Facilities, Nursing homes and Church/Religious Facilities.
- q. The residential units may be converted to the Adult Congregate Living Facilities or a Nursing home based on one (1) unit equals three (3) beds; however, in no case shall the maximum number of beds be exceeded as stated in item e and f above.

Section 5. Residential Development Standards. Development Standards shall be as follows:

- a. The minimum living area shall be 1,000 square feet for the single family detached homes.
- b. The minimum lot size shall be 4,000 square feet for the detached single family homes.
- c. Minimum lot size for detached single-family shall be 40 feet with a lot depth of 100 feet.
- c. Minimum Setback requirements for detached residential units shall be:

Front: Local Roadways - Twenty feet (20')
Garage Setback from Roadway - Twenty-five feet (25')

Side: Local Roadways - Twenty feet (20')
Another Lot - Five feet (5')

Rear: Local Roadway- Twenty feet (20')
Another Lot - Twenty feet (20')

Accessories Setback: All accessory structures shall be located no closer to the property line than five feet (5').

- d. Minimum lot size shall be 4,000 square feet for duplex/villa single-family homes (duplex, villas).
- e. The minimum lot size for duplex/villas shall be 40 feet with a lot depth of 100 feet.
- f. Minimum Setback requirements for duplex/villa single family residential units shall be:

Front: Local Roadways - Twenty feet (20')
Garage Setback from Roadway - Twenty-five feet (25')

Side: Local Roadways - Twenty feet (20')
Another Lot - 0' feet for common walls

Rear: Local Roadway - Twenty feet (20')
Another Lot - Twenty feet (20')

Accessories Setback: All accessory structures shall be located no closer to the property line than five feet (5'). In those areas where the buffer width is greater than five feet (5') and is part of the lot, all accessory structures shall be located outside of the buffer area.

Minimum distance between single-family detached and single family attached structures shall be 10 feet (10') measured from building wall to building wall.

- g. Multi-family development shall meet the R-3 zoning development standards.
- h. Maximum building height shall be limited to thirty five feet (35') for single family; however, if adequate fire protection measures are provided the height limitation may be exceeded, as determined by the City Fire Inspector and Building Official.
- i. Maximum building height for the multi-family uses (garden apartments and condominiums) shall not exceed 5 stories including parking garage provided adequate fire protection measures are provided as determined by the City Fire Inspector and Building Official.
- j. Parking: The Applicant will be required to meet the parking requirements of the Fruitland Park Land Development Code for the proposed residential uses except as provided below:

Multi-Family Residential - 1.5 spaces per unit
Single Family Attached Residential - 1.5 spaces per unit

Section 7. Residential Design Standards. Design Standards shall be as follows:

- a. Architectural features - All buildings shall utilize at least three of the following design features to provide visual relief along all elevations of the single family units. Garage vehicle doors shall incorporate the following elements: raised decorative panels, decorative glass panels or panes, decorative hinges, etc. Front doors shall incorporate the following decorative elements: raised decorative panels, decorative glass panels or panes, decorative handles, etc. Designs may vary throughout the development.
 - 1) Dormers
 - 2) Gables
 - 3) Recessed or raised entries
 - 4) Covered porch entries
 - 5) Cupolas
 - 6) Pillars or decorative posts
 - 7) Bay window (minimum 12 inch projections)
 - 8) Eaves (minimum 6-inch projections)
 - 9) Front windows with arched glass tops and minimum 4-inch trim.

- b. Building Materials - Exterior building materials contribute significantly to the visual impact of a building on the community. These materials shall be well designed and integrated into a comprehensive design style for the project. The total exterior wall area of each building elevation shall be composed of one of the following:
 - 1) At least thirty-five percent (35%) full-width brick or stone (not including window and door areas and related trim areas), with the balance being any type of lap siding and/or stucco.
 - 2) At least thirty percent (30%) full-width brick or stone, with the balance being stucco and/or a "cementitious" lap siding. (A "cementitious" lap siding product is defined as a manufactured strip siding composed of cement-based materials rather than wood fiber-based or plastic-based materials. For example, Masonite or vinyl lap siding would not be allowed under this option.)
 - 3) All textured stucco, provided there are unique design features such as recessed garages, tile or metal roofs, arched windows etc. in the elevations of the buildings or the buildings are all brick stucco. Unique design features shall be reviewed by the Community Development Director for compliance.

Section 8. Commercial and Institutional Development Standards. Development Standards shall be as follows:

- a. Minimum Setback requirements for commercial shall be:

Front: CR 466A - Fifty feet (50')
Local Roadways - Twenty feet (20')
Side: Local Roadways - Twenty feet (20')
Another Lot - Ten feet (10')

A zero (0) side setback is allowed on one side provided there is a minimum

ten feet setback on the opposite side and provided requirements for fire and building codes are met.

Rear: Local Roadway- Twenty feet (20')

Another Lot - Twenty feet (20')

Accessories Setback: All accessory structures shall be located no closer to the property line than ten feet (10').

Required landscape buffers shall supersede the minimum dimensions permitted by this Section.

- b. The maximum impervious surface ratio for the property (which includes building coverage) shall be limited to eighty percent (80%).
- c. Maximum building height shall be limited to fifty feet (50') or four (4) stories provided that adequate fire protection measures are provided as determined by the City Fire Inspector and Building Official.
- d. Maximum building height shall be limited to ninety-five feet (95') for accessory decorative structures such as, but not limited to, steeples or spires.
- e. Parking: The Applicant will be required to meet the parking requirements of the Fruitland Park Land Development Regulations for the proposed uses.
- f. Commercial access: Access to the commercial development areas shall be primarily from the entrance boulevard with access to CR 466A. Pedestrian access shall be provided from the residential areas to the commercial area utilizing a trail system which shall be reviewed during the site plan or subdivision review process.

Section 9. **Commercial and Institutional Design Standards.** The Applicant shall be required to meet the nonresidential design standard requirements of the Fruitland Park Land Development Regulations.

Section 10. **Development Phasing.** The proposed project may be constructed in phases in accordance with the Planned Unit Development Master Plan (attached as part of these conditions). Changes to the Development Plan, other than those conditions described in this agreement, shall be revised in accordance with the Planned Unit Development review process.

Section 11. **Site Access and Transportation Improvements.** Vehicular access to the project site shall be provided by a minimum of two access points, one primary access on CR 466A and one access on Pine Ridge Dairy Road. The primary access shall be through a divided landscaped boulevard type road. Actual location and design of the boulevard shall be determined during the Site Plan and/or Preliminary Subdivision Plan review process and shall include consideration of sidewalks on one side of the boulevard, recreation paths etc. Other potential vehicular and pedestrian accesses will be reviewed during the development review process.

- a. The Permittee shall provide all necessary improvements/signalization within and adjacent to the development as required by Lake County and City of Fruitland Park.
- b. All roads within the development shall be designed and constructed by the developer to meet the City of Fruitland Park requirements.

- c. Sidewalks shall be provided on sides of the local internal roads and shall provide cross connections to all recreation and residential areas. Internal road rights-of-ways shall be of sufficient width to contain the sidewalks. Location of sidewalks shall be determined during the Preliminary Subdivision Plan review process. All sidewalks shall be constructed in accordance with City of Fruitland Park Codes.
- d. The City of Fruitland Park will not be responsible for the maintenance or repair of any of the roads or transportation improvements. The Permittee shall establish an appropriate legal entity that will be responsible to pay the cost and perform the services to maintain the roads and transportation improvements.
- e. Should the Permittee desire to dedicate the proposed project's internal road system to the City of Fruitland Park; the City, at its discretion, may accept or not accept the road system. Prior to acceptance, the Permittee shall demonstrate to the City the road system is in suitable condition and meets City of Fruitland Park requirements. As a condition of accepting the roadway system the City may create a special taxing district or make other lawful provisions to assess the cost of maintenance of the system to the residents of the project, and may require bonds or other financial assurance of maintenance for some period of time
- f. A traffic/transportation study shall be submitted prior to preliminary plan approval for review and determination of any necessary access improvements if required by Lake County. Said improvements will be the responsibility of the Permittee.
- g. At such time that traffic signals are warranted at the proposed project entrance, the Permittee shall pay their pro-rata share of the cost of the signal(s) as determined by City staff.

Section 12. Lighting. All exterior lighting shall be arranged to reflect light away from adjacent properties to the greatest extent possible while providing lighting adequate to ensure safety on road right of way and parking areas.

Section 13. Water, Wastewater, and Reuse Water. Subject to the terms herein, Owner and their successors and assigns agree to obtain water, reuse water, irrigation water, and wastewater service (hereafter, "Utilities") exclusively through purchase from City when available. Owner covenants and warrants to City that it will not engage in the business of providing such Utilities to the Property or within City's F.S. Chapter 180 utility district. Notwithstanding the foregoing, private wells for irrigation purposes will be allowed within the Property so long as such wells are approved and permitted by the St. Johns River Water Management District (the "District") and comply with the rules and regulations of the District. Owner shall construct, at Owner's expense, all on-site utility facilities (e.g. lift stations and lines) as well as pay for the extension of facilities from City's current point of connection. Owner shall also construct, at Owner's expense, "dry" utility lines for reclaimed water purposes. All such improvements must be constructed to City requirements and transferred to City as a contribution in aid of construction.

Section 14. Impact Fees. Owner shall be required to pay impact fees as established by City from time to time. Notwithstanding the foregoing, Owner shall pay water and wastewater impact fees at the rate of \$3,080.00 per ERU for wastewater (sewer) and \$985.00 per ERU for water.

Owner agrees to pay all other impact fees and any impact fees adopted after the execution of this Agreement as building permits are issued. If impact fees increase from the time they are paid until the building permit is issued, Owner shall pay the incremental increased amount at the time building permits are issued. Prepayment of utility impact fees and acceptance by City of such fees

shall reserve capacity. No capacity is reserved until or unless such fees have been paid pursuant to an agreement with City. Owner agrees and understands that no capacity has been reserved and that Owner assumes the risk that capacity will be available. Accordingly, if capacity is available at the time of site plan and City is willing to allocate such capacity to Owner, Owner shall enter into a reservation agreement and any other utility agreements or easements related to the Property as requested by City from time to time.

Section 15. Easements. Owner shall provide the City such easements or right of way in form acceptable to the City Attorney, as the City deems necessary for the installation and maintenance of roads, sidewalks, bikeways, street lighting or utility services, including but not limited to sewer, water, drainage and reclaimed water services.

Section 16. Landscaping/Buffers. Developer has reviewed City's Land Development Regulations relating to landscaping and agrees to comply with such regulations. Owner shall install and maintain a twenty-five foot (25') landscape buffer along CR 466A; and a twenty-five foot (25') buffer along property boundaries abutting existing residential as shown on the Conceptual Plan consisting of four (4) canopy trees, two (2) understory trees, and fifteen (15) shrubs per one hundred feet (100'); however, no buffer shall be required along the perimeter boundary adjacent to the wetlands. A fifteen foot (15') native buffer shall be provided onsite adjacent to the wetlands. All landscaping and tree protection shall comply with Chapter 164 of the City of Fruitland Park Land Development Regulations.

Owner shall, at its sole expense, install underground irrigation systems on all common areas of the Property, as well as exercise any other measures reasonably necessary to ensure the long-term maintenance of the landscaping.

Owner shall design and construct, at its sole expense, the interior landscaped areas and islands within the parking areas of the Property in accordance with all applicable City of Fruitland Park Land Development Regulations. Owner shall maintain such areas.

Owner acknowledges City's goal of achieving a greater level of tree preservation within the City. In aid of such goal, Owner agrees to comply with all applicable City of Fruitland Park Land Development Regulations pertaining to tree removal and replacement.

Section 17. Stormwater Management. Owner agrees to provide at Owner's expense a comprehensive stormwater management system consistent with all regulatory requirements of the City and the St. John's River Water Management District. Impacts to flood plains are allowed in accordance with the Water Management District procedures for compensating storage and will be based on the 100-year floodplain established by Lake County.

Section 19. Other Municipal Facilities/Services. The City hereby agrees to provide, either directly or through its franchisees or third party providers, police and fire protection, emergency medical services, and solid waste collection, disposal, and recycling services to the Property under the same terms and conditions and in the same manner as are afforded to all other commercial property owners within the City.

Section 20. Environmental Considerations. The Owner agrees to comply with all federal, state, county, and city laws, rules and regulations regarding any environmental issues affecting the Property.

Section 21. Signage. Owner shall submit a master sign plan as a component of the final site plan (i.e., construction plan) application for the Property. Such plan shall be in compliance with all applicable regulations contained within the City of Fruitland Park Land Development

Regulations, unless City grants a waiver or variance pursuant to the City's Land Development Regulations. Alternatively, the Owner, in the Owner's discretion, may apply to amend the PUD to incorporate a Master Signage Plan at the time that the Owner desires to install signage at the development.

Section 22. Title Opinion. Owner shall provide to City, in advance of the City's execution of this Agreement, a title opinion of an attorney licensed in the State of Florida, or a certification by an abstractor or title company authorized to do business in the State of Florida, showing marketable title to the Property to be in the name of the Owner and showing all liens, mortgages, and other encumbrances not satisfied or released of record.

Section 23. Compliance with City Laws and Regulations. Except as expressly modified herein, all development of the Property shall be subject to compliance with the City Land Development Regulations and City Code provisions, as amended, as well as regulations of county, state, local, and federal agencies. All improvements and infrastructure shall be constructed to City standards.

Section 24. Due Diligence. The City and Owner further agree that they shall commence all reasonable actions necessary to fulfill their obligations hereunder and shall diligently pursue the same throughout the existence of this Agreement. The City shall further provide all other municipal services to the Property as are needed by Owner from time to time in accordance with the City's applicable policies for the provision of said services.

Section 25. Enforcement/Effectiveness. A default by either party under this Agreement shall entitle the other party to all remedies available at law. This is a non-statutory development agreement which is not subject to or enacted pursuant to the provisions of Sections 163.3220 - 163.3243, *Florida Statutes*.

Section 26. Governing Law. This Agreement shall be construed in accordance with the laws of the State of Florida and venue for any action hereunder shall be in the Circuit Court of Lake County, Florida.

Section 27. Binding Effect; Assignability. This Agreement, once effective, shall be binding upon and enforceable by and against the parties hereto and their assigns. This Agreement shall be assignable by the Owner to successive owners. Owner shall, however, provide written notice to the City of any and all such assignees. The rights and obligations set forth in this Agreement shall run with the land and be binding on all successors and/or assignees. Owner consents to the placement of a claim of lien on the Property upon default in payment of any obligation herein without precluding any other remedies of City. The parties hereby covenant that they will enforce this Agreement and that it is a legal, valid, and binding agreement.

Section 28. Waiver; Remedies. No failure or delay on the part of either party in exercising any right, power, or privilege hereunder will operate as a waiver thereof, nor will any waiver on the part of either party or any right, power, or privilege hereunder operate as a waiver of any other right, power, privilege hereunder, not will any single or partial exercise of any right, power, or privilege hereunder preclude any other further exercise thereof or the exercise of any other right, power, or privilege hereunder.

Section 29. Exhibits. All exhibits attached hereto are hereby incorporated in and made a part of this Agreement as if set forth in full herein.

Section 30. Notice. Any notice to be given shall be in writing and shall be sent by certified mail, return receipt requested, to the party being noticed at the following addresses or such other address as the parties shall provide from time to time:

| | |
|---------------------|--|
| As to City: | City Manager City of Fruitland Park 506 W. Berckman Street Fruitland Park, Florida 34731 352-360-6727 Telephone |
| Copy to: | Chris Cheshire, City Mayor City of Fruitland Park 506 W. Berckman Street Fruitland Park, Florida 34731 352-360-6727 Telephone Anita Geraci-Carver Law Office of Anita Geraci-Carver, P.A. 1560 Bloxam Avenue Clermont, Florida 34711 352-243-2801 Telephone 352-243-2768 Facsimile |
| As to Owner: | First Baptist Church of Leesburg, Inc. 220 W. 13 th Street Leesburg, FL 34748-4962 |
| Copy to: | |
| | |

Section 31. Entire Agreement. This Agreement sets forth all of the promises, covenants, agreements, conditions, and understandings between the parties hereto, and supersedes all prior and contemporaneous agreements, understandings, inducements or conditions, express or implied, oral or written, except as herein contained. However, the failure of this Agreement to address a particular permit, condition, term, or restriction shall not relieve Owner from complying with the law governing said permitting requirements, conditions, terms or restrictions.

Section 32. Term of Agreement. The term of this Agreement shall commence on the date this Agreement is executed by both the City and Owner, or the effective date of the annexation of the Property, whichever occurs later, and shall terminate twenty (20) years thereafter; provided, however, that the term of this Agreement may be extended by mutual consent of the City and the Owner, subject to a public hearing.

Section 33. Amendment. Amendments to the provisions of this Agreement shall be made by the parties only in writing by formal amendment.

Section 34. Severability. If any part of this Developer's Agreement is found invalid or unenforceable in any court, such invalidity or unenforceability shall not effect the other parts of this Developer's Agreement, if the rights and obligations of the parties contained herein are not materially prejudiced and if the intentions of the parties can be effected. To that end, this Developer's Agreement is declared severable.

IN WITNESS WHEREOF, the Owner and the City have executed this Agreement as of the day and year first above written.

**SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF:**

Witness Signature

By: _____
Signature

Print Name

Print Name

Witness Signature

Signature

Print Name

Print Name

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this ____ day of _____ by _____ and _____ who are personally known to me or who have produced _____ as identification and who did (did not) take an oath.

Notary Public
Notary Public - State of Florida
Commission No _____
My Commission Expires _____

ACCEPTED BY THE CITY OF
FRUITLAND PARK

Approved as to form and
Legality for use and reliance
by the City of Fruitland Park

By: _____
Chris Cheshire, Mayor

Date: _____

Anita Geraci-Carver
City Attorney
This instrument prepared by:

ATTEST: _____
Esther B. Coulson
City Clerk

STATE OF FLORIDA

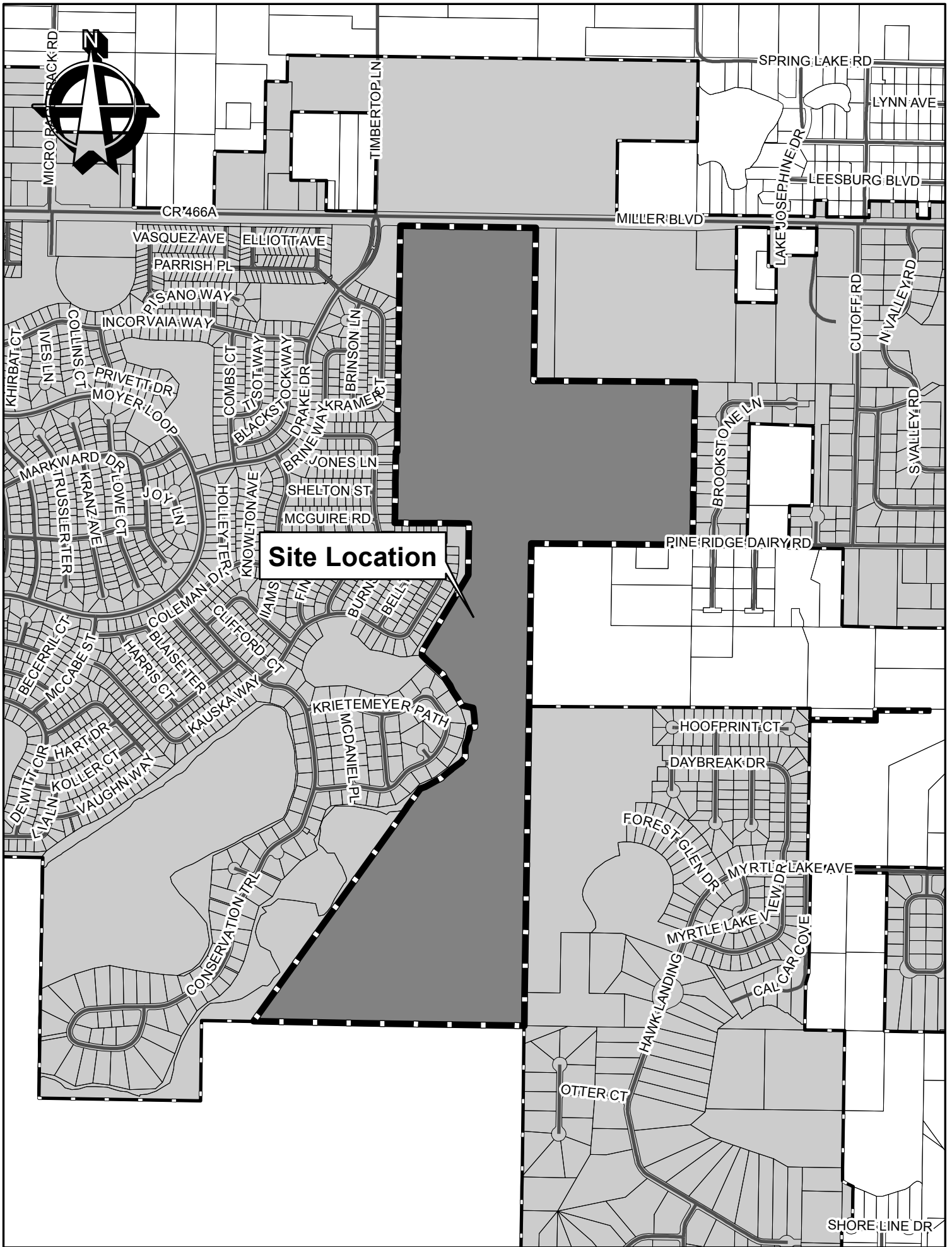
COUNTY OF LAKE

The foregoing instrument was acknowledged before me this ____ day of _____ by _____, _____, City Clerk of the City of Fruitland Park, Florida, who are personally known to be me and they acknowledge executing the same freely and voluntarily under authority vested in them and that the seal affixed thereto is the true and corporate seal of the City of Fruitland Park, Florida.

Notary Public
Notary Public - State of Florida
Commission No _____
My Commission Expires _____

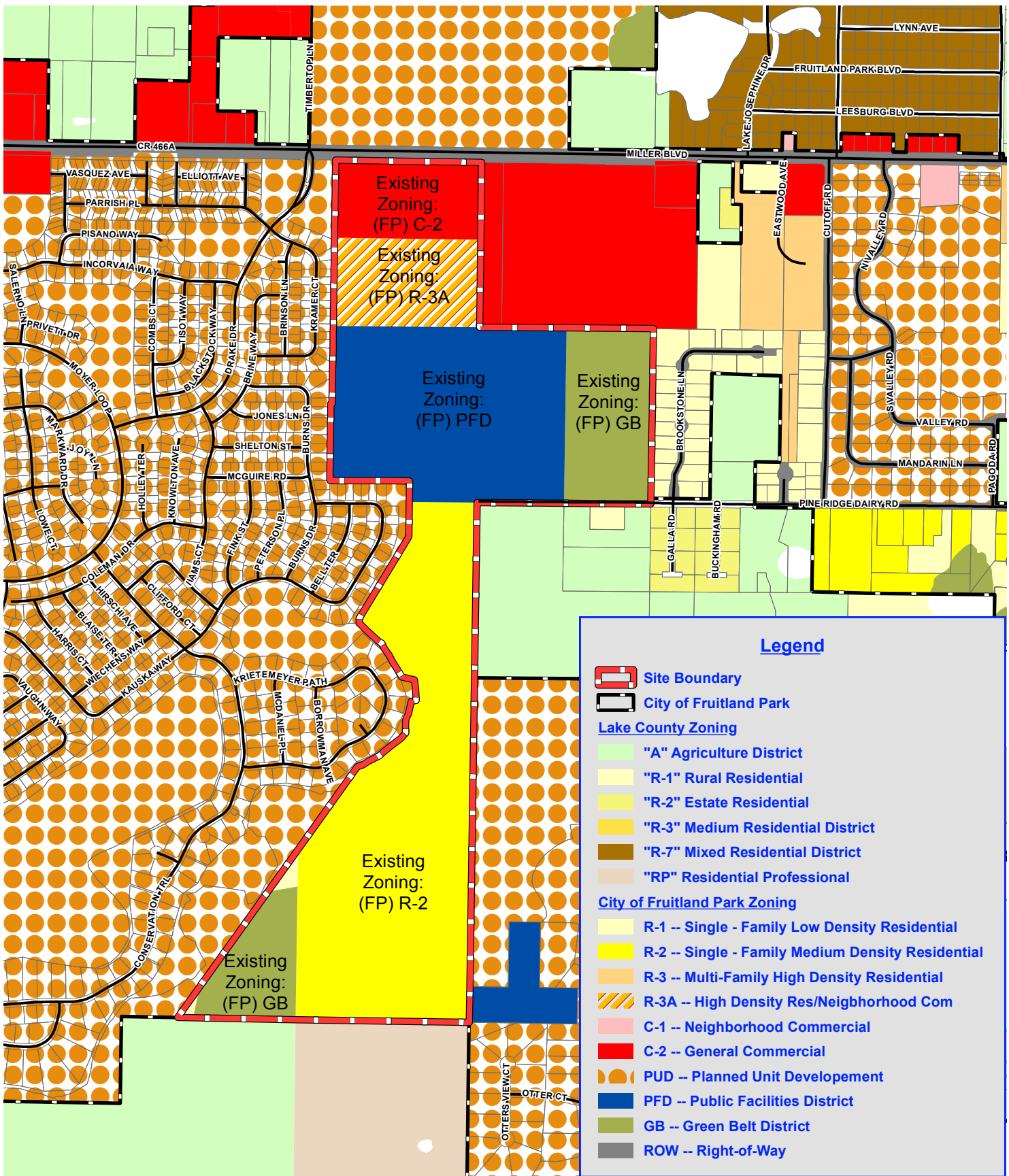
EXHIBIT "A"
LEGAL DESCRIPTION

EXHIBIT "B"
THE PLAN



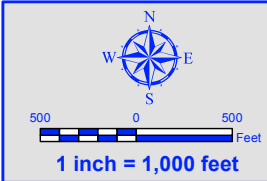
Site Location

MICRO BACK RD
CR'466A
VASQUEZ AVE
ELLIOTT AVE
PARRISH PL
RISANO WAY
INCORVAIA WAY
COLINS CT
PRIVETT DR
MOYER LOOP
MARKWARD DR
TRUSSERTER
KRAZANE
DR TOWE CT
JOY LN
COMBS CT
T SOT WAY
BLACKSTOCKWAY
BRINEWAY
KRAMER RT
BRINSON LN
JONES LN
SHELTON ST
MCGUIRE RD
HOLLEY AVE
EVAN TOWNE
KNOWTON AVE
COLEMAN DR
GLIFFORD CT
HARRIS CT
BLASETER
KAUSKA WAY
KRIEMMEYER PATH
MCDANIEL PL
CONSERVATION TRL
KHIRBAT CT
VES LN
COLINS CT
MARKWARD DR
TRUSSERTER
KRAZANE
DR TOWE CT
JOY LN
COMBS CT
T SOT WAY
BLACKSTOCKWAY
BRINEWAY
KRAMER RT
BRINSON LN
JONES LN
SHELTON ST
MCGUIRE RD
HOLLEY AVE
EVAN TOWNE
KNOWTON AVE
COLEMAN DR
GLIFFORD CT
HARRIS CT
BLASETER
KAUSKA WAY
KRIEMMEYER PATH
MCDANIEL PL
CONSERVATION TRL
DEWITT CIR
FLANN KOLLER CT
VAUGHN WAY
BECERRIL CT
MCCABE ST
HART DR
VAUGHN WAY
HARRIS CT
BLASETER
KAUSKA WAY
KRIEMMEYER PATH
MCDANIEL PL
CONSERVATION TRL
HOOFPRI CT
DAYBREAK DR
FOREST GLEN DR
MYRTLE LAKE AVE
MYRTLE LAKE VIEW DR
CALCAR COVE
HAWK LANDING
OTTER CT
SHORE LINE DR
SPRING LAKE RD
LYNN AVE
LEESBURG BLVD
LAKE JOSEPHINE DR
CUTOFF RD
N VALLEY RD
S VALLEY RD
BROOKSTONE LN
PINE RIDGE DAIRY RD



Legend

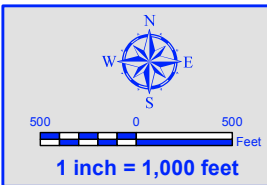
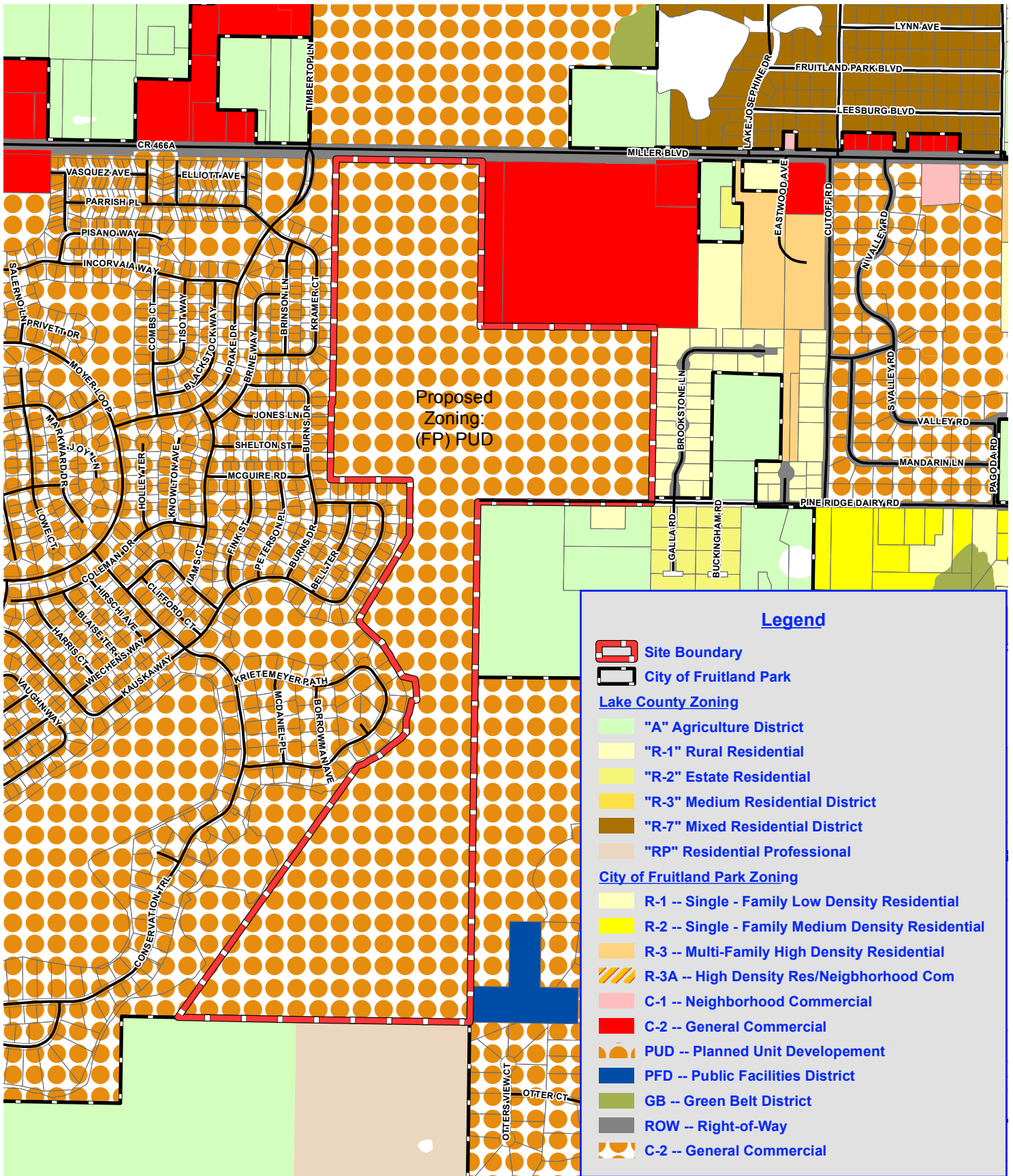
- Site Boundary
- City of Fruitland Park
- Lake County Zoning**
- "A" Agriculture District
- "R-1" Rural Residential
- "R-2" Estate Residential
- "R-3" Medium Residential District
- "R-7" Mixed Residential District
- "RP" Residential Professional
- City of Fruitland Park Zoning**
- R-1 -- Single - Family Low Density Residential
- R-2 -- Single - Family Medium Density Residential
- R-3 -- Multi-Family High Density Residential
- R-3A -- High Density Res/Neighborhood Com
- C-1 -- Neighborhood Commercial
- C-2 -- General Commercial
- PUD -- Planned Unit Development
- PFD -- Public Facilities District
- GB -- Green Belt District
- ROW -- Right-of-Way



City of Fruitland Park
First Baptist Church of Leesburg, Inc
 Lake County, Florida
 Existing Zoning

Project: 398-17-03
 File: Existing Zoning.mxd
 Name: First Baptist
 PM: Sherie Lindh
 Date: June 14, 2017
 Created By: J.Wilson





City of Fruitland Park
First Baptist Church of Leesburg, Inc
 Lake County, Florida
Proposed Zoning

Project: 398-17-03
 File: Proposed Zoning.mxd
 Name: First Baptist
 PM: Sherie Lindh
 Date: June 14, 2017
 Created By: J.Wilson



RESOLUTION 2018-004

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, GRANTING SITE PLAN APPROVAL FOR CONSTRUCTION OF A 5,954 SQUARE FEET MEDICAL OFFICE BUILDING LOCATED ON 466A IN FRUITLAND PARK, FLORIDA; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the applicant has petitioned for site plan approval to construct a 5,954 square feet building for medical office use; and

WHEREAS, the subject property owned by Larry Blevins and Carrie Ross Blevins (Alt. Key 1288215) consists of 35,624 square feet, is zoned C-2; and

WHEREAS, the Planning and Zoning Board and the City Commission of the City of Fruitland Park have considered the application in accordance with the procedures for granting Site Plan Approval set forth in Chapter 160 of the City of Fruitland Park Land Development Code, as well as Resolution 2017-008 granting setback and buffer variances for the property;

WHEREAS, the Planning and Zoning Board on December 13, 2017 recommended approval of the Site Plan;

WHEREAS, the City Commission finds that the Site Plan is in compliance with the City's land development regulations and Resolution 2017-008.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, LAKE COUNTY, FLORIDA, AS FOLLOWS:

Section 1. Granting of Site Plan Approval.

Approval of the Site Plan for, a copy of which is attached hereto, for the real property described herein is **GRANTED**.

LEGAL DESCRIPTION: THE EAST 100 FEET OF THE SOUTH 400 FEET OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 IN SECTION 6, TOWNSHIP 19 SOUTH, RANGE 24 EAST, IN LAKE COUNTY, FLORIDA, LESS THE RIGHT OF WAY FOR STATE ROAD NO. 466A

Section 2. This resolution shall take effect immediately upon its final adoption by the City Commission of the City of Fruitland Park, Florida.

PASSED AND RESOLVED this 11th day of January 2018, by the City Commission of the City of Fruitland Park, Florida.

City of Fruitland Park

Chris Cheshire, Mayor

Attest:
Esther B. Coulson, City Clerk

| | | | | | | | | |
|---------------------|-------|--------|-------|-------|-------|--------------|-------|----------|
| Mayor Cheshire | _____ | (Yes), | _____ | (No), | _____ | (Abstained), | _____ | (Absent) |
| Vice Mayor Gunter | _____ | (Yes), | _____ | (No), | _____ | (Abstained), | _____ | (Absent) |
| Commissioner Lewis | _____ | (Yes), | _____ | (No), | _____ | (Abstained), | _____ | (Absent) |
| Commissioner Ranize | _____ | (Yes), | _____ | (No), | _____ | (Abstained), | _____ | (Absent) |
| Commissioner Bell | _____ | (Yes), | _____ | (No), | _____ | (Abstained), | _____ | (Absent) |

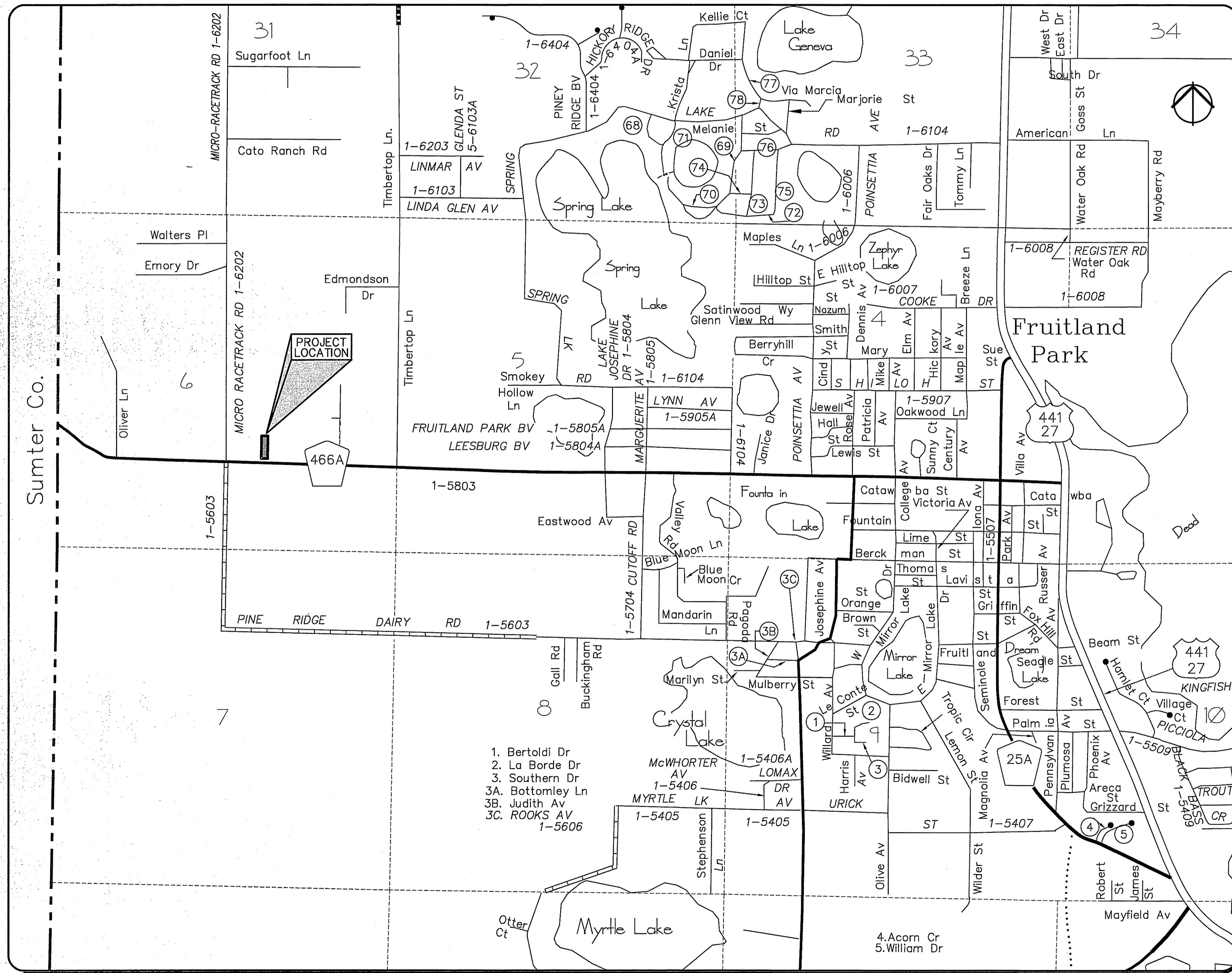
Approved as to form and legality:

Anita Geraci-Carver, City Attorney

MESOS MEDICAL OFFICE

607 COUNTY ROAD 466A FRUITLAND PARK, FLORIDA 34731

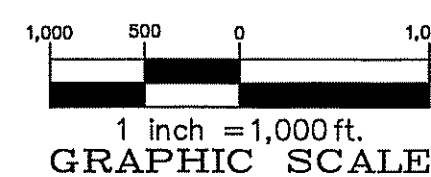
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SECTION 6, TOWNSHIP 19 SOUTH, RANGE 24 EAST



LOCATION PLAN
SCALE: 1"=1,000'



GENERAL NOTES

- BOUNDARY AND TOPOGRAPHICAL INFORMATION SHOWN ARE PER DRAWINGS PREPARED BY FARNER BARLEY AND ASSOCIATES, INC., DATED 4/21/2016.
- CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER OR ARCHITECT.
- CONTRACTOR SHALL LOCATE AND MAINTAIN IN GOOD WORKING ORDER ALL ABOVE GROUND AND BELOW GROUND UTILITIES. CONTRACTOR SHALL COORDINATE THE RELOCATION OR ALTERATION OF EXISTING UTILITIES AS MAY BE REQUIRED.
- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF FRUITLAND PARK, LAKE COUNTY PUBLIC SERVICES, FLORIDA BUILDING CODE, AND ALL OTHER APPLICABLE CODES.
- ALL DISTURBED OPEN AREAS SHALL BE SODED OR SEEDED AND MULCHED IMMEDIATELY FOLLOWING COMPLETION OF THE BUILDING CONSTRUCTION AS SHOWN ELSEWHERE IN THESE PLANS.
- CONTRACTOR SHALL SUPPLY THE ENGINEER WITH "AS-BUILT" CONDITIONS OF ACTUAL CONSTRUCTION.
- CONSTRUCTION SURVEYING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR TO PAY COST OF WET TAPS INTO CITY OF FRUITLAND PARK WATER MAIN.
- ALL WATER & SEWER LINE CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH CITY OF FRUITLAND PARK REQUIREMENTS.
- ANY SOIL MATERIAL (EITHER ON-SITE OR IMPORTED) UTILIZED FOR THE CONSTRUCTION OF RETENTION SWALES OR RETENTION PONDS SHALL BE CLEAN FINE SAND (SP) AS DEFINED BY THE UNIFIED SOIL CLASSIFICATION SYSTEM. FINES (MATERIAL PASSING THE NO. 200 SIEVE) SHALL BE LESS THAN 5%.

LEGAL DESCRIPTION

(O.R. BOOK 4244, PAGE 1092)
THE EAST 100 FEET OF THE SOUTH 400 FEET OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 IN SECTION 6, TOWNSHIP 19 SOUTH, RANGE 24 EAST, IN LAKE COUNTY, FLORIDA, LESS THE RIGHT OF WAY FOR STATE ROAD NO. 466A.

SITE DATA

TOTAL PROJECT AREA = 35,824 sq.ft. (0.82 ac.)
EXISTING IMPERVIOUS AREA = 3,353 sq.ft. (0.08 ac.)
EXISTING IMPERVIOUS AREA TO REMAIN = 0
PROPOSED IMPERVIOUS AREA = 23,588 sq.ft. (0.54 ac.)
TOTAL IMPERVIOUS AREA = 23,588 sq.ft. (0.54 ac.)
NET NEW IMPERVIOUS = 0.46 ac.
PERCENT IMPERVIOUS AREA = 66.2% (of total area)
MINIMUM OPEN SPACE = 30%
OPEN SPACE PROVIDED = 33.8%

FLOOD ZONE = "X"
ZONING = "C-2"

EXISTING USE OF SITE = RESIDENTIAL
PROPOSED USE OF SITE = MEDICAL

EXISTING BUILDING SQUARE FOOTAGE TO REMAIN = 0 sq.ft.
PROPOSED BUILDING SQUARE FOOTAGE = 5,954 sq.ft.
TOTAL BUILDING SQUARE FOOTAGE = 5,954 sq.ft.

HEIGHT OF BUILDING = 33'-3"
MAX. NUMBER OF EMPLOYEES = 10 EMPLOYEES
PARKING REQUIRED = 1 per 180 sq.ft. = 33 spaces
PARKING PROVIDED = 34 spaces

BUILDING SETBACKS: FRONT = 50'
EAST SIDE = 15'
(ALONG BUILDING) EAST SIDE = 5' (PER VARIANCE 2017-008)
WEST SIDE = 10'
REAR = 15'
(ALONG DUMPSTER) REAR = 4' (PER VARIANCE 2017-008)

LANDSCAPE BUFFERS: FRONT = 25'
EAST SIDE = 5' (PER VARIANCE 2017-008)
WEST SIDE = 4' (PER VARIANCE 2017-008)
REAR = 15'
(ALONG DUMPSTER) REAR = 4' (PER VARIANCE 2017-008)

TRAFFIC ESTIMATE:
ITE LAND USE = 720 (MEDICAL OFFICE)
ADF = 36.13 x 5,954 = 215 TRIPS PER DAY
CR 466A = 215 TRIPS PER DAY (100%)
ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

SHEET INDEX

| | |
|-----------|--------------------------------------|
| C1.1 | COVER SHEET |
| C1.2 | STORMWATER POLLUTION PREVENTION PLAN |
| C2.1 | GEOMETRY PLAN |
| C3.1 | GRADING & UTILITY PLAN |
| C4.1-C4.3 | DETAIL SHEETS |

OWNER

Carrie Blevins
Mesos Plastic Surgery & Laser Center
757 CR 466, Suite A
Lady Lake, Florida 32159
Phone (352) 259-8599

ENGINEER

Keith E. Riddle, P.E.
Riddle - Newman Engineering, Inc.
115 North Canal Street
Leesburg, Florida 34748
Phone (352) 787-7482
Fax (352) 787-7412

SURVEYOR

George W. Farner Jr.
Farner Barley and Associates, Inc.
4450 NE 83rd Road
Wildwood, Florida 34785
Phone (352) 748-3126

RIDDLE - NEWMAN ENGINEERING, INC.
115 NORTH CANAL STREET
LEESBURG, FLORIDA 34748
PHONE (352) 787-7482
FAX (352) 787-7412
keith@riddlenewman.com
CA# 00002883

**RIDDLE
NEWMAN
ENGINEERING INC.**
ESTABLISHED 1961

| | | | |
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| REV # | REV # | REV # | REV # |
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| | | | |
| | | | |

KEITH E. RIDDLE, P.E.
FLA. REGIS. NO. 38800

| | |
|-------------|---------|
| DATE | 7/13/17 |
| PROJECT NO. | 16.08 |

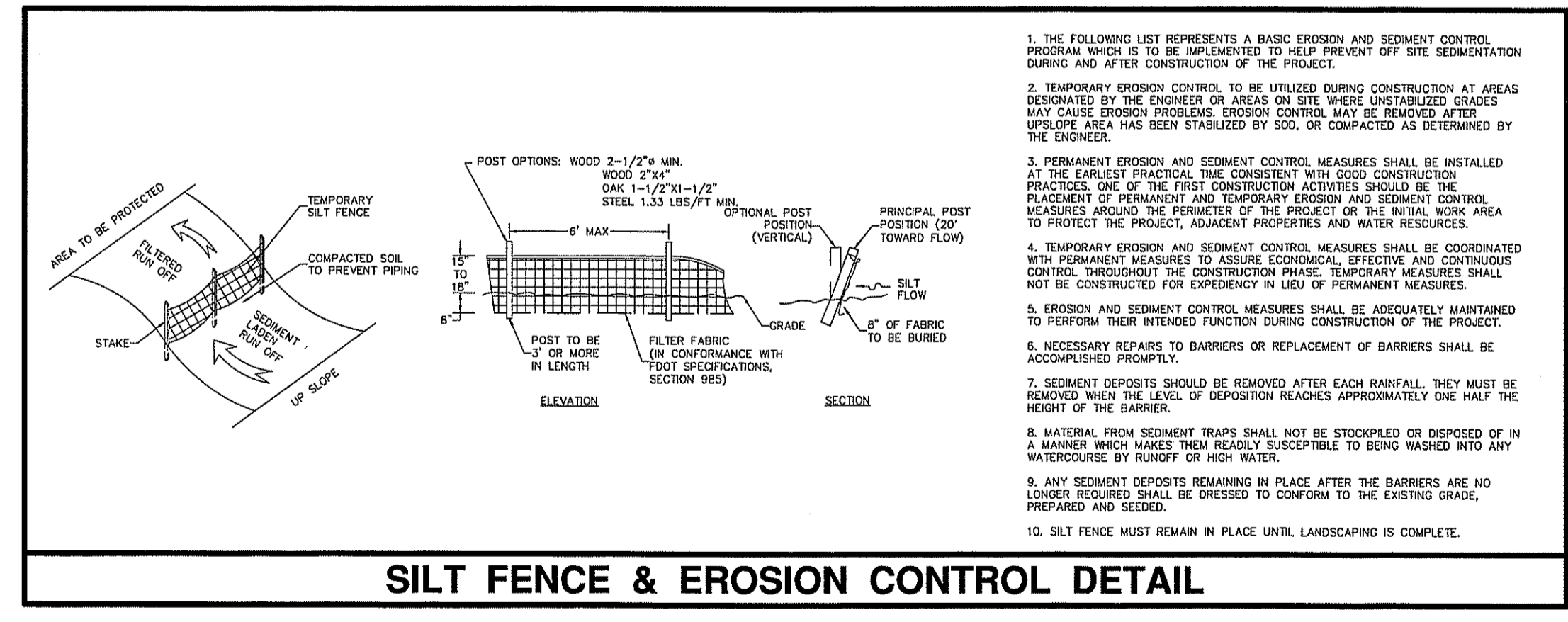
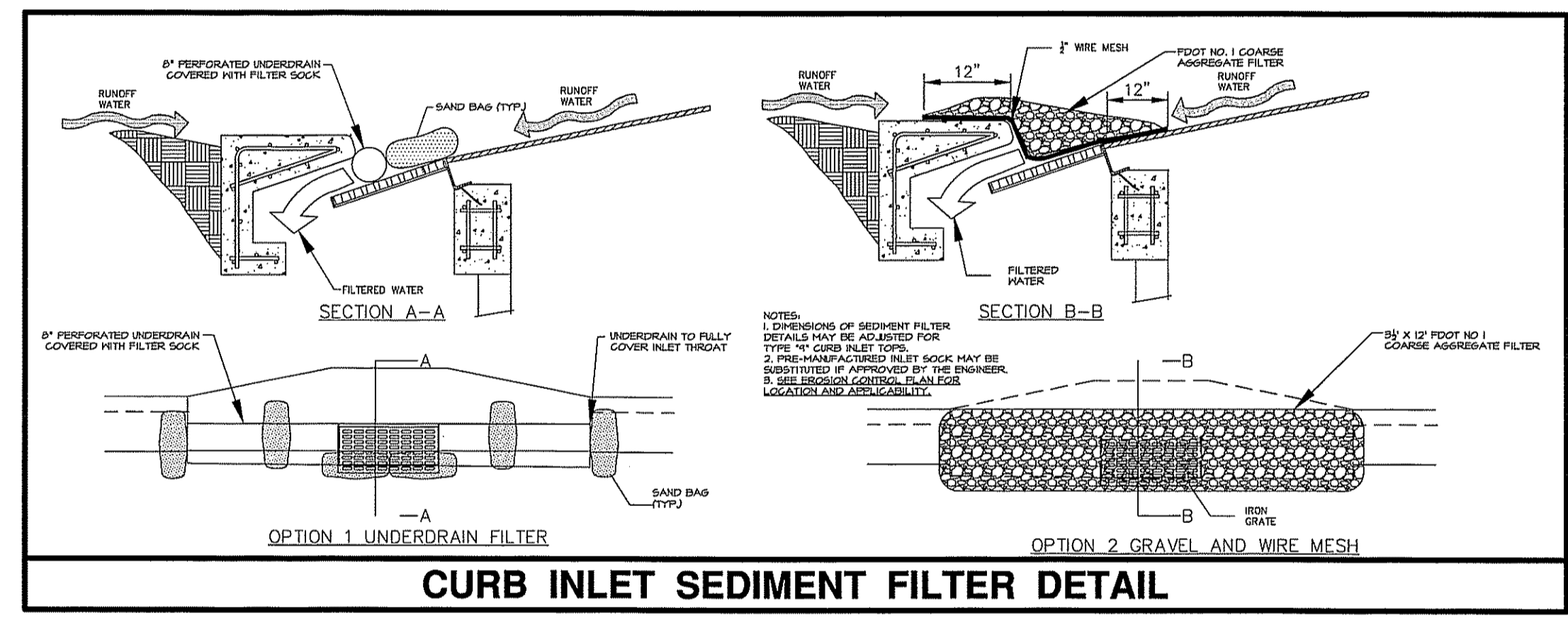
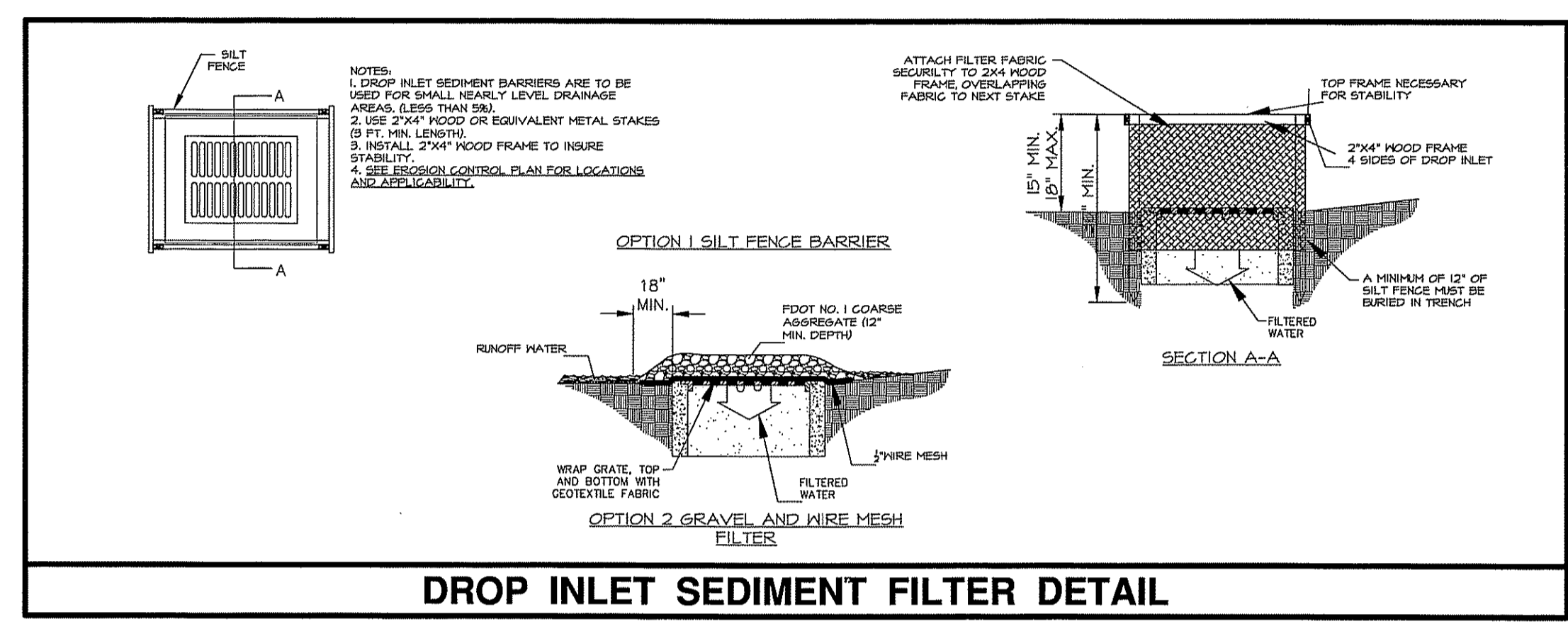
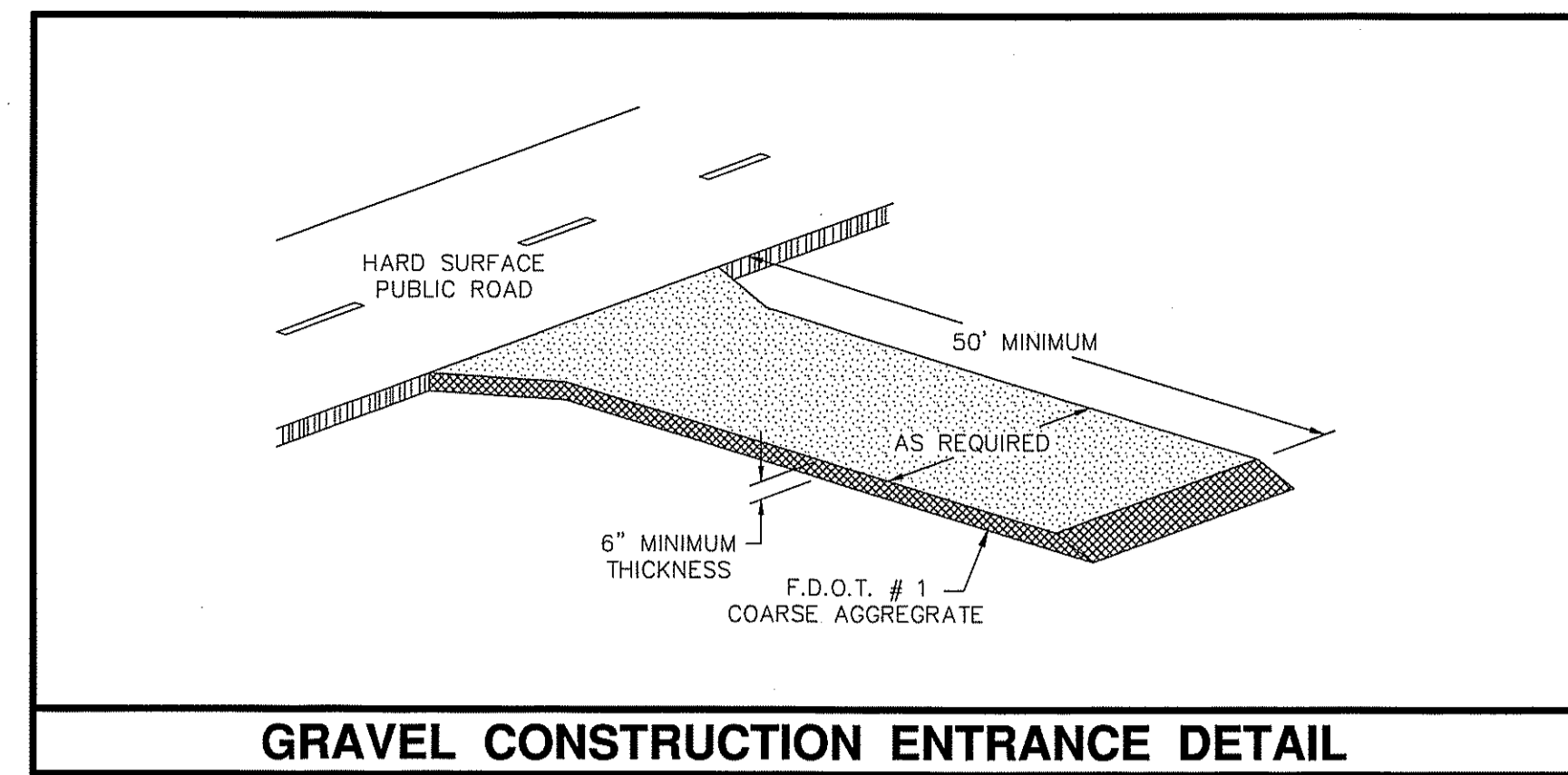
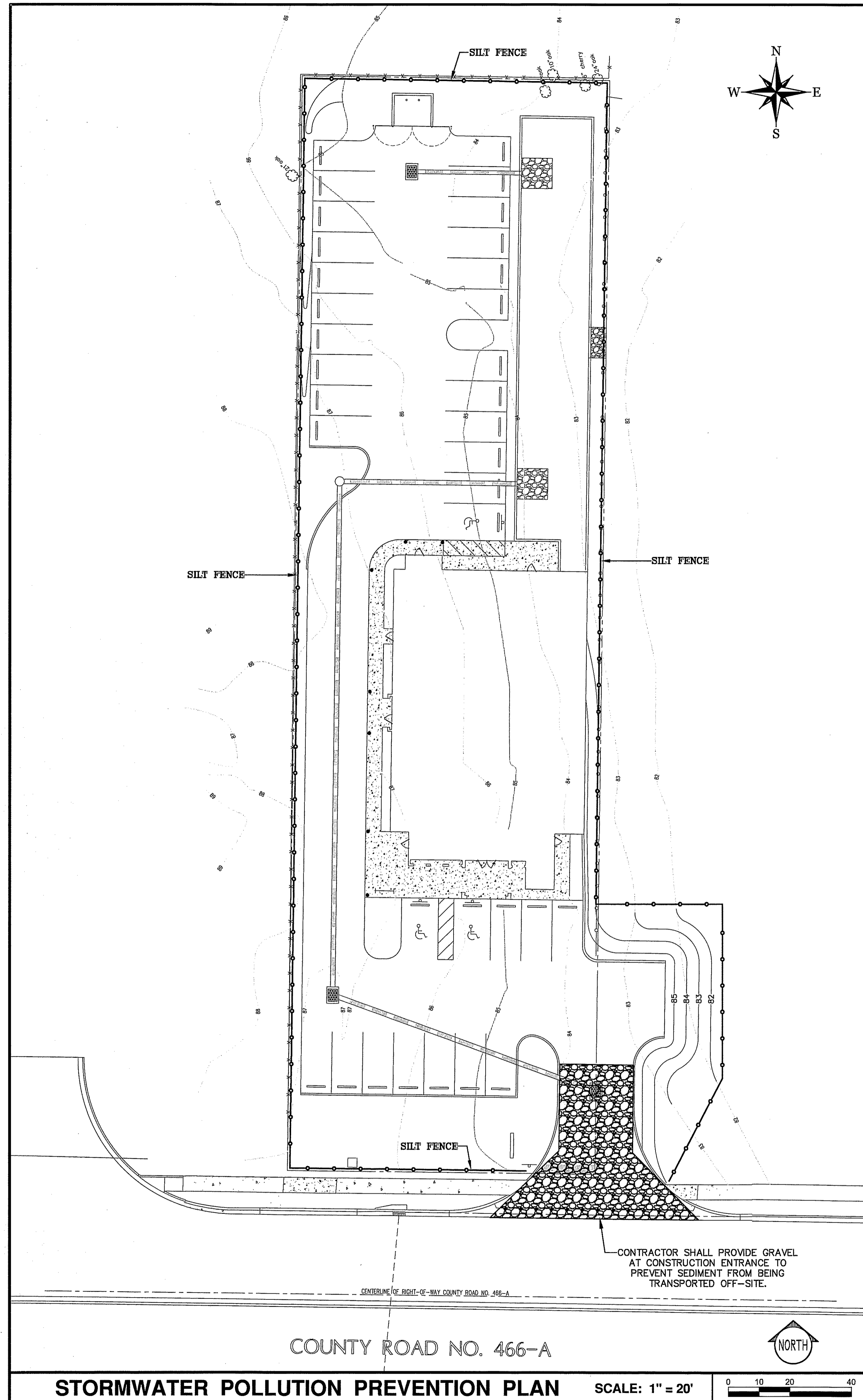
COVER SHEET
MESOS MEDICAL OFFICE
FRUITLAND PARK
FLORIDA

COVER SHEET

MESOS MEDICAL OFFICE
FRUITLAND PARK
FLORIDA

C1.1

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NPDES Requirements

- Federal Law prohibits all point source discharge of pollutants, which includes the discharge of stormwater associated with large (greater than 5 acres) construction activities or small (less than 5 acres and greater than 1 acre) construction activities, to waters of the United States without a National Pollutant Discharge Elimination System (NPDES) permit. Under the State of Florida's authority to administer the NPDES stormwater program, operators that have stormwater discharge associated with large or small construction activities to surface waters of the State, including through a Municipal Separate Storm Sewer System (MS4), i.e. Town, City or County, shall obtain coverage either under a Generic permit or an Individual permit.
- The owner will obtain the NPDES permit during the permitting process.
- The Contractor shall prepare the Storm Water Pollution Prevention Plan (SWPPP). Contractor may obtain information pertaining to the NPDES program online at www.dep.state.fl.us/water/stormwater/npdes. The Contractor shall be responsible for maintenance of the site in accordance with the SWPPP. The Contractor will be required to comply with all requirements of the SWPPP and have it posted on-site along with the Erosion Control Plan, the NPDES permit, and the completed Inspection Report Form. The Contractor shall be responsible for all erosion control practices defined in the SWPPP and associated penalties for not complying with the NPDES requirements contained in the SWPPP and the NPDES permit. The cost of all compliance related activities shall be included in the bid submitted by the Contractor.
- The NPDES permit requires at least weekly inspections of the site and inspections within 24 hours following any rainfall event exceeding 0.5" inches. The Contractor is responsible for the weekly inspections and post-rainfall event inspections and these inspections are required to be made by a "Qualified" inspector. These inspections must document compliance with the permit and the SWPPP and the inspector shall complete the Stormwater Pollution Prevention Plan Inspection Report Form. The Contractor can obtain a sample copy of the Inspection Report Form from the Engineer. The Contractor can contact the FDEP at (850) 245-7522 for additional information on qualified inspectors or additional information on the NPDES requirements.

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH FDEP NPDES STORMWATER POLLUTION PREVENTION PLAN REQUIREMENTS.

CONTRACTOR TO INSTALL DROP INLET SEDIMENT FILTER ON ALL TYPE "T" INLETS.

FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR HAY BALES, UNTIL LIMEROCK BASE IS FINISHED AND FRIMED.

RIDDLE - NEWMAN ENGINEERING, INC.
ESTABLISHED 1971

STORMWATER POLLUTION PREVENTION PLAN

MESOS MEDICAL OFFICE
FRUITLAND PARK

SHEET NO. **C1.2**

DRAWN: R.S.H. CHECKED: K.E.R. SCALE: 1"=20' DATE: 7/13/17 PROJECT NO: 16.08

REV # 1 REV # 2 REV # 3 REV # 4

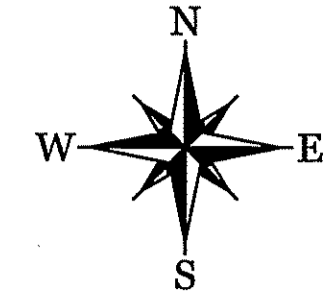
REVISED PER CITY OF FRUITLAND PARK 11/9/17 REVISED PER CITY OF FRUITLAND PARK & LAKE COUNTY 10/5/17

KEITH E. RIDDLE, P.E.
FLA. REGIS. NO. 15860

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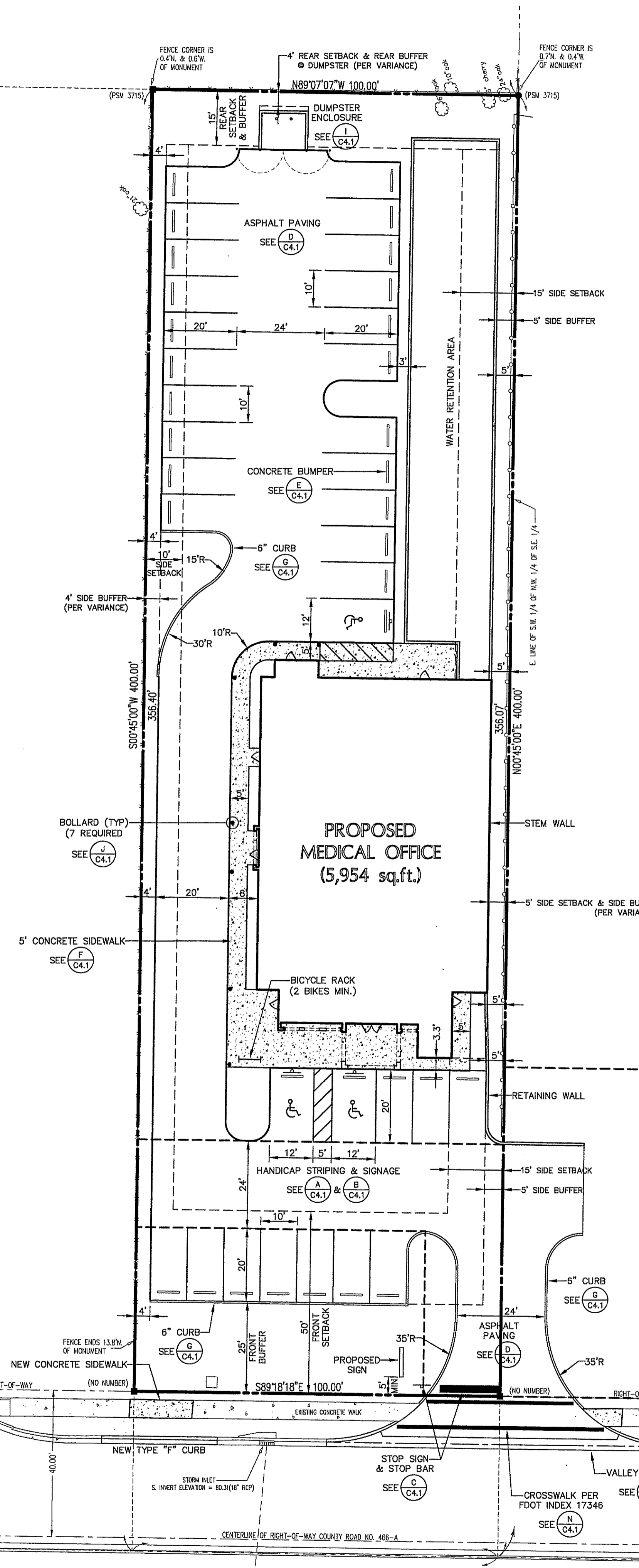
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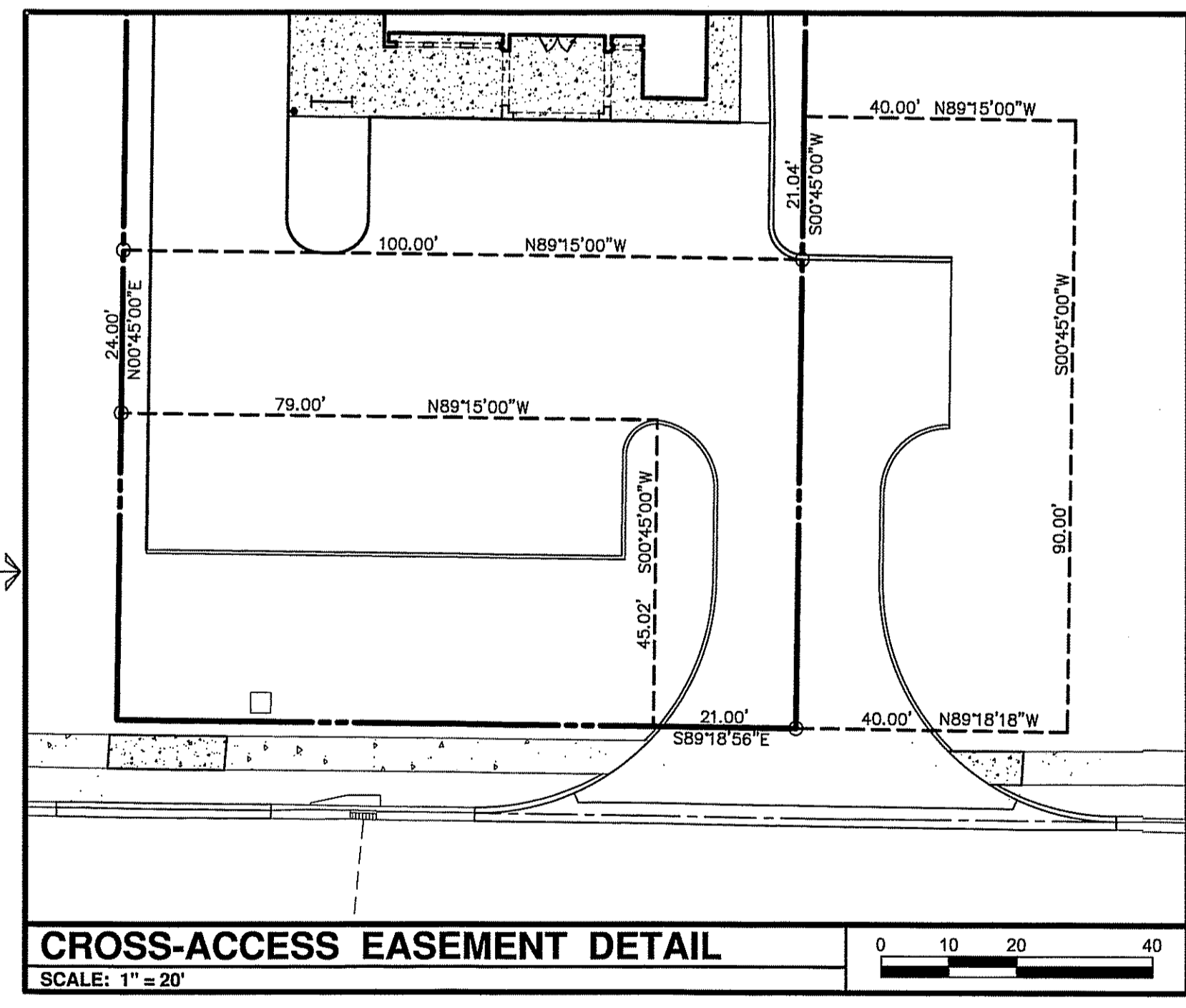
S.W. 1/4 OF N.W. 1/4 OF SE. 1/4

SE. 1/4 OF N.W. 1/4 OF SE. 1/4

| GENERAL LEGEND | |
|----------------|---|
| ■ | FOUND CONCRETE MONUMENT (NUMBER NOTED IF AVAILABLE) |
| ● | FOUND IRON PIN (NUMBER NOTED IF AVAILABLE) |
| ○ | FOUND IRON PIPE (NUMBER NOTED IF AVAILABLE) |
| △ | NAIL OR NAIL AND DISK (NUMBER NOTED IF AVAILABLE) |
| ○ | SET IRON PIN (2"Ø, LB 4709) |
| ○ | SET CONCRETE MONUMENT (4"×4", LB 4709) |
| — | GUY WIRE ANCHORS |
| ⊙ | LIGHT POLE |
| ⊙ | POWER POLE |
| ⊙ | POWER/LIGHT POLE |
| ⊙ | POWER/LIGHT/TRANSFORMER POLE |
| ⊙ | ROAD INSTRUCTION SIGN |
| ⊙ | WATER VALVE |
| ⊙ | FIRE HYDRANT |
| ⊙ | POWER CONNECTION BOX |
| ⊙ | TELEPHONE BOX |
| ⊙ | CABLE BOX/MARKER SIGN |
| ⊙ | STORM SEWER MAN HOLE |
| ⊙ | OVERHEAD UTILITY LINE |
| ⊙ | SANITARY SEWER MAN HOLE |
| — | CENTER LINE |
| — | WIRE FENCE LINE |
| — | CHAIN LINK FENCE LINE |
| — | WATER METER (d = DOUBLE) |
| — | STORM DRAIN |
| BM | BENCH MARK |
| C/B | CONCRETE BLOCK |
| CM | CONCRETE MONUMENT |
| FND | FOUND |
| IP | IRON PIPE |
| IR | IRON ROD/PIN |
| LS | REGISTERED LAND SURVEYOR NUMBER |
| LB | LICENSED BUSINESS NUMBER |
| (M) | MEASURED |
| (P) | PLATTED BEARING OR DISTANCE |
| R/W | RIGHT-OF-WAY |
| PRM | PERMANENT REFERENCE MONUMENT |
| PCP | PERMANENT CONTROL POINT |
| PT | POINT OF TANGENCY |
| PC | POINT OF CURVATURE |
| PL | POINT ON CURVE |
| PL | PLAT |
| N/D | NAIL AND DISK |
| POB | POINT OF BEGINNING |
| PB | PLAT BOOK |
| PC | PAGE |
| ORB | OFFICIAL RECORDS BOOK |
| ⊙ | WELL |
| ⊙ | SPOT ELEVATION |
| ⊙ | BENCH MARK LOCATION (WHEN APPROPRIATE) |
| ⊙ | GAS METER/MARKER POST |
| ⊙ | GAS VALVE |
| ⊙ | SANITARY SEWER VALVE |



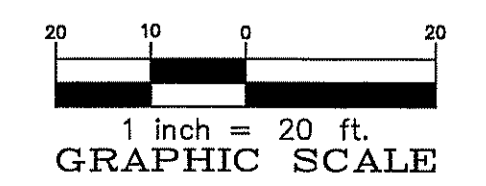
- VARIANCES (RESOLUTION 2017-008)**
- 4' REAR SETBACK FOR DUMPSTER ENCLOSURE.
 - 5' SIDE SETBACK ON EAST SIDE FOR BUILDING.
 - 4' LANDSCAPE BUFFER FOR DUMPSTER ENCLOSURE.
 - 5' LANDSCAPE BUFFER ON EAST SIDE FOR BUILDING.
 - 4' LANDSCAPE BUFFER ALONG WEST SIDE.



COUNTY ROAD NO. 466-A



GEOMETRY PLAN
SCALE: 1" = 20'



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RIDDLE - NEWMAN ENGINEERING, INC.
115 NORTH CANAL STREET
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keith@riddlenewman.com
CA# 00002883

RIDDLE NEWMAN ENGINEERING INC.
ESTABLISHED 1961

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REVISION PER CITY OF FRUITLAND PARK 11/9/17
REVISED PER CITY OF FRUITLAND PARK & LAKE COUNTY 10/3/17

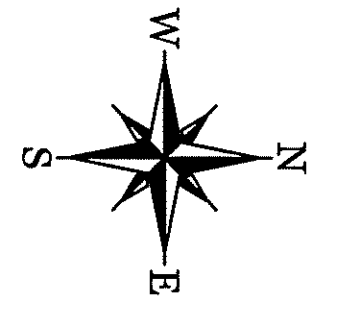
FLA. REGIS. NO. 38800
KEITH E. RIDDLE, P.E.

GEOMETRY PLAN

MESOS MEDICAL OFFICE
FRUITLAND PARK
FLORIDA

SHEET NO.
C2.1

FILE: 116.08\mesos\mesos Medical Office
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SITE PREPARATION SPECIFICATIONS (PER ANDREYEV ENGINEERING DATED 2/29/17)

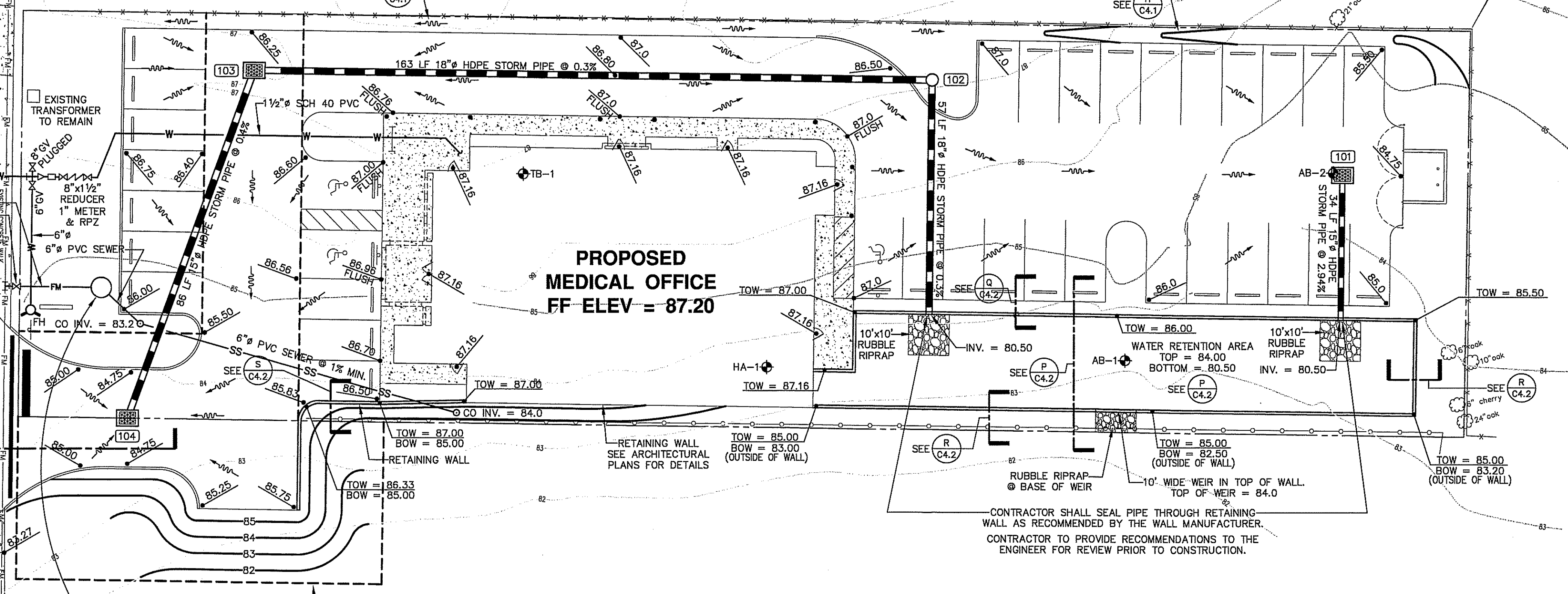
THE BUILDING AREA AND THE PARKING/DRIVE AREAS, PLUS A MINIMUM MARGIN OF 5 FEET BEYOND THEIR OUTER LINES, SHALL BE CLEARED AND STRIPPED TO REMOVE ALL SURFACE VEGETATION, ROOTS, TOPSOIL, ORGANIC DEBRIS OR ANY OTHER ENCOUNTERED DELETERIOUS MATERIALS. A TWO-FOOT SEPARATION SHALL BE MAINTAINED BETWEEN THE BOTTOM OF BUILDING SLABS AND BOTTOM OF FOOTING ELEVATIONS, WHICHEVER IS LOWER, AND THE TOP OF ANY ENCOUNTERED STRATUM 2 CLAYEY FINE SAND. AFTER CLEARING, GRUBBING, AND ANY NECESSARY ADDITIONAL SITE PREPARATION EFFORTS, THE EXPOSED SOILS FOR THE BUILDING AREA SHALL THEN BE PROOF ROLLED AND COMPACTED TO A MINIMUM OF 95% OF THE SOIL'S MODIFIED PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM SPECIFICATION D-1557 BEFORE ANY FILL MATERIAL IS PLACED. COMPACTION SHALL BE COMPLETED TO A DEPTH OF 2 FEET BELOW EXPOSED SUBGRADE. THE EXPOSED SUBGRADE WITHIN PAVEMENT AREAS SHALL BE PROOF ROLLED AND COMPACTED TO A MINIMUM OF 95% OF THE SOIL'S MODIFIED PROCTOR MAXIMUM DRY DENSITY TO A DEPTH OF 1 FOOT. ALL FILL REQUIRED TO BRING THE SITE TO FINAL GRADE SHALL BE INORGANIC, NON-PLASTIC, GRANULAR SOIL (CLEAN SANDS) WITH LESS THAN 10% PASSING A U.S.#200 SIEVE. IN STRUCTURAL AREAS THE FILL SHALL BE PLACED IN LEVEL LIFTS NOT TO EXCEED 12 INCHES LOOSE AND SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE SOIL'S MODIFIED PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM SPECIFICATION D-1557. IN-PLACE DENSITY TESTS SHALL BE PERFORMED ON EACH LIFT BY AN EXPERIENCED ENGINEERING TECHNICIAN WORKING UNDER THE DIRECTION OF A REGISTERED GEOTECHNICAL ENGINEER TO VERIFY THAT THE RECOMMENDED DEGREE OF COMPACTION HAS BEEN ACHIEVED. WE SUGGEST A MINIMUM TESTING FREQUENCY OF ONE (1) TEST PER LIFT PER 2,500 SQUARE FEET OF AREA WITHIN STRUCTURAL LIMITS AND ONE (1) TEST PER LIFT PER 10,000 SQUARE FEET IN PAVEMENT AREAS. THIS FILL SHALL EXTEND A MINIMUM OF 5 FEET BEYOND BUILDING LINES TO PREVENT POSSIBLE EROSION OR UNDERMINING OF FOOTING BEARING SOILS. FURTHER, FILL SLOPES SHALL NOT EXCEED 2 HORIZONTAL TO 1 VERTICAL (2H:1V). ALL FILL PLACED IN UTILITY LINE TRENCHES AND ADJACENT TO FOOTINGS BENEATH SLABS ON GRADE SHALL ALSO BE PROPERLY PLACED AND COMPACTED TO THE SPECIFICATIONS STATED ABOVE. HOWEVER, IN THESE RESTRICTED WORKING AREAS, COMPACTION SHALL BE ACCOMPLISHED WITH LIGHTWEIGHT HAND GUIDED COMPACTION EQUIPMENT AND LIFT THICKNESSES SHALL BE LIMITED TO A MAXIMUM OF 4 INCHES LOOSE THICKNESS.

| STORM DRAINAGE SCHEDULE | | | |
|-------------------------|-------------|------------|------|
| INLET/MH# | GRATE ELEV. | INV. ELEV. | TYPE |
| 101 | 84.50 | 81.50 | "F" |
| 102 | 87.25 | 80.67 | "F" |
| 103 | 86.00 | 81.16 | "F" |
| 104 | 84.50 | 81.50 | "F" |

STORM SEWER NOTE:
 ALL STORM INLETS SHALL BE TYPE "F" PRECAST CONCRETE INLETS WITH HEAVY DUTY GRATE IN ACCORDANCE WITH FDOT INDEX NO. 233.
 ALL STORM PIPING SHALL BE HANCOOR AASHTO HDPE STORM PIPE OR APPROVED EQUAL. PIPING SHALL CONFORM TO AASHTO M-294 PER FDOT REQUIREMENTS.

VERTICAL DATUM:
 ELEVATIONS BASED ON N.A.V.D. 1988 VERTICAL DATUM

COUNTY ROAD NO. 466-A



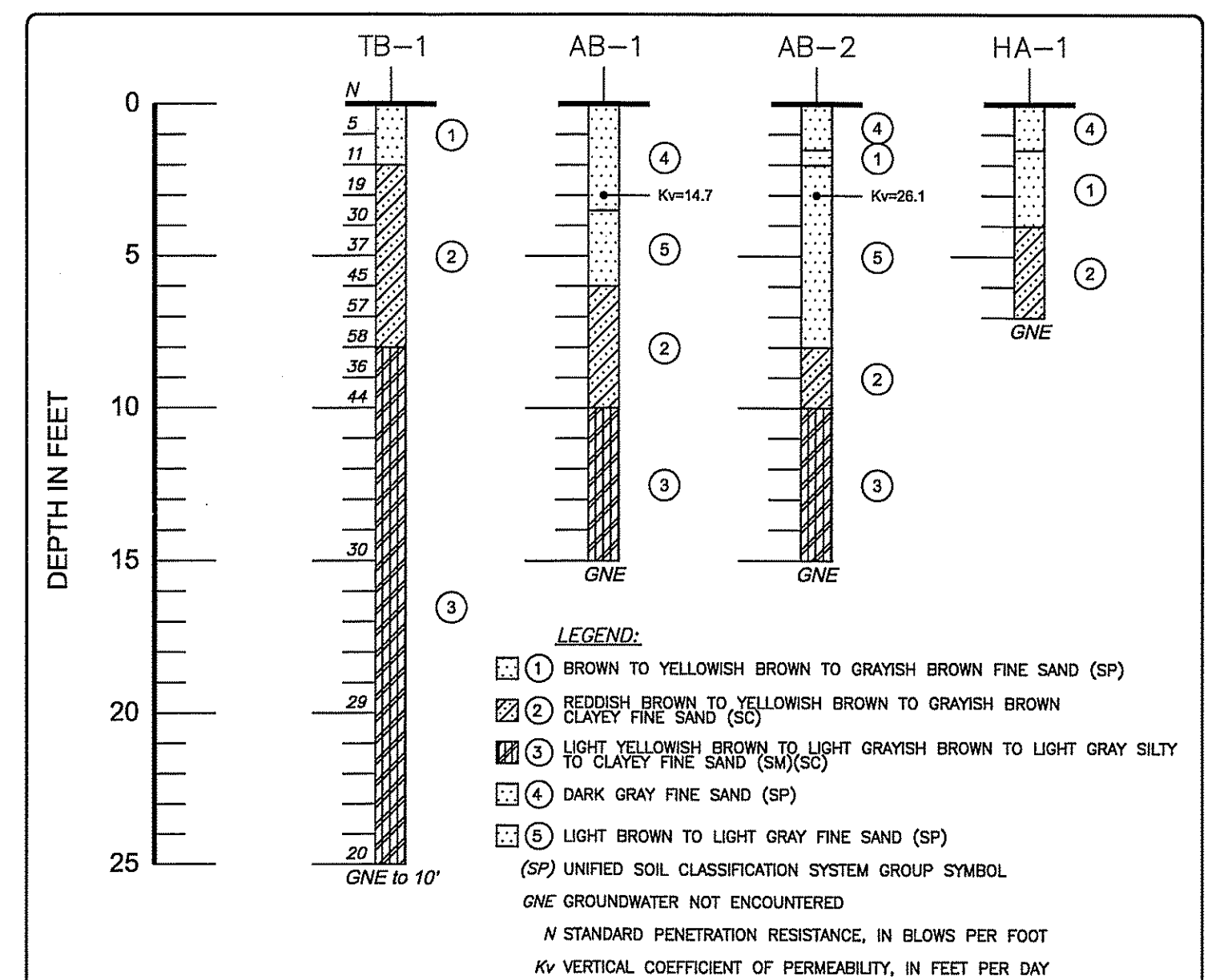
GENERAL LEGEND

| | |
|---|--|
| ■ = FOUND CONCRETE MONUMENT (NUMBER NOTED IF AVAILABLE) | BM = BENCH MARK |
| ● = FOUND IRON PIN (NUMBER NOTED IF AVAILABLE) | C/B = CONCRETE BLOCK |
| ○ = FOUND IRON PIPE (NUMBER NOTED IF AVAILABLE) | CM = CONCRETE MONUMENT |
| △ = NAIL OR NAIL AND DISK (NUMBER NOTED IF AVAILABLE) | FND = FOUND |
| ○ = SET IRON PIN (6/8", LB. 4709) | IP = IRON PIPE |
| ○ = SET CONCRETE MONUMENT (4"x4", LB. 4709) | IR = IRON ROD/PIN |
| ☆ = LIGHT POLE | LS = REGISTERED LAND SURVEYOR NUMBER |
| ☆ = POWER/LIGHT POLE | LB = LICENSED BUSINESS NUMBER |
| ☆ = POWER/LIGHT/TRANSFORMER POLE | M = MEASURED |
| ☆ = ROAD INSTRUCTION SIGN | (P) = PLATTED BEARING OR DISTANCE |
| ☆ = WATER VALVE | R/W = RIGHT-OF-WAY |
| ☆ = FIRE HYDRANT | PRM = PERMANENT REFERENCE MONUMENT |
| ☆ = POWER CONNECTION BOX | PCP = PERMANENT CONTROL POINT |
| ☆ = TELEPHONE BOX | PT = POINT OF TANGENCY |
| ☆ = CABLE BOX/MARKER SIGN | PC = POINT OF CURVATURE |
| ☆ = STORM SEWER MAN HOLE | PCC = POINT ON CURVE |
| ☆ = SANITARY SEWER MAN HOLE | PL = PLAT |
| ○ = CENTER LINE | N/D = NAIL AND DISK |
| ○ = WIRE FENCE LINE | POB = POINT OF BEGINNING |
| ○ = CHAIN LINK FENCE LINE | PB = PLAT BOOK |
| ○ = WATER METER (g = DOUBLE) | PC = PAGE |
| ○ = STORM DRAIN | ORB = OFFICIAL RECORDS BOOK |
| | ○ = WELL |
| | ○ = SPOT ELEVATION |
| | ○ = BENCH MARK LOCATION (WHEN APPROPRIATE) |
| | ○ = GAS METER/MARKER POST |
| | ○ = GAS VALVE |
| | ○ = SANITARY SEWER VALVE |

CONTRACTOR SHALL OBTAIN ROW UTILIZATION PERMIT FROM LAKE COUNTY PUBLIC WORKS PRIOR TO ANY WORK WITH THE ROW.

COORDINATE CONNECTION OF RETAINING WALL TO BUILDING FOUNDATION WITH ARCHITECT.

CONTRACTOR SHALL REVIEW AND FOLLOW RECOMMENDATIONS CONTAINED WITHIN THE SOILS REPORT BY ANDREYEV ENGINEERING, DATED 2/29/17.



Andreyev Engineering, Inc.
 GEOTECHNICAL INVESTIGATION
 PROPOSED BUILDING AND STORMWATER RETENTION/EXFILTRATION AREAS
MESOS MEDICAL OFFICE
 807 C.R. 466A
 FRUITLAND PARK, LAKE COUNTY, FL

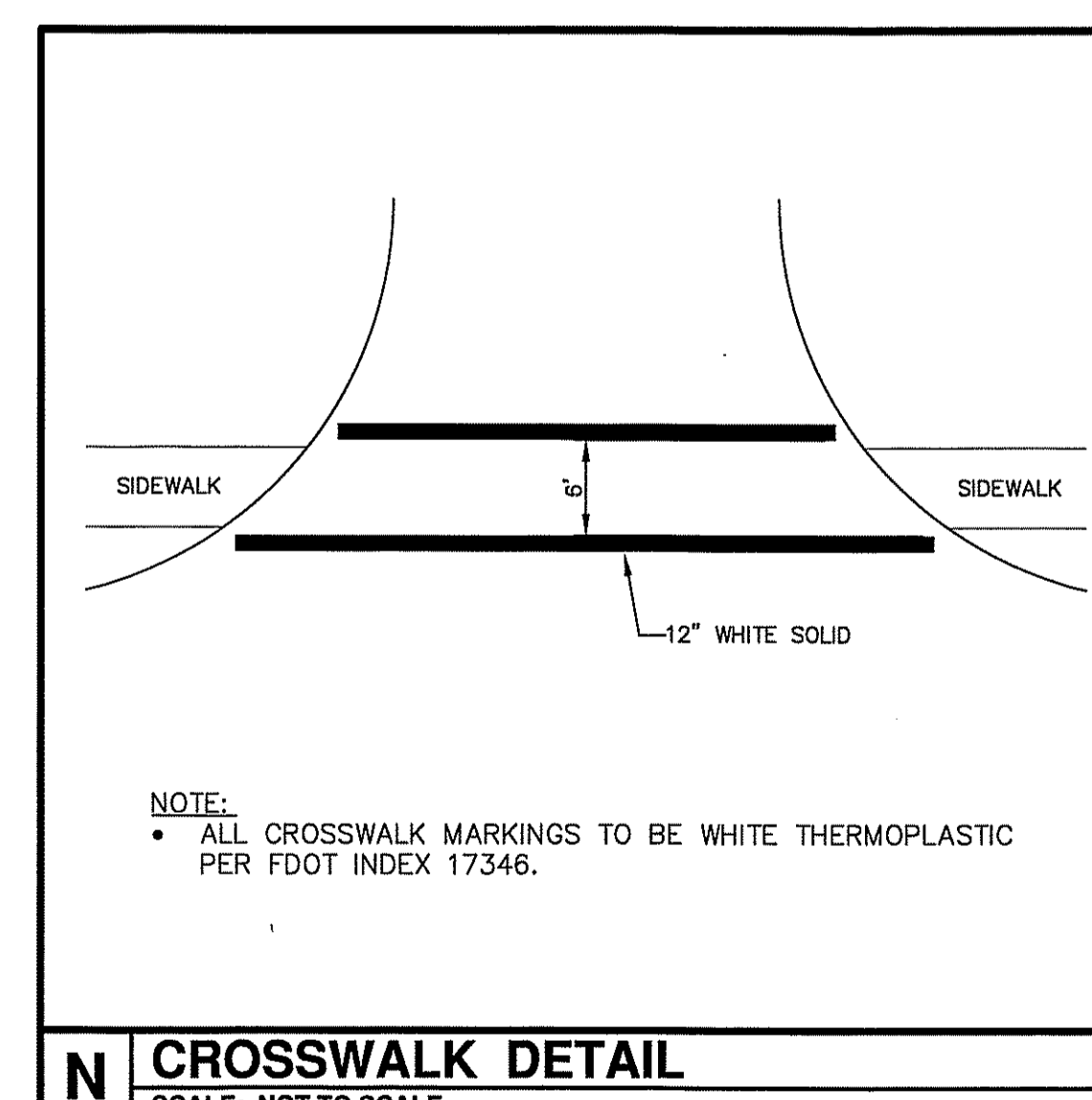
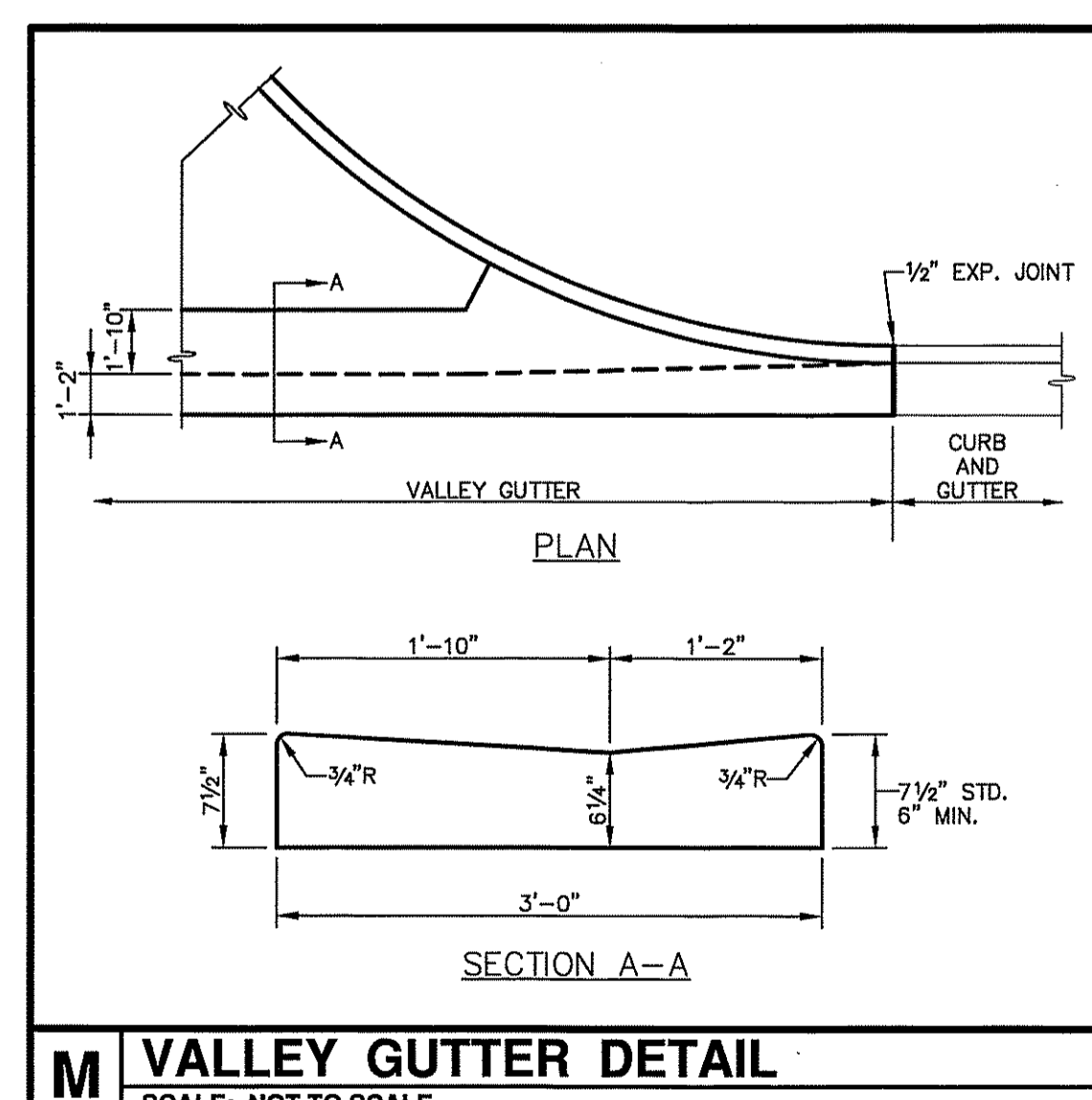
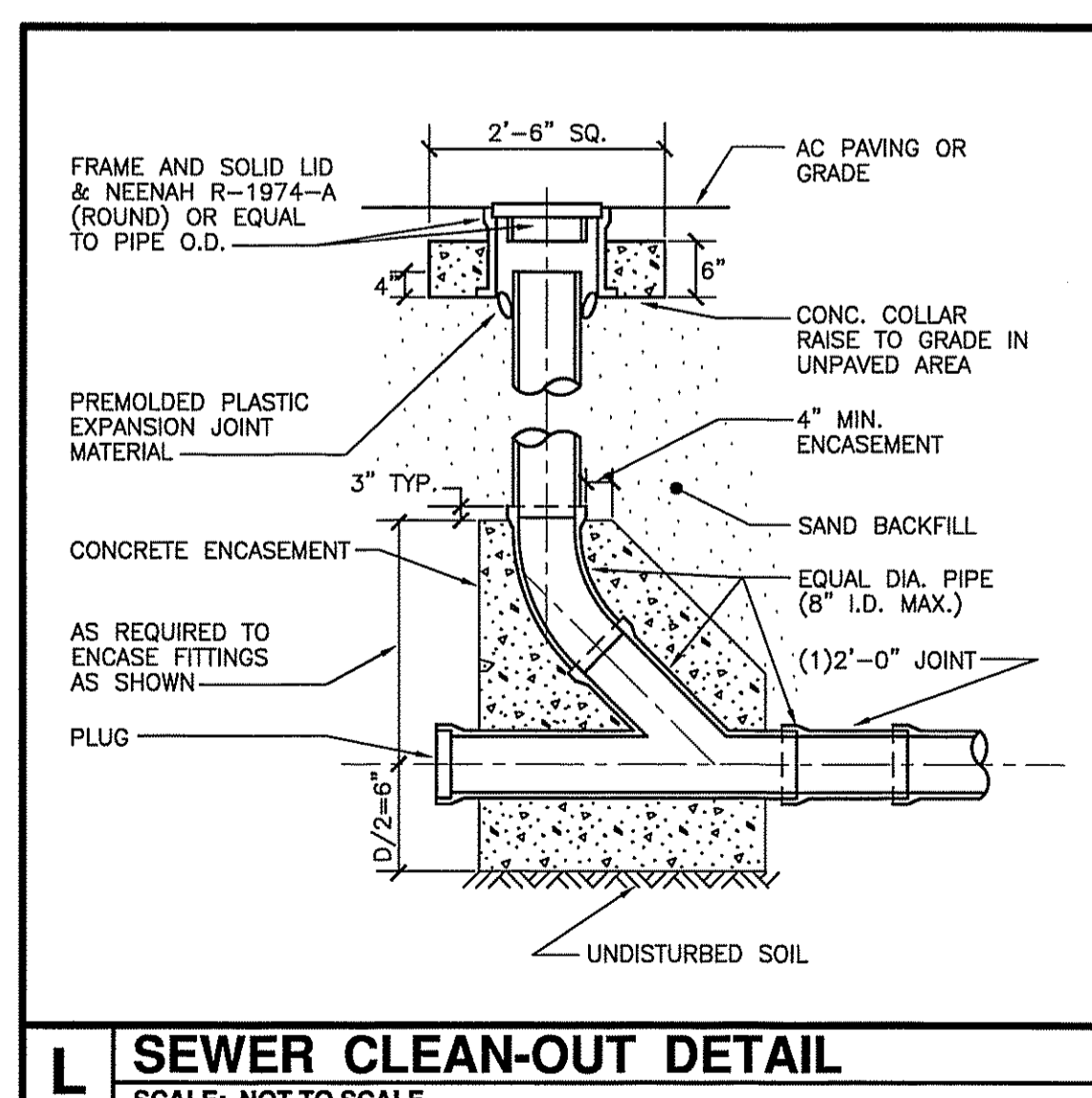
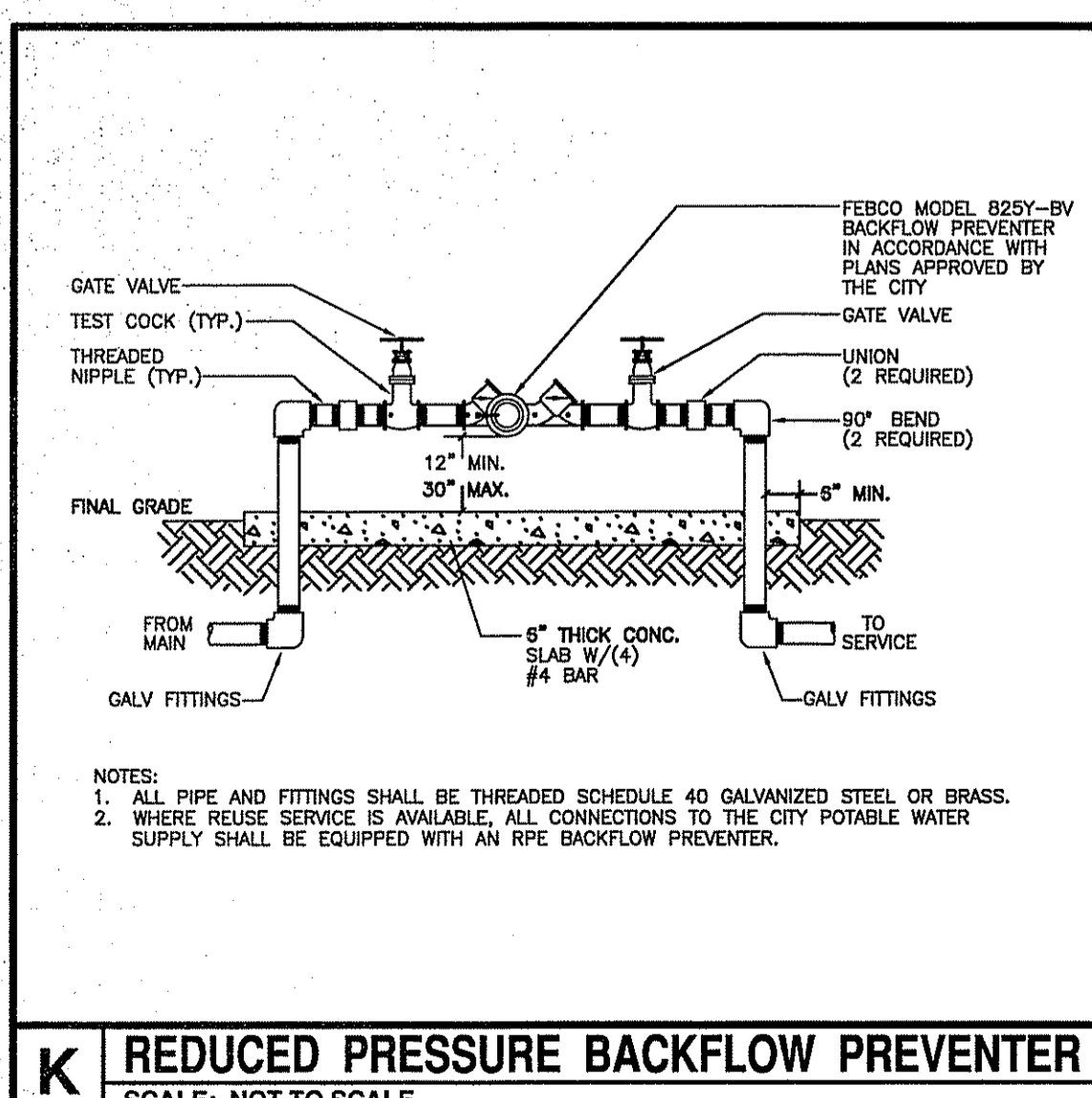
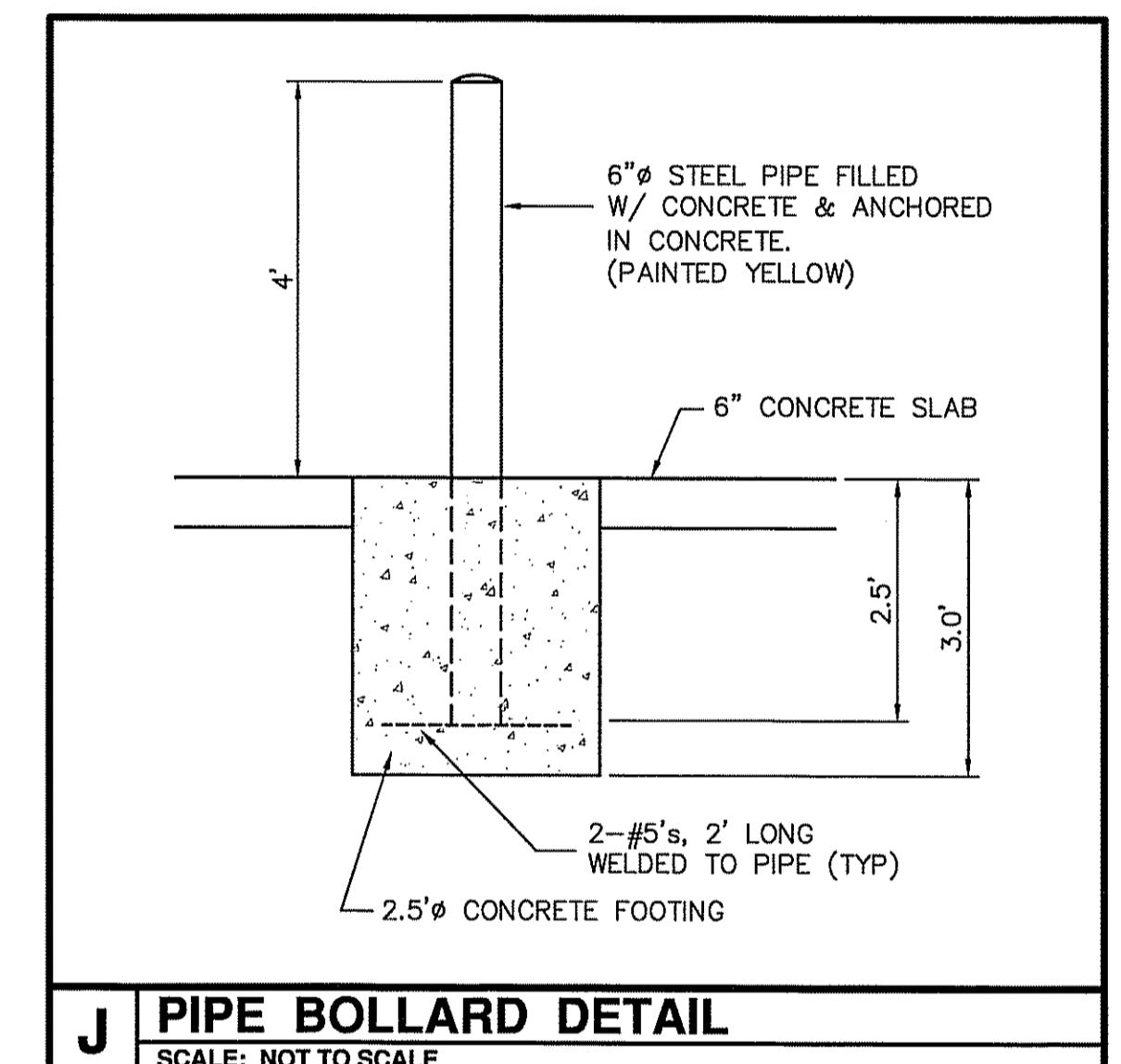
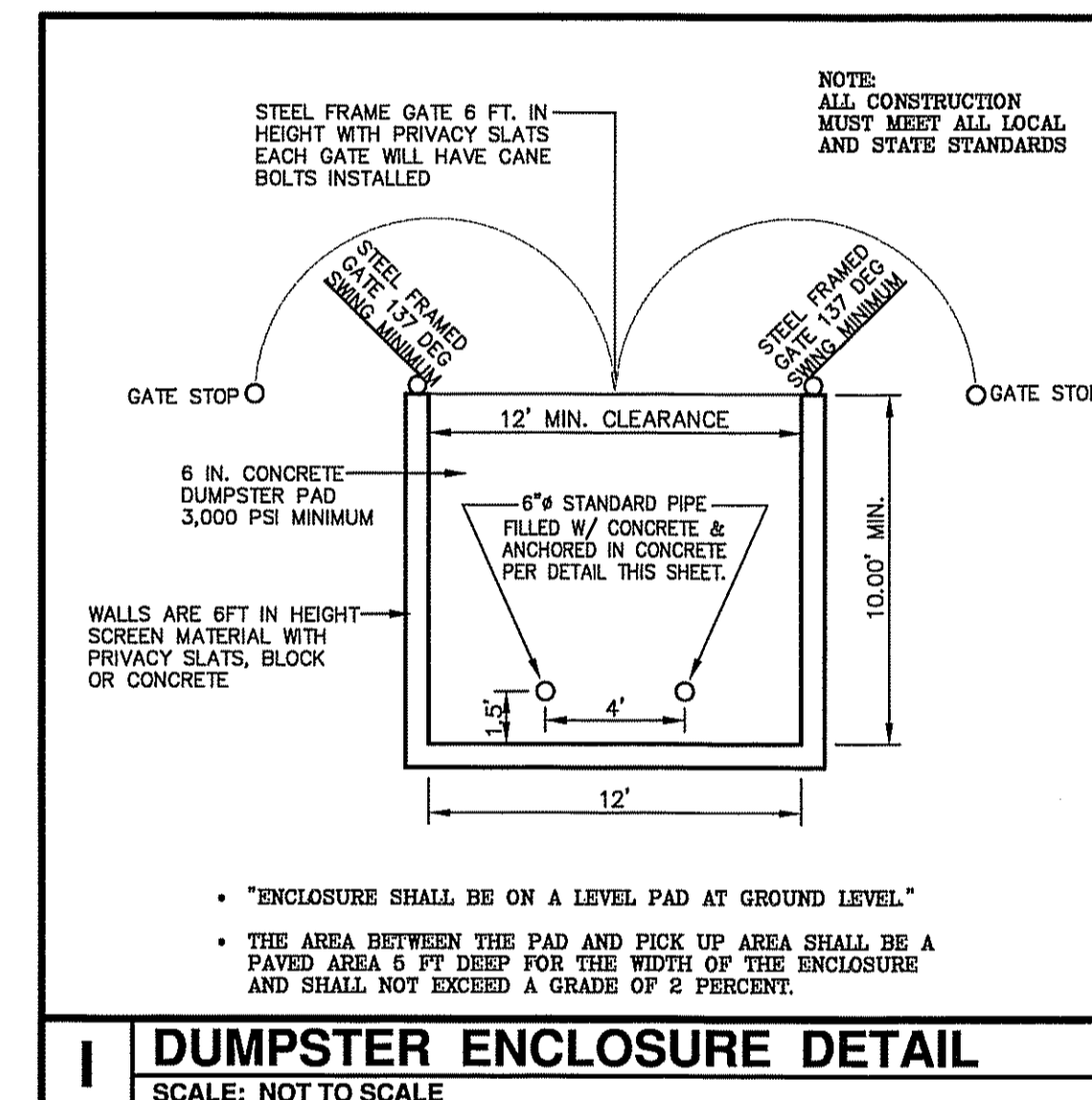
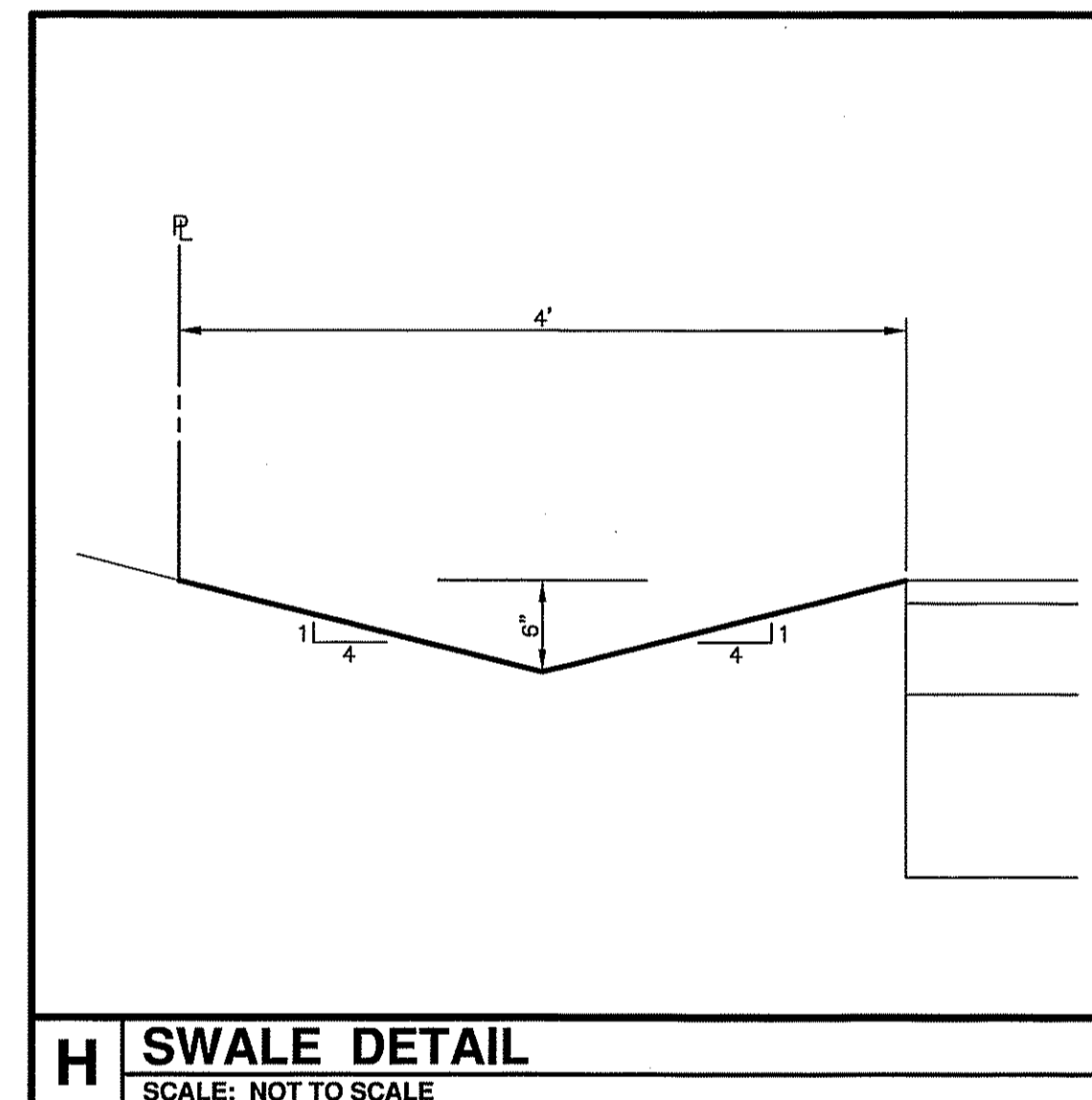
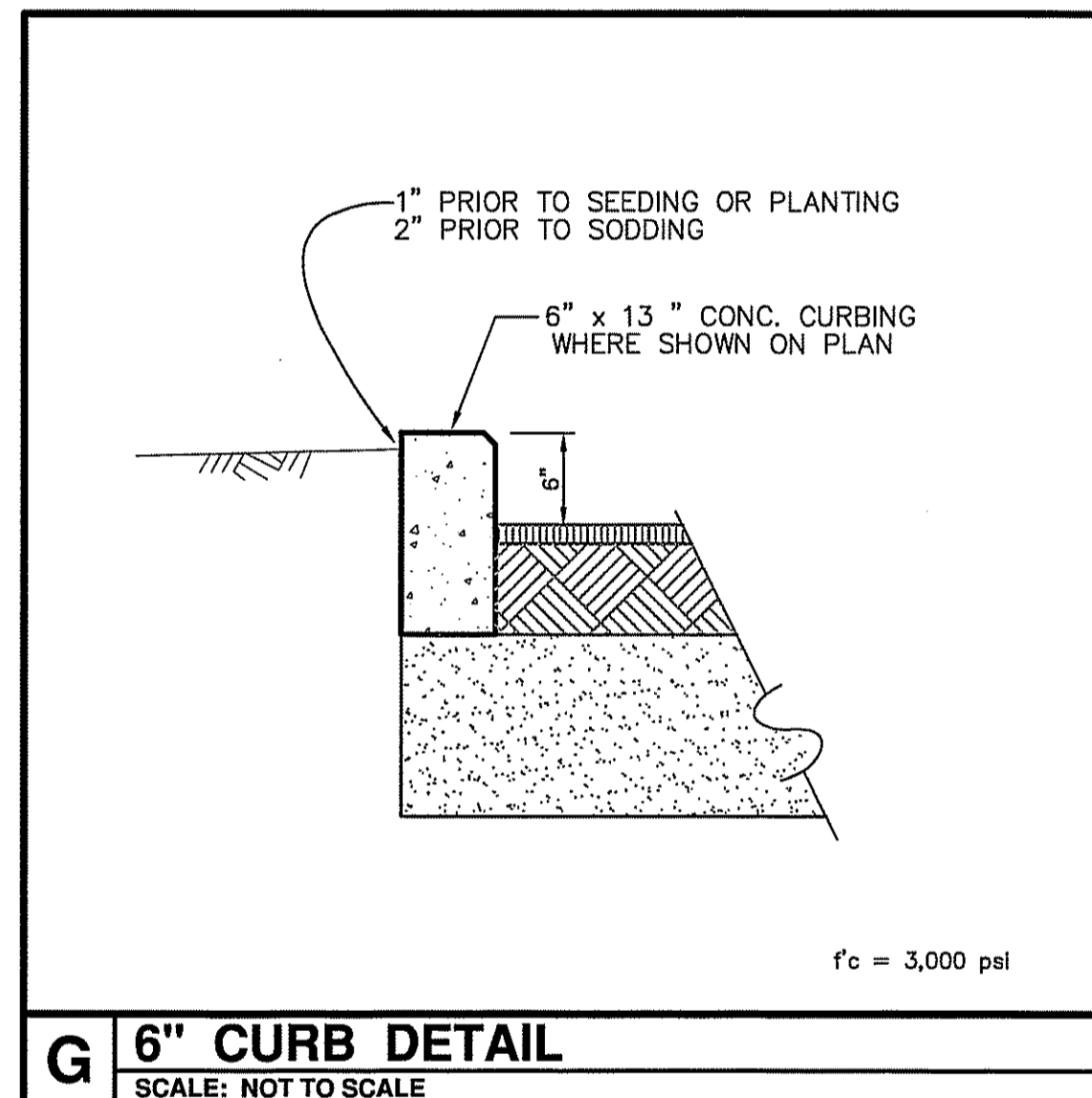
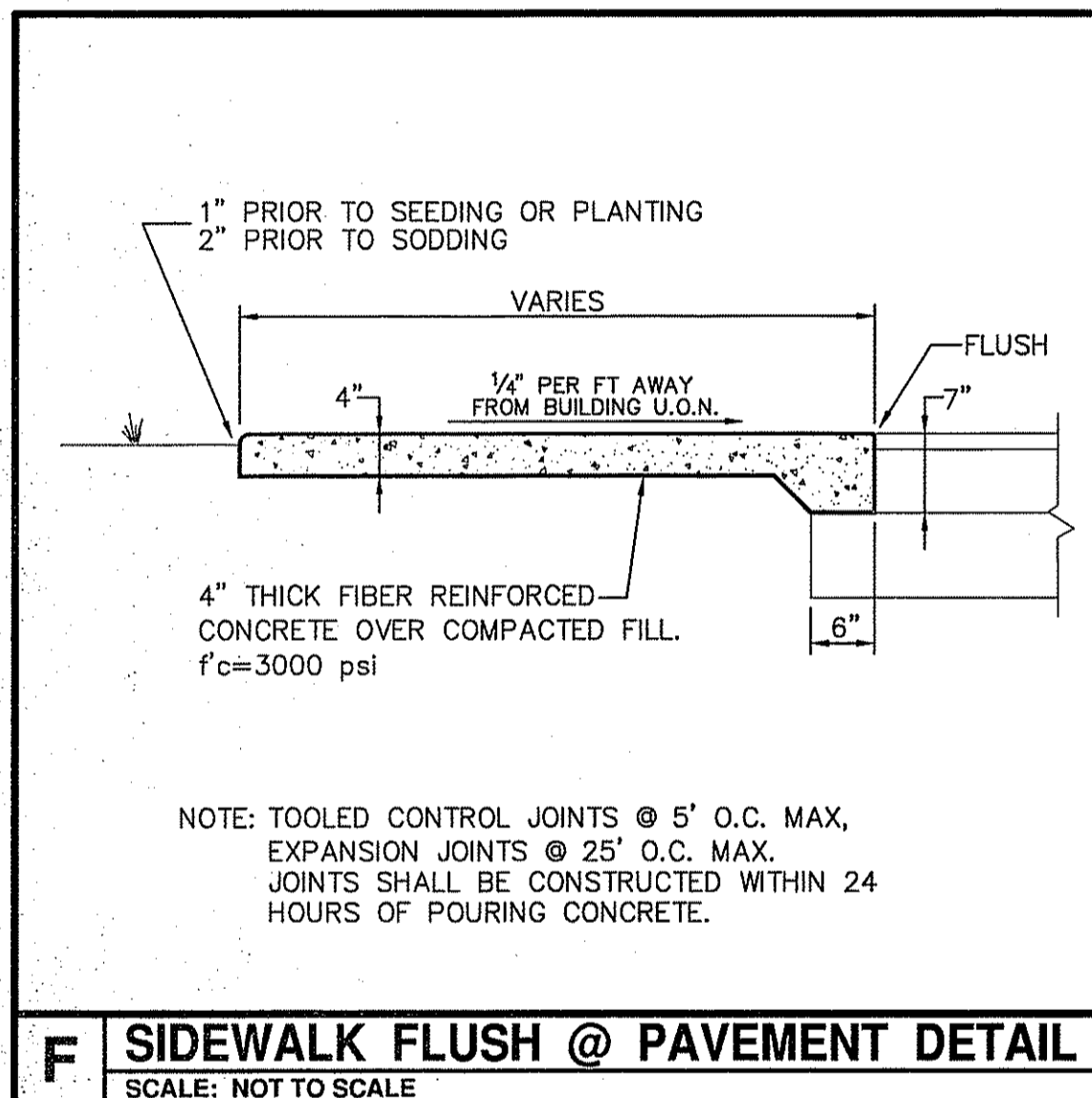
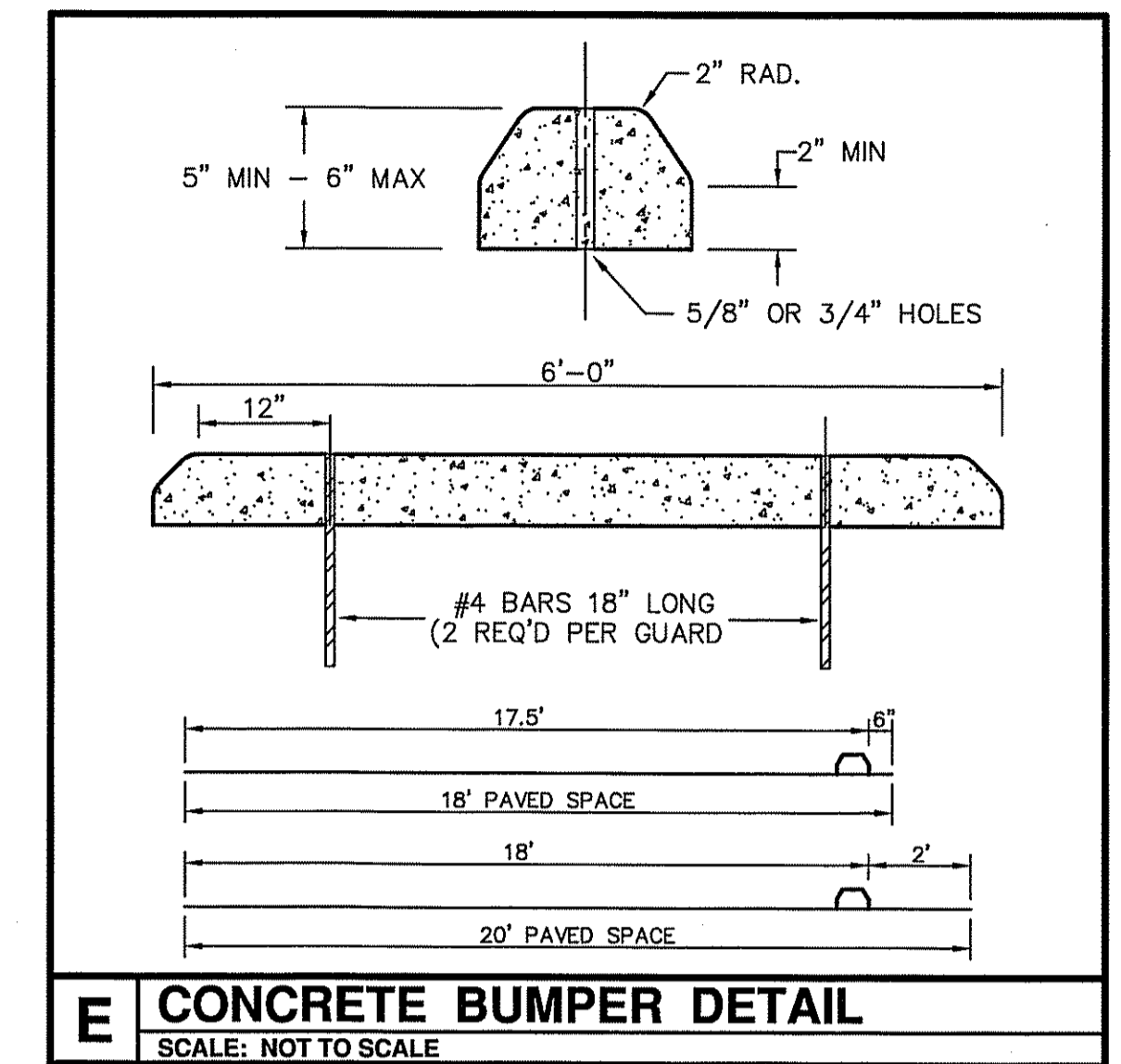
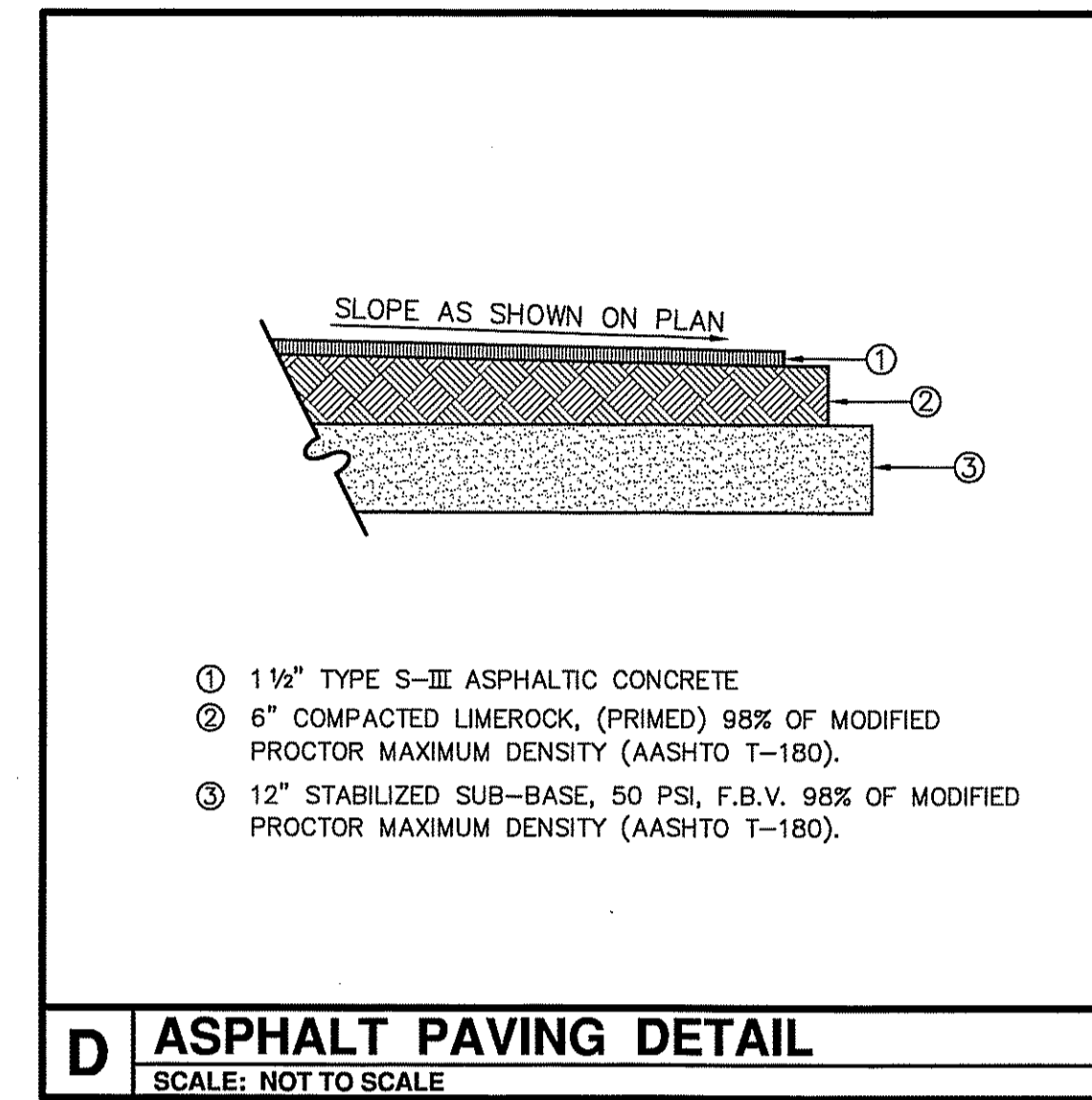
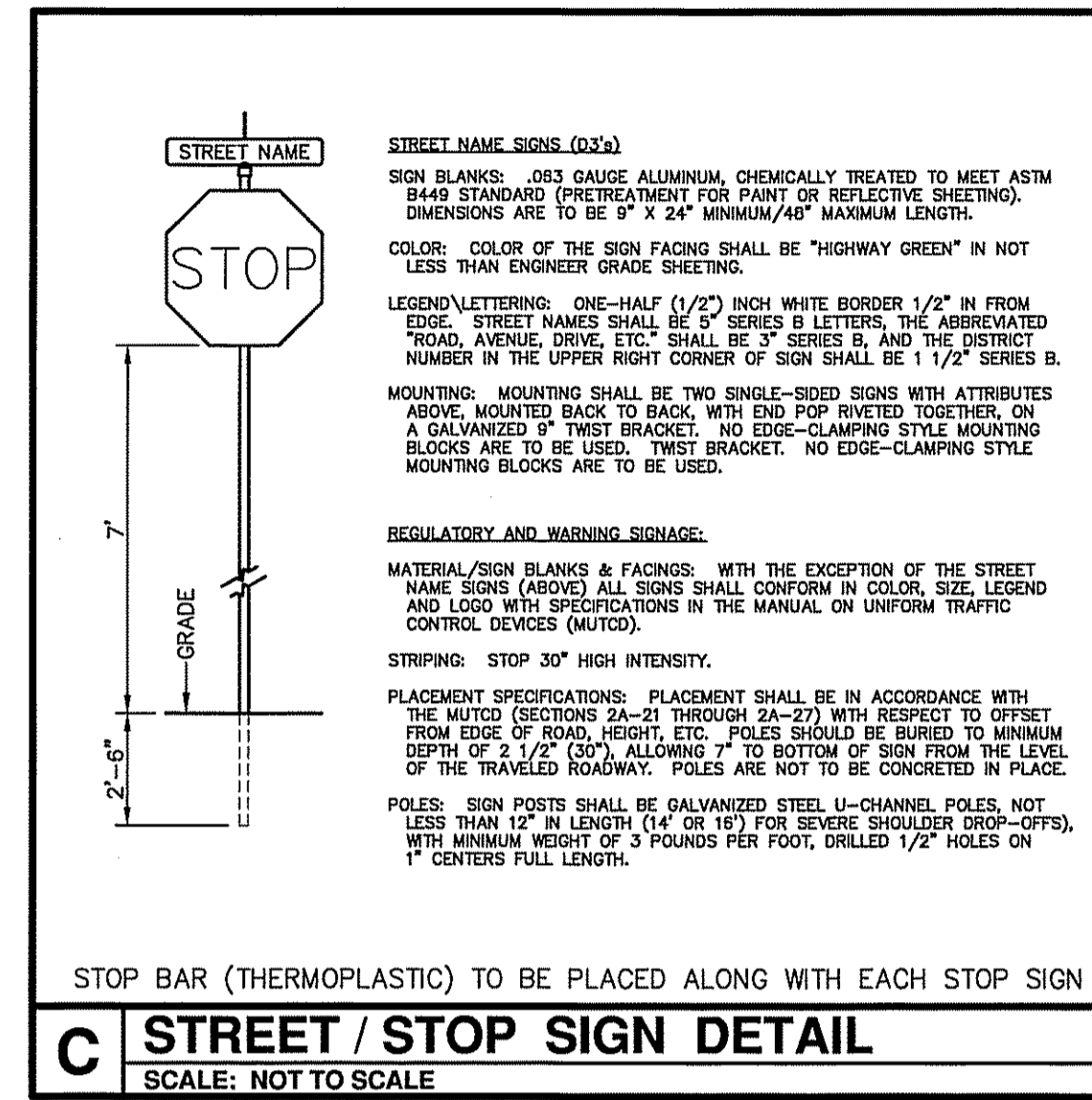
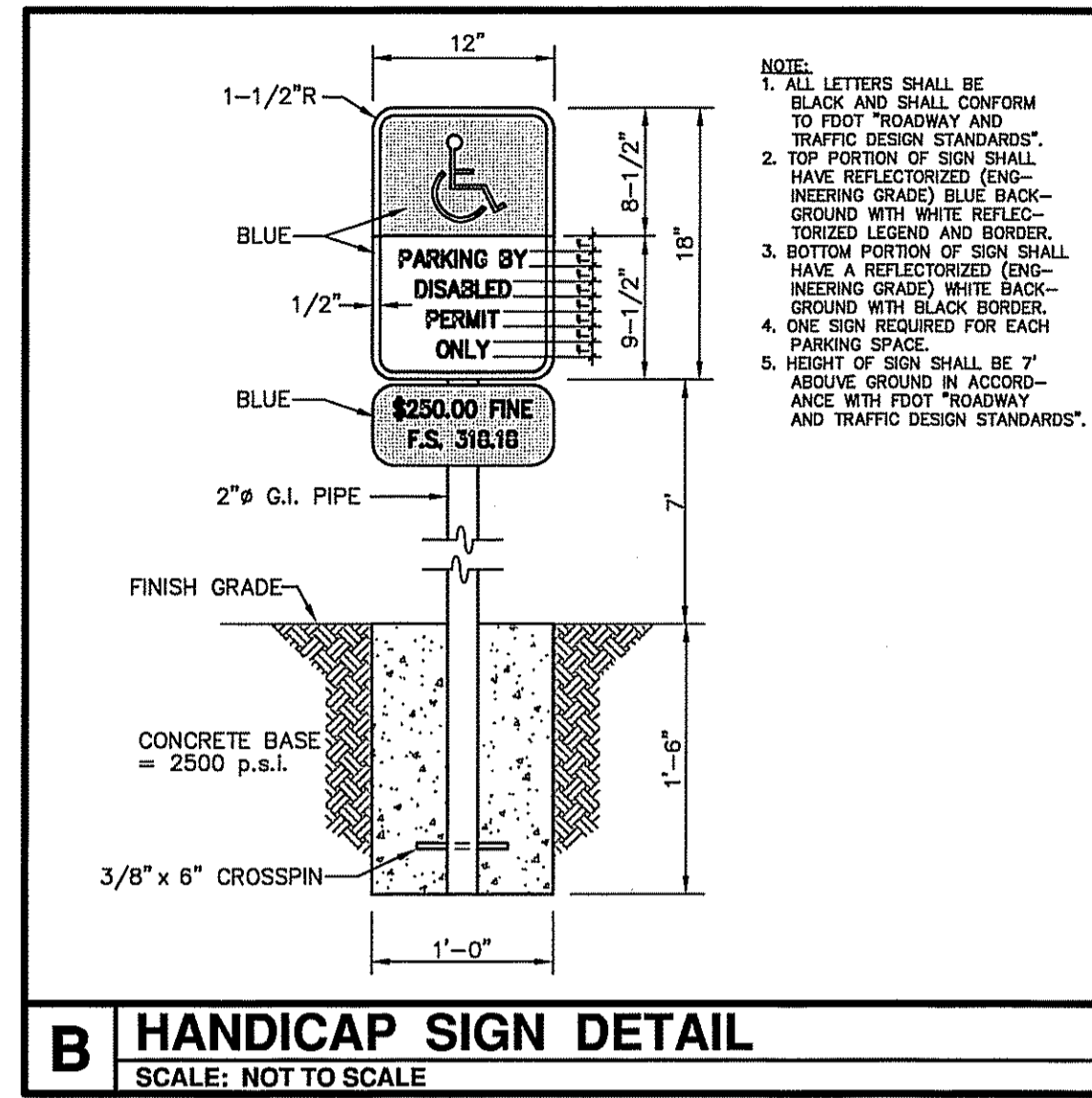
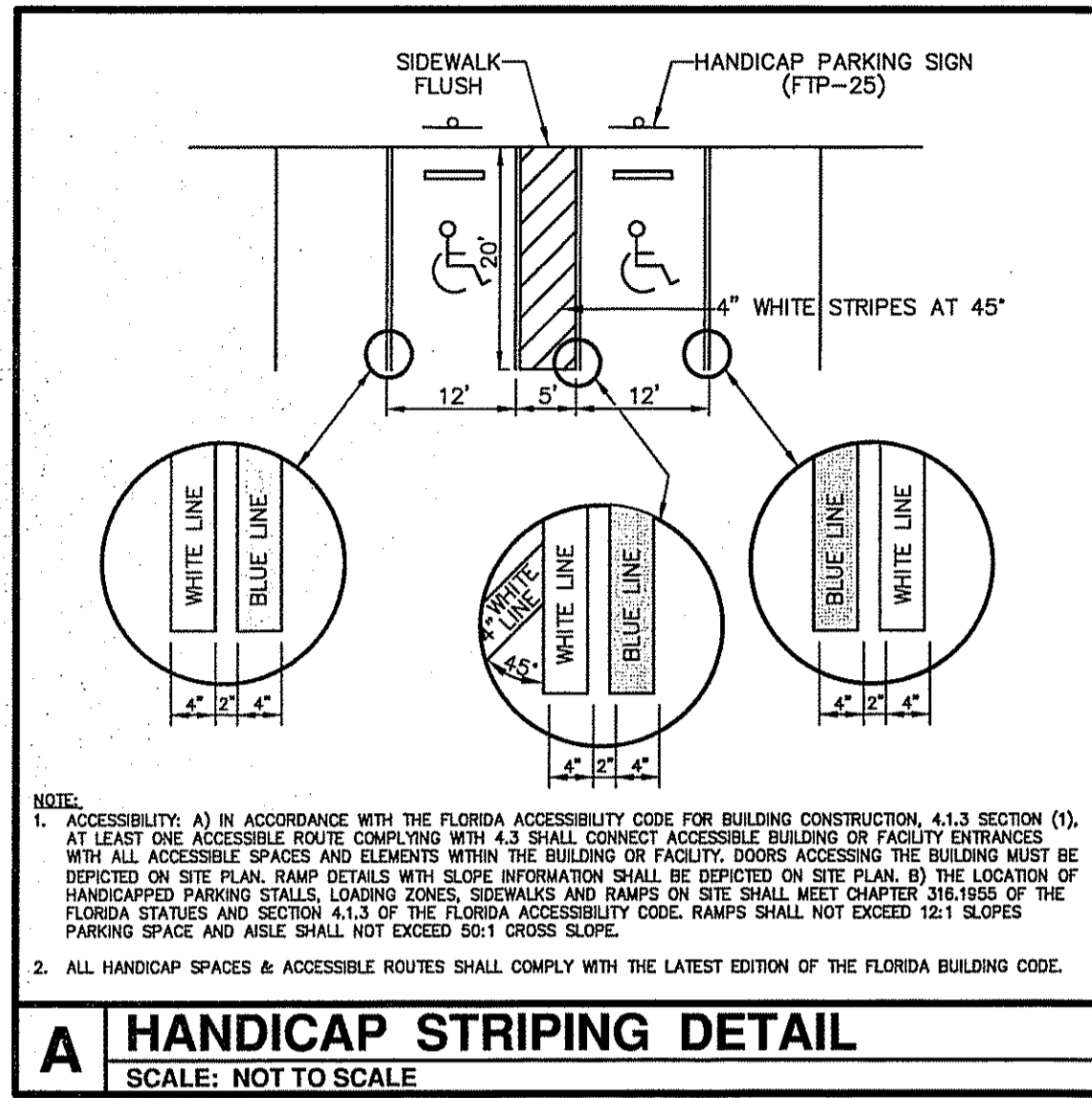
APPROXIMATE SCALE: 1"=5'
 DATE: 02/28/17
 PREP: GT-17-008
 ENGINEER: RJ
 DRAWN BY: DLS

SOIL PROFILES
 FIGURE 4

RECEIVED NOV 14 2017

GRADING & UTILITY PLAN
 SCALE: 1"=20'

1 inch = 20 ft.
 GRAPHIC SCALE



RIDDLE - NEWMAN ENGINEERING, INC.
115 NORTH CANAL STREET
LEESBURG, FLORIDA 34748
PHONE (352) 787-7482
FAX (352) 787-7412
keith@riddlenewman.com
CA# 00002883

RIDDLE NEWMAN ENGINEERING INC.
ESTABLISHED 1981

REVISED PER CITY OF FRUITLAND PARK & LAKE COUNTY 10/3/17

| | | | |
|-------|-------|-------|-------|
| REV # | REV # | REV # | REV # |
| | | | |

KEITH E. RIDDLE, P.E.
FLA. REGIS. NO. 38800

DRAWN: R.S.H.
CHECKED: K.E.R.
SCALE: AS SHOWN
DATE: 7/13/17
PROJECT NO. 16.08

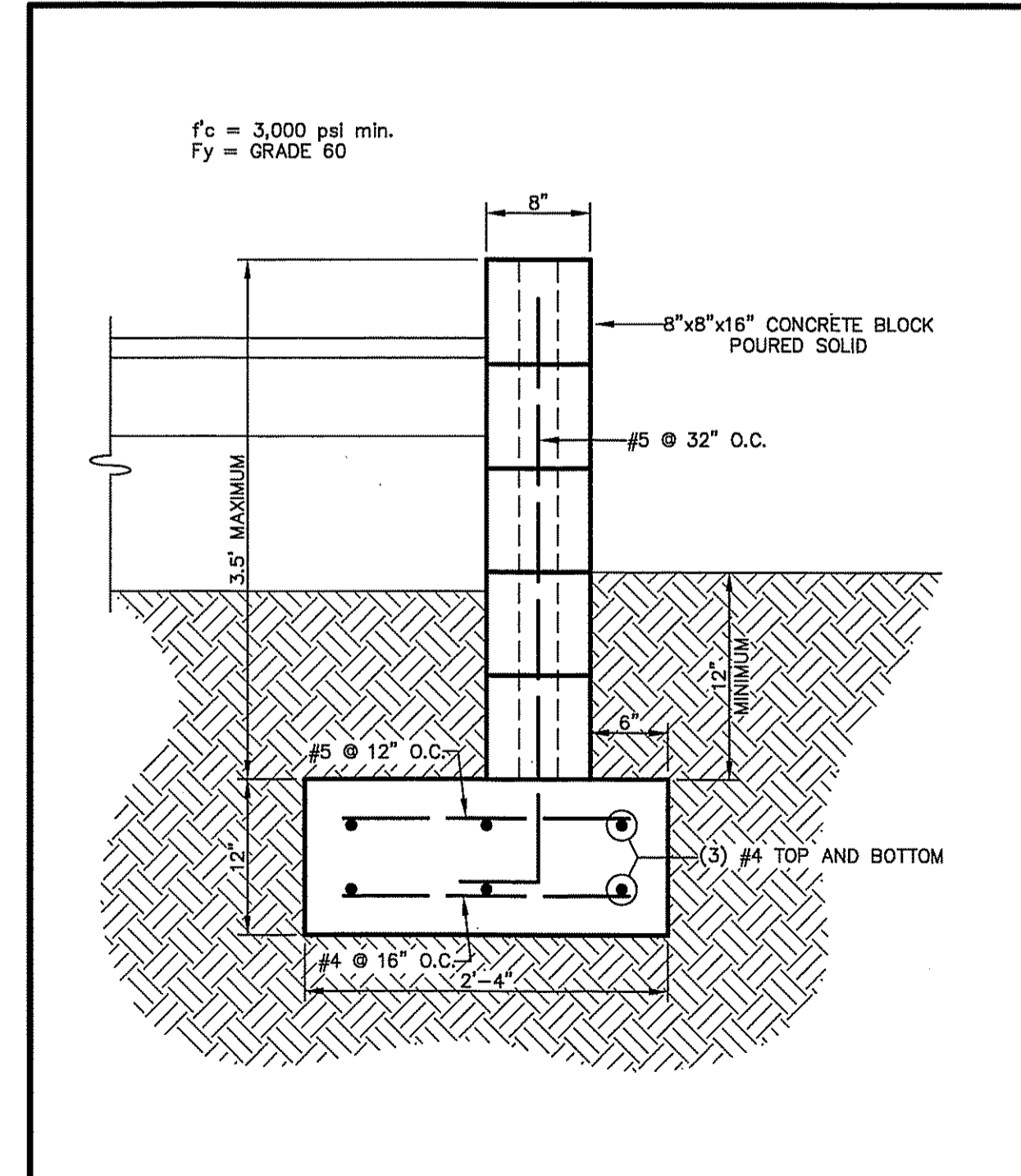
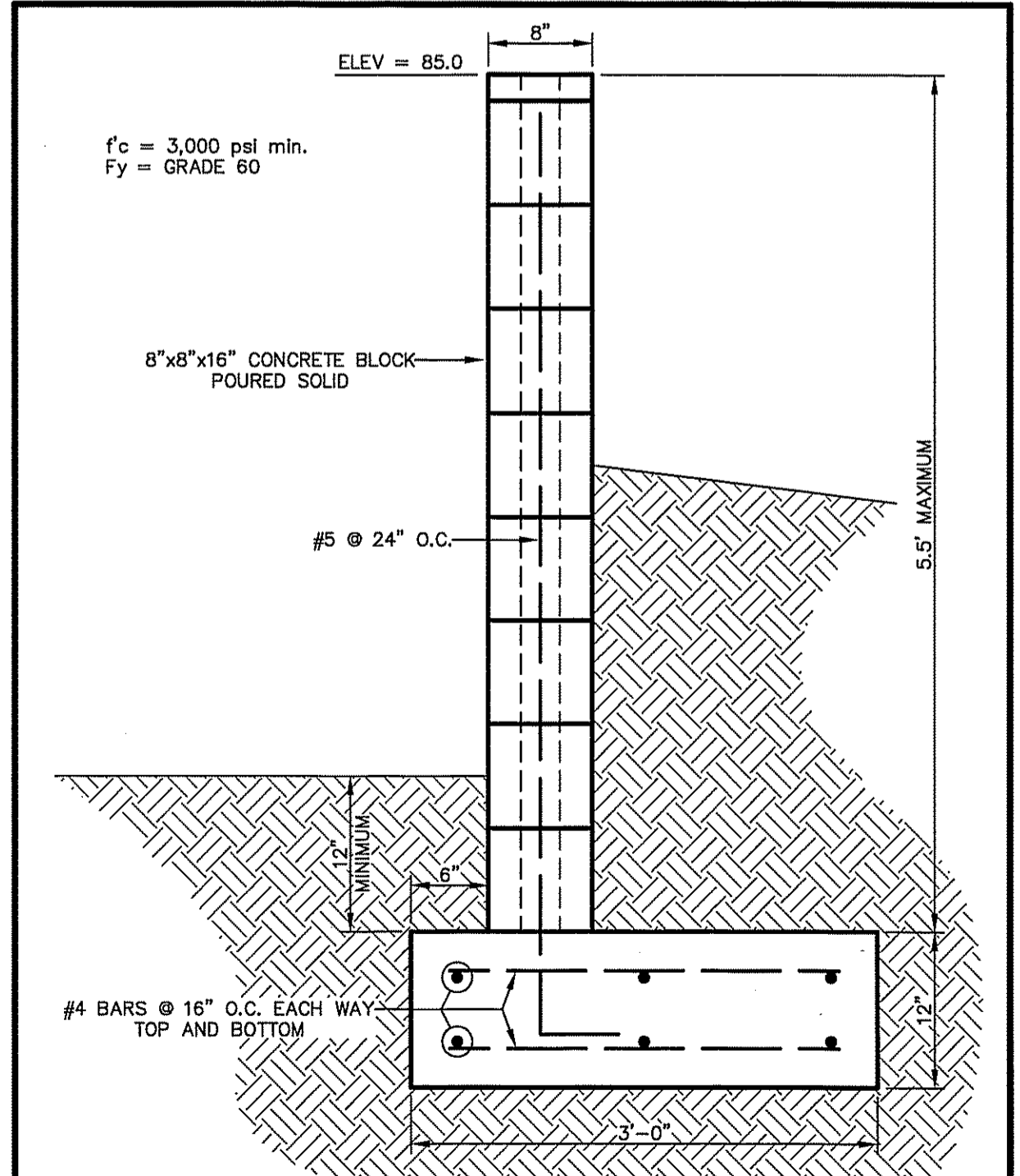
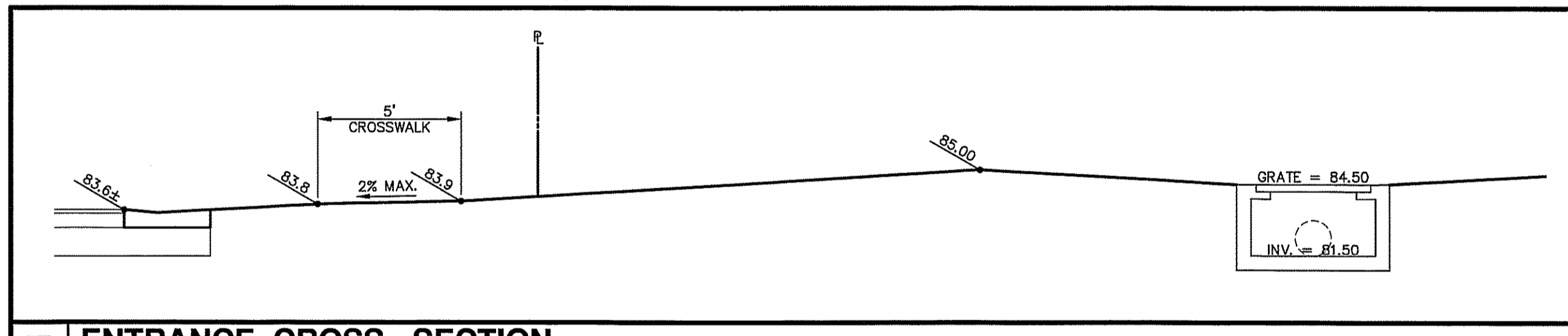
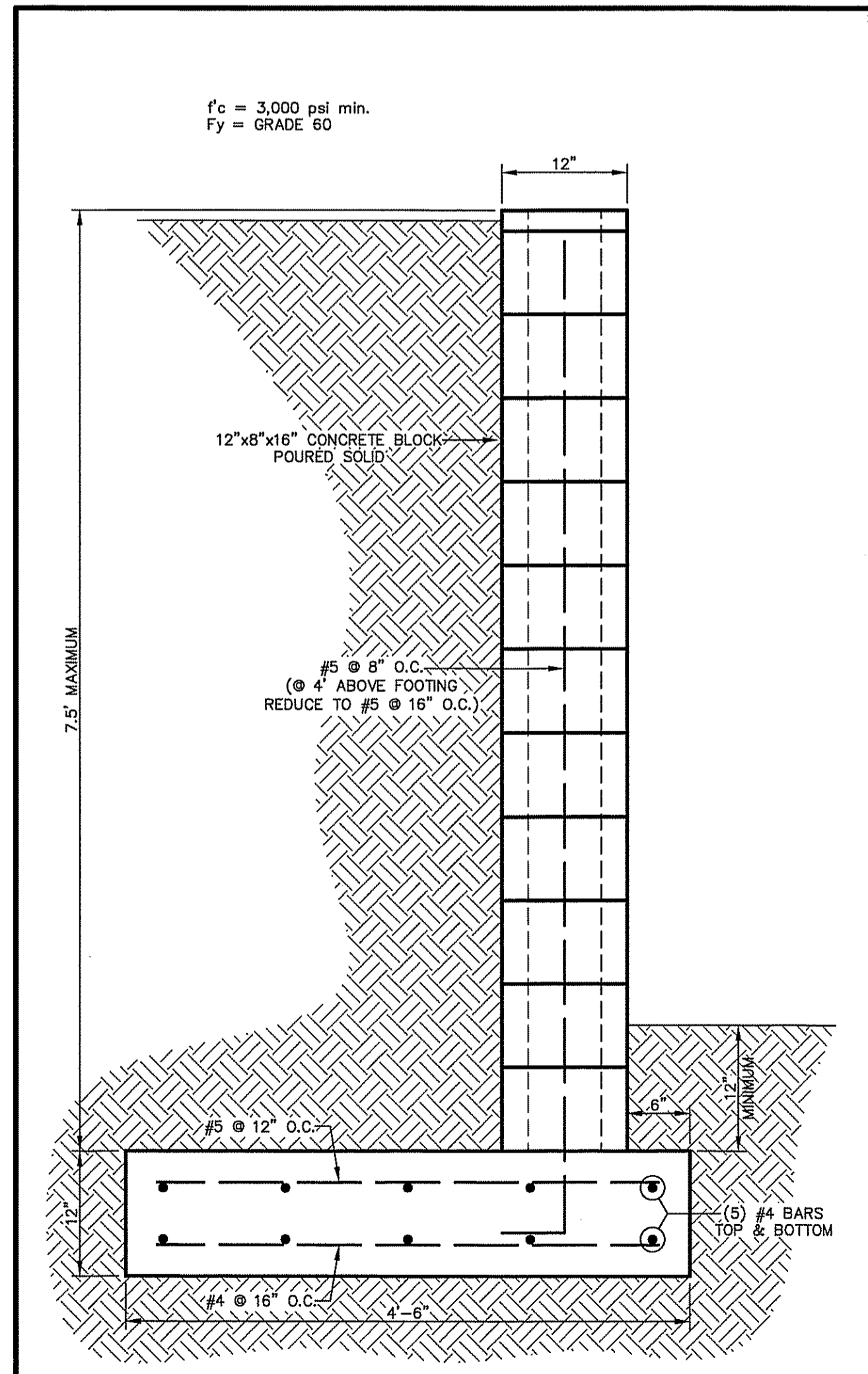
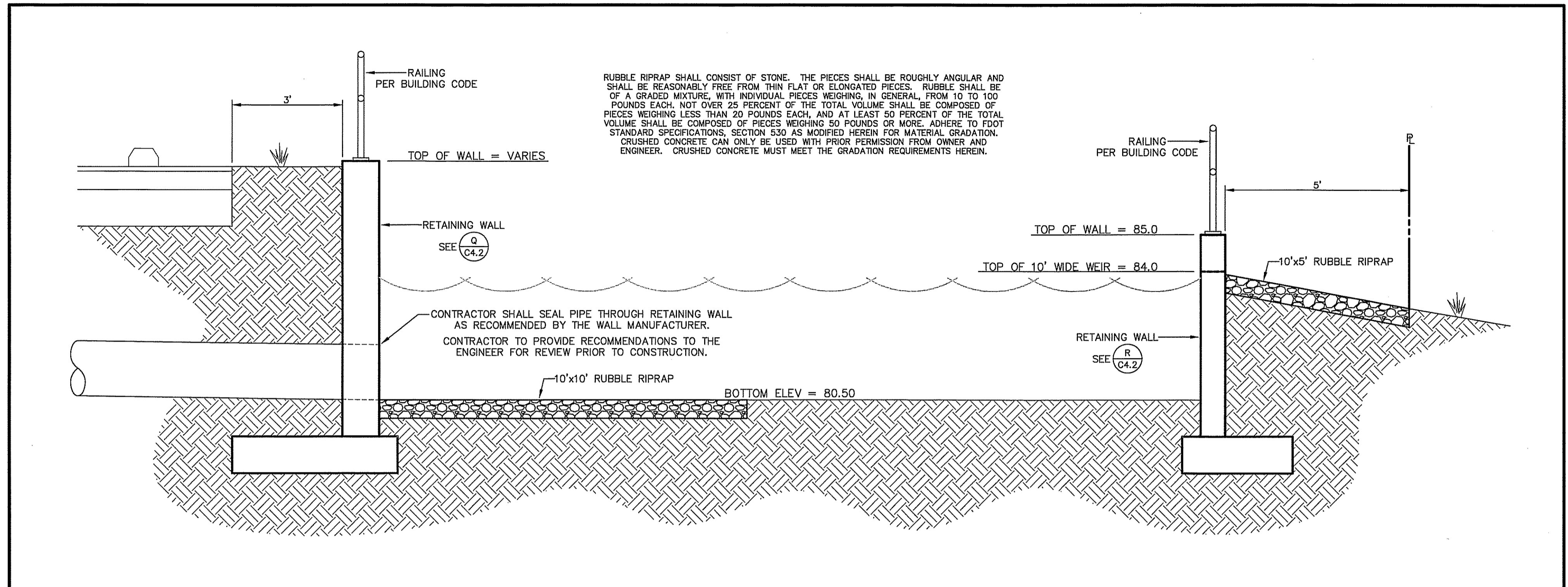
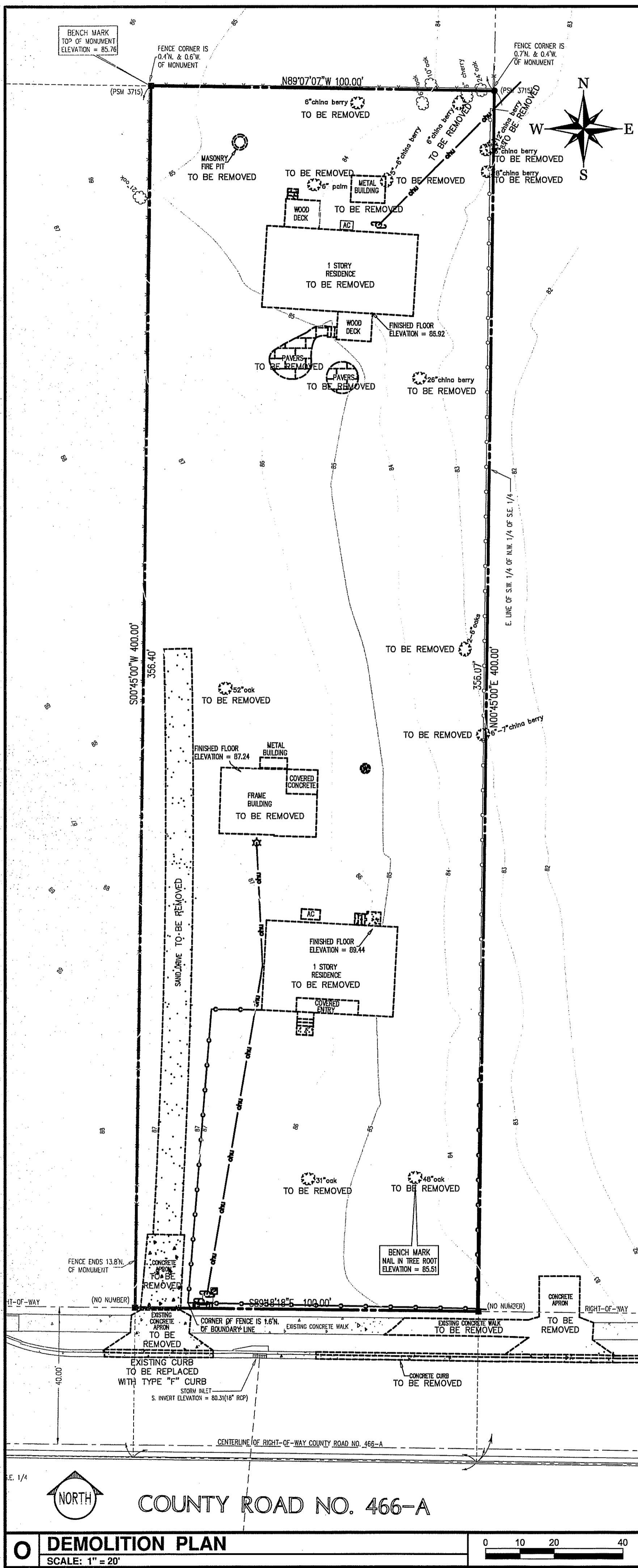
DETAILS

MESOS MEDICAL OFFICE
FRUITLAND PARK
FLORIDA

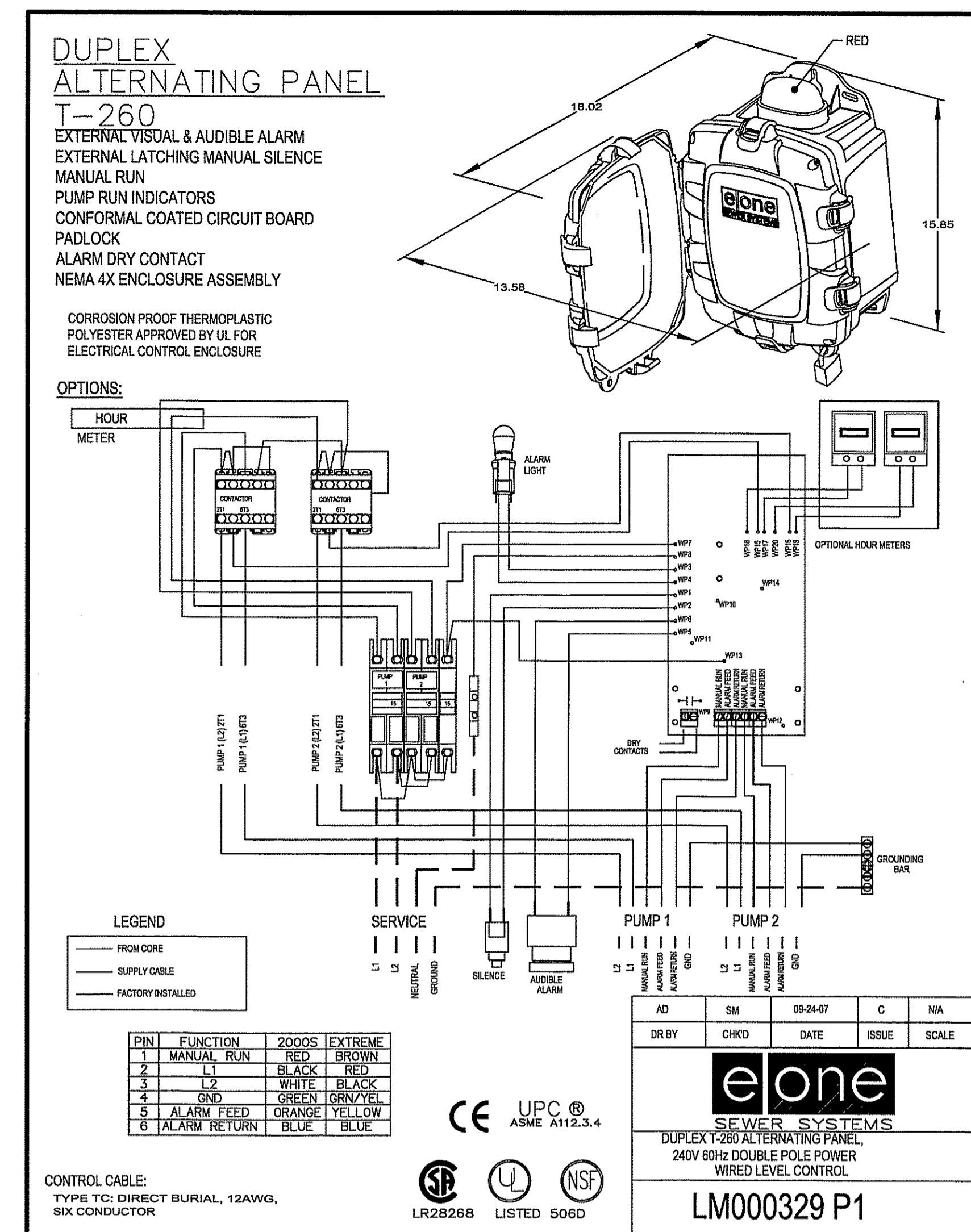
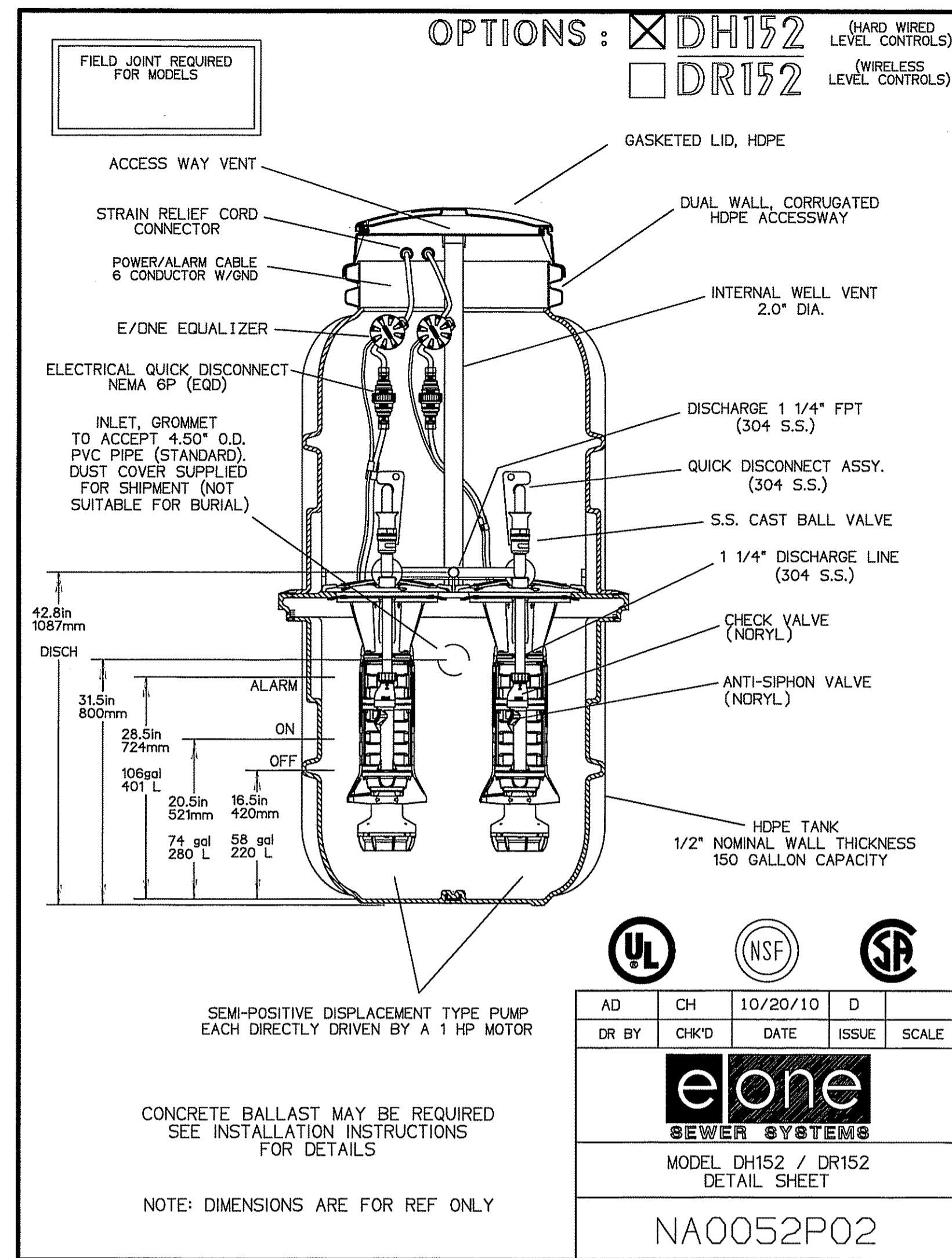
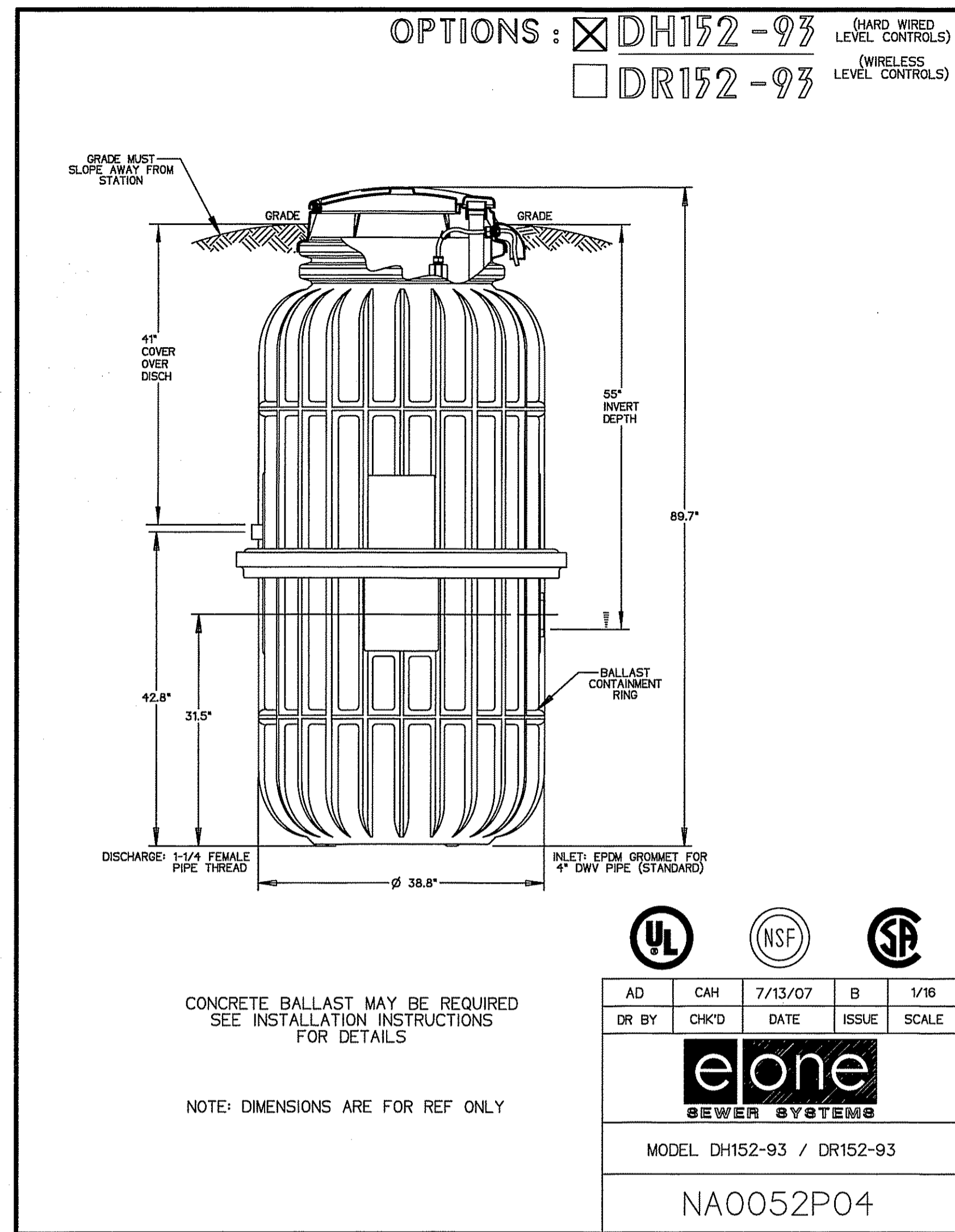
SHEET NO.

C4.1

REVIEWED NOV 14 2017

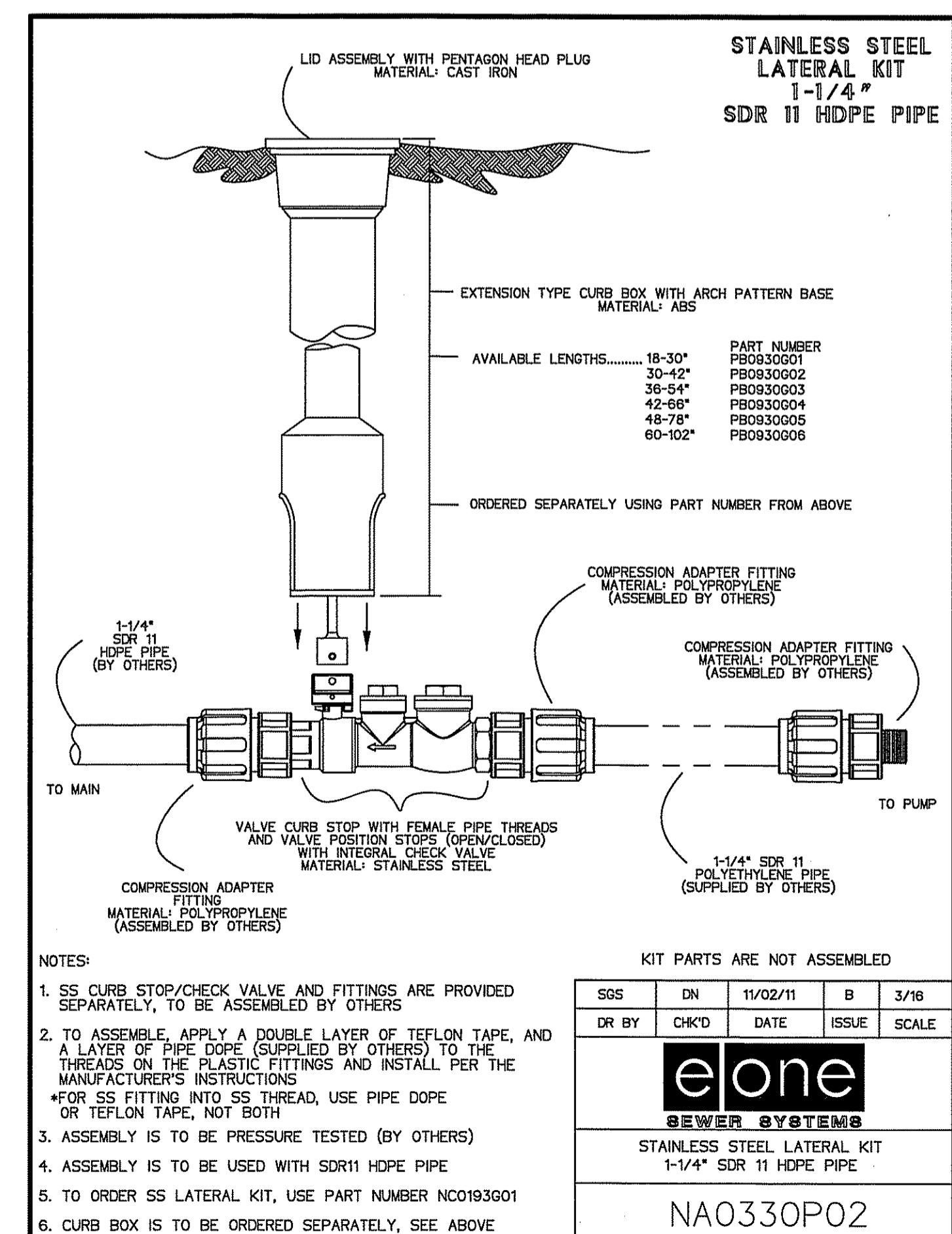
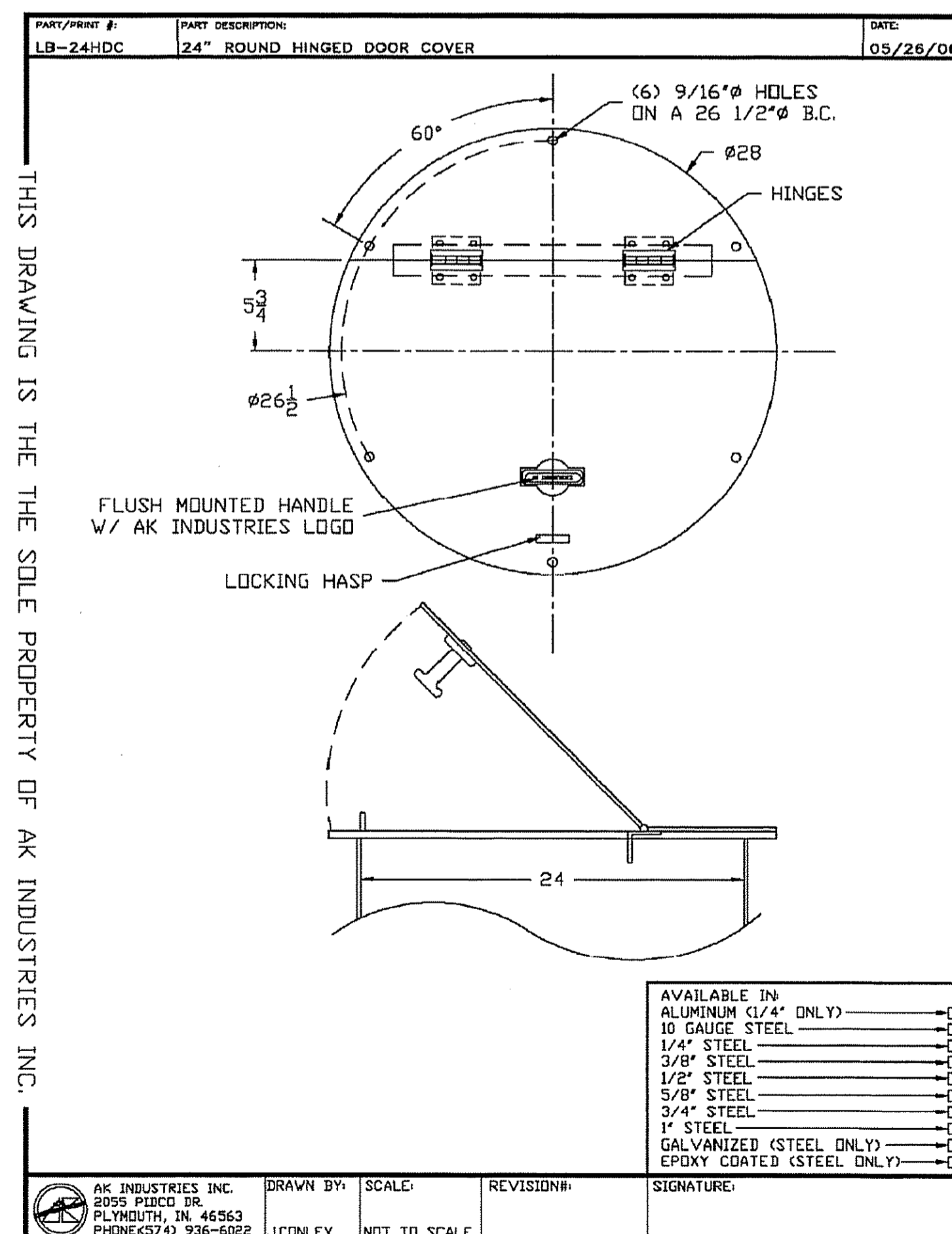
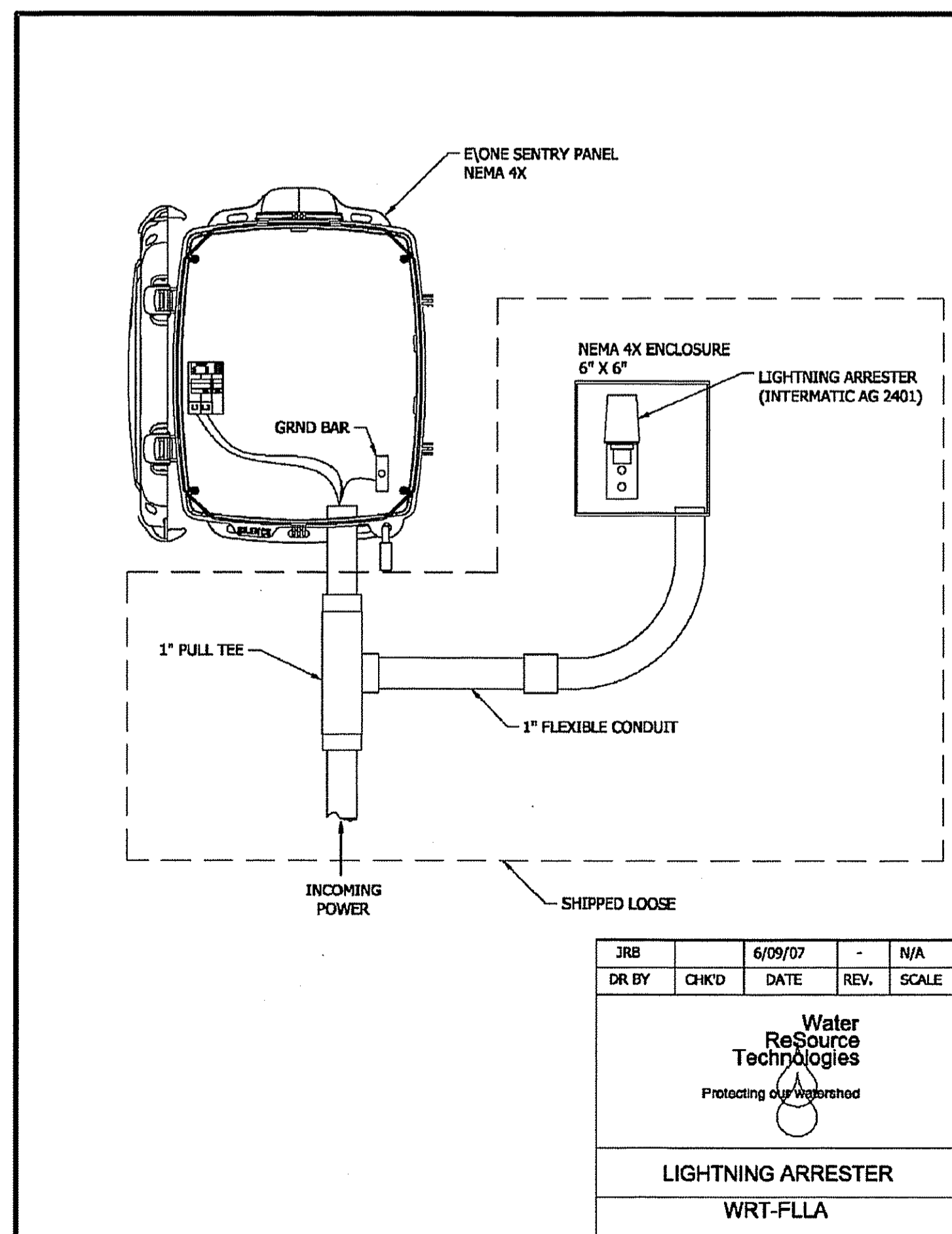
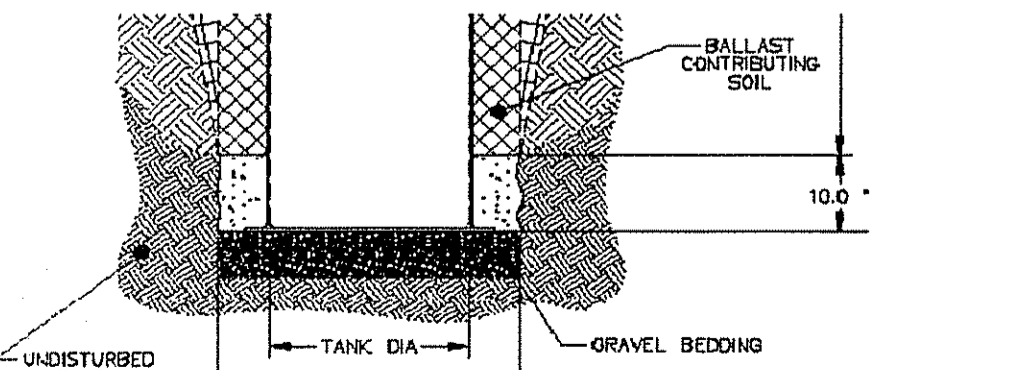


RIDDLE - NEWMAN ENGINEERING, INC.
 115 NORTH CANAL STREET
 PHONE (352) 787-7483
 FAX (352) 787-7412
 keith@riddlenewman.com
 ESTABLISHED 1971
 RIDDLE - NEWMAN ENGINEERING, INC.
 REVISED RETAINING WALL DETAILS 10/11/17
 REVISED PER CITY OF FRUITLAND PARK & LAKE COUNTY 10/5/17
 KEITH E. RIDDLE, P.E.
 FLA. REGIS. NO. 15860
 DRAWN: R.S.H.
 CHECKED: K.E.R.
 SCALE: AS SHOWN
 DATE: 7/13/17
 PROJECT NO: 16.08
 DETAILS
 MESOS MEDICAL OFFICE
 FLORIDA
 FRUITLAND PARK
 SHEET NO.
 C4.2



*Ballast is calculated with ground water at grade

| MODEL | MATERIAL | DIAMETER (inches) | STATION HEIGHT (inches) | STATION WEIGHT (pounds) | NET VOLUME (cubic feet) | NET ENJOYANT VOLUME (cubic feet) | NET BALLAST VOLUME (cubic feet) | CONCRETE DIAMETER (inches) | CONCRETE VOLUME (cubic feet) | CONCRETE WEIGHT (pounds) |
|-------------|--------------------|-------------------|-------------------------|-------------------------|-------------------------|----------------------------------|---------------------------------|----------------------------|------------------------------|--------------------------|
| 1000-60x24 | Simplex Fiberglass | 24 | 60 | 172 | 15.71 | 808 | 1421 | 36 | 3.3 | 450.9 |
| 1000-72x24 | Simplex Fiberglass | 24 | 72 | 178 | 18.95 | 959 | 1695 | 36 | 3.3 | 450.9 |
| 1000-90x24 | Simplex Fiberglass | 24 | 90 | 210 | 23.58 | 1280 | 2108 | 36 | 3.3 | 450.9 |
| 1000-120x24 | Simplex Fiberglass | 24 | 120 | 292 | 31.42 | 1728 | 2795 | 36 | 3.3 | 450.9 |
| 1000-144x24 | Simplex Fiberglass | 24 | 144 | 250 | 37.70 | 2102 | 3345 | 36 | 3.3 | 450.9 |
| 1000-60x30 | Simplex Fiberglass | 30 | 60 | 195 | 24.54 | 1336 | 1705 | 42 | 3.9 | 559.0 |
| 1000-72x30 | Simplex Fiberglass | 30 | 72 | 234 | 29.45 | 1804 | 2035 | 42 | 3.9 | 559.0 |
| 1000-90x30 | Simplex Fiberglass | 30 | 90 | 265 | 36.81 | 2042 | 2529 | 42 | 3.9 | 559.0 |
| 1000-120x30 | Simplex Fiberglass | 30 | 120 | 339 | 49.09 | 2724 | 3354 | 42 | 3.9 | 559.0 |
| 1000-144x30 | Simplex Fiberglass | 30 | 144 | 378 | 58.90 | 3268 | 4014 | 42 | 3.9 | 559.0 |
| 1000-60x36 | Simplex Fiberglass | 36 | 60 | 240 | 35.34 | 1965 | 2180 | 48 | 5.0 | 753.3 |
| 1000-72x36 | Simplex Fiberglass | 36 | 72 | 287 | 42.41 | 2389 | 2602 | 48 | 5.0 | 753.3 |
| 1000-90x36 | Simplex Fiberglass | 36 | 90 | 282 | 53.01 | 3026 | 3235 | 48 | 5.0 | 753.3 |
| 1000-120x36 | Simplex Fiberglass | 36 | 120 | 379 | 70.89 | 4033 | 4289 | 48 | 5.0 | 753.3 |
| 1000-144x36 | Simplex Fiberglass | 36 | 144 | 489 | 84.82 | 4804 | 5133 | 48 | 5.0 | 753.3 |
| 1000-60x42 | Duplex Fiberglass | 42 | 60 | 298 | 48.10 | 2708 | 2930 | 57 | 6.7 | 1012.4 |
| 1000-72x42 | Duplex Fiberglass | 42 | 72 | 314 | 57.73 | 3288 | 3497 | 57 | 6.7 | 1012.4 |
| 1000-90x42 | Duplex Fiberglass | 42 | 90 | 373 | 72.16 | 4130 | 4347 | 57 | 6.7 | 1012.4 |
| 1000-95x42 | Duplex Fiberglass | 42 | 96 | 373 | 76.87 | 4430 | 4631 | 57 | 6.7 | 1012.4 |
| 1000-120x42 | Duplex Fiberglass | 42 | 120 | 432 | 96.21 | 5571 | 5785 | 57 | 6.7 | 1012.4 |
| 1000-126x42 | Duplex Fiberglass | 42 | 126 | 432 | 101.02 | 5772 | 5979 | 57 | 6.7 | 1012.4 |
| 1000-144x42 | Duplex Fiberglass | 42 | 144 | 546 | 115.45 | 6658 | 6858 | 57 | 6.7 | 1012.4 |
| 1000-60x48 | Duplex Fiberglass | 48 | 60 | 325 | 62.83 | 3598 | 3790 | 65 | 8.7 | 1309.6 |
| 1000-72x48 | Duplex Fiberglass | 48 | 72 | 344 | 75.40 | 4381 | 4523 | 65 | 8.7 | 1309.6 |
| 1000-90x48 | Duplex Fiberglass | 48 | 90 | 424 | 84.25 | 5457 | 5624 | 65 | 8.7 | 1309.6 |
| 1000-120x48 | Duplex Fiberglass | 48 | 120 | 553 | 126.88 | 7287 | 7457 | 65 | 8.7 | 1309.6 |
| 1000-144x48 | Duplex Fiberglass | 48 | 144 | 627 | 150.79 | 8787 | 8924 | 65 | 8.7 | 1309.6 |
| 1000-240x48 | Duplex Fiberglass | 48 | 240 | 1282 | 251.32 | 14400 | 15800 | 65 | 8.7 | 1309.6 |
| 1000-60x60 | Quad Fiberglass | 60 | 60 | 781 | 98.17 | 5345 | 5524 | 80 | 12.7 | 1908.9 |
| 1000-96x60 | Quad Fiberglass | 60 | 96 | 947 | 157.08 | 8854 | 9233 | 81 | 13.5 | 2018.7 |
| 1000-174x60 | Quad Fiberglass | 60 | 174 | 1442 | 284.70 | 16323 | 16981 | 81 | 13.5 | 2018.7 |
| 1000-182x60 | Quad Fiberglass | 60 | 182 | 1489 | 295.06 | 15375 | 15451 | 81 | 13.5 | 2018.7 |
| 1000-186x60 | Quad Fiberglass | 60 | 216 | 1563 | 353.42 | 17470 | 17638 | 81 | 13.5 | 2018.7 |
| 1000-192x60 | Quad Fiberglass | 60 | 192 | 1526 | 314.15 | 18077 | 18277 | 81 | 13.5 | 2018.7 |
| 1000-180x60 | Quad Fiberglass | 60 | 180 | 1470 | 294.52 | 16908 | 17148 | 81 | 13.5 | 2018.7 |
| 1000-120x60 | Quad Fiberglass | 60 | 120 | 1108 | 198.34 | 11444 | 11494 | 81 | 13.5 | 2018.7 |
| 1000-114x60 | Quad Fiberglass | 60 | 114 | 1007 | 180.53 | 10032 | 10029 | 81 | 13.5 | 2018.7 |
| 1000-144x60 | Quad Fiberglass | 60 | 144 | 1204 | 235.61 | 13498 | 13755 | 81 | 13.5 | 2018.7 |
| 1000-86x72 | Quad Fiberglass | 72 | 86 | 1050 | 226.19 | 13024 | 13175 | 97 | 19.2 | 2680.4 |



RIDDLE - NEWMAN ENGINEERING, INC.
 115 NORTH CANAL STREET
 LEESBURG, FLORIDA 34748
 PHONE (352) 787-7482
 FAX (352) 787-7412
 keth@riddlenewman.com
 CA# 00002883

RIDDLE NEWMAN ENGINEERING INC. ESTABLISHED 1971

REV # REV # REV # REV #

KEITH E. RIDDLE, P.E.
 FLA. REGIS. NO. 36800

DRAWN: R.S.H. CHECKED: K.E.R. SCALE: N.T.S. DATE: 7/13/17 PRODUCT NO. 18.08

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PUMP STATION DETAILS

MESOS MEDICAL OFFICE FLORIDA
 FRUITLAND PARK

SHEET NO. C4.3

NOTICE OF SITE PLAN APPROVAL

TO: Larry Blevins and Carrie Ross Blevins, Owner,
Mesas Plastic Surgery and Laser Center
757 CR 466, Suite A
Lady Lake, Florida 32159

You are hereby notified that site plan approval has been given for the following described property lying wholly within the city limits of the City of Fruitland Park:

THE EAST 100 FEET OF THE SOUTH 400 FEET OF THE SOUTHWEST 1/4
OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 IN SECTION 6,
TOWNSHIP 19 SOUTH, RANGE 24 EAST, IN LAKE COUNTY, FLORIDA,
LESS THE RIGHT OF WAY FOR STATE ROAD NO. 466A

Under penalty of law, the above-referenced property may not be subdivided or split without the express written approval of the City Commission of the City of Fruitland Park.

Chris Cheshire, Mayor
City of Fruitland Park

Attest:

Esther B. Coulson, City Clerk
City of Fruitland Park

Approved as to form:

Anita Geraci-Carver, City Attorney
City of Fruitland Park

ORDINANCE 2018-001

AN ORDINANCE AMENDING THE COMPREHENSIVE PLAN OF THE CITY OF FRUITLAND PARK, LAKE COUNTY, FLORIDA PURSUANT TO 163.3187(1), FLORIDA STATUTES; CHANGING THE FUTURE LAND USE ELEMENT OF THE COMPREHENSIVE PLAN BY PROVIDING TEXT AMENDMENTS SPECIFIC TO LOTS 15 – 19, BLOCK B, 1ST ADDITION TO DREAM LAKE SUBDIVISION, CONSISTING OF LESS THAN 10 ACRES IN SIZE, LOCATED ON SUNSET WAY, FOREST STREET AND PENNSYLVANIA AVENUE, SPECIFYING ALLOWABLE USES ON THE PROPERTY; AMENDING THE FUTURE LAND USE MAP AND FUTURE LAND USE DESIGNATION TO MULTI-FAMILY LOW DENSITY AS LIMITED BY THE SITE SPECIFIC AMENDMENT; PROVIDING FOR CONFLICTS; PROVIDING FOR THE FORWARDING OF THIS ORDINANCE TO THE STATE OF FLORIDA DEPARTMENT OF ECONOMIC OPPORTUNITY; PROVIDING FOR SEVERABILITY AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Fruitland Park is committed to planning and managing the future growth and development of the City; and

WHEREAS, the City Commission finds and determines that establishing policies within the City's Comprehensive Plan which are specific to the subject property is in the best interests of the citizens and the people of the State and are not unduly restrictive of the private property rights of the owners of the subject property; and

WHEREAS, the site-specific policies established by this Ordinance take into consideration any vesting which the owners of the subject property have on the property; and

WHEREAS, the Planning and Zoning Board of the City of Fruitland Park held a public hearing on this Ordinance which was advertised in accordance with State law; and

WHEREAS, the public hearings for this Ordinance have been advertised as required by State law; and

WHEREAS, the City Commission of the City of Fruitland Park hereby finds and determines that the plan amendments are internally consistent and consistent with the City's Comprehensive Plan.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA:

Section 1: Legislative Findings.

The recitals set forth above are hereby adopted as legislative findings of the City Commission of the City of Fruitland Park.

Section 2: Comprehensive Plan Amendments.

A. Attached hereto and incorporated herein by reference as Exhibit “A” is the proposed amended Future Land Use Map. The Map assigns a City of Fruitland Park land use designation to the subject property. The subject property is hereby designated as Multi-Family Low Density (MFLD) on the City of Fruitland Park Future Land Use Map.

B. Site specific amendments to the Future Land Use Element pertaining to the subject property are as provided below.

Future Land Use Element Policy 1-1.3-1

The following policy is added:

Future Land Use Element Policy 1-1.3-1. Allowable Uses for the Property hereafter described:

The Property: Lots 15, 16, 17, 18 and 19, 1st Addition to Dream Lake Subdivision, according to the map or plat thereof, as recorded in Plat Book 3, Page 13, of the Public Records of Lake County, Florida (the “Ross Property”).

shall be limited to the uses defined in this Policy. The allowable uses on the Ross Property are:

- Single-family detached residential dwelling units; and
- Two family (duplex) dwelling units.

Section 3. Description of the Subject Property.

The subject property lies on Sunset Way, Forest Street and Pennsylvania Avenue, in Fruitland Park, in Lake County, Florida, and comprises less than 10 acres in size. Tax Parcel Identification(s) of the parcels are: 09-19-24-120000B01500; 09-19-24-120000B01600; 09-19-24-120000B01700; 09-19-24-120000B01800 and 09-19-24-120000B01900 of Lake County, Florida, and are legally described as:

Lots 15, 16, 17, 18 and 19, 1st Addition to Dream Lake Subdivision, according to the map or plat thereof, as recorded in Plat Book 3, Page 13, of the Public Records of Lake County, Florida

Section 4. Data and Analysis. The supporting data and analysis shall be transmitted by the City to the Department of Economic Opportunity and the review agencies with the Comprehensive Plan Amendments, but the data and analysis is not adopted by this Ordinance.

Section 5. Conflicting Ordinances. All ordinances or parts of ordinances in conflict with this Ordinance are hereby repealed.

Section 6. After the first public hearing, a paper copy of the Comprehensive Plan Amendments and supporting data and analysis and two electronic copies thereof on a CD ROM in PDF format

shall be transmitted to the Department of Economic Opportunity; and one paper copy shall be transmitted to and the East Central Florida Regional Planning Commission, the St. John's River Water Management District, the Department of Environmental Protection, the Department of State, the Department of Transportation, Lake County, and any other unit of local government or governmental agency in the State of Florida that has filed a written request with the Clerk of the City of Fruitland Park, Florida.

Section 7. Effective Date. This Ordinance shall become effective pursuant to the Department of Economic Opportunity's Notice of Intent if in compliance, and no challenge is filed by an affected party when the Notice of Intent is posted on the Department's website.

FIRST READING on the ____ day of _____, 201__.

ADOPTED AND ENACTED on second reading: the ____ day of _____, 20__.

Chris Cheshire, Mayor
City of Fruitland Park, Florida

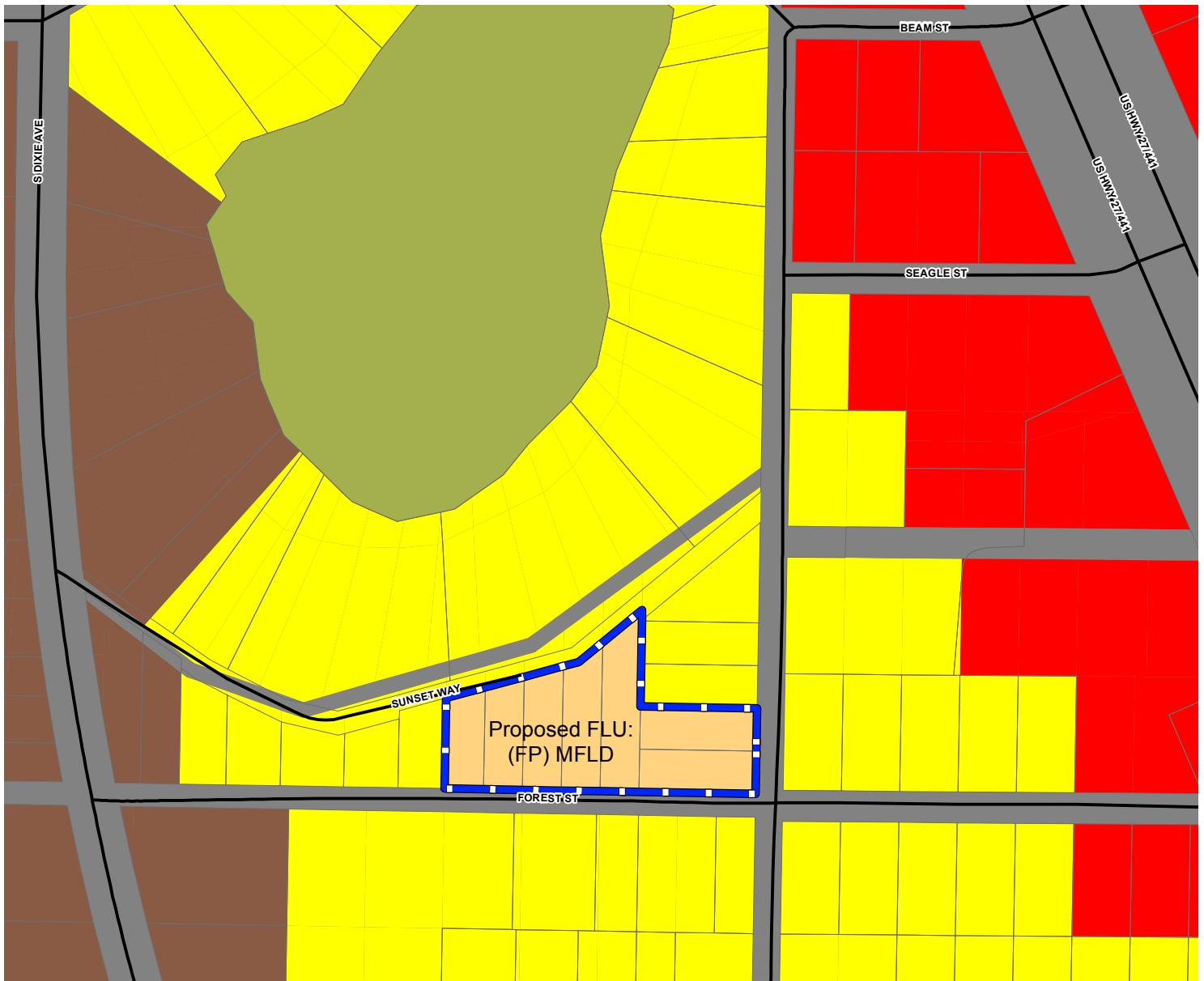
ATTEST:

Esther Coulson
City Clerk

| | |
|---------------------|--|
| Mayor Cheshire | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |
| Vice Mayor Gunter | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |
| Commissioner Lewis | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |
| Commissioner Ranize | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |
| Commissioner Bell | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |

Approved as to Form:

Anita Geraci-Carver
City Attorney



Legend

-  Site Boundary
-  City of Fruitland Park
- City of Fruitland Park Future Land Use**
-  SFMD -- Single - Family Medium Density (4 du/ac)
-  COMM -- Commercial - High Intensity
-  MC -- Mixed Community (6 res. du/ac)
-  IND -- Industrial
-  OSC -- Open Space - Conservation
-  ROW -- Right-of-Way
-  MFLD -- Multiple - Family Low Density (8 du/ac)



1 inch = 200 feet

**City of Fruitland Park
Ross Property
Lake County, Florida
Proposed Future Land Use**

Project: 398-16-02
File: Proposed FLU2.mxd
Name: Ross
PM: Sherie Lindh
Date: December 7, 2016
Created By: J.Wilson





506 WEST BERCKMAN STREET
FRUITLAND PARK, FL 34731

PHONE: 352/ 360-6727
FAX: 352/ 360-6652

| | |
|---|--|
| Board Members: Connie Bame, Chairwoman Colin Crews Daniel Dicus Philip Purlee Tom Bradley | Others: Charlie Rector, Community Development Director Tracy Kelley, Administrative Assistant |
|---|--|

**AGENDA
PLANNING & ZONING BOARD
NOVEMBER 16, 2017
6:00PM**

- I. INVOCATION:**
- II. ROLL CALL:**
- III. MINUTES FROM PREVIOUS MEETING: Approve meeting minutes from October 19, 2017.**
- IV. OLD BUSINESS: None**
- V. NEW BUSINESS:**
 - A First Baptist Church of Leesburg, Inc. (ALT Key # 1287863)
 - b. PUD (Planned Unit Development) Application to rezone to a mixed use planned unit development consisting of residential, commercial, institutional and recreational uses for an aged restricted community.

BOARD MEMBERS' COMMENTS:

ADJOURNMENT:



506 WEST BERCKMAN STREET
FRUITLAND PARK, FL 34731

PHONE: 352/ 360-6727
FAX: 352/ 360-6652

| | |
|---|--|
| Board Members: Connie Bame, Chairwoman Colin Crews Daniel Dicus Philip Purlee Tom Bradley | Others: Charlie Rector, Community Development Director Tracy Kelley, Administrative Assistant |
|---|--|

**MINUTES
PLANNING & ZONING BOARD
OCTOBER 19, 2017
6:00PM**

- I. INVOCATION:** Chairwoman Bame called the meeting to order at 6:00P.M. Board member Daniel Dicus gave the invocation and led the pledge of allegiance.
- II. ROLL CALL:** All board members present with exception of Board member Philip Purlee. Present CDD Rector and Assistant Kelley.
- III. MINUTES FROM PREVIOUS MEETING:** Approve meeting minutes from May 18, 2017. Motion to approve meeting minutes by Board member Daniel Dicus. Second by Board member Colin Crews. Approved 4-0.
- IV. OLD BUSINESS:** None
- V. NEW BUSINESS:**
- A Recommend and Elect Chair and Vice Chair to the Planning & Zoning Board
- Board members elected Board member Connie Bame as Chair and Board member Philip Purlee as Vice Chair to the Planning & Zoning Board. Motion by Board member Colin Crews. Second by Board member Daniel Dicus. Approved 4-0.
- B Recommend for approval City Ordinance 2017-029
- b. Amending City of Fruitland Park Land Development Regulations Chapter 161.090 to bring the regulations into agreement with the most current FEMA approved, Code Companion Floodplain Management Ordinance for Florida
- CDD Rector introduced Ordinance and gave brief explanation; no board comments. Motion to amend City Ordinance 2017-029 by Board member Daniel Dicus. Second by Board member Tom Bradley. Approved 4-0.

PUBLIC COMMENTS: None

BOARD MEMBERS' COMMENTS: None

ADJOURNMENT: 6:14PM



Community Development Department
506 W. Berckman St.
Fruitland Park FL 34731

Tel. (352) 360-6727
Fax. (352) 360-6652

STAFF REPORT

Project: Village Park Campus

Project Owner: First Baptist Church of Leesburg, Inc.
220 N 13th Street
Leesburg, FL 34748-4962

Project Address: Vacant Property Formerly Known as Pine Ridge Dairy
Alternate Key#: 12878863

Proposed: Mixed Use Planned Unit Development (PUD)

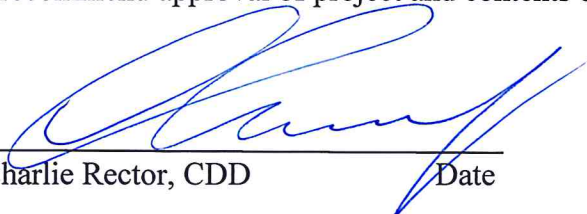
The property is formerly known as the Pine Ridge Dairy property and the general location is south of CR 466A and west of Pine Ridge Dairy Road. The property owners are seeking to rezone current land use to a mixed use planned unit development (PUD) consisting of residential, commercial, institutional, and recreational uses for an aged restricted community.

The proposed project is an age restricted community (55+) consisting of single family detached dwelling units, villa units, garden apartments, and condominium dwelling units.

The property is also proposed for an ALF approval for a maximum of 150 beds and a maximum of 60 beds for a skilled nursing facility.

Applicant states all streets will be private.

I recommend approval of project and contents of Master Developer's Agreement.



Charlie Rector, CDD Date

cc: File

CITY OF FRUITLAND PARK
PLANNING AND ZONING APPLICATION

RECEIVED JUN 06 2017

Application: First Baptist Church of Leesburg, Inc. Date: _____

Applicant Name: _____

Address: 220 N. 13th St.

Leesburg, FL 34748-4962

Phone: (352) 787-1005

- Application Type:
- | | |
|---|---|
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Subdivision Approval |
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Site Plan Approval |
| <input checked="" type="checkbox"/> Rezoning | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Road/Lot Vacation |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Development Order |
| <input type="checkbox"/> Clearing Permit | <input type="checkbox"/> Concurrency Review |
| <input type="checkbox"/> Other | |

Applicant is: Owner Agent Purchaser Lessee Optionee

Reason for Request: To rezone the property to PUD.

Owner's Name: First Baptist Church of Leesburg, Inc.

Address: 220 N 13th St., Leesburg, FL 34748-4962

Phone: (352) 787-1005

Property Address or Vicinity: Fruitland Park, FL 34731

Size of Property: 206.11 acres

Existing Zoning: R-2, R-3A, C-2, PFD, & GB Proposed Zoning: PUD

Existing Future Land Use: PUD Proposed Future Land Use: PUD

Current Number of Structures on the Property: None

Current Utilities on the Property: Central Water Central Sewer Well Septic Tank

- Required Attachments:
- 1. Copy of recorded deed(s) for the property.
 - 2. Owner's Affidavit
 - 3. Applicant's Affidavit (if applicable)
 - 4. Copy of boundary survey or sketch plan showing existing streets, existing and proposed structures.
 - 5. Surrounding property owner's names and addresses for all property lying within two-hundred (200) feet of the property described on this application.

Has any previous application been filed within the last year in connection with this property? NO YES

If YES, describe: _____

STAFF REVIEW OF APPLICATION:

DATE: _____

I have reviewed this application and verify that the City of Fruitland Park has received all required attachments.
If not, a written explanation has been received and attached to this application.

City Staff: _____

Title: _____

OWNER'S AFFIDAVIT

RECEIVED JUN 06 2017

STATE OF FLORIDA

COUNTY OF LAKE

Before me, the undersigned authority, personally appeared ART AYRIS

who being by me first duly sworn on oath, deposes and says:

- 1) That he/she is the fee-simple owner of the property legally described on page two of this application.
2) That he/she desires TO REZONE THE PROPERTY to allow FUTURE DEVELOPMENT

3) That he/she has appointed Gregory R. Crawford, P.E., Florida Engineering Group, Inc. to act as agent in his/her behalf to accomplish the above. The owner is required to complete the Applicant's affidavit of this application if no agent is appointed to act in his/her behalf.

[Signature]
Affiant (Owner's signature)

Signed and sworn to (or affirmed before me on May 25, 2017

(date) by Art A. Ayris (name of affiant).

He/she is personally known to me or has produced (type of identification) as identification.

[Signature] (Signature of Person Taking Acknowledgment)

KAREN A. GARDINER (Name of Acknowledger Typed, Printed or Stamped)

MINISTRY ASSISTANT (Title or Rank)

(Serial Number, if any)

(NOTARY'S SEAL)

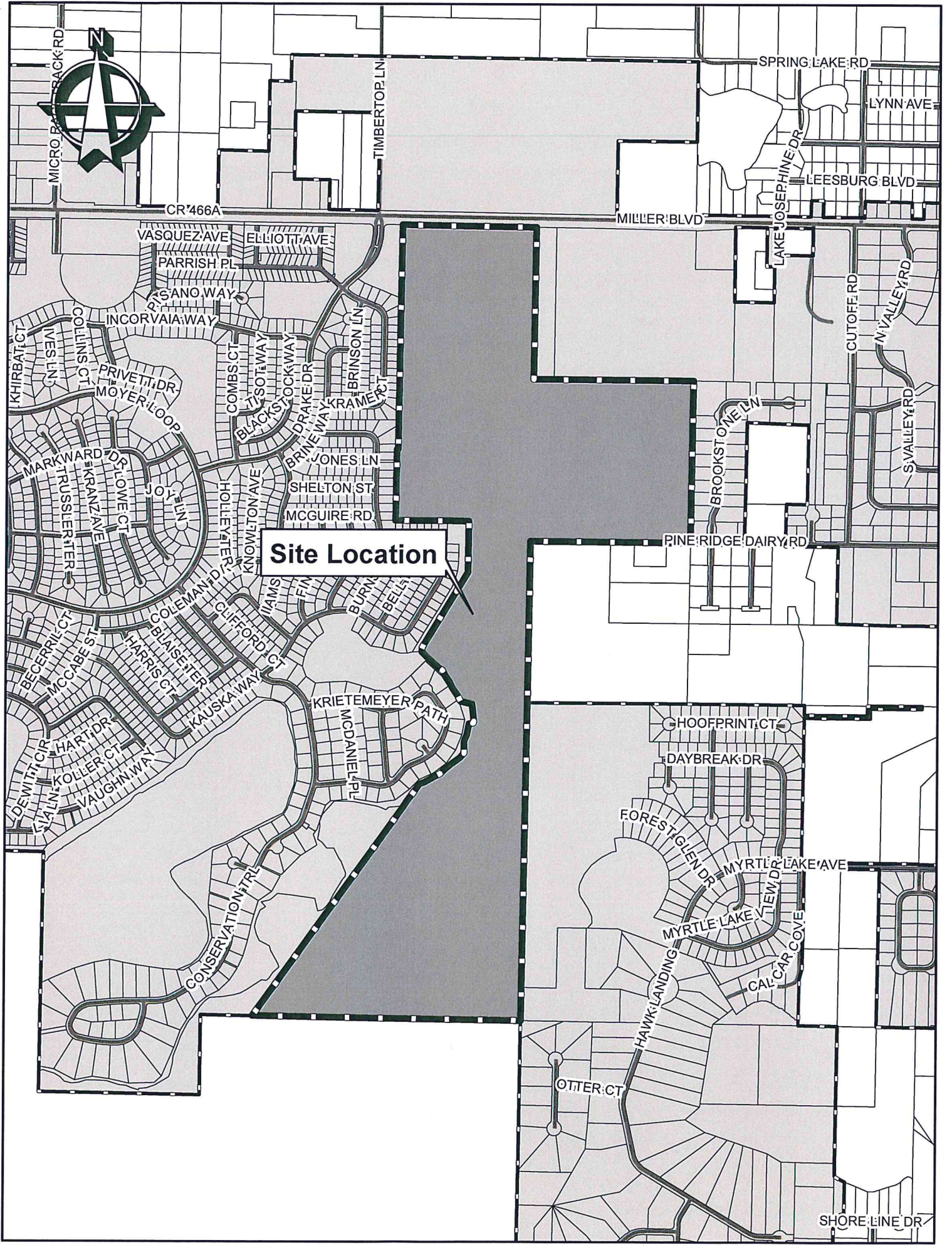


RECEIVED JUN 06 2017

ADDENDUM (June 5, 2017)
First Baptist Leesburg, Inc. PUD Submittal

1. The PUD also includes a design plan for the future construction of a cross on the church property that will not exceed 90' in height.

Art Ayris
Executive Pastor



CR 466A

Site Location

MICRO BACK RD

TIMBERTOP LN

SPRING LAKE RD

LYNN AVE

LEESBURG BLVD

MILLER BLVD

LAKE JOSEPHINE DR

VASQUEZ AVE

ELLIOTT AVE

PARRISH PL

RISANO WAY

INCORVAIA WAY

PRIVETT DR

MOYER LOOP

MARKWARD DR

TRUSSLER TER

MARKWARD DR

TRUSSLER TER

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COMBS CT

BLACKSTOCKWAY

BRINE WAY

BRINSON LN

JONES LN

SHELTON ST

MCGUIRE RD

KNOWLTON AVE

COLEMAN DR

CLIFFORD CT

WILSON DR

FIN LN

BURN LN

BELLS LN

KRIEMER PATH

MCDANIEL PL

CONSERVATION TRL

VAUGHN WAY

VAUGHN WAY

VAUGHN WAY

VAUGHN WAY

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COMBS CT

BLACKSTOCKWAY

BRINE WAY

BRINSON LN

JONES LN

SHELTON ST

MCGUIRE RD

KNOWLTON AVE

COLEMAN DR

CLIFFORD CT

WILSON DR

FIN LN

BURN LN

BELLS LN

KRIEMER PATH

MCDANIEL PL

CONSERVATION TRL

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PINE RIDGE DAIRY RD

BROOKSTONE LN

CUTOFF RD

N VALLEY RD

S VALLEY RD

HOOFPRINT CT

DAYBREAK DR

FOREST GLEN DR

MYRTLE LAKE AVE

MYRTLE LAKE V

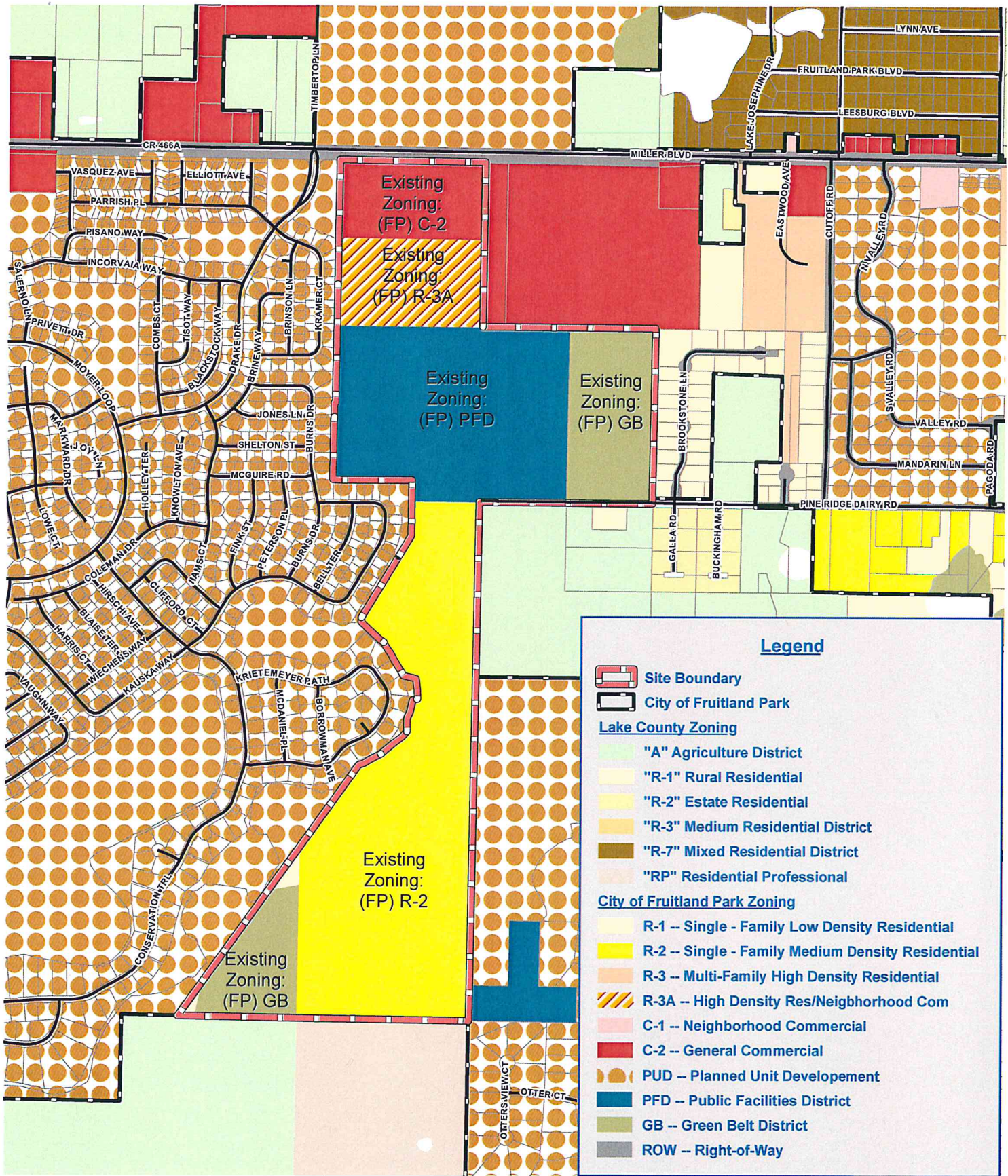
TIEW DR

CAL CAR COVE

HAWK LANDING

OTTER CT

SHORE LINE DR



Legend

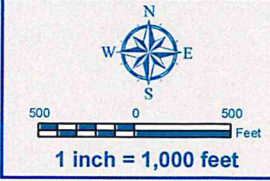
- Site Boundary
- City of Fruitland Park

Lake County Zoning

- "A" Agriculture District
- "R-1" Rural Residential
- "R-2" Estate Residential
- "R-3" Medium Residential District
- "R-7" Mixed Residential District
- "RP" Residential Professional

City of Fruitland Park Zoning

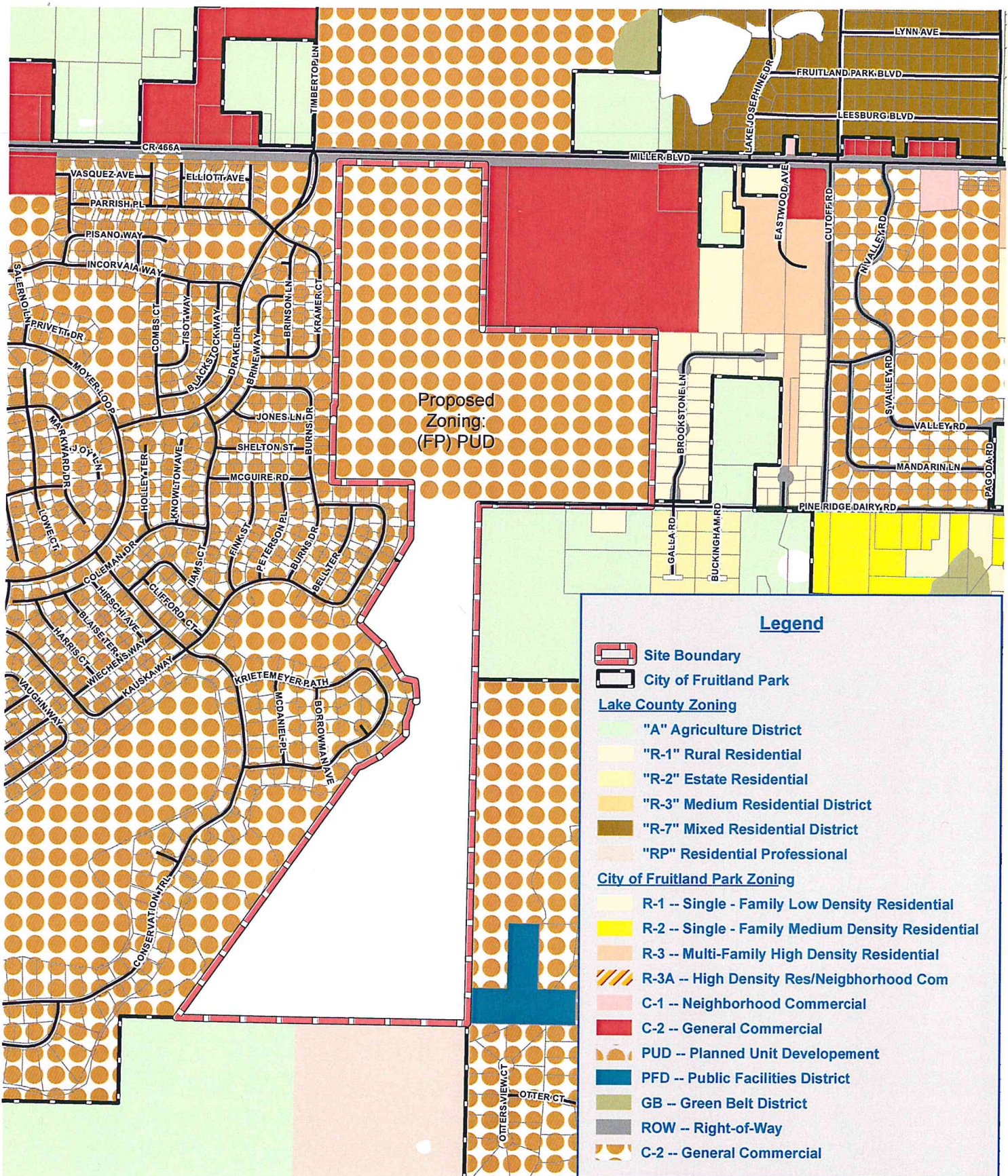
- R-1 -- Single - Family Low Density Residential
- R-2 -- Single - Family Medium Density Residential
- R-3 -- Multi-Family High Density Residential
- R-3A -- High Density Res/Neighborhood Com
- C-1 -- Neighborhood Commercial
- C-2 -- General Commercial
- PUD -- Planned Unit Development
- PFD -- Public Facilities District
- GB -- Green Belt District
- ROW -- Right-of-Way



City of Fruitland Park
First Baptist Church of Leesburg, Inc
 Lake County, Florida
 Existing Zoning

Project: 398-17-03
 File: Existing Zoning.mxd
 Name: First Baptist
 PM: Sherie Lindh
 Date: June 14, 2017
 Created By: J.Wilson

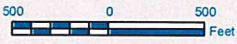
LPG Urban & Regional Planners, Inc.
 1162 Camp Avenue, Mount Dora, Florida 32757
 Office: (352) 385-1940 / Fax: (352) 383-4824



Proposed
Zoning:
(FP) PUD

Legend

- Site Boundary
- City of Fruitland Park
- Lake County Zoning**
 - "A" Agriculture District
 - "R-1" Rural Residential
 - "R-2" Estate Residential
 - "R-3" Medium Residential District
 - "R-7" Mixed Residential District
 - "RP" Residential Professional
- City of Fruitland Park Zoning**
 - R-1 -- Single - Family Low Density Residential
 - R-2 -- Single - Family Medium Density Residential
 - R-3 -- Multi-Family High Density Residential
 - R-3A -- High Density Res/Neighborhood Com
 - C-1 -- Neighborhood Commercial
 - C-2 -- General Commercial
 - PUD -- Planned Unit Development
 - PFD -- Public Facilities District
 - GB -- Green Belt District
 - ROW -- Right-of-Way
 - C-2 -- General Commercial



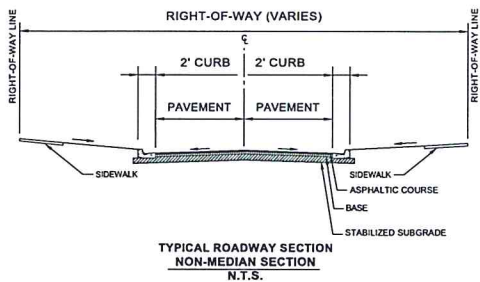
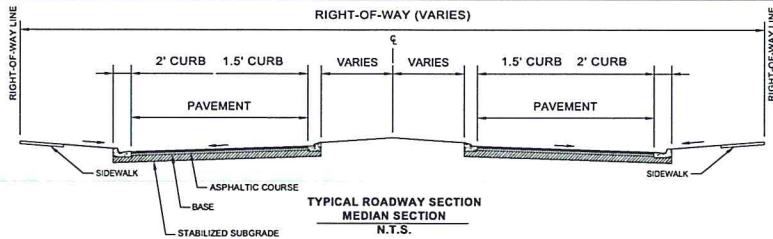
1 inch = 1,000 feet

**City of Fruitland Park
First Baptist Church of Leesburg, Inc**

Lake County, Florida
Proposed Zoning

Project: 398-17-03
File: Proposed Zoning.mxd
Name: First Baptist
PM: Sherie Lindh
Date: June 14, 2017
Created By: J.Wilson

LPG Urban & Regional Planners, Inc.
1162 Camp Avenue, Mount Dora, Florida 32757
Office: (352) 383-1940 / Fax: (352) 383-4824



NOTE: ALL STREETS WILL BE PRIVATE BUT CONSTRUCTED TO CITY STANDARDS

PROPOSED USES

- COMMERCIAL
- RESIDENTIAL
- INSTITUTIONAL
- ROADWAY/PARKING/PONDS
- OPEN SPACE/PARK/RECREATION
- PROPOSED BUFFER - A

OWNERS/APPLICANTS
 FIRST BAPTIST CHURCH OF LEESBURG
 220 N. 13TH STREET
 LEESBURG, FL 34748

PRESBYTERIAN RETIREMENT COMMUNITIES, INC.
 80 W. LUCERNE CIRCLE
 ORLANDO, FL 32801
 (407) 839-5050

ENGINEER
 FLORIDA ENGINEERING GROUP, INC.
 5127 S. ORANGE AV, SUITE 200
 ORLANDO, FL 32809
 (407) 895-0324

SURVEYOR
 FARNER BARLEY & ASSOCIATES, INC.
 4450 NE 83RD ROAD
 WILDWOOD, FL 34785
 (352) 784-3126

SITE DATA
 PROPERTY LOCATION: COUNTY ROAD 466A
 FRUITLAND PARK, FLORIDA
 05-19-24-0003-000022-00-000F
 R-2(SINGLE FAMILY); R-3A(HDR & LIGHT COMMERCIAL); C-2(GENERAL COMMERCIAL); PFD(PUBLIC FACILITY DIST) AND GB(GREEN BELT)

PARCEL ID NUMBER:
 EXISTING PROPERTY ZONING:

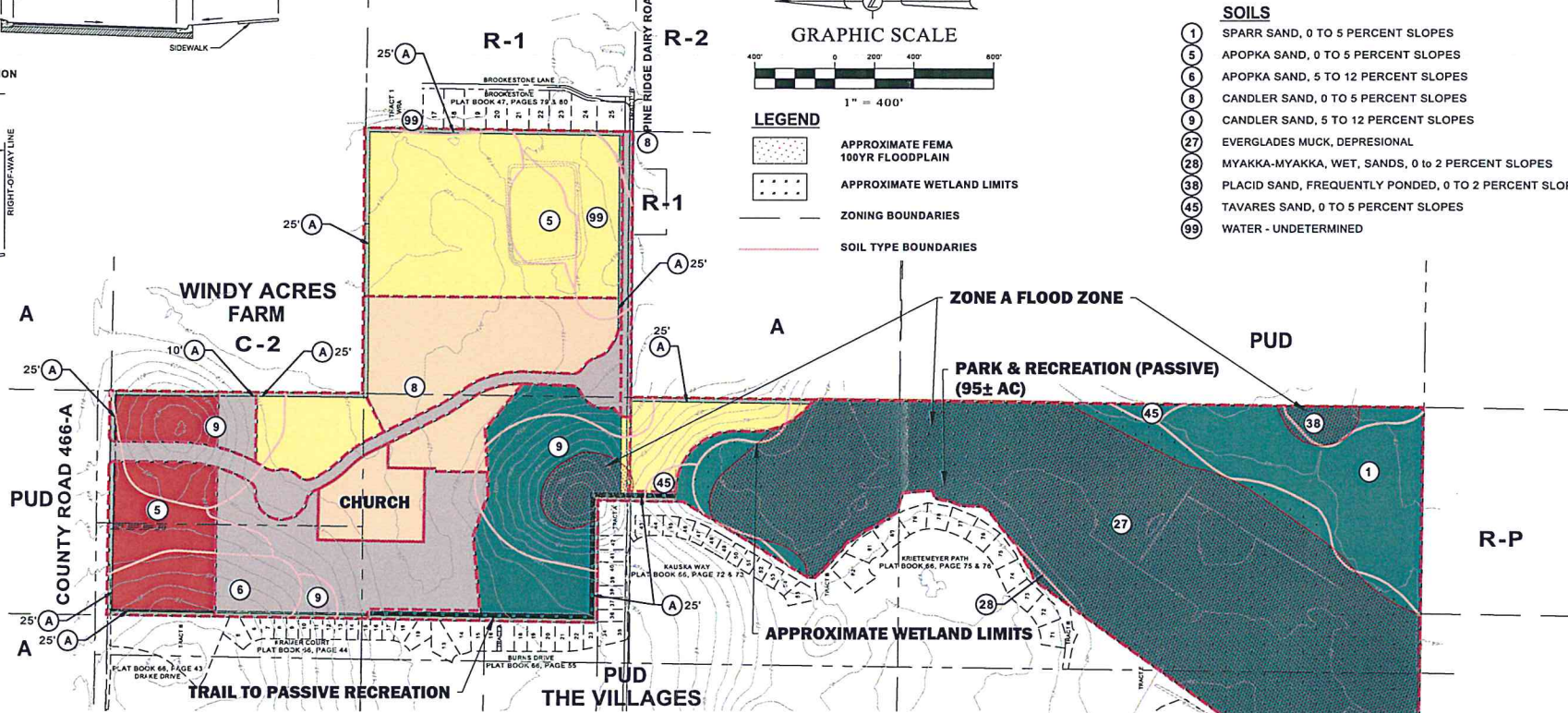
PROPOSED PROPERTY ZONING: PUD
 PROPERTY FUTURE LAND USE DESIGNATION: PUD
 EXISTING USE: VACANT
 PROPOSED USE: MULTI-USE
 (RESIDENTIAL, COMMERCIAL & INSTITUTIONAL)
 THIS DEVELOPMENT WILL BE AN AGE RESTRICTED
 55+ COMMUNITY
 205.76 ACRES



LEGEND

- APPROXIMATE FEMA 100YR FLOODPLAIN
- APPROXIMATE WETLAND LIMITS
- ZONING BOUNDARIES
- SOIL TYPE BOUNDARIES

- SOILS**
- 1 SPARR SAND, 0 TO 5 PERCENT SLOPES
 - 5 APOPKA SAND, 0 TO 5 PERCENT SLOPES
 - 6 APOPKA SAND, 5 TO 12 PERCENT SLOPES
 - 8 CANDLER SAND, 0 TO 5 PERCENT SLOPES
 - 27 CANDLER SAND, 5 TO 12 PERCENT SLOPES
 - 9 EVERGLADES MUCK, DEPRESSIONAL
 - 28 MYAKKA-MYAKKA, WET, SANDS, 0 TO 2 PERCENT SLOPES
 - 38 PLACID SAND, FREQUENTLY PONDED, 0 TO 2 PERCENT SLOPES
 - 45 TAVARES SAND, 0 TO 5 PERCENT SLOPES
 - 99 WATER - UNDETERMINED



PROJECT AREA:
 MIXED USES ON THIS PROPERTY SHALL INCLUDE AT LEAST TWO (2) OF THE THREE (3) USES IN THE FOLLOWING TABLE:

| USE | MINIMUM | MAXIMUM |
|---------------|---------|---------|
| RESIDENTIAL | 15% | 65% |
| COMMERCIAL | 5% | 30% |
| INSTITUTIONAL | 5% | 35% |

PERMITTED USES ARE ALL OF THE USES LISTED UNDER R-1, R-2, R-3, R-P, AND C-1 ZONING DISTRICTS. USES ALSO ALLOWED WITHOUT SPECIAL EXCEPTION APPROVAL ARE: CHURCH/RELIGIOUS FACILITIES, CONVENIENCE STORES WITH FUEL OPERATIONS, RESTAURANTS, BANKS, AND ATHLETIC/SPORTS FACILITY USES. USES THAT ARE PROHIBITED ARE MOBILE HOMES PARKS, HOMESTAY BED & BREAKFAST, OFFICE/WAREHOUSE FACILITIES, AND MINI-WAREHOUSES.

ALLOWABLE DENSITY:
 MAXIMUM ALLOWABLE DENSITY: 900 DU

NON-RESIDENTIAL:
 MAXIMUM ALLOWED FAR - 0.70
 MAXIMUM ALLOWED ISR - 0.80

PROPOSED NON-RESIDENTIAL

| | MAXIMUM COMM. (SF) | MAXIMUM INST. (SF) | FAR: 0.04<0.7 |
|-------|--------------------|--------------------|---------------|
| TOTAL | 190,000 | 180,000 | |

OPEN SPACE:
 REQUIRED: 20% (MIN.: 41.2 AC)
 PROVIDED: 46.2% (95± AC)(PARK AND RECREATION)
 OPEN SPACES MAY BE ADJUSTED IN THE FUTURE BASED ON MARKET DEMANDS, HOWEVER, A MINIMUM OF 20% OPEN SPACE WILL BE PROVIDED.

BUFFER YARDS

| | BUFFER (1) |
|---------------|-----------------------------------|
| FRONT (NORTH) | 10' |
| SIDE (EAST) | 10' |
| SIDE (WEST) | 25' |
| REAR (SOUTH) | 25' (ALONG PINE RIDGE DAIRY ROAD) |

(1) SEE SITE PLAN FOR BUFFER LOCATIONS

LOT REQUIREMENTS:

| District | SCHEDULE OF DIMENSIONAL REQUIREMENTS | | | | | |
|-----------------------|--------------------------------------|---------------------|-------------------------|---------------------|--|--------------------------------|
| | Min. Living Area/DU (SF) | Min. Lot Width (FT) | Max. Building Cover (%) | Min. Open Space (%) | Max. Building Height (N.T.E.) (2) (FT) | Min. Building Setback (1) (FT) |
| RES (DETACHED)(V)F | 1,000 | 40 | 50 | 10 | 35 | 20 |
| RES (ATTACHED)(V)F(3) | 1,000 | 20 | 50 | 10 | 35 | 20 |
| INSTITUTIONAL | N/A | 100 | N/A | 10 | 95 | 20 |
| COMMERCIAL | N/A | 100 | N/A | 10 | 95 | 20 |

- ACCESSORY STRUCTURE SETBACKS (i.e., WOOD DECK, SWIMMING POOL & DECK, SCREEN POOL ENCLOSURE) CAN BE REDUCED TO 5'.
- MAXIMUM HEIGHT FOR SPECIFIC STRUCTURES (i.e., ANTENNA-DISH (GROUND MOUNTED); FREE STANDING CARPORTS; RESIDENTIAL STORAGE BUILDINGS): 20'.
- APPLIES TO TOWNHOMES AND ATTACHED VILLAS.
- FRONT (GARAGE SETBACK): 25'

- NOTES:**
- THIS PLAN IS PREPARED BASED ON CURRENT NEEDS AND ANTICIPATED DEVELOPMENT PROGRAM. HOWEVER, THE PLAN AND DEVELOPMENT PROGRAM ARE SUBJECT TO CHANGE BASED ON FUTURE MARKET CONDITIONS AND DEMANDS.
 - STORMWATER MANAGEMENT WILL BE ADDRESSED BY EACH PROJECT DURING THE CONSTRUCTION PLAN REVIEW PROCESS. STORMWATER MANAGEMENT WILL BE PROVIDED IN SHARED PONDS OR SEPARATE PONDS LOCATED WITHIN THE INDIVIDUAL PARCELS.
 - NEGOTIATIONS ARE IN THE PROCESS TO POTENTIALLY PROVIDE A GOLF CART PATH TO THE PROPERTY FROM THE VILLAGES.

UTILITIES STATEMENT
 WATER AND SEWER SERVICES WILL BE PROVIDED BY THE CITY OF FRUITLAND PARK UTILITY DEPARTMENT. THE WATER CONNECTIONS WILL BE MADE TO THE EXISTING MAINS LOCATED ALONG PINE RIDGE DAIRY ROAD AND COUNTY ROAD 466A. THE SEWER CONNECTION WILL BE MADE TO THE EXISTING FORCEMAIN LOCATED ALONG COUNTY ROAD 466A.

FLOOD ZONE
 FLOOD ZONE X AND A PER FEMA F.I.R.M. PANELS 305 AND 306 OF 750 DATED: 12/18/2012.

WETLAND STATEMENT
 THIS PROJECT CONTAINS JURISDICTIONAL WETLANDS. THE APPROXIMATE WETLAND LOCATIONS ARE SHOWN HEREON. THE ACTUAL LIMITS OF THE WETLANDS WILL BE DETERMINED PRIOR TO FINAL CONSTRUCTION PLAN PREPARATION.

STORMWATER CRITERIA
 STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH CHAPTER 158 OF THE CITY OF FRUITLAND PARK L.D.R. AND ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT'S CRITERIA.

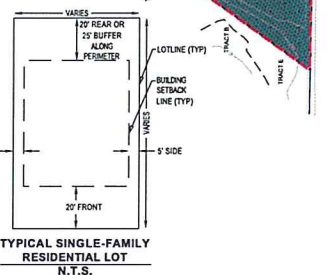
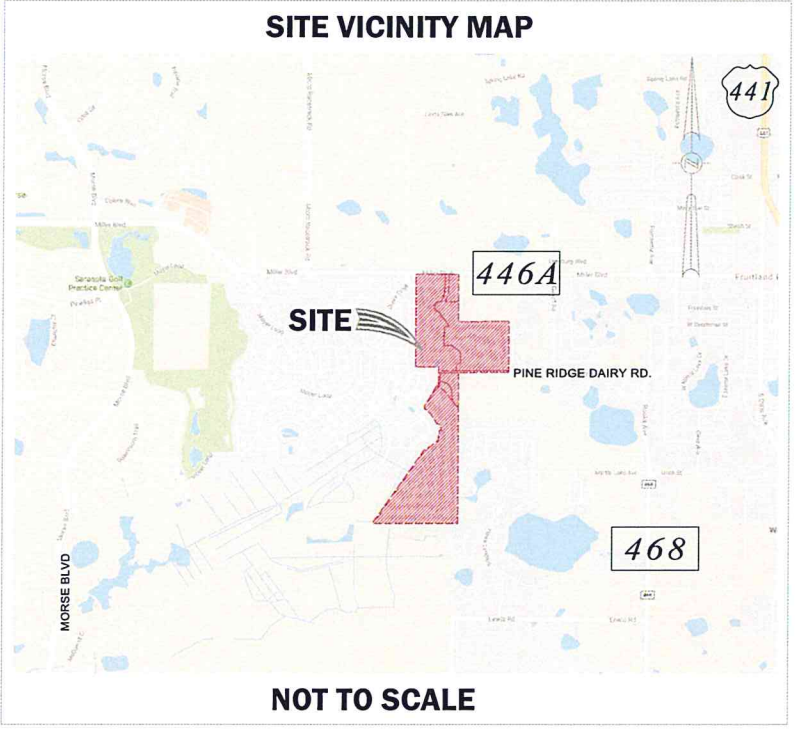
FIRE CODE
 THE PROPOSED DEVELOPMENT WILL BE DESIGNED IN ACCORDANCE WITH CHAPTER 161 OF THE CITY OF FRUITLAND PARK L.D.R., STATE, AND FEDERAL FIRE CODE REQUIREMENTS.

TREE AND LANDSCAPING
 LANDSCAPING AND TREE PROTECTION WILL BE PROVIDED IN ACCORDANCE WITH CHAPTER 164 OF THE CITY OF FRUITLAND PARK L.D.R.

LEGAL DESCRIPTION
 THAT LAND LYING IN SECTIONS 5, 7 AND 8, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

FROM THE NORTHWEST CORNER OF SAID SECTION 8, RUN S89°39'50"E, ALONG THE NORTH LINE THEREOF, A DISTANCE OF 210.00 FEET TO THE EAST LINE OF THE WEST 210.00 FEET OF THE NORTHWEST 1/4 OF SAID SECTION 8, ALSO BEING THE EASTERLY BOUNDARY OF VILLAGES OF FRUITLAND PARK UNIT NO. 27 AS RECORDED IN PLAT BOOK 66, PAGES 42 THROUGH 44, INCLUSIVE, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND THE POINT OF BEGINNING; THENCE ALONG SAID EAST LINE AND SAID EASTERLY BOUNDARY, S00°47'54"W, 350.15 FEET TO THE NORTHEAST CORNER OF VILLAGES OF FRUITLAND PARK UNIT NO. 28 AS RECORDED IN PLAT BOOK 66, PAGES 54 THROUGH 55, INCLUSIVE, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, THENCE DEPARTING THE EASTERLY BOUNDARY OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 27 AND ALONG THE EASTERLY BOUNDARY OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 28 THE FOLLOWING COURSES: S00°47'54"W, 244.87 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 595.00 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING THE EAST LINE OF THE WEST 210.00 FEET OF THE NORTHWEST 1/4 OF SAID SECTION 8 AND ALONG SAID SOUTH LINE, S89°39'50"W, 10.00 FEET TO THE EAST LINE OF THE WEST 200.00 FEET OF SAID SECTION 8; THENCE DEPARTING SAID SOUTH LINE AND ALONG SAID EAST LINE, S00°47'54"W, 589.01 FEET TO THE SOUTHEAST CORNER OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 28 AND A POINT ON THE NORTH LINE OF THE SOUTH 160.00 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING SAID EASTERLY BOUNDARY, SAID EAST LINE AND ALONG SAID NORTH LINE, S89°40'49"E, 611.54 FEET; THENCE DEPARTING SAID NORTH LINE AND ALONG THE FOLLOWING BOUNDARIES: VILLAGES OF FRUITLAND PARK, UNIT NO. 29, AS RECORDED IN PLAT BOOK 66, PAGE 71 THROUGH 73, INCLUSIVE, VILLAGES OF FRUITLAND PARK, UNIT NO. 31, AS RECORDED IN PLAT BOOK 66, PAGE 74 THROUGH 82, INCLUSIVE, SAID BOUNDARIES ALSO BEING THE EAST LINE OF THOSE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 4415, PAGE 1806, ALL IN THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; RUN THENCE S00°46'30"W, 425.68 FEET; THENCE S31°15'56"W, 733.08 FEET; THENCE S00°47'54"W, 35.45 FEET; THENCE S43°54'50"E, 75.41 FEET; THENCE S49°19'38"E, 80.87 FEET; THENCE S45°31'17"E, 45.42 FEET; THENCE S57°57'35"E, 31.06 FEET; THENCE S27°16'42"E, 46.23 FEET; THENCE S36°00'06"E, 82.89 FEET; THENCE S26°28'20"E, 49.91 FEET; THENCE S32°28'21"E, 80.27 FEET; THENCE S29°57'55"E, 60.93 FEET; THENCE S75°47'10"E, 99.18 FEET; THENCE S00°22'59"E, 55.03 FEET; THENCE S04°58'53"E, 28.31 FEET; THENCE S03°51'23"E, 57.52 FEET; THENCE S03°23'32"W, 15.26 FEET; THENCE S75°48'45"W, 38.64 FEET; THENCE S12°05'00"W, 92.40 FEET; THENCE S24°08'42"W, 41.93 FEET; THENCE S11°20'47"W, 21.80 FEET; THENCE S00°21'45"W, 90.73 FEET; THENCE S40°46'06"W, 53.01 FEET; THENCE S53°05'55"W, 104.34 FEET; THENCE S49°53'36"W, 70.59 FEET; THENCE S48°18'47"W, 37.84 FEET; THENCE S61°43'23"W, 48.54 FEET; THENCE S62°49'12"W, 50.56 FEET; THENCE S59°14'26"W, 52.64 FEET; THENCE S70°58'32"W, 38.87 FEET; THENCE S35°38'27"W, 2,364.05 FEET TO THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 7; THENCE DEPARTING THE BOUNDARIES OF SAID SUBDIVISIONS AND THE BOUNDARY OF OFFICIAL RECORDS BOOK 4415, PAGE 1806; RUN THENCE ALONG SAID SOUTH LINE, S89°06'25"E, 914.79 FEET TO THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 7 AND ALONG THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 8, S89°14'24"E, 1,330.47 FEET TO THE EAST LINE OF THE WEST 1/4 OF SAID SECTION 8; THENCE ALONG SAID EAST LINE, N00°42'44"E, 2,636.42 FEET TO THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE N00°46'31"E, 1,343.41 FEET TO THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING SAID EAST LINE AND ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE NORTHWEST 1/4, S89°40'49"E, 1,331.19 FEET TO THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING SAID SOUTH LINE AND ALONG THE EAST LINE OF SAID NORTHEAST 1/4 OF THE NORTHWEST 1/4, N00°44'42"E, 1,343.27 FEET TO THE NORTHEAST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, N89°39'42"W, 1,330.49 FEET TO THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 5; THENCE DEPARTING SAID NORTH LINE AND ALONG THE EAST LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, N00°34'38"E, 1,263.10 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF COUNTY ROAD 466-A, AS PER OFFICIAL RECORDS BOOK 4271, PAGE 1960, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE DEPARTING SAID EAST LINE AND ALONG SAID SOUTHERLY RIGHT-OF-WAY, N89°14'18"W, 1,118.09 FEET TO THE EAST LINE OF THE WEST 210.00 FEET OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE NORTHEAST CORNER OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 27; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY, ALONG SAID EAST LINE OF THE WEST 210.00 FEET AND THE EASTERLY BOUNDARY OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 27, S00°56'55"W, 1,271.43 FEET TO THE POINT OF BEGINNING.

CONTAINING 205.76 ACRES, MORE OR LESS.



- PARKING REQUIREMENTS**
- A. MID-RISE APARTMENT: 1.5 SPACES/UNIT
 - B. GARDEN APARTMENTS: 1.5 SPACES/UNIT
 - C. ATTACHED VILLAS: 1.5 SPACES/UNIT
 - D. DETACHED VILLAS: 1.5 SPACES/UNIT
 - E. ASSISTED LIVING: 0.25 SPACES/BED
 - F. SKILLED NURSING: 0.25 SPACES/BED
 - G. ANCILLARY USES BY GSP: 3 SPACES/1000 SQUARE FEET OF GROSS FLOOR AREA (3.0)/KSF
 - H. HOUSE OF WORSHIP: 1 SPACE/3 SEATS (FIXED SEATS) OR 1SPACE/30 GROSS SQUARE FEET (WITHOUT FIXED SEATS)
 - I. COMMERCIAL: PARKING REQUIREMENTS FOR USES NOT LISTED ABOVE SHALL BE IN ACCORDANCE WITH CHAPTER 162 OF THE CITY OF FRUITLAND PARK LAND DEVELOPMENT CODE.

AREA TABLE

| USE | ACRES | % |
|----------------------------|-------|------|
| RESIDENTIAL | 36 | 17.5 |
| COMMERCIAL | 12 | 5.8 |
| INSTITUTIONAL | 21 | 10.2 |
| ROADWAY/PARKING/PONDS | 24.8 | 12.1 |
| OPEN SPACE/PARK/RECREATION | 112 | 54.4 |
| TOTAL | 205.8 | 100% |

NOT VALID FOR CONSTRUCTION UNLESS SIGNED IN THIS BLOCK

| DATE | REVISIONS | BY | CHECKED |
|------|-----------|----|---------|
| | | | |

WESTMINSTER PINE RIDGE
 PUD REZONING
 CITY OF FRUITLAND PARK, FLORIDA

FEG FLORIDA ENGINEERING GROUP
 Engineering the Future

5127 S. Orange Avenue,
 Suite 200
 Orlando, FL 32809
 Phone: 407-895-0324
 Fax: 407-895-0325
 www.feg-inc.us

PUD EXHIBIT PLAN

| DESIGNED BY | DRAWN BY | CHECKED BY | APPROVED BY |
|-------------|----------|------------|-------------|
| GRC | DG | GRC | GRC |

PROJECT NO. 16-043
 SCALE 1" = 400'
 DATE AUGUST 7, 2017
 SHEET NO. C-1
 SHEET 1 OF 1

ORDINANCE 2017 - 023

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, REZONING 14.95 ± ACRES OF THE PROPERTY FROM GENERAL COMMERCIAL (C-2) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 52.70 +/- ACRES OF PROPERTY FROM PUBLIC FACILITIES DISTRICT (PFD) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 85.44 +/- ACRES OF PROPERTY FROM SINGLE FAMILY MEDIUM DENSITY RESIDENTIAL (R-2) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 17.00 +/- ACRES OF PROPERTY FROM HIGH DENSITY RESIDENTIAL/NEIGHBORHOOD COMMERCIAL (R-3A) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 33.98 +/- ACRES OF PROPERTY FROM GREENBELT DISTRICT (GB) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; APPROVING A MASTER DEVELOPMENT AGREEMENT FOR THE PROPERTY; PROVIDING FOR CONDITIONS AND CONTINGENCIES; DIRECTING THE CITY MANAGER TO AMEND THE ZONING MAP OF THE CITY OF FRUITLAND PARK; PROVIDING FOR SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT HEREWITH; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a petition has been submitted by First Baptist Church of Leesburg, Inc., Owner, requesting that approximately 14.95 acres of real property generally located south of CR 466A and west of Pine Ridge Dairy Road (the "Property") be rezoned from General Commercial (C-2) to Mixed Use Planned Unit Development; approximately 52.70 acres of real property generally located south of CR 466A and west of Pine Ridge Dairy Road (the "Property") be rezoned from Public Facilities District (PFD) to Mixed Use Planned Unit Development (PUD) within the city limits of Fruitland Park; approximately 85.44 acres of real property generally located south of CR 466A and west of Pine Ridge Dairy Road (the "Property") be rezoned from Single Family Medium Density Residential (R-2) to Mixed Use Planned Unit Development (PUD) within the city limits of Fruitland Park; approximately 17.00 acres of real property generally located south of CR 466A and west of Pine Ridge Dairy Road (the "Property") be rezoned from High Density Residential/Neighborhood Commercial (R-3A) to Mixed Use Planned Unit Development (PUD) within the city limits of Fruitland Park; and further requesting that approximately 33.98 acres of property be rezoned from Greenbelt District (GB) to Mixed Use Planned Unit Development within the city limits of Fruitland Park; and

WHEREAS, the petition bears the signature of all applicable parties; and

WHEREAS, the required notice of the proposed rezoning has been properly published; and

WHEREAS, the City Commission reviewed said petition, the recommendations of the Planning and Zoning Board, staff report and any comments, favorable or unfavorable, from the public and surrounding property owners at a public hearing duly advertised;

NOW, THEREFORE, BE IT ORDAINED by the City Commission of the City of Fruitland Park, Florida, as follows:

Section 1. The following described property consisting of approximately 206.11 ± acres of land generally located south of CR 466A and west of Pine Ridge Dairy Road shall hereafter be designated as PUD, Mixed Use Planned Unit Development, as defined in the Fruitland Park Land Development Regulations. The property is more particularly described and depicted as set forth on Exhibit "A".

Section 2. That the City Manager, or designee, is hereby directed to amend, alter, and implement the official zoning maps of the City of Fruitland Park, Florida to include said designation consistent with this Ordinance.

Section 3. If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

Section 4. Conflict. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 5. This Ordinance shall become effective immediately upon passage by the City Commission of the City of Fruitland Park.

PASSED AND ORDAINED in regular session of the City Commission of the City of Fruitland Park, Lake County, Florida, this _____ day of _____, 2017.

Chris Cheshire, Mayor
City of Fruitland Park, Florida

ATTEST:

Approved as to Form:

Esther Coulson, CMC, City Clerk

Anita Geraci-Carver, City Attorney

| | |
|---------------------|--|
| Vice-Mayor Gunter | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |
| Commissioner Ranize | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |
| Commissioner Lewis | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |
| Commissioner Bell | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |
| Mayor Cheshire | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |

Passed First Reading _____
Passed Second Reading _____
(SEAL)

DRAFT

EXHIBIT "A"
LEGAL DESCRIPTION

DRAFT

LEGAL DESCRIPTION

THAT LAND LYING IN SECTIONS 5, 7 AND 8, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

FROM THE NORTHWEST CORNER OF SAID SECTION 8, RUN S89°39'50"E, ALONG THE NORTH LINE THEREOF, A DISTANCE OF 210.00 FEET TO THE EAST LINE OF THE WEST 210.00 FEET OF THE NORTHWEST 1/4 OF SAID SECTION 8, ALSO BEING THE EASTERLY BOUNDARY OF VILLAGES OF FRUITLAND PARK UNIT NO. 27 AS RECORDED IN PLAT BOOK 66, PAGES 42 THROUGH 44, INCLUSIVE, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND THE POINT OF BEGINNING; THENCE ALONG SAID EAST LINE AND SAID EASTERLY BOUNDARY, S00°47'54"W, 350.15 FEET TO THE NORTHEAST CORNER OF VILLAGES OF FRUITLAND PARK UNIT NO. 28 AS RECORDED IN PLAT BOOK 66, PAGES 54 THROUGH 55, INCLUSIVE, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, THENCE DEPARTING THE EASTERLY BOUNDARY OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 27 AND ALONG THE EASTERLY BOUNDARY OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 28 THE FOLLOWING COURSES: S00°47'54"W, 244.87 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 595.00 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING THE EAST LINE OF THE WEST 210.00 FEET OF THE NORTHWEST 1/4 OF SAID SECTION 8 AND ALONG SAID SOUTH LINE, N89°39'50"W, 10.00 FEET TO THE EAST LINE OF THE WEST 200.00 FEET OF SAID SECTION 8; THENCE DEPARTING SAID SOUTH LINE AND ALONG SAID EAST LINE, S00°47'54"W, 589.01 FEET TO THE SOUTHEAST CORNER OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 28 AND A POINT ON THE NORTH LINE OF THE SOUTH 160.00 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING SAID EASTERLY BOUNDARY, SAID EAST LINE AND ALONG SAID NORTH LINE, S89°40'49"E, 611.54 FEET; THENCE DEPARTING SAID NORTH LINE AND ALONG THE FOLLOWING BOUNDARIES: VILLAGES OF FRUITLAND PARK, UNIT NO. 29, AS RECORDED IN PLAT BOOK 66, PAGE 71 THROUGH 73, INCLUSIVE, VILLAGES OF FRUITLAND PARK, UNIT NO. 31, AS RECORDED IN PLAT BOOK 66, PAGE 74 THROUGH 82, INCLUSIVE, SAID BOUNDARIES ALSO BEING THE EAST LINE OF THOSE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 4415, PAGE 1806, ALL IN THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; RUN THENCE S00°46'30"W, 425.68 FEET; THENCE S31°15'56"W, 733.08 FEET; THENCE S00°47'54"W, 35.45 FEET; THENCE S43°54'50"E, 75.41 FEET; THENCE S49°19'38"E, 80.87 FEET; THENCE S45°31'17"E, 45.42 FEET; THENCE S57°57'35"E, 31.06 FEET; THENCE S27°16'42"E, 46.23 FEET; THENCE S36°00'06"E, 62.89 FEET; THENCE S26°28'20"E, 49.91 FEET; THENCE S32°28'21"E, 80.27 FEET; THENCE S29°57'55"E, 60.93 FEET; THENCE S75°47'10"E, 99.18 FEET; THENCE S07°22'59"E, 55.03 FEET; THENCE S04°58'53"E, 28.31 FEET; THENCE S03°51'23"E, 57.52 FEET; THENCE S03°23'32"W, 15.26 FEET; THENCE S75°48'45"W, 38.64 FEET; THENCE S12°05'00"W, 92.40 FEET; THENCE S24°08'42"W, 41.93 FEET; THENCE S11°20'47"W, 21.80 FEET; THENCE S00°21'45"W, 90.73 FEET; THENCE S40°46'06"W, 53.01 FEET; THENCE S53°05'55"W, 104.34 FEET; THENCE S49°53'36"W, 70.59 FEET; THENCE

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CONTAINING 205.76 ACRES, MORE OR LESS.

MASTER DEVELOPMENT AGREEMENT

THIS AGREEMENT is entered into and made as of the ____th day of _____, 2017, between the **CITY OF FRUITLAND PARK, FLORIDA, a Florida municipal corporation**, (hereinafter referred to as the "City"), and First Baptist Church of Leesburg, Inc. (hereinafter referred to as the "Owner").

RECITALS

1. The Owner desires to rezone approximately 205.76 ± acres of property within the City of Fruitland Park, described and depicted as set forth on Exhibit "A" attached to and incorporated in this Agreement (hereafter referred to as the "Property").

2. The Property is currently located within the City of Fruitland Park and is currently zoned "General Commercial" (C-2), Public Facilities District (PFD), Single Family Medium Density Residential (R-2), High Density Residential/Neighborhood Commercial (R-3A), and Greenbelt District (GB) with a future land use designation on the City of Fruitland Park Future Land Use Map of "Mixed Community."

3. Owner has filed applications for rezoning for the Property as a mixed use planned unit development.

4. Owner represents that it is the sole legal owner of the Property and that it has the full power and authority to make, deliver, enter into, and perform pursuant to the terms and conditions of this Agreement and has taken all necessary action to authorize the execution, delivery, and performance of the terms and conditions of this Agreement.

5. The City of Fruitland Park has determined that the rezoning of the Property and the proposal for its development presents, among other things, an opportunity for the City to secure quality planning and growth, protection of the environment, and a strengthened and revitalized tax base.

6. Owner will fund certain public improvements and infrastructure to facilitate the development of the Property.

7. The Property is within the City's Chapter 180, Florida Statutes, utility district, and Owner has requested and City desires to provide water and sewer as well as other municipal services to the Property.

ACCORDINGLY, in consideration of the mutual benefits and the public interest and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

Section 1. Recitals. The above recitals are true and correct, are hereby incorporated herein by reference, and form a material part of this Agreement. All exhibits to this Agreement are hereby deemed a part thereof.

Section 2. Conditions Precedent. Owner has filed an application for rezoning for the **FBC_Draft Agreement_10-18-17**

Property. It is understood and agreed to by the City and the Owner that this Agreement shall not be binding or enforceable as to any party unless and until: a) the City duly adopts the Agreement and adopts an ordinance rezoning the Property. The parties hereto understand and acknowledge that the City is in no way bound to rezone the Property. The City shall have the full and complete right to approve or deny the application for rezoning.

Section 3. Land Use/Development. Development of the Property shall be substantially consistent with the "Conceptual Site Plan" prepared by Florida Engineering Group, Inc., dated _____, and attached as **Exhibit "B"** (the "Plan"). The project shall be developed as a senior (age 55+) mixed use community. All development shall be consistent with City's "PUD" (Planned Unit Development/Mixed Use) zoning district and, subject to City approval. As set forth further below, all land use issues addressed herein must be adopted by City through its regular procedures before being effective.

Section 4. Permitted Uses. Permitted Uses shall include:

- a. Single family detached residential dwelling units.
- b. Duplex (Villa) dwelling units.
- c. Single family attached residential dwelling units meeting the R-3 standards.
- d. Multi-family residential dwelling units meeting the R-3 standards.
- e. Adult Congregate Living Facilities. The maximum number of beds shall not exceed 150.
- f. Nursing homes. The maximum number of beds shall not exceed 60.
- g. Church/Religious Facilities.
- h. All permitted C-1 uses.
- i. Convenience Store with fuel operations.
- j. Restaurants.
- k. Banks.
- l. Athletic/Sports Facilities.
- m. Residential units shall not exceed 900 units.
- n. Passive and Active Recreation Facilities.
- o. Total Commercial Square footage shall not exceed 190,000 square feet.
- p. Total Institutional Square footage shall not exceed 180,000 square feet which includes Adult Congregate Living Facilities, Nursing homes and Church/Religious Facilities.
- q. The residential units may be converted to the Adult Congregate Living Facilities or a Nursing home based on one (1) unit equals three (3) beds; however, in no case shall the maximum number of beds be exceeded as stated in item e and f above.

Section 5. Residential Development Standards. Development Standards shall be as follows:

- a. The minimum living area shall be 1,000 square feet for the single family detached homes.
- b. The minimum lot size shall be 4,000 square feet for the detached single family homes.
- c. Minimum lot size for detached single-family shall be 40 feet with a lot depth of 100 feet.
- c. Minimum Setback requirements for detached residential units shall be:

Front: Local Roadways - Twenty feet (20')
Garage Setback from Roadway - Twenty-five feet (25')

Side: Local Roadways - Twenty feet (20')
Another Lot - Five feet (5')

Rear: Local Roadway- Twenty feet (20')
Another Lot - Twenty feet (20')

Accessories Setback: All accessory structures shall be located no closer to the property line than five feet (5').

- d. Minimum lot size shall be 4,000 square feet for duplex/villa single-family homes (duplex, villas).
- e. The minimum lot size for duplex/villas shall be 40 feet with a lot depth of 100 feet.
- f. Minimum Setback requirements for duplex/villa single family residential units shall be:

Front: Local Roadways - Twenty feet (20')
Garage Setback from Roadway - Twenty-five feet (25')

Side: Local Roadways - Twenty feet (20')
Another Lot - 0' feet for common walls

Rear: Local Roadway- Twenty feet (20')
Another Lot - Twenty feet (20')

Accessories Setback: All accessory structures shall be located no closer to the property line than five feet (5'). In those areas where the buffer width is greater than five feet (5') and is part of the lot, all accessory structures shall be located outside of the buffer area.

Minimum distance between single-family detached and single family attached structures shall be 10 feet (10') measured from building wall to building wall.

- g. Multi-family development shall meet the R-3 zoning development standards.
- h. Maximum building height shall be limited to thirty five feet (35') for single family; however, if adequate fire protection measures are provided the height limitation may be exceeded, after review by the City Fire Inspector and Building Official with final determination by Community Development Director.

- i. Maximum building height for the multi-family uses (garden apartments and condominiums) shall not exceed 5 stories including parking garage provided adequate fire protection measures are provided as reviewed by the City Fire Inspector and Building Official with final determination by Community Development Director.
- j. Parking: The Applicant will be required to meet the parking requirements of the Fruitland Park Land Development Code for the proposed residential uses except as provided below:

Multi-Family Residential - 1.5 spaces per unit

Single Family Attached Residential - 1.5 spaces per unit

Section 7. Residential Design Standards. Design Standards shall be as follows:

- a. Architectural features - All buildings shall utilize at least three of the following design features to provide visual relief along all elevations of the single family units. Garage vehicle doors shall incorporate the following elements: raised decorative panels, decorative glass panels or panes, decorative hinges, etc. Front doors shall incorporate the following decorative elements: raised decorative panels, decorative glass panels or panes, decorative handles, etc. Designs may vary throughout the development.
 - 1) Dormers
 - 2) Gables
 - 3) Recessed or raised entries
 - 4) Covered porch entries
 - 5) Cupolas
 - 6) Pillars or decorative posts
 - 7) Bay window (minimum 12 inch projections)
 - 8) Eaves (minimum 6-inch projections)
 - 9) Front windows with arched glass tops and minimum 4-inch trim.
- b. Building Materials - Exterior building materials contribute significantly to the visual impact of a building on the community. These materials shall be well designed and integrated into a comprehensive design style for the project. The total exterior wall area of each building elevation shall be composed of one of the following:
 - 1) At least thirty-five percent (35%) full-width brick or stone (not including window and door areas and related trim areas), with the balance being any type of lap siding and/or stucco.
 - 2) At least thirty percent (30%) full-width brick or stone, with the balance being stucco and/or a "cementitious" lap siding. (A "cementitious" lap siding product is defined as a manufactured strip siding composed of cement-based materials rather than wood fiber-based or plastic-based materials. For example, Masonite or vinyl lap siding would not be allowed under this option.)

- 3) All textured stucco, provided there are unique design features such as recessed garages, tile or metal roofs, arched windows etc. in the elevations of the buildings or the buildings are all brick stucco. Unique design features shall be reviewed by the Community Development Director for compliance.

Section 8. Commercial and Institutional Development Standards. Development Standards shall be as follows:

- a. Minimum Setback requirements for commercial shall be:
 - Front: CR 466A - Fifty feet (50')
 - Local Roadways - Twenty feet (20')
 - Side: Local Roadways - Twenty feet (20')
 - Another Lot - Ten feet (10')

A zero (0) side setback is allowed on one side provided there is a minimum ten feet setback on the opposite side and provided requirements for fire and building codes are met.

 - Rear: Local Roadway- Twenty feet (20')
 - Another Lot - Twenty feet (20')

Accessories Setback: All accessory structures shall be located no closer to the property line than ten feet (10').

Required landscape buffers shall supersede the minimum dimensions permitted by this Section.
- b. The maximum impervious surface ratio for the property (which includes building coverage) shall be limited to eighty percent (80%).
- c. Maximum building height shall be limited to fifty feet (50') or four (4) stories provided that adequate fire protection measures are provided as determined by the City Fire Inspector and Building Official.
- d. Maximum building height shall be limited to ninety-five feet (95') for accessory decorative structures such as, but not limited to, steeples or spires.
- e. Parking: The Applicant will be required to meet the parking requirements of the Fruitland Park Land Development Regulations for the proposed uses.
- f. Commercial access: Access to the commercial development areas shall be primarily from the entrance boulevard with access to CR 466A. Pedestrian access shall be provided from the residential areas to the commercial area utilizing a trail system which shall be reviewed during the site plan or subdivision review process.

Section 9. Commercial and Institutional Design Standards. The Applicant shall be

FBC_Draft Agreement_10-18-17

required to meet the nonresidential design standard requirements of the Fruitland Park Land Development Regulations.

Section 10. Development Phasing. The proposed project may be constructed in phases in accordance with the Planned Unit Development Master Plan (attached as part of these conditions). Changes to the Development Plan, other than those conditions described in this agreement, shall be revised in accordance with the Planned Unit Development review process.

Section 11. Site Access and Transportation Improvements. Vehicular access to the project site shall be provided by a minimum of two access points, one primary access on CR 466A and one access on Pine Ridge Dairy Road. The primary access shall be through a divided landscaped boulevard type road. Actual location and design of the boulevard shall be determined during the Site Plan and/or Preliminary Subdivision Plan review process and shall include consideration of sidewalks on one side of the boulevard, recreation paths etc. Other potential vehicular and pedestrian accesses will be reviewed during the development review process.

- a. The Permittee shall provide all necessary improvements/signalization within and adjacent to the development as required by Lake County and City of Fruitland Park.
- b. All roads within the development shall be designed and constructed by the developer to meet the City of Fruitland Park requirements.
- c. Sidewalks shall be provided on both sides of the local internal roads and shall provide cross connections to all recreation and residential areas. Internal road rights-of-ways shall be of sufficient width to contain the sidewalks. All sidewalks shall be constructed in accordance with City of Fruitland Park Codes.
- d. The City of Fruitland Park will not be responsible for the maintenance or repair of any of the roads or transportation improvements. The Permittee shall establish an appropriate legal entity that will be responsible to pay the cost and perform the services to maintain the roads and transportation improvements.
- e. Should the Permittee desire to dedicate the proposed project's internal road system to the City of Fruitland Park; the City, at its discretion, may accept or not accept the road system. Prior to acceptance, the Permittee shall demonstrate to the City the road system is in suitable condition and meets City of Fruitland Park requirements. As a condition of accepting the roadway system the City may create a special taxing district or make other lawful provisions to assess the cost of maintenance of the system to the residents of the project, and may require bonds or other financial assurance of maintenance for some period of time
- f. A traffic/transportation study shall be submitted prior to preliminary plan approval for review and determination of any necessary access improvements if required by Lake County. Said improvements will be the responsibility of the Permittee.
- g. At such time that traffic signals are warranted at the proposed project entrance, the Permittee shall pay their pro-rata share of the cost of the signal(s) as determined by City staff.

Section 12. Lighting. All exterior lighting shall be arranged to reflect light away from adjacent properties to the greatest extent possible while providing lighting adequate to ensure safety on road right of way and parking areas.

Section 13. Water, Wastewater, and Reuse Water. Subject to the terms herein, Owner and their successors and assigns agree to obtain water, reuse water, irrigation water, and wastewater service (hereafter, "Utilities") exclusively through purchase from City when available. Owner covenants and warrants to City that it will not engage in the business of providing such Utilities to the Property or within City's F.S. Chapter 180 utility district. Notwithstanding the foregoing, private wells for irrigation purposes will be allowed within the Property so long as such wells are approved and permitted by the St. Johns River Water Management District (the "District") and comply with the rules and regulations of the District. Owner shall construct, at Owner's expense, all on-site utility facilities (e.g. lift stations and lines) as well as pay for the extension of facilities from City's current point of connection. Owner shall also construct, at Owner's expense, "dry" utility lines for reclaimed water purposes. All such improvements must be constructed to City requirements and transferred to City as a contribution in aid of construction.

Section 14. Impact Fees. Owner shall be required to pay impact fees as established by City from time to time. Notwithstanding the foregoing, Owner shall pay water and wastewater impact fees at the rate of \$3,080.00 per ERU for wastewater (sewer) and \$985.00 per ERU for water.

Owner agrees to pay all other impact fees and any impact fees adopted after the execution of this Agreement as building permits are issued. If impact fees increase from the time they are paid until the building permit is issued, Owner shall pay the incremental increased amount at the time building permits are issued. Prepayment of utility impact fees and acceptance by City of such fees shall reserve capacity. No capacity is reserved until or unless such fees have been paid pursuant to an agreement with City. Owner agrees and understands that no capacity has been reserved and that Owner assumes the risk that capacity will be available. Accordingly, if capacity is available at the time of site plan and City is willing to allocate such capacity to Owner, Owner shall enter into a reservation agreement and any other utility agreements or easements related to the Property as requested by City from time to time.

Section 15. Easements. Owner shall provide the City such easements or right of way in form acceptable to the City Attorney, as the City deems necessary for the installation and maintenance of roads, sidewalks, bikeways, street lighting or utility services, including but not limited to sewer, water, drainage and reclaimed water services.

Section 16. Landscaping/Buffers. Developer has reviewed City's Land Development Regulations relating to landscaping and agrees to comply with such regulations. Owner shall install and maintain a twenty-five foot (25') landscape buffer along CR 466A; and a twenty-five foot (25') buffer along property boundaries abutting existing residential as shown on the Conceptual Plan consisting of four (4) canopy trees, two (2) understory trees, and fifteen (15) shrubs per one hundred feet (100'); however, no buffer shall be required along the perimeter boundary adjacent to the wetlands. A fifteen foot (15') native buffer shall be provided onsite adjacent to the wetlands. All landscaping and tree protection shall comply with Chapter 164 of the City of Fruitland Park Land Development Regulations.

Owner shall, at its sole expense, install underground irrigation systems on all common areas of the Property, as well as exercise any other measures reasonably necessary to ensure the long-term

maintenance of the landscaping.

Owner shall design and construct, at its sole expense, the interior landscaped areas and islands within the parking areas of the Property in accordance with all applicable City of Fruitland Park Land Development Regulations. Owner shall maintain such areas.

Owner acknowledges City's goal of achieving a greater level of tree preservation within the City. In aid of such goal, Owner agrees to comply with all applicable City of Fruitland Park Land Development Regulations pertaining to tree removal and replacement.

Section 17. Stormwater Management. Owner agrees to provide at Owner's expense a comprehensive stormwater management system consistent with all regulatory requirements of the City and the St. John's River Water Management District. Impacts to flood plains are allowed in accordance with the Water Management District procedures for compensating storage and will be based on the 100-year floodplain established by Lake County.

Section 19. Other Municipal Facilities/Services. The City hereby agrees to provide, either directly or through its franchisees or third party providers, police and fire protection, emergency medical services, and solid waste collection, disposal, and recycling services to the Property under the same terms and conditions and in the same manner as are afforded to all other commercial property owners within the City.

Section 20. Environmental Considerations. The Owner agrees to comply with all federal, state, county, and city laws, rules and regulations regarding any environmental issues affecting the Property.

Section 21. Signage. Owner shall submit a master sign plan as a component of the final site plan (i.e., construction plan) application for the Property. Such plan shall be in compliance with all applicable regulations contained within the City of Fruitland Park Land Development Regulations, unless City grants a waiver or variance pursuant to the City's Land Development Regulations. Alternatively, the Owner, in the Owner's discretion, may apply to amend the PUD to incorporate a Master Signage Plan at the time that the Owner desires to install signage at the development.

Section 22. Title Opinion. Owner shall provide to City, in advance of the City's execution of this Agreement, a title opinion of an attorney licensed in the State of Florida, or a certification by an abstractor or title company authorized to do business in the State of Florida, showing marketable title to the Property to be in the name of the Owner and showing all liens, mortgages, and other encumbrances not satisfied or released of record.

Section 23. Compliance with City Laws and Regulations. Except as expressly modified herein, all development of the Property shall be subject to compliance with the City Land Development Regulations and City Code provisions, as amended, as well as regulations of county, state, local, and federal agencies. All improvements and infrastructure shall be constructed to City standards.

Section 24. Due Diligence. The City and Owner further agree that they shall commence all reasonable actions necessary to fulfill their obligations hereunder and shall diligently pursue the same throughout the existence of this Agreement. The City shall further provide all other

municipal services to the Property as are needed by Owner from time to time in accordance with the City's applicable policies for the provision of said services.

Section 25. Enforcement/Effectiveness. A default by either party under this Agreement shall entitle the other party to all remedies available at law. This is a non-statutory development agreement which is not subject to or enacted pursuant to the provisions of Sections 163.3220 - 163.3243, *Florida Statutes*.

Section 26. Governing Law. This Agreement shall be construed in accordance with the laws of the State of Florida and venue for any action hereunder shall be in the Circuit Court of Lake County, Florida.

Section 27. Binding Effect; Assignability. This Agreement, once effective, shall be binding upon and enforceable by and against the parties hereto and their assigns. This Agreement shall be assignable by the Owner to successive owners. Owner shall, however, provide written notice to the City of any and all such assignees. The rights and obligations set forth in this Agreement shall run with the land and be binding on all successors and/or assignees. Owner consents to the placement of a claim of lien on the Property upon default in payment of any obligation herein without precluding any other remedies of City. The parties hereby covenant that they will enforce this Agreement and that it is a legal, valid, and binding agreement.

Section 28. Waiver; Remedies. No failure or delay on the part of either party in exercising any right, power, or privilege hereunder will operate as a waiver thereof, nor will any waiver on the part of either party or any right, power, or privilege hereunder operate as a waiver of any other right, power, privilege hereunder, not will any single or partial exercise of any right, power, or privilege hereunder preclude any other further exercise thereof or the exercise of any other right, power, or privilege hereunder.

Section 29. Exhibits. All exhibits attached hereto are hereby incorporated in and made a part of this Agreement as if set forth in full herein.

Section 30. Notice. Any notice to be given shall be in writing and shall be sent by certified mail, return receipt requested, to the party being noticed at the following addresses or such other address as the parties shall provide from time to time:

| | |
|--------------------|---|
| As to City: | City Manager City of Fruitland Park 506 W. Berckman Street Fruitland Park, Florida 34731 352-360-6727 Telephone |
| Copy to: | Chris Cheshire, City Mayor City of Fruitland Park 506 W. Berckman Street Fruitland Park, Florida 34731 352-360-6727 Telephone Anita Geraci-Carver Law Office of Anita Geraci-Carver, P.A. 1560 Bloxam Avenue |

| | |
|---------------------|---|
| | Clermont, Florida 34711 352-243-2801 Telephone 352-243-2768 Facsimile |
| As to Owner: | First Baptist Church of Leesburg, Inc. 220 W. 13 th Street Leesburg, FL 34748-4962 |
| Copy to: | |
| | |

Section 31. Entire Agreement. This Agreement sets forth all of the promises, covenants, agreements, conditions, and understandings between the parties hereto, and supersedes all prior and contemporaneous agreements, understandings, inducements or conditions, express or implied, oral or written, except as herein contained. However, the failure of this Agreement to address a particular permit, condition, term, or restriction shall not relieve Owner from complying with the law governing said permitting requirements, conditions, terms or restrictions.

Section 32. Term of Agreement. The term of this Agreement shall commence on the date this Agreement is executed by both the City and Owner, or the effective date of the annexation of the Property, whichever occurs later, and shall terminate twenty (20) years thereafter; provided, however, that the term of this Agreement may be extended by mutual consent of the City and the Owner, subject to a public hearing.

Section 33. Amendment. Amendments to the provisions of this Agreement shall be made by the parties only in writing by formal amendment.

Section 34. Severability. If any part of this Developer's Agreement is found invalid or unenforceable in any court, such invalidity or unenforceability shall not effect the other parts of this Developer's Agreement, if the rights and obligations of the parties contained herein are not materially prejudiced and if the intentions of the parties can be effected. To that end, this Developer's Agreement is declared severable.

IN WITNESS WHEREOF, the Owner and the City have executed this Agreement as of the day and year first above written.

**SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF:**

Witness Signature

By: _____
Signature

Print Name

Print Name

Witness Signature

Signature

Print Name

Print Name

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this ____ day of _____ by _____ and _____ who are personally known to me or who have produced _____ as identification and who did (did not) take an oath.

Notary Public
Notary Public - State of Florida
Commission No _____
My Commission Expires _____

ACCEPTED BY THE CITY OF
FRUITLAND PARK

Approved as to form and
Legality for use and reliance
by the City of Fruitland Park

By: _____
Chris Cheshire, Mayor

Date: _____

Anita Geraci-Carver
City Attorney
This instrument prepared by:

ATTEST: _____
Esther B. Coulson
City Clerk

STATE OF FLORIDA
COUNTY OF LAKE

The foregoing instrument was acknowledged before me this ____ day of _____ by _____, _____, City Clerk of the City of Fruitland Park, Florida, who are personally known to be me and they acknowledge executing the same freely and voluntarily under authority vested in them and that the seal affixed thereto is the true and corporate seal of the City of Fruitland Park, Florida.

Notary Public
Notary Public - State of Florida
Commission No _____
My Commission Expires _____

DRAFT

EXHIBIT "A"
LEGAL DESCRIPTION

EXHIBIT "B"

THE PLAN

DRAFT



506 WEST BERCKMAN STREET
FRUITLAND PARK, FL 34731

PHONE: 352/ 360-6727
FAX: 352/ 360-6652

| | |
|---|--|
| Board Members: Connie Bame, Chairwoman Colin Crews Daniel Dicus Philip Purlee Tom Bradley | Others: Charlie Rector, Community Development Director Tracy Kelley, Administrative Assistant |
|---|--|

**AGENDA
PLANNING & ZONING BOARD
DECEMBER 13, 2017
6:00PM**

- I. INVOCATION:**
- II. ROLL CALL:**
- III. MINUTES FROM PREVIOUS MEETING: Approve meeting minutes from October 19, 2017.**
- IV. OLD BUSINESS: None**
- V. NEW BUSINESS:**
 - A First Baptist Church of Leesburg, Inc. (ALT Key # 1287863)**
 - b. PUD (Planned Unit Development) Application to rezone to a mixed use planned unit development consisting of residential, commercial, institutional and recreational uses for an aged restricted community.
 - B Mesos Medical Office Major Site Plan Submittal (ALT Key # 1288215)**
 - b. Major site plan submittal for a proposed medical office; Adopted Resolution 2017-008 attached with regards to granting buffer variance
 - C Ross Property Site Specific Small Scale Comp Plan Amendment and Special Exception Use**
 - b. Amending the Future Land Use Map and Future Land Use Designations to Multi-Family Low Density as Limited by Site Specific Amendment and Granting A Special Exception Use in the R-2 Zoning.
 - c. Allow Residential Duplexes on lots: #13 ALT Key 1793785; #14 ALT Key 3854556; #15 3854557; #16 ALT Key 3854558; #17 1431671; #18 3854559; #19 3854560
 - D WTG Properties (ALT Key # 1432235)**
 - b. Allow for Contractors Yard and C-1 Uses (Neighborhood Commercial)

BOARD MEMBERS' COMMENTS:

ADJOURNMENT:



506 WEST BERCKMAN STREET
FRUITLAND PARK, FL 34731

PHONE: 352/ 360-6727
FAX: 352/ 360-6652

| | |
|---|--|
| Board Members: Connie Bame, Chairwoman Colin Crews Daniel Dicus Philip Purlee Tom Bradley | Others: Charlie Rector, Community Development Director Tracy Kelley, Administrative Assistant |
|---|--|

**MINUTES
PLANNING & ZONING BOARD
OCTOBER 19, 2017
6:00PM**

- I. **INVOCATION:** Chairwoman Bame called the meeting to order at 6:00P.M. Board member Daniel Dicus gave the invocation and led the pledge of allegiance.
- II. **ROLL CALL:** All board members present with exception of Board member Philip Purlee. Present CDD Rector and Assistant Kelley.
- III. **MINUTES FROM PREVIOUS MEETING:** Approve meeting minutes from May 18, 2017. Motion to approve meeting minutes by Board member Daniel Dicus. Second by Board member Colin Crews. Approved 4-0.
- IV. **OLD BUSINESS:** None
- V. **NEW BUSINESS:**
- A Recommend and Elect Chair and Vice Chair to the Planning & Zoning Board
- Board members elected Board member Connie Bame as Chair and Board member Philip Purlee as Vice Chair to the Planning & Zoning Board. Motion by Board member Colin Crews. Second by Board member Daniel Dicus. Approved 4-0.
- B Recommend for approval City Ordinance 2017-029
- b. Amending City of Fruitland Park Land Development Regulations Chapter 161.090 to bring the regulations into agreement with the most current FEMA approved, Code Companion Floodplain Management Ordinance for Florida
- CDD Rector introduced Ordinance and gave brief explanation; no board comments. Motion to amend City Ordinance 2017-029 by Board member Daniel Dicus. Second by Board member Tom Bradly. Approved 4-0.

PUBLIC COMMENTS: None

BOARD MEMBERS' COMMENTS: None

ADJOURNMENT: 6:14PM



Community Development Department
506 W. Berckman St.
Fruitland Park FL 34731

Tel. (352) 360-6727
Fax. (352) 360-6652

STAFF REPORT

Project: Village Park Campus

Project Owner: First Baptist Church of Leesburg, Inc.
220 N 13th Street
Leesburg, FL 34748-4962

Project Address: Vacant Property Formerly Known as Pine Ridge Dairy
Alternate Key#: 1287863

Proposed: Mixed Use Planned Unit Development (PUD)

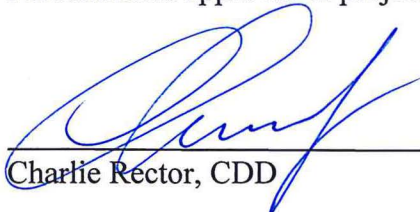
The property is formerly known as the Pine Ridge Dairy property and the general location is south of CR 466A and west of Pine Ridge Dairy Road. The property owners are seeking to rezone current land use to a mixed use planned unit development (PUD) consisting of residential, commercial, institutional, and recreational uses for an aged restricted community.

The proposed project is an age restricted community (55+) consisting of single family detached dwelling units, villa units, garden apartments, and condominium dwelling units.

The property is also proposed for an ALF approval for a maximum of 150 beds and a maximum of 60 beds for a skilled nursing facility.

Applicant states all streets will be private.

I recommend approval of project and contents of Master Developer's Agreement.


Charlie Rector, CDD
Date 12-4-17

cc: File

REVISED 11/27/2017 ALT Key Correction

CITY OF FRUITLAND PARK
PLANNING AND ZONING APPLICATION

RECEIVED JUN 06 2017

Application: First Baptist Church of Leesburg, Inc. Date: _____

Applicant Name: _____

Address: 220 N. 13th St.

Leesburg, FL 34748-4962

Phone: (352) 787-1005

- Application Type:
- | | |
|---|---|
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Subdivision Approval |
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Site Plan Approval |
| <input checked="" type="checkbox"/> Rezoning | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Road/Lot Vacation |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Development Order |
| <input type="checkbox"/> Clearing Permit | <input type="checkbox"/> Concurrence Review |
| <input type="checkbox"/> Other | |

Applicant is: Owner Agent Purchaser Lessee Optionee

Reason for Request: To rezone the property to PUD.

Owner's Name: First Baptist Church of Leesburg, Inc.

Address: 220 N 13th St., Leesburg, FL 34748-4962

Phone: (352) 787-1005

Property Address or Vicinity: Fruitland Park, FL 34731

Size of Property: 206.11 acres

Existing Zoning: R-2, R-3A, C-2, PFD, & GB Proposed Zoning: PUD

Existing Future Land Use: PUD Proposed Future Land Use: PUD

Current Number of Structures on the Property: None

Current Utilities on the Property: Central Water Central Sewer Well Septic Tank

- Required Attachments:
- 1. Copy of recorded deed(s) for the property.
 - 2. Owner's Affidavit
 - 3. Applicant's Affidavit (if applicable)
 - 4. Copy of boundary survey or sketch plan showing existing streets, existing and proposed structures.
 - 5. Surrounding property owner's names and addresses for all property lying within two-hundred (200) feet of the property described on this application.

Has any previous application been filed within the last year in connection with this property? NO YES
If YES, describe: _____

STAFF REVIEW OF APPLICATION: _____ DATE: _____

I have reviewed this application and verify that the City of Fruitland Park has received all required attachments.
If not, a written explanation has been received and attached to this application.

City Staff:  12-7-17

Title: CDD

OWNER'S AFFIDAVIT

RECEIVED JUN 06 2017

STATE OF FLORIDA
COUNTY OF LAKE

Before me, the undersigned authority, personally appeared ART AYRIS

who being by me first duly sworn on oath, deposes and says: REPRESENTING AGENT FOR FIRST BAPTIST CHURCH

1) That he/she is the fee simple owner of the property legally described on page two of this application. [Crossed out text]

2) That he/she desires TO REZONE THE PROPERTY to allow FUTURE DEVELOPMENT

3) That he/she has appointed Gregory R. Crawford, P.E., Florida Engineering Group, Inc. to act as agent in his/her behalf to accomplish the above. The owner is required to complete the Applicant's affidavit of this application if no agent is appointed to act in his/her behalf.

[Signature]
Affiant (Owner's signature)

Signed and sworn to (or affirmed before me on May 25, 2017
(date) by Art A. Ayris (name of affiant).

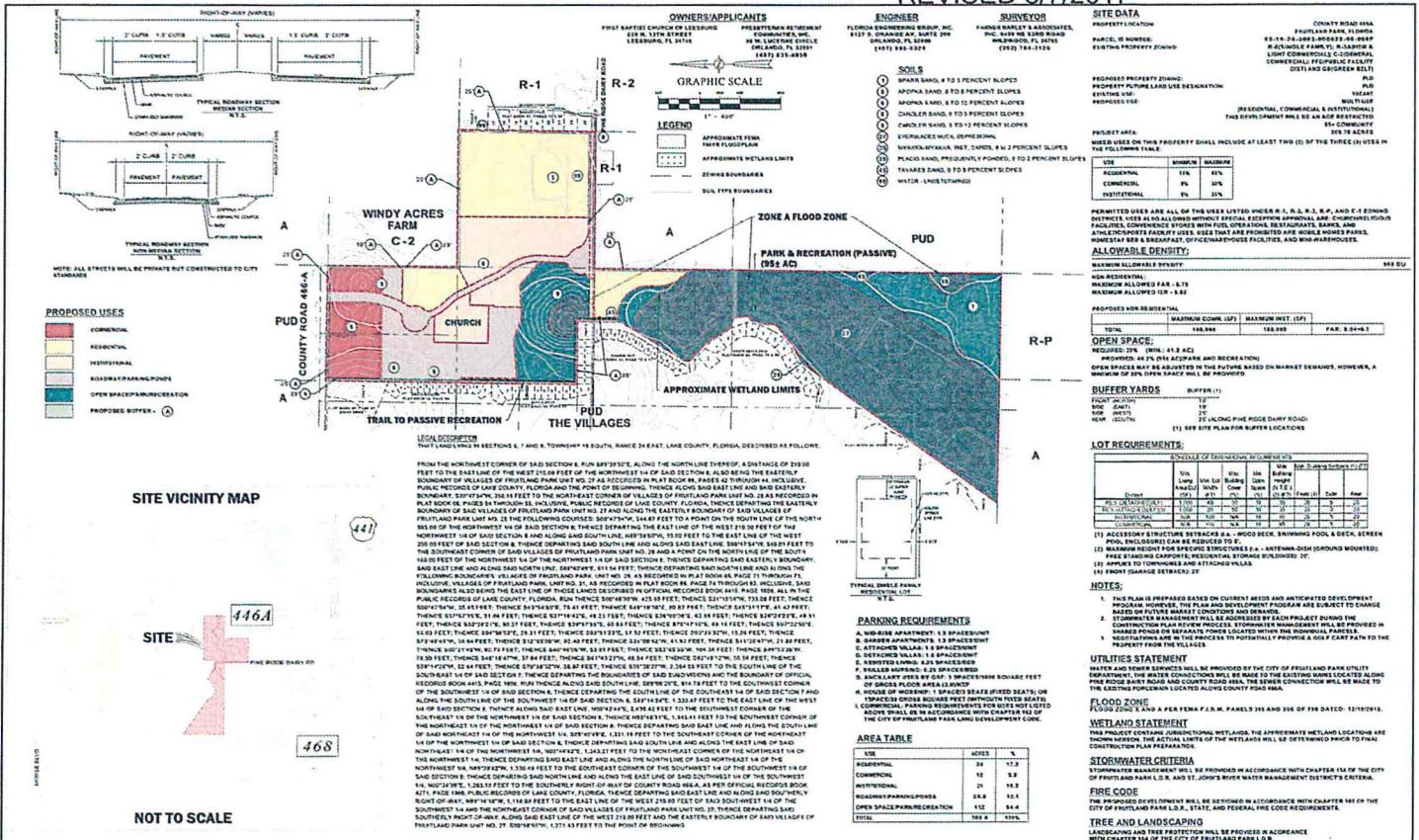
He/she is personally known to me or has produced
(type of identification) as
identification.

[Signature] (Signature of Person Taking Acknowledgment)
KAREN A. GARDINER (Name of Acknowledger Typed, Printed or Stamped)
MINISTRY ASSISTANT (Title or Rank)
(Serial Number, if any)

(NOTARY'S SEAL)



REVISED 8/7/2017



PROPOSED USES

| |
|----------------------------|
| Commercial |
| Residential |
| Industrial |
| Medium-Density Residential |
| Open Space/Recreation |
| Proposed Buffer |

SITE VICINITY MAP



NOT TO SCALE

NOT VALID FOR CONSTRUCTION PERMITS SIGNED IN THE BLOCK

| DATE | REVISIONS | BY | CHECKED |
|------|-----------|----|---------|
| | | | |

WESTMINSTER PINE RIDGE
PUD REZONING
CITY OF FRUITLAND PARK, FLORIDA

FEG FLORIDA ENGINEERING GROUP
Engineering the Future
5127 G. Orange Ave., Suite 200, Orlando, FL 32809
Phone: 407-855-0328 Fax: 407-855-0329 www.feginc.com

PUD EXHIBIT PLAN

| | | | |
|-------------|-------------|------------|-------------|
| DESIGNED BY | PREPARED BY | CHECKED BY | APPROVED BY |
| | | | |

DATE: 10-04-17
SCALE: 1" = 500'
PROJECT: AUGUST 7, 2017
SHEET: C-1

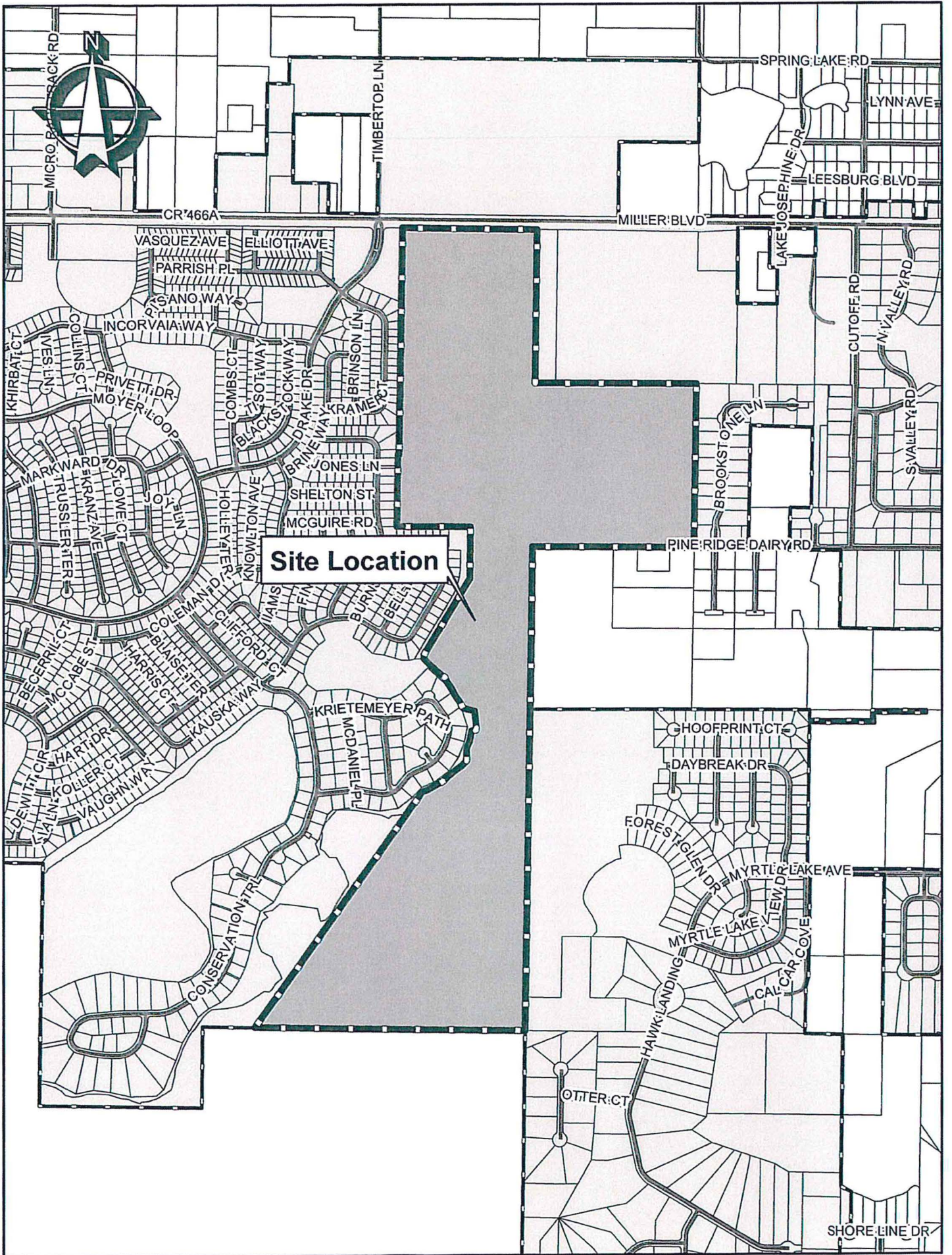
CITY OF FRUITLAND PARK, FLORIDA
COUNTY ROAD AREA
FRUITLAND PARK 110000
11-14-14-0001-0002-00-00-00
FRUITLAND PARK, FLORIDA
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COMMERCIAL, C-69 (GENERAL)
COMMERCIAL, C-70 (GENERAL)
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COMMERCIAL, C-93 (GENERAL)
COMMERCIAL, C-94 (GENERAL)
COMMERCIAL, C-95 (GENERAL)
COMMERCIAL, C-96 (GENERAL)
COMMERCIAL, C-97 (GENERAL)
COMMERCIAL, C-98 (GENERAL)
COMMERCIAL, C-99 (GENERAL)
COMMERCIAL, C-100 (GENERAL)

RECEIVED JUN 06 2017

ADDENDUM (June 5, 2017)
First Baptist Leesburg, Inc. PUD Submittal

1. The PUD also includes a design plan for the future construction of a cross on the church property that will not exceed 90' in height.

Art Ayris
Executive Pastor



Site Location

MICRO BACK RD

TIMBERTOP LN

SPRING LAKE RD

LYNN AVE

LEESBURG BLVD

CR 466A

MILLER BLVD

LAKE JOSEPHINE DR

VASQUEZ AVE

ELLIOTT AVE

PARRISH PL

RSANO WAY

INCORVAIA WAY

FRIVETT DR

MOYER LOOP

COMBS CT

ISOT WAY

BLACKS LOCKWAY

DRAKE DR

BRINE WAY

BRINSON LN

KRAMET CT

JONES LN

SHELTON ST

MCGUIRE RD

KNOWLTON AVE

HOLLEATER

COLEMAN DR

GLIFFORD CT

IAMS

FIN

BURN

BELLE

BEALS

WILSON

BLANKS

HARRIS

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KRIEEMEYER PATH

MCDANIEL PL

CONSERVATION TRL

VAUGHN WAY

KOLLER CT

HART DR

WALLEN CT

DEWITT CIR

MCCABES

BECKER PL

STUBBS

COLEMAN DR

BLANKS

HARRIS

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PINE RIDGE DAIRY RD

BROOKSTONE LN

CUTOFF RD

N VALLEY RD

S VALLEY RD

GHOOFPRINT CT

DAYBREAK DR

FOREST GLEN DR

MYRTLE LAKE AVE

MYRTLE LAKE

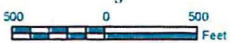
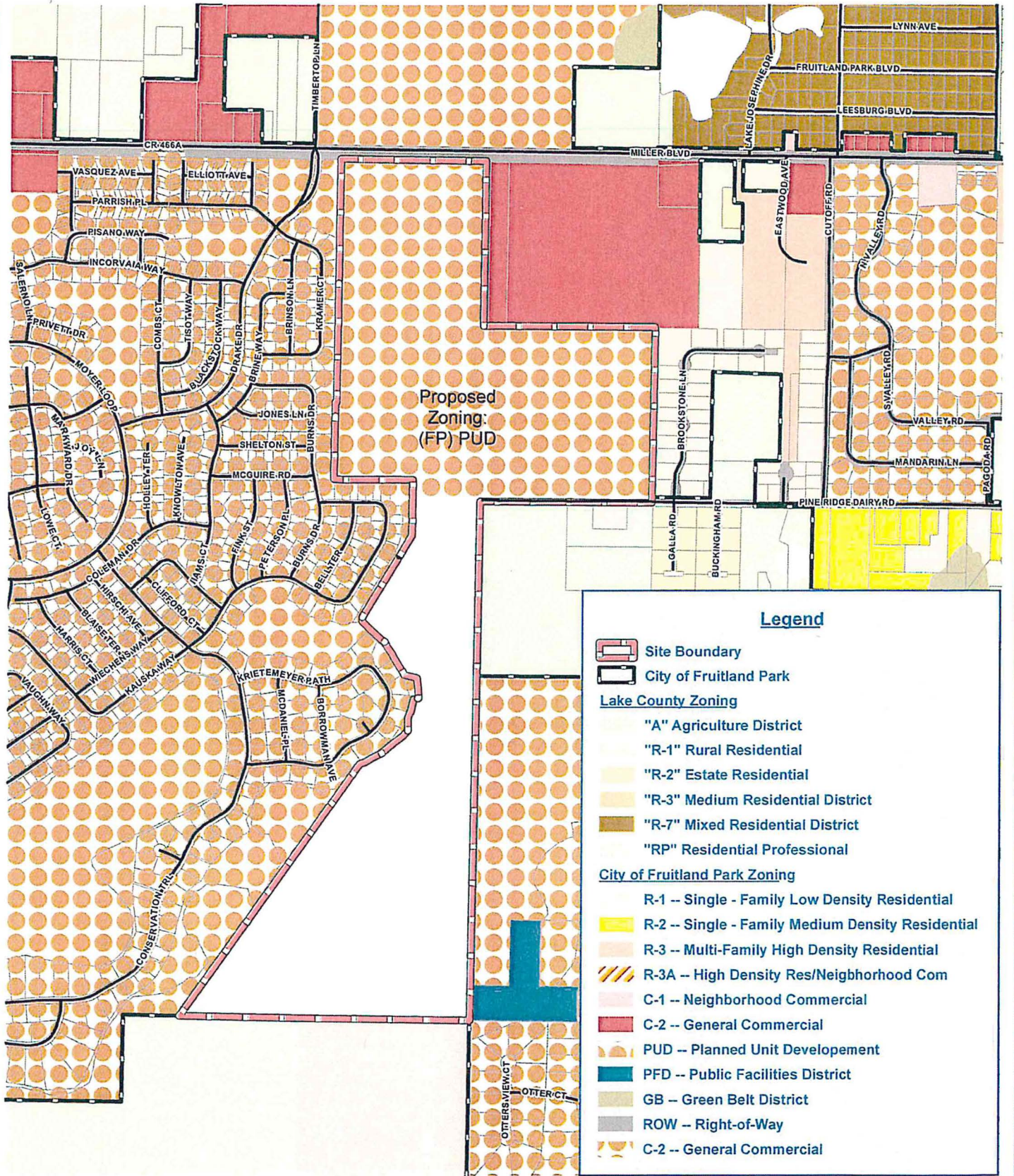
LEW DR

CAL CAR COVE

HAWK LANDING

OTTER CT

SHORE LINE DR

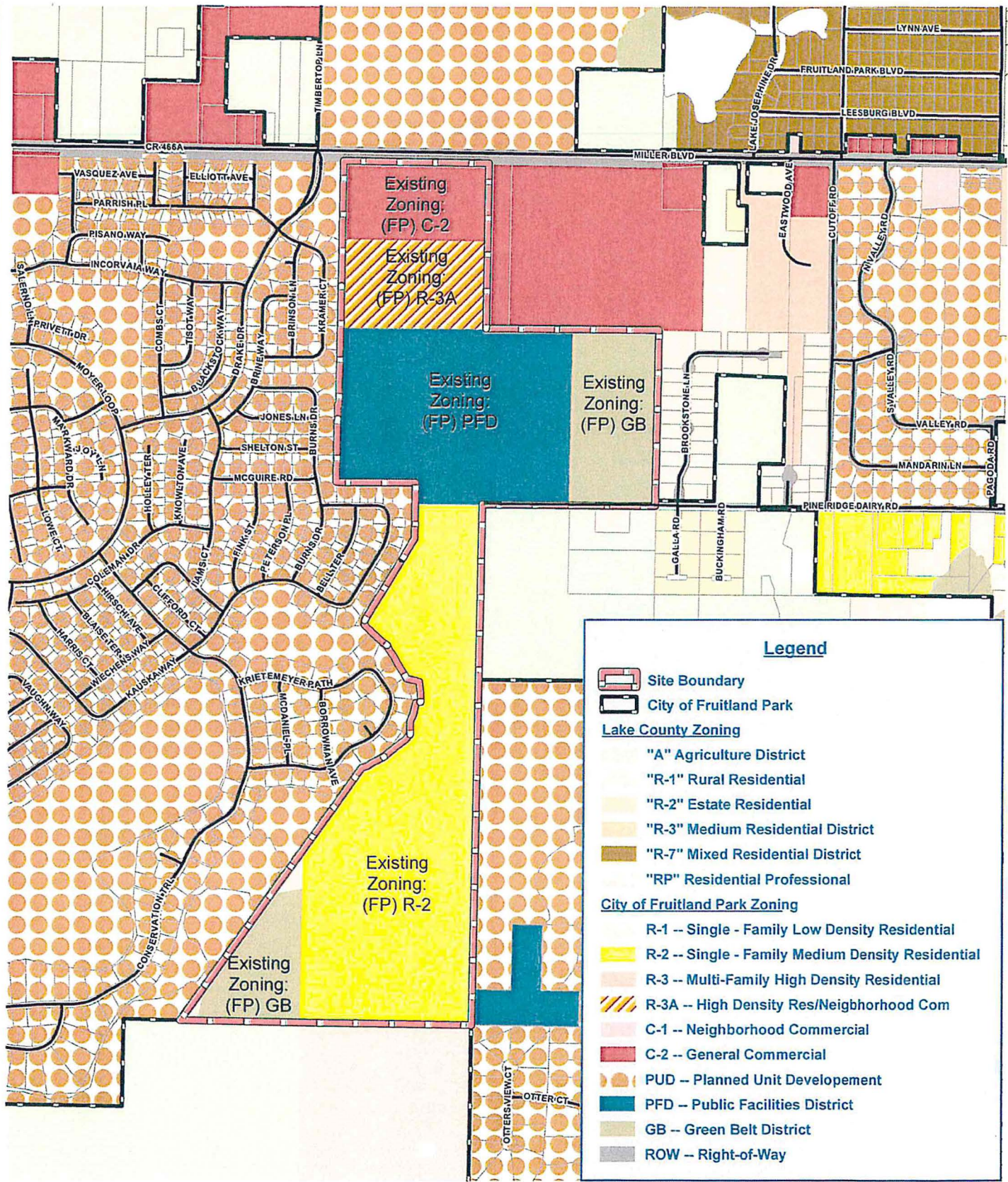


1 inch = 1,000 feet

City of Fruitland Park
First Baptist Church of Leesburg, Inc
 Lake County, Florida
 Proposed Zoning

Project: 398-17-03
 File: Proposed Zoning.mxd
 Name: First Baptist
 PM: Sherie Lindh
 Date: June 14, 2017
 Created By: J.Wilson





Legend

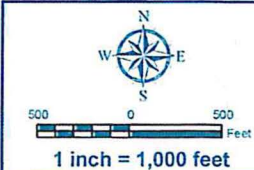
- Site Boundary
- City of Fruitland Park

Lake County Zoning

- "A" Agriculture District
- "R-1" Rural Residential
- "R-2" Estate Residential
- "R-3" Medium Residential District
- "R-7" Mixed Residential District
- "RP" Residential Professional

City of Fruitland Park Zoning

- R-1 -- Single - Family Low Density Residential
- R-2 -- Single - Family Medium Density Residential
- R-3 -- Multi-Family High Density Residential
- R-3A -- High Density Res/Neighborhood Com
- C-1 -- Neighborhood Commercial
- C-2 -- General Commercial
- PUD -- Planned Unit Development
- PFD -- Public Facilities District
- GB -- Green Belt District
- ROW -- Right-of-Way



City of Fruitland Park
First Baptist Church of Leesburg, Inc
 Lake County, Florida
 Existing Zoning

Project: 398-17-03
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 Name: First Baptist
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LPG Urban & Regional Planners, Inc.
 1162 Camp Avenue, Mount Dora, Florida 32717
 Office: (352) 383-1740 / Fax: (352) 383-4824

ORDINANCE 2017 - 023

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, REZONING 14.95 ± ACRES OF THE PROPERTY FROM GENERAL COMMERCIAL (C-2) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 52.70 +/- ACRES OF PROPERTY FROM PUBLIC FACILITIES DISTRICT (PFD) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 85.44 +/- ACRES OF PROPERTY FROM SINGLE FAMILY MEDIUM DENSITY RESIDENTIAL (R-2) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 17.00 +/- ACRES OF PROPERTY FROM HIGH DENSITY RESIDENTIAL/NEIGHBORHOOD COMMERCIAL (R-3A) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; REZONING 33.98 +/- ACRES OF PROPERTY FROM GREENBELT DISTRICT (GB) TO MIXED USE PLANNED UNIT DEVELOPMENT (PUD) WITHIN THE CITY LIMITS OF FRUITLAND PARK; APPROVING A MASTER DEVELOPMENT AGREEMENT FOR THE PROPERTY; PROVIDING FOR CONDITIONS AND CONTINGENCIES; DIRECTING THE CITY MANAGER TO AMEND THE ZONING MAP OF THE CITY OF FRUITLAND PARK; PROVIDING FOR SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT HERewith; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a petition has been submitted by First Baptist Church of Leesburg, Inc., Owner, requesting that approximately 14.95 acres of real property generally located south of CR 466A and west of Pine Ridge Dairy Road (the "Property") be rezoned from General Commercial (C-2) to Mixed Use Planned Unit Development; approximately 52.70 acres of real property generally located south of CR 466A and west of Pine Ridge Dairy Road (the "Property") be rezoned from Public Facilities District (PFD) to Mixed Use Planned Unit Development (PUD) within the city limits of Fruitland Park; approximately 85.44 acres of real property generally located south of CR 466A and west of Pine Ridge Dairy Road (the "Property") be rezoned from Single Family Medium Density Residential (R-2) to Mixed Use Planned Unit Development (PUD) within the city limits of Fruitland Park; approximately 17.00 acres of real property generally located south of CR 466A and west of Pine Ridge Dairy Road (the "Property") be rezoned from High Density Residential/Neighborhood Commercial (R-3A) to Mixed Use Planned Unit Development (PUD) within the city limits of Fruitland Park; and further requesting that approximately 33.98 acres of property be rezoned from Greenbelt District (GB) to Mixed Use Planned Unit Development within the city limits of Fruitland Park; and

WHEREAS, the petition bears the signature of all applicable parties; and

WHEREAS, the required notice of the proposed rezoning has been properly published; and

WHEREAS, the City Commission reviewed said petition, the recommendations of the Planning and Zoning Board, staff report and any comments, favorable or unfavorable, from the public and surrounding property owners at a public hearing duly advertised;

NOW, THEREFORE, BE IT ORDAINED by the City Commission of the City of Fruitland Park, Florida, as follows:

Section 1. The following described property consisting of approximately 206.11 ± acres of land generally located south of CR 466A and west of Pine Ridge Dairy Road shall hereafter be designated as PUD, Mixed Use Planned Unit Development, as defined in the Fruitland Park Land Development Regulations. The property is more particularly described and depicted as set forth on Exhibit "A".

Section 2. That the City Manager, or designee, is hereby directed to amend, alter, and implement the official zoning maps of the City of Fruitland Park, Florida to include said designation consistent with this Ordinance.

Section 3. If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

Section 4. Conflict. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 5. This Ordinance shall become effective immediately upon passage by the City Commission of the City of Fruitland Park.

PASSED AND ORDAINED in regular session of the City Commission of the City of Fruitland Park, Lake County, Florida, this _____ day of _____, 2017.

Chris Cheshire, Mayor
City of Fruitland Park, Florida

ATTEST:

Approved as to Form:

Esther Coulson, CMC, City Clerk

Anita Geraci-Carver, City Attorney

| | |
|---------------------|--|
| Vice-Mayor Gunter | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |
| Commissioner Ranize | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |
| Commissioner Lewis | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |
| Commissioner Bell | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |
| Mayor Cheshire | _____ (Yes), _____ (No), _____ (Abstained), _____ (Absent) |

Passed First Reading _____
Passed Second Reading _____
(SEAL)

EXHIBIT "A"
LEGAL DESCRIPTION

LEGAL DESCRIPTION

THAT LAND LYING IN SECTIONS 5, 7 AND 8, TOWNSHIP 19 SOUTH, RANGE 24 EAST, LAKE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

FROM THE NORTHWEST CORNER OF SAID SECTION 8, RUN S89°39'50"E, ALONG THE NORTH LINE THEREOF, A DISTANCE OF 210.00 FEET TO THE EAST LINE OF THE WEST 210.00 FEET OF THE NORTHWEST 1/4 OF SAID SECTION 8, ALSO BEING THE EASTERLY BOUNDARY OF VILLAGES OF FRUITLAND PARK UNIT NO. 27 AS RECORDED IN PLAT BOOK 66, PAGES 42 THROUGH 44, INCLUSIVE, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA AND THE POINT OF BEGINNING; THENCE ALONG SAID EAST LINE AND SAID EASTERLY BOUNDARY, S00°47'54"W, 350.15 FEET TO THE NORTHEAST CORNER OF VILLAGES OF FRUITLAND PARK UNIT NO. 28 AS RECORDED IN PLAT BOOK 66, PAGES 54 THROUGH 55, INCLUSIVE, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, THENCE DEPARTING THE EASTERLY BOUNDARY OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 27 AND ALONG THE EASTERLY BOUNDARY OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 28 THE FOLLOWING COURSES: S00°47'54"W, 244.87 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 595.00 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING THE EAST LINE OF THE WEST 210.00 FEET OF THE NORTHWEST 1/4 OF SAID SECTION 8 AND ALONG SAID SOUTH LINE, N89°39'50"W, 10.00 FEET TO THE EAST LINE OF THE WEST 200.00 FEET OF SAID SECTION 8; THENCE DEPARTING SAID SOUTH LINE AND ALONG SAID EAST LINE, S00°47'54"W, 589.01 FEET TO THE SOUTHEAST CORNER OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 28 AND A POINT ON THE NORTH LINE OF THE SOUTH 160.00 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING SAID EASTERLY BOUNDARY, SAID EAST LINE AND ALONG SAID NORTH LINE, S89°40'49"E, 611.54 FEET; THENCE DEPARTING SAID NORTH LINE AND ALONG THE FOLLOWING BOUNDARIES: VILLAGES OF FRUITLAND PARK, UNIT NO. 29, AS RECORDED IN PLAT BOOK 66, PAGE 71 THROUGH 73, INCLUSIVE, VILLAGES OF FRUITLAND PARK, UNIT NO. 31, AS RECORDED IN PLAT BOOK 66, PAGE 74 THROUGH 82, INCLUSIVE, SAID BOUNDARIES ALSO BEING THE EAST LINE OF THOSE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 4415, PAGE 1806, ALL IN THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; RUN THENCE S00°46'30"W, 425.68 FEET; THENCE S31°15'56"W, 733.08 FEET; THENCE S00°47'54"W, 35.45 FEET; THENCE S43°54'50"E, 75.41 FEET; THENCE S49°19'38"E, 80.87 FEET; THENCE S45°31'17"E, 45.42 FEET; THENCE S57°57'35"E, 31.06 FEET; THENCE S27°16'42"E, 46.23 FEET; THENCE S36°00'06"E, 62.89 FEET; THENCE S26°28'20"E, 49.91 FEET; THENCE S32°28'21"E, 80.27 FEET; THENCE S29°57'55"E, 60.93 FEET; THENCE S75°47'10"E, 99.18 FEET; THENCE S07°22'59"E, 55.03 FEET; THENCE S04°58'53"E, 28.31 FEET; THENCE S03°51'23"E, 57.52 FEET; THENCE S03°23'32"W, 15.26 FEET; THENCE S75°48'45"W, 38.64 FEET; THENCE S12°05'00"W, 92.40 FEET; THENCE S24°08'42"W, 41.93 FEET; THENCE S11°20'47"W, 21.80 FEET; THENCE S00°21'45"W, 90.73 FEET; THENCE S40°46'06"W, 53.01 FEET; THENCE S53°05'55"W, 104.34 FEET; THENCE S49°53'36"W, 70.59 FEET; THENCE

S48°18'47"W, 37.84 FEET; THENCE S61°43'23"W, 48.54 FEET; THENCE S62°49'12"W, 50.56 FEET; THENCE S59°14'26"W, 52.64 FEET; THENCE S70°58'32"W, 38.87 FEET; THENCE S35°38'27"W, 2,364.05 FEET TO THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 7; THENCE DEPARTING THE BOUNDARIES OF SAID SUBDIVISIONS AND THE BOUNDARY OF OFFICIAL RECORDS BOOK 4415, PAGE 1806; RUN THENCE ALONG SAID SOUTH LINE, S89°06'25"E, 914.79 FEET TO THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 7 AND ALONG THE SOUTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 8, S89°14'24"E, 1,330.47 FEET TO THE EAST LINE OF THE WEST 1/4 OF SAID SECTION 8; THENCE ALONG SAID EAST LINE, N00°42'44"E, 2,636.42 FEET TO THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE N00°46'31"E, 1,343.41 FEET TO THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING SAID EAST LINE AND ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE NORTHWEST 1/4, S89°40'49"E, 1,331.19 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 8; THENCE DEPARTING SAID SOUTH LINE AND ALONG THE EAST LINE OF SAID NORTHEAST 1/4 OF THE NORTHWEST 1/4, N00°44'42"E, 1,343.27 FEET TO THE NORTHEAST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4; THENCE DEPARTING SAID EAST LINE AND ALONG THE NORTH LINE OF SAID NORTHEAST 1/4 OF THE NORTHWEST 1/4, N89°39'42"W, 1,330.49 FEET TO THE SOUTHEAST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 5; THENCE DEPARTING SAID NORTH LINE AND ALONG THE EAST LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, N00°34'38"E, 1,263.10 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF COUNTY ROAD 466-A, AS PER OFFICIAL RECORDS BOOK 4271, PAGE 1960, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA; THENCE DEPARTING SAID EAST LINE AND ALONG SAID SOUTHERLY RIGHT-OF-WAY, N89°14'18"W, 1,118.09 FEET TO THE EAST LINE OF THE WEST 210.00 FEET OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE NORTHEAST CORNER OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 27; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY, ALONG SAID EAST LINE OF THE WEST 210.00 FEET AND THE EASTERLY BOUNDARY OF SAID VILLAGES OF FRUITLAND PARK UNIT NO. 27, S00°56'55"W, 1,271.43 FEET TO THE POINT OF BEGINNING.

CONTAINING 205.76 ACRES, MORE OR LESS.

MASTER DEVELOPMENT AGREEMENT

THIS AGREEMENT is entered into and made as of the ____th day of _____, 2017, between the CITY OF FRUITLAND PARK, FLORIDA, a Florida municipal corporation, (hereinafter referred to as the "City"), and First Baptist Church of Leesburg, Inc. (hereinafter referred to as the "Owner").

RECITALS

1. The Owner desires to rezone approximately 205.76 + acres of property within the City of Fruitland Park, described and depicted as set forth on Exhibit "A" attached to and incorporated in this Agreement (hereafter referred to as the "Property").
2. The Property is currently located within the City of Fruitland Park and is currently zoned "General Commercial" (C-2), Public Facilities District (PFD), Single Family Medium Density Residential (R-2), High Density Residential/Neighborhood Commercial (R-3A), and Greenbelt District (GB) with a future land use designation on the City of Fruitland Park Future Land Use Map of "Mixed Community."
3. Owner has filed applications for rezoning for the Property as a mixed use planned unit development.
4. Owner represents that it is the sole legal owner of the Property and that it has the full power and authority to make, deliver, enter into, and perform pursuant to the terms and conditions of this Agreement and has taken all necessary action to authorize the execution, delivery, and performance of the terms and conditions of this Agreement.
5. The City of Fruitland Park has determined that the rezoning of the Property and the proposal for its development presents, among other things, an opportunity for the City to secure quality planning and growth, protection of the environment, and a strengthened and revitalized tax base.
6. Owner will fund certain public improvements and infrastructure to facilitate the development of the Property.
7. The Property is within the City's Chapter 180, Florida Statutes, utility district, and Owner has requested and City desires to provide water and sewer as well as other municipal services to the Property.

ACCORDINGLY, in consideration of the mutual benefits and the public interest and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

Section 1. Recitals. The above recitals are true and correct, are hereby incorporated herein by reference, and form a material part of this Agreement. All exhibits to this Agreement are hereby deemed a part thereof.

Section 2. Conditions Precedent. Owner has filed an application for rezoning for the

✓
12-7-17

Property. It is understood and agreed to by the City and the Owner that this Agreement shall not be binding or enforceable as to any party unless and until: a) the City duly adopts the Agreement and adopts an ordinance rezoning the Property. The parties hereto understand and acknowledge that the City is in no way bound to rezone the Property. The City shall have the full and complete right to approve or deny the application for rezoning.

Section 3. Land Use/Development. Development of the Property shall be substantially consistent with the "Conceptual Site Plan" prepared by Florida Engineering Group, Inc., dated _____, and attached as Exhibit "B" (the "Plan"). The project shall be developed as a senior (age 55+) mixed use community. All development shall be consistent with City's "PUD" (Planned Unit Development/Mixed Use) zoning district and, subject to City approval. As set forth further below, all land use issues addressed herein must be adopted by City through its regular procedures before being effective.

Section 4. Permitted Uses. Permitted Uses shall include:

- a. Single family detached residential dwelling units.
- b. Duplex (Villa) dwelling units.
- c. Single family attached residential dwelling units meeting the R-3 standards.
- d. Multi-family residential dwelling units meeting the R-3 standards.
- e. Adult Congregate Living Facilities. The maximum number of beds shall not exceed 150.
- f. Nursing homes.
- g. Church/Religious Facilities.
- h. All permitted C-1 uses.
- i. Convenience Store with fuel operations.
- j. Restaurants.
- k. Banks.
- l. Athletic/Sports Facilities.
- m. Residential units shall not exceed 900 units.
- n. Passive and Active Recreation Facilities.
- o. Total Commercial Square footage shall not exceed 130,000 square feet.
- p. Total Institutional Square footage shall not exceed 240,000 square feet which includes Adult Congregate Living Facilities, Nursing homes and Church/Religious Facilities.
- q. The residential units may be converted to the Adult Congregate Living Facilities or a Nursing home based on one (1) unit equals three (3) beds; however, in no case shall the maximum number of beds be exceeded as stated in item e above.

Section 5. Residential Development Standards. Development Standards shall be as follows:

- a. The minimum living area shall be 1,000 square feet for the single family detached homes.
- b. The minimum lot size shall be 4,000 square feet for the detached single family homes.
- c. Minimum lot width for detached single-family shall be 40 feet with a minimum lot depth of 100 feet.
- d. Minimum Setback requirements for detached residential units shall be:

Front: Local Roadways - Twenty feet (20')
Garage Setback from Roadway – Twenty-five feet (25')

Side: Local Roadways – Twenty feet (20')
Another Lot - Five feet (5')

Rear: Local Roadway– Twenty feet (20')
Another Lot – Twenty feet (20')

Accessories Setback: All accessory structures shall be located no closer to the property line than five feet (5').

- e. Minimum lot size shall be 4,000 square feet for duplex/villa single-family homes (duplex, villas).
- f. The minimum lot width for duplex/villas shall be 40 feet with a minimum lot depth of 100 feet.
- g. Minimum Setback requirements for duplex/villa single family residential units shall be:

Front: Local Roadways - Twenty feet (20')
Garage Setback from Roadway – Twenty-five feet (25')

Side: Local Roadways – Twenty feet (20')
Another Lot - 0' feet for common walls

Rear: Local Roadway– Twenty feet (20')
Another Lot – Twenty feet (20')

Accessories Setback: All accessory structures shall be located no closer to the property line than five feet (5'). In those areas where the buffer width is greater than five feet (5') and is part of the lot, all accessory structures shall be located outside of the buffer area.

Minimum distance between single-family detached and single family attached structures shall be 10 feet (10') measured from building wall to building wall.

- h. Multi-family development shall meet the R-3 zoning development standards.
- i. Maximum building height shall be limited to thirty five feet (35') for single family; however, if adequate fire protection measures are provided the height limitation may be exceeded, after review by the City Fire Inspector and Building Official with final determination by Community Development Director.

- j. Maximum building height for the multi-family uses (garden apartments and condominiums) shall not exceed 5 stories (from finished grade) including parking garage provided adequate fire protection measures are provided as reviewed by the City Fire Inspector and Building Official with final determination by Community Development Director.
- k. Parking: The Applicant will be required to meet the parking requirements of the Fruitland Park Land Development Code for the proposed residential uses except as provided below:
 - Multi-Family Residential – 1.5 spaces per unit
 - Single Family Attached Residential – 1.5 spaces per unit
 - Assisted Living Facilities – 0.25 spaces per bed, plus 1 space per employee (largest shift)
 - Skilled Nursing - 0.25 spaces per bed, plus 1 space per employee (largest shift)

Section 7. Residential Design Standards. Design Standards shall be as follows:

- a. **Architectural features** - All buildings shall utilize at least three of the following design features to provide visual relief along all elevations of the single family units. Garage vehicle doors shall incorporate the following elements: raised decorative panels, decorative glass panels or panes, decorative hinges, etc. Front doors shall incorporate the following decorative elements: raised decorative panels, decorative glass panels or panes, decorative handles, etc. Designs may vary throughout the development.
 - 1) Dormers
 - 2) Gables
 - 3) Recessed or raised entries
 - 4) Covered porch entries
 - 5) Cupolas
 - 6) Pillars or decorative posts
 - 7) Bay window (minimum 12 inch projections)
 - 8) Eaves (minimum 6-inch projections)
 - 9) Front windows with arched glass tops and minimum 4-inch trim
- b. **Building Materials** - Exterior building materials contribute significantly to the visual impact of a building on the community. These materials shall be well designed and integrated into a comprehensive design style for the project. The total exterior wall area of each building elevation shall be composed of one of the following:
 - 1) At least thirty-five percent (35%) full-width brick or stone (not including window and door areas and related trim areas), with the balance being any type of lap siding and/or stucco.
 - 2) At least thirty percent (30%) full-width brick or stone, with the balance being stucco and/or a "cementitious" lap siding. (A "cementitious" lap siding product is defined as a manufactured strip siding composed of cement-based materials rather than wood fiber-based or plastic-based materials. For

example, Masonite or vinyl lap siding would not be allowed under this option.).

3) All textured stucco, provided there are unique design features such as recessed garages, tile or metal roofs, arched windows etc. in the elevations of the buildings or the buildings are all brick stucco. Unique design features shall be reviewed by the Community Development Director for compliance.

Section 8. Commercial and Institutional Development Standards. Development Standards shall be as follows:

a. Minimum Setback requirements for commercial shall be:

Front: CR 466A – Fifty feet (50')

Local Roadways - Twenty feet (20')

Side: Local Roadways – Twenty feet (20')

Another Lot - Ten feet (10')

A zero (0) side setback is allowed on one side provided there is a minimum ten feet setback on the opposite side and provided requirements for fire and building codes are met.

Rear: Local Roadway– Twenty feet (20')

Another Lot – Twenty feet (20')

Accessories Setback: All accessory structures shall be located no closer to the property line than ten feet (10').

Required landscape buffers shall supersede the minimum dimensions permitted by this Section.

- b. The maximum impervious surface ratio for the property (which includes building coverage) shall be limited to eighty percent (80%).
- c. Maximum building height shall be limited to four (4) stories (from finished grade) provided that adequate fire protection measures are provided as determined by the City Fire Inspector and Building Official.
- d. Maximum building height shall be limited to ninety-five feet (95') for accessory decorative structures such as, but not limited to, steeples or spires.
- e. Parking: The Applicant will be required to meet the parking requirements of the Fruitland Park Land Development Regulations for the proposed uses except as provided below:
 - House of Worship – 1 space per three (3) seats (fixed seats) of 1 space per 30 gross square feet (without fixed seats)
 - Ancillary Uses – 3 spaces per 1000 square feet (3.0 spaces/KSF)
- f. Commercial access: Access to the commercial development areas shall be primarily from the entrance boulevard with access to CR 466A. Pedestrian access shall be provided from the residential areas to the commercial area utilizing a trail system which shall be reviewed during the site plan or subdivision review process.

Section 9. Commercial and Institutional Design Standards. The Applicant shall be required to meet the nonresidential design standard requirements of the Fruitland Park Land Development Regulations.

Section 10. Development Phasing. The proposed project may be constructed in phases in accordance with the Planned Unit Development Master Plan (attached as part of these conditions). Changes to the Development Plan, other than those conditions described in this agreement, shall be revised in accordance with the Planned Unit Development review process.

Section 11. Site Access and Transportation Improvements. Vehicular access to the project site shall be provided by a minimum of two access points, one primary access on CR 466A and one access on Pine Ridge Dairy Road. The primary access shall be through a divided landscaped boulevard type road. Actual location and design of the boulevard shall be determined during the Site Plan and/or Preliminary Subdivision Plan review process and shall include consideration of sidewalks on both sides of the boulevard, recreation paths etc. Other potential vehicular and pedestrian accesses will be reviewed during the development review process.

- a. The Permittee shall provide all necessary improvements/signalization within and adjacent to the development as required by Lake County and City of Fruitland Park.
- b. All roads within the development shall be designed and constructed by the developer to meet the City of Fruitland Park requirements.
- c. Sidewalks shall be provided on both sides of the local internal roads and shall provide cross connections to all recreation and residential areas. Internal road rights-of-ways shall be of sufficient width to contain the sidewalks. All sidewalks shall be constructed in accordance with City of Fruitland Park Codes.
- d. The City of Fruitland Park will not be responsible for the maintenance or repair of any of the roads or transportation improvements. The Permittee shall establish an appropriate legal entity that will be responsible to pay the cost and perform the services to maintain the roads and transportation improvements.
- e. Should the Permittee desire to dedicate the proposed project's internal road system to the City of Fruitland Park; the City, at its discretion, may accept or not accept the road system. Prior to acceptance, the Permittee shall demonstrate to the City the road system is in suitable condition and meets City of Fruitland Park requirements. As a condition of accepting the roadway system the City may create a special taxing district or make other lawful provisions to assess the cost of maintenance of the system to the residents of the project, and may require bonds or other financial assurance of maintenance for some period of time
- f. A traffic/transportation study shall be submitted prior to preliminary subdivision plan approval for review and determination of any necessary access improvements if required by Lake County. Said improvements will be the responsibility of the Permittee.
- g. At such time that traffic signals are warranted at the proposed project entrance, the Permittee shall pay their pro-rata share of the cost of the signal(s) as determined by City staff.

Section 12. Lighting. All exterior lighting shall be arranged to reflect light away from adjacent properties to the greatest extent possible while providing lighting adequate to ensure safety on road right of way and parking areas.

Section 13. Water, Wastewater, and Reuse Water. Subject to the terms herein, Owner and their successors and assigns agree to obtain water, reuse water, irrigation water, and wastewater service (hereafter, "Utilities") exclusively through purchase from City when available. Owner covenants and warrants to City that it will not engage in the business of providing such Utilities to the Property or within City's F.S. Chapter 180 utility district. Notwithstanding the foregoing, private wells for irrigation purposes will be allowed within the Property so long as such wells are approved and permitted by the St. Johns River Water Management District (the "District") and comply with the rules and regulations of the District. Owner shall construct, at Owner's expense, all on-site utility facilities (e.g. lift stations and lines) as well as pay for the extension of facilities from City's current point of connection. Owner shall also construct, at Owner's expense, "dry" utility lines for reclaimed water purposes. All such improvements must be constructed to City requirements and transferred to City as a contribution in aid of construction.

Section 14. Impact Fees. Owner shall be required to pay impact fees as established by City from time to time. Notwithstanding the foregoing, Owner shall pay water and wastewater impact fees at the rate of \$3,080.00 per ERU for wastewater (sewer) and \$985.00 per ERU for water.

Owner agrees to pay all other impact fees and any impact fees adopted after the execution of this Agreement as building permits are issued. If impact fees increase from the time they are paid until the building permit is issued, Owner shall pay the incremental increased amount at the time building permits are issued. Prepayment of utility impact fees and acceptance by City of such fees shall reserve capacity. No capacity is reserved until or unless such fees have been paid pursuant to an agreement with City. Owner agrees and understands that no capacity has been reserved and that Owner assumes the risk that capacity will be available. Accordingly, if capacity is available at the time of site plan and City is willing to allocate such capacity to Owner, Owner shall enter into a reservation agreement and any other utility agreements or easements related to the Property as requested by City from time to time.

Section 15. Easements. Owner shall provide the City such easements or right of way in form acceptable to the City Attorney, as the City deems necessary for the installation and maintenance of roads, sidewalks, bikeways, street lighting or utility services, including but not limited to sewer, water, drainage and reclaimed water services.

Section 16. Landscaping/Buffers. Developer has reviewed City's Land Development Regulations relating to landscaping and agrees to comply with such regulations. Owner shall install and maintain a twenty-five foot (25') landscape buffer along CR 466A; and a twenty-five foot (25') buffer along property boundaries abutting existing residential as shown on the Conceptual Plan consisting of four (4) canopy trees, two (2) understory trees, and fifteen (15) shrubs per one hundred feet (100'); however, no buffer shall be required along the perimeter boundary adjacent to the wetlands. A fifteen foot (15') native buffer shall be provided onsite adjacent to the wetlands. All landscaping and tree protection shall comply with Chapter 164 of the City of Fruitland Park Land Development Regulations.

Owner shall, at its sole expense, install underground irrigation systems on all common areas of the Property, as well as exercise any other measures reasonably necessary to ensure the long-term maintenance of the landscaping.

Owner shall design and construct, at its sole expense, the interior landscaped areas and islands within the parking areas of the Property in accordance with all applicable City of Fruitland Park Land Development Regulations. Owner shall maintain such areas.

Owner acknowledges City's goal of achieving a greater level of tree preservation within the City. In aid of such goal, Owner agrees to comply with all applicable City of Fruitland Park Land Development Regulations pertaining to tree removal and replacement.

Section 17. Stormwater Management. Owner agrees to provide at Owner's expense a comprehensive stormwater management system consistent with all regulatory requirements of the City and the St. John's River Water Management District. Impacts to flood plains are allowed in accordance with the Water Management District procedures for compensating storage and will be based on the 100-year floodplain established by Lake County.

Section 19. Other Municipal Facilities/Services. The City hereby agrees to provide, either directly or through its franchisees or third party providers, police and fire protection, emergency medical services, and solid waste collection, disposal, and recycling services to the Property under the same terms and conditions and in the same manner as are afforded to all other commercial property owners within the City.

Section 20. Environmental Considerations. The Owner agrees to comply with all federal, state, county, and city laws, rules and regulations regarding any environmental issues affecting the Property.

Section 21. Signage. Owner shall submit a master sign plan as a component of the final site plan (i.e., construction plan) application for the Property. Such plan shall be in compliance with all applicable regulations contained within the City of Fruitland Park Land Development Regulations, unless City grants a waiver or variance pursuant to the City's Land Development Regulations. Alternatively, the Owner, in the Owner's discretion, may apply to amend the PUD to incorporate a Master Signage Plan at the time that the Owner desires to install signage at the development.

Section 22. Title Opinion. Owner shall provide to City, in advance of the City's execution of this Agreement, a title opinion of an attorney licensed in the State of Florida, or a certification by an abstractor or title company authorized to do business in the State of Florida, showing marketable title to the Property to be in the name of the Owner and showing all liens, mortgages, and other encumbrances not satisfied or released of record.

Section 23. Compliance with City Laws and Regulations. Except as expressly modified herein, all development of the Property shall be subject to compliance with the City Land Development Regulations and City Code provisions, as amended, as well as regulations of county, state, local, and federal agencies. All improvements and infrastructure shall be constructed to City standards.

Section 24. Due Diligence.
The City and Owner further agree that they shall commence all reasonable actions necessary to fulfill their obligations hereunder and shall diligently pursue the same throughout the existence of this Agreement. The City shall further provide all other municipal services to the Property as are needed by Owner from time to time in accordance with the City's applicable policies for the provision of said services.

Section 25. Enforcement/Effectiveness. A default by either party under this Agreement shall entitle the other party to all remedies available at law. This is a non-statutory development agreement which is not subject to or enacted pursuant to the provisions of Sections 163.3220 – 163.3243, *Florida Statutes*.

Section 26. Governing Law. This Agreement shall be construed in accordance with the laws of the State of Florida and venue for any action hereunder shall be in the Circuit Court of Lake County, Florida.

Section 27. Binding Effect; Assignability. This Agreement, once effective, shall be binding upon and enforceable by and against the parties hereto and their assigns. This Agreement shall be assignable by the Owner to successive owners. Owner shall, however, provide written notice to the City of any and all such assignees. The rights and obligations set forth in this Agreement shall run with the land and be binding on all successors and/or assignees. Owner consents to the placement of a claim of lien on the Property upon default in payment of any obligation herein without precluding any other remedies of City. The parties hereby covenant that they will enforce this Agreement and that it is a legal, valid, and binding agreement.

Section 28. Waiver; Remedies. No failure or delay on the part of either party in exercising any right, power, or privilege hereunder will operate as a waiver thereof, nor will any waiver on the part of either party or any right, power, or privilege hereunder operate as a waiver of any other right, power, privilege hereunder, not will any single or partial exercise of any right, power, or privilege hereunder preclude any other further exercise thereof or the exercise of any other right, power, or privilege hereunder.

Section 29. Exhibits. All exhibits attached hereto are hereby incorporated in and made a part of this Agreement as if set forth in full herein.

Section 30. Notice. Any notice to be given shall be in writing and shall be sent by certified mail, return receipt requested, to the party being noticed at the following addresses or such other address as the parties shall provide from time to time:

| | |
|-------------|---|
| As to City: | City Manager City of Fruitland Park 506 W. Berckman Street Fruitland Park, Florida 34731 352-360-6727 Telephone |
| Copy to: | Chris Cheshire, City Mayor City of Fruitland Park 506 W. Berckman Street Fruitland Park, Florida 34731 352-360-6727 Telephone Anita Geraci-Carver Law Office of Anita Geraci-Carver, P.A. 1560 Bloxam Avenue |

| | |
|--------------|---|
| | Clermont, Florida 34711 352-243-2801 Telephone 352-243-2768 Facsimile |
| As to Owner: | First Baptist Church of Leesburg, Inc. 220 W. 13th Street Leesburg, FL 34748-4962 |
| Copy to: | |
| | |

Section 31. Entire Agreement. This Agreement sets forth all of the promises, covenants, agreements, conditions, and understandings between the parties hereto, and supersedes all prior and contemporaneous agreements, understandings, inducements or conditions, express or implied, oral or written, except as herein contained. However, the failure of this Agreement to address a particular permit, condition, term, or restriction shall not relieve Owner from complying with the law governing said permitting requirements, conditions, terms or restrictions.

Section 32. Term of Agreement. The term of this Agreement shall commence on the date this Agreement is executed by both the City and Owner, or the effective date of the annexation of the Property, whichever occurs later, and shall terminate twenty (20) years thereafter; provided, however, that the term of this Agreement may be extended by mutual consent of the City and the Owner, subject to a public hearing.

Section 33. Amendment. Amendments to the provisions of this Agreement shall be made by the parties only in writing by formal amendment.

Section 34. Severability. If any part of this Developer's Agreement is found invalid or unenforceable in any court, such invalidity or unenforceability shall not effect the other parts of this Developer's Agreement, if the rights and obligations of the parties contained herein are not materially prejudiced and if the intentions of the parties can be effected. To that end, this Developer's Agreement is declared severable.

IN WITNESS WHEREOF, the Owner and the City have executed this Agreement as of the day and year first above written.

**SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF:**

Witness Signature

By: _____
Signature

Print Name

Print Name

Witness Signature

Signature

Print Name

Print Name

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this ____ day of _____ by _____ and _____ who are personally known to me or who have produced _____ as identification and who did (did not) take an oath.

Notary Public
Notary Public - State of Florida
Commission No _____
My Commission Expires _____

ACCEPTED BY THE CITY OF FRUITLAND PARK

Approved as to form and
Legality for use and reliance
by the City of Fruitland Park

By: _____
Chris Cheshire, Mayor

Date: _____

ATTEST: _____

Anita Geraci-Carver Esther B. Coulson
City Attorney City Clerk
This instrument prepared by:

STATE OF FLORIDA
COUNTY OF LAKE

The foregoing instrument was acknowledged before me this ____ day of _____ by _____, _____, City Clerk of the City of Fruitland Park, Florida, who are personally known to be me and they acknowledge executing the same freely and voluntarily under authority vested in them and that the seal affixed thereto is the true and corporate seal of the City of Fruitland Park, Florida.

Notary Public
Notary Public - State of Florida
Commission No _____
My Commission Expires _____

EXHIBIT "A"
LEGAL DESCRIPTION

EXHIBIT "B"

THE PLAN



Community Development Department
506 W. Berckman St.
Fruitland Park FL 34731

Tel. (352) 360-6727
Fax. (352) 360-6652

STAFF REPORT

Project: Mesos Medical Office

Project Owner: Carrie Ross Blevins
35735 Timbertop Lane
Fruitland Park, FL 34731

Project Address: 607 CR 466A, Fruitland Park, FL 34731
Alternate Key#: 1288215

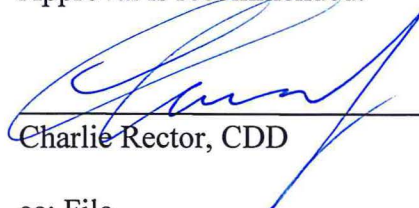
Proposed: Major Site Plan Submittal for Future Medical Office Building

Applicant is submitting a Major Site Plan application for the subject property located at 607 CR 466A, Fruitland Park, FL. The subject property was annexed into the City limits of Fruitland Park on the 10th day of March, 2016, with a current zoning of General Commercial (C-2).

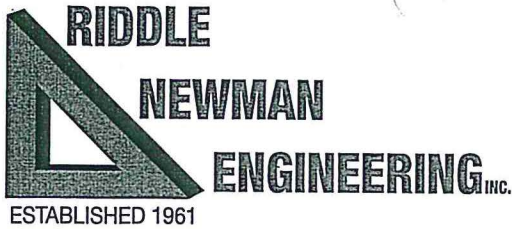
The proposed project is being requested for a medical office building consisting of 5,954 sq feet.

The subject site is to comply with the nonresidential commercial sign design criteria pursuant to Chapter 154 of the Land Development Regulations.

Approval is recommended.


Charlie Rector, CDD
Date 12-7-17

cc: File



July 13, 2017

Mr. Charlie Rector
 Community Development Director
 City of Fruitland Park
 506 W. Berckman Street
 Fruitland Park, FL 34731

Dear Charlie:

**RE: Mesos Medical Office
 Site Plan Submittal (Major)**

Civil
Engineering

 Structural
Engineering

 Land
Development

 Drinking
Water

 Wastewater

 Stormwater
Management

 Environmental
Permitting

Enclosed herewith please find the following in support of the above-referenced site plan submittal:

- Application for Site Plan Approval
- (3) Copies of the Site Plan
- (2) Copies of the Stormwater Calculations
- (2) Copies of Lift Station Calculations
- Stormwater Permit
- Property Record Card

We are prepared to submit the Application Fee as soon as you let us know how much the fee should be.

The Landscape Plan will be submitted under separate cover.

Should you have any questions, please do not hesitate to call.

Respectfully submitted,

RIDDLE - NEWMAN ENGINEERING, INC.

Keith E. Riddle, P.E.

cc: Carrie Blevins

RECEIVED JUL 13 2017

File: K16.08-02

CITY OF FRUITLAND PARK
APPLICATION FOR SITE PLAN REVIEW

1. Applicant's Name Carrie Ross Blevins
Address 35735 Timbertop Lane, Fruitland Park, FL 34731
Telephone Number (352) 233-3305

Applicant is: Owner Developer Lessee Agent Optionee

2. Owner's Name Carrie Ross Blevins
Address 35735 Timbertop Lane, Fruitland Park, FL 34731
Telephone Number (352) 233-3305

3. Contractor's Name _____
Address _____
Telephone Number _____
License Number _____

4. ~~Architect's~~ ^{Engineers} Name Riddle-Newman Engineering, Inc.
Address 115 North Canal Street, Leesburg, FL 34748
Telephone Number (352) 787-7482
Registration Number _____

5. Landscape Architect _____
Address _____
Telephone Number _____
Registration Number _____

6. The property is located in the vicinity of the following streets:
607 CR 466A - Alternate Key # 1288215

7. Area of property 35,624 Square Feet 0.82 Acres

8. Present Zoning is C-2

9. Has any Variance been granted concerning this property? Yes No If yes, list the Case Number and briefly describe the nature of the Variance.
2017-008 - Setback & Buffer Variances

RECEIVED JUL 14 2017

CITY OF FRUITLAND PARK
APPLICATION FOR SITE PLAN REVIEW

10. Briefly describe the proposed project Medical Office
- _____
- _____
11. The exact legal description of the property as shown on the Tax Receipt or the Warranty Deed, or attach a separate sheet to the application form.
- See Site Plan
- _____
- _____
12. The following information must be included on the site plan:
- a. Name of project.
 - b. Statement of intended use of site.
 - c. Legal description of the property and size of parcel in acres or square feet.
 - d. Name, address, and telephone number of the owner or owners of record.
 - e. Name, address and telephone number of the owner(s) agent.
 - f. Name, address, signature and registration of the professionals preparing the plan.
 - g. Date, north arrow and scale, number of sheets; the scale (not smaller than one inch to fifty feet) shall be designated and, where appropriate, the same scale should be used on all sheets.
 - h. Vicinity map, showing relationship of proposed development to the surrounding streets and thoroughfares, shall be at a scale of not less than one inch equals two thousand feet (1"=2,000').
 - i. Linear dimensions of the site.
 - j. Existing grading elevation.
 - k. Finished grading elevation.
 - l. Any existing and proposed building restriction lines (i.e., highway setback lines, easements, covenants, right-of-way and building setback lines).
 - m. Soils, indicate soil classifications on the site plan as identified by the U.S. Department of Agriculture Soil Conservation Service.
 - n. 100-year flood plain.
 - o. Wetlands and other natural features.
 - p. Engineering plans and specifications for collection and treatment of storm drainage.
 - q. Landscape plan, irrigation system plan. Include size, type and location of all landscaping, screens, wall fences and buffers.

CITY OF FRUITLAND PARK
APPLICATION FOR SITE PLAN REVIEW

Building and Structures

- a. Intended use.
- b. Number of stories.
- c. Height of building.
- d. Number of dwelling units and density for multifamily site plans.
- e. Projected number of employees.
- f. If restaurant, show number of seats and occupancy load.
- g. Square footage for proposed development—gross square footage, non-storage area, square footage for each story, gross square footage of sales area, etc.
- h. Photograph or sketch of proposed sign with dimensions and material type.

Building and Structures

- a. Engineer plans and specifications for streets, sidewalks and driveways.
- b. All parking areas designated.
- c. Number of parking spaces.
- d. Number and location of handicapped spaces.
- e. Number and designation of loading spaces.
- f. Number of square feet of paved parking and driveway area.
- g. Surface materials of driveway.
- h. Cross section of proposed street improvements.
- i. Fire lanes.
- j. Location of proposed driveway(s) and median cut(s).
- k. Internal traffic circulation plan, including directional arrows and signs to direct traffic.
- l. Location of traffic-control circulation plan, including directional arrows and signs to direct traffic flow.
- m. Designate location of sidewalks.
- n. All proposed streets and alleys.

See Chapter 160 for additional required information.

PROPERTY RECORD CARD

General Information

| | | | |
|------------------------------|---|--------------------------------------|--|
| Owner Name: | BLEVINS LARRY & CARRIE ROSS | Alternate Key: | 1288215 |
| Mailing Address: | 35735 TIMBERTOP LN FRUITLAND PARK, FL 34731 Update Mailing Address | Parcel Number: | 06-19-24-000400002701 |
| | | Millage Group and City: | 0001 (UNINCORPORATED) |
| | | Total Certified Millage Rate: | 15.1183 |
| | | Trash/Recycling /Water/Info: | My Public Services Map |
| Property Location: | 607 COUNTY ROAD 466A FRUITLAND PARK FL 34731 Update Property Location | Property Name: | -- Submit Property Name |
| | | School Locator: | School and Bus Map |
| Property Description: | E 100 FT OF S 400 FT OF SW 1/4 OF NW 1/4 OF SE 1/4--LESS RD R/W-- ORB 4771 PG 1870 | | |

Land Data

| Line | Land Use | Frontage | Depth | Notes | No. Units | Type | Class Value | Land Value |
|------|------------------------------|----------|-------|-------|-----------|------|-------------|-------------|
| 1 | STORE/RESIDENCE COMBO (1200) | 0 | 0 | | 37460 | SF | \$0.00 | \$71,174.00 |

Residential Building(s)

Building 001

| Residential | Single Family | Building Value: \$26,358.00 | |
|--|------------------------|-----------------------------|---------------------|
| Summary | | | |
| Year Built: 1973 | Total Living Area: 916 | Central A/C: Yes | Attached Garage: No |
| Bedrooms: 2 | Full Bathrooms: 1 | Half Bathrooms: 0 | Fireplaces: 0 |
| Incorrect Bedroom, Bath, or other information? | | | |

Section(s)

| Section No. | Section Type | Ext. Wall Type | No. Stories | Floor Area | Finished Attic | Basement | Basement Finished | Map Color |
|-------------|----------------------------|----------------|-------------|------------|----------------|----------|-------------------|-----------|
| 1 | FINISHED LIVING AREA (FLA) | Wood (001) | 1 | 916 | N | 0% | 0% | |
| 2 | OPEN PORCH | No Wall Type | 1 | 72 | N | 0% | 0% | |

ORDINANCE 2016-003

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, AMENDING THE BOUNDARIES OF THE CITY OF FRUITLAND PARK FLORIDA, IN ACCORDANCE WITH THE PROCEDURE SET FORTH IN SECTION 171.044, FLORIDA STATUTES, TO INCLUDE WITHIN THE CITY LIMITS APPROXIMATELY 0.96 ± ACRES OF LAND GENERALLY LOCATED NORTH OF CR 466A AND EAST OF MICRO RACETRACK ROAD; DIRECTING THE CITY MANAGER TO PROVIDE CERTIFIED COPIES OF THIS ORDINANCE AFTER APPROVAL TO THE CLERK OF THE CIRCUIT COURT, THE LAKE COUNTY MANAGER AND THE DEPARTMENT OF STATE OF THE STATE OF FLORIDA; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a petition has been submitted by Carrie Ross, on behalf of Steven Lamons, Owner, requesting that approximately 0.96 acres of real property generally located north of CR 466A and east of Micro Racetrack Road (the "Property") be annexed to and made a part of the City of Fruitland Park; and

WHEREAS, the petition bears the signature of all applicable parties; and

WHEREAS, the required notice of the proposed annexation has been properly published; and

WHEREAS, the Property is contiguous to the City limits and is reasonably compact.

NOW, THEREFORE, BE IT ORDAINED by the City Commission of the City of Fruitland Park, Florida, as follows:

Section 1. The following described property consisting of approximately 0.96 acres of land generally located north of CR 466A and east of Micro Racetrack Road, contiguous to the City limits, is hereby incorporated into and made part of the City of Fruitland Park Florida. The property is more particularly described as follows:

LEGAL DESCRIPTION: East 100 feet of the South 400 feet of the SW ¼ of the NW ¼ of the SE ¼ in Section 6, Township 19, Range 24 East, Lake County, Florida, less the right of way for State Road No. 466A.

Parcel Alternate Key No. 1288215

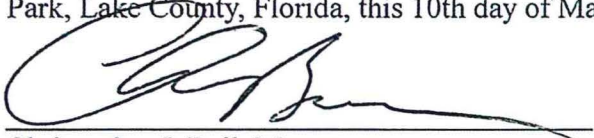
Section 2. The City Clerk shall forward a certified copy of this Ordinance to the Clerk of the Circuit Court, the County Manager of Lake County, Florida, and the Department of State of Florida within seven (7) days after its passage on second and final reading.

Section 3. If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

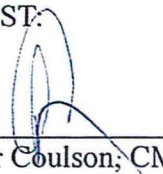
Section 4. The property annexed in this Ordinance is subject to the Land Use Plan of the Lake County Comprehensive Plan and county zoning regulations until the City adopts the Comprehensive Plan Amendments to include the property annexed in the City Comprehensive Plan.

Section 5. This Ordinance shall become effective immediately upon passage by the City Commission of the City of Fruitland Park.

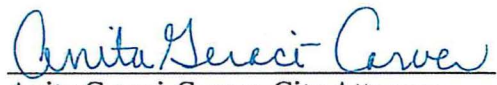
PASSED AND ORDAINED in regular session of the City Commission of the City of Fruitland Park, Lake County, Florida, this 10th day of March, 2016.



Christopher J. Bell, Mayor
City of Fruitland Park, Florida

ATTEST:


Esther Coulson, CMC, City Clerk

Approved as to Form:


Anita Geraci-Carver, City Attorney

| | | | | | | | | |
|-----------------------|--------------|--------|-------|-------|-------|--------------|-------|----------|
| Commissioner Cheshire | <u> / </u> | (Yes), | _____ | (No), | _____ | (Abstained), | _____ | (Absent) |
| Commissioner Ranize | <u> / </u> | (Yes), | _____ | (No), | _____ | (Abstained), | _____ | (Absent) |
| Commissioner Lewis | <u> / </u> | (Yes), | _____ | (No), | _____ | (Abstained), | _____ | (Absent) |
| Vice Mayor Gunter | <u> / </u> | (Yes), | _____ | (No), | _____ | (Abstained), | _____ | (Absent) |
| Mayor Bell | <u> / </u> | (Yes), | _____ | (No), | _____ | (Abstained), | _____ | (Absent) |

Passed First Reading: February 25, 2016
Passed Second Reading: March 10, 2016
(SEAL)



VILLAGE HILLS DR

CATO RANCH RD

LINMAR AVE

LINDA GLEN AVE

WALTERS PL

EMORY DR

MICRO RACETRACK RD

EDMONDSON DR LN

TIMBERTOP LN

Site Location

OLIVER LN

CR 466A

MILLER BLVD

VASQUEZ AVE

ELLIOTT AVE

PARRISH PL

KRAMER CT

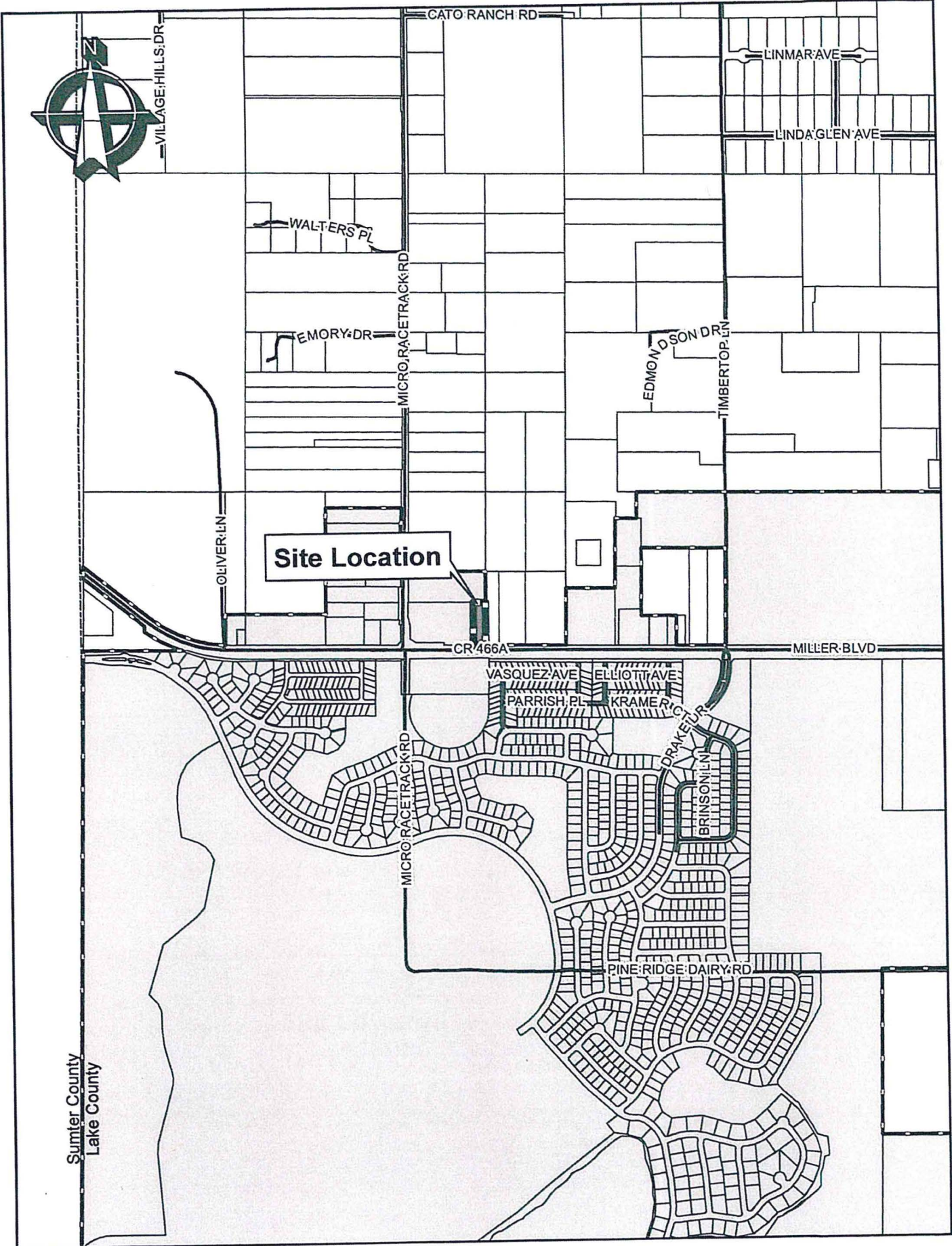
MICRO RACETRACK RD

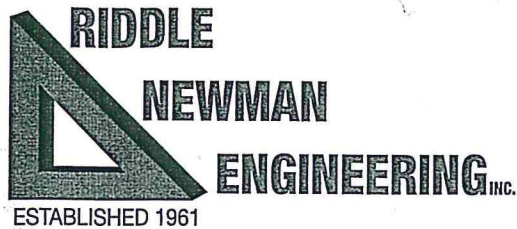
DRAKE CT

BRINSON LN

PINE RIDGE DAIRY RD

Sumter County
Lake County





RECEIVED OCT 10 2017

Civil
Engineering

Structural
Engineering

Land
Development

Drinking
Water

Wastewater

Stormwater
Management

Environmental
Permitting

October 9, 2017

Mr. Charlie Rector
Community Development Director
City of Fruitland Park
506 West Berckman Street
Fruitland Park, FL 34731

Dear Charlie:

*RE: Mesos Medical Office
Site Plan Submittal (Major)*

Enclosed herewith please find the following in support of the above-referenced site plan re-submittal:

- (3) Copies of the Site Plan Revised
- (3) Copies of the Landscape Plan Revised
- (2) Copies of the Stormwater Calculations Revised
- (2) Copies of Building Elevations

In response to the specific comments received, we offer the following:

LPG Urban & Regional Planners

1. The area of the property has been corrected. The erroneous size was removed from Sheet C2.1.
2. The setbacks and buffers have been adjusted to match the approved Variances.
3. The existing trees to be removed are indicated on the Demolition Plan, Sheet C4.2.
4. One of the surveyed trees is called out as 2-6" Oak and was only shown in the Plant Schedule as one tree. Schedule has been updated to show 5 trees.
5. Plan has been corrected for the Cherry Tree & China Berry Tree confusion.
6. The Landscape Plan buffer notes have been revised to match the approved Variances.
7. Sign location has been shown.
8. No site lighting is proposed for the site.
9. Building Elevations submitted herewith.

BESH

1. The site plan has been revised to include the landscape island in the parking lot.
2. Bicycle rack is shown.

3. The dumpster pickup for Commercial businesses is in the early morning hours prior to business hours.
4. There is an existing fire hydrant located 134 feet West of the site.
5. The plan has been revised to show grades along the bottom of the retaining wall.
6. We have shown a diversion swale along the West property line to divert off-site runoff around our site.
7. Pipe lengths and slopes have been shown on the plan and the Hydraulic Analysis has been updated.
8. Pipe slopes have been revised.
9. The design has been modified to show a 10' long weir within the retaining wall with rubble riprap on the outside of the wall.
10. Appendix "C" and "D" were updated to show recovery calculations which take the retaining wall into account.
11. Calculations have been revised to show routing of the 25 year / 96 hour storm event. No discharge in post-development condition.
12. The plan has been revised to relocate the driveway per meetings with Lake County Public Works. Driveway permit is pending.
13. Utilities no longer in the way.

Should you have any questions, please do not hesitate to call.

Respectfully submitted,

RIDDLE - NEWMAN ENGINEERING, INC.



Keith E. Riddle, P.E.

cc: Carrie Ross

Terry Ross

930 Thomas Ave. Ste. 1
Leesburg, FL 34748

RECEIVED OCT 12 2017

Phone (352) 728-6053
Fax (352) 728-2805
rossplbg1@gmail.com

To: City of Fruitland Park-Building Department

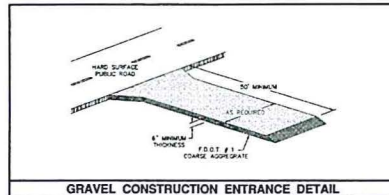
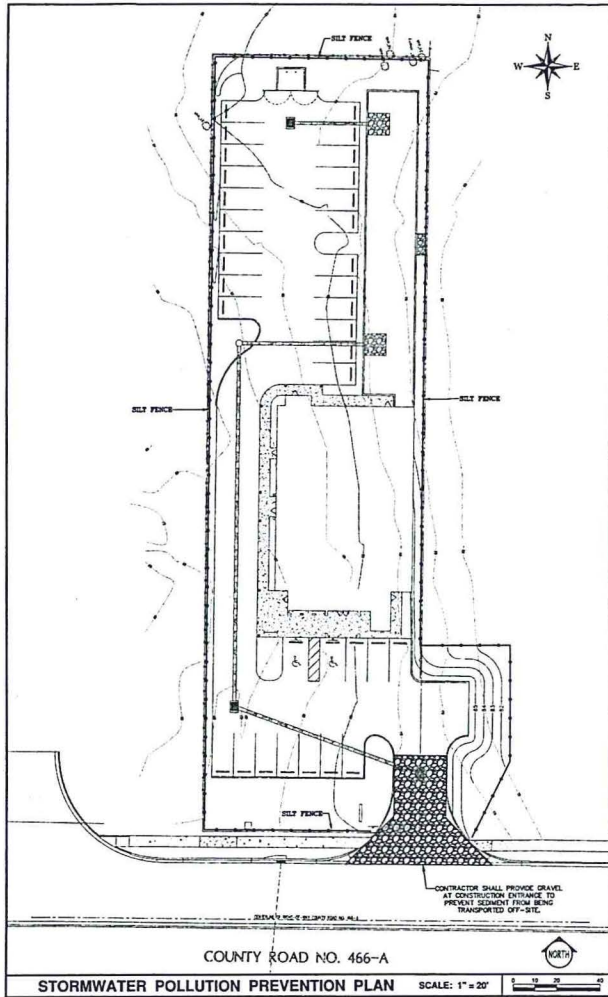
Re: Mesos Plastic Surgery Center

The exterior walls of the center will be neutral in color and the roof will be red tile.

Sincerely,



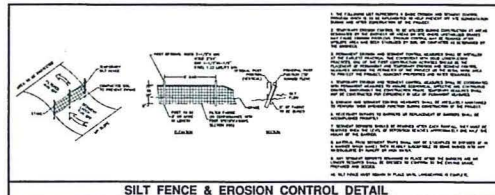
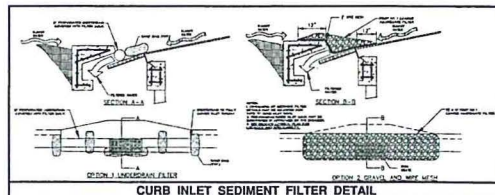
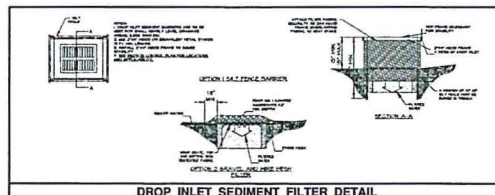
Terry Ross



THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN REQUIREMENTS.

CONTRACTOR TO INSTALL DRAINAGE SWALE AT ALL 1/4\"/>

FILTER FABRIC MUST BE INSTALLED UNDER ALL REEF DETAILS. ALL REEF BRICKS MUST BE SET ON BED OF SAND. ALL REEF BRICKS MUST BE SET ON BED OF SAND. ALL REEF BRICKS MUST BE SET ON BED OF SAND.



NPDES Requirements

The contractor shall provide all final erosion control measures, which include the discharge of sediment associated with large erosion sites. Erosion control measures shall be installed and maintained in accordance with the NPDES permit conditions, to include the discharge of sediment associated with large erosion sites. Erosion control measures shall be installed and maintained in accordance with the NPDES permit conditions, to include the discharge of sediment associated with large erosion sites.

The contractor shall provide all final erosion control measures, which include the discharge of sediment associated with large erosion sites. Erosion control measures shall be installed and maintained in accordance with the NPDES permit conditions, to include the discharge of sediment associated with large erosion sites.

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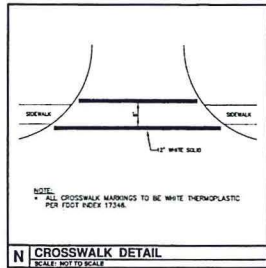
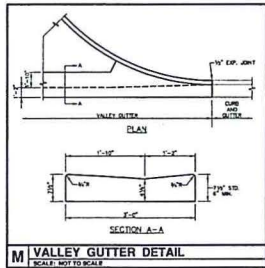
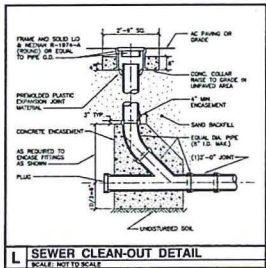
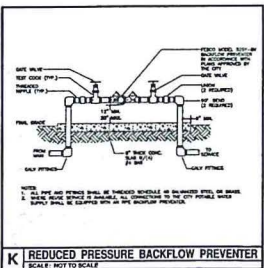
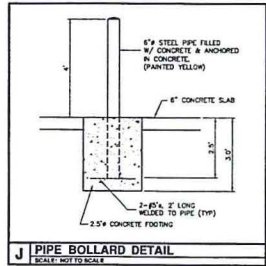
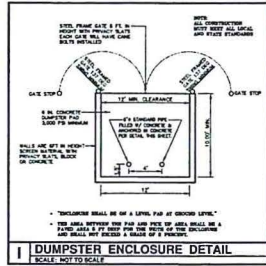
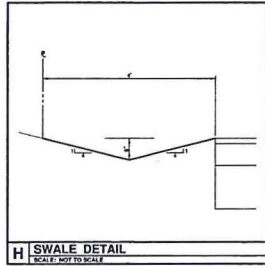
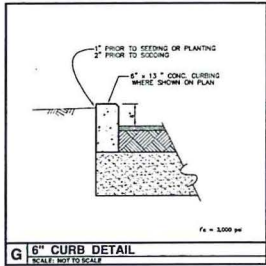
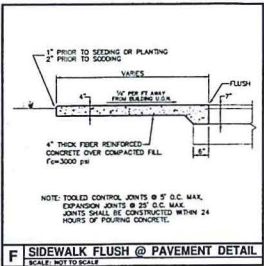
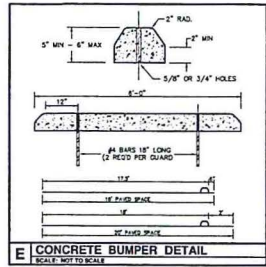
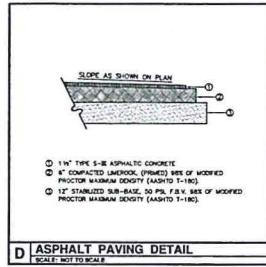
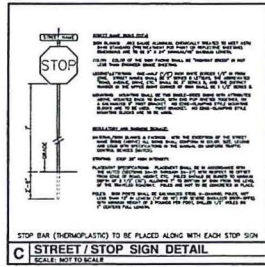
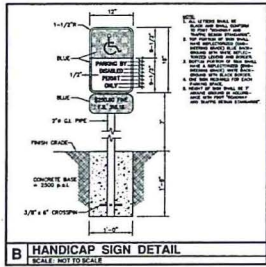
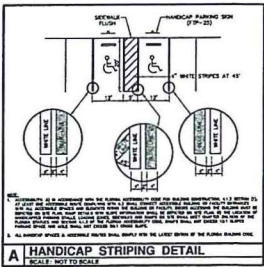
RIDDLE NEWMAN ENGINEERING INC.
115 NORTH WASHINGTON STREET
TALLAHASSEE, FLORIDA 32301
PHONE (904) 787-7412
FAX (904) 787-7412
WWW.RIDDLE-NEWMAN.COM

**RIDDLE
NEWMAN
ENGINEERING INC.**

STORMWATER POLLUTION PREVENTION PLAN
MESOS MEDICAL OFFICE
FRUITLAND PARK
FLORIDA

SCALE: 1"=20'
DATE: 7/23/07
PROJECT NO.: 00000

C1.2



RIDDLE NEWMAN ENGINEERING, INC.

RIDDLE - NEWMAN ENGINEERING, INC.
12000 W. UNIVERSITY BLVD., SUITE 200
FORT LAUDERDALE, FLORIDA 33304
TEL: (352) 791-2122 FAX: (352) 791-2122
WWW: WWW.RNE.COM

RIDDLE NEWMAN ENGINEERING, INC.

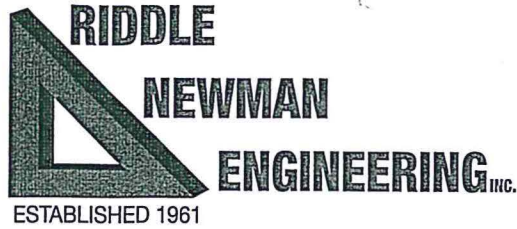
RIDDLE - NEWMAN ENGINEERING, INC.
12000 W. UNIVERSITY BLVD., SUITE 200
FORT LAUDERDALE, FLORIDA 33304
TEL: (352) 791-2122 FAX: (352) 791-2122
WWW: WWW.RNE.COM

MESOS MEDICAL OFFICE

FRUITLAND PARK
FLORIDA

DATE: 7/20/07
DRAWN BY: JLB
CHECKED BY: JLB
SCALE: AS SHOWN

C4.1



November 13, 2017

RECEIVED NOV 14 2017

Mr. Charlie Rector
 Community Development Director
 City of Fruitland Park
 506 West Berckman Street
 Fruitland Park, FL 34731

Dear Charlie:

*RE: Mesos Medical Office
 Site Plan Re-Submittal (Major)*

Enclosed herewith please find the following in support of the above-referenced site plan re-submittal:

- (3) Copies of the Site Plan Revised
- (2) Copies of the Hydraulic Pipe Analysis Output

In response to the specific comments received, we offer the following:

Fire Review

1. We have revised the plans to show a fire hydrant at the driveway entrance to this project.

BESH

1. Charlie Rector has been consulted about the location of the dumpster.
2. We have revised the plans to show a fire hydrant at the driveway entrance to this project.
3. We have revised Hydraulic Calculations to correct the pipe sizes and lengths and submitted the computer output herewith.

Should you have any questions, please do not hesitate to call.

Respectfully submitted,

RIDDLE - NEWMAN ENGINEERING, INC.

Keith E. Riddle, P.E.

cc: Carrie Ross
 File: K16.08-04

Civil
Engineering

Structural
Engineering

Land
Development

Drinking
Water

Wastewater

Stormwater
Management

Environmental
Permitting

CITY OF FRUITLAND PARK
PLANNING AND ZONING APPLICATION

Application: _____

Date: REVISED 11-30-17

Applicant Name: TERRY ROSS

- Application Type:
- | | |
|---|---|
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Subdivision Approval |
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Site Plan Approval |
| <input type="checkbox"/> Rezoning | <input checked="" type="checkbox"/> Variance |
| <input checked="" type="checkbox"/> Special Exception Use | <input type="checkbox"/> Road/Lot Vacation |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Development Order |
| <input type="checkbox"/> Clearing Permit | <input type="checkbox"/> Concurrency Review |
| <input type="checkbox"/> Other | |

Address: 911 Hawk Landing

FRUITLAND PARK, FL 34731

Phone: (352) 728-6053

Applicant is: Owner Agent Purchaser Lessee Optionee

Reason for Request: To Allow construction of Duplex's on all (7) Building Lots
and a variance allowing 20 FT setback on Sunset Way

Owner's Name: TERRY & RACHEL ROSS, LARRY & CARRIE BLEWINS

Address: 911 Hawk Landing, Fruitland Park

Phone: (352) 728-6053

Property Address or Vicinity: Lots 13, 14, 15, 16, 17, 18 & 19 Block B, 1st ADDITION

Size of Property: to Dream Lake, according to Plat Book 3, Page 13

Existing Zoning: →stoward R-2 Proposed Zoning: R-2 special exception

Existing Future Land Use: _____ Proposed Future Land Use: _____

Current Number of Structures on the Property: 2

Current Utilities on the Property: Central Water Central Sewer Well Septic Tank

- Required Attachments:
- 1. Copy of recorded deed(s) for the property.
 - 2. Owner's Affidavit
 - 3. Applicant's Affidavit (if applicable)
 - 4. Copy of boundary survey or sketch plan showing existing streets, existing and proposed structures.
 - 5. Surrounding property owner's names and addresses for all property lying within two-hundred (200) feet of the property described on this application.

Has any previous application been filed within the last year in connection with this property? NO YES

If YES, describe: _____

STAFF REVIEW OF APPLICATION: _____ DATE: 12-7-17

I have reviewed this application and verify that the City of Fruitland Park has received all required attachments.

If not, a written explanation has been received and attached to this application.

City Staff: [Signature]

Title: CDD

Terry Ross

930 Thomas Ave. Ste.1
Leesburg, FL 34748

Phone (352) 728-6053
Fax (352) 728-2805
rossplbg1@gmail.com

Reason for request:


Item 1. Special Exception Use to allow for the construction of duplex's on all of the building lots along Forest St. and Pennsylvania Ave. in Fruitland Park controlled by Ross Family. The Special Exception Use will grant all duplex rights to these lots.

Lots 13, 14, 15, 16, 17, 18, and 19 block B, 1st addition to Dream Lake according to Plat Book 3, page 13.

Currently 2 buildings are under construction and in the final stages nearing certificate of occupancy (C/O). Under construction is 508 Pennsylvania Ave. (Lot 19) and 510 Pennsylvania Ave. (Lot 19).

Item 2. Property owners (Ross Family) will give to the City of Fruitland Park the north 10 foot along Sunset Way to make available for future road improvements to Sunset Way. In return the City will give to the Ross family acknowledgement of their donation and value of \$12,500.00. The City will grant a variance on rear setback requirements of 10 feet. City will pay for and order new survey of north property line (Sunset Way).

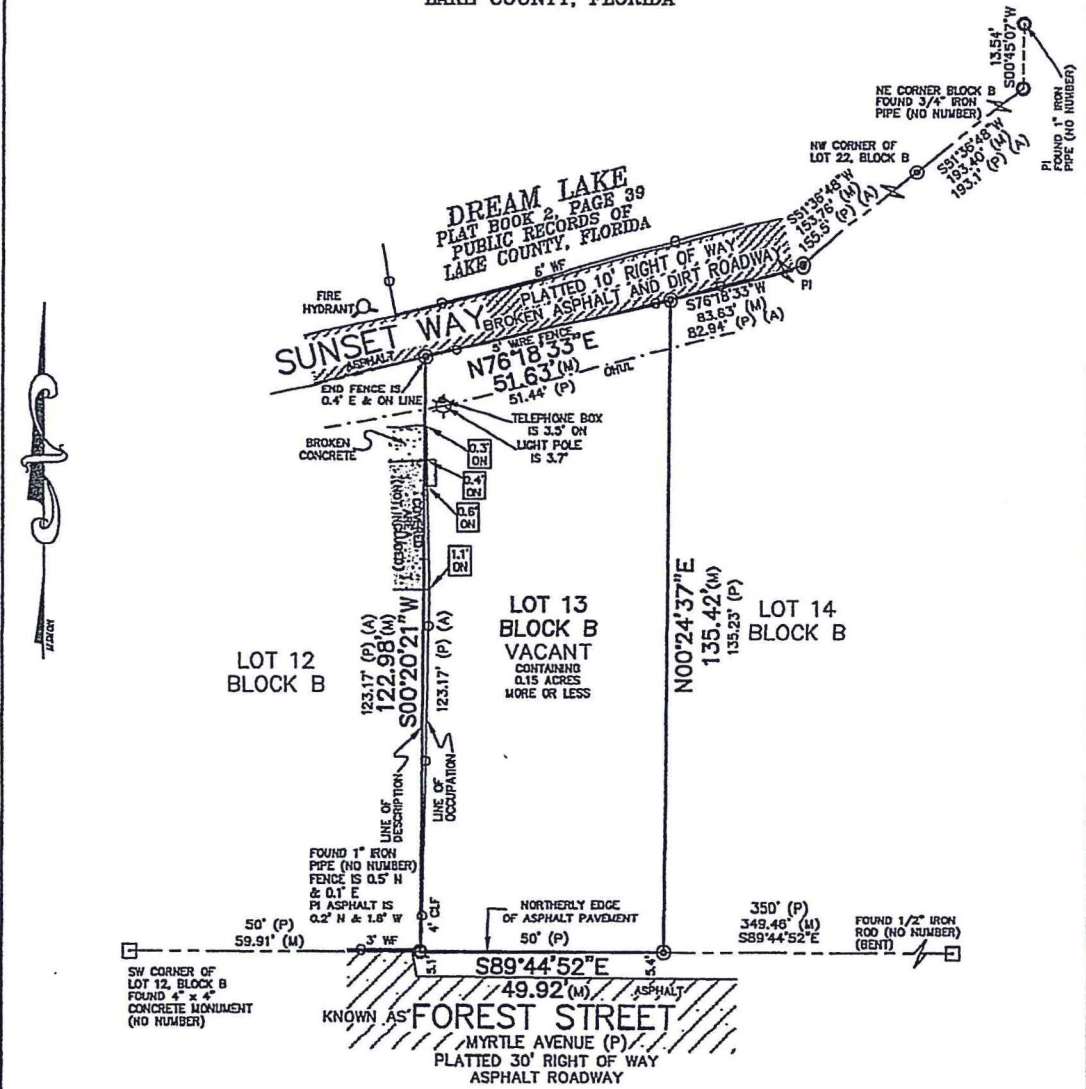
If for whatever reason, the City of Fruitland Park fails to grant the Special Exception Use or Variance requested, this application along with land donation will be withdrawn from consideration.



PLAT OF BOUNDARY SURVEY

DESCRIPTION: (AS FURNISHED)

LOT 13, BLOCK B, 1ST ADDITION TO DREAM LAKE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 13, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA



CERTIFIED TO:
 JG PROPERTIES, INC.
 PEOPLES FIRST COMMUNITY BANK
 BROKERS TITLE OF LEESBURG, LLC
 COMMONWEALTH LAND TITLE INSURANCE

| LEGEND: | | | |
|---------|---|------|--------------------------------------|
| ⊙ | DENOTES SET 1/2" IRON ROD AND CAP LB #4887 (UNLESS NOTED) | CBW | DENOTES CONCRETE BLOCK WALL |
| ⊠ | DENOTES FOUND MONUMENT AS DESCRIBED HEREIN | A/C | DENOTES CABLE TELEVISION |
| ⊡ | DENOTES FOUND MONUMENT AS DESCRIBED HEREIN | AC | DENOTES AIR CONDITIONER |
| ⊙ | DENOTES APPARENT | ON | DENOTES ON SUBJECT PROPERTY |
| ⊙ | DENOTES CALCULATED | OFF | DENOTES OFF SUBJECT PROPERTY |
| ⊙ | DENOTES PER DESCRIPTION | CWA | DENOTES CORNER NOT ACCESSIBLE |
| ⊙ | DENOTES MEASURED | BSL | DENOTES BUILDING SETBACK LINE |
| ⊙ | DENOTES PLAY | PRM | DENOTES PERMANENT REFERENCE MONUMENT |
| ⊙ | DENOTES NOT FIXED | PCP | DENOTES PERMANENT CONTROL POINT |
| ⊙ | DENOTES UNDER GROUND | PI | DENOTES POINT OF INTERSECTION |
| ⊙ | DENOTES TYPICAL | PC | DENOTES POINT OF CURVATURE |
| ⊙ | DENOTES SHOWN FOR INFORMATIONAL PURPOSES ONLY | PRC | DENOTES POINT OF REVERSE CURVATURE |
| WF | DENOTES WOOD FENCE | R | DENOTES ARC LENGTH |
| CLF | DENOTES CHAIN LINK FENCE | DA | DENOTES DELTA ANGLE |
| | | C.B. | DENOTES CHORD BEARING |
| | | | DENOTES RIGHT OF WAY LINE |
| | | | DENOTES CENTERLINE |
| | | | DENOTES OVERHEAD UTILITY LINE |
| | | | DENOTES CONCRETE |
| | | | DENOTES BRICK |
| | | | UTILITY POLE |
| | | | GUY ANCHOR |
| | | | LIGHT POST |

AZIMUTH SURVEYING AND MAPPING, INC.
 91 BROAD STREET, SUITE "A"
 WINTER GARDEN, FLORIDA, 34787

(FIELD DATE:) 8/7/2006 REVISED:

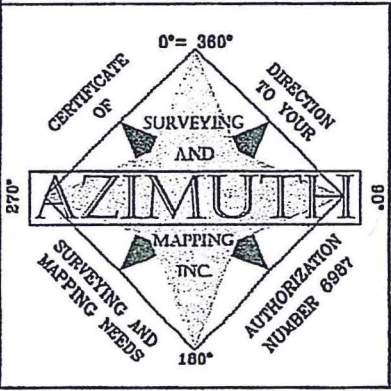
SCALE: 1" = 30 FEET

APPROVED BY: TAD

JOB NO. AZI05622

DRAWN BY: RAB

FOR INFORMATIONAL PURPOSES ONLY



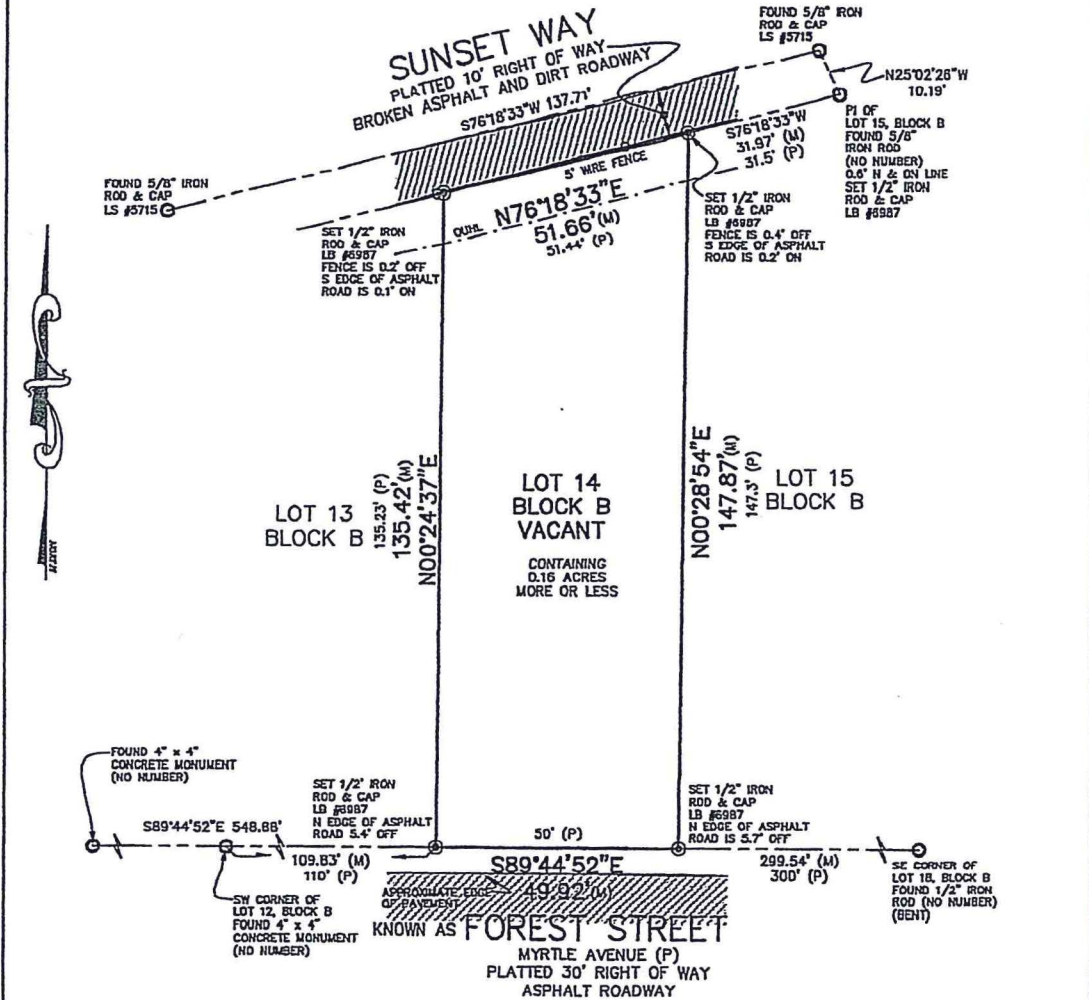
NOTES:

- BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY RIGHT OF WAY LINE OF FOREST STREET BEING S89°44'52"E, AN ASSUMED DATUM.
- I HAVE EXAMINED THE F.I.R.M. COMMUNITY PANEL NUMBER 120387 0307 D, DATED 7/3/2002, AND FOUND THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE X, AREA OUTSIDE OF 100 YEAR FLOOD.
- THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT OF WAY, RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF THE LAND.
- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN HEREON.
- THE SUBJECT PROPERTY AS DESCRIBED HEREON MAY CONTAIN JURISDICTIONAL WETLANDS THAT HAVE NOT BEEN DETERMINED AND/OR LOCATED BY THE SURVEYOR PER THE DATE OF THIS SURVEY.

PLAT OF BOUNDARY SURVEY

DESCRIPTION: (AS FURNISHED)

LOT 14, BLOCK B, 1ST ADDITION TO DREAM LAKE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 13, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA

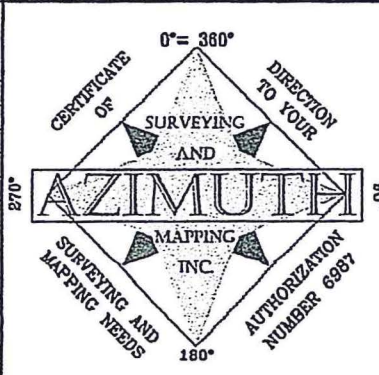


CERTIFIED TO:
 JG PROPERTIES, INC.
 PEOPLES FIRST COMMUNITY BANK
 BROKERS TITLE OF LEESBURG, LLC
 COMMONWEALTH LAND TITLE INSURANCE

LEGEND:
 (S) DENOTES SET 1/2" IRON ROD AND CAP LB #8987 (UNLESS NOTED)
 (F) DENOTES FOUND MONUMENT AS DESCRIBED HEREON
 (C) DENOTES FOUND MONUMENT AS DESCRIBED HEREON
 (A) DENOTES APPARENT
 (C) DENOTES CALCULATED
 (P) DENOTES PER DESCRIPTION
 (M) DENOTES MEASURED
 (N) DENOTES NOT FIXED
 (U) DENOTES UNDER GROUND
 (TYP) DENOTES TYPICAL
 (S/FI/O) DENOTES SHOWN FOR INFORMATIONAL PURPOSES ONLY
 WF DENOTES WOOD FENCE
 CLF DENOTES CHAIN LINK FENCE
 CRW DENOTES CONCRETE BLOCK WALL
 CTV DENOTES CABLE TELEVISION
 A/C DENOTES AIR CONDITIONER
 OHUL DENOTES OVERHEAD UTILITY LINE
 ON DENOTES ON SUBJECT PROPERTY
 OFF DENOTES OFF SUBJECT PROPERTY
 CNA DENOTES CORNER NOT ACCESSIBLE
 BSL DENOTES BUILDING SETBACK LINE
 PRM DENOTES PERMANENT REFERENCE MONUMENT
 PCP DENOTES PERMANENT CONTROL POINT
 PI DENOTES POINT OF INTERSECTION
 PC DENOTES POINT OF CURVATURE
 PRC DENOTES POINT OF REVERSE CURVATURE
 L DENOTES ARC LENGTH
 R DENOTES RADIUS
 DA DENOTES DELTA ANGLE
 C.B. DENOTES CHORD BEARING
 --- DENOTES RIGHT OF WAY LINE
 - - - DENOTES CENTERLINE
 - - - DENOTES OVERHEAD UTILITY LINE

DENOTES CONCRETE
 DENOTES BRICK
 UTILITY POLE
 GUY ANCHOR
 LIGHT POST

AZIMUTH SURVEYING AND MAPPING, INC.
 91 BROAD STREET, SUITE "A"
 WINTER GARDEN, FLORIDA, 34787
 (FIELD DATE:) 8/7/2006 REVISED:
 SCALE: 1" = 30 FEET
 APPROVED BY: TAD
 JOB NO. AZ105521
 DRAWN BY: RO



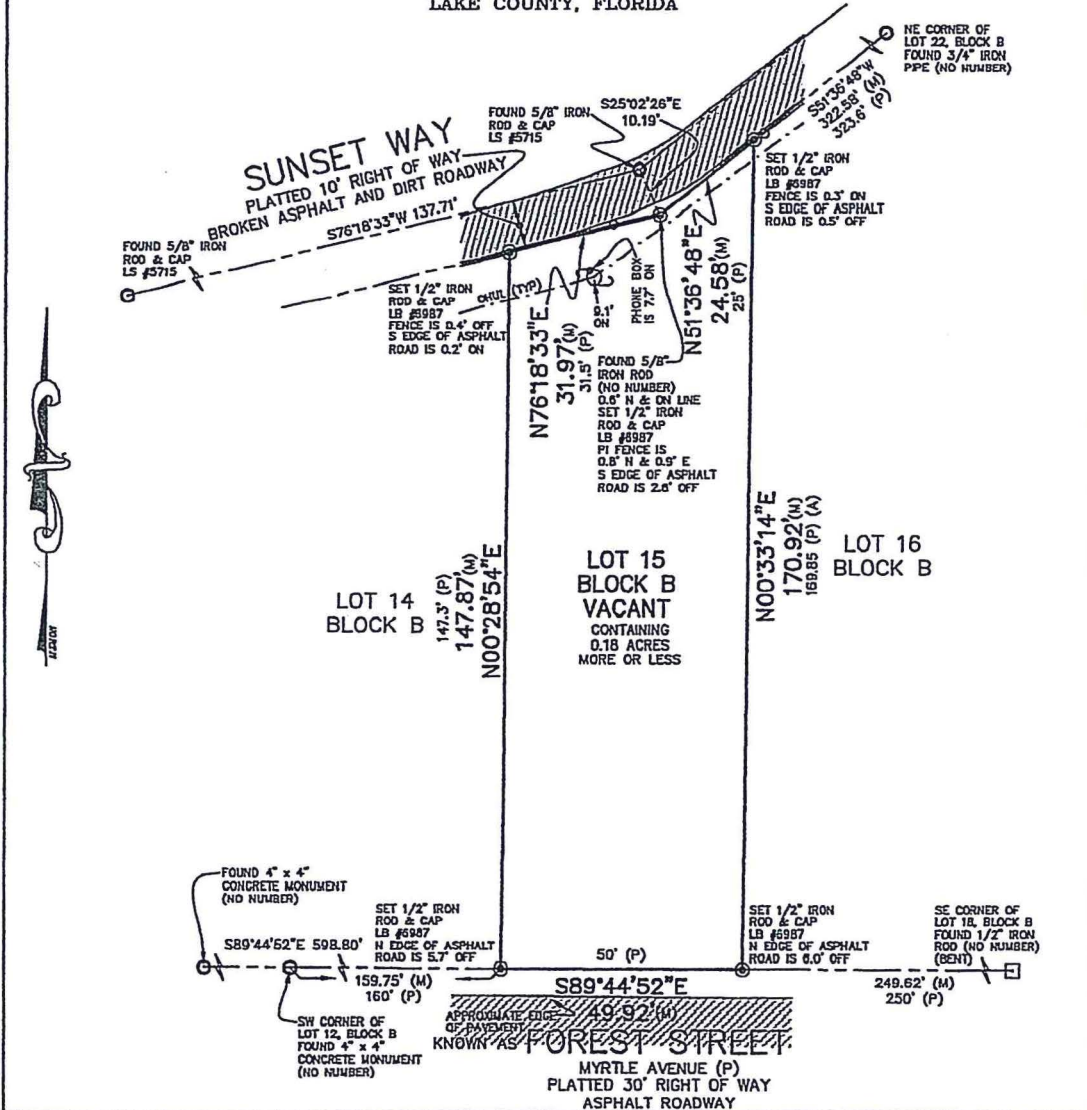
NOTES:
 1. BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY RIGHT OF WAY LINE OF FOREST STREET BEING S89°44'52"E, AN ASSUMED DATUM.
 2. I HAVE EXAMINED THE F.I.R.M. COMMUNITY PANEL NUMBER 120387 0307 D, DATED 7/3/2002 AND FOUND THE SUBJECT PROPERTY APPEARS TO BE IN ZONE X, AREA OUTSIDE OF 100 YEAR FLOOD.
 3. THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT OF WAY, RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF THE LAND.
 4. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 5. NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN HEREON.
 6. THE SUBJECT PROPERTY AS DESCRIBED HEREON MAY CONTAIN JURISDICTIONAL WETLANDS THAT HAVE NOT BEEN DETERMINED AND/OR LOCATED BY THE SURVEYOR PER THE DATE OF THIS SURVEY.

FOR INFORMATIONAL PURPOSES ONLY

PLAT OF BOUNDARY SURVEY

DESCRIPTION: (AS FURNISHED)

LOT 15, BLOCK B, 1ST ADDITION TO DREAM LAKE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 13, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA



CERTIFIED TO:
 JG PROPERTIES, INC.
 PEOPLES FIRST COMMUNITY BANK
 BROKERS TITLE OF LEESBURG, LLC
 COMMONWEALTH LAND TITLE INSURANCE

LEGEND:

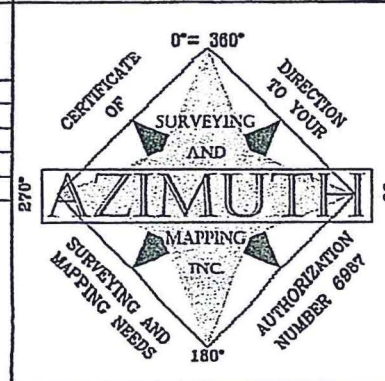
| | | | |
|--------|---|------|--------------------------------------|
| ⊙ | DENOTES SET 1/2" IRON ROD AND CAP LB #6857 (UNLESS NOTED) | CSW | DENOTES CONCRETE BLOCK WALL |
| ⊙ | DENOTES FOUND MONUMENT AS DESCRIBED HEREON | CATV | DENOTES CABLE TELEVISION |
| ⊙ | DENOTES FOUND MONUMENT AS DESCRIBED HEREON | A/C | DENOTES AIR CONDITIONER |
| ⊙ | DENOTES APPARENT | OH | DENOTES OVERHEAD UTILITY LINE |
| (C) | DENOTES CALCULATED | OFF | DENOTES OFF SUBJECT PROPERTY |
| (D) | DENOTES PER DESCRIPTION | CNA | DENOTES CORNER NOT ACCESSIBLE |
| (M) | DENOTES MEASURED | BSL | DENOTES BUILDING SETBACK LINE |
| (P) | DENOTES PLAT | PRM | DENOTES PERMANENT REFERENCE MONUMENT |
| (NF) | DENOTES NOT FIXED | PCP | DENOTES PERMANENT CONTROL POINT |
| (UG) | DENOTES UNDER GROUND | PI | DENOTES POINT OF INTERSECTION |
| (TYP) | DENOTES TYPICAL | PC | DENOTES POINT OF CURVATURE |
| (SRPO) | DENOTES SHOWN FOR INFORMATIONAL PURPOSES ONLY | PRC | DENOTES POINT OF REVERSE CURVATURE |
| WF | DENOTES WOOD FENCE | L | DENOTES ARC LENGTH |
| CLF | DENOTES CHAIN LINK FENCE | R | DENOTES RADIUS |
| | | DA | DENOTES DELTA ANGLE |
| | | C.B. | DENOTES CHORD BEARING |
| | | --- | DENOTES RIGHT OF WAY LINE |
| | | --- | DENOTES CENTERLINE |
| | | --- | DENOTES OVERHEAD UTILITY LINE |

| | |
|--|------------------|
| | DENOTES CONCRETE |
| | DENOTES BRICK |
| | UTILITY POLE |
| | GUY ANCHOR |
| | LIGHT POST |

AZIMUTH SURVEYING AND MAPPING, INC.
 91 BROAD STREET, SUITE A
 WINTER GARDEN, FLORIDA, 34787

| | |
|------------------------|----------|
| (FIELD DATE:) 8/7/2006 | REVISED: |
| SCALE: 1" = 30 FEET | |
| APPROVED BY: TAD | |
| JOB NO. AZI05620 | |
| DRAWN BY: RD | |

FOR INFORMATIONAL PURPOSES ONLY



NOTES:

1. BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY RIGHT OF WAY LINE OF FOREST STREET BEING S89°44'52"E, ASSUMED DATUM.
2. I HAVE EXAMINED THE F.L.R.M. COMMUNITY PANEL NUMBER 120387 0307 D, DATED 7/3/2002 AND FOUND THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE X, AREA OUTSIDE OF 100 YEAR FLOOD.
3. THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT OF WAY, RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF THE LAND.
4. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
5. NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN HEREON.
6. THE SUBJECT PROPERTY AS DESCRIBED HEREON MAY CONTAIN JURISDICTIONAL WETLANDS THAT HAVE NOT BEEN DETERMINED AND/OR LOCATED BY THE SURVEYOR PER THE DATE OF THIS SURVEY.

PLAT OF BOUNDARY SURVEY

DESCRIPTION: (AS FURNISHED)

LOT 16, BLOCK B, 1ST ADDITION TO DREAM LAKE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 13, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA



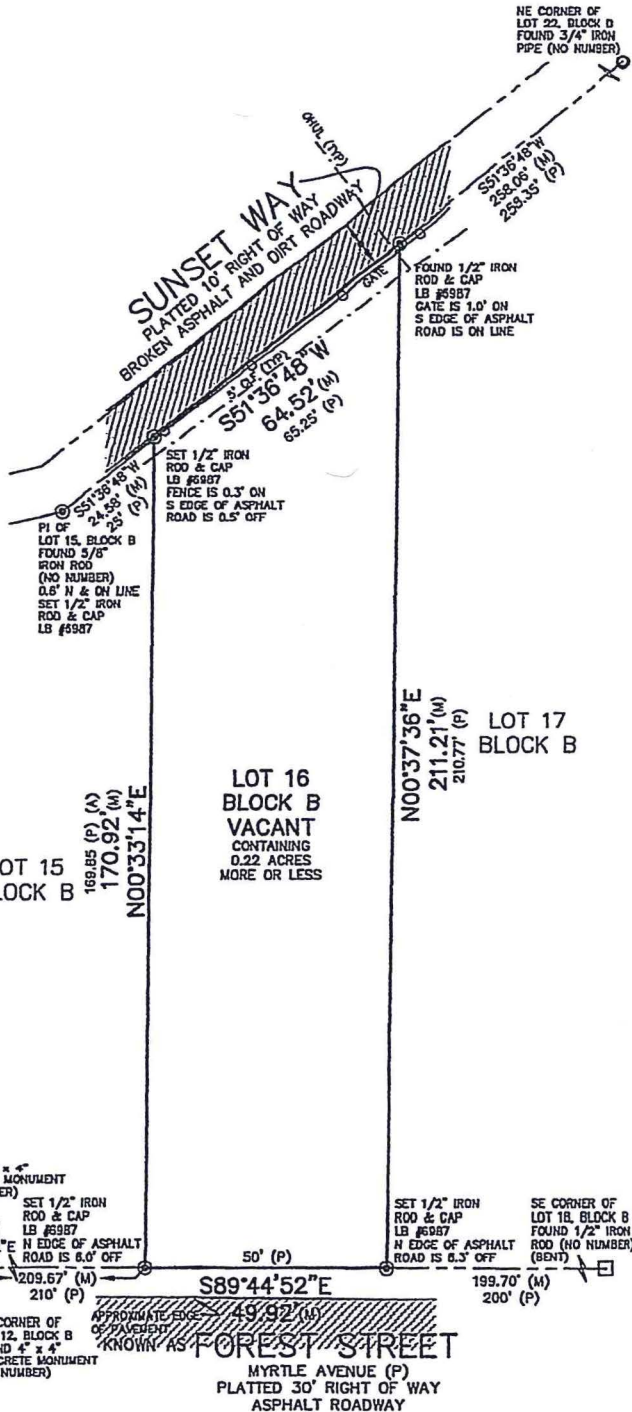
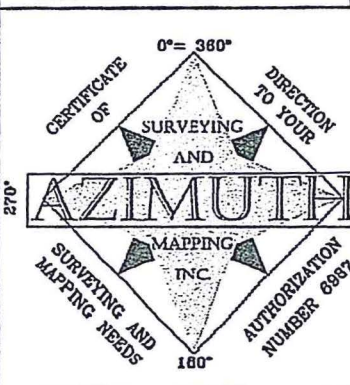
CERTIFIED TO:
 JG PROPERTIES, INC.
 PEOPLES FIRST COMMUNITY BANK
 BROKERS TITLE OF LEESBURG, LLC
 COMMONWEALTH LAND TITLE INSURANCE

AZIMUTH
 SURVEYING AND MAPPING, INC.
 91 BROAD STREET, SUITE "A"
 WINTER GARDEN, FLORIDA, 34787

(FIELD DATE:) 8/7/2006 REVISED:
 SCALE: 1" = 30 FEET
 APPROVED BY: TAD
 JOB NO. AZI05619
 DRAWN BY: RD

FOR INFORMATIONAL PURPOSES ONLY

- NOTES:**
- BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY RIGHT OF WAY LINE OF FOREST STREET BEING S89°44'52"E, ASSUMED DATUM.
 - I HAVE EXAMINED THE F.I.R.M. COMMUNITY PANEL NUMBER 120387 0307 D, DATED 7/3/2002 AND FOUND THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE X, AREA OUTSIDE OF 100 YEAR FLOOD.
 - THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT OF WAY, RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF THE LAND.
 - NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN HEREON.
 - THE SUBJECT PROPERTY AS DESCRIBED HEREON MAY CONTAIN JURISDICTIONAL WETLANDS THAT HAVE NOT BEEN DETERMINED AND/OR LOCATED BY THE SURVEYOR PER THE DATE OF THIS SURVEY.



LEGEND:

| | | | | | |
|-------|---|------|---|-----|------------------------------------|
| ⊙ | DENOTES SET 1/2" IRON ROD AND CAP LB #5987 (UNLESS NOTED) | CBW | DENOTES CONCRETE BLOCK WALL | ⊕ | DENOTES CONCRETE |
| ⊙ | DENOTES FOUND MONUMENT AS DESCRIBED HEREON | A/C | DENOTES AIR CONDITIONER | — | DENOTES OVERHEAD UTILITY LINE |
| ⊙ | DENOTES FOUND MONUMENT AS DESCRIBED HEREON | OH | DENOTES OVERHEAD UTILITY LINE ON SUBJECT PROPERTY | OFF | DENOTES OFF SUBJECT PROPERTY |
| ⊙ | DENOTES APPARENT | CNA | DENOTES CORNER NOT ACCESSIBLE | PC | DENOTES POINT OF CURVATURE |
| ⊙ | DENOTES CALCULATED | PCP | DENOTES PERMANENT CONTROL POINT | PRC | DENOTES POINT OF REVERSE CURVATURE |
| ⊙ | DENOTES FIELD DESCRIPTION | PI | DENOTES POINT OF INTERSECTION | L | DENOTES ARC LENGTH |
| ⊙ | DENOTES MEASURED | R | DENOTES RADIUS | DA | DENOTES DELTA ANGLE |
| ⊙ | DENOTES PLAT | C.B. | DENOTES CHORD BEARING | — | DENOTES RIGHT OF WAY LINE |
| (NF) | DENOTES NOT FIXED | — | DENOTES BOUNDARY | — | DENOTES CENTERLINE |
| (UC) | DENOTES UNDER GROUND | — | DENOTES BOUNDARY | — | DENOTES OVERHEAD UTILITY LINE |
| (TYP) | DENOTES TYPICAL | — | DENOTES BOUNDARY | — | DENOTES BOUNDARY |
| (SP) | DENOTES SHOWN FOR INFORMATIONAL PURPOSES ONLY | — | DENOTES BOUNDARY | — | DENOTES BOUNDARY |
| WF | DENOTES WOOD FENCE | — | DENOTES BOUNDARY | — | DENOTES BOUNDARY |
| CLF | DENOTES CHAIN LINK FENCE | — | DENOTES BOUNDARY | — | DENOTES BOUNDARY |









PLAT OF BOUNDARY SURVEY

DESCRIPTION: (AS FURNISHED)
 LOT 17, BLOCK B, 1ST ADDITION TO DREAM LAKE, ACCORDING TO THE
 PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 13, OF THE
 PUBLIC RECORDS OF LAKE COUNTY, FLORIDA

CERTIFIED TO:

JG PROPERTIES, INC.
 PEOPLES FIRST COMMUNITY BANK
 BROKERS TITLE OF LEESBURG, LLC
 COMMONWEALTH LAND TITLE INSURANCE

LEGEND:

| | | | |
|---|---|---|--------------------------------------|
|  | DENOTES SET NAIL & DISK IN 1000' (UNLESS NOTED) |  | DENOTES LOW/WEST AREA |
|  | DENOTES IRON MONUMENT AS DESCRIBED HEREON |  | DENOTES UTILITY POLE |
|  | DENOTES STONE MONUMENT AS DESCRIBED HEREON |  | DENOTES LIGHT POLE |
|  | DENOTES APPARENT MONUMENT |  | DENOTES CABLE TELEVISION |
|  | DENOTES CALCULATED MONUMENT |  | DENOTES AIR CONDITIONER |
|  | DENOTES PER DESCRIPTION MONUMENT |  | DENOTES OVERHEAD UTILITY LINE |
|  | DENOTES MEASURED MONUMENT |  | DENOTES ON SUBJECT PROPERTY |
|  | DENOTES NOT TIED MONUMENT |  | DENOTES OFF SUBJECT PROPERTY |
|  | DENOTES UNDER GROUND MONUMENT FOR INFORMATIONAL PURPOSES ONLY |  | DENOTES CORNER NOT ACCESSIBLE |
|  | DENOTES TYPICAL MONUMENT |  | DENOTES BUILDING SCRIBE LINE |
|  | DENOTES WOOD FENCE |  | DENOTES PERMANENT REFERENCE MONUMENT |
|  | DENOTES CHAIN LINK FENCE |  | DENOTES POINT OF INTERSECTION |
|  | DENOTES CONCRETE BLOCK WALL |  | DENOTES POINT OF CURVATURE |
|  | DENOTES CONCRETE |  | DENOTES POINT OF REVERSE CURVATURE |
|  | DENOTES BRICK |  | DENOTES POINT OF BEGINNING CURVATURE |
| | |  | DENOTES RADIUS |
| | |  | DENOTES CHORD BEARING |
| | |  | DENOTES CHORD DISTANCE |
| | |  | DENOTES TANGENT BEARING |
| | |  | DENOTES TANGENT POINT |
| | |  | DENOTES ARC LENGTH |
| | |  | DENOTES DELTA ANGLE |
| | |  | DENOTES RIGHT OF WAY LINE |
| | |  | DENOTES CENTERLINE |
| | |  | DENOTES OVERHEAD UTILITY LINE |

AZIMUTH
 SURVEYING AND MAPPING, INC.
 51 BROAD STREET, SUITE "A"
 WINTER GARDEN, FLORIDA, 34787

(FIELD DATE): 08/07/2008 REVISED:

SCALE: 1" = 30 FEET

APPROVED BY: TAD

JOB NO. A205818

DRAWN BY: RO

FOR INFORMATIONAL PURPOSES ONLY

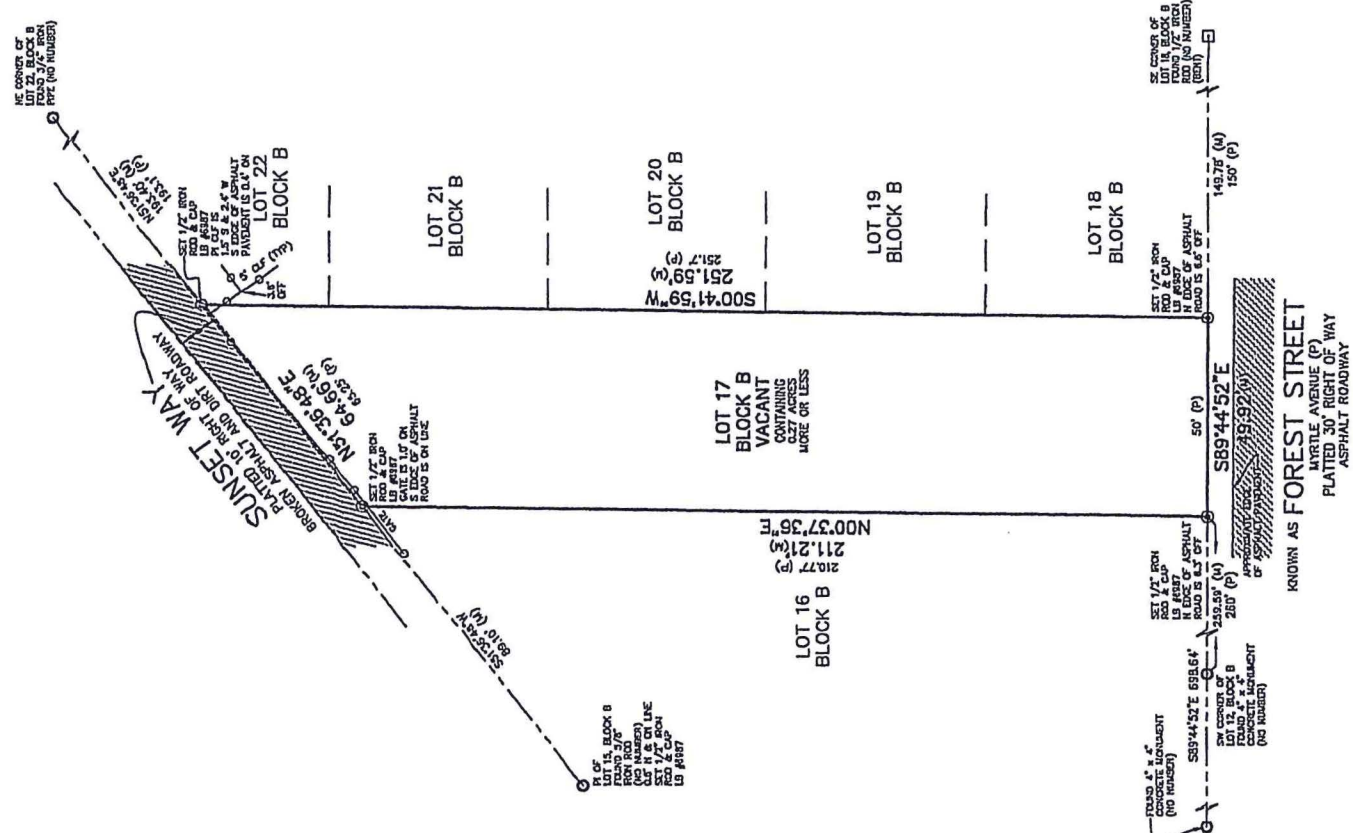
- NOTES:**
- BEARINGS SHOWN HEREON ARE BASED ON THE NORTHERLY RIGHT OF WAY LINE OF FOREST STREET DENO 589°44'52"E, ASSUMED DATUM.
 - I HAVE EXAMINED THE F.L.R.M. COMMUNITY PANEL NUMBER 120387 0307 D, DATED 7/3/2002 AND FOUND THE SUBJECT PROPERTY APPEARS TO BE IN ZONE X, AREA OUTSIDE OF 100 YEAR FLOOD.
 - THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT OF WAY, RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF THE LAND.
 - NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN HEREON.
 - THE SUBJECT PROPERTY AS DESCRIBED HEREON MAY CONTAIN JURISDICTIONAL WETLANDS THAT HAVE NOT BEEN DETERMINED AND/OR LOCATED BY THE SURVEYOR PER THE DATE OF THIS SURVEY.

CERTIFICATE OF SURVEYING AND MAPPING INC. AUTHORIZATION NUMBER 6887

0° = 300°

DIRECTION TO YOUR SURVEYING AND MAPPING NEEDS

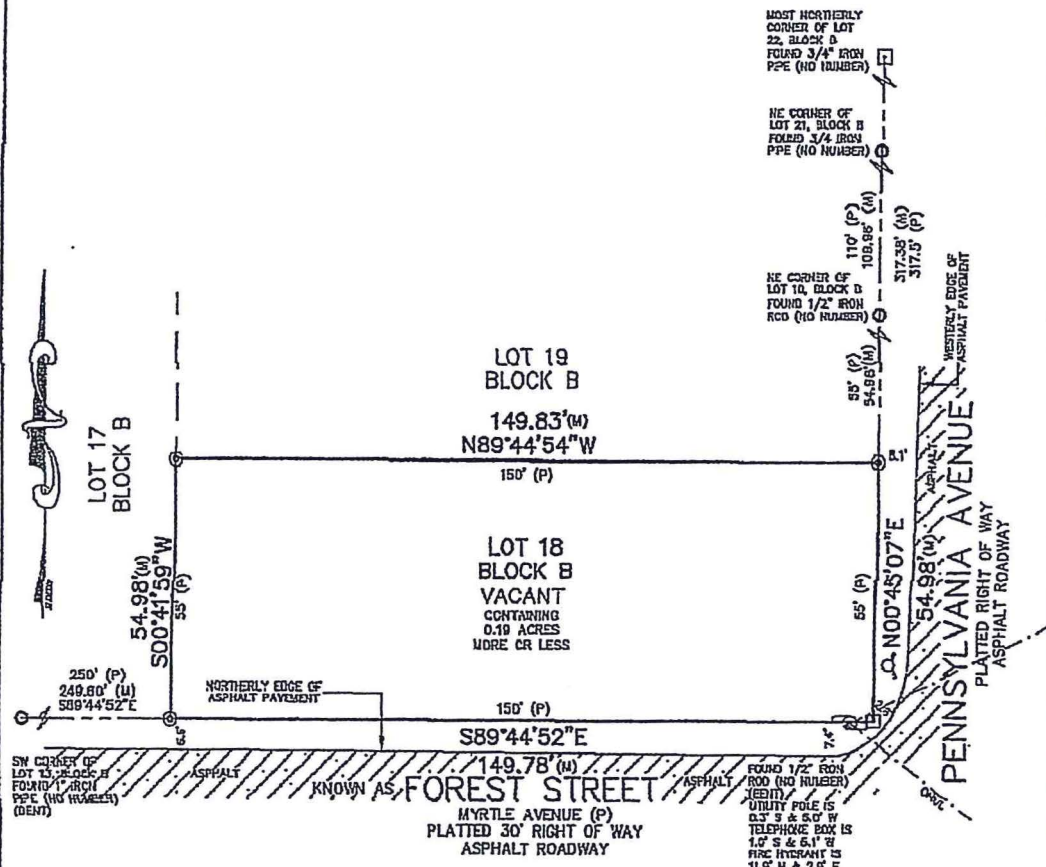
100°



PLAT OF BOUNDARY SURVEY

DESCRIPTION: (AS FURNISHED)

LOT 18, BLOCK B, 1ST ADDITION TO DREAM LAKE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 13, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA



CERTIFIED TO:
 JG PROPERTIES, INC.
 PEOPLES FIRST COMMUNITY BANK
 BROKERS TITLE OF LEESBURG, LLC
 COMMONWEALTH LAND TITLE INSURANCE

| LEGEND: | |
|---------|--|
| ⊙ | DENOTES SET 1/2" IRON ROD AND CAP LD #887 (UNLESS NOTED) |
| ⊠ | DENOTES FOUND MONUMENT AS DESCRIBED HEREIN |
| ⊙ | DENOTES FOUND MONUMENT AS DESCRIBED HEREIN |
| (A) | DENOTES APPARENT |
| (C) | DENOTES CALCULATED |
| (D) | DENOTES PER DESCRIPTION |
| (M) | DENOTES MEASURED |
| (P) | DENOTES PLAT |
| (S) | DENOTES NOT FIXED |
| (U) | DENOTES UNDER GROUND |
| (T) | DENOTES TYPICAL |
| (S/P) | DENOTES SHOWN FOR INFORMATIONAL PURPOSES ONLY |
| WF | DENOTES WOOD FENCE |
| CLF | DENOTES CHAIN LINK FENCE |
| CBW | DENOTES CONCRETE BLOCK WALL |
| CAV | DENOTES CABLE TELEVISION |
| A/C | DENOTES AIR CONDITIONER |
| OHUL | DENOTES OVERHEAD UTILITY LINE |
| ON | DENOTES ON SUBJECT PROPERTY |
| OFF | DENOTES OFF SUBJECT PROPERTY |
| CWA | DENOTES CURBWAY NOT ACCESSIBLE |
| BSL | DENOTES BUILDING SETBACK LINE |
| PSM | DENOTES PERMANENT REFERENCE MONUMENT |
| PCP | DENOTES PERMANENT CONTROL POINT |
| P | DENOTES POINT OF INTERSECTION |
| PO | DENOTES POINT OF CURVATURE |
| PRC | DENOTES POINT OF REVERSE CURVATURE |
| L | DENOTES ARC LENGTH |
| R | DENOTES RADIUS |
| DA | DENOTES DELTA ANGLE |
| CHL | DENOTES CHORD BEARING |
| --- | DENOTES RIGHT OF WAY LINE |
| --- | DENOTES CENTERLINE |
| --- | DENOTES OVERHEAD UTILITY LINE |
| ⊙ | DENOTES CONCRETE |
| ⊠ | DENOTES BRICK |
| ⊙ | UTILITY POLE |
| ⊙ | CURT ANCHOR |
| ⊙ | MARK POST |

AZIMUTH SURVEYING AND MAPPING, INC.
 91 BROAD STREET, SUITE "A"
 WINTER GARDEN, FLORIDA, 34767

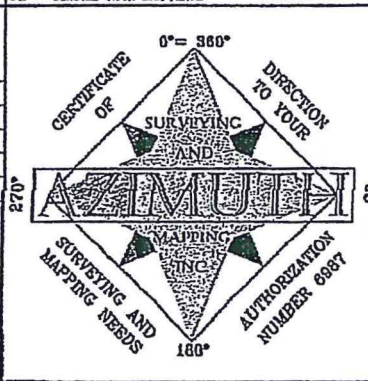
(FIELD DATE) 8/7/2008 REVISED:

SCALE: 1" = 30 FEET

APPROVED BY: TAD

JOB NO. AZI059617

DRAWN BY: RAB



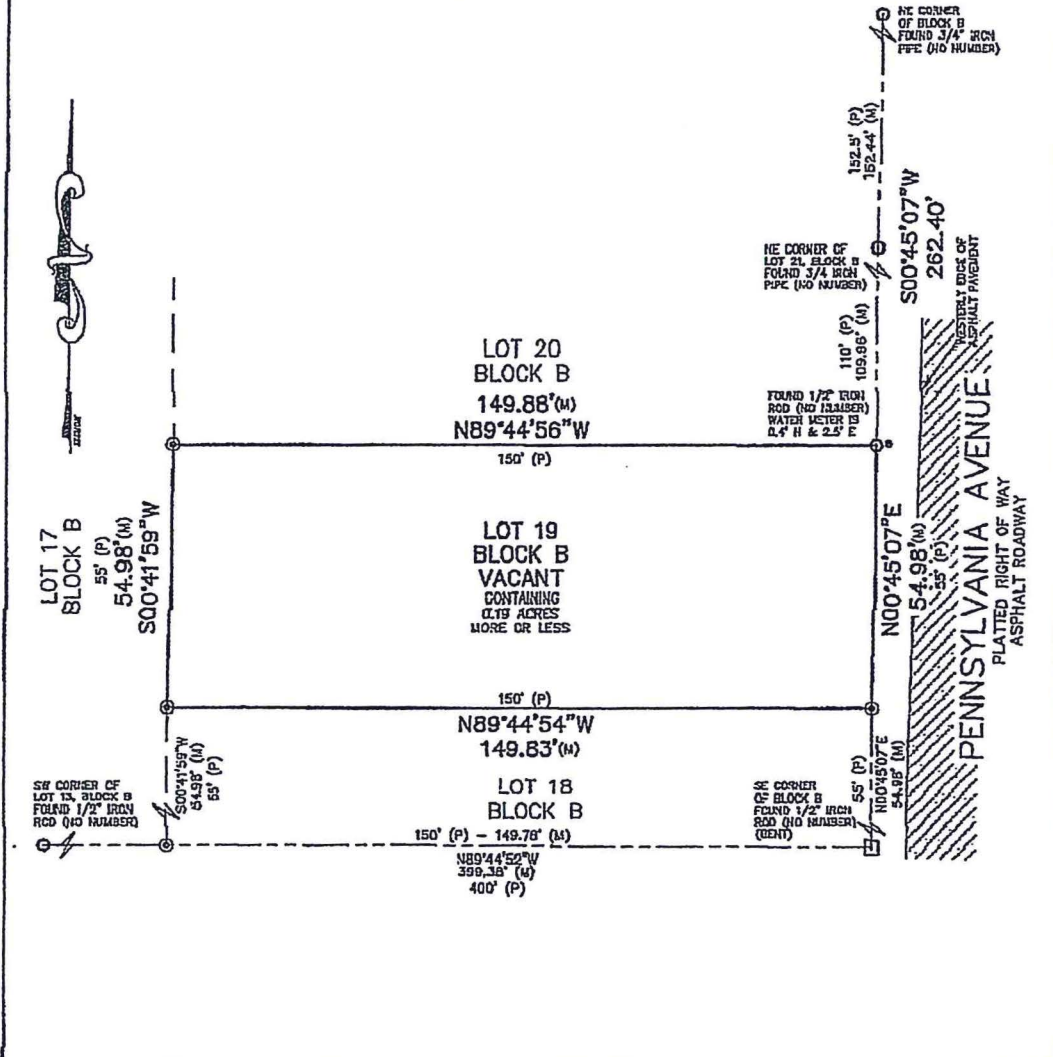
- NOTES:**
1. BEARINGS SHOWN HEREON ARE BASED ON THE WESTERLY RIGHT OF WAY LINE OF PENNSYLVANIA AVENUE BEING N00°45'07"E, AN ASSUMED DATUM.
 2. I HAVE EXAMINED THE F.L.R.M. COMMUNITY PANEL NUMBER 120387 0307 D, DATED 7/3/2002 AND FOUND THE SUBJECT PROPERTY APPEARS TO BE IN ZONE X, AREA OUTSIDE OF 100 YEAR FLOODS.
 3. THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT OF WAY, RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF THE LAND.
 4. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 5. NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN HEREON.
 6. THE SUBJECT PROPERTY AS DESCRIBED HEREON MAY CONTAIN JURISDICTIONAL WETLANDS THAT HAVE NOT BEEN DETERMINED AND/OR LOCATED BY THE SURVEYOR PER THE DATE OF THIS SURVEY.

FOR INFORMATIONAL PURPOSES ONLY

PLAT OF BOUNDARY SURVEY

DESCRIPTION: (AS FURNISHED)

LOT 19, BLOCK B, 1ST ADDITION TO DREAM LAKE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 13, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA

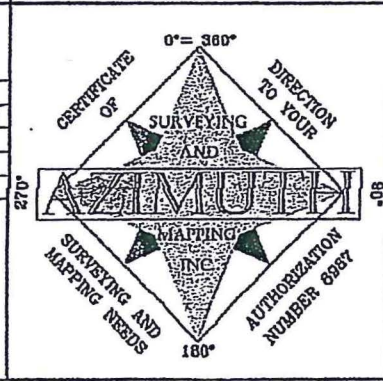


CERTIFIED TO:
 JG PROPERTIES, INC.
 PEOPLES FIRST COMMUNITY BANK
 BROKERS TITLE OF LEEBSBURG, LLC
 COMMONWEALTH LAND TITLE INSURANCE

| LEGEND: | | | |
|---------|---|------|---|
| ⊙ | DENOTES SET 1/2" CON ROD AND CAP LB #887 (UNLESS NOTED) | CBW | DENOTES CONCRETE BLOCK WALL |
| ⊠ | DENOTES FOUND MONUMENT AS DESCRIBED HEREON | CATV | DENOTES CABLE TELEVISION |
| ⊡ | DENOTES FOUND MONUMENT AS DESCRIBED HEREON | A/C | DENOTES AIR CONDITIONER |
| ⊙ | DENOTES APPARENT | CHUL | DENOTES OVERHEAD UTILITY LINE |
| ⊙ | DENOTES CALCULATED | ON | DENOTES ON SUBJECT PROPERTY |
| ⊙ | DENOTES NOT OCCUPATION | OFF | DENOTES OFF SUBJECT PROPERTY |
| ⊙ | DENOTES LEASURED | CWA | DENOTES CORNER NOT ACCESSIBLE |
| ⊙ | DENOTES NOT FIXED | SBL | DENOTES BUILDING SETBACK LINE |
| ⊙ | DENOTES UNDER GROUND | PRU | DENOTES PERMANENT REFERENCE MEASUREMENT |
| ⊙ | DENOTES TYPICAL | PCP | DENOTES PERMANENT CONTROL POINT |
| ⊙ | DENOTES SHOWN FOR INFORMATIONAL PURPOSES ONLY | P | DENOTES POINT OF INTERSECTION |
| ⊙ | DENOTES ROAD FENCE | PC | DENOTES POINT OF CURVATURE |
| ⊙ | DENOTES CHAIN LINK FENCE | PRC | DENOTES POINT OF REVERSE CURVATURE |
| | | L | DENOTES ARC LENGTH |
| | | R | DENOTES RADIUS |
| | | DA | DENOTES DELTA ANGLE |
| | | CB | DENOTES CURVED BEARING |
| | | C.R. | DENOTES RIGHT OF WAY LINE |
| | | | DENOTES CENTERLINE |
| | | | DENOTES OVERHEAD UTILITY LINE |
| | | | DENOTES CONCRETE |
| | | | DENOTES BRICK |
| | | | UTILITY POLE |
| | | | BUY ANCHOR |
| | | | LIGHT POST |

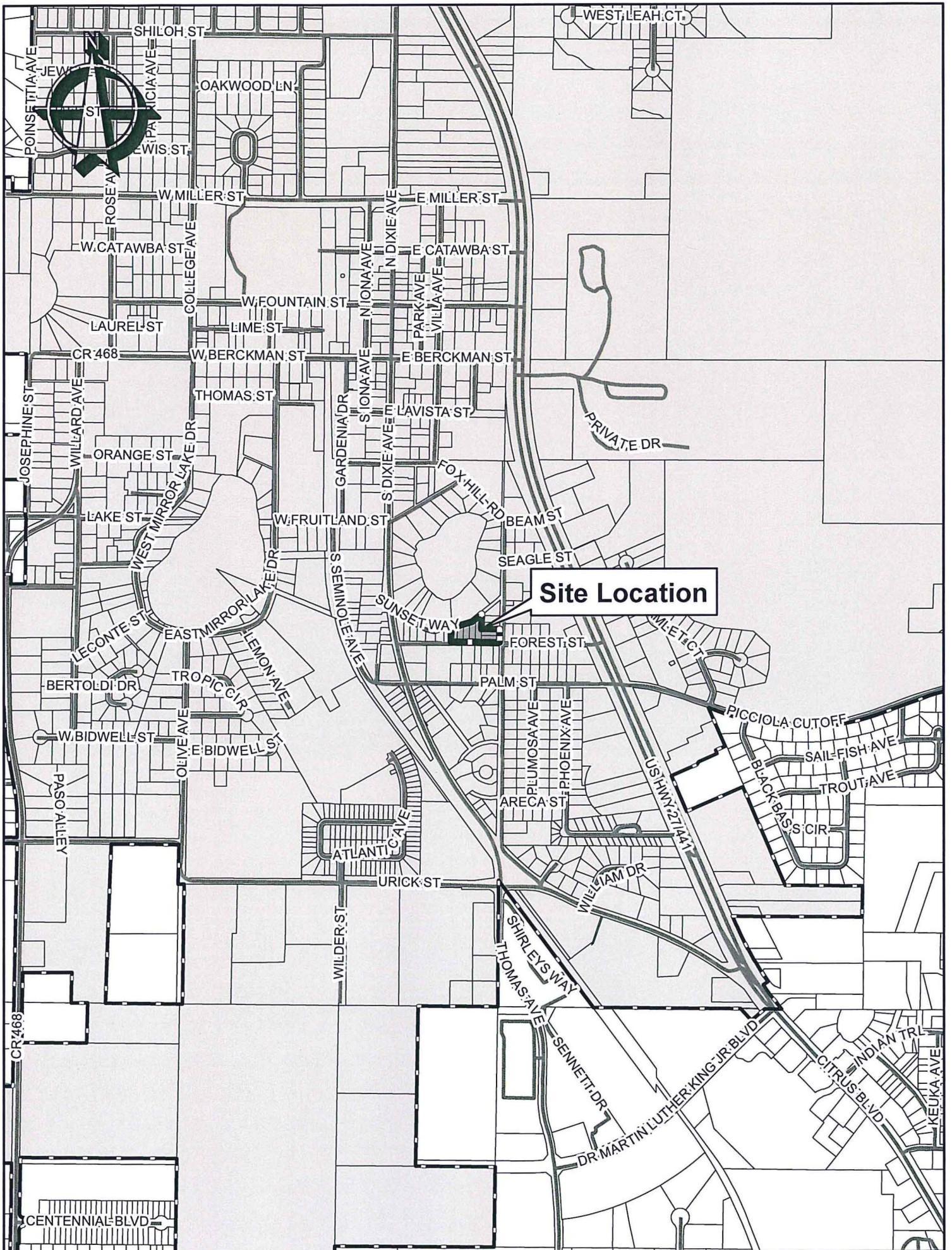
AZIMUTH SURVEYING AND MAPPING, INC.
 91 BROAD STREET, SUITE "A"
 WINTER GARDEN, FLORIDA, 34787

(FIELD DATE:) 8/7/2006 REVISED:
 SCALE: 1" = 30 FEET 11/27/2006 TYPO
 APPROVED BY: TAD
 JOB NO. AZ05616
 DRAWN BY: RAB



- NOTES:**
- BEARINGS SHOWN HEREON ARE BASED ON THE WESTERLY RIGHT OF WAY LINE OF PENNSYLVANIA AVENUE BEING N00°45'07"E, AN ASSUMED DATUM.
 - I HAVE EXAMINED THE F.L.R.M. COMMUNITY PANEL NUMBER 120387 0307 D, DATED 7/3/2002 AND FOUND THE SUBJECT PROPERTY APPEARS TO BE IN ZONE X, AREA OUTSIDE OF 100 YEAR FLOOD.
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FOR INFORMATIONAL PURPOSES ONLY



Site Location

SHILOH ST

OAKWOOD LN

W. MILLER ST

E. MILLER ST

W. CATAWBA ST

E. CATAWBA ST

W. FOUNTAIN ST

LAUREL ST

W. BERCKMAN ST

E. BERCKMAN ST

THOMAS ST

ORANGE ST

LAKE ST

W. FRUITLAND ST

LAVISTA ST

FOX HILL RD

BEAM ST

SEAGLE ST

LECONTE ST

SUNSET WAY

FOREST ST

BERTOLDI DR

TROPIC CIR

PALM ST

W. BIDWELL ST

E. BIDWELL ST

ARECA ST

PASO ALLEY

ATLANTIC CAVE

URICK ST

WILDER ST

WILLIAM DR

SHIRLEYS WAY

THOMAS AVE

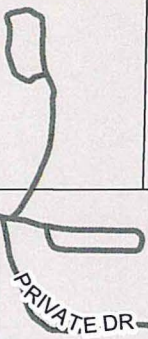
SENNETT DR

DR. MARTIN LUTHER KING JR. BLVD

CITRUS BLVD

INDIAN TRL

KEUKA AVE



PRIVATE DR

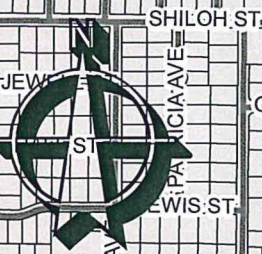
RICCIOLA CUTOFF

SAIL FISH AVE

TROUT AVE

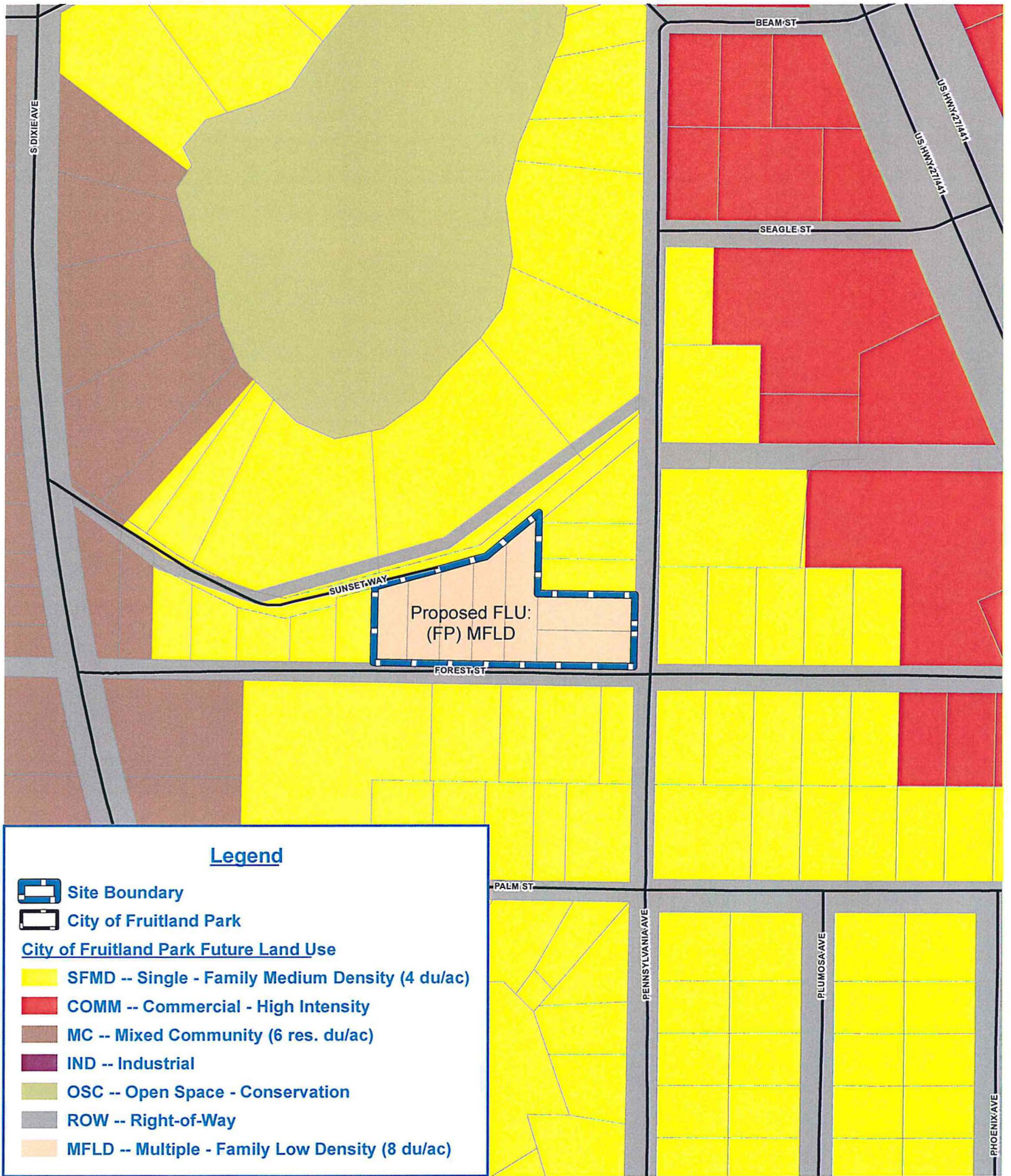
BLACK BAS S CIR

US HWY 21/141



CR 468

CENTENNIAL BLVD



Legend



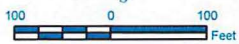
Site Boundary



City of Fruitland Park

City of Fruitland Park Future Land Use

- SFMD -- Single - Family Medium Density (4 du/ac)
- COMM -- Commercial - High Intensity
- MC -- Mixed Community (6 res. du/ac)
- IND -- Industrial
- OSC -- Open Space - Conservation
- ROW -- Right-of-Way
- MFLD -- Multiple - Family Low Density (8 du/ac)



1 inch = 200 feet

**City of Fruitland Park
Ross Property**
Lake County, Florida
Proposed Future Land Use

Project: 398-16-02
File: Proposed FLU2.mxd
Name: Ross
PM: Sherie Lindh
Date: December 7, 2016
Created By: J.Wilson

LPG Urban & Regional Planners, Inc.
1162 Comp Avenue, Mount Dora, Florida 32757
Office: (352) 385-1940 / Fax: (352) 383-4824

CITY OF FRUITLAND PARK
PLANNING AND ZONING APPLICATION

Application: _____

Date: REVISED 11-30-17

Applicant Name: WTG PROPERTIES

- Application Type:
- | | |
|---|---|
| <input type="checkbox"/> Comprehensive Plan Amendment | <input type="checkbox"/> Subdivision Approval |
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Site Plan Approval |
| <input checked="" type="checkbox"/> Rezoning | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Special Exception Use | <input type="checkbox"/> Road/Lot Vacation |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Development Order |
| <input type="checkbox"/> Clearing Permit | <input type="checkbox"/> Concurrence Review |
| <input type="checkbox"/> Other | |

Address: P.O. Box 346

FRUITLAND PARK, FLA 34731

Phone: _____

Applicant is: Owner Agent Purchaser Lessee Optionee

Reason for Request: ALLOW FOR CONTRACTORS YARD AND TYPES OF C-1 USES

Owner's Name: WTG Properties (Wayne Goodridge)

Address: 105 WILLARD AVE. FRUITLAND PARK, FLA. 34731

Phone: _____

Property Address or Vicinity: 105 WILLARD AVE

Size of Property: 173 FT X 173 FT.

Existing Zoning: R-2 Proposed Zoning: PUD

Existing Future Land Use: _____ Proposed Future Land Use: _____

Current Number of Structures on the Property: 2 (HOUSE & SHED)

Current Utilities on the Property: Central Water Central Sewer Well Septic Tank

- Required Attachments:
- _____ 1. Copy of recorded deed(s) for the property.
 - _____ 2. Owner's Affidavit
 - _____ 3. Applicant's Affidavit (if applicable)
 4. Copy of boundary survey or sketch plan showing existing streets, existing and proposed structures.
 - _____ 5. Surrounding property owner's names and addresses for all property lying within two-hundred (200) feet of the property described on this application.

Has any previous application been filed within the last year in connection with this property? NO YES

If YES, describe: _____

STAFF REVIEW OF APPLICATION:

DATE: 12-7-17

I have reviewed this application and verify that the City of Fruitland Park has received all required attachments.

If not, a written explanation has been received and attached to this application.

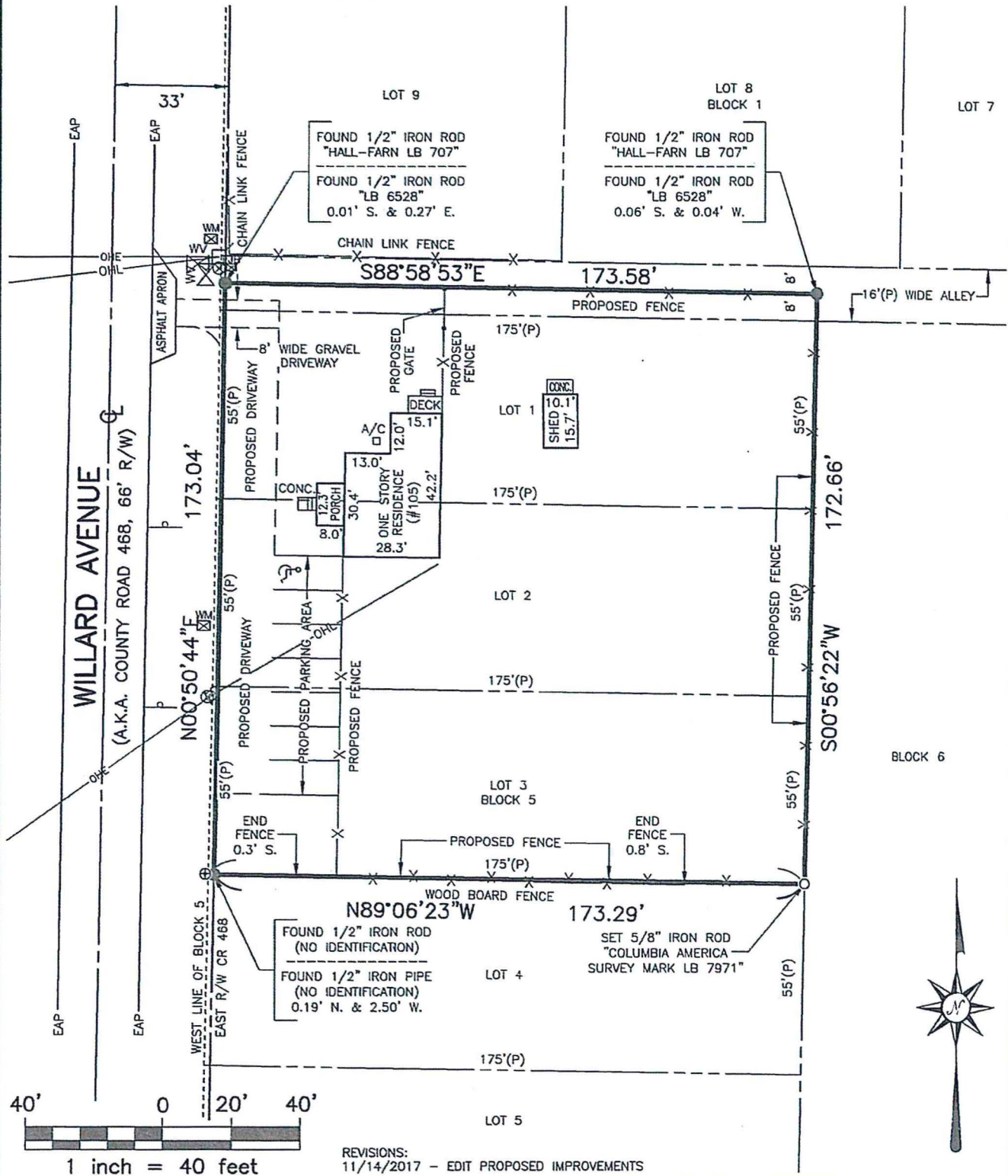
City Staff: [Signature] CP

Title: CDP

*Received
11-15-17*

BOUNDARY SURVEY FOR:

WTG PROPERTIES, LLC



REVISIONS:
11/14/2017 - EDIT PROPOSED IMPROVEMENTS

SEE PAGE 2
FOR DESCRIPTION,
LEGEND, NOTES
AND CERTIFICATION.

COLUMBIA AMERICA
SURVEYING AND MAPPING SERVICES
LICENSED BUSINESS NO. 7971 / www.ColumbiaAmerica.com
P.O. BOX 770204, OCALA, FL 34477-0204
5032 SW 104TH LOOP, OCALA, FL 34476-8911
TELEPHONE: (352) 572-5428 / FAX : 1-888-701-2267

JOB#: CA-2017-079
FILE #: 5C-00255
F.B./PG.: CA10/25
SURVEY DATE: 11/08/2017
DWG. FILE: GOODRIDGE.DWG
PAGE 1 OF 2

Reviewed
11-15-17
②

BOUNDARY SURVEY FOR: _____ **WTG PROPERTIES, LLC**

- LEGEND:**
- = FOUND IRON ROD (SIZE AND MARKINGS AS NOTED)
 - ⊕ = FOUND IRON PIPE (SIZE AND MARKINGS AS NOTED)
 - = SET 5/8" IRON ROD WITH CAP MARKED "COLUMBIA AMERICA SURVEY MARK LB 7971"
 - Ⓞ = CENTERLINE
 - ⊞ = ELECTRICAL JUNCTION BOX
 - ☆ = LIGHT POLE
 - = POWER POLE
 - ⊥ = SIGN
 - ⊗ = TELEPHONE JUNCTION BOX
 - Ⓜ = WATER METER
 - Ⓜ = WATER VALVE
 - A/C = AIR CONDITIONER ON SLAB
 - A.K.A. = ALSO KNOWN AS
 - CONC. = CONCRETE
 - DWG. = DRAWING
 - EAP = EDGE OF PAVEMENT
 - F.B. = FIELD BOOK
 - OHE = OVERHEAD ELECTRIC LINE
 - OHL = OVERHEAD LINE
 - (P) = PLAT DIMENSION
 - PG. = PAGE
 - R/W = RIGHT-OF-WAY
 - = BOUNDARY LINE
 - = RIGHT-OF-WAY LINE
 - = CENTERLINE
 - = LOT LINE
 - X — X — = FENCE LINE
 - OHE — = OVERHEAD ELECTRIC LINE
 - OHL — = OVERHEAD LINE

DESCRIPTION:

LOTS 1, 2 AND 3 AND THAT 1/2 OF VACATED ALLEY ABUTTING THEREOF, BLOCK 5, PLAT OF GEO. T. CLARK'S GARDENIA SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 15, OF THE PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

NOTES:

1. THE BEARINGS SHOWN HEREON ARE BASED ON FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 ADJUSTMENT), WITH THE EAST LINE OF LOTS 1-3, BLOCK 5, GEO. T. CLARK'S GARDENIA SUBDIVISION, BEARING S00°56'22"W.
2. THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT OR ABSTRACT AND MAY NOT INDICATE CURRENT OWNERSHIP, ENCUMBRANCES, OR OTHER MATTERS OF RECORD.
3. THIS SURVEY IS OF VISIBLE PERMANENT IMPROVEMENT FEATURES ONLY. UNDERGROUND IMPROVEMENTS AND/OR ENCROACHMENTS, IF ANY, WERE NOT LOCATED.
4. COPIES OF THIS SURVEY ARE NOT VALID WITHOUT EITHER THE ORIGINAL SIGNATURE AND RAISED SEAL OR THE ORIGINAL DIGITAL SIGNATURE AND SEAL OF THE FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER LISTED HEREON.
5. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NUMBER 12069C0306E, DATED 12/18/2012, THIS PROPERTY APPEARS TO LIE IN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).
6. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.



Digital signature and seal as regulated under Chapter 5J-17.062 Florida Administrative Code

Digitally signed
by: Cary M
Melvin
Date: 2017.11.13
15:25:09 -05'00'

CERTIFIED TO:
WTG PROPERTIES, LLC

CARY M. MELVIN, FLORIDA PROFESSIONAL
SURVEYOR & MAPPER LICENSE NO. 6329

SEE PAGE 1
FOR DRAWING.

COLUMBIA AMERICA
SURVEYING AND MAPPING SERVICES
LICENSED BUSINESS NO. 7971 / www.ColumbiaAmerica.com
P.O. BOX 770204, OCALA, FL 34477-0204
5032 SW 104TH LOOP, OCALA, FL 34476-8911
TELEPHONE: (352) 572-5428 / FAX : 1-888-701-2267

JOB#: CA-2017-079
FILE #: 5C-00255
F.B./PG.: CA10/25
SURVEY DATE: 11/08/2017
DWG. FILE: GOODRIDGE.DWG
PAGE 2 OF 2



506 WEST BERCKMAN STREET
FRUITLAND PARK, FL 34731

PHONE: 352/ 360-6727
FAX: 352/ 360-6652

| | |
|---|--|
| Board Members: Connie Bame, Chairwoman Colin Crews Daniel Dicus Philip Purlee Tom Bradley | Others: Charlie Rector, Community Development Director Tracy Kelley, Administrative Assistant |
|---|--|

**MINUTES
PLANNING & ZONING BOARD
DECEMBER 13, 2017
6:00PM**

- I. **INVOCATION:** Chairwoman Bame called the meeting to order at 6:00P.M. and led the pledge of allegiance. Board member Tom Bradley gave the invocation.
- II. **ROLL CALL:** All board members present. Present CDD Rector and Assistant Kelley.
- III. **MINUTES FROM PREVIOUS MEETING:** Approve meeting minutes from October 19, 2017. Motion to approve meeting minutes by Board member Tom Bradley. Second by Board member Daniel Dicus. Approved 5-0.
- IV. **OLD BUSINESS:** None
- V. **NEW BUSINESS:**
- A **First Baptist Church of Leesburg, Inc.** (ALT Key # 1287863)
- b. PUD (Planned Unit Development) Application to rezone to a mixed use planned unit development consisting of residential, commercial, institutional and recreational uses for an aged restricted community
- CDD Rector gave introduction for the PUD rezoning application and the second part of the PUD rezoning application being the Master Developer's Agreement outlining what is allowed uses of property; no building plans to be presented at this time. Final hearings for the applicant will be January 11, 2018, and January 25, 2018 during City Commission hearings
- Chairwoman Bame addressed the chambers again stating tonight's meeting is being heard before a recommending board only and all final hearings will be held by City Commission
- CDD Rector introduced City Land Planner Greg Beliveau with LPG; City Land Planner Beliveau advised the Board a recommendation is being given for the entire PUD application; the property is formerly known as the Pine Ridge Dairy property and whereas a portion has already been developed by The Villages and the applicant is applying to develop the remaining portion of what used to be a part of one parcel; City Land Planner Beliveau introduced the application and the various zoning regulations that are being applied under the PUD zoning application; City Land Planner Beliveau also

explained a traffic study for the rezoning application has been sent to Lake County; should the project continue to move forward additional studies will be required by the applicant to support the intended uses under the PUD rezoning; City Land Planner Beliveau also discussed within the past 24 hours during conference calls there is an amendment to the Master Developer's Agreement under Section #4 Item P and Q; City Land Planner described the definition of ALF within Lake County as it is different from the request of the applicant; Section #4, Item P and Q will be revised to strike out adult congruent living facility whereas the ALF is now a part of the residential component

City Land Planner Beliveau also advised the applicant is requesting 5-story buildings above final grade be allowed supporting mixes of housing (ALF, ILF, Skilled Nursing, etc.); City Land Planner Beliveau explained the City is capable of providing fire services for those buildings

CDD Rector introduced in attendance Art Ayriss, First Baptist Church of Leesburg, Chris Wickberg, VP of Design & Construction with Westminster Communities of Florida, and Greg Crawford, Florida Engineering Group; CDD Rector gave the opportunity for the applicant to address the Board

Applicant Art Ayriss reflected the project as being a process of two years with working closely with the City of Fruitland Park

Chairwoman Bame addressed the audience if there were any public comments

The following City of Fruitland Park residents gave reasons of opposition:

Gary Beckman, The Villages – objects 5-story building out of character for the City; Phillip Egner, City of Fruitland Park – objects that a large development is pending on a town not able to sustain a meeting in a room that only holds 71 to capacity; Lauren Collins, City of Fruitland Park – objects to public services that will not be there for the residents of Fruitland Park; Richard Spinelli, The Villages – does not agree with established buffer zone regardless of development size; Stephen May, City of Fruitland Park – concerned with gopher tortoise relocation; Randi Niles, The Villages – would like current green space to not be eliminated ; Ronald Cordie, The Villages – questioning entrance to development and use of golf cart access; Randall Harrison, City of Fruitland Park filed a petition on behalf of the Brookstone residents and is opposed to loss of bordering greenbelt and overall size of proposed buildings; Stephen Eynard, The Villages – questioned if Pine Ridge Dairy Road would stay closed to abut The Villages' Development

The following City of Fruitland Park and Sumter County residents gave reasons of favor: Rita Ranize, City of Fruitland Park – accepts the growth and improvements to the City; and Carole Jarvis, The Villages of Sumter County – Westminster is a first class facility

During citizen's comments CDD Rector, Board members, City Land Planner Beliveau and Applicant Art Ayriss gave detailed explanations and references to city land development regulations (LDR's)

Board member Crews addressed the greenbelt concerns during citizen's comments; Board member Crews compared The Villages to what is being proposed by the applicant and is in favor of the applicant based on those proposals

Board member Dicus questioned if the applicant (First Baptist Church) was a joint effort with the developer Westminster Properties; Applicant Ayris answered no, Westminster is purchasing 65 acres from the First Baptist Church; however coming to the City as one PUD application; Applicant Ayris stated the First Baptist Church is developing the commercial sites; Board member Dicus also addressed the height of the building(s) as reason why 5-story is preferred over 3-story; VP of Design & Construction Wickberg addressed the Board that the 5-story is a good model to allow more units and more green space rather than sprawling parking areas; Board member Dicus questioned if developer objectionable to 5-story, VP of Design & Construction Wickberg responded we prefer 5-story

Board member Purlee questioned if any of the buildings carry LEAD Certifications; VP of Design & Construction Wickberg responded he is a LEAD Accredited Professional; the buildings in past have been certified by the State of Florida Green Counsel; Board member Purlee gave definition of what a LEAD Certification entails; Board member Purlee also addressed the value of a mixed use development which allows density of a development to be regulated by the adopted LDR's of the City that will be in the best interest for health care, fire protection, roads, etc. for long term conditions

Board member Dicus also questioned the time-frame to complete build out of all planned development; VP of Design & Construction Wickberg addressed the Board that there is no specific time-line other than the entry road; Applicant Ayris added that engineer services have been contracted for the master development plan of the church and construction should commence around February 2018

Board member Dicus questioned who owned the proposed property for the residential buildings; VP of Design & Construction Wickberg stated Westminster properties; Board member Dicus questioned where on the proposed site plan is the location of the residential area; it was displayed on the proposed site plan possibly the residential housing would back up to the residents of the Brookstone Community

CDD Rector discussed the intent of the 5-story buildings is to be located more near the hilltop of the property; VP of Design & Construction Wickberg stated that is the intent of the buildings including the residential housing location; general discussion occurred where the site plan was reviewed with the Board and Citizens by VP of Design & Construction Wickberg including the proposed roadways and value of the residential housing

Board member Dicus questioned what happens if the church builds their proposed buildings and the developer after consideration decides not to develop their proposed sites, what happens with what has been approved; Chairwoman Bame stated once the rezoning has been approved another developer could develop under the approved zoning; City Land Planner Beliveau interjected as long as it follows the approved Master Developer's Agreement of 55+ Community there are already established and adopted guidelines any other or future developer would have to follow; City Land Planner

Beliveau stated if the development was to change outside of the adopted Master Developer's Agreement, it would have to come back for approval by the Board and City Commission

CDD Rector addressed City Land Planner Beliveau with regards to Board member Dicus' last question; CDD Rector questioned if the property changed ownership the approved 5-story buildings could possibly be used as an apartment complex; City Land Planner Beliveau responded yes as long as it was a 55+ apartment complex; CDD Rector addressed City Land Planner Beliveau how can the City be protected in this event; City Land Planner Beliveau responded an amendment to the Master Developer's Agreement would be added to clarify if there are any changes to what was approved for development (use of buildings) it would have to come back to Commission for approval

Applicant Art Ayris responded that an amendment is acceptable; VP of Design & Construction Wickberg responded an amendment is acceptable

City Land Planner Beliveau agreed no issue to amend current Master Developer's Agreement to add language of intended use prior to City Commission approval

Board member Dicus questioned the proposed residential area that abuts the Brookstone community, will the future development utilize Pine Ridge Dairy Road; VP of Design & Construction Wickberg stated it is the intent of the development to use of CR 466A and private drives will be gate accessed

CDD Rector clarified all roads within the development are private and not the City's responsibility

Chairwoman Bame moved for a motion with no further Board or citizen comments

Motion to approve PUD rezoning application as amended and language forwarded by developer by Board member Crews. Second by Board member Purlee. Approved 5-0

Board member Bradley called for an interlude - meeting resumed with Item B

B Mesos Medical Office Major Site Plan Submittal (ALT Key # 1288215)

b. Major site plan submittal for a proposed medical office; Adopted Resolution 2017-008 attached with regards to granting buffer variance

CDD Rector introduced application and gave a brief explanation as to delay in application coming before the board due to Lake County redesigning the previous location of drive; CDD Rector and City Land Planner Beliveau recommend approval of Mesos Medical Office Major Site Plan Submittal

Motion by Board member Purlee to approve Major Site Plan submittal. Second by Board member Dicus. Approved 5-0

C Ross Property Site Specific Small Scale Comp Plan Amendment and Special Exception Use

b. Amending the Future Land Use Map and Future Land Use Designations to Multi-Family Low Density as Limited by Site Specific Amendment and Granting A Special Exception Use in the R-2 Zoning

c. Allow Residential Duplexes on lots: #13 ALT Key 1793785; #14 ALT Key 3854556; #15 3854557; #16 ALT Key 3854558; #17 1431671; #18 3854559; #19 3854560

CDD Rector gave introduction and summary of application; applicant is coming back before the Board and Commission under the City Attorney advisement to request for all properties lots 13 -19 to be heard at one hearing to allow the Special Exception Use (SEU); CDD Rector stated there are two constructed dwellings awaiting final certificate of occupancy based on Board recommendation and Commission approval for the SEU to allow same construction; CDD Rector stated applicant has connected to city sewer services and constructed a lift station

CDD Rector advised Board the city's land use map is to be amended to allow for duplexes without changing current zoning; CDD Rector clarified the SEU would establish if future construction of duplexes is requested under R2 zoning the applicant would come before Commission for approval

Chairwoman Bame questioned if notices sent to surrounding property owners; Assistant Kelley responded 45 total notices with 2 returned opposed

Board member Purlee questioned if reasons were given for opposition; Assistance Kelley responded no on first opposition; read reason given on second application not in agreement with surrounding properties

Board member Crews interjected it was not clear how application ever went before Commission prior to being addressed by Board; Board member Crews not satisfied with application process

Chairwoman Bame addressed any other Board comments or citizens' comments

Board member Dicus announced he will abstain from vote as direct employee of applicant

Chairwoman Bame moved for a motion for approval; City Land Planner Beliveau clarified there are two motions

Motion by Board member Purlee to approve Site Specific SSCPA and SEU. Second by Board member Bradley

The following City of Fruitland Park residents gave reasons of opposition:

Carlisle Craig Burch, City of Fruitland Park – application does not meet current zoning; Sharon (Diane), City of Fruitland Park – dissatisfied with CDD Rector application

process and the uses of property; Kenneth Woods, City of Fruitland Park – opposed to any future duplexes

Chairwoman Bame called for any further comments; Chairwoman Bame called for motion to resume as called; Motion by Board member Purlee to approve Site Specific SSCPA and SEU. Second by Board member Bradley. Approved 3-1 (Opposed Board member Crews) (Abstained Board member Dicus)

D WTG Properties (ALT Key # 1432235)

b. Allow for Contractors Yard and C-1 Uses (Neighborhood Commercial)

CDD Rector gave introduction to application and clarified property location; the applicant is requesting commercial storage use for specifically a City of Fruitland Park roofing contractor; applicant has plans to fence from view the storage area; CDD Rector stated there are no plans to the residential home on property

CDD Rector stated Board member Dicus had a question prior to the scheduled Board meeting; if application is approved employees of roofing contractor be allowed to park behind perimeter fence

Chairwoman Bame questioned application is to allow the requested use and to change current zoning from residential to commercial; CDD Rector verified application request and zoning use

Board member Crews questioned the height of fence; CDD Rector clarified 6' white vinyl fence

Chairwoman Bame called for citizen's comments

The following City of Fruitland Park residents gave reasons of opposition:

Rita Ranize, City of Fruitland Park – opposed with current applicants use of residential property and the code violations relating

Chairwoman Bame questioned if notices to surrounding property owners have been sent; CDD Rector stated no complaints as of date; Assistant Kelley stated no notices to surrounding property owners have been sent

Chairwoman Bame questioned CDD Rector if surrounding property owners were to be notified prior to meeting; CDD Rector stated yes

Chairwoman Bame stated the application will be tabled due to notices not being sent

Chairwoman called motion to table the Rezoning application. Motion by Board member Dicus to table WTG properties rezoning application. Second by Board member Crews. Approved 5 -0

ADJOURNMENT: 8:25PM

FORM 8B MEMORANDUM OF VOTING CONFLICT FOR COUNTY, MUNICIPAL, AND OTHER LOCAL PUBLIC OFFICERS

| | | | |
|---|--|--|--|
| LAST NAME—FIRST NAME—MIDDLE NAME <i>Dicus Daniel Roger</i> | | NAME OF BOARD, COUNCIL, COMMISSION, AUTHORITY, OR COMMITTEE <i>Fruitland Park Planning and Zoning</i> | |
| MAILING ADDRESS <i>503 College Ave</i> | | THE BOARD, COUNCIL, COMMISSION, AUTHORITY OR COMMITTEE ON WHICH I SERVE IS A UNIT OF: | |
| CITY COUNTY <i>Fruitland Park FL Lake</i> | | <input checked="" type="checkbox"/> CITY <input type="checkbox"/> COUNTY <input type="checkbox"/> OTHER LOCAL AGENCY | |
| DATE ON WHICH VOTE OCCURRED <i>12-13-17</i> | | NAME OF POLITICAL SUBDIVISION: <i>City of Fruitland Park</i> | |
| | | MY POSITION IS: <input type="checkbox"/> ELECTIVE <input checked="" type="checkbox"/> APPOINTEE | |

WHO MUST FILE FORM 8B

This form is for use by any person serving at the county, city, or other local level of government on an appointed or elected board, council, commission, authority, or committee. It applies to members of advisory and non-advisory bodies who are presented with a voting conflict of interest under Section 112.3143, Florida Statutes.

Your responsibilities under the law when faced with voting on a measure in which you have a conflict of interest will vary greatly depending on whether you hold an elective or appointive position. For this reason, please pay close attention to the instructions on this form before completing and filing the form.

INSTRUCTIONS FOR COMPLIANCE WITH SECTION 112.3143, FLORIDA STATUTES

A person holding elective or appointive county, municipal, or other local public office **MUST ABSTAIN** from voting on a measure which would inure to his or her special private gain or loss. Each elected or appointed local officer also **MUST ABSTAIN** from knowingly voting on a measure which would inure to the special gain or loss of a principal (other than a government agency) by whom he or she is retained (including the parent, subsidiary, or sibling organization of a principal by which he or she is retained); to the special private gain or loss of a relative; or to the special private gain or loss of a business associate. Commissioners of community redevelopment agencies (CRAs) under Sec. 163.356 or 163.357, F.S., and officers of independent special tax districts elected on a one-acre, one-vote basis are not prohibited from voting in that capacity.

For purposes of this law, a "relative" includes only the officer's father, mother, son, daughter, husband, wife, brother, sister, father-in-law, mother-in-law, son-in-law, and daughter-in-law. A "business associate" means any person or entity engaged in or carrying on a business enterprise with the officer as a partner, joint venturer, coowner of property, or corporate shareholder (where the shares of the corporation are not listed on any national or regional stock exchange).

* * * * *

ELECTED OFFICERS:

In addition to abstaining from voting in the situations described above, you must disclose the conflict:

PRIOR TO THE VOTE BEING TAKEN by publicly stating to the assembly the nature of your interest in the measure on which you are abstaining from voting; *and*

WITHIN 15 DAYS AFTER THE VOTE OCCURS by completing and filing this form with the person responsible for recording the minutes of the meeting, who should incorporate the form in the minutes.

* * * * *

APPOINTED OFFICERS:

Although you must abstain from voting in the situations described above, you are not prohibited by Section 112.3143 from otherwise participating in these matters. However, you must disclose the nature of the conflict before making any attempt to influence the decision, whether orally or in writing and whether made by you or at your direction.

IF YOU INTEND TO MAKE ANY ATTEMPT TO INFLUENCE THE DECISION PRIOR TO THE MEETING AT WHICH THE VOTE WILL BE TAKEN:

- You must complete and file this form (before making any attempt to influence the decision) with the person responsible for recording the minutes of the meeting, who will incorporate the form in the minutes. (Continued on page 2)

APPOINTED OFFICERS (continued)

- A copy of the form must be provided immediately to the other members of the agency.
- The form must be read publicly at the next meeting after the form is filed.

IF YOU MAKE NO ATTEMPT TO INFLUENCE THE DECISION EXCEPT BY DISCUSSION AT THE MEETING:

- You must disclose orally the nature of your conflict in the measure before participating.
- You must complete the form and file it within 15 days after the vote occurs with the person responsible for recording the minutes of the meeting, who must incorporate the form in the minutes. A copy of the form must be provided immediately to the other members of the agency, and the form must be read publicly at the next meeting after the form is filed.

DISCLOSURE OF LOCAL OFFICER'S INTEREST

I, Daniel Picus, hereby disclose that on Dec 13th, 20 17:

(a) A measure came or will come before my agency which (check one or more)

- inured to my special private gain or loss;
- inured to the special gain or loss of my business associate, _____;
- inured to the special gain or loss of my relative, _____;
- inured to the special gain or loss of _____, by whom I am retained; or
- inured to the special gain or loss of _____, which is the parent subsidiary, or sibling organization or subsidiary of a principal which has retained me.

(b) The measure before my agency and the nature of my conflicting interest in the measure is as follows:

*I am a Direct employee of Ross Plumbing
A company owned By Terry Ross - President
Applicant for Small scale Comp plan Amendment and special
exception use*

If disclosure of specific information would violate confidentiality or privilege pursuant to law or rules governing attorneys, a public officer, who is also an attorney, may comply with the disclosure requirements of this section by disclosing the nature of the interest in such a way as to provide the public with notice of the conflict.

1-3-18
Date Filed

Daniel Picus
Signature

NOTICE: UNDER PROVISIONS OF FLORIDA STATUTES §112.317, A FAILURE TO MAKE ANY REQUIRED DISCLOSURE CONSTITUTES GROUNDS FOR AND MAY BE PUNISHED BY ONE OR MORE OF THE FOLLOWING: IMPEACHMENT, REMOVAL OR SUSPENSION FROM OFFICE OR EMPLOYMENT, DEMOTION, REDUCTION IN SALARY, REPRIMAND, OR A CIVIL PENALTY NOT TO EXCEED \$10,000.