



506 WEST BERCKMAN STREET
FRUITLAND PARK, FL 34731

PHONE: 352 360-6727
FAX: 352 360-6652

SPECIAL MASTER: Amanda Boggus, Atty	Others: Michael Rankin, LPG Anita Geraci-Carver, City Attorney Sharon Williams, Administrative Manager Emily Church, Administrative Assistant
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AGENDA
PLANNING & ZONING (P&Z) MEETING
April 16, 2026
6:00 PM

- I. **INVOCATION AND PLEDGE OF ALLEGIANCE:**
- II. **MEETING NOTES FROM PREVIOUS MEETING:** Meeting notes from the March 19, 2026 meeting included for review/comment.
- III. **OLD BUSINESS:** NONE
- NEW BUSINESS:**

A. **WaterVue at Lake Geneva – Major Site Plan; Alternate Key 1284368; Resolution 2026-024**

The applicant is requesting major site plan approval at 2307 Spring Lake Road on approximately 14.07 +/- acres with 1.79 +/- acres of wetlands (consistent with PUD Ordinance 2023-004). The project will be located north west of the intersection of Spring Lake Road and Poinsettia Avenue at (2307 Spring Lake Road). The proposed project consists of multi-family residential dwelling of the following: 11 one-unit villas, 25 one-story villas (2 units), and 56 dwellings in two-story apartments for a total of 92 units and an overall gross density of 7.67 units/acre.

Per the staff report please note: “Tree mitigation proposed on 121 trees removed meets the 40% replacement (Sheet PL-001) Sheet PL-002 indicates 9 historic trees and 13 specimen trees are to be removed. The majority of the historic trees to be removed are for the construction of the stormwater pond and the majority of the specimen trees to be removed is for site grading. Historical or specimen trees shall not be removed without the finding of the City Commission that the tree is a hazard or that it is not feasible to develop the site without removing the tree (Chapter 164, Section 164.090(C)(6)(f).”

B. **WaterVue at Lake Geneva, Granting Permanent Utility and Ingress-Egress Easement**

Resolution 2026-025 allows a permanent utility and ingress-egress easement of the property to allow access and service to the property. Sketches 1, 2 and 3 with the applicable descriptions collectively

comprise Exhibit B of the easement.

STAFF COMMENTS:

PUBLIC COMMENTS:

This section is reserved for members of the public to bring up matters of concern or opportunities for praise. Note: Pursuant to F.S. 286.0114 and the City of Fruitland Park's Public Participation Policy adopted by Resolution 2013-023, members of the public shall be given a reasonable opportunity to be heard on propositions before the Planning and Zoning Board. Pursuant to Resolution 2013-023, public comments are limited to three minutes.

ADJOURNMENT:



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SPECIAL MASTER: Amanda Boggus, Atty	Others: Michael Rankin, LPG Anita Geraci-Carver, City Attorney Sharon Williams, Administrative Manager Emily Church, Administrative Assistant
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MINUTES
PLANNING & ZONING (P&Z) MEETING
March 19, 2026
6:00 PM

- I. **INVOCATION AND PLEDGE OF ALLEGIANCE:** The meeting was called to order at 6:00 p.m. The Invocation was led by Sharon Williams and the Pledge of Allegiance was led by Special Master Amanda Boggus.
- II. **ROLL CALL:** Special Master Boggus and City Staff were in attendance (including: Emily Church, Kelli Fielder, Brenda Sigala, John Klein and Sharon Williams; also included City Attorney Anita Geraci-Carver and Interim Community Development Director Michael Rankin. Representing the development: Richard Wohlfarth and Andon Calhoun.
- III. **MEETING NOTES FROM PREVIOUS MEETING:** Meeting notes from the January 15, 2026 meeting were included for review/comment/approval.
- IV. **OLD BUSINESS:** NONE

NEW BUSINESS

A. Enclave at Lake Geneva Parcels G & H Preliminary Plan; Alternate Keys 1284384, 2748770, 1809436, 1284422, 1284392 & 1809444

Michael Rankin, Interim Community Director, welcomed the new Special Master of the Planning and Zoning Board to the City of Fruitland Park. He stated this was the first official meeting transitioning from a P&Z volunteer board to a Special Master.

Mr. Rankin then proceeded to introduce the project stating that the applicant is requesting preliminary plan approval. The 45.31-acre parcel would be utilized for not-to-exceed 121 additional single-family units consisting of 114 units of 4,800 SF lots (40' x 120') and 7 units of 6,000 SF lots (50' x 120') and commercial consisting of retail/restaurant (14,000 SF), grocery store (48,848 SF), liquor store (9,800 SF), and commercial building (20,807 SF). The additional units would change the total to 541 for The Enclave at Lake Geneva **overall (Parcels A – H)**. The gross density would be changed from 3.10 units/acre to approximately 3.25 units/acre. Noting the gross density excluded

water bodies of 24.04 + acres.

Mr. Rankin further noted the surrounding zoning: to the north is “PUD,” to the south is “PFD,” to the east is “C-2” and west of the property is “PUD.” Also, the Future Land Use of “Mixed Use Community” to the north; “Industrial” to the south; “Commercial” to the east and “Multi-Family Low Density” to the west. Re-emphasizing proposed lots sizes of 40’ and 50’ he advised that the applicant was in attendance, prepared to answer any questions, if necessary and that staff recommended approval of the project.

Special Master Boggus clarified that this project would be incorporated into the existing Developer’s Agreement. She asked if there was any public comment for the record and seeing none, asked if the applicant and/or staff would like to add anything for the record. Both applicant and staff responded “no.” Special Master Boggus stated that based upon her review, she would recommend approval to the City Commission [for its meeting of April 9, 2026].

Special Master then asked if there was anything else to address and Attorney Anita Geraci-Carver added that item #3 of the agenda required action and then offered a recommendation of approval of the meeting notes from January 15, 2026. Thereafter, Special Master inquired if there were any comments/changes of the meeting minutes, of which none there were none. The minutes/notes were adopted presented.

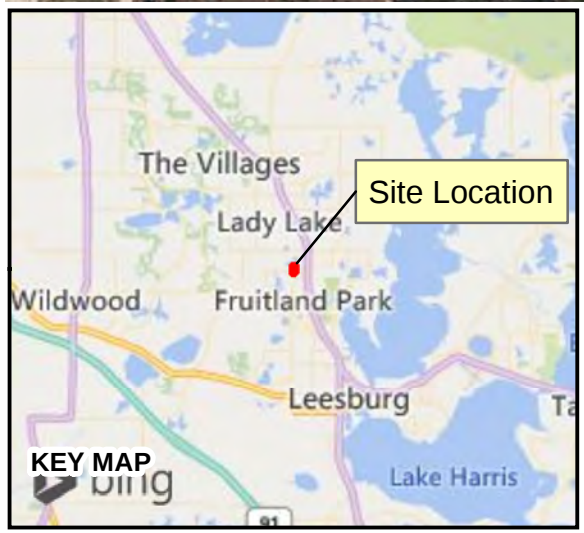
Special Master circled back to agenda item# 4A and stated the preliminary plan request **was in compliance** and that she would indeed recommend approval to the counsel.

BOARD MEMBERS’ COMMENTS: Not applicable

PUBLIC COMMENTS: There were no public comments

ADJOURNMENT: Having no further business, the meeting was adjourned at 6:06 p.m.

C:\Users\dmahnik\OneDrive\Documents\Projects - 1-2603-001\4_figures and drawings\GIS\1_Location Map.mxd By:



Background Source:

Legend

 Property Location



E Sciences, Incorporated
FL Engineering Lic. #8691
34 East Pine Street
Orlando, FL 32801
www.esciencesinc.com
Phone: 407-481-9006
Fax: 407-481-9627

PROJECT NUMBER:1-2603-001

2307 Spring Lake Road
Fruitland Park, Lake County, Florida
Section 33, Township 18 South, Range 24 East

Location Map

SCALE:
1"=1,000'

DATE:
3/4/2022

FIGURE

1

RESOLUTION 2026-024

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, GRANTING MAJOR SITE PLAN APPROVAL WITH CONDITIONS TO ALLOW CONSTRUCTION OF AN APPROXIMATELY 11 ONE-UNIT VILLAS, 25 ONE-STORY VILLAS CONSISTING OF TWO UNITS, AND 56 DWELLINGS IN TWO-STORY APARTMENTS FOR A TOTAL OF 92 UNITS INCLUSIVE OF ASSOCIATED PARKING, STORMWATER, MAINTENANCE BUILDING AND RECREATION CENTER WITHIN A BUILDING; PROVIDING FOR CONDITIONS; AUTHORIZING THE CITY MANAGER TO ISSUE A NOTICE OF SITE PLAN APPROVAL UPON COMPLETION OF ALL CONDITIONS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Southwinds Commercial, Ltd. through its manager, Paul M. Missigman, Owner, filed an application for Major Site Plan Approval to allow for construction of 92 units of multi-family residential and other improvements consistent with Ordinance 2023-004 (PUD) on real property located on Spring Lake Road, Fruitland Park, Florida (the "Property"); and

WHEREAS, the Planning and Zoning Special Master of the City of Fruitland Park has considered the application in accordance with the Land Development Regulations for Major Site Plan Approval in Chapter 160 of the Land Development Regulations; and

WHEREAS, the City Commission of the City of Fruitland Park has considered the application in accordance with the Land Development Regulations for Major Site Plan Approval in Chapter 160 of the Land Development Regulations, subject to conditions;

NOW THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, LAKE COUNTY, FLORIDA, AS FOLLOWS:

Section 1. Granting of Major Site Plan Approval.

The site plan prepared by Madden Civil Engineers, a copy of which is on file with the city clerk, (hereafter referred to as "Applicant"), to allow for construction of 92 multi-family units consisting of 11 one-unit villas, 25 one-story villas consisting of two-units, and 56 dwellings in two-story apartments with associated parking, stormwater, maintenance building, and a recreation center within a building on real property located on Spring Lake Road, Fruitland Park, Florida, is hereby APPROVED, with conditions, for the following described properties:

Alt. Key Number: 1284368

33-18-24-0003-000-03000 (The Property)

LEGAL DESCRIPTION: See attached Exhibit A.

Section 2. Conditions of Approval.

- (1) The Applicant shall resolve, to the satisfaction of the City Manager or designee, the following matters:
 - (a) Prior to the issuance of a building permit, comply with all reasonable requirements of the City of Fruitland Park and Lake County relating to improvements to and dedication of right of way re: Spring Lake Road.
 - (b) Provide any utility easements required by the City of Fruitland Park in the form provided by the City. The applicant must provide a sketch and description of the required easements, and an updated title report for the property subject of the utility easements.
- (2) Site plan approval shall terminate and become null and void automatically without notice if construction has not commenced within twelve (12) months from the date of this conditioned approval.
- (3) The Site Plan is attached hereto and incorporated herein.
- (4) The City Manager is authorized to issue and record a Notice of Site Plan Approval in the public records of Lake County, Florida, **once conditions have been met.**

Section 3. Effective Date.

This resolution shall become effective immediately upon its passage.

PASSED and ADOPTED at a regular meeting of the City Commission of the City of Fruitland Park, Lake County, Florida this _____ day of _____, 2026.

SEAL

CITY COMMISSION OF THE CITY OF
FRUITLAND PARK, FLORIDA

CHRIS CHESHIRE, MAYOR

ATTEST:

GWEN JOHNS, CITY CLERK

Mayor Cheshire	_____	(Yes),	_____	(No),	_____	(Abstained),	_____	(Absent)
Vice-Mayor DeGrave	_____	(Yes),	_____	(No),	_____	(Abstained),	_____	(Absent)
Commissioner Cosenza	_____	(Yes),	_____	(No),	_____	(Abstained),	_____	(Absent)
Commissioner Raysin	_____	(Yes),	_____	(No),	_____	(Abstained),	_____	(Absent)
Commissioner Williams	_____	(Yes),	_____	(No),	_____	(Abstained),	_____	(Absent)

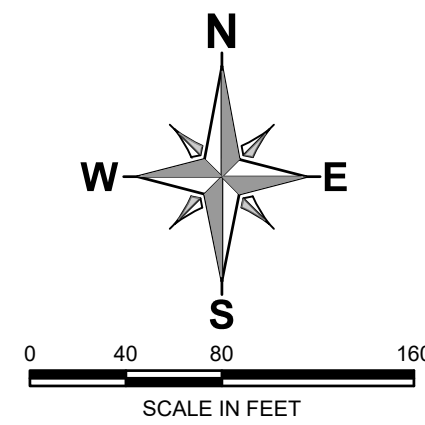
Approved as to form:

Anita Geraci-Carver, City Attorney

EXHIBIT A

THE LAND REFERRED To HEREIN BELOW IS SITUATED IN THE COUNTY OF LAKE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

FROM THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 18 SOUTH, RANGE 24 EAST, IN LAKE COUNTY, FLORIDA, RUN SOUTH 89'20'30" EAST, ALONG THE SOUTH LINE OF THE SAID NORTHEAST 1 /4 OF THE SOUTHWEST 1 /4, A DISTANCE OF 209.20 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH 0'30'15" EAST 1,325.45 FEET TO THE NORTH LINE OF THE SAID NORTHEAST 1/4 OF SOUTHWEST 1/4 OF SECTION 33, THENCE RUN SOUTH 89'35'10" EAST, ALONG THE NORTH LINE OF THE SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4, A DISTANCE OF 505.91 FEET, THENCE RUN SOUTH 00'32'50" WEST 1,116.62 FEET, THENCE NORTH 89'22'40" WEST 231.40 FEET, THENCE SOUTH 0'31'40" WEST 210.90 FEET TO THE SOUTH LINE OF THE SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 33, THENCE NORTH 89'20'30" WEST, ALONG THE SOUTH LINE OF THE SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4, 273.57 FEET TO THE POINT OF BEGINNING. LESS AND EXCEPT THE SOUTH 33 FEET THEREOF



C005

RESOLUTION 2026-025

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, APPROVING THE PERMANENT UTILITY AND INGRESS-EGRESS EASEMENT IN FAVOR OF THE CITY OF FRUITLAND PARK, FLORIDA FROM SOUTHWINDS COMMERCIAL, LTD.; AUTHORIZING THE MAYOR TO EXECUTE THE PERMANENT EASEMENT; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Major Site Plan Approval was granted to allow for construction of 92 units of multi-family residential and other improvements consistent with Ordinance 2023-004 (PUD) on real property located on Spring Lake Road, (the "Property"); and

WHEREAS, three utility easements are needed in order to serve the Property with utilities; and

WHEREAS, Southwinds Commercial, Ltd. is willing to grant the City of Fruitland Park utility easements that benefit the City, and the Property; and

WHEREAS, the City Commission finds it to be in the public interest to accept the Permanent Utility and Ingress-Egress Easement from Southwinds Commercial, Ltd.; and

NOW, THEREFORE BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF FRUITLAND PARK, FLORIDA, AS FOLLOWS:

Section 1. The above recitals are true and correct and are incorporated herein by reference.

Section 2. The City Commission authorizes the Mayor to execute the Permanent Utility and Ingress-Egress Easement from Southwinds Commercial, Ltd., a copy of which is attached hereto, to memorialize the City's acceptance of the easement.

Section 3. This Resolution shall become effective immediately upon its passage and adoption.

PASSED AND RESOLVED this _____ day of _____, 2026, by the City Commission of the City of Fruitland Park, Florida.

SEAL

**CITY COMMISSION OF THE CITY OF
FRUITLAND PARK, FLORIDA**

CHRIS CHESHIRE, MAYOR

ATTEST:

Gwen Johns, City Clerk

Mayor Cheshire	_____	(Yes),	_____	(No),	_____	(Abstained),	_____	(Absent)
Vice Mayor DeGrave	_____	(Yes),	_____	(No),	_____	(Abstained),	_____	(Absent)
Commissioner Cosenza	_____	(Yes),	_____	(No),	_____	(Abstained),	_____	(Absent)
Commissioner Raysin	_____	(Yes),	_____	(No),	_____	(Abstained),	_____	(Absent)
Commissioner Williams	_____	(Yes),	_____	(No),	_____	(Abstained),	_____	(Absent)

Approved as to form:

Anita Geraci-Carver, City Attorney

Record and Return to:

Anita Geraci-Carver, Esq.
Law Office of Anita Geraci-Carver, P.A.
1560 Bloxam Avenue
Clermont, FL 34711

**PERMANENT UTILITY AND INGRESS-EGRESS EASEMENT
FROM ADVENTIST HEALTH SYSTEM/SUNBELT, INC.**

THIS GRANT OF A PERMANENT EASEMENT, made this ____ day of _____, 2026, by **SOUTHWINDS COMMERCIAL, LTD.**, a Florida not-for-profit corporation, hereinafter called the Grantor, to and in favor of the **CITY OF FRUITLAND PARK, FLORIDA**, a Florida municipal corporation, created under the laws of the State of Florida, 506 W. Berckman St., Fruitland Park, FL 34731, hereinafter called the Grantee.

1. **Background.** Grantor is the owner of certain real property situate in Lake County, Florida, more particularly described in **Exhibit “A”** attached hereto and made a part hereof by this reference (the “Property”).

Grantee desires to obtain a perpetual, non-exclusive easement under, over and across a portion of the Property which is more particularly described and depicted in **Exhibit “B”** attached hereto and made a part hereof by this reference (the “Easement Property”) for purposes of utilities and ingress and egress with full authority to enter upon construct, operate, repair, replace and maintain potable water, sewer, and reclaimed water lines, master meter, fire hydrant assembly and underground electrical lines, and all other related and appurtenant facilities over, under, through and across the Easement Property. Grantor is willing to grant Grantee easements for said purposes, subject to the terms and conditions set forth below. The Easement Property includes the easement descriptions in **Exhibit “B”**.

2. **Grant of Easement.** In consideration of the covenants and obligations set forth herein and other good and valuable consideration in the sum of Ten and No/100 Dollars (\$10.00) paid by Grantee to Grantor, the receipt of which is hereby acknowledged, Grantor hereby grants, conveys and declares unto Grantee, its successors and assigns, a perpetual, non-exclusive easement including rights under, over, through and across the Easement Property, for the purpose of ingress and egress and the construction, operation, repair and maintenance of potable water, sewer, and reclaimed water lines, master meter, fire hydrant assembly and underground electrical lines and all other related and appurtenance facilities (collectively the “Facilities”).

3. **Use by Grantor.** Grantor retains the right to use the Easement Property, so long as such rights do not unreasonably interfere with Grantee’s rights hereunder. The Property is subject to all matters of record, the retained rights of Grantor and whatever other easements, rights, licenses, or grants that contemporaneous herewith or subsequent hereto, may be granted, or otherwise created by Grantors, provided that any subsequently

created interest does not prevent Grantee from utilizing this Easement for its intended purposes. The Easement Property shall revert to Grantor upon release.

4. **Maintenance.** Grantee shall maintain, repair and replace the Facilities in good order, condition and state of repair.

5. **Covenants with the Land.** All rights, privileges, benefits and burdens created herein are covenants running with the land, binding upon and inuring to the benefit of Grantor, Grantee and their respective assigns and successors in title.

6. **Title.** Grantor does hereby covenant that Grantor is lawfully seized and possessed of the Easement Property subject only to a mortgage with [LENDER NAME] but no encumbrances, and that it has good and lawful right to convey said easement with only the joinder and consent of [LENDER NAME] being required. (Joinder and) form will be required to be recorded with this Easement

OR

Grantor does hereby covenant that Grantor is lawfully seized and possessed of the Easement Property subject to no mortgages or encumbrances, and that it has good and lawful right to convey said easements without the joinder and consent of any third party.

7. **Incidental Rights.** Each of the rights and benefits granted herein shall include all those additional rights and benefits which are necessary for the full enjoyment thereof and are customarily included incidental thereto.

8. **Captions.** The captions included herein are for reference only and should not be used in construing any of the terms hereof. This Easement shall be construed and enforced in accordance with the laws of the State of Florida.

9. **Attorneys Fees.** In the event that Grantor or Grantee or either of their successors in title institutes legal proceedings against the other party to enforce any term of this Easement, the prevailing party shall be entitled to recover from the non-prevailing party reasonable attorneys' fees and court costs incurred incidental thereto, including, without limitation, fees and costs incurred in appellate proceeding and in bankruptcy.

IN WITNESS WHEREOF, the said first has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in
the presence of:

Grantor: **SOUTHWINDS COMMERCIAL,
LTD.,** a Florida Limited Partnership,

By: Southwinds Cove Managers II,
L.L.C., a Florida Limited Liability
Company, General Partner

Witness Signature

Print Name

Address of Witness:

Witness Signature

Print Name

Address of Witness

STATE OF _____

COUNTY OF _____

The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☐ online notarization, this ____ day of April 2026 by Paul M. Missigman, Manager of Southwinds Cove Managers II, L.L.C. as general partner of Southwinds Commercial, LTD., a Florida limited partnership on behalf of the partnership. He/she is personally known to me or has produced _____ as identification.

NOTARY PUBLIC

ACCEPTED BY CITY OF FRUITLAND PARK (Grantee).

Witness Signature

Print Name

By: _____
Chris Cheshire, Mayor

Witness Signature

Attest: _____
City Clerk

Print Name

STATE OF FLORIDA
COUNTY OF LAKE

The foregoing instrument was acknowledged before me by means of [X] physical presence or [] online notarization, this ____ day of April 2026 by Chris Cheshire, Mayor of the City of Fruitland Park, a Florida municipal corporation on behalf of the corporation. He is [X] personally known to me or has produced _____ as identification.

NOTARY PUBLIC

EXHIBIT "A"
(the Property)

Alt. Key Number: 1284368

33-18-24-0003-000-03000

THE LAND REFERRED To HEREIN BELOW IS SITUATED IN THE COUNTY OF LAKE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

FROM THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 18 SOUTH, RANGE 24 EAST, IN LAKE COUNTY, FLORIDA, RUN SOUTH 89'20'30" EAST, ALONG THE SOUTH LINE OF THE SAID NORTHEAST 1 /4 OF THE SOUTHWEST 1 /4, A DISTANCE OF 209.20 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH 0'30'15" EAST 1,325.45 FEET TO THE NORTH LINE OF THE SAID NORTHEAST 1/4 OF SOUTHWEST 1/4 OF SECTION 33, THENCE RUN SOUTH 89'35'10" EAST, ALONG THE NORTH LINE OF THE SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4, A DISTANCE OF 505.91 FEET, THENCE RUN SOUTH 00'32'50" WEST 1,116.62 FEET, THENCE NORTH 89'22'40" WEST 231.40 FEET, THENCE SOUTH 0'31'40" WEST 210.90 FEET TO THE SOUTH LINE OF THE SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 33, THENCE NORTH 89'20'30" WEST, ALONG THE SOUTH LINE OF THE SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4, 273.57 FEET TO THE POINT OF BEGINNING. LESS AND EXCEPT THE SOUTH 33 FEET THEREOF

EXHIBIT “B”
(the Easement Property)

See Attached Sketch and Descriptions
(consisting of three separate Sketch and Description)

LEGAL DESCRIPTION

NOT A SURVEY

A PARCEL OF LAND BEING A PORTION OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 18 SOUTH, RANGE 24 EAST OF LAKE COUNTY, FLORIDA.

BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTH 1/4 CORNER OF SAID SECTION 33; THENCE RUN NORTH 00°24'41" EAST ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 33 FOR A DISTANCE OF 1330.43 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 33; THENCE RUN NORTH 89°31'11" WEST ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 33 FOR A DISTANCE OF 1013.36 FEET; THENCE DEPARTING SAID SOUTH LINE RUN NORTH 00°28'49" EAST FOR A DISTANCE OF 33.00 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO BEING A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF SPRING LAKE ROAD, ACCORDING TO OFFICIAL RECORDS BOOK 979, PAGE 2251, OF THE PUBLIC RECORD OF LAKE COUNTY, FLORIDA; THENCE RUN NORTH 89°31'11" WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE FOR A DISTANCE OF 15.00 FEET; THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY LINE RUN NORTH 00°28'47" EAST FOR A DISTANCE OF 20.00 FEET; THENCE RUN SOUTH 89°31'11" EAST FOR A DISTANCE OF 15.00 FEET; THENCE RUN SOUTH 00°28'47" WEST FOR A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 300 SQUARE FEET, OR 0.007 ACRES, MORE OR LESS.

SHEET 1 OF 2
SEE SHEET 2 FOR SKETCH OF DESCRIPTION



SURVEYING • MAPPING
GEOSPATIAL SERVICES
www.allen-company.com
16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654-5355
LB#8627

SURVEYOR'S NOTES:

1. THIS LEGAL DESCRIPTION AND SKETCH IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER OR AN ELECTRONIC SIGNATURE THAT IS IN COMPLIANCE WITH FLORIDA ADMINISTRATIVE CODE 5J-17.062.
2. BEARINGS SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM EAST ZONE NORTH AMERICAN DATUM (NAD) OF 1983 WITH 2011 ADJUSTMENT AND DERIVING A BEARING BASED ON THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 33-18-24 EAST, AS BEING NORTH 89°31'11" WEST.
3. THIS LEGAL DESCRIPTION WAS PREPARED WITHOUT THE BENEFIT OF TITLE.
4. DELINEATION OF THE LANDS SHOWN HEREON ARE AS PER THE CLIENT'S INSTRUCTIONS.
5. THE RECORDING INFORMATION SHOWN HEREON WAS OBTAINED FROM THE LAKE COUNTY PUBLIC ACCESS WEBSITE.

JOB #: 20220222

DATE: 2/16/26

SCALE: 1" = 20'

CALC BY: WB

DRAWN BY:

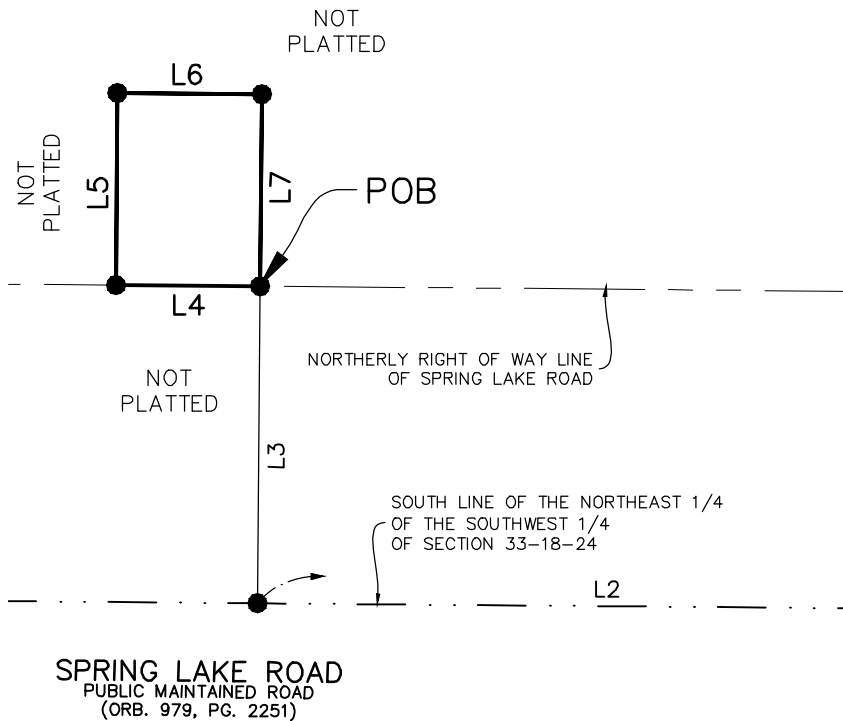
CHECKED BY: WB

FOR THE LICENSED BUSINESS #8627 BY:

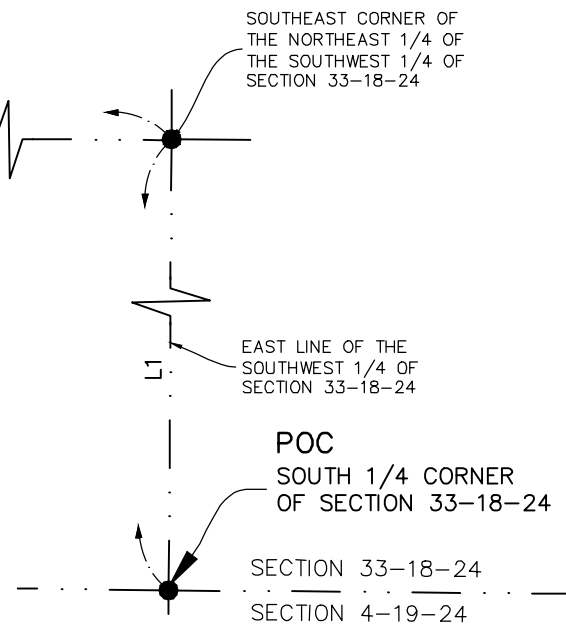
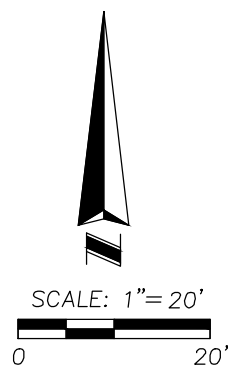
JAMES L. RICKMAN, PSM #5633

SKETCH DESCRIPTION

NOT A SURVEY



LINE TABLE		
LINE	BEARING	LENGTH
L1	N00°24'41"E	1330.43'
L2	N89°31'11"W	1013.36'
L3	N00°28'49"E	33.00'
L4	N89°31'11"W	15.00'
L5	N00°28'47"E	20.00'
L6	S89°31'11"E	15.00'
L7	S00°28'47"W	20.00'



SYMBOL AND ABBREVIATION LEGEND:

- CHANGE IN DIRECTION
- LB LICENSED BUSINESS
- PSM PROFESSIONAL SURVEYOR AND MAPPER

JOB #: 20220222

DATE: 2/16/26

SCALE: 1" = 20'

CALC BY: WB

DRAWN BY:

CHECKED BY: WB

SHEET 2 OF 2

SEE SHEET 1
FOR LEGAL DESCRIPTION



SURVEYING • MAPPING
GEOSPATIAL SERVICES
www.allen-company.com
16 EAST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 654-5355
LB#8627

LEGAL DESCRIPTION

NOT A SURVEY

A PARCEL OF LAND BEING A PORTION OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 18 SOUTH, RANGE 24 EAST OF LAKE COUNTY, FLORIDA.

BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTH 1/4 CORNER OF SAID SECTION 33; THENCE RUN NORTH 00°24'41" EAST ALONG THE EAST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 33 FOR A DISTANCE OF 1330.43 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 33; THENCE RUN NORTH 89°31'11" WEST ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 33 FOR A DISTANCE OF 645.29 FEET; THENCE DEPARTING SAID SOUTH LINE RUN NORTH 00°28'49" EAST FOR A DISTANCE OF 225.15 FEET TO THE POINT OF BEGINNING, THENCE RUN NORTH 89°35'56" WEST FOR A DISTANCE OF 18.99 FEET; THENCE RUN NORTH 00°24'04" EAST FOR A DISTANCE OF 15.00 FEET; THENCE RUN SOUTH 89°35'56" EAST FOR A DISTANCE OF 23.82 FEET; THENCE RUN SOUTH 38°47'48" WEST FOR A DISTANCE OF 14.14 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 25.00 FEET, WITH A CHORD BEARING OF SOUTH 44°48'55" EAST, AND A CHORD DISTANCE OF 5.56 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 12°46'35" FOR A DISTANCE OF 5.57 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 282.61 SQUARE FEET, OR 0.006 ACRES, MORE OR LESS.

SHEET 1 OF 2
SEE SHEET 2 FOR SKETCH OF DESCRIPTION



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SURVEYOR'S NOTES:

1. THIS LEGAL DESCRIPTION AND SKETCH IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER OR AN ELECTRONIC SIGNATURE THAT IS IN COMPLIANCE WITH FLORIDA ADMINISTRATIVE CODE 5J-17.062.
2. BEARINGS SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM EAST ZONE NORTH AMERICAN DATUM (NAD) OF 1983 WITH 2011 ADJUSTMENT AND DERIVING A BEARING BASED ON THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 33-18-24 EAST, AS BEING NORTH 89°31'11" WEST.
3. THIS LEGAL DESCRIPTION WAS PREPARED WITHOUT THE BENEFIT OF TITLE.
4. DELINEATION OF THE LANDS SHOWN HEREON ARE AS PER THE CLIENT'S INSTRUCTIONS.
5. THE RECORDING INFORMATION SHOWN HEREON WAS OBTAINED FROM THE LAKE COUNTY PUBLIC ACCESS WEBSITE.

JOB #: 20220222

DATE: 2/16/26

SCALE: 1" = 20'

CALC BY: WB

DRAWN BY:

CHECKED BY: WB

FOR THE LICENSED BUSINESS #8627 BY:

JAMES L. RICKMAN, PSM #5633

NOT A SURVEY



NOT
PLATTED

POB

SOUTH LINE OF THE NORTHEAST 1/4
- OF THE SOUTHWEST 1/4
OF SECTION 33-18-24

SOUTHEAST CORNER OF
THE NORTHEAST 1/4 OF
THE SOUTHWEST 1/4 OF
SECTION 33-18-24

EAST LINE OF THE
- SOUTHWEST 1/4 OF
SECTION 33-18-24

POC
SOUTH 1/4 CORNER
OF SECTION 33-18-24

SECTION 33-18-24
SECTION 4-19-24

LINE TABLE		
LINE	BEARING	LENGTH
L1	N00°24'41"E	1330.43'
L2	N89°31'11"W	645.29'
L3	N00°28'49"E	225.15'
L5	N89°35'56"W	18.99'
L6	N00°24'04"E	15.00'
L7	S89°35'56"E	23.82'
L8	S38°47'48"W	14.14'

CURVE TABLE					
CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C1	25.00'	S44°48'55"E	5.56'	012°46'35"	5.57'



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● CHANGE IN DIRECTION
 LB LICENSED BUSINESS
 PSM PROFESSIONAL SURVEYOR AND MAPPER
 NT NON-TANGENT

SCALE: 1" = 20'

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SEE SHEET 1
FOR LEGAL DESCRIPTION

LEGAL DESCRIPTION

NOT A SURVEY

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THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 613,096 SQUARE FEET, OR 14.07 ACRES, MORE OR LESS.

SHEET 1 OF 2
SEE SHEET 2 FOR SKETCH OF DESCRIPTION



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JOB #: 20220222

DATE: 2/16/26

SCALE: 1" = 20'

CALC BY: WB

DRAWN BY:

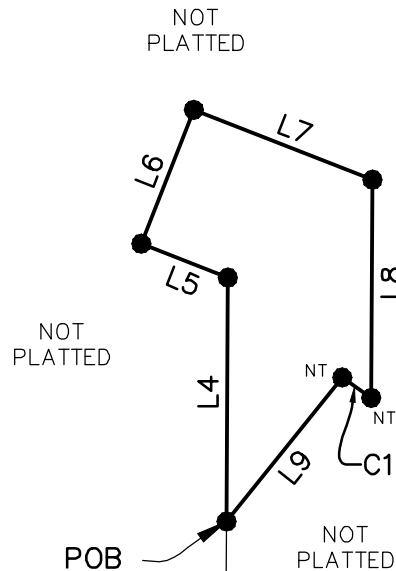
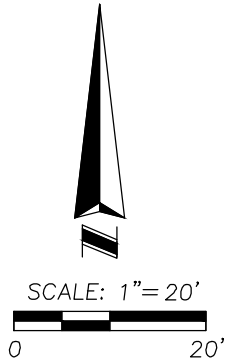
CHECKED BY: WB

FOR THE LICENSED BUSINESS #8627 BY:

JAMES L. RICKMAN, PSM #5633

SKETCH DESCRIPTION

NOT A SURVEY



LINE TABLE		
LINE	BEARING	LENGTH
L1	N00°24'41"E	1330.43'
L2	N89°31'11"W	630.16'
L3	N00°28'49"E	253.22'
L4	N00°19'34"E	25.37'
L5	N68°35'55"W	9.71'
L6	N21°24'05"E	15.00'
L7	S68°35'55"E	20.00'
L8	S00°19'34"W	22.70'
L9	S38°47'48"W	19.21'

SOUTH LINE OF THE NORTHEAST 1/4
OF THE SOUTHWEST 1/4
OF SECTION 33-18-24

SOUTHEAST CORNER OF
THE NORTHEAST 1/4 OF
THE SOUTHWEST 1/4 OF
SECTION 33-18-24

EAST LINE OF THE
SOUTHWEST 1/4 OF
SECTION 33-18-24

POC
SOUTH 1/4 CORNER
OF SECTION 33-18-24

SECTION 33-18-24
SECTION 4-19-24

CURVE TABLE

CURVE	RADIUS	CHORD BEARING	CHORD	DELTA	LENGTH
C1	25.00'	N55°26'02"W	3.69'	008°27'47"	3.69'

SYMBOL AND ABBREVIATION LEGEND:

- CHANGE IN DIRECTION
- LB LICENSED BUSINESS
- PSM PROFESSIONAL SURVEYOR AND MAPPER
- NT NON-TANGENT

JOB #: 20220222

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SCALE: 1" = 20'

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SHEET 2 OF 2

SEE SHEET 1
FOR LEGAL DESCRIPTION



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CITY OF FRUITLAND PARK
STAFF REPORT BY LPG URBAN & REGIONAL PLANNERS, LLC

SITE PLAN

Owner: Southwinds Commercial, LTD

General Location: 2307 Spring Lake Road

Number of Acres: 14.07 ± acres

Existing Zoning: Planned Unit Development (PUD)

Existing Land Use: Multi-Family High Density (15 du/acre) & Single Family Medium Density (4 du/acre)

Date: March 16, 2026

Description of Project

The proposed development consists of 14.07 ± acres with 1.79 +/- acres of wetlands. The remaining 12.28 +/- acres will be developed for multi-family residential uses. There are 11 one-unit villas, 25 one-story villas (2 units), and 56 dwellings in two-story apartments for a total of 92 units and an overall gross density of 7.67 units/acre. It should be noted that no structures are proposed within the SFMD land use as it will be utilized for stormwater and buffers. Access for the development would occur from Spring Lake Road via a proposed dual boulevard.

	Surrounding Zoning	Surrounding Land Use
North	PUD	Multi-Family High Density (15 units/acre)
South	Ag, R-1, and R-3 (Lake County)	Urban Medium Density (Lake County) (7 units/acre)
East	PUD	Multi-Family High Density (15 units/acre)
West	Ag (Lake County)	Urban Medium Density (Lake County) (7 units/acre)

Assessment

Developers Agreement and Conceptual Plan

The conceptual plan attached to the Master Developers Agreement identifies one (1) community amenity/leasing office with a fitness center, and one (1) landscaped park, with mews and a gazebo and other recreational amenities. The revised site plan reflects a boardwalk with

platform, bocce court, recreation center within the building, and a landscape park with gazebo as amenities.

Chapter 154 requires a minimum of 25% of common open space (3.07 acres) of which portions should be suitably improved to meet the recreational needs of the community. Total open space proposed is 6.31 acres (51%) and it appears to consist of buffers, stormwater, landscaped areas, and other pervious areas. The MDA allows stormwater ponds as open space if designed as an amenity (Section 6, f). The applicant provided a response in regards to open space indicating that common open space consisted of landscape buffers of 1.44 acres, stormwater pond with observation deck of 1.15 acres, parking island landscaping of 0.17 acres, and open space around apartment of 0.63 acres. Total community open space of 3.39 acres exceeds the minimum requirement.

The plan notes indicate a standard parking space of 9' x 18'. however, the standard parking space is 10' x 20' (Chapter 162, Section 162.060(a)(4)(A)). A reduction in the required width may be reduced to 9' wide and a length may be reduced to 18' to increase internal landscaped area above the minimum specified by the Land Development Code, and to preserve existing specimen trees. The applicant indicates that the median width has been increased to allow for additional landscaping above the code requirements. The revised site plan notes (Sheet C005) indicating that the internal landscaped areas have been increased (Chapter 162, Section 162.060(a)(4)(C)(ii). The MDA, Section 7(e) requires building perimeter planting which is above what the land development code requires. Sheet PL001 does note that the landscape island areas have been increased.

The MDA requires the elevations to meet certain design criteria (Section 7). Review of the proposed elevations indicate that they appear to meet the design criteria.

Tree mitigation proposed on 121 trees removed meets the 40% replacement (Sheet PL-001) Sheet PL-002 indicates 9 historic trees and 13 specimen trees are to be removed. The majority of the historic trees to be removed are for the construction of the stormwater pond and the majority of the specimen trees to be removed is for site grading. Historical or specimen trees shall not be removed without the finding of the City Commission that the tree is a hazard or that it is not feasible to develop the site without removing the tree (Chapter 164, Section 164.090(C)(6)(f)).

Schools

Lake County Schools issued a letter indicating that the proposed 25 students generated would be considered a de minimus impact.

Environmental Assessment

An Ecological Assessment was performed by res + ESciences in 2022. The assessment indicates the presence of wetlands (approximately 2.1 acres including the open water area of Lake Geneva)

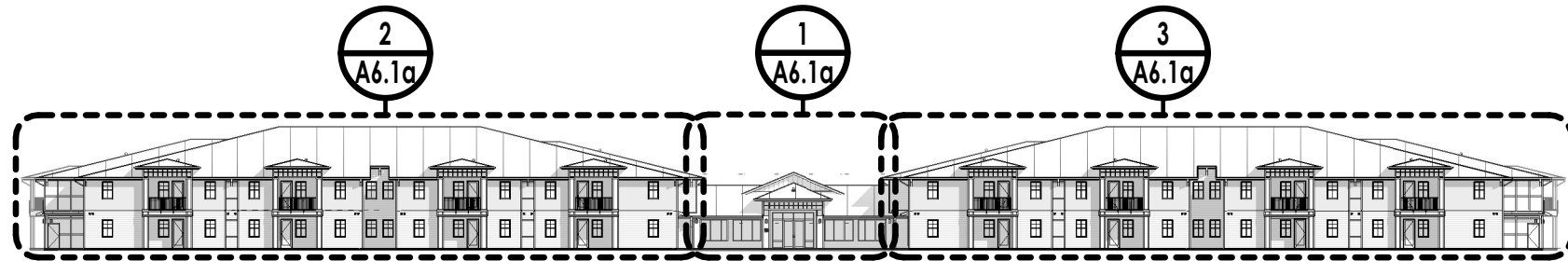
with a forested wetland along the shore. Wetland alterations would be regulated through the SJRWMD and FDEP through FDEP assumption of the Section 404 permitting program. The site contains suitable habitat for the presence of gopher tortoises, so while they were not observed on the site, a follow up survey is recommended prior to development. The revised submittal indicates that an updated environmental assessment is being conducted pursuant to SJRWMD permitting.

Concurrency

The applicant has submitted a TIA exemption per the Lake-Sumter Metropolitan Planning Organization guidelines pursuant to Chapter 153, Section 153.040.

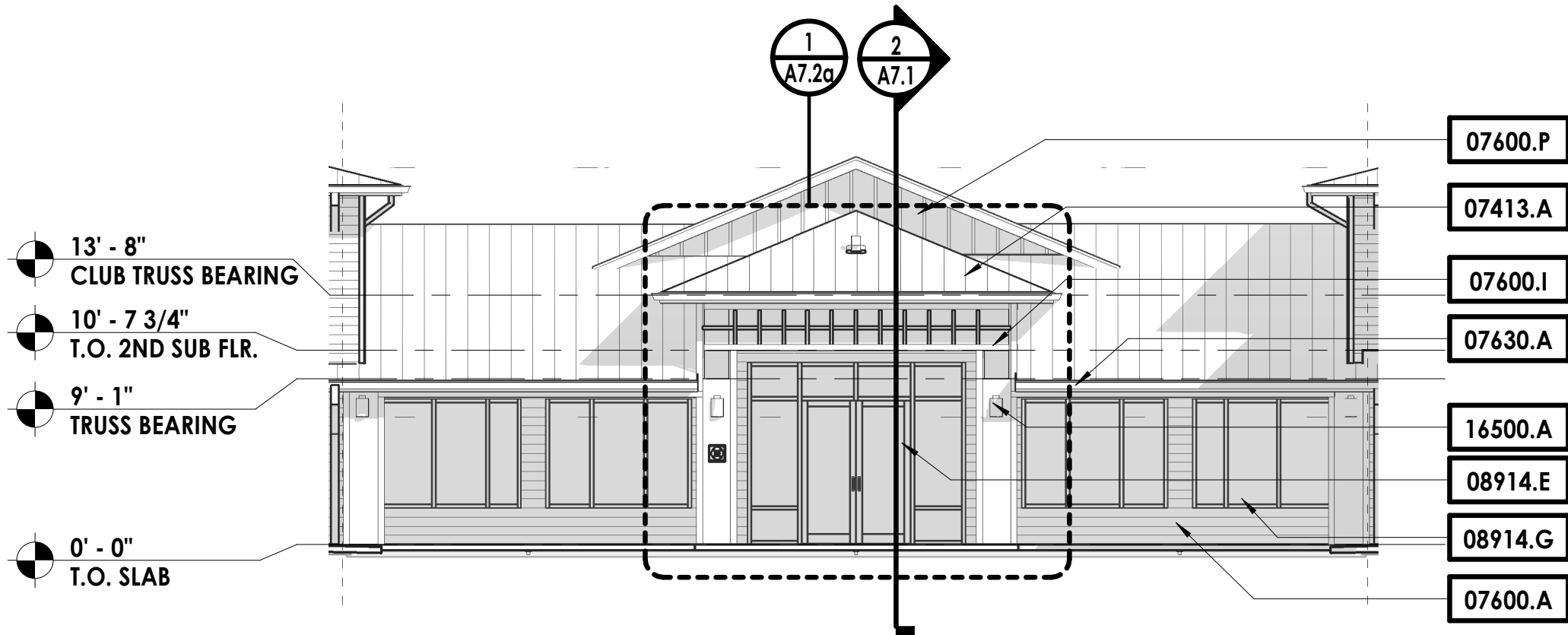
Recommendation

The revised site plan meets the minimum technical requirements of the LDRs regarding planning items. Staff recommends approval subject to engineering approval.



FRONT ELEVATION KEY

SCALE: 1" = 50'-0"



FRONT ELEVATION CENTER

SCALE: 1/8" = 1'-0"



FRONT ELEVATION A

SCALE: 1/8" = 1'-0"



FRONT ELEVATION B

SCALE: 1/8" = 1'-0"

GENERAL NOTES ELEVATIONS

- CONFIRM ALL FINISH GRADE AND FINISH FLOOR ELEVATIONS WITH APPROVED SITE ENGINEERING.
- CONFIRM PORCH AND STEP REQUIREMENTS WITH APPROVED CIVIL ENGINEERING. PROVIDE CONTINUOUS VENTED SOFFIT AT ALL OVERHANGS.
- ALL VENTS, STACKS, ETC. SHALL BE PAINTED TO MATCH BUILDING ROOF COLOR AS APPROVED BY OWNER.
- PAINT INTERIOR & EXTERIOR METAL FINISHES UNLESS PROVIDED WITH FACTORY FINISH. SEE ROOF PLANS FOR ROOF SLOPES AND OVERHANGS.
- EXTERIOR MATERIALS, DETAILING AND COLORS TO WRAP CORNER AT ALL BAY CONDITIONS AND TERMINATE AT THE INSIDE CORNER, UNO.
- SEAL ALL WALL PENETRATIONS WITH MEMBRANE FLASHING AT SURFACE OF EXTERIOR SHEATHING, UNO. SEE WATERPROOFING DETAILS.
- PROVIDE BLOCKING AT ALL ITEMS TO BE ATTACHED TO INTERIOR OR EXTERIOR WALLS INCLUDING, BUT NOT LIMITED TO, BLOCKING FOR LIGHTS AT DWELLINGS, ENTRANCE ID NUMBERS AND BUILDING ADDRESSES.
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (NFPA 1) 10.11.1.1
- ADDRESS NUMBERS SHALL HAVE A MINIMUM OF 4 IN. (100MM) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 IN. (13 MM). NFPA 1 10.11.1.2., AND COMPLY WITH NFPA 1 SECTIONS 10.11.1.3 THROUGH 10.11.1.4.
- ADDRESS SIGNS SHALL HAVE MOUNTING SCREW HOLE PUTTIED AND PAINTED.
- BUILDING ID SIGNAGE TO BE INSTALLED BY CONTRACTOR.
- UNIT ID SIGNS TO BE MOUNTED WITH STAINLESS STEEL SCREWS AND CLEAR SILICONE CAULKING. (BY CONTRACTOR).
- ALL FACTORY FINISH CONDUCTORS, SCUPPER AND DOWNSPOUTS TO MATCH ADJACENT WALL OR TRIM BEHIND IT.
- PROVIDE CONTINUOUS VENTING FOR 1ST & 2ND FLOOR COLUMNS.
- COORDINATE LOCATION OF ELECTRICAL METERS AND PANELS WITH SITE ELECTRICAL.
- PAINT ALL BUILDING MOUNTED EXTERIOR METERS, ELECTRICAL PANELS, TEL., CATV, AND ANY OTHERS, TO MATCH ADJACENT WALLS. VENTS MUST BE PRE-FINISHED AND MATCH WALL OR AS APPROVED BY OWNER.
- COORDINATE WITH ELECTRICAL SITE PLAN THE LOCATIONS OF WALL PACKS AND FLOOD LIGHTS.
- SEE ELECTRICAL PLAN FOR ALL EXTERIOR BUILDING MOUNTED LIGHT FIXTURES.
- GC TO CONSOLIDATE AND ALIGN (VERTICALLY AND HORIZONTALLY) ALL DRYER AND EXHAUST VENTS. PROVIDE FLAT FIBER CEMENT MOUNTING BLOCK AT EACH LOCATION. COORDINATE WITH MEP, ARCHITECTURAL AND STRUCTURAL. GC TO REVIEW TRUSS SHOP DRAWINGS AND CONFIRM SPACING PRIOR TO APPROVAL. PAINT TO MATCH ADJACENT SURFACE.
- RAILINGS TO BE ENGINEERED TO ATTACH TO WALLS OR AT VERTICAL FACES. RAILING SHALL NOT ATTACH THROUGH CONCRETE TOPPING OR HORIZONTAL WATERPROOFING MEMBRANES. HARDI PANEL TO BE INSTALLED IN A MANNER, THAT NO SEAMS ARE EXPOSED.
- PROVIDE 1x4" CEMENTITIOUS CORNER TRIM AT CORNERS OF ALL COLUMNS CLAD WITH CEMENTITIOUS PANELS.
- ALL FIBER CEMENT TO BE PRIMED AND PAINTED. PANEL WITH BATTENS PAINTED TO MATCH. VERIFY TEXTURE.
- APPLY APPROVED FOAM ADHESIVE TO BACKSIDE OF FOAM ELEMENTS IN VERTICAL FASHION TO ACCOMMODATE POSITIVE DRAINAGE AND MINIMIZE THE RISK OF MOISTURE BEING TRAPPED BEHIND THE TRIMS.
- ALL ROOF COVERINGS TO MEET REQUIREMENTS OF FBC 2023.
- ALL DOORS AND WINDOWS TO MEET DESIGN PRESSURES SHOWN ON STRUCTURAL DRAWINGS.
- APPLY APPROVED FOAM ADHESIVE TO BACKSIDE OF FOAM ELEMENTS IN VERTICAL FASHION TO ACCOMMODATE POSITIVE DRAINAGE AND MINIMIZE THE RISK OF MOISTURE BEING TRAPPED BEHIND THE TRIMS.
- ALL ROOF COVERINGS TO MEET REQUIREMENTS OF FBC 2023.
- ALL DOORS AND WINDOWS TO MEET DESIGN PRESSURES SHOWN ON STRUCTURAL DRAWINGS.
- DOOR AND WINDOW MANUFACTURER SHALL PROVIDE CERTIFICATION, SIGNED AND SEALED, BY A REGISTERED FLORIDA PROFESSIONAL.
- COORDINATE ALL EXTERIOR BUILDING MOUNTED LIGHT LOCATIONS WITH ELECTRICAL AND LANDSCAPE PLANS.
- ALL DRYER/BATH EXHAUST AND INTAKE VENT LOCATIONS SHALL BE CAREFULLY COORDINATED WITH THE PLACEMENTS OF THE WINDOW OPENINGS, BUILDING TRIM AND BUILDING MOUNTED LIGHTS. A PLAN IDENTIFYING THE LOCATIONS OF EACH VENT SHALL BE SUBMITTED BY THE HVAC CONTRACTOR TO THE OWNER FOR APPROVAL PRIOR TO INSTALLATION.

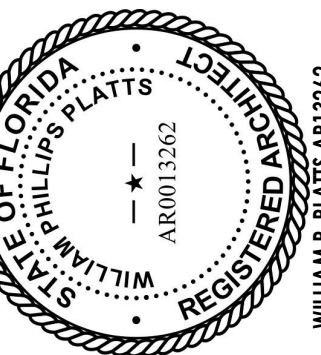
SELECTIVE CONDOC NOTES

KEY VALUE	KEYNOTE TEXT
05720.E	1-1/2" DIA. ALUMINUM GUARDRAIL
07413.A	MANUFACTURED STANDING SEAM METAL ROOF. 18" PANELS, 24 GA DESIGN BASIS: MBCI
07600.A	FIBER CEMENT SIDING
07600.H	FIBER CEMENT PANEL
07600.I	FIBER CEMENT TRIM
07600.P	FIBER CEMENT BOARD W/BATTENS
07630.A	ALUM. GUTTERS AND DOWNSPOUTS 6"
08914.C	SINGLE HUNG WINDOW
08914.E	ALUMINUM STOREFRONT ENTRANCE SYSTEM
08914.G	ALUMINUM STOREFRONT WINDOW SYSTEM
16500.A	LIGHTING FIXTURE

REVISIONS
PERMIT SET
03-14-25

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WATERVUE AT LAKE GENEVA
APARTMENTS



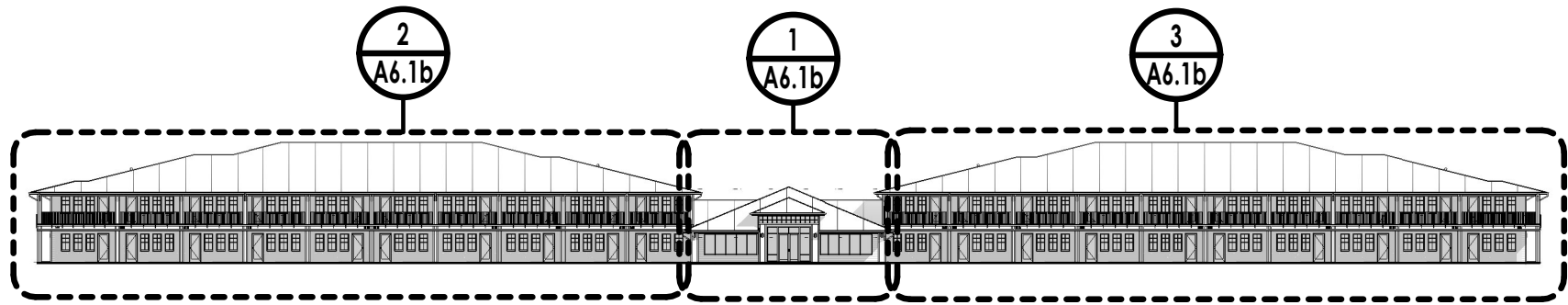
FLORIDA

WATERVUE AT LAKE GENEVA
APARTMENTS

EXTERIOR ELEVATIONS

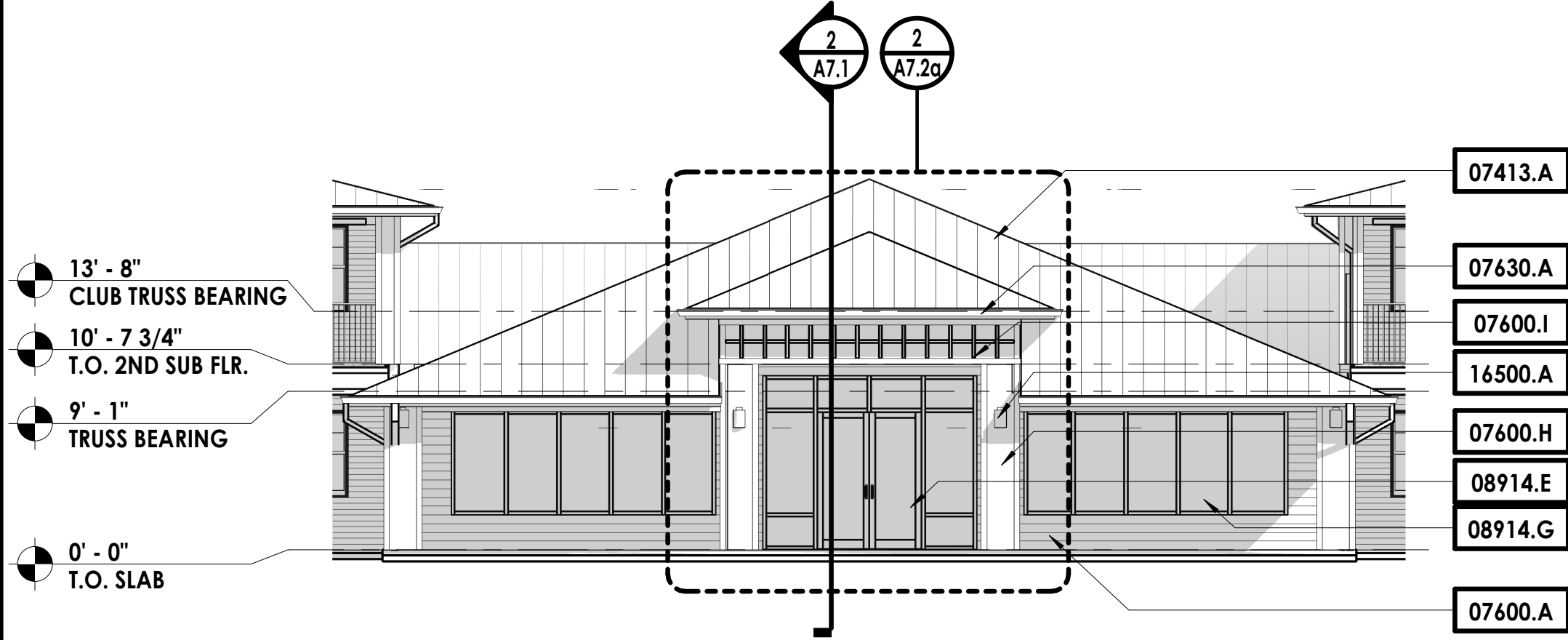
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23-002
SHEET

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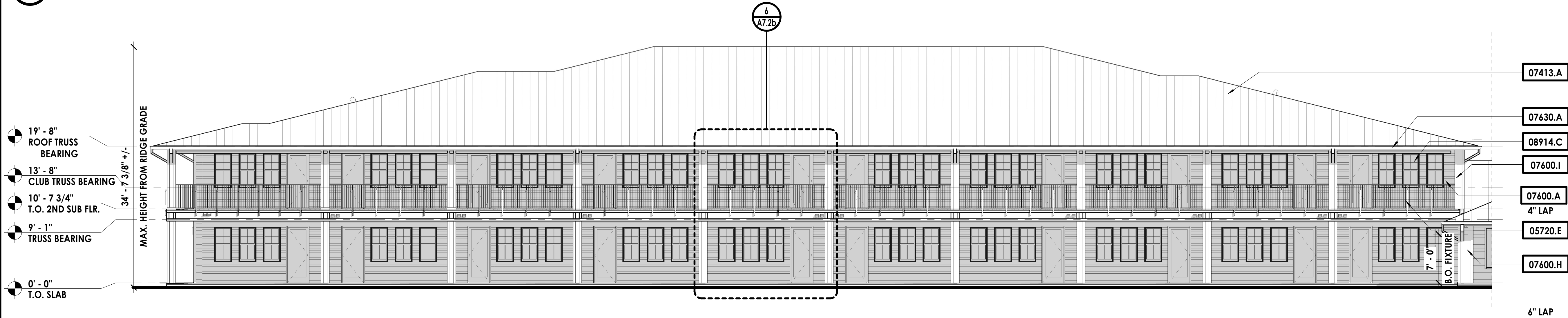
REAR ELEVATION KEY

SCALE: 1" = 50'-0"



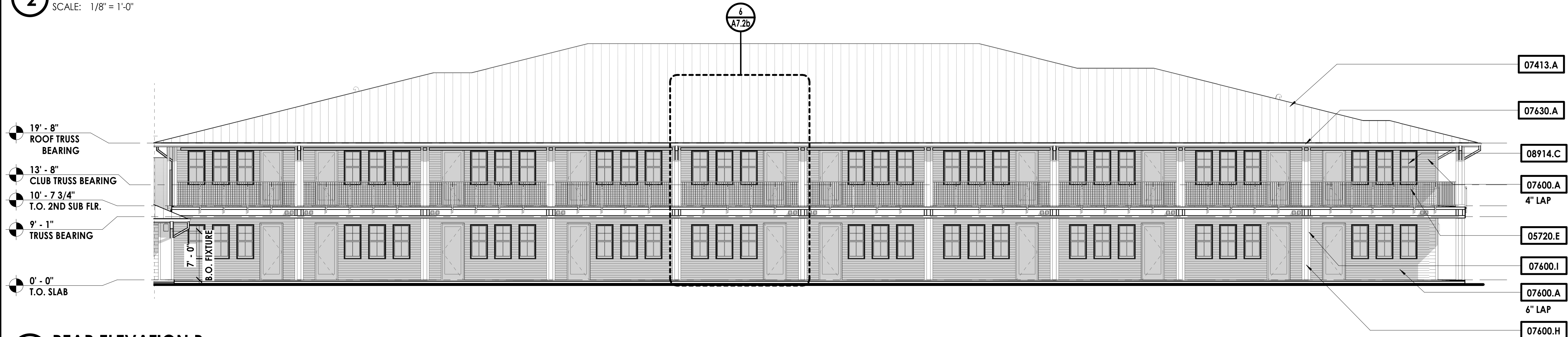
REAR ELEVATION CENTER

SCALE: 1/8" = 1'-0"



REAR ELEVATION A

SCALE: 1/8" = 1'-0"



REAR ELEVATION B

SCALE: 1/8" = 1'-0"

SELECTIVE CONDOC NOTES

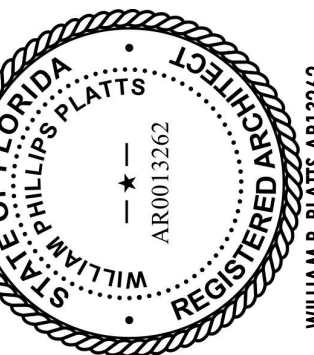
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07600.H	FIBER CEMENT PANEL
07600.I	FIBER CEMENT TRIM
07630.A	ALUM. GUTTERS AND DOWNSPOUTS 6"
08914.C	SINGLE HUNG WINDOW
08914.E	ALUMINUM STOREFRONT ENTRANCE SYSTEM
08914.G	ALUMINUM STOREFRONT WINDOW SYSTEM
16500.A	LIGHTING FIXTURE

GENERAL NOTES:

SEE FIRST SHEET OF SERIES FOR APPLICABLE GENERAL NOTES.

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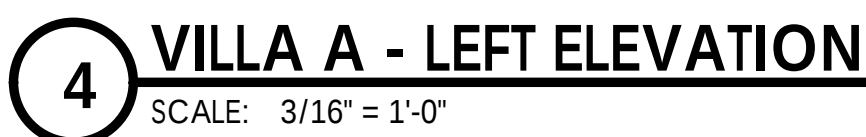
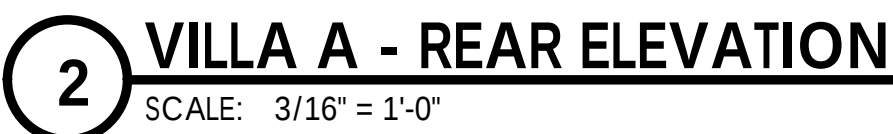
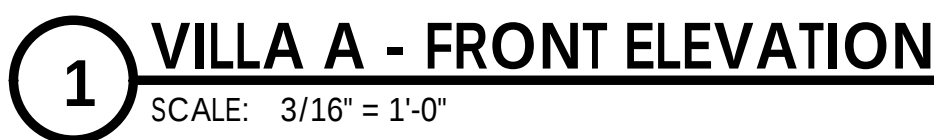


FLORIDA
WATERVUE AT LAKE GENEVA
APARTMENTS
FRUITLAND PARK

DRAWN
SPA
CHECKED
WPP
DATE
03-14-25
SCALE
As indicated
JOB NO.
23-002
SHEET

A6.1b

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GENERAL NOTES ELEVATIONS

- | | | | |
|-----|--|-----|---|
| 1. | CONFIRM ALL FINISH GRADE AND FINISH FLOOR ELEVATIONS WITH APPROVED SITE ENGINEERING. | 17. | PAINT ALL BUILDING MOUNTED EXTERIOR METERS, ELECTRICAL PANELS, LTV, CATV, AND ANY OTHERS, TO MATCH ADJACENT WALLS. VENTS MUST BE PRE-FINISHED AND MATCH WALL OR AS APPROVED BY OWNER. |
| 2. | CONFIRM PORCH AND STEP REQUIREMENTS WITH APPROVED CIVIL ENGINEERING. PROVIDE CONTINUOUS VENTED SOFFIT AT ALL OVERHANGS. | 18. | COORDINATE WITH ELECTRICAL SITE PLAN THE LOCATIONS OF WALL PACKS AND FLOOD LIGHTS. |
| 3. | ALL VENTS, STACKS, ETC. SHALL BE PAINTED TO MATCH BUILDING ROOF COLOR AS APPROVED BY OWNER. | 19. | SEE ELECTRICAL PLAN FOR ALL EXTERIOR BUILDING MOUNTED LIGHT FIXTURES. |
| 4. | PAINT INTERIOR & EXTERIOR METAL FINISHES UNLESS PROVIDED WITH FACTORY FINISH. | 20. | GC TO CONSOLIDATE AND ALIGN (VERTICALLY AND HORIZONTALLY) ALL DRYER AND EXHAUST VENTS. PROVIDE FLAT FIBER CEMENT MOUNTING BLOCK AT EACH LOCATION. COORDINATE WITH MEP, ARCHITECTURAL AND STRUCTURAL. GC TO REVIEW TRUSS SHOP DRAWINGS AND CONFIRM SPACING PRIOR TO APPROVAL. PAINT TO MATCH ADJACENT SURFACE. |
| 5. | SEE ROOF PLANS FOR ROOF SLOPES AND OVERHANGS. | 21. | RAILINGS TO BE ENGINEERED TO ATTACH TO WALLS OR AT VERTICAL FACES. RAILING SHALL NOT ATTACH THROUGH CONCRETE TOPPING OR HORIZONTAL WATERPROOFING MEMBRANES. |
| 6. | EXTERIOR MATERIALS, DETAILING AND COLORS TO WRAP CORNER AT ALL BAY CONDITIONS AND TERMINATE AT THE INSIDE CORNER, UNO. | 22. | HARDI PANEL TO BE INSTALLED IN A MANNER, THAT NO SEAMS ARE EXPOSED. |
| 7. | SEAL ALL WALL PENETRATIONS WITH MEMBRANE FLASHING AT SURFACE OF EXTERIOR SHEATHING, UNO. SEE WATERPROOFING DETAILS. | 23. | ALL FIBER CEMENT TO BE PRIMED AND PAINTED, PANEL WITH BATTENS PAINTED TO MATCH. VERIFY TEXTURE. |
| 8. | PROVIDE BLOCKING AT ALL ITEMS TO BE ATTACHED TO INTERIOR OR EXTERIOR WALLS INCLUDING, BUT NOT LIMITED TO, BLOCKING FOR LIGHTS AT DWELLINGS, ENTRANCE ID NUMBERS AND BUILDING ADDRESSES. | 24. | APPLY APPROVED FOAM ADHESIVE TO BACKSIDE OF FOAM ELEMENTS IN VERTICAL FASHION TO ACCOMMODATE POSITIVE DRAINAGE AND MINIMIZE THE RISK OF MOISTURE BEING TRAPPED BEHIND THE TRIMS. |
| 9. | BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION TO BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (NFPA 1) 10.11.1.1 | 25. | ALL ROOF COVERINGS TO MEET REQUIREMENTS OF FBC-R 2023. |
| 10. | ADDRESS NUMBERS SHALL HAVE A MINIMUM OF 4 IN. (100MM) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 IN. (13 MM), NFPA 1 10.11.2., AND COMPLY WITH NFPA 1 SECTIONS 10.11.1.3 THROUGH 10.11.1.4. | 26. | ALL DOORS AND WINDOWS TO MEET DESIGN PRESSURES SHOWN ON STRUCTURAL DRAWINGS. |
| 11. | ADDRESS SIGNS SHALL HAVE MOUNTING SCREW HOLE PUTTIED AND PAINTED. | 27. | DOOR AND WINDOW MANUFACTURER SHALL PROVIDE CERTIFICATION, SIGNED AND SEALED, BY A REGISTERED FLORIDA PROFESSIONAL. |
| 12. | BUILDING ID SIGNAGE TO BE INSTALLED BY CONTRACTOR. | 28. | COORDINATE ALL EXTERIOR BUILDING MOUNTED LIGHT LOCATIONS WITH ELECTRICAL AND LANDSCAPE PLANS. |
| 13. | UNIT ID SIGNS TO BE MOUNTED WITH STAINLESS STEEL SCREWS AND CLEAR SILICONE CAULKING. (BY CONTRACTOR). | 29. | ALL DRYER/BATH EXHAUST AND INTAKE VENT LOCATIONS SHALL BE CAREFULLY COORDINATED WITH THE PLACEMENTS OF THE WINDOW OPENINGS, BUILDING TRIM AND BUILDING MOUNTED LIGHTS. A PLAN IDENTIFYING THE LOCATIONS OF EACH VENT SHALL BE SUBMITTED BY THE HVAC CONTRACTOR TO THE OWNER FOR APPROVAL PRIOR TO INSTALLATION. |
| 14. | ALL FACTORY FINISH CONDUCTORS, SCUPPER AND DOWNSPOUTS TO MATCH ADJACENT WALL OR TRIM BEHIND IT. | | |
| 15. | COORDINATE LOCATION OF ELECTRICAL METERS AND PANELS WITH SITE ELECTRICAL. | | |

[illegible]

SLOCUM PLATTS
ARCHITECTS, P.A.



VILLA A - EXTERIOR ELEVATIONS

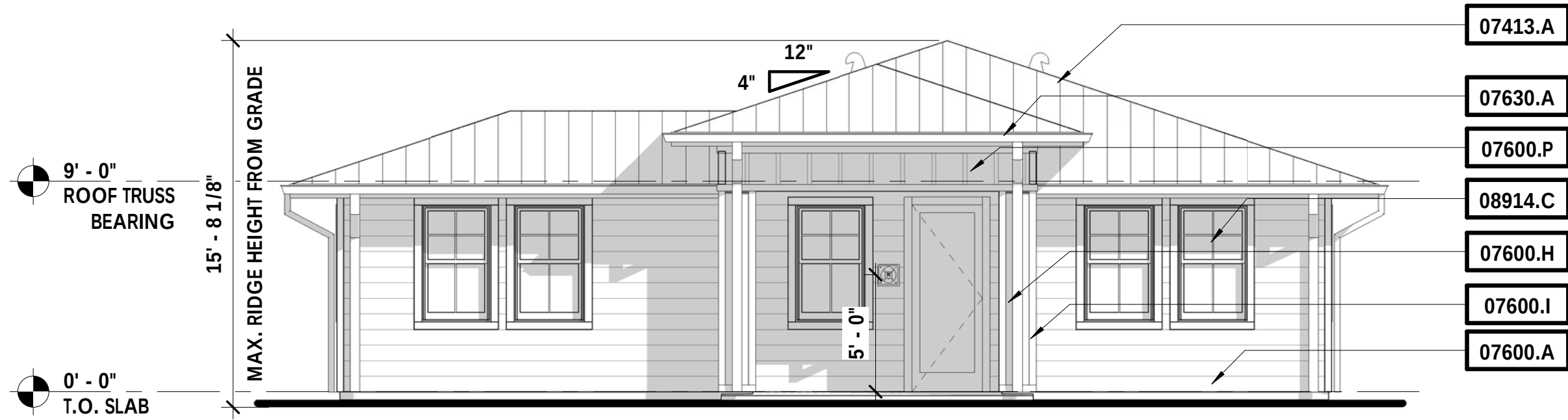
WATERVUE AT LAKE GENEVA VILLAS

FRUITLAND PARK

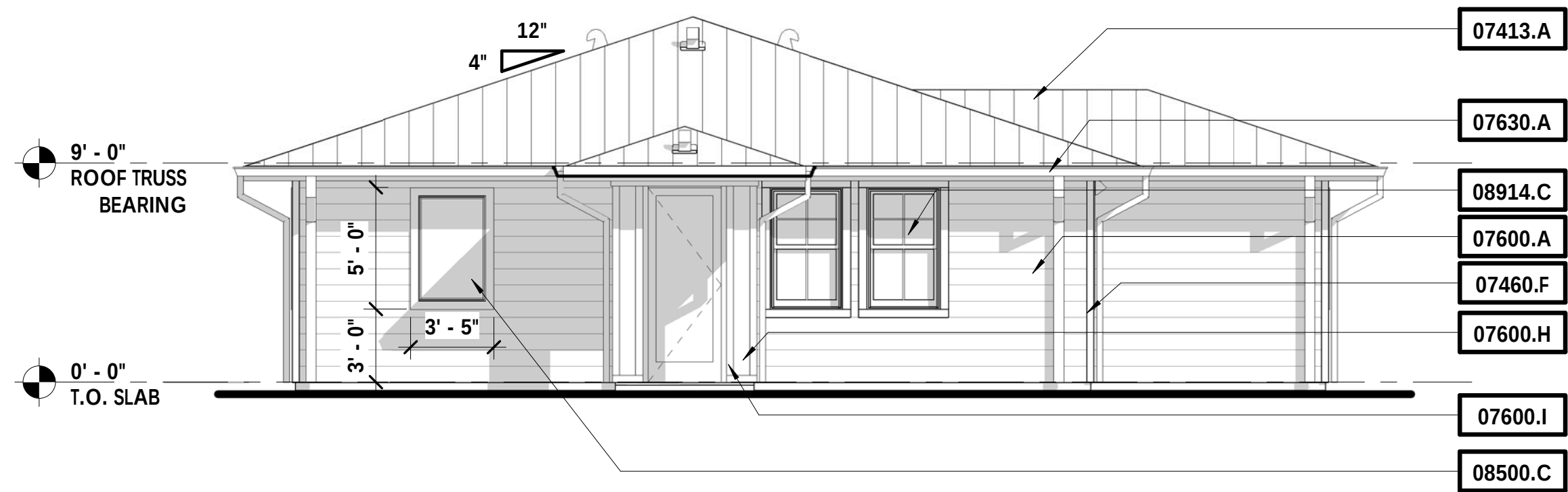
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CHECKED WPP
DATE 03-14-25
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JOB NO. 23-002
SHEET

A6.1a

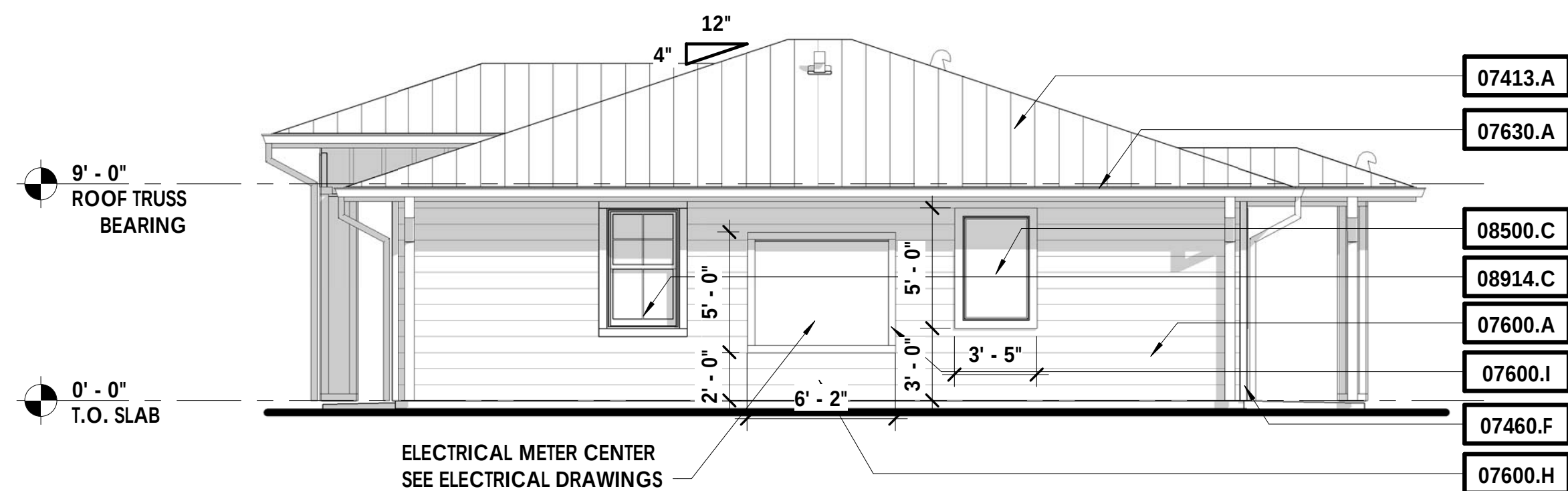
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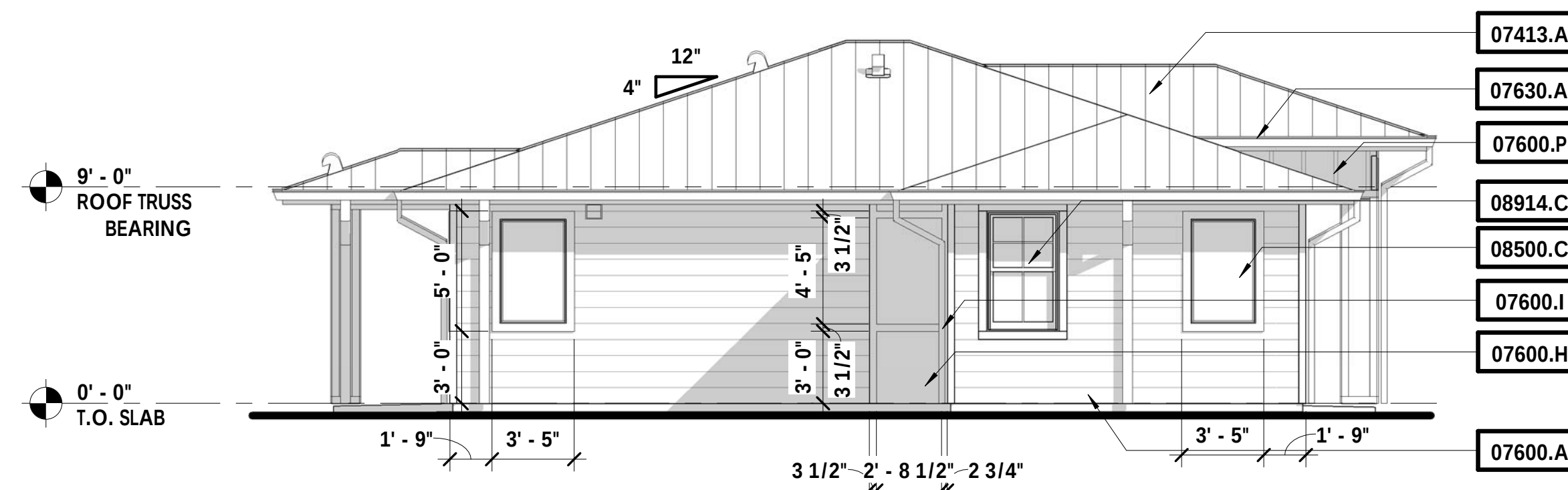
1 VILLA B - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 VILLA B - REAR ELEVATION
SCALE: 3/16" = 1'-0"



3 VILLA B - RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



4 VILLA B - LEFT ELEVATION
SCALE: 3/16" = 1'-0"

SELECTIVE CONDOC NOTES	
KEY VALUE	KEYNOTE TEXT
07413.A	MANUFACTURED STANDING SEAM METAL ROOF. 18" PANELS, 24 GA DESIGN BASIS: MBCI
07460.F	VINYL TRIM
07600.A	FIBER CEMENT SIDING
07600.H	FIBER CEMENT PANEL
07600.I	FIBER CEMENT TRIM
07600.P	FIBER CEMENT BOARD W/BATTENS
07630.A	ALUM. GUTTERS AND DOWNSPOUTS 6"
08500.C	DECORATIVE HARDI SHUTTERS - FASTEN OVER STUCCO OR SIDING WITH NEOPRENE SPACERS
08914.C	SINGLE HUNG WINDOW

- ### GENERAL NOTES ELEVATIONS
- CONFIRM ALL FINISH GRADE AND FINISH FLOOR ELEVATIONS WITH APPROVED SITE ENGINEERING.
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 - SEAL ALL WALL PENETRATIONS WITH MEMBRANE FLASHING AT SURFACE OF EXTERIOR SHEATHING, UNO. SEE WATERPROOFING DETAILS.
 - PROVIDE BLOCKING AT ALL ITEMS TO BE ATTACHED TO INTERIOR OR EXTERIOR WALLS INCLUDING, BUT NOT LIMITED TO, BLOCKING FOR LIGHTS AT DWELLINGS, ENTRANCE ID NUMBERS AND BUILDING ADDRESSES.
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REVISIONS
PERMIT SET
03-14-25

SLOCUM PLATTS
ARCHITECTS, P.A.

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TEL (407)445-3019 FAX (407)645-5771
WWW.SLOCUMPLATTS.COM

WILLIAM P. PLATTS AR 13262

VILLA B - EXTERIOR ELEVATIONS

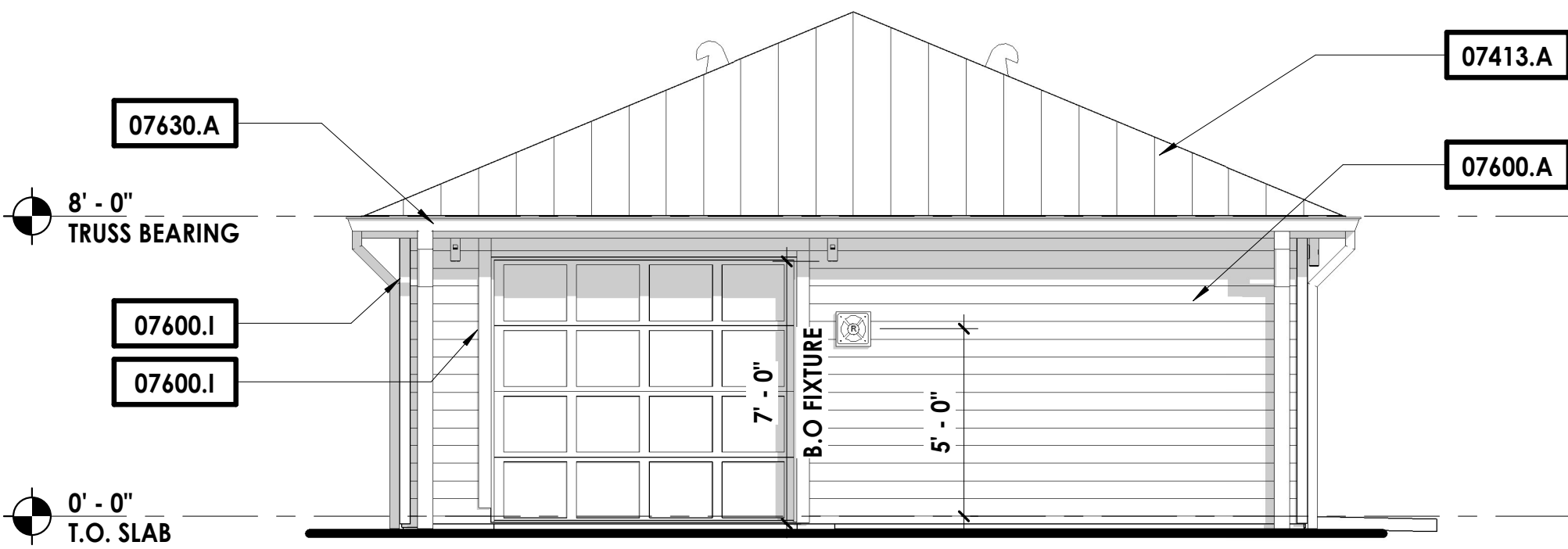
WATERVUE AT LAKE GENEVA
VILLAS - B

FLORIDA
FRUITLAND PARK

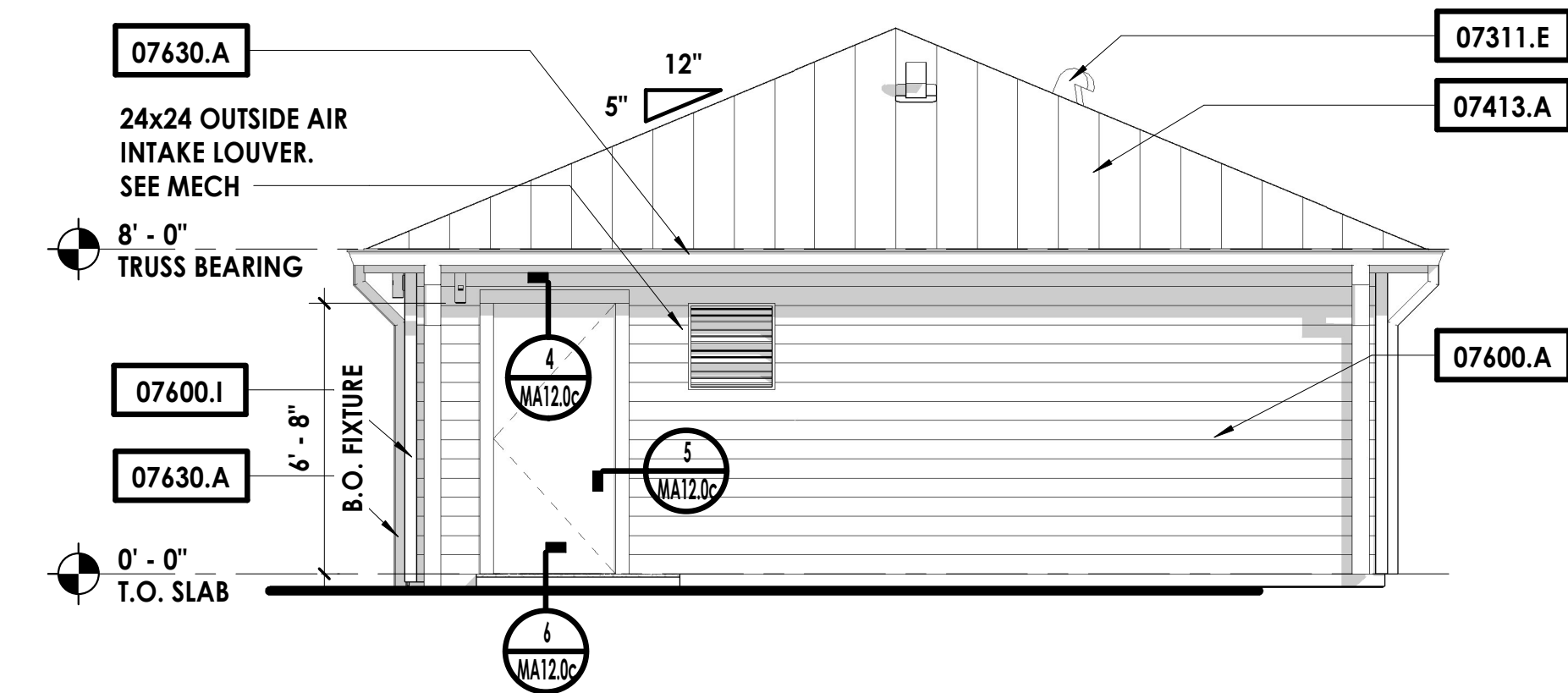
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DATE
03-14-25
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JOB NO.
23-002
SHEET

A6.1

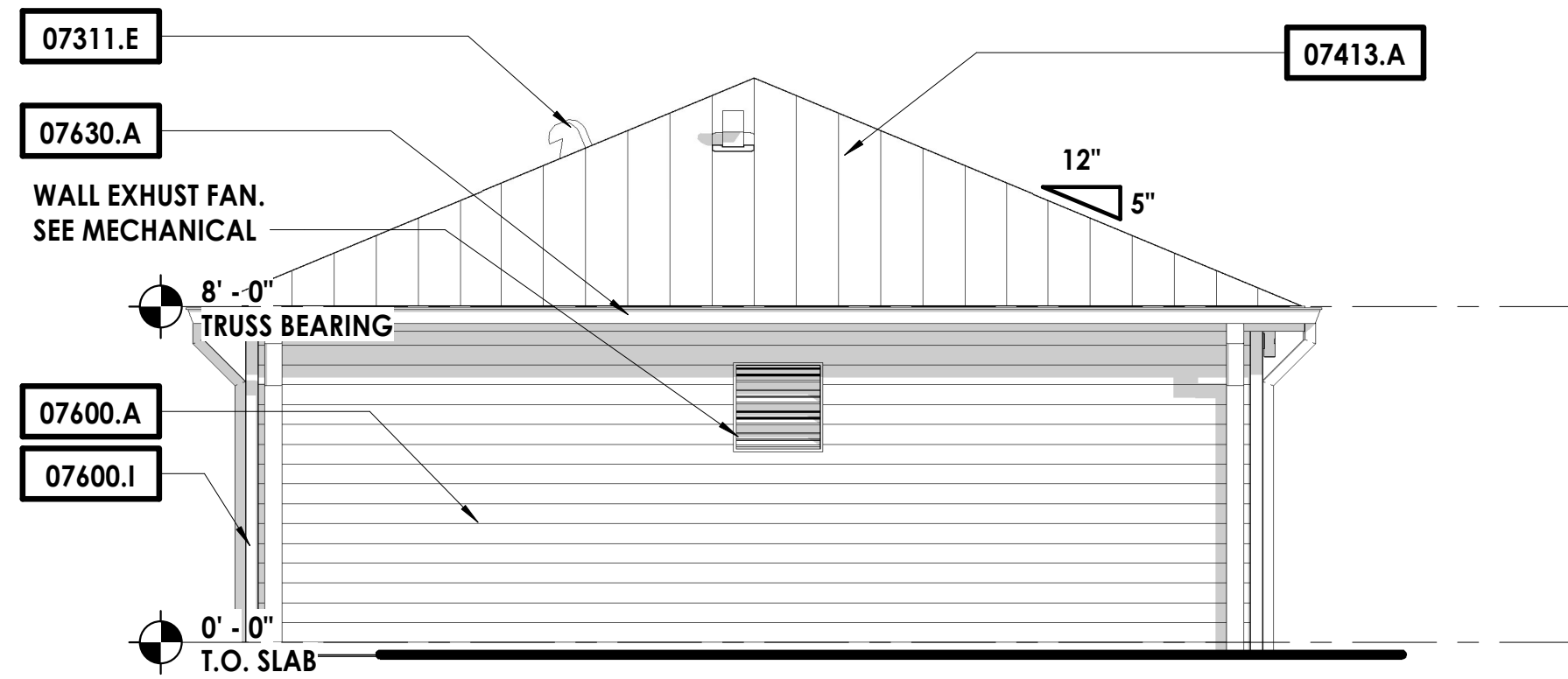
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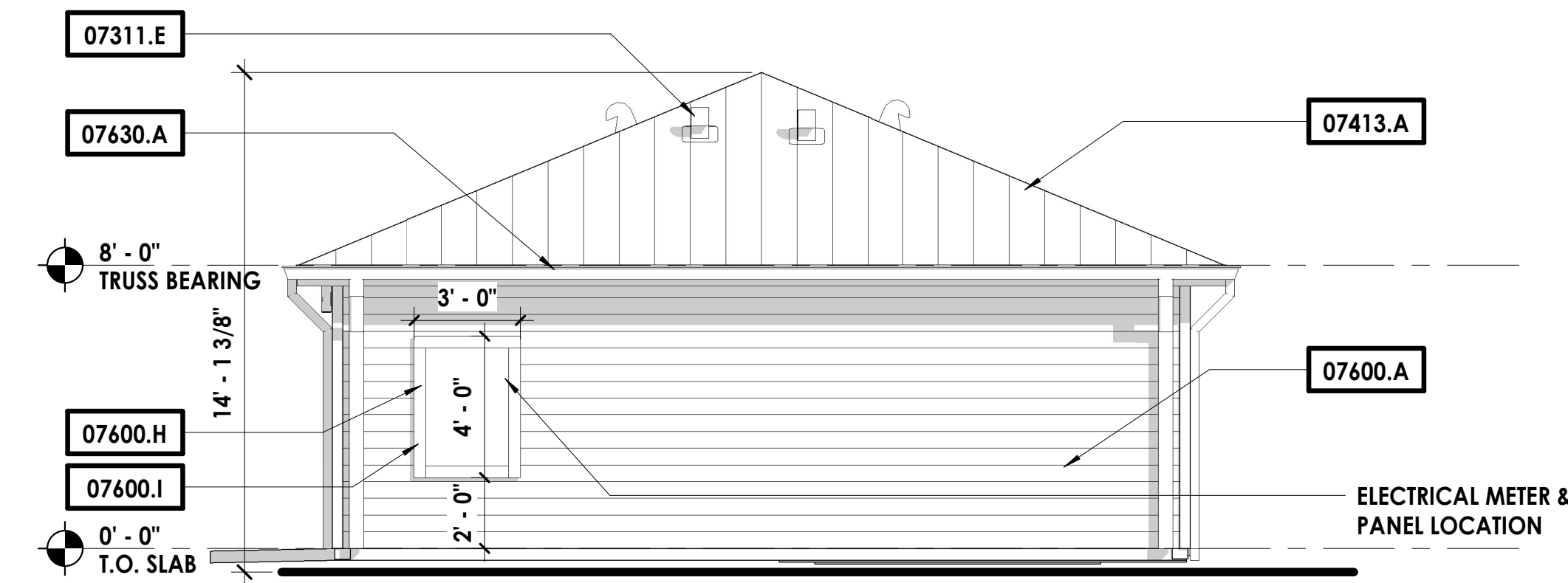
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



3 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION
SCALE: 1/4" = 1'-0"

SELECTIVE CONDOC NOTES	
KEY VALUE	KEYNOTE TEXT
07311.E	GALVANIZED GOOSE NECK VENT. INSTALL PER MANUFACTURERS INSTRUCTIONS. PAINT TO MATCH ROOF.
07413.A	MANUFACTURED STANDING SEAM METAL ROOF. 18" PANELS, 24 GA DESIGN BASIS: MBCI
07600.A	FIBER CEMENT SIDING
07600.H	FIBER CEMENT PANEL
07600.I	FIBER CEMENT TRIM
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 - HARDI PANEL TO BE INSTALLED IN A MANNER, THAT NO SEAMS ARE EXPOSED.
 - PROVIDE 1x4" CEMENTITIOUS CORNER TRIM AT CORNERS OF ALL COLUMNS CLAD WITH CEMENTITIOUS PANELS.
 - ALL FIBER CEMENT TO BE PRIMED AND PAINTED, PANEL WITH BATTENS PAINTED TO MATCH. VERIFY TEXTURE.

REVISIONS
PERMIT SET
03-14-25

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MAINT. BLDG. EXTERIOR ELEVATIONS

WATERVUE AT LAKE GENEVA
AMENITIES

FLORIDA
FRUITLAND PARK

DRAWN
SPA

CHECKED
WPP

DATE
03-14-25

SCALE
As indicated

JOB NO.
24-007

SHEET

MA11.3b

The Villages[®] DAILY SUN

Published Daily
State of Florida
County Of Sumter

Affidavit of Publication

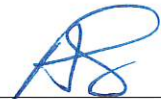
Before the undersigned authority personally
Appeared **Amber Sevison** who on oath says that
he or she is Legal Ad Coordinator of the Villages
DAILY SUN, a daily newspaper published in
Sumter County, Florida with circulation in Lake,
Sumter and Marion Counties; that the attached
copy of advertisement, being a Legal Ad # **01302793**
in the matter of

NOTICE OF PUBLIC HEARING

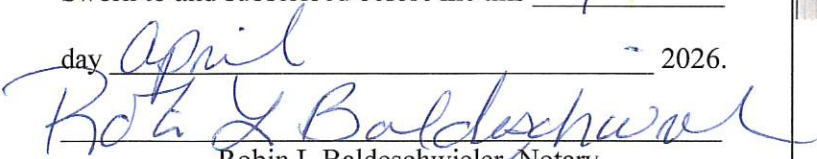
was published in said newspaper in the issues of

APRIL 8, 2026

Affiant further says that the Daily Sun is a newspaper
that complies with all legal requirements for publication in
chapter 50, Florida Statutes.


(Signature Of Affiant)

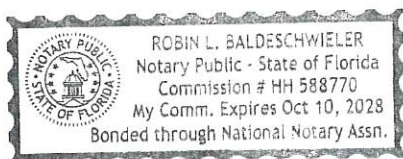
Sworn to and subscribed before me this 9
day April 2026.


Robin L. Baldeschwieler, Notary

Personally Known ✓ or

Production Identification _____

Type of Identification Produced _____



NOTICE OF PUBLIC HEARING

RESOLUTION 2026-024

A RESOLUTION OF THE CITY
COMMISSION OF THE CITY
OF FRUITLAND PARK,
FLORIDA, GRANTING MAJOR
SITE PLAN APPROVAL WITH
CONDITIONS TO ALLOW
CONSTRUCTION OF AN
APPROXIMATELY 11 ONE-
UNIT VILLAS, 25 ONE-STORY
VILLAS CONSISTING OF
TWO UNITS, AND 56
DWELLINGS IN TWO-STORY
APARTMENTS FOR A TOTAL
OF 92 UNITS INCLUSIVE OF
ASSOCIATED PARKING,
STORM WATER,
MAINTENANCE BUILDING
AND RECREATION CENTER
WITHIN A BUILDING;
PROVIDING FOR
CONDITIONS; AUTHORIZING
THE CITY MANAGER TO
ISSUE A NOTICE OF SITE
PLAN APPROVAL UPON
COMPLETION OF ALL
CONDITIONS; AND
PROVIDING FOR AN
EFFECTIVE DATE.

RESOLUTION 2026-025

A RESOLUTION OF THE CITY
COMMISSION OF THE CITY
OF FRUITLAND PARK,
FLORIDA, APPROVING THE
PERMANENT UTILITY AND
INGRESS - EGRESS
EASEMENT IN FAVOR OF
THE CITY OF FRUITLAND
PARK, FLORIDA FROM
SOUTH WINDS
COMMERCIAL, LTD.;
AUTHORIZING THE MAYOR
TO EXECUTE THE
PERMANENT EASEMENT;
AND PROVIDING FOR AN
EFFECTIVE DATE.

The proposed Resolutions will
be considered at the following
public meetings:

Planning & Zoning Board
Thursday, April 16, 2026
@ 6:00 p.m.
City Commission Reading
Thursday, May 14, 2026
@ 6:00 p.m.

The public meetings will be held
in the Commission Chambers
located at City Hall, 506 West
Berckman Street, Fruitland
Park FL 34731. These
meetings are open to the public
and hearings may be continued
as determined by the
commission from time to time to
a time/date certain. The
proposed Resolutions and
metes and bounds legal
description of property may be
inspected by the public during
normal working hours at City
Hall. For further information call
352-360-6727. Interested
parties may appear at the
meetings and will be heard with
respect to the proposed
Resolutions.

A person who decides to
appeal any decision made by
any board, agency or council
with respect to any matter
considered at such meeting or
hearing, will need a record of
the proceedings. For such
purposes, any such person may
need to ensure that a verbatim
record of the proceedings is
made, which includes the
testimony and evidence upon
which the appeal is based
(Florida Statutes, 286.0105).
Persons with disabilities
needing assistance to
participate in any of these
proceedings should contact
Gwen Johns, City Clerk at (352)
360-6790 at least 48 hours
before the date of the
scheduled hearing.

